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## PROJECT SUMMARY

114 MULTI-FAMILY LOW INCOME APARTMENTS IN 6.87 ACRE SITE IN (19) TWO-STORY TYPE VB/NFPA 13-R STRUCTURES. DEVELOPMENT ALSO FEATURES A COMMUNITY CENTER, (7) STAND ALONE LAUNDRY BUILDINGS, A 25K SQ. FT. CENTRAL PARK, INTERIOR COURTYARDS AND LANDSCAPED WALKS, SURFACE PARKING PODS AND "ON-STREET" PARKING. THE PROJECT WILL BE BUILT IN TWO PHASES. THE FIRST PHASE INCLUDES 51 APARTMENTS AND THE COMMUNITY BUILDING, RELATED OPEN SPACE AND INFRASTRUCTURE. THE SECOND PHASE INCLUDES 63 APARTMENTS AND REMAINDER INFRASTRUCTURE.

## PROJECT DATA & UNIT MIX

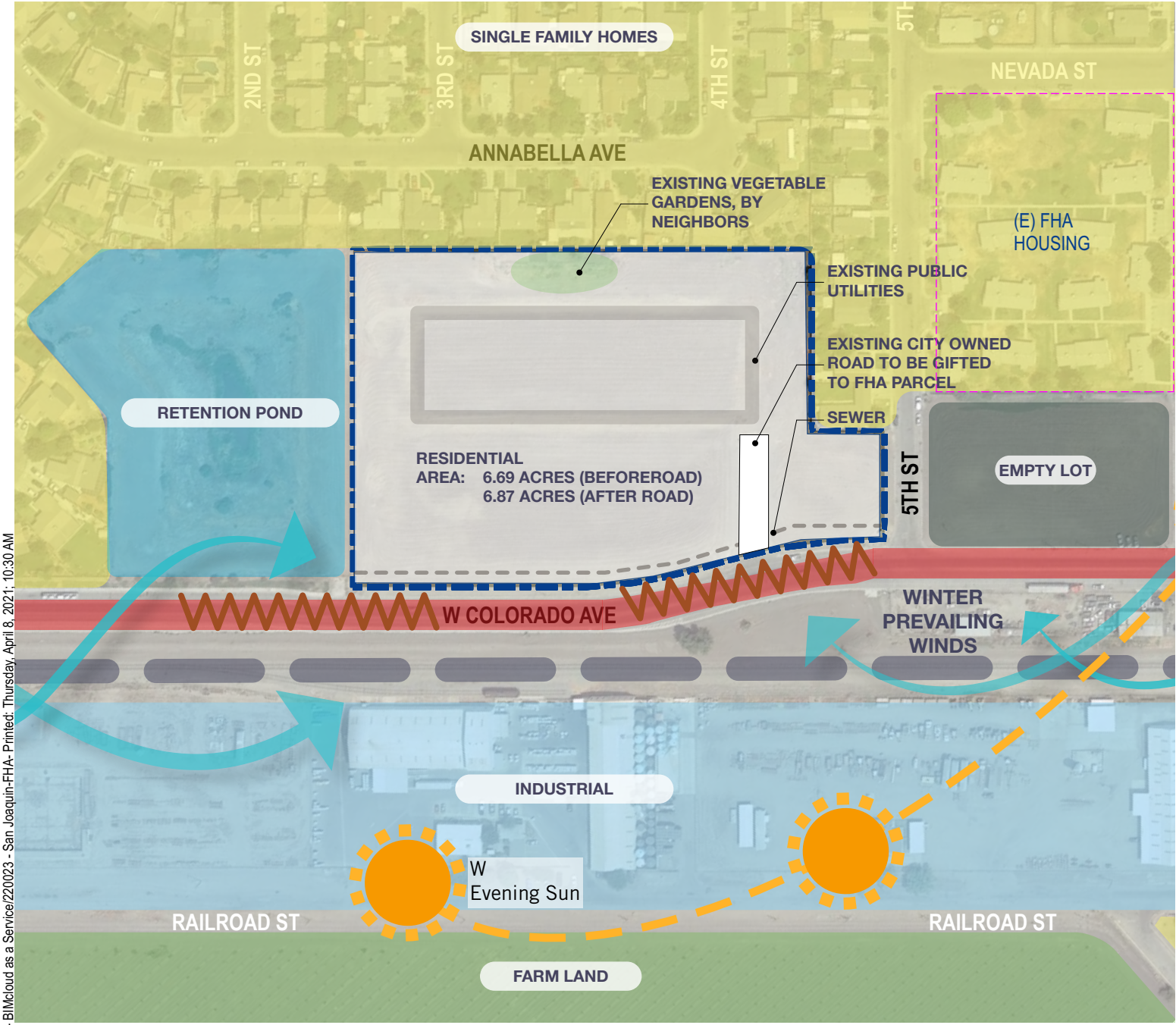
■ BIRD'S EYE VIEW NTS

114 DU'S, 172 PARKING SPACES & 3,800 SQ. FT. COMMUNITY BUILDING  
UNIT MIX

- (36) 1 BEDROOM UNITS
- (42) 2-BEDROOM UNITS
- (28) 3-BEDROOM UNITS
- (08) 4-BEDROOM UNITS

## PLANNING SUBMITTAL





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CONTEXT MAP, NTS

Comparative Development Standards

Fresno County Zoning Ordinance Division 6, Article 2, Table 2-5

Lot Size: 6.87 acres; 299,257 sq. ft.

Land Use Designation	R-2 MFR	R-3/R-3-A Med Density MFR	Project Proposal
1 Multi-family	Permitted	Permitted	
2 Min Lot Size (sq. ft.)	6,600	7,500	meet req't
3 Density	1 du/2,175 sq. ft.	1du/1,500 sq. ft.	meet req't
	<b>137 dus</b>	<b>199 dus</b>	<b>114 dus</b>
4 Building Setbacks <sup>1</sup>			
Front Yard (ft)	20	15	15
Side Yard (ft)	5	5	5
Street side yard (ft)	10	10	10
Rear Yard (ft)	20	15	15
5 Max Height (ft) - Main Structure	35	40/20	40/20
Max Height (ft)- Access. Struct	12	12	12
6 Max Building Coverage <sup>2</sup>	50%	50%	less than 50% <sup>3</sup>
7 Min Distance Bet Structures (Main/Accessory)	10 ft/6 ft	10 ft/6 ft	10 ft/6ft
8 Landscaping Standards <sup>3</sup>	See Chapter 826.3		

NOTES

- 1. Proposed building setback requirements apply to overall merged parcel. Setbacks internal to project vary. In addition, project sponsor proposes a 15 ft setback for main structures and a 6 ft setback for accessory buildings along interior side yards abutting single-family residential.
- 2. Actual proposed lot coverage is less than 35%
- 3. Surface parking lots visible from public realm to be reasonably screened with a landscape buffer.

STREET AND PARKING LOT STANDARDS

Street Standards

- 11 ft drive lanes
- 8 ft parallel parking, where occurs
- 4 ft min sidewalks with 5 ft planting strips

Surface Parking Lots

- 20 ft min driveway mouth
- 24 ft drive aisle
- 9ft x 18ft perpendicular regular parking stalls
- 8ft x 16 ft perpendicular compact parking stalls, 25% max of total count

Chapter 828.3 (Parking and Loading Standards)  
Off-Street Pkg Standards for Resid. Multi-family

One per bedroom

Multi-Family Parking Requirements

Unit Type	Beds	Units #	County	Proposed
1 bd	1	36	36	
2 bd	2	42	84	
3 bd	3	28	84	
4 bd	4	8	32	
114			236	172

Parking ratio: 2.1 1.5

Pkg Type*	Van	Access.	Standard	Total
Covered	1	5	108	114
Uncovered	1	0	39	40
EVCS	1	1	16	18
Total	3	6	163	172

\*per CBC 11B-208.3.1 & CGBSC 4.104.4.2

Note:

Total parking includes (172) stalls: (136) in 10 parking lot (134 perp. stalls and 2 parallel) and (36) stalls along private streets internal to the development (4 perp. and 32 parallel stalls).

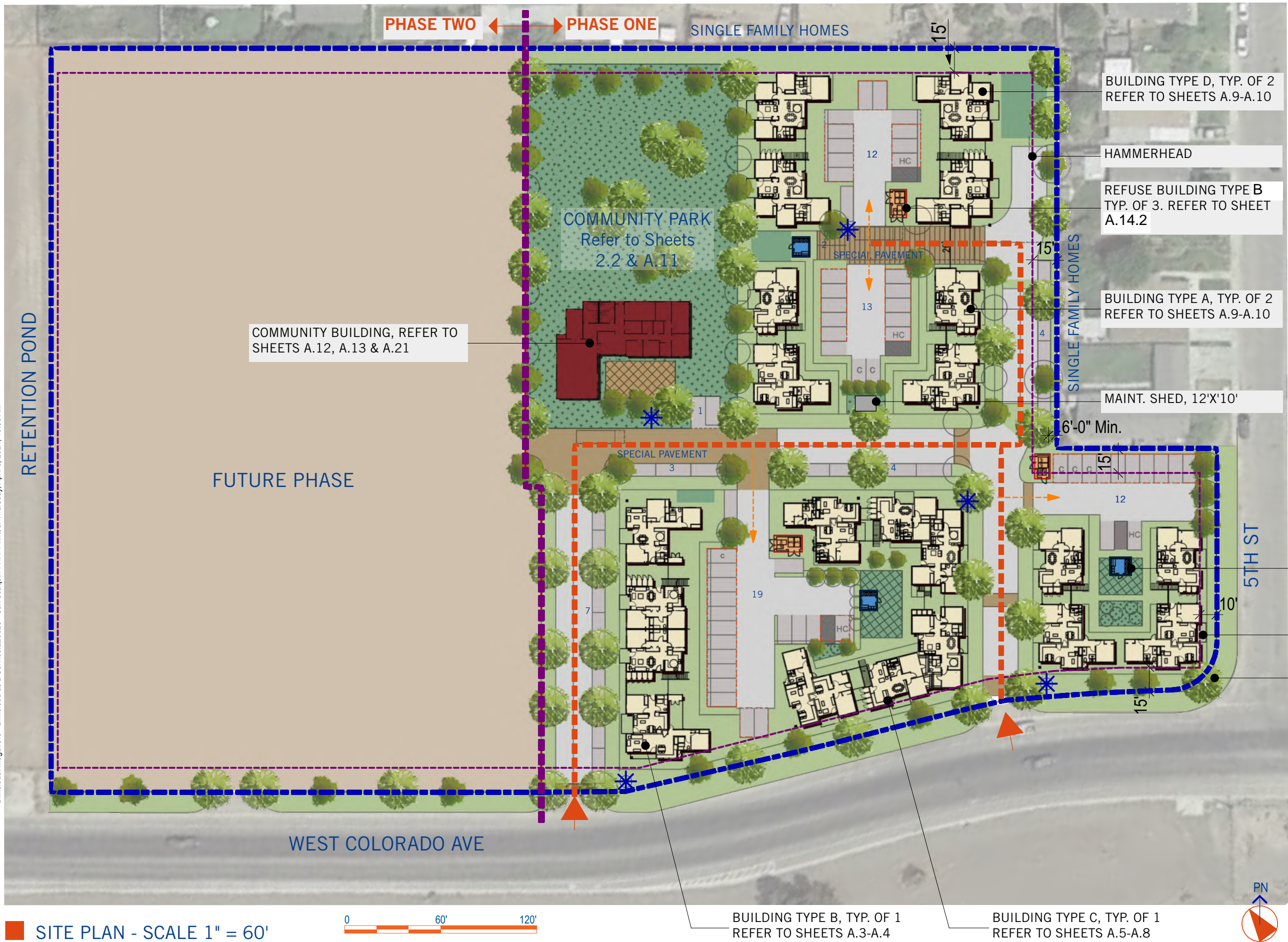
CONSTRUCTION TYPE:

1 & 2-Story Apartment Structures: Type VA, NFPA13R

R-2 Occupancy



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DEVELOPMENT  
SUMMARY PHASE ONE  
51 DUS / 77 STALLS

Unit Mix - Phase One

Unit Type	Total		Ave sf
1 bedrm	14	27%	600
2 bedrm	16	31%	867
3 bedrm	13	25%	1,204
4 bedrm	8	16%	1,312
	51	100%	

PARKING SUMMARY

Pkg Type*	Van	Access.	Std	Total
Covered	1	2	48	51
Uncovered	1	0	17	18
EVCS	1	1	6	8
Total	3	3	71	77

\*as per CBC 11B-208.3.1 & CGBSC 4.104.4.2  
Note:  
Total parking includes (77) stalls: (57) stalls in 4 parking lots (55 perpendicular and 2 parallel) and (21) stalls (3 perpendicular and 18 parallel stalls), along private streets internal to the development.

LAUNDRY BUILDING, TYP. OF 3.  
REFER TO SHEET A.13 & A.22

SETBACK LINE

PROPERTY LINE

NOTE: FOR ADDITIONAL  
DIMENSIONS, REFER TO SHEET 1.2

LEGEND

	COVERED PARKING
	MAIN VEHICULAR CIRCULATION
	SECONDARY VEHICULAR ACCESS
	FIRE HYDRANT

SITE PLAN - SCALE 1" = 60'

0 60' 120'



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## DEVELOPMENT SUMMARY

### FULL BUILD-OUT

#### 114 DUS / 172 STALLS

Unit Mix					
Unit Type	Ph1	Ph2	Total		Ave sf
1 bedrm	14	22	36	32%	600
2 bedrm	16	26	42	37%	867
3 bedrm	13	15	28	25%	1,204
4 bedrm	8	0	8	7%	1,312
	51	63	114	100%	

PARKING SUMMARY				
Pkg Type*	Van	Access.	Standard	Total
Covered	1	5	108	114
Uncovered	1	0	39	40
EVCS	1	1	16	18
Total	3	6	163	172

\*per CBC 11B-208.3.1 & CGBSC 4.104.4.2  
Note:  
Total parking includes (172) stalls: (136) in 10 parking lot (134 perp. stalls and 2 parallel) and (36) stalls along private streets internal to the development (4 perp. and 32 parallel stalls).

LAUNDRY BUILDING, TYP. OF 7.  
REFER TO SHEETS A.13 & A.22

SETBACK LINE

PROPERTY LINE

LEGEND	
	COVERED PARKING
	MAIN VEHICULAR CIRCULATION
	SECONDARY VEHICULAR ACCESS
	FIRE HYDRANT

SITE PLAN - SCALE 1" = 60'

0 60' 120'









 SITE PLAN - SCALE 1" = 60'

0 60' 120'

**LEGEND**

-  COVERED PARKING
-  EVA
-  SECONDARY VEHICULAR ACCESS
-  FIRE HYDRANT  
(AS PER COUNTY FIRE REVIEW 1/20/2021)



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#### IRRIGATION DESIGN STATEMENT

IRRIGATION SYSTEM WILL CONFORM TO THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE. IRRIGATION SYSTEM TO INCLUDE A SEPARATE IRRIGATION CONNECTION, WATER METER, AND REDUCED-PRESSURE PRINCIPLE BACKFLOW PREVENTOR. CONTROLLER WILL BE "SMART" WITH SELF-ADJUSTING PROGRAMS BASED ON LOCAL WEATHER CONDITIONS. A EVAPOTRANSPIRATION/WEATHER SENSOR, RAIN SENSOR, FLOW SENSOR, AND MASTER VALVE WILL BE INSTALLED. HYDROZONES WILL BE BASED ON EXPOSURE, PLANT WATER REQUIREMENTS AND EMISSION TYPE. IRRIGATION EMISSION SYSTEM WILL GENERALLY CONSIST OF:

- HARD PIPED DRIP OR BUBBLERS TO LARGE SHRUBS IN LINEAR ARRANGEMENTS.
- OVERHEAD IRRIGATION FOR TURF AREAS GREATER THAN 10' WIDE, SET BACK 2' FROM HARDSCAPE.
- INLINE DRIP IRRIGATION FOR SHRUB AND GROUND COVER AREAS LESS THAN 10' IN WIDTH.

#### LANDSCAPE DESIGN CONCEPT

STREET TREES, SECONDARY TREES AND GROUND COVER MASSING WILL PROVIDE A GREEN EDGE AND FOREGROUND TO THE PROJECT AT THE WEST COLORADO AVE FRONTAGE. PLANTING WILL TRANSITION FROM LOW GROUND COVER TO MEDIUM AND TALL SHRUBS AS PLANTING BEDS APPROACH THE BUILDING EDGES. WITHIN THE PROJECT, PLANTING WILL BE LAYERED AND ACCENT PLANTING WILL BE USED TO MARK MAJOR PATHS OF TRAVEL AND ANNOUNCE ENTRANCES TO UNITS AND THE COMMUNITY BUILDING. LARGE SHADE TREES WILL BE PLANTED ALONG PATHWAYS, AND WILL PROVIDE SHADE IN THE COMMUNITY PATIO, AT THE TOT LOT, AND THROUGHOUT THE PARKING LOT, REDUCING PAVEMENT HEAT GAIN. THROUGHOUT THE SITE LARGE SHRUBS AND VINES WILL BE USED TO SCREEN UNDESIRABLE VIEWS OF BLANK BUILDING WALLS, TRASH ENCLOSURES, FENCE LINES, AND PARKED CARS.

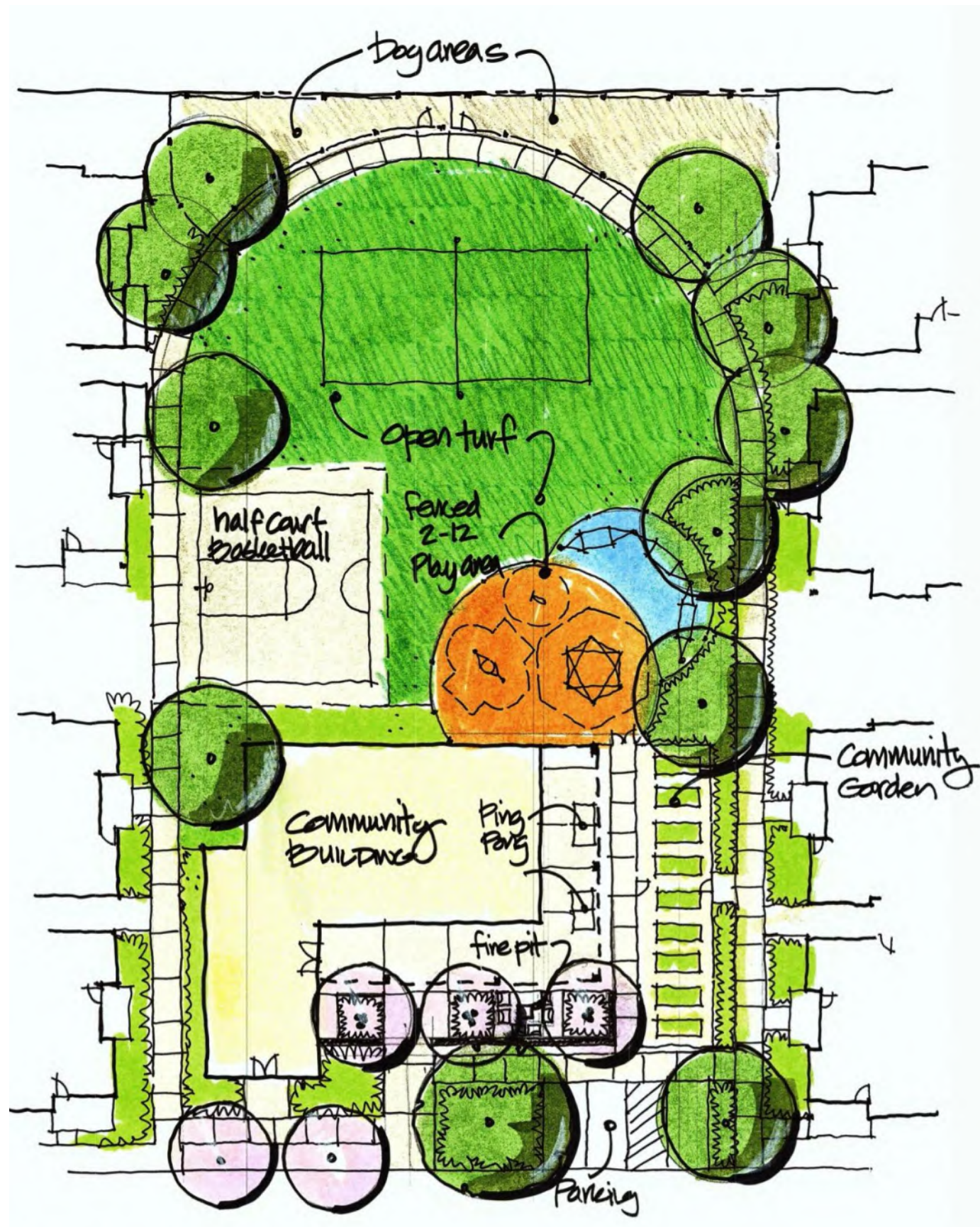
HIGH WATER USE PLANTING, INCLUDING TURF GRASS, IS EXTREMELY LIMITED IN THE PROJECT. A COMMUNITY GREEN IS LOCATED IN THE CENTER OF THE PROJECT, AND IS LARGE ENOUGH TO PROVIDE RECREATIONAL VALUE. A COMMUNITY GARDEN IS LOCATED CENTRALLY WITH GARDEN BEDS AND SPACE FOR GATHERING.

PRELIMINARY PLANTING PALETTE INCLUDES PREFERRED SPECIES, WITH FINAL SELECTIONS TO BE DETERMINED AT THE TIME CONSTRUCTION DOCUMENTS ARE DEVELOPED. NOT ALL SPECIES MAY BE USED. PLANTING DESIGN WILL EMPLOY THE USE OF DRIFTS AND MASSING OF SAME SPECIES, WITH ACCENTS USED IN SMALLER MASSES.

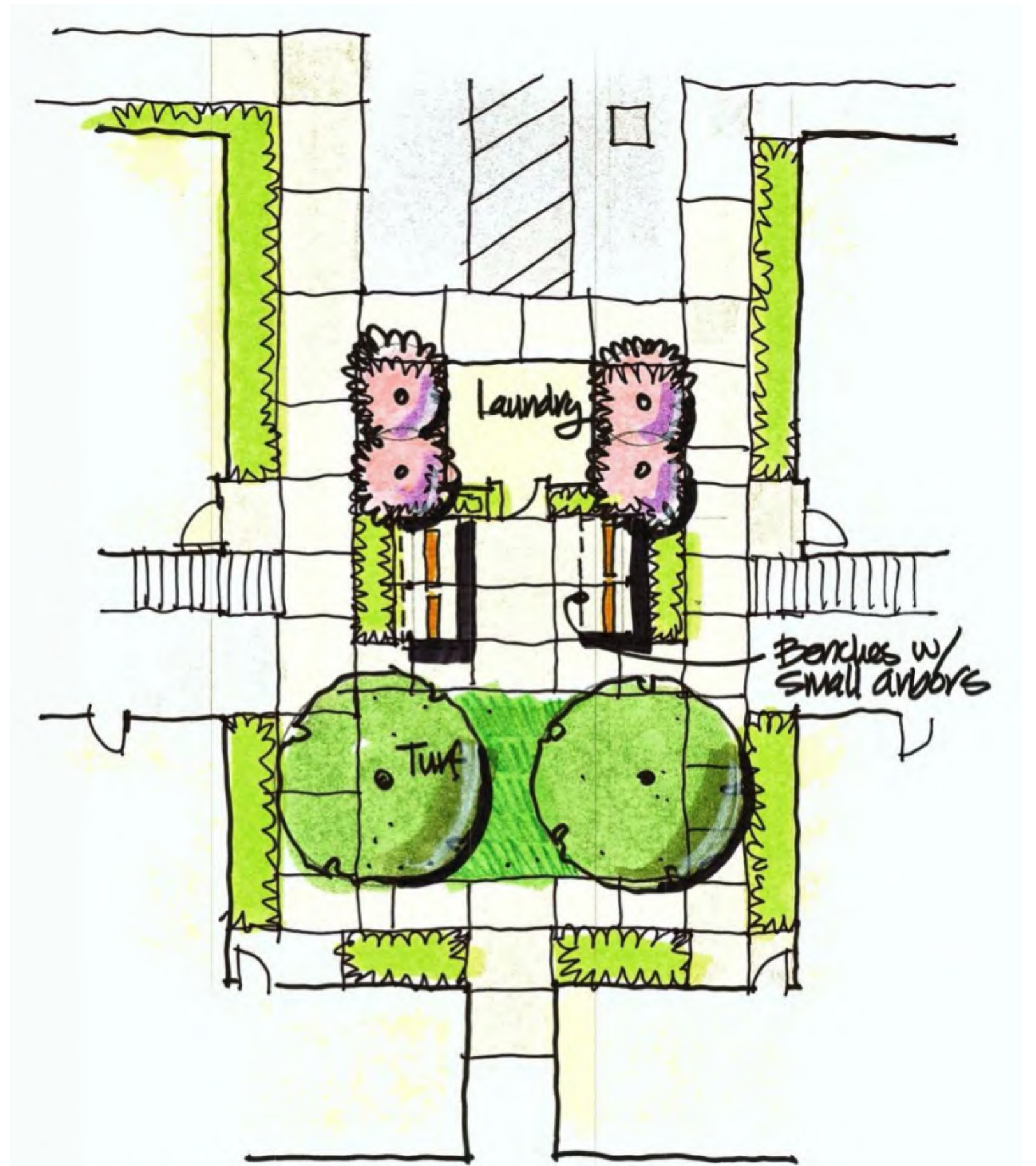
Roach & Campbell





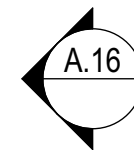


COMMUNITY AREA ENLARGED PLAN, SCALE 1"=30'



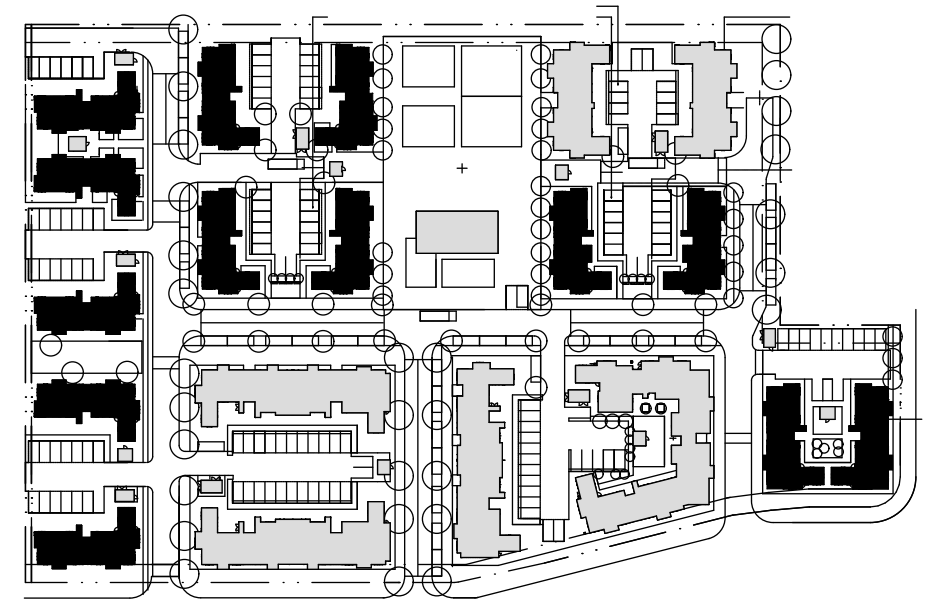
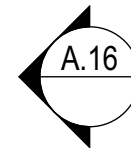
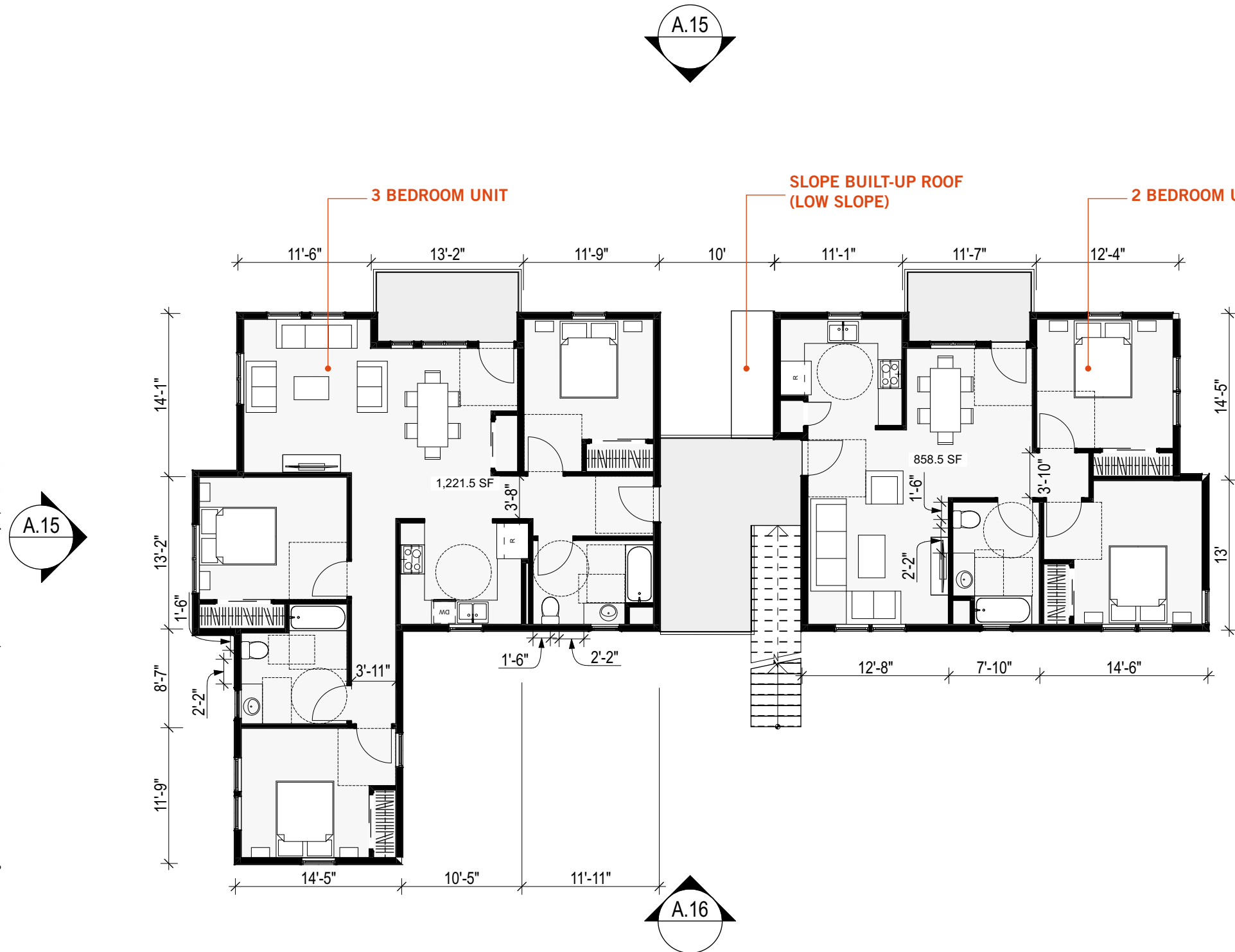
LAUNDRY BUILDING AND SURROUNDINGS ENLARGED PLAN, SCALE 1"=10'







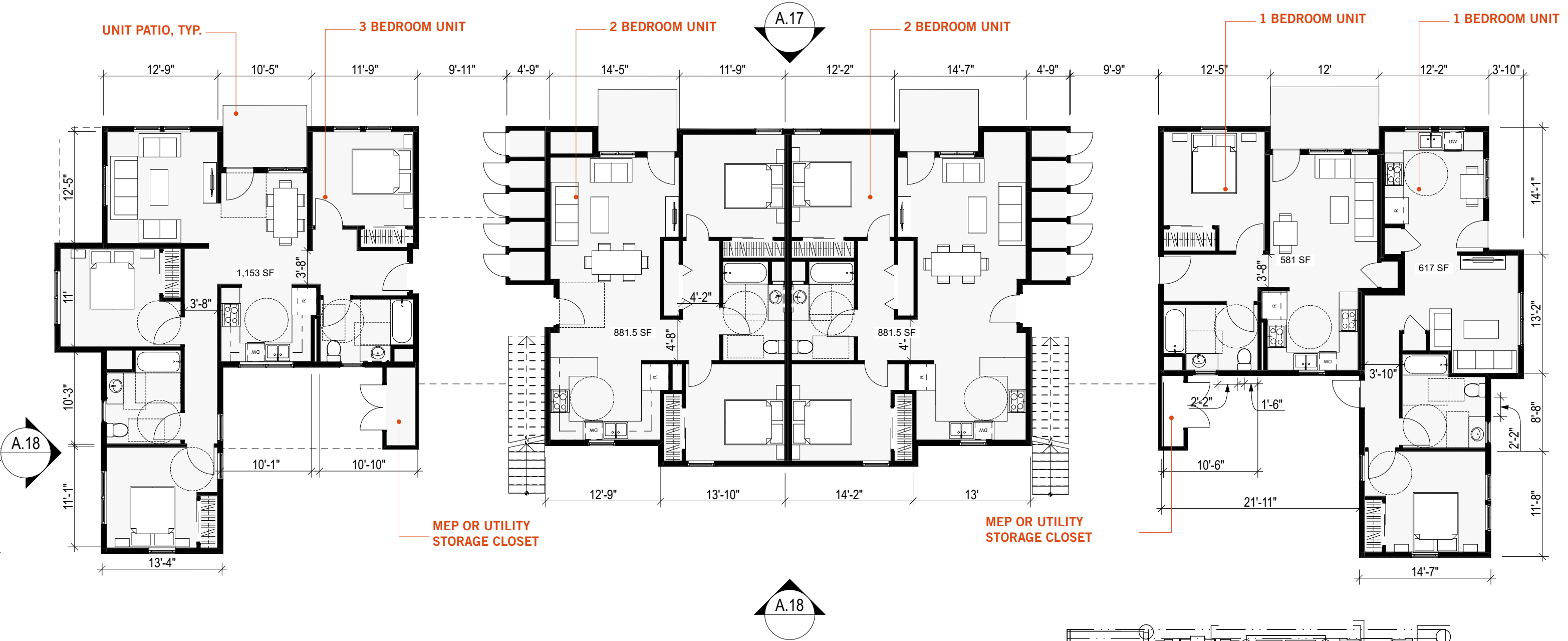
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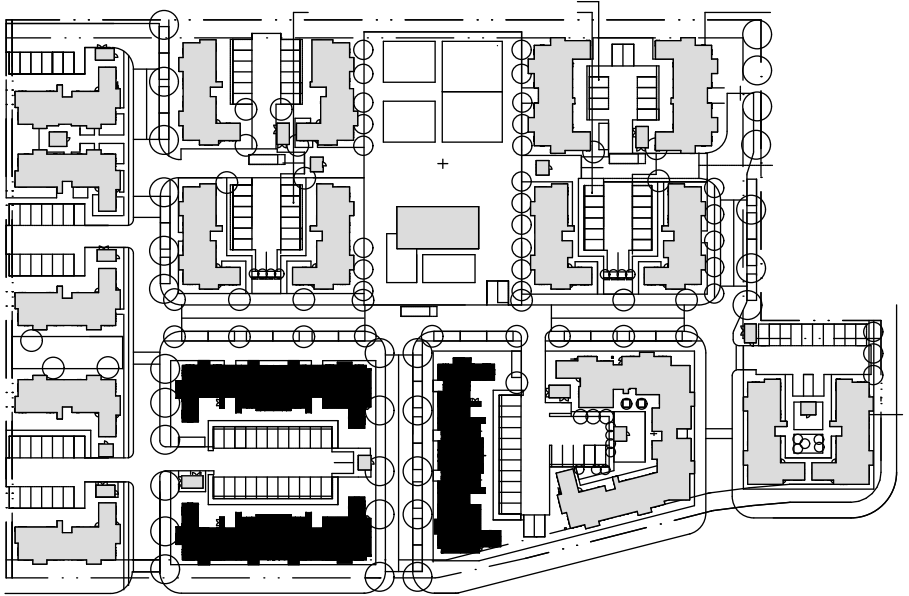
SECOND FLOOR PLAN A - SCALE 3/32" = 1'-0"





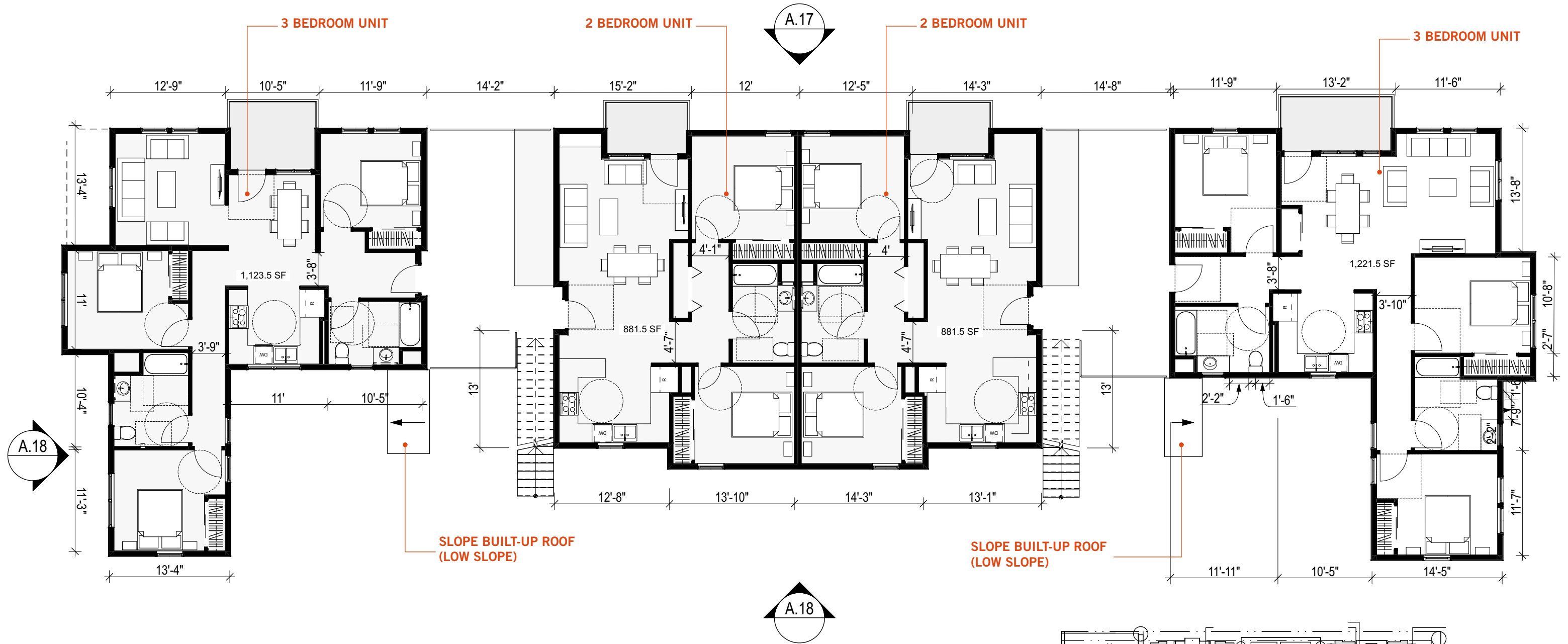


GROUND FLOOR PLAN B - SCALE 3/32" = 1'-0"



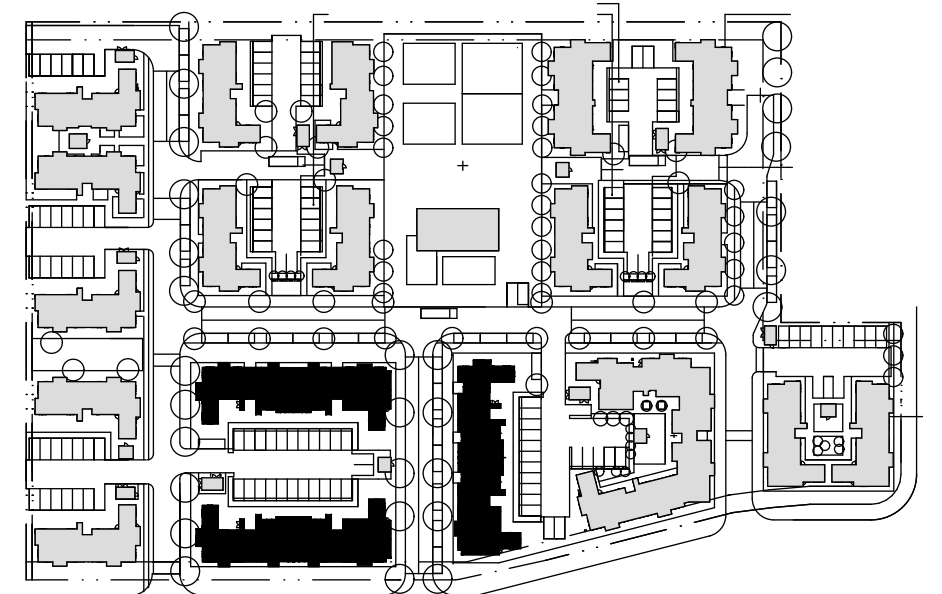


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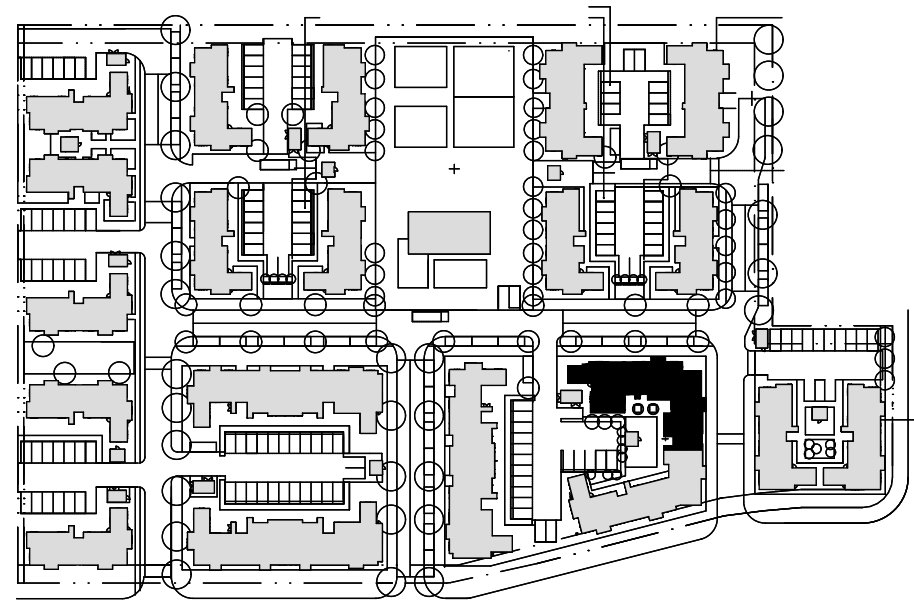
SECOND FLOOR PLAN B - SCALE 3/32" = 1'-0"

0 8' 16' 24'





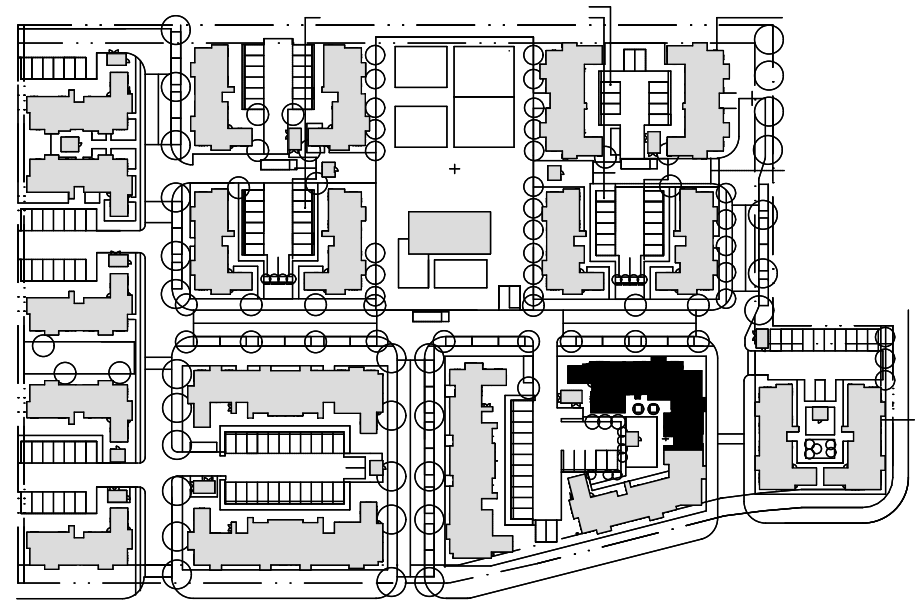
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GROUND FLOOR PLAN TYPE C.1 - SCALE 3/32" = 1'-0"



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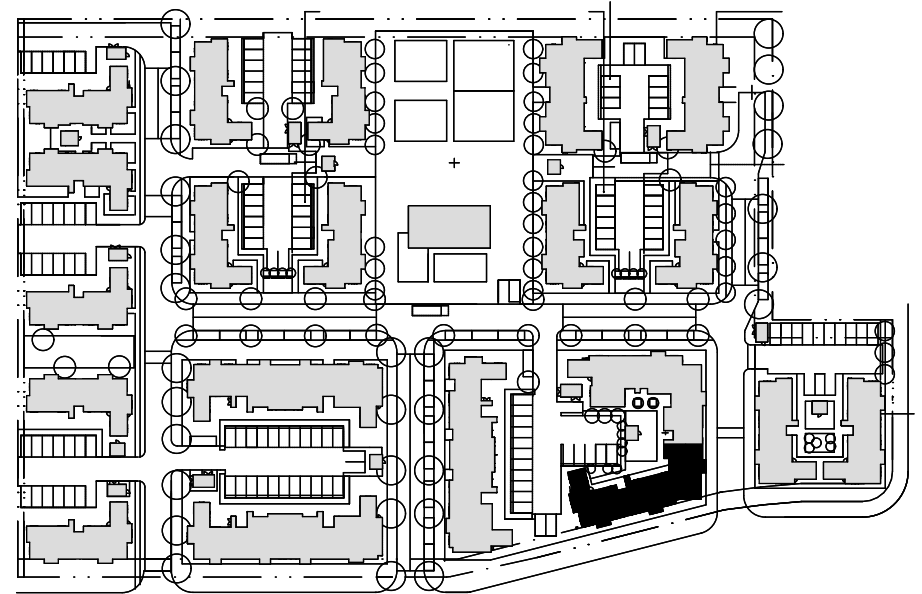
UPPER LEVEL FLOOR PLAN TYPE C.1 - SCALE 3/32" = 1'-0"





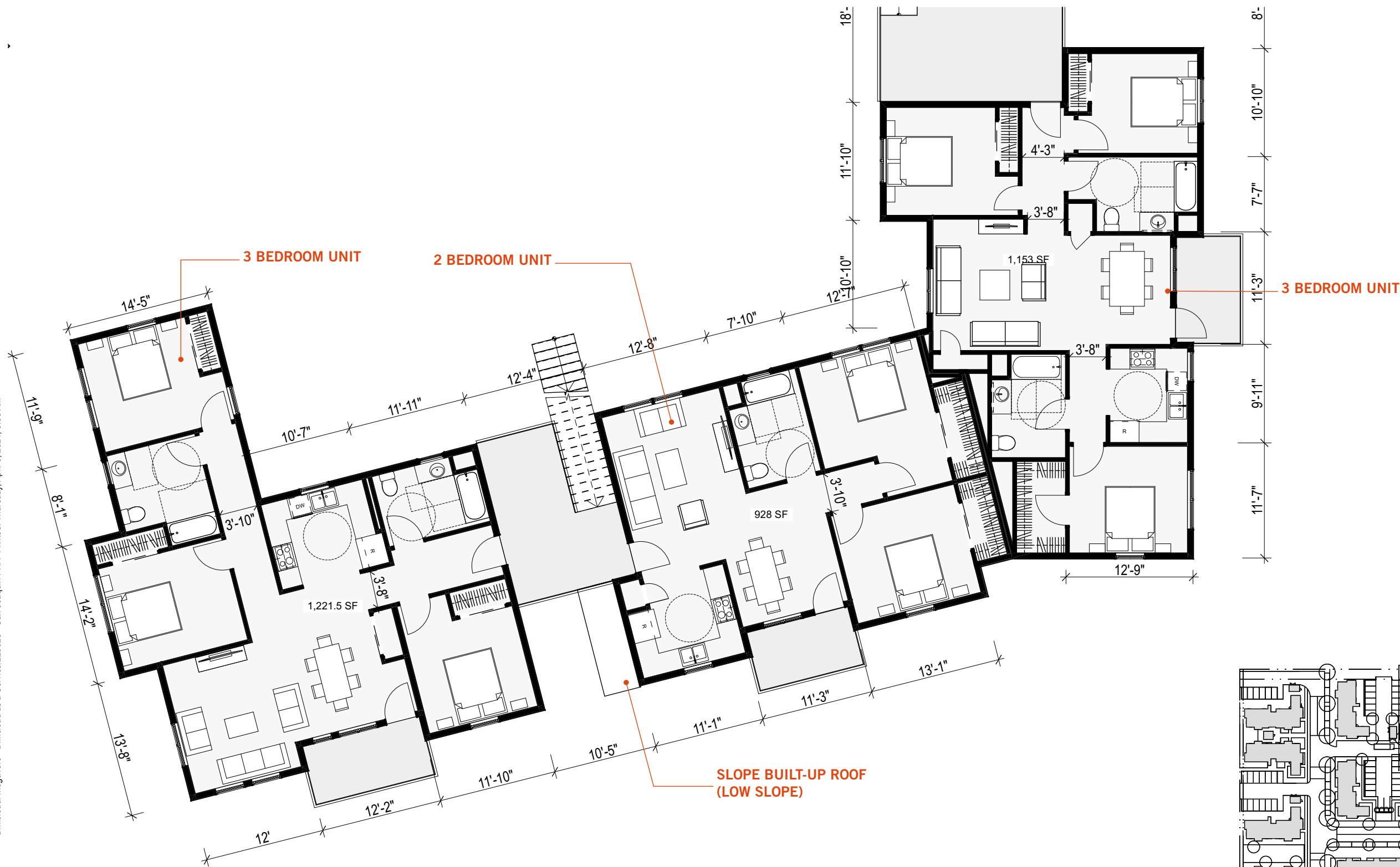


GROUND FLOOR PLAN TYPE C.2 - SCALE 3/32" = 1'-0"

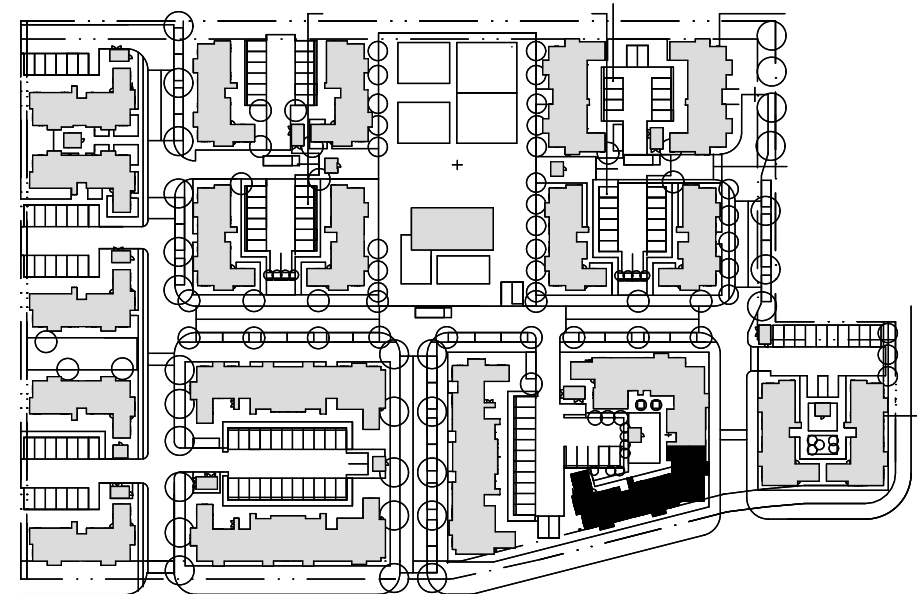




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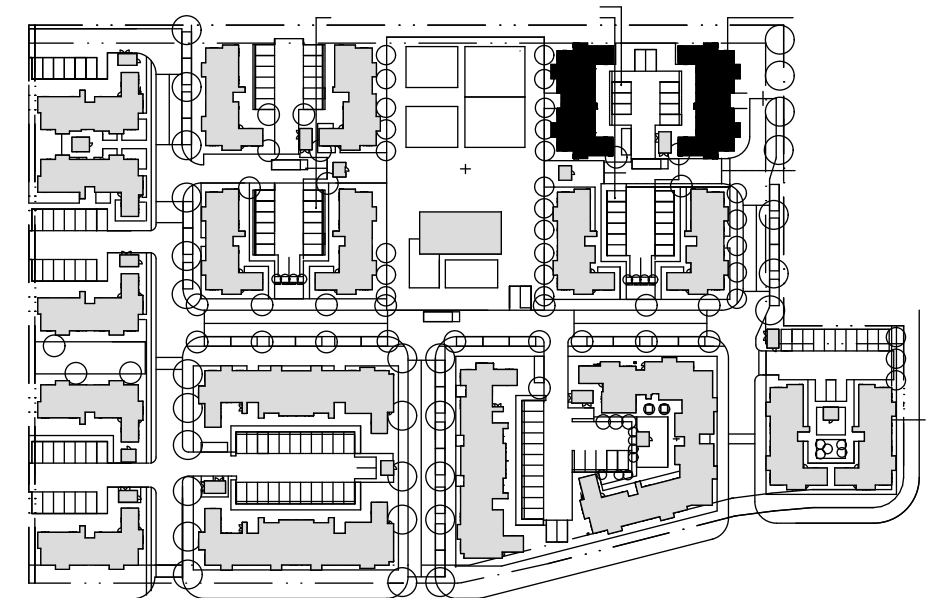


UPPER LEVEL FLOOR PLAN MTPE C.2 - SCALE 3/32" = 1'-0"





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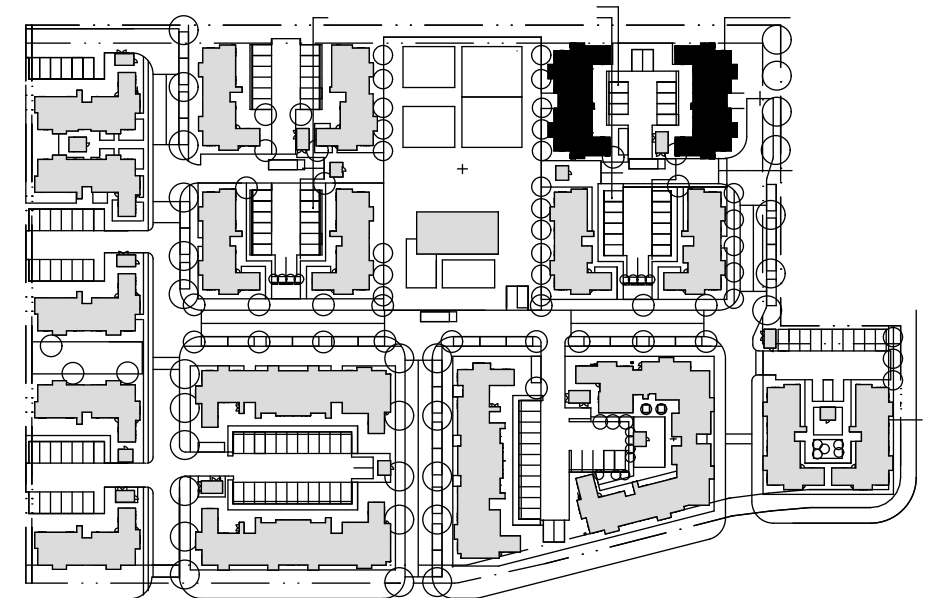
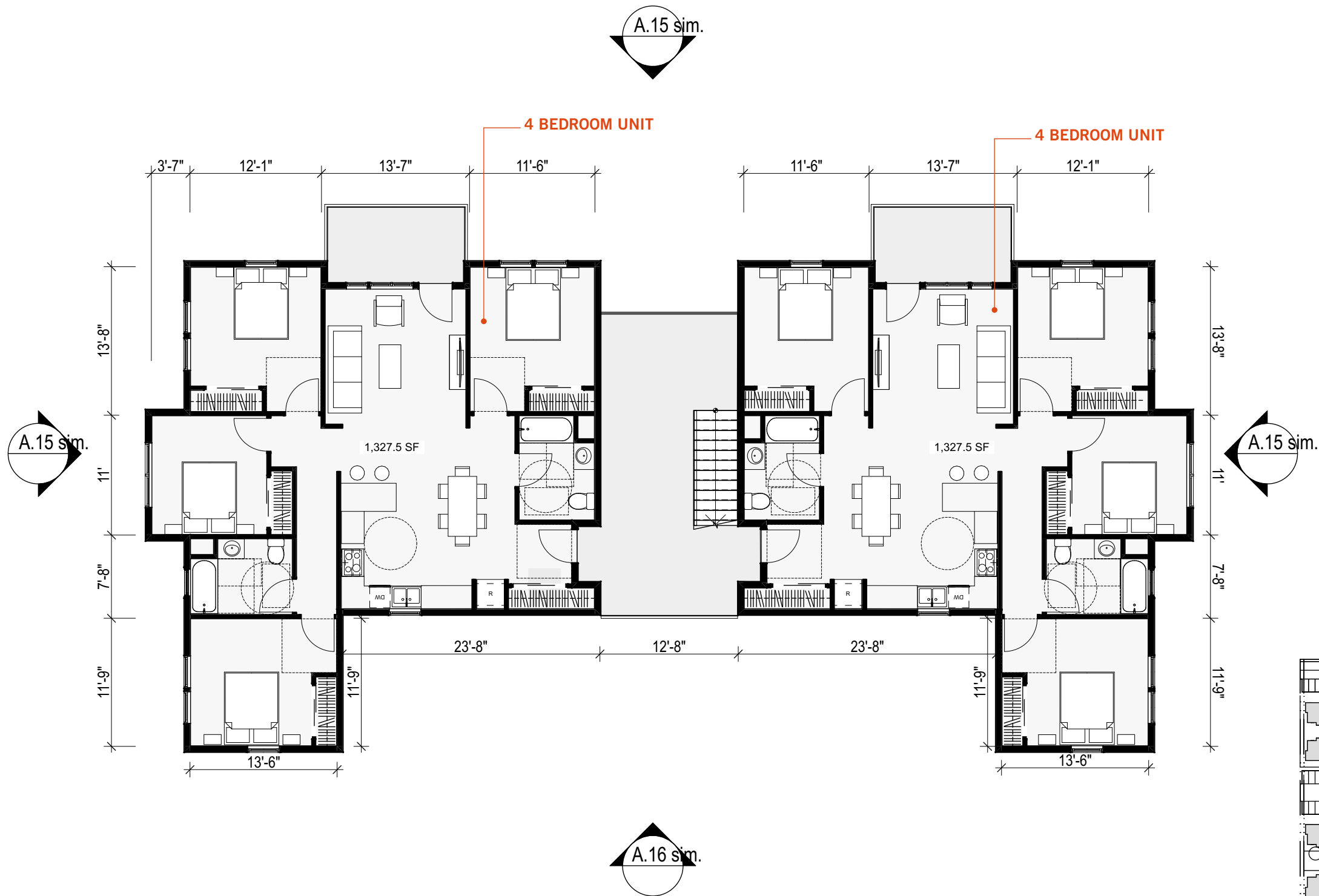


GROUND FLOOR PLAN D - SCALE 3/32" = 1'-0"





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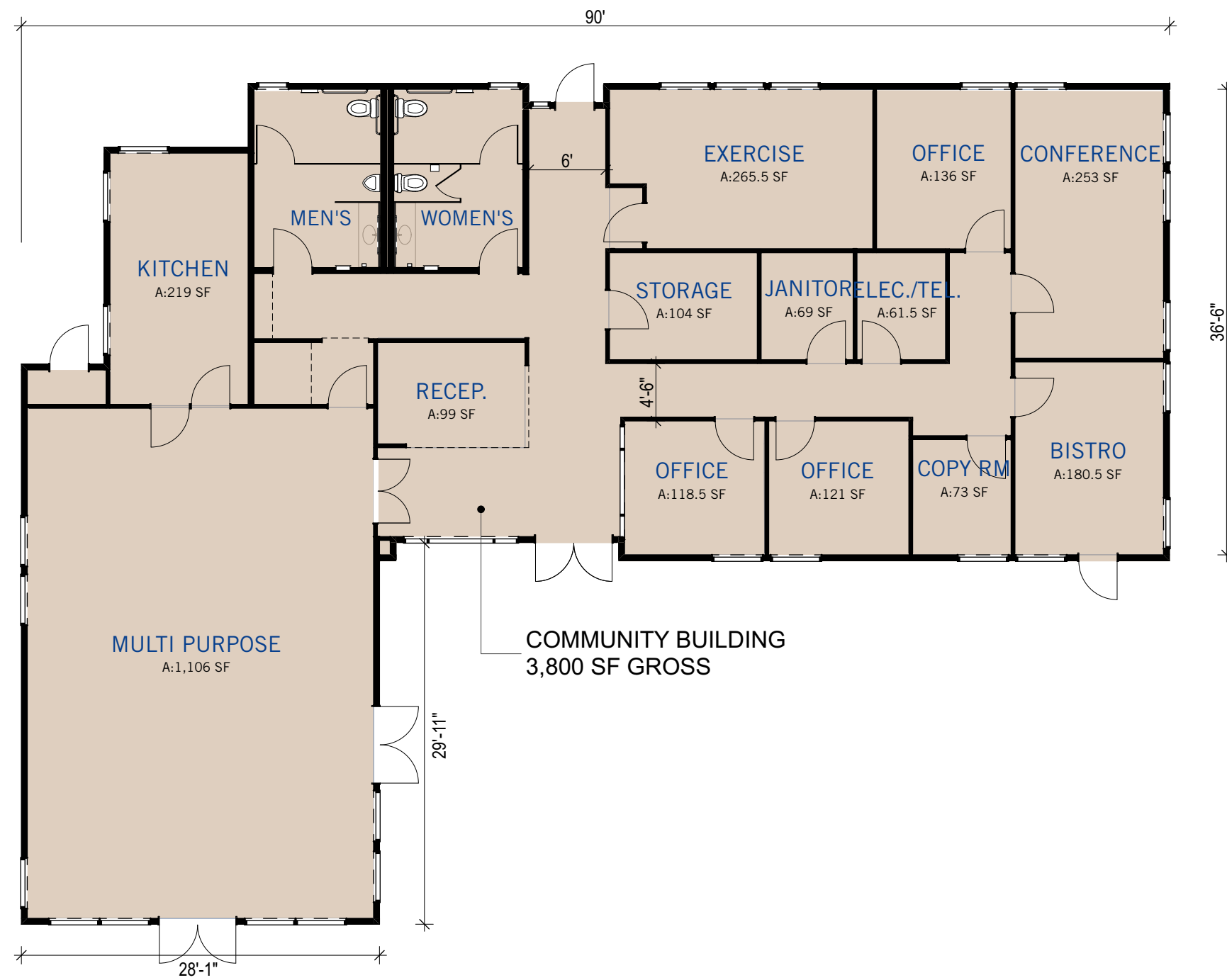


SECOND FLOOR PLAN D - SCALE 3/32" = 1'-0"





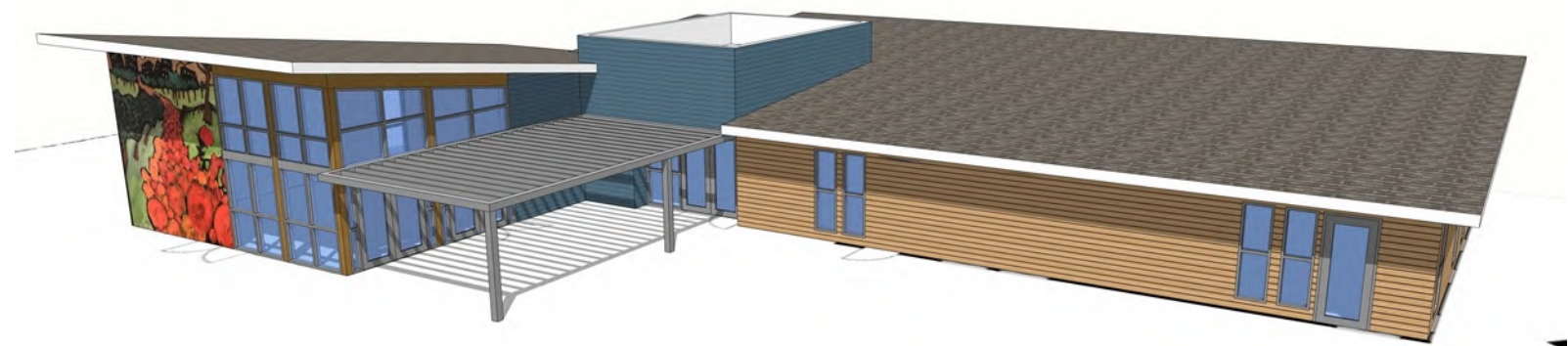
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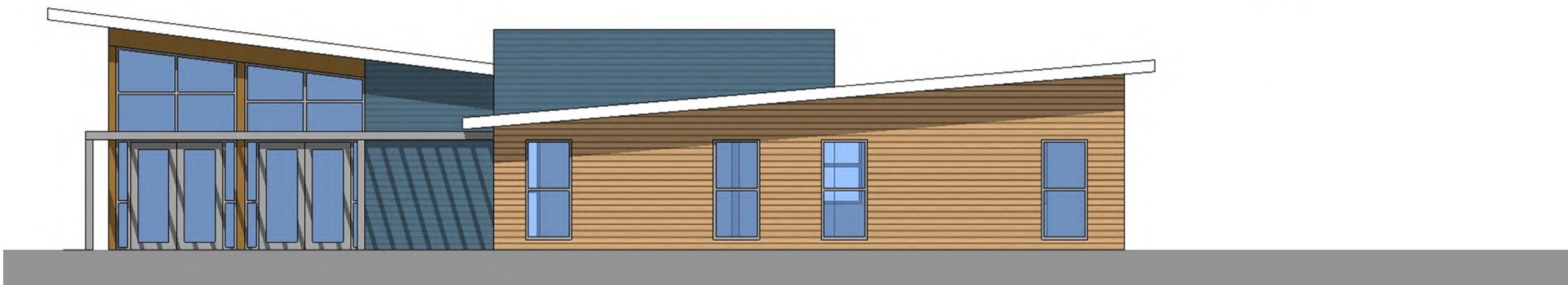




■ SOUTH (FRONT) ELEVATION - SCALE 1/16"-1'-0"



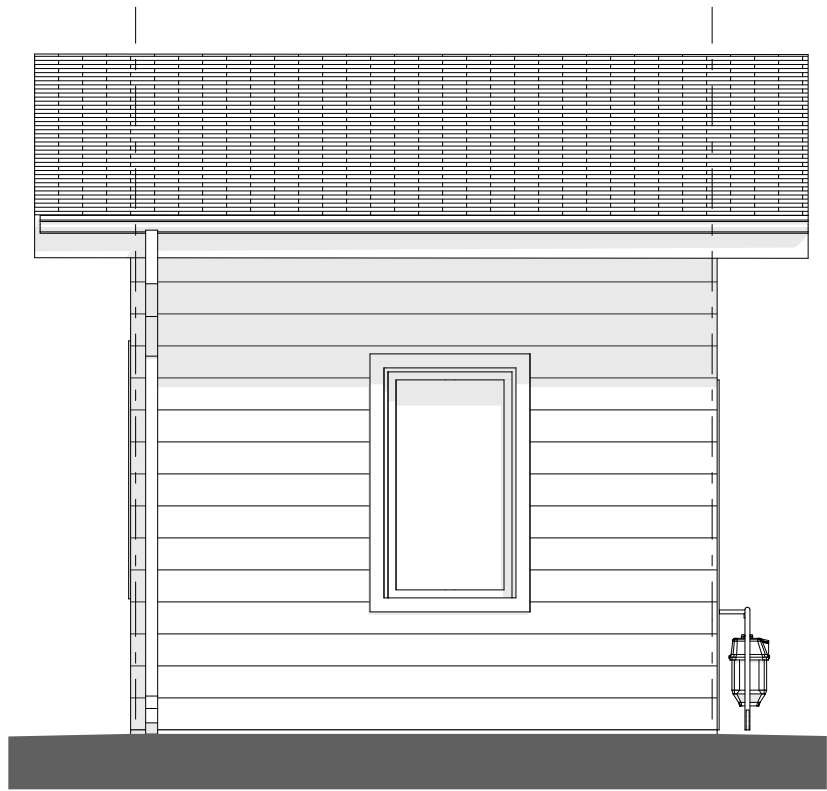
■ PERSPECTIVE VIEW AT MAIN ENTRY, NTS



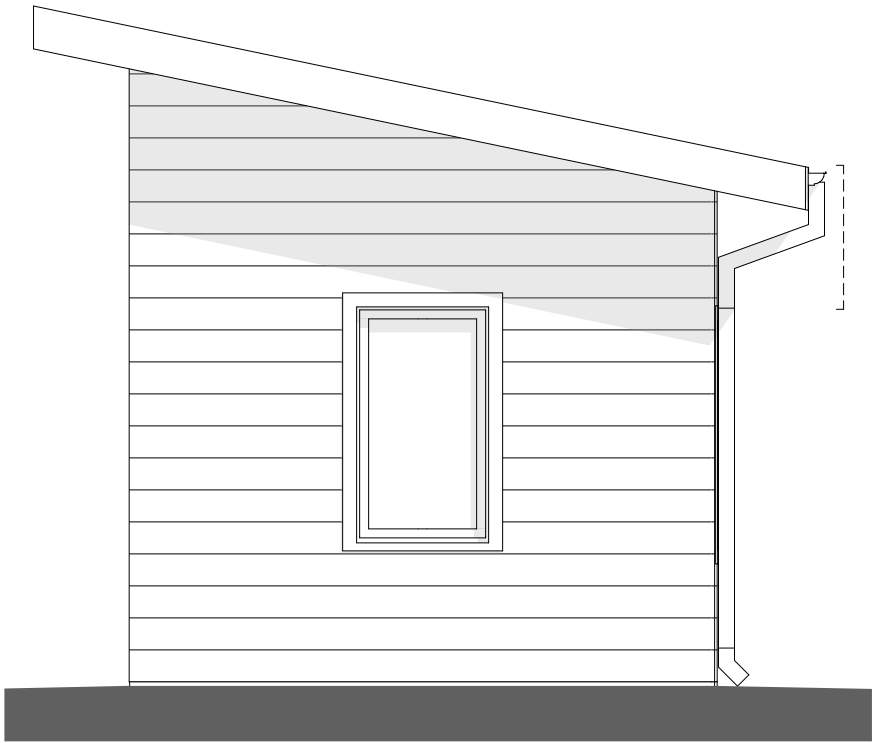
■ EAST ELEVATION - SCALE 1/16"=1'-0"



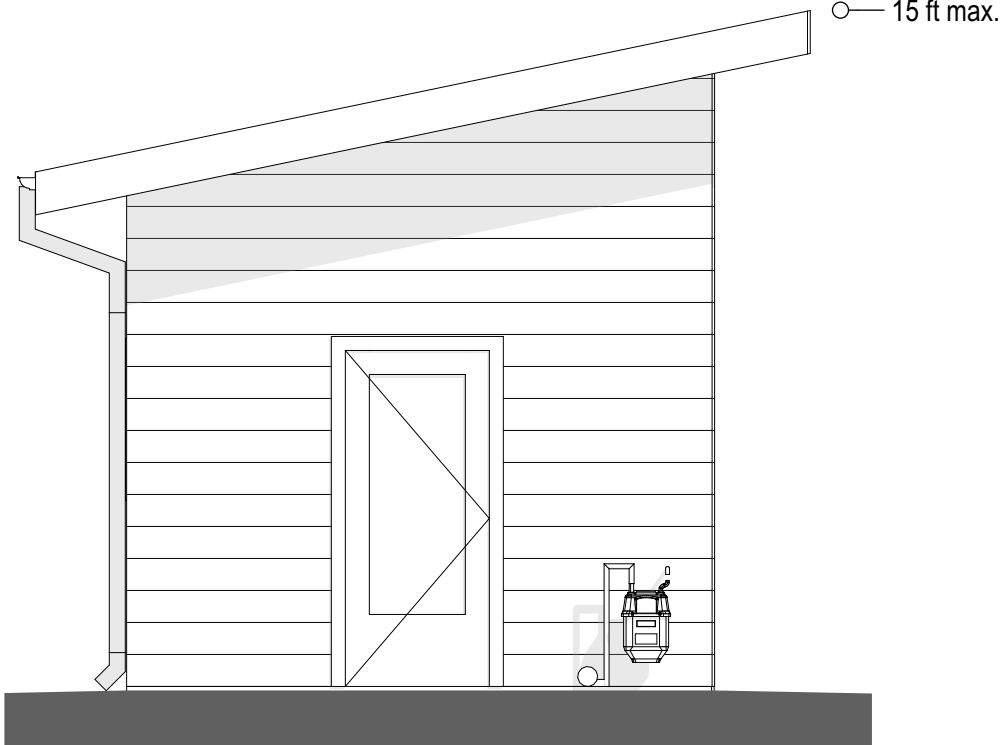
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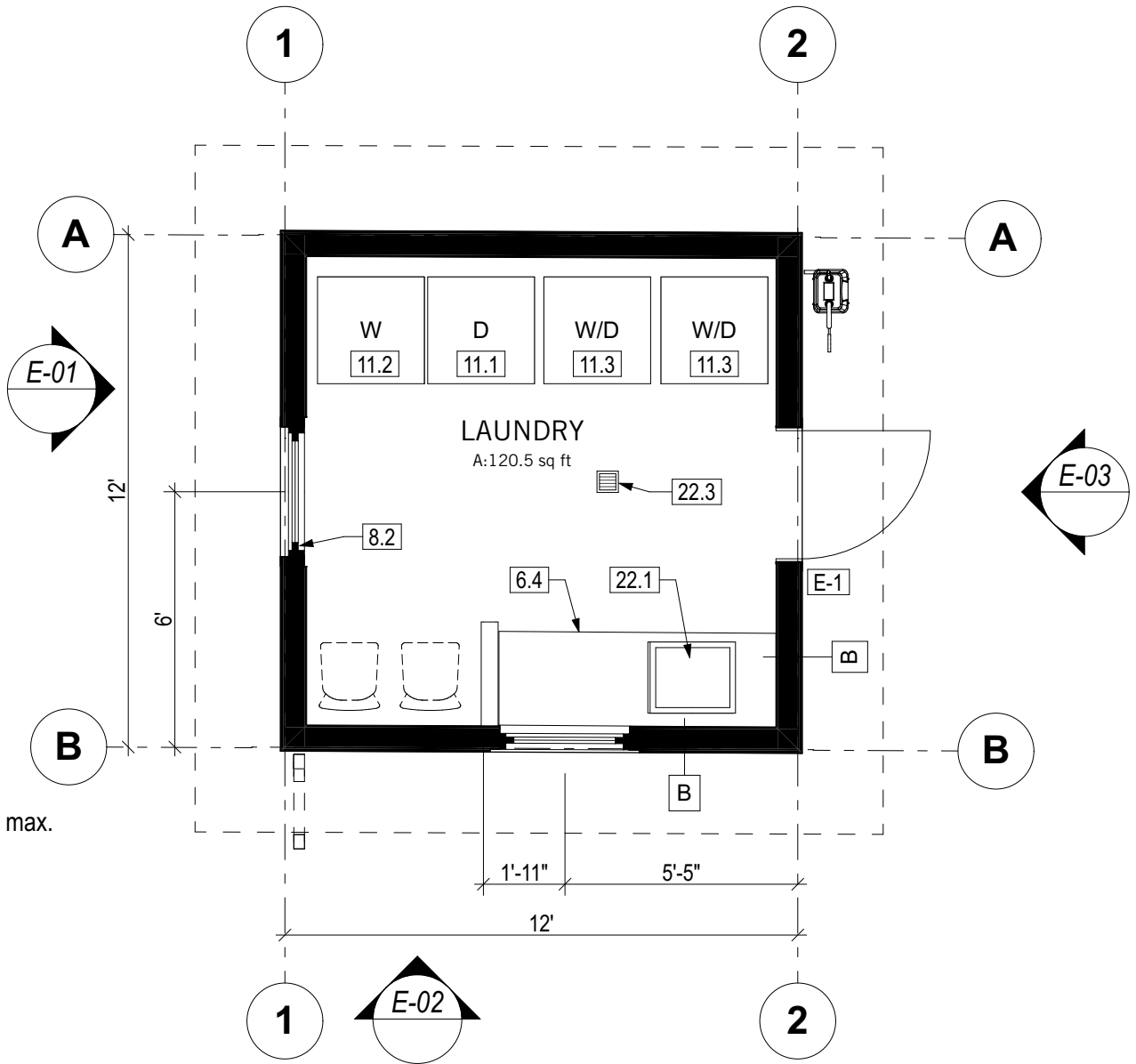
■ SIDE ELEVATION - SCALE 1/4" = 1'-0"



■ REAR ELEVATION - SCALE 1/4" = 1'-0"



■ FRONT ELEVATION - SCALE 1/4" = 1'-0"



■ LAUNDRY BUILDING - SCALE 1/4" = 1'-0"





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THICK STEEL CHANNEL AT EACH SIDE  
OF GATES - PROVIDE 4-5/8" Ø x 5" LONG  
NELSON STUDS WELDED TO CHANNEL  
INTO CMU WALL - PRIME & PAINT TO  
MATCH BUILDING WALLS (TYP)

1 1/2" x 1 1/2" T.S. GATE FRAME - PRIME  
& PAINT TO MATCH WALLS, TYP.

STEEL REFUSE BIN GATES  
SEE DETAIL 8/A1.2

8" x 8" x 16" CMU WALL -  
SEE 12/A1.2

CANE BOLT INTO CONCRETE  
FOOTING PER 7/A1.2

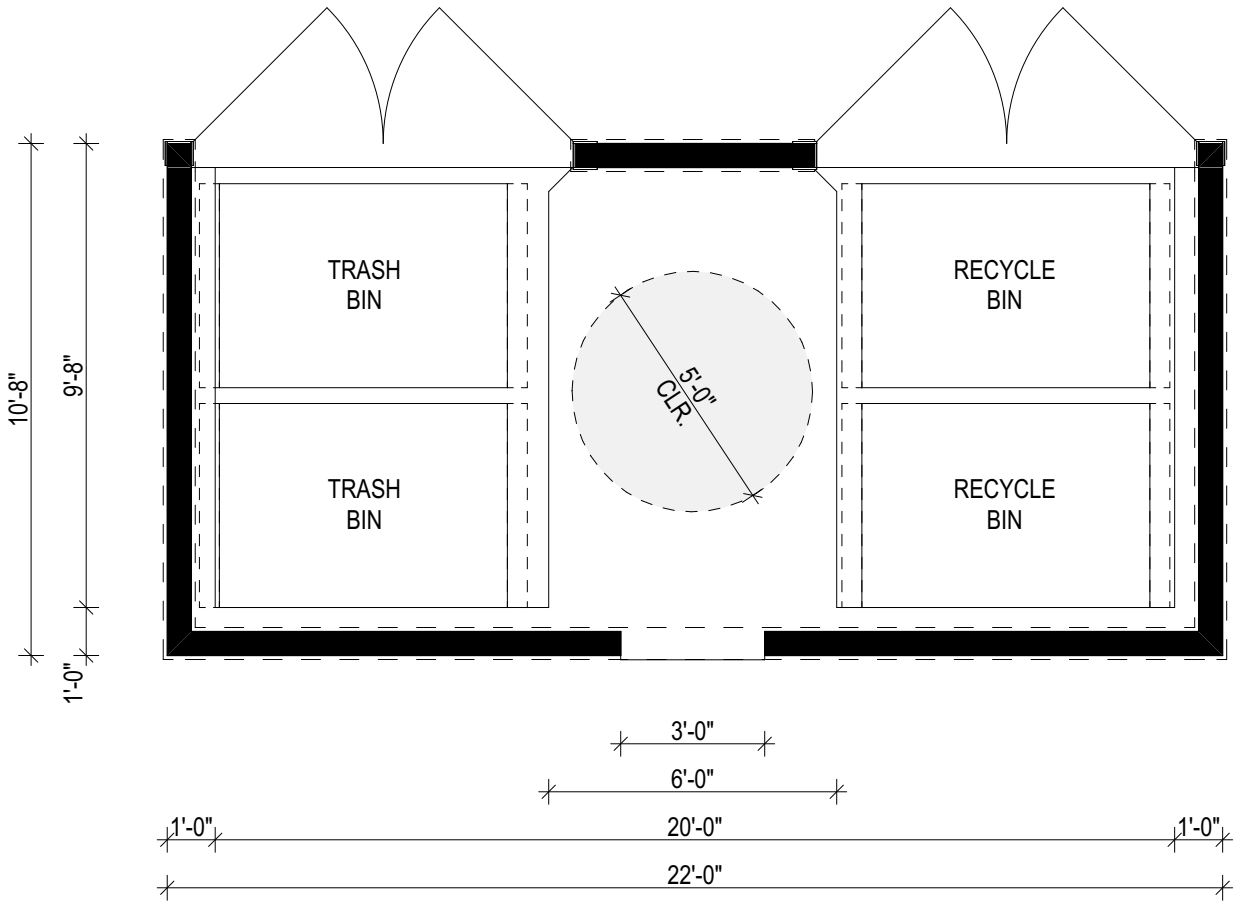
TRASH FRONT ELEVATION - SCALE 1/4" = 1'-0"

GATE LATCH - TYP.

PROVIDE "STANLEY" OR APPROVED  
EQ. 4"x 4" EXTRA HEAVY PLAIN STEEL  
SURFACE HINGE 1-1/2 PRS. PER  
GATE LEAF. WELD TO GATE & JAMB.

8" x 8" x 16" CMU WALL -  
SEE 8/A1.2

TRASH REAR ELEVATION - SCALE 1/4" = 1'-0"



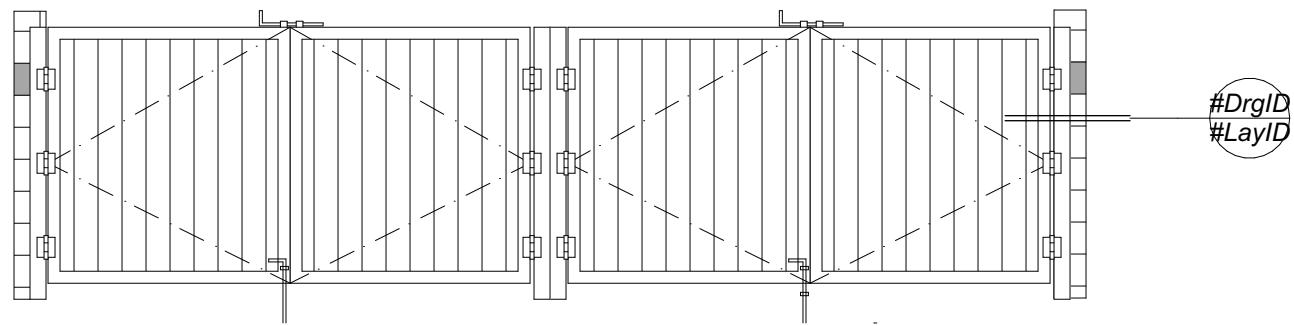
TRASH ENCLOSURE PLAN - SCALE 1/4" = 1'-0"

8" x 8" x 16" CMU WALL -  
SEE 12/A1.2

TRASH LEFT ELEVATION - SCALE 1/4" = 1'-0"



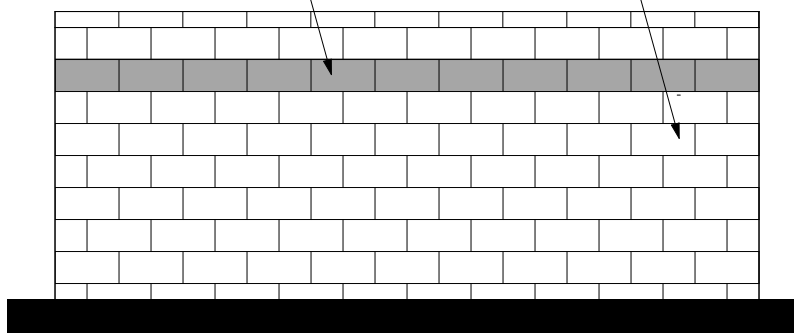
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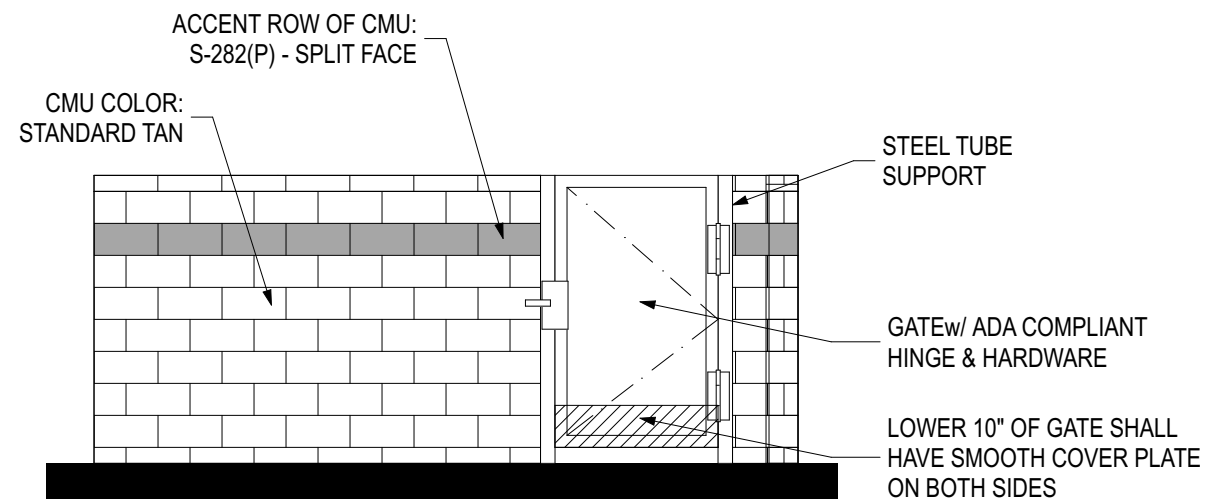
FRONT ELEVATION

ACCENT ROW OF CMU:  
S-282(P) - SPLIT FACE

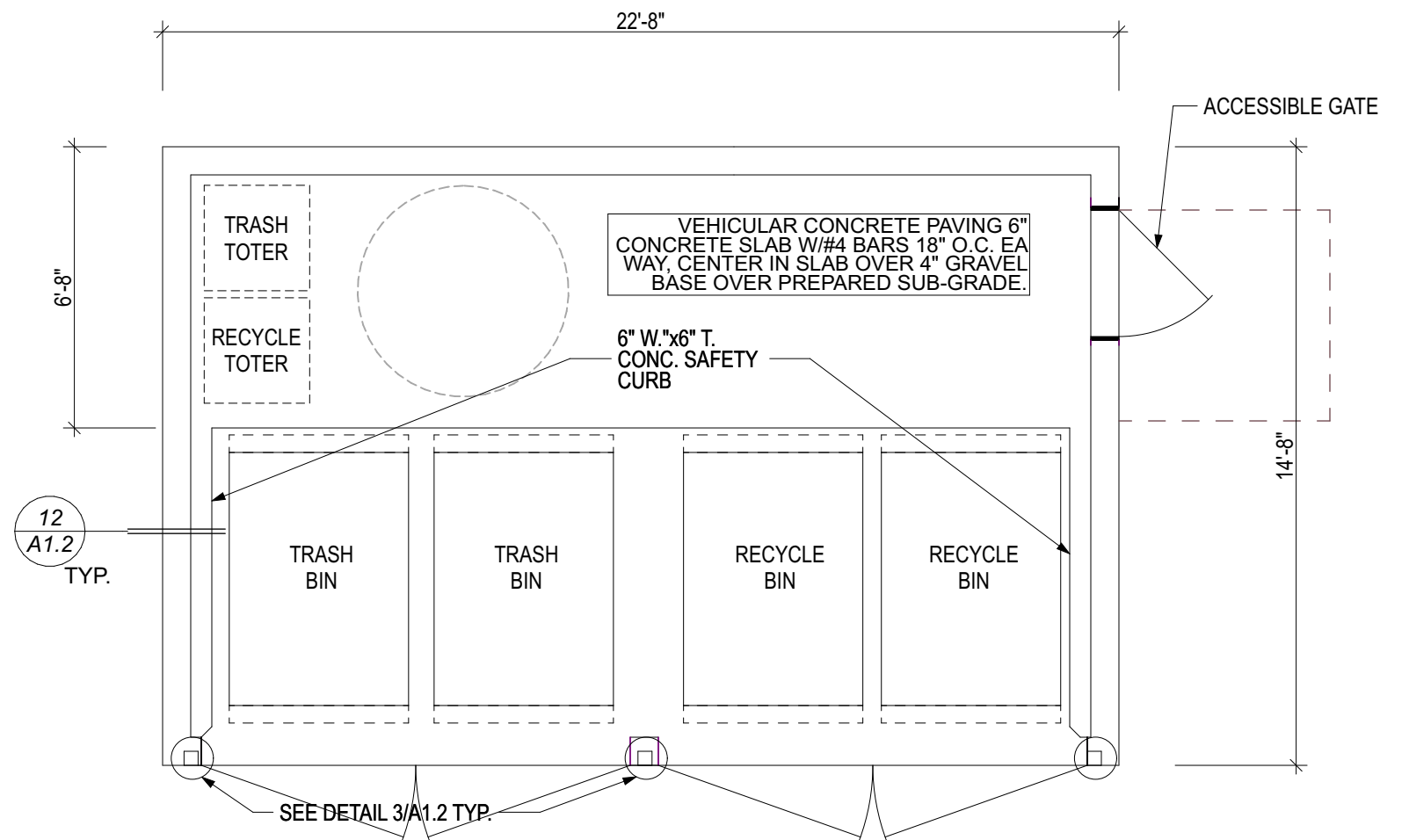
CMU COLOR:  
NATURAL (P) PRECISION



SIDE ELEVATION - OPTION 1



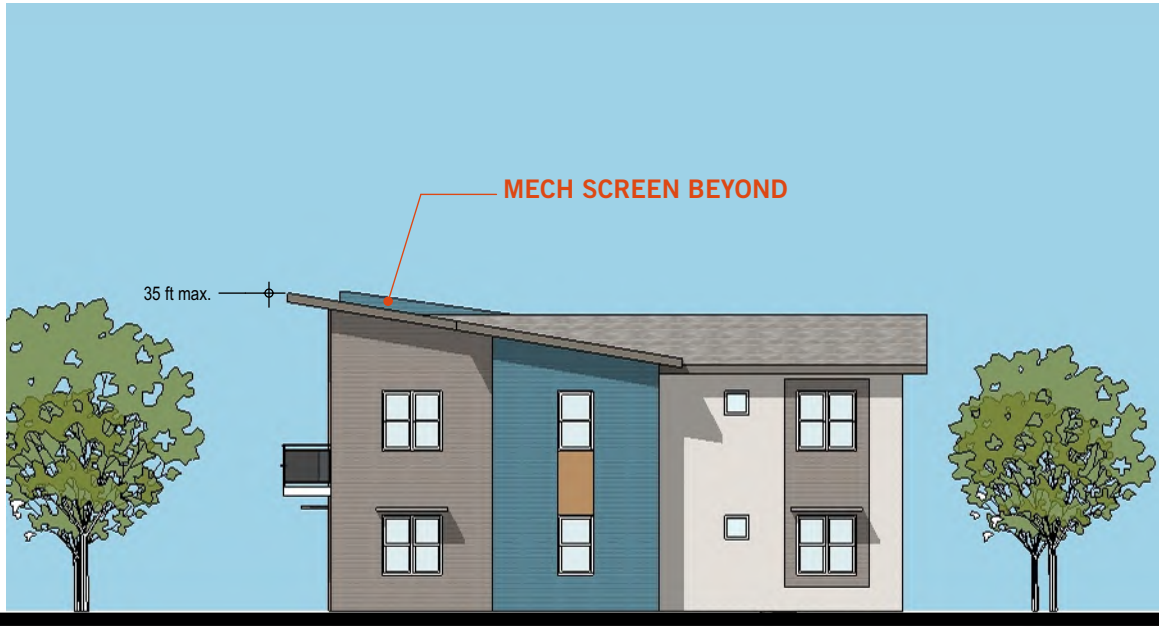
SIDE ELEVATION - OPTION 1



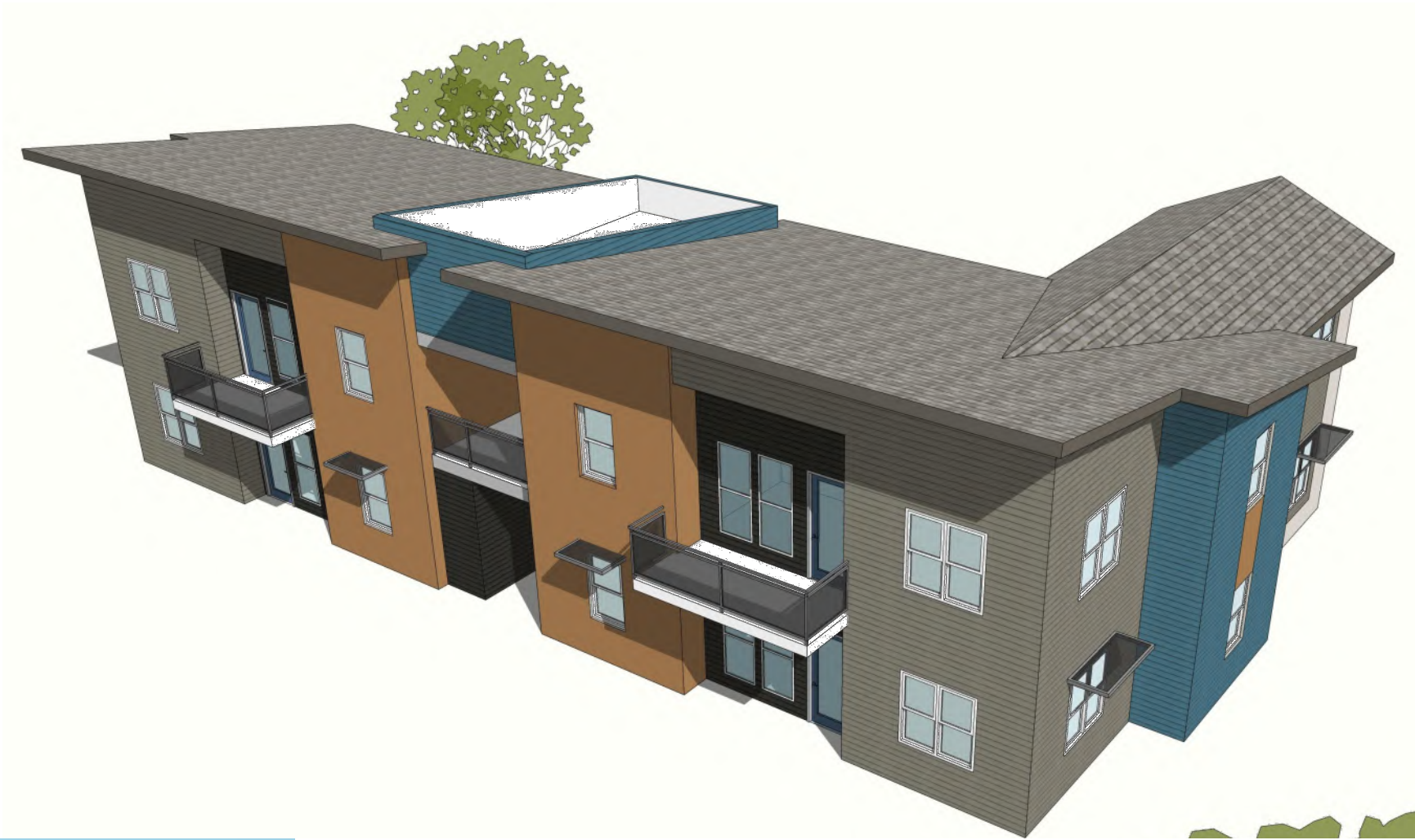
REFUSE ENCLOSURE - SCALE 1/4" = 1'-0"



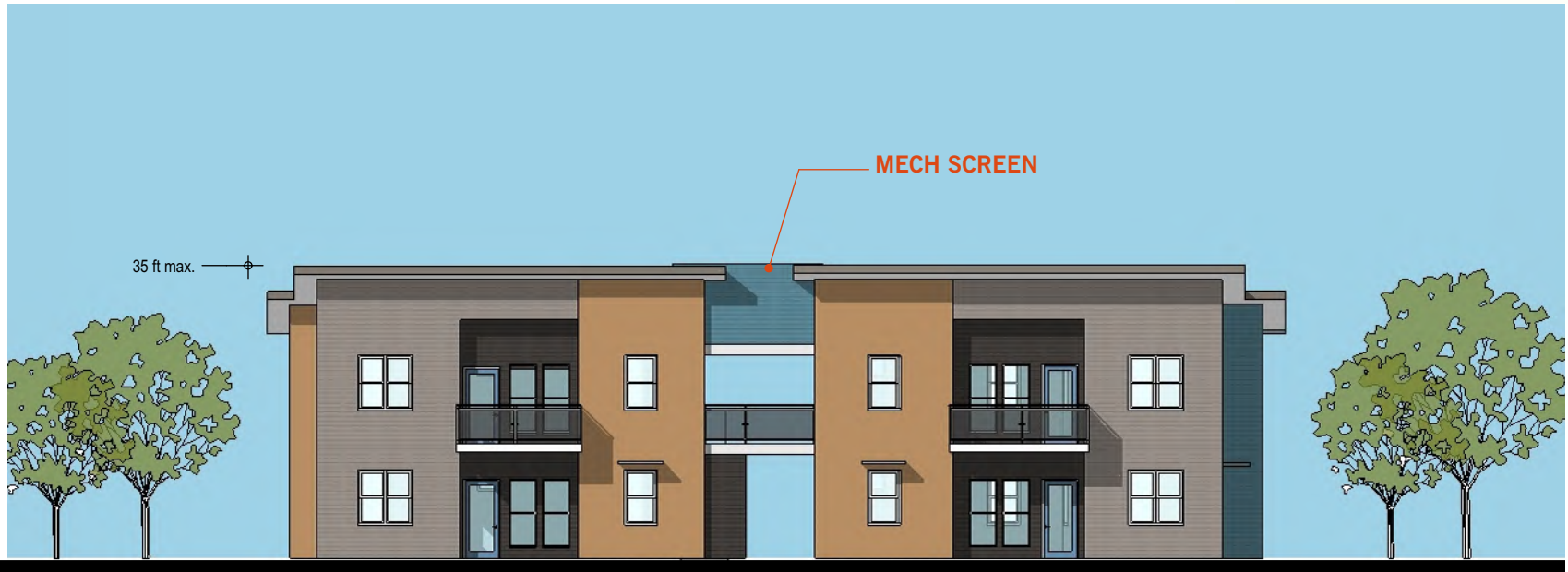




■ SIDE ELEVATION - SCALE 1/16"-1'-0"



■ AXONOMETRIC VIEW AT GARDEN/STREET SIDE, NTS

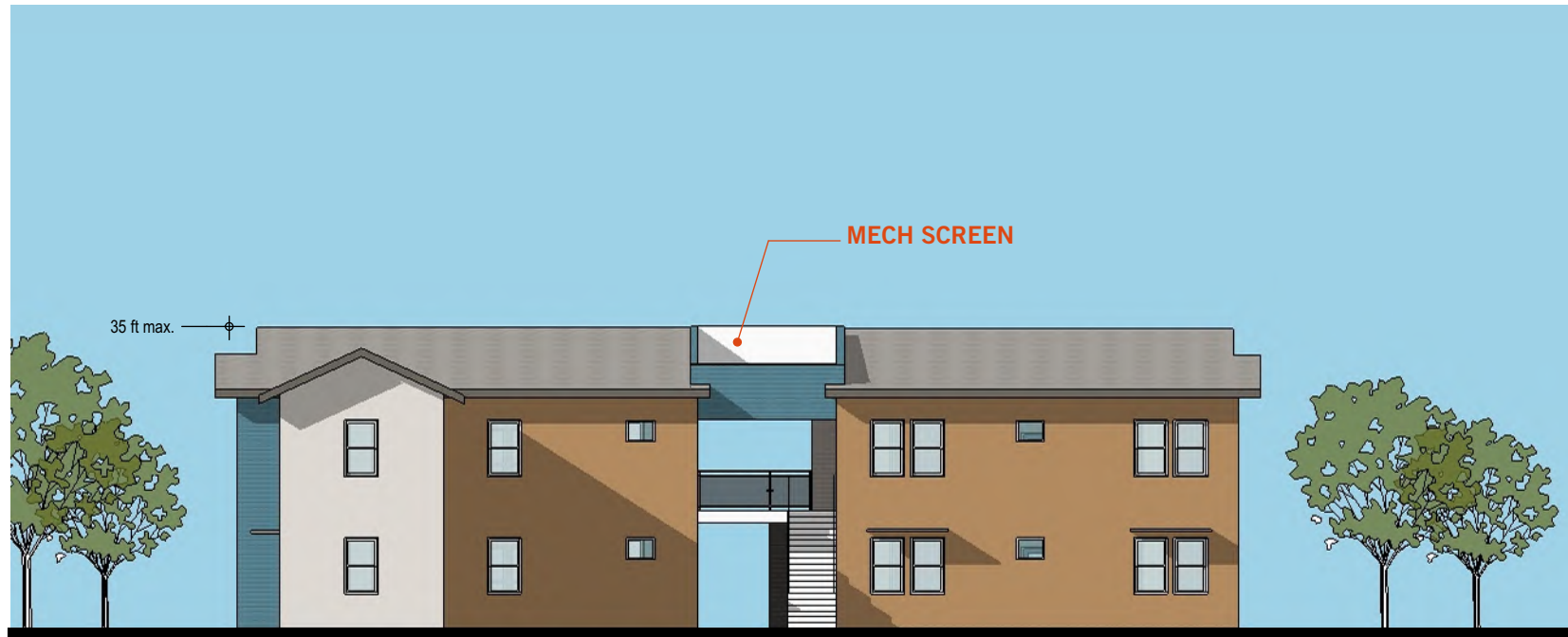


■ FRONT (GARDEN/STREET) ELEVATION - SCALE 1/16"-1'-0"

NOTE:  
ROOF SHOWN FOR ILLUSTRATIVE DESIGN PURPOSES. EXACT SLOPE, COLOR AND MATERIALS TO BE DETERMINED DURING BUILDING PERMIT SUBMITTAL.

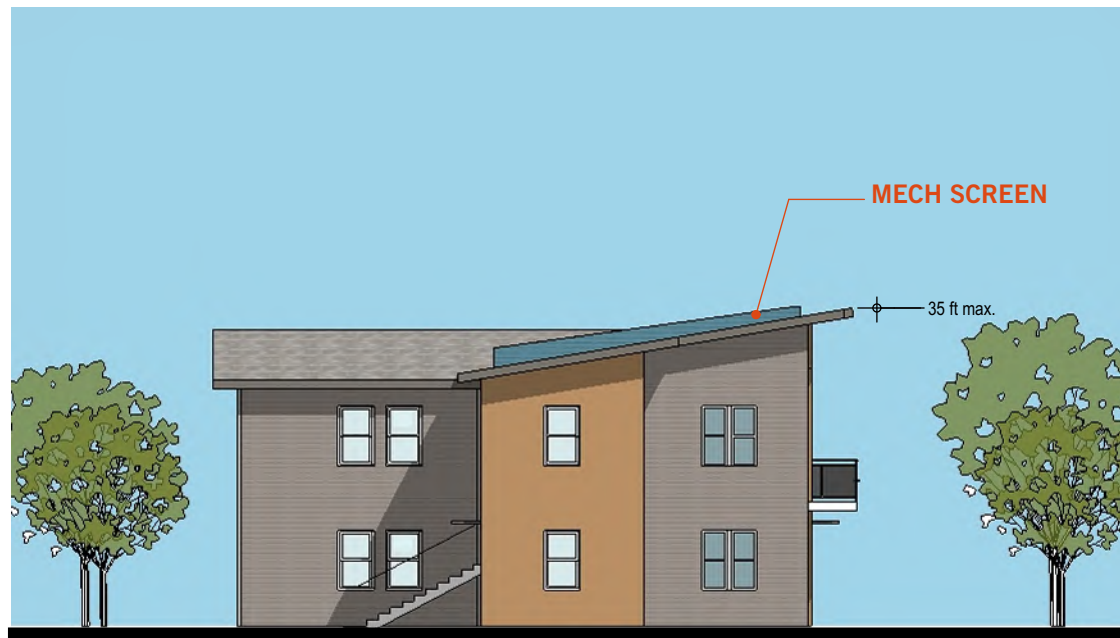
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BACK (PARKING) ELEVATION - SCALE 1/16"-1'-0"

NOTE:  
ROOF SHOWN FOR ILLUSTRATIVE DESIGN PURPOSES. EXACT SLOPE, COLOR AND MATERIALS TO BE DETERMINED DURING BUILDING PERMIT SUBMITTAL.



SIDE ELEVATION - SCALE 1/16"-1'-0"



AXONOMETRIC VIEW AT PARKING SIDE, NTS

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STREET ELEVATION - SCALE 1/16"-1'-0"



AXONOMETRIC VIEW - @ STREET, NTS

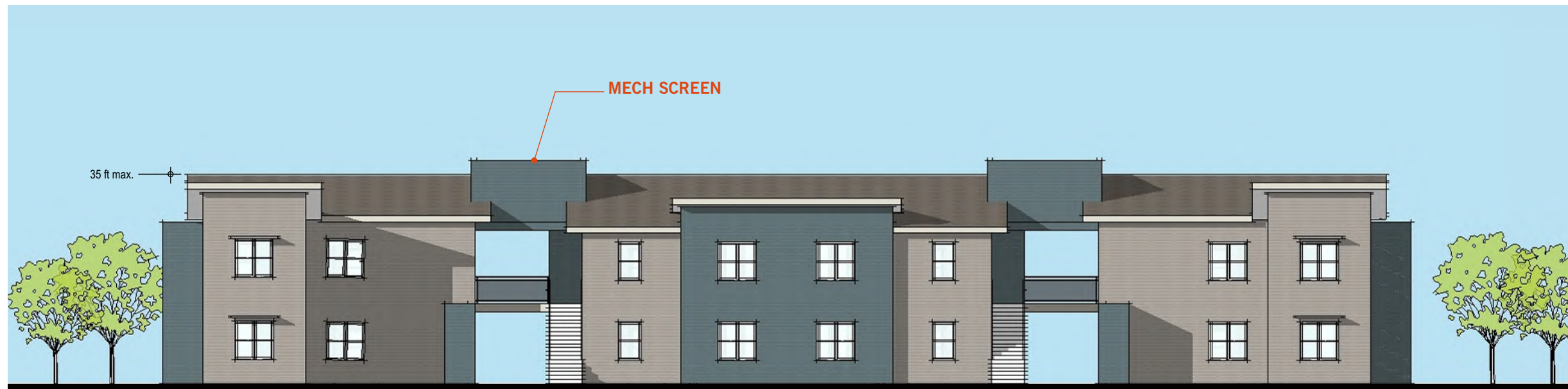
NOTE:  
ROOF SHOWN FOR ILLUSTRATIVE DESIGN PURPOSES. EXACT SLOPE, COLOR  
AND MATERIALS TO BE DETERMINED DURING BUILDING PERMIT SUBMITTAL.



SIDE ELEVATION - SCALE 1/16"-1'-0" - SCALE 1' = 1'-0"

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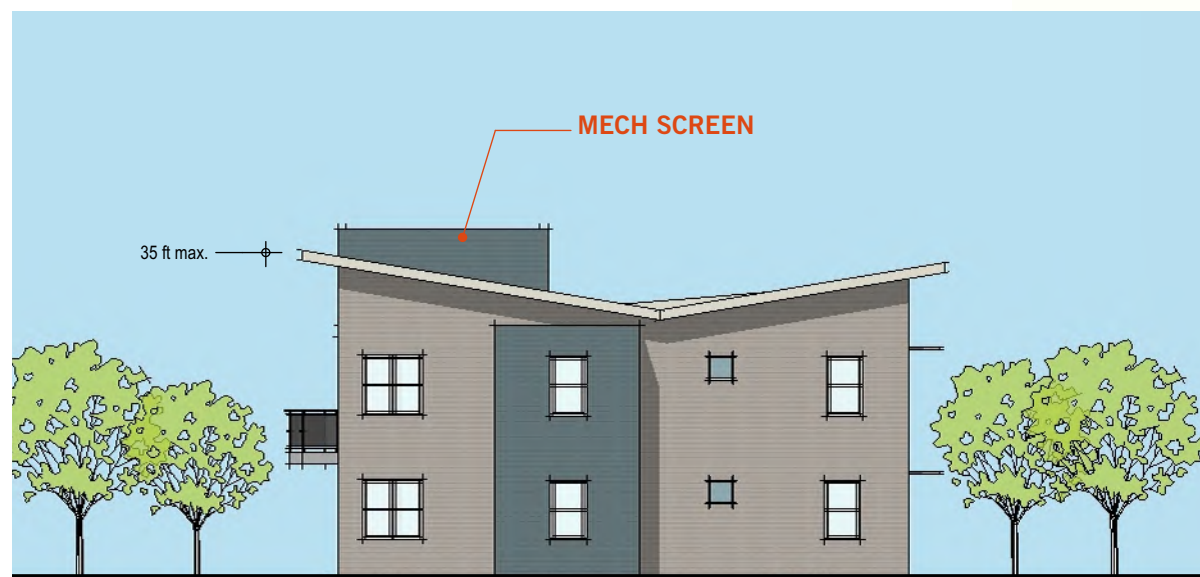


**PARKING ELEVATION - SCALE 1/16'-1'-0"**



**AXONOMETRIC VIEW AT PARKING SIDE, NTS**

NOTE:  
ROOF SHOWN FOR ILLUSTRATIVE DESIGN PURPOSES. EXACT SLOPE, COLOR  
AND MATERIALS TO BE DETERMINED DURING BUILDING PERMIT SUBMITTAL.



**SIDE ELEVATION - SCALE 1/16'-1'-0"**





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GREEN BUFFER

RETENTION POND

WEST COLORADO AVENUE

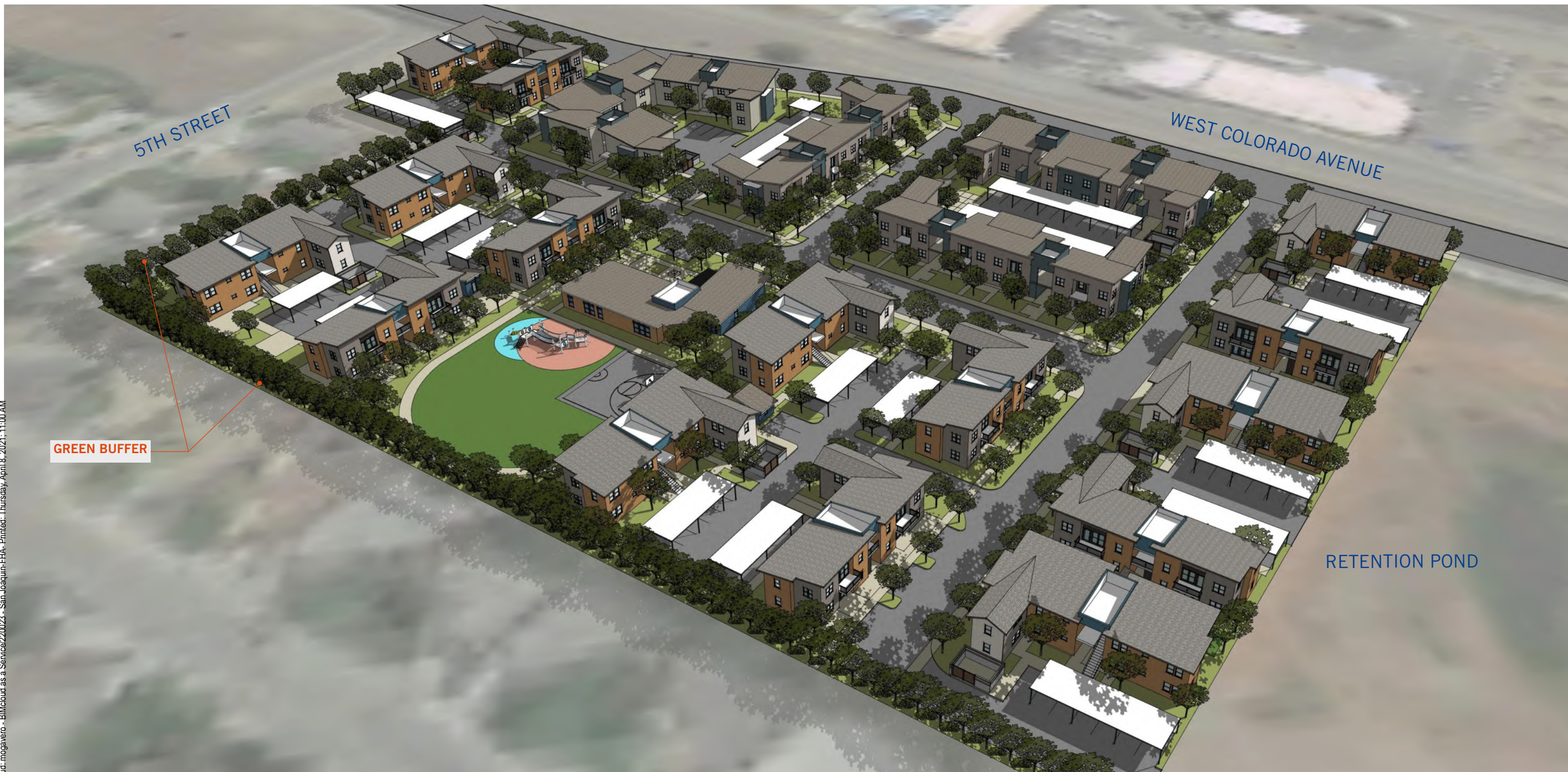
5TH STREET

BIRD'S EYE VIEW NTS

NOTE:  
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MATERIALS TO BE DETERMINED DURING BUILDING PERMIT SUBMITTAL.



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NOTE:  
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■ PERSPECTIVE AT COMMUNITY BUILDING - MAIN ENTRY ·





■ PERSPECTIVE AT LAUNDRY BUILDING