

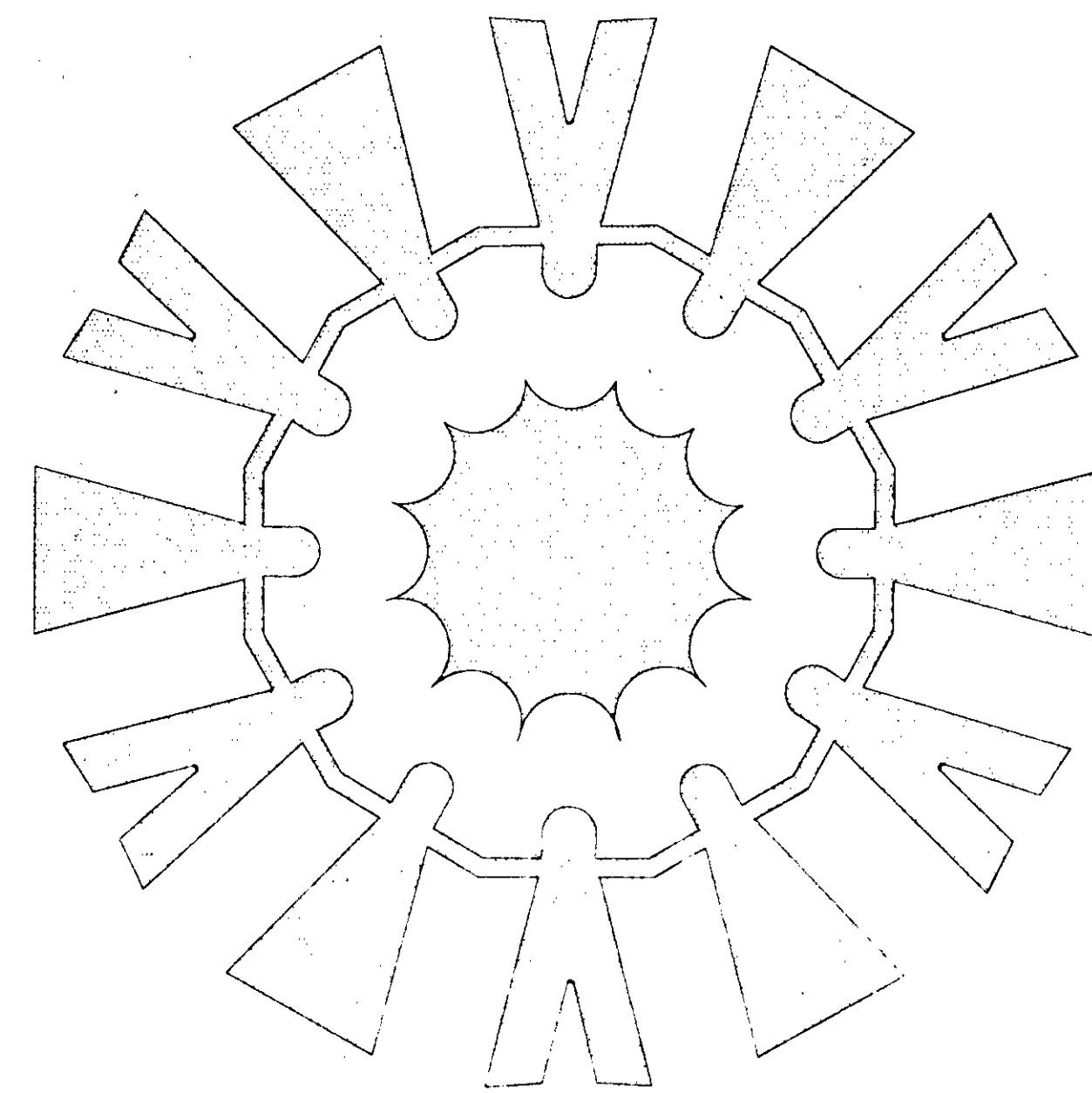
A RENOVATION TO TONY SUDEKUM HOMES

CIVIL SITE PACKAGE

TN PROJECT NO. 005-005

COMPREHENSIVE GRANT PROGRAM

U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT



METROPOLITAN DEVELOPMENT & HOUSING AGENCY

NASHVILLE, TENNESSEE

DECEMBER 19, 1994

WRJ PROJECT NO. 6018
CONSTRUCTION DOCUMENTS

 **williams • russell and johnson, inc.**
engineers • planners • architects

Nashville Branch • Suite 450
220 Athens Way
Nashville, Tennessee 37208
Telephone 615/254-2170

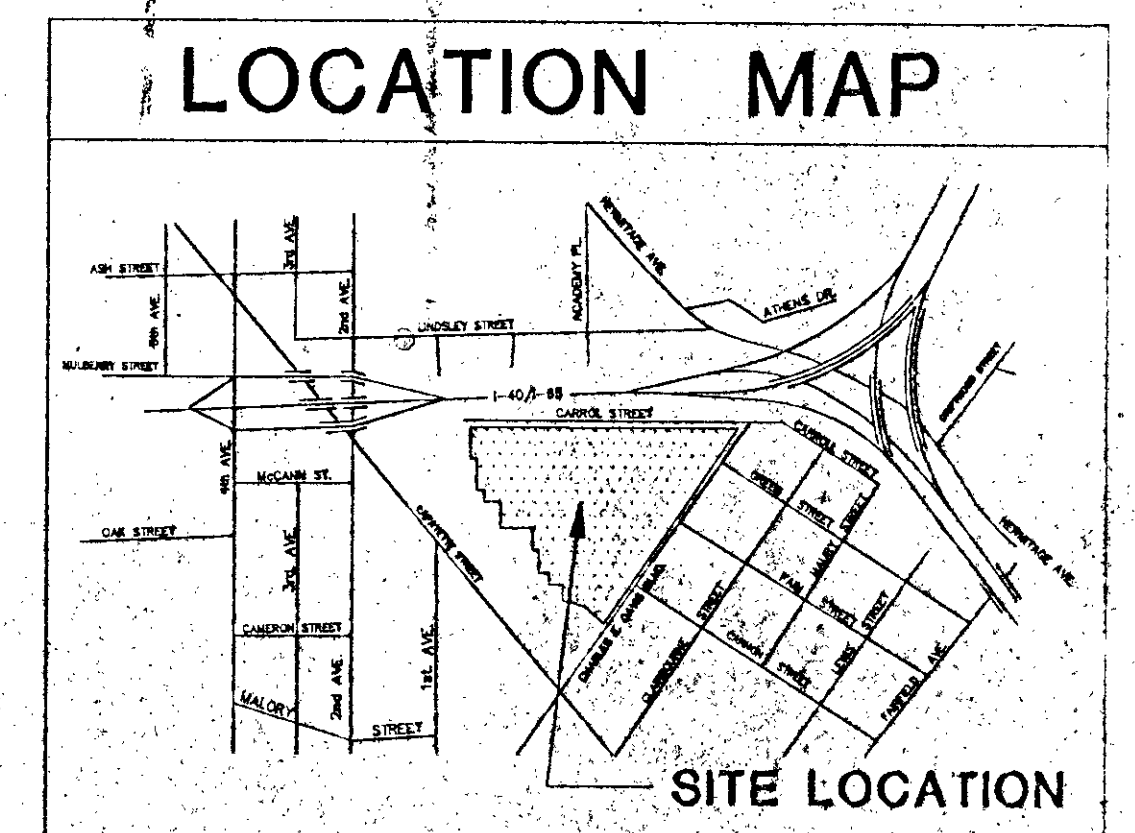
INDEX OF DRAWINGS

- T-1 TITLE SHEET
- C-1 STREET AND UTILITY EASEMENT PLAT
- C-2 EXISTING UTILITIES
- C-3A SITE IMPROVEMENTS
- C-3B SITE IMPROVEMENTS
- C-3C SITE IMPROVEMENTS
- C-3D PLANTING SCHEME
- C-4 PROPOSED UTILITIES 1"=80'
- C-5 PROPOSED GAS & WATER DISTRIBUTION 1"=50'
- C-6 PROPOSED GAS & WATER DISTRIBUTION 1"=50'
- C-7 PROPOSED GAS & WATER DISTRIBUTION 1"=50'
- C-8 PROPOSED SANITARY DISTRIBUTION 1"=50'
- C-9 PROPOSED SANITARY DISTRIBUTION 1"=50'
- C-10 PROPOSED SANITARY DISTRIBUTION 1"=50'
- C-11 SANITARY PROFILES
- C-12 SANITARY PROFILES
- C-13 SANITARY PROFILES
- C-14 SANITARY PROFILES
- C-15 PROPOSED GRADING, DRAINAGE AND STORM DISTRIBUTION 1"=50'
- C-16 PROPOSED GRADING, DRAINAGE AND STORM DISTRIBUTION 1"=50'
- C-17 PROPOSED GRADING, DRAINAGE AND STORM DISTRIBUTION 1"=50'
- C-18 STORM PROFILES
- C-19 STORM PROFILES
- C-20 DETAILS
- C-21 DETAILS
- C-22 DETAILS
- C-23 DETAILS
- C-24 DETAILS
- C-25 DETAILS

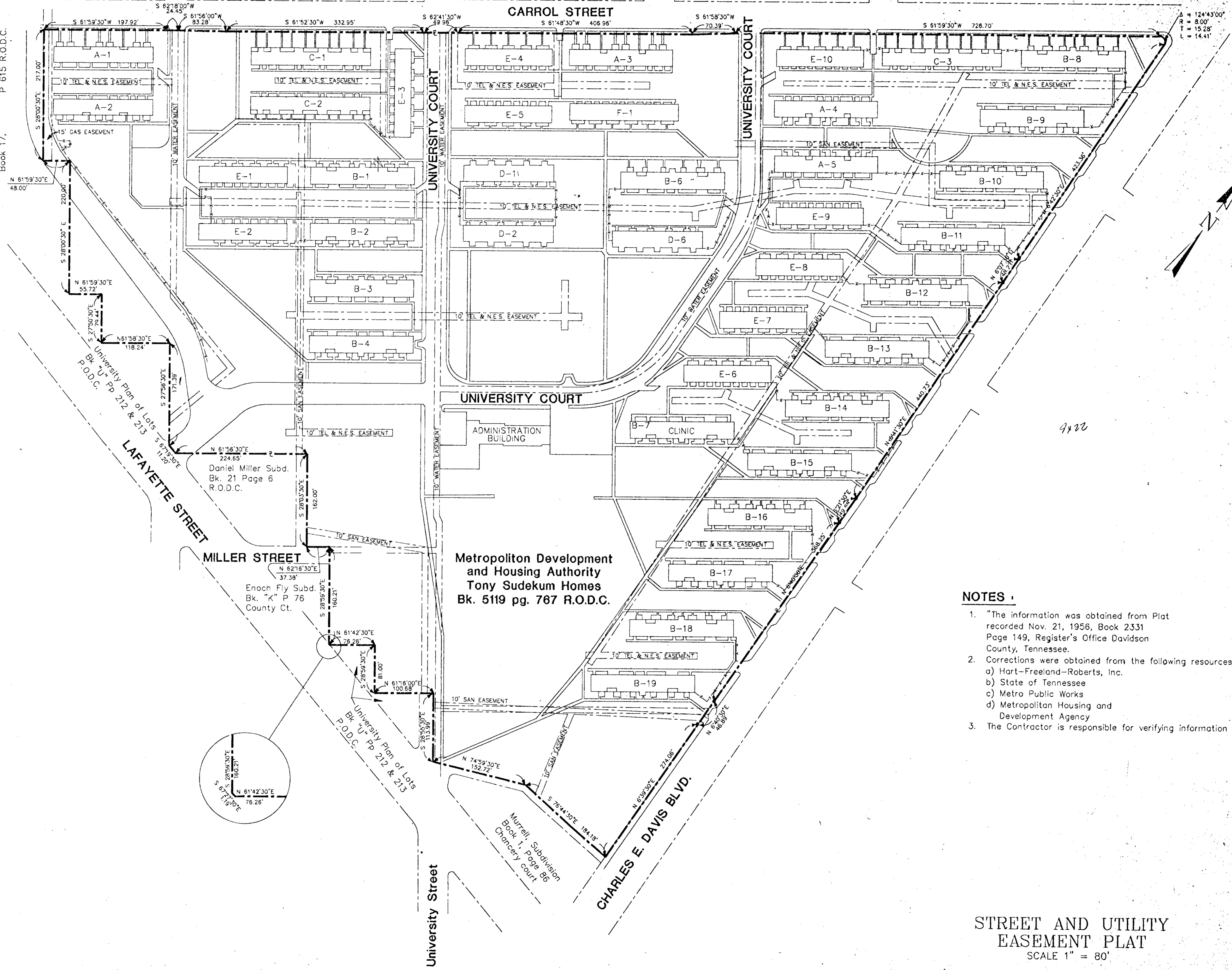
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1-25-95

Handwritten: Tony Sudekum

Handwritten: HFR



Plan of
Irwin's Lots
South Nashville
Book 17,
P 615 R.O.D.C.



University Plan of Lots
Bk. U, Pp. 212 & 213
P.O.D.C.

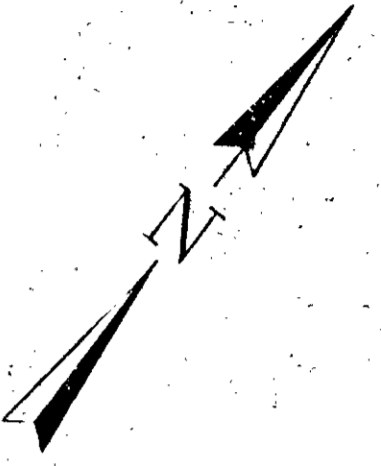
Daniel Miller Subd.
Bk. 21 Page 6
R.O.D.C.

Enoch Fly Subd.
Bk. "K" P 76
County Ct.

University Plan of Lots
Bk. U, Pp. 212 & 213
P.O.D.C.

Metropolitan Development
and Housing Authority
Tony Sudekum Homes
Bk. 5119 pg. 767 R.O.D.C.

Murrell, Subdivision
Book 1, Page 86
Chancery court



A = 124'43"00"
R = 8.00'
T = 15.28'
L = 14.41'

NOTES :

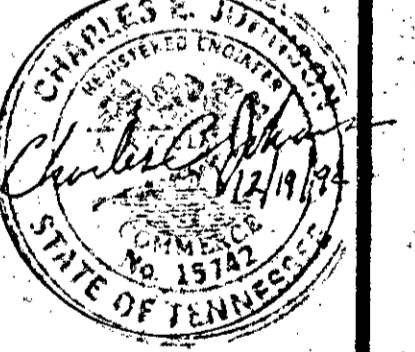
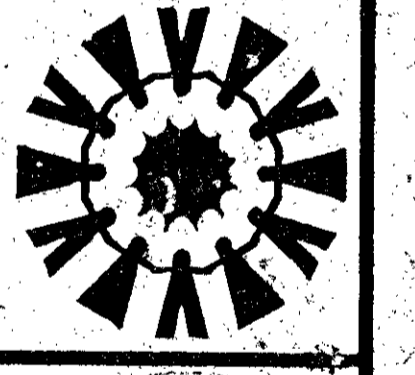
- "The information was obtained from Plat recorded Nov. 21, 1956, Book 2331 Page 149, Register's Office Davidson County, Tennessee.
- Corrections were obtained from the following resources:
a) Hart-Freeland-Roberts, Inc.
b) State of Tennessee
c) Metro Public Works
d) Metropolitan Housing and Development Agency
- The Contractor is responsible for verifying information

**STREET AND UTILITY
EASEMENT PLAT**
SCALE 1" = 80'

Williams • Russell and Johnson, Inc.
engineers • planners • architects
Nashville Branch, Suite 450
220 Athens Way
Nashville, Tennessee 37203
Telephone 615/254-2176

DRAWN BY: WLB CADD FILE NO. C-1
CHECKED BY: GVD PLOT DATE: 6-25-94

TONY SUDEKUM HOME RENOVATION
TN005-005
METROPOLITAN DEVELOPMENT & HOUSING AGENCY
OF NASHVILLE & DAVIDSON COUNTY
NASHVILLE, TENNESSEE



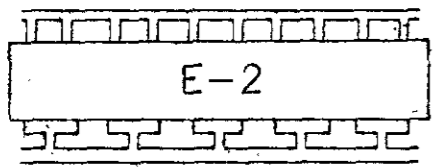
WR& Project No.:
6018
DATE: 12/10/94

NO.	DATE	REVISION

SHEET NO.
C-1

LEGEND

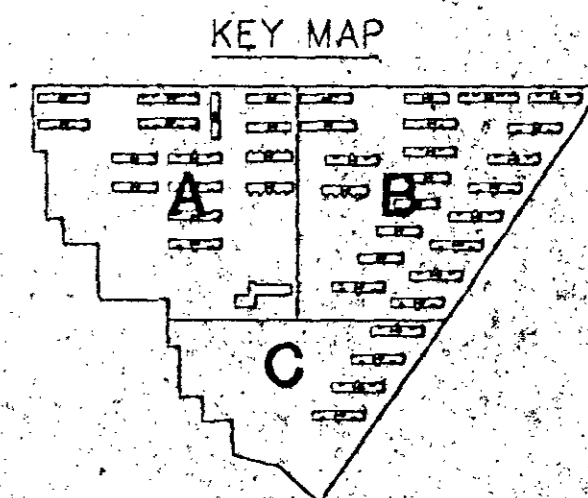
-x-x-x-x-x-	FENCING
-----	PROJECT BOUNDARY
-6" W	EXISTING WATER
-6" G	EXISTING GAS
-15"	EXISTING STORM
-10" SAN	EXISTING COMBINATION SEWER
- - - - -	EXISTING EASEMENTS
⊕	EXISTING FIRE HYDRANT
○	EXISTING MANHOLE
□ _{DI}	EXISTING DROP INLET
⊞	EXISTING CUT-OFF VALVE
⊞	EXISTING WATER METER
⊞	EXISTING GAS METER



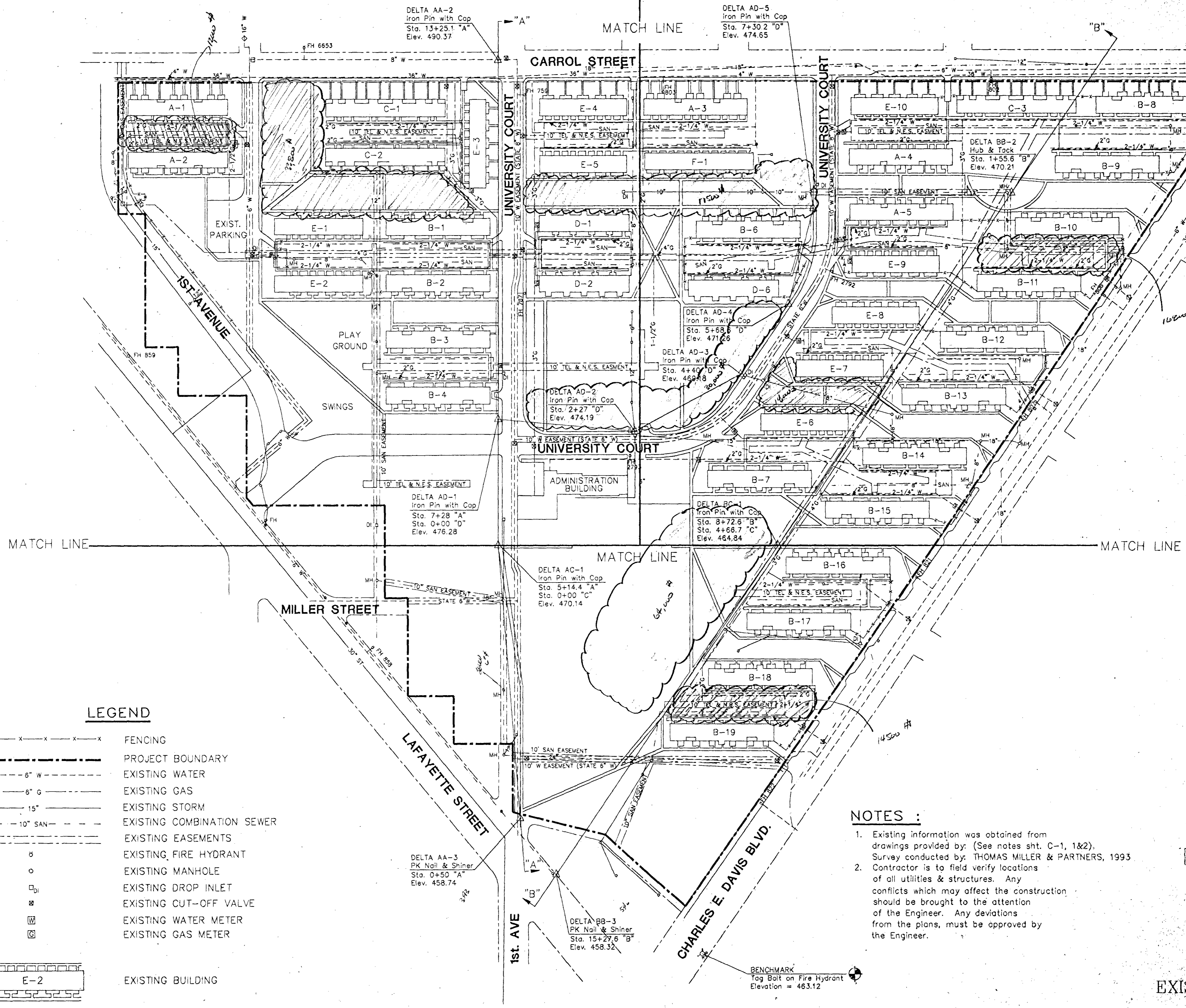
EXISTING BUILDING

NOTES :

- Existing information was obtained from drawings provided by: (See notes sht. C-1, 1&2). Survey conducted by: THOMAS MILLER & PARTNERS, 1993.
- Contractor is to field verify locations of all utilities & structures. Any conflicts which may affect the construction should be brought to the attention of the Engineer. Any deviations from the plans, must be approved by the Engineer.



EXISTING UTILITIES
SCALE 1" = 80'



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FAX: (615) 259-1101

TONY SUDEKUM HOME RENOVATION
INC005-005

METROPOLITAN DEVELOPMENT & HOUSING AGENCY
OF NASHVILLE & DAVIDSON COUNTY
NASHVILLE, TENNESSEE

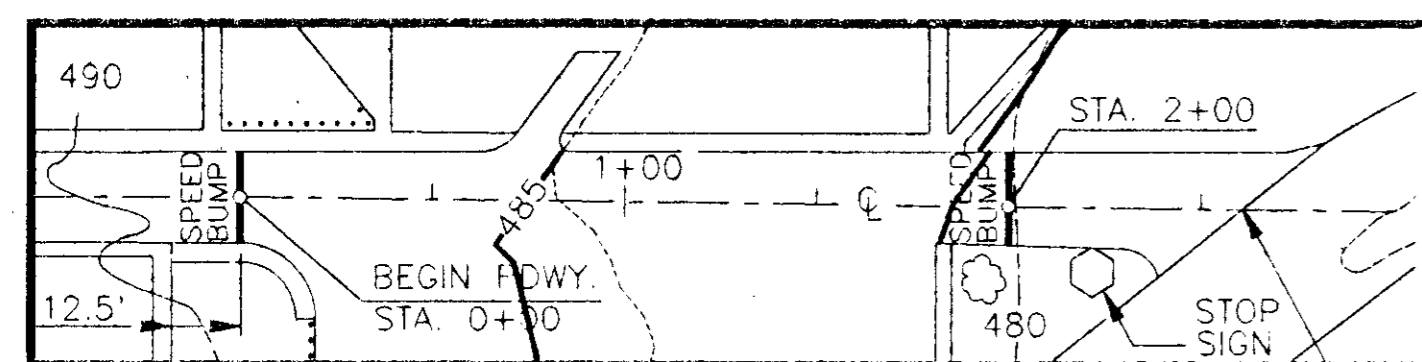
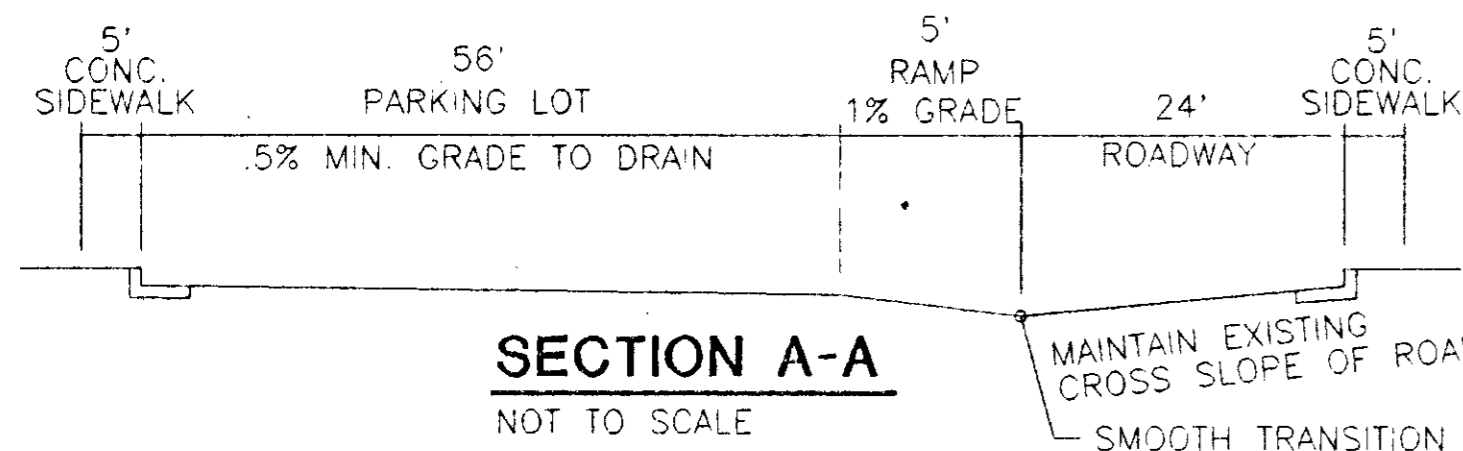
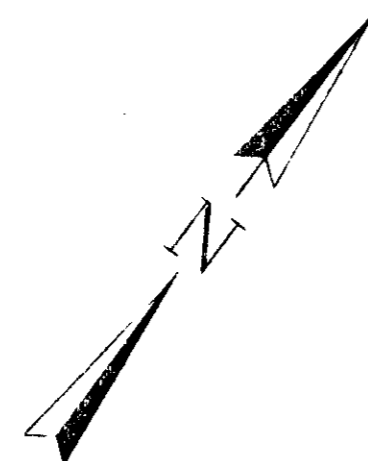
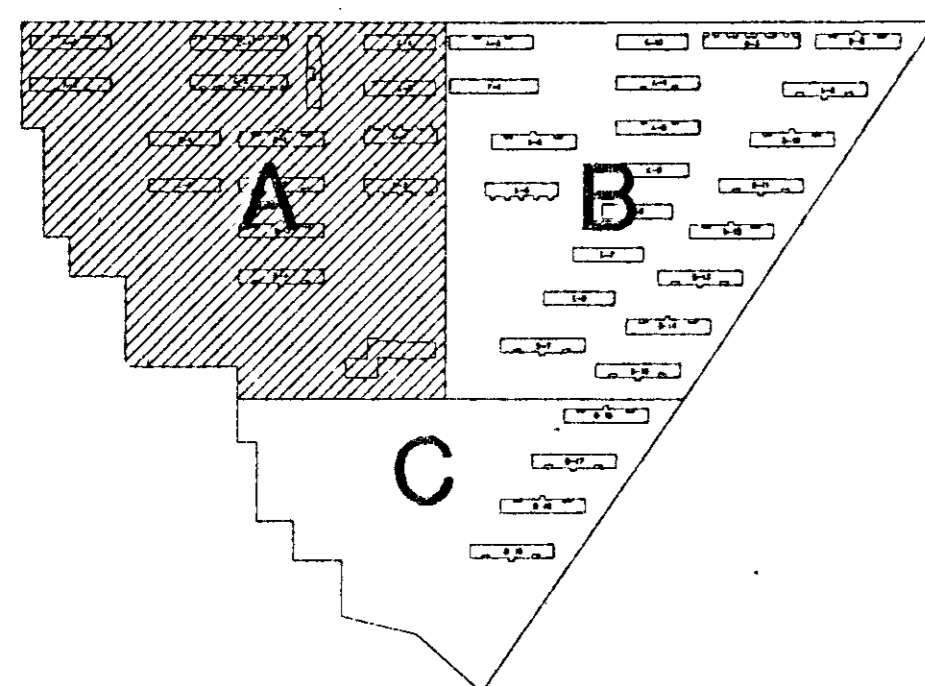
DRAWN BY: J.B. CADDO FILE NO.: C-2
CHECKED BY: G.O. / PLOT DATE:

WR&J Project No.: 6018
DATE: 6/29/94

NO.	DATE	REVISION

SHEET NO. C-2

KEY MAP



NOTE: EXIST. GRADES SHOWN ARE APPROXIMATE. CONTRACTOR TO VERIFY ALL ELEVATIONS PRIOR TO COMMENCING WORK. ANY SIGNIFICANT CHANGE MUST BE APPROVED BY ENGINEER.

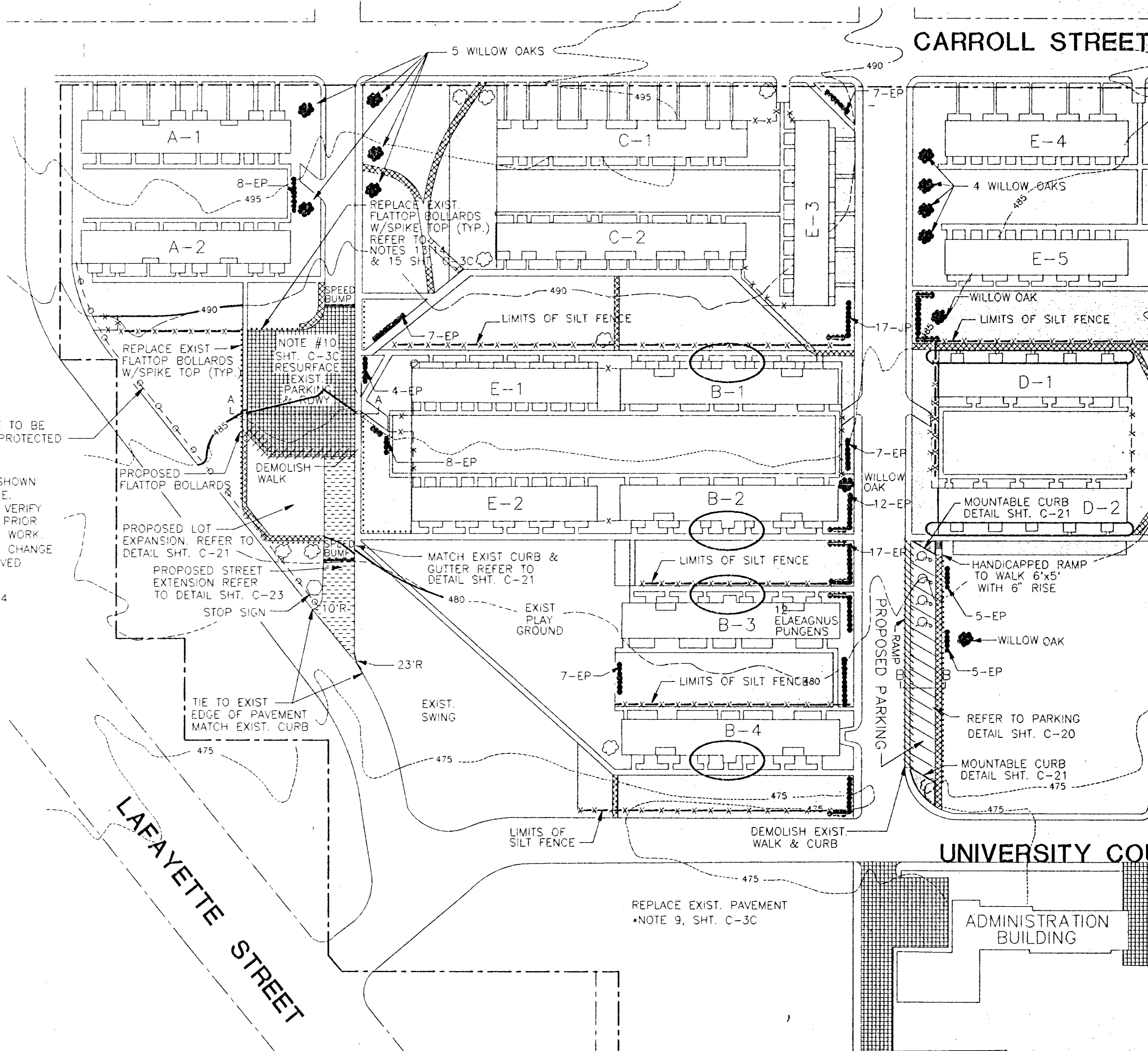
END RDWY. STA. 2+60.94 TIE TO EXIST. ROADWAY

PLAN & PROFILE RDWY. EXTENSION

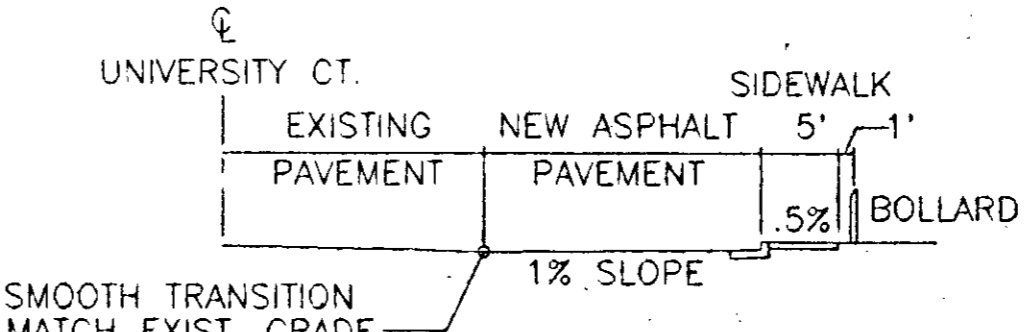
SCALE 1" = 50'-0"

LEGEND

- RESURFACING (ASPHALTIC PAVEMENT)
- NEW PLANTS
- NEW TREES
- NEW SHRUBS
- EXIST. BOLLARDS
- NEW BOLLARDS
- CHAIN LINK FENCE
- WROUGHT IRON FENCING
- SILT FENCE
- GRASS
- NEW SIDEWALK (CONCRETE)
- PERMANENT EROSION CONTROL AREAS (6" TOPSOIL/SEED & SOD)
- NEW STREET EXPANSION
- HANDICAPPED UNIT/PARKING SPACES
- EXISTING BUILDING
- PROPOSED PAVED AREAS BENEATH EXTERIOR STAIRWELLS (3 STAIRWELLS BLDG. TYPE "B" TYP., 5 STAIRWELLS BLDG TYPE "D")



- NOTES:
1. ALL SHRUBS ARE 3' TALL (B&B)
 2. ALL TREES 2-1/2"-3" CALIPER
 3. FOR PLANTING SCHEMES SEE SHEET C-3D



SECTION B-B
N.T.S.

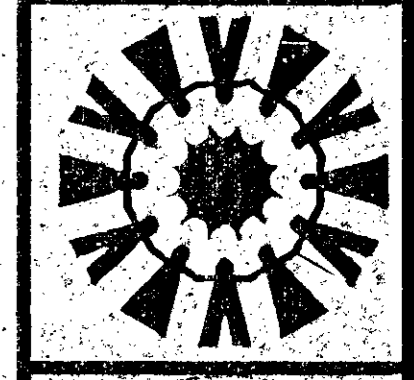
SITE IMPROVEMENTS
SCALE 1" = 50'

NOTE: CONTRACTOR IS TO NOTIFY ENGINEER IF HANDICAPPED RAMP VERTICAL RISE IS GREATER THAN 6" OR HORIZONTAL PROJECTION IS GREATER THAN 72". NO HANDRAILS NEEDED.

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DRAWN BY: WLB CADD FILE NO.: C-5
CHECKED BY: CWD PLOT DATE: 6-2-94

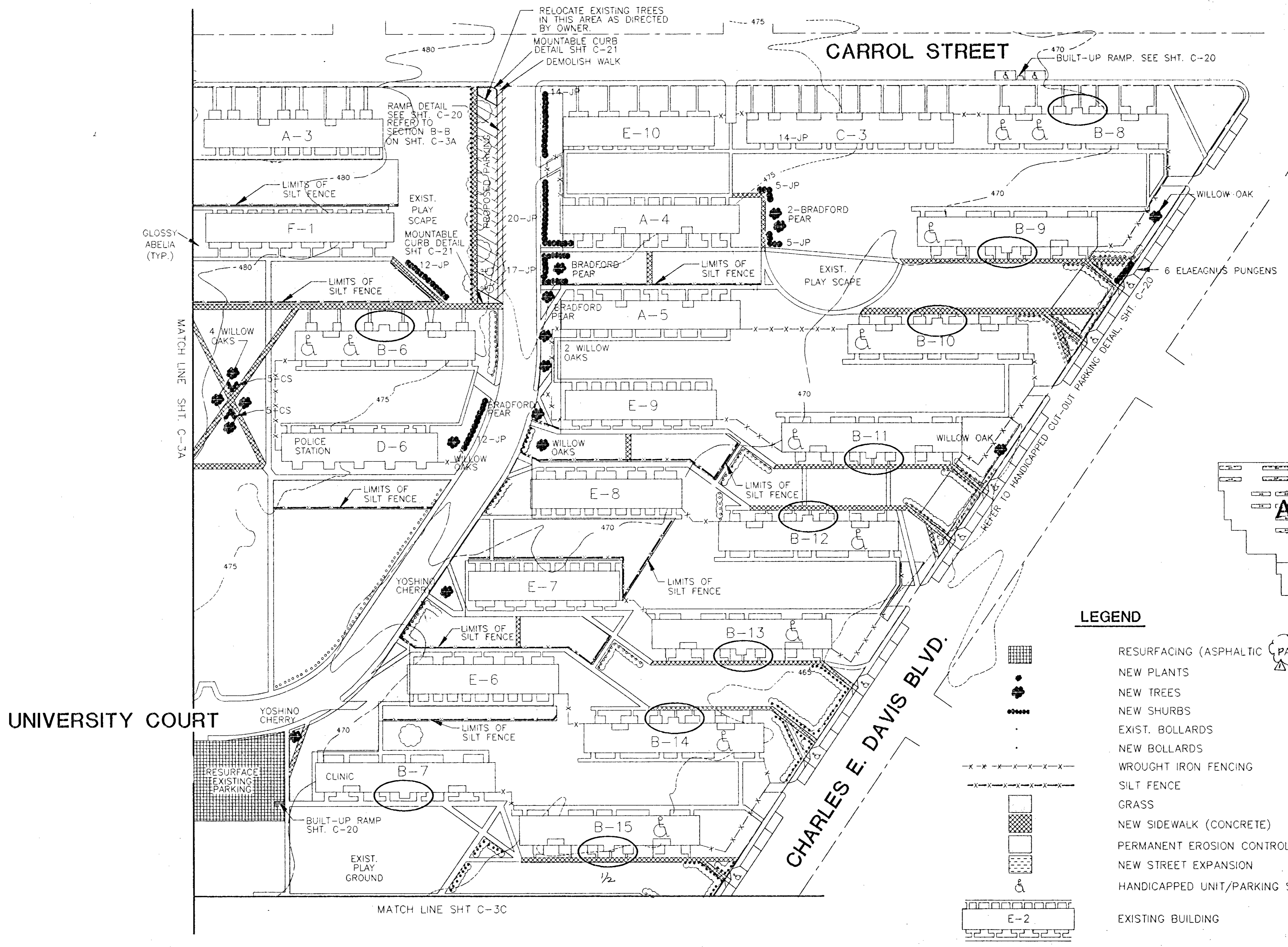
TONY SUDEKUM HOME RENOVATION
TN005-005
METROPOLITAN DEVELOPMENT & HOUSING AGENCY
OF NASHVILLE & DAVIDSON COUNTY
NASHVILLE, TENNESSEE



WR&J Project No.: 6018
DATE: 12/19/94

DATE	REVISION
12/19/94	Corrected Typing of Revision No.

SHEET NO.
C-3A



UNIVERSITY COURT

CARROL STREET

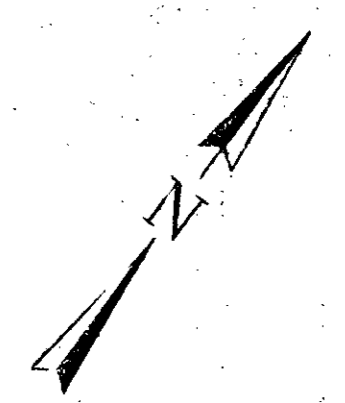
CHARLES E. DAVIS BLVD.

GLOSSY ABELIA (TYP.)

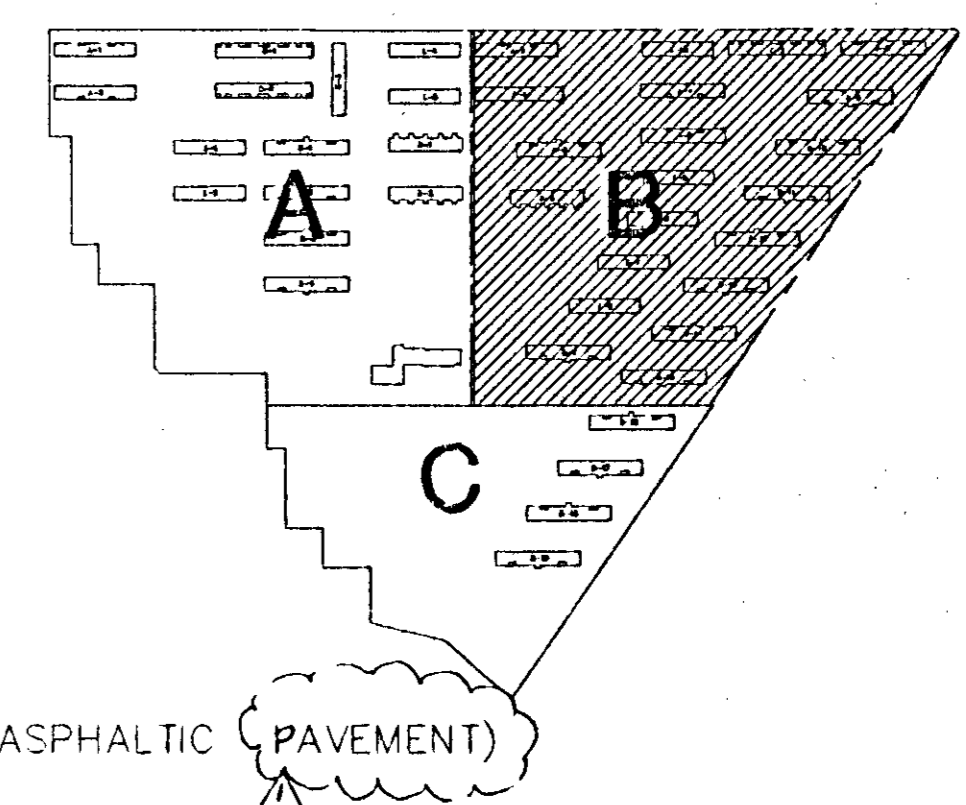
MATCH LINE SHT. C-3A

MATCH LINE SHT C-3C

NOTE: ALL SHRUBS ARE 3' TALL (B&B)
ALL TREES 2-1/2"-3" CALIPER



KEY MAP

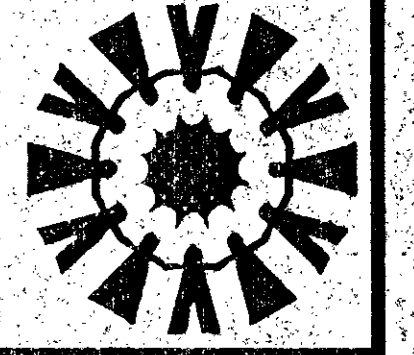


LEGEND

- RESURFACING (ASPHALTIC PAVEMENT)
- NEW PLANTS
- NEW TREES
- NEW SHRUBS
- EXIST. BOLLARDS
- NEW BOLLARDS
- WROUGHT IRON FENCING
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- NEW SIDEWALK (CONCRETE)
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- EXISTING BUILDING
- PROPOSED PAVED AREAS BENEATH EXTERIOR STAIRWELLS.
(3 STAIRWELLS BLDG. TYPE "B" TYP., 5 STAIRWELLS BLDG. TYPE "D")

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Nashville Branch, Suite 1815
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Telephone 615/259-2170
DRAWN BY: WLB CAD FILE NO. C-3B
CHECKED BY: GAO PROJ. DATE: 6-25-95

TONY SUDEKUM HOME RENOVATION
TN005-005
METROPOLITAN DEVELOPMENT & HOUSING AGENCY
OF NASHVILLE & DAVIDSON COUNTY
NASHVILLE, TENNESSEE



WR&J Project No. 601a
DATE: 12/19/94

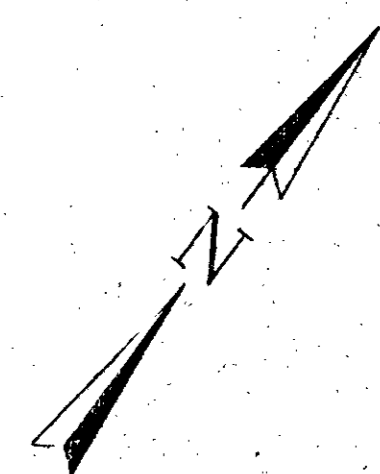
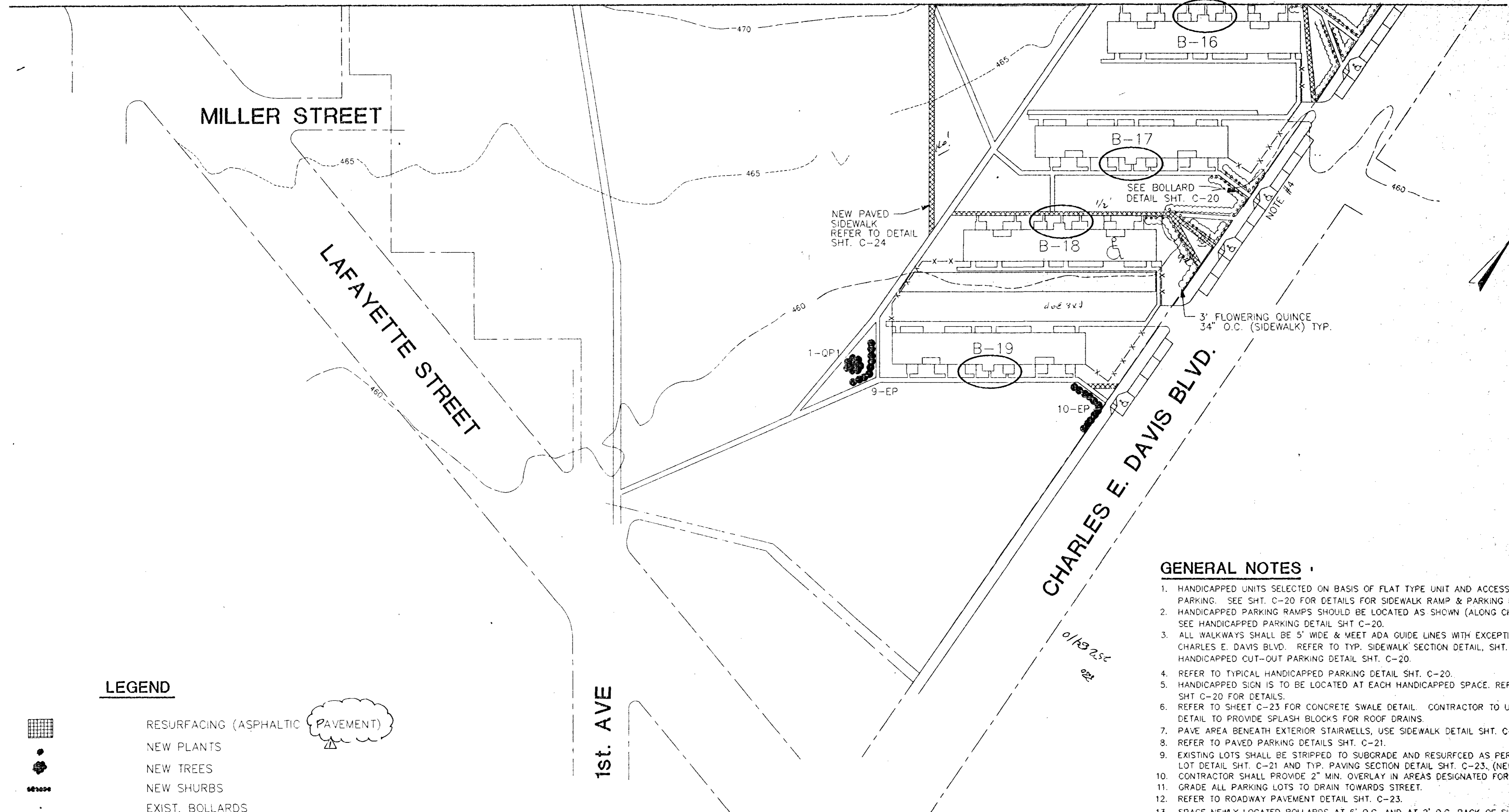
NO.	DATE	REVISION
1	12/19/94	CONCEPT DESIGN OF PROJECT
2		REVISED PER COMMENTS

SHEET NO. C-3B





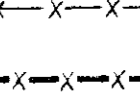

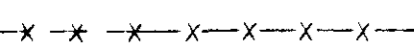
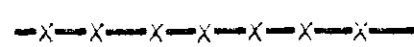

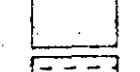
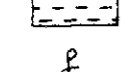
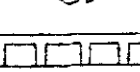
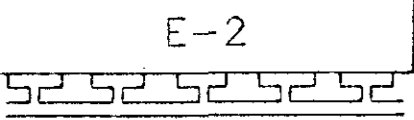
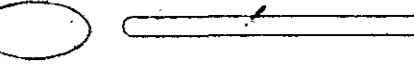
SITE IMPROVEMENTS
SCALE 1" = 50'

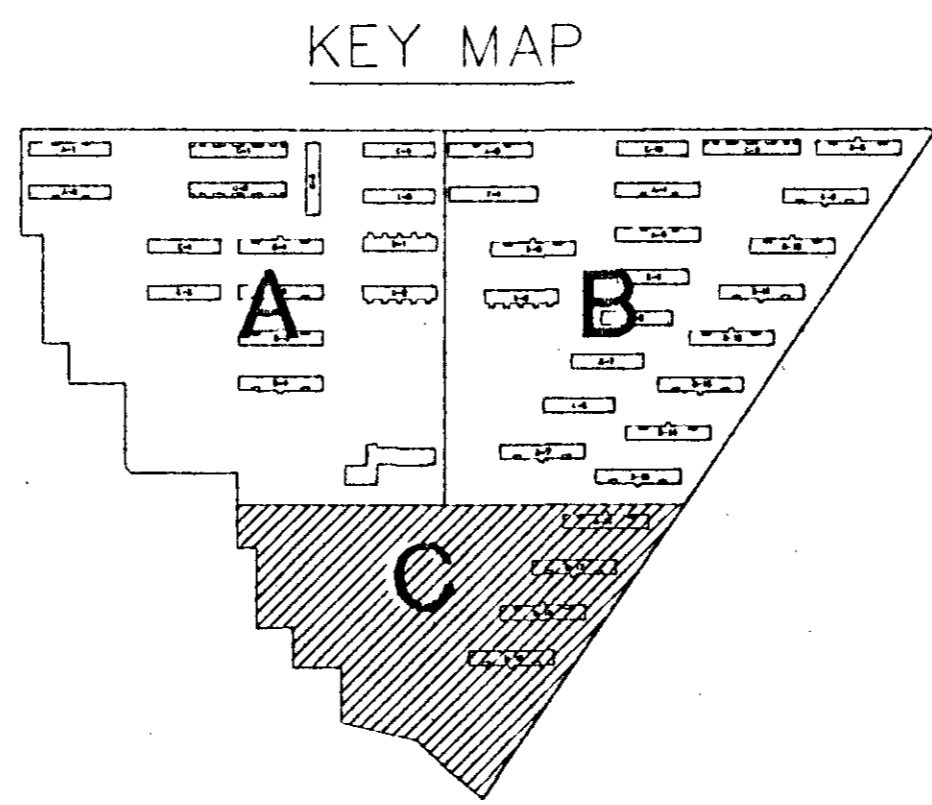
MATCH LINE SHT C-3A

MATCH LINE SHT C-3B



LEGEND

-  RESURFACING (ASPHALTIC PAVEMENT)
-  NEW PLANTS
-  NEW TREES
-  NEW SHRUBS
-  EXIST. BOLLARDS
-  NEW BOLLARDS
-  WROUGHT IRON FENCING
-  SILT FENCE
-  NEW SIDEWALK (CONCRETE)
-  PERMANENT EROSION CONTROL AREAS (6" TOPSOIL/SEED & SOD)
-  NEW STREET EXPANSION
-  HANDICAPPED UNIT/PARKING SPACES
-  EXISTING BUILDING
-  PROPOSED PAVED AREAS BENEATH EXTERIOR STAIRWELLS. (3 STAIRWELLS BLDG. TYPE "B" TYP., 5 STAIRWELLS BLDG TYPE "D").



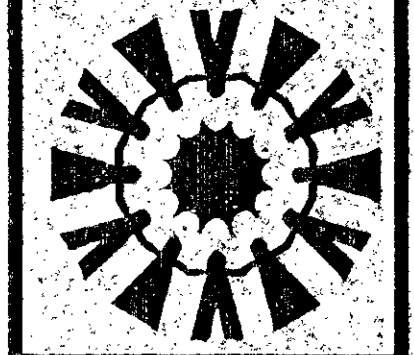
GENERAL NOTES

1. HANDICAPPED UNITS SELECTED ON BASIS OF FLAT TYPE UNIT AND ACCESSIBILITY TO PARKING. SEE SHT. C-20 FOR DETAILS FOR SIDEWALK RAMP & PARKING DETAILS.
2. HANDICAPPED PARKING RAMP SHOULD BE LOCATED AS SHOWN (ALONG CHARLES DAVIS BLVD.) SEE HANDICAPPED PARKING DETAIL SHT. C-20.
3. ALL WALKWAYS SHALL BE 5' WIDE & MEET ADA GUIDE LINES WITH EXCEPTION TO THOSE ALONG CHARLES E. DAVIS BLVD. REFER TO TYP. SIDEWALK SECTION DETAIL, SHT. C-24 AND HANDICAPPED CUT-OUT PARKING DETAIL SHT. C-20.
4. REFER TO TYPICAL HANDICAPPED PARKING DETAIL SHT. C-20.
5. HANDICAPPED SIGN IS TO BE LOCATED AT EACH HANDICAPPED SPACE. REFER TO SHT. C-20 FOR DETAILS.
6. REFER TO SHEET C-23 FOR CONCRETE SWALE DETAIL. CONTRACTOR TO USE THIS DETAIL TO PROVIDE SPLASH BLOCKS FOR ROOF DRAINS.
7. PAVE AREA BENEATH EXTERIOR STAIRWELLS, USE SIDEWALK DETAIL SHT. C-24.
8. REFER TO PAVED PARKING DETAILS SHT. C-21.
9. EXISTING LOTS SHALL BE STRIPPED TO SUBGRADE AND RESURFICED AS PER TYP. PARKING LOT DETAIL SHT. C-21 AND TYP. PAVING SECTION DETAIL SHT. C-23, (NEW ROADWAY). CONTRACTOR SHALL PROVIDE 2" MIN. OVERLAY IN AREAS DESIGNATED FOR RE-SURFACING.
10. GRADE ALL PARKING LOTS TO DRAIN TOWARDS STREET.
11. REFER TO ROADWAY PAVEMENT DETAIL SHT. C-23.
12. SPACE NEWLY LOCATED BOLLARDS AT 6' O.C. AND AT 2' O.C. BACK OF SIDEWALK, AND 4' O.C. OTHERWISE. IN AREAS WHERE EXISTING BOLLARDS ARE BEING REPLACED, MAINTAIN EXISTING SPACING.
13. EXISTING AND PROPOSED BOLLARDS ARE SHOWN. REPLACE ALL WORN AND FLAT TOP BOLLARDS WITH TYPE SHOWN ON BOLLARD DETAIL, SHT. C-20.
14. CONTRACTOR TO INCLUDE IN BASE BID PRICE TO REPLACE 171 BOLLARDS AND PRICE TO INSTALL BOLLARDS IN NEW LOCATIONS AS SHOWN.
15. REFER TO SPECIFICATIONS FOR PERMANENT EROSION CONTROL METHODS.
16. MATCH EXISTING SHRUBBERY TYPES, UNLESS OTHERWISE NOTED. SEE LANDSCAPE DETAILS SHT. C-25, FOR PLANTING INSTRUCTIONS.
17. REFER TO SPECIFICATION FOR SEEDING & SODDING INSTRUCTIONS.
18. CONTRACTOR SHALL REPLACE ALL CLOTHES LINES.
19. CONTRACTOR IS TO REPLACE AND/OR REPAIR ALL FENCING DISTURBED BY CONTRACTOR.
20. ALL EXISTING FENCING, TO BE REPLACED OR REDRESSED AS DIRECTED BY OWNER. ALL CAPS SHALL BE REPLACED ON EXISTING WROUGHT IRON FENCING.
21. ALL DAMAGED SIDEWALKS ARE TO BE REPLACED.
22. ALL AREAS DAMAGED BY TRUCK TRAFFIC DURING CONSTRUCTION SHALL BE REGRADED & REPAIRED.

SITE IMPROVEMENTS
SCALE 1" = 50'

williams, russell and johnson, inc.
engineers, planners, architects
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Nashville, Tennessee 37228
Telephone 615/254-3170
DRAWN BY: WLB CAD FILE NO. C-30
CHECKED BY: GAO DATE: 8-27-94

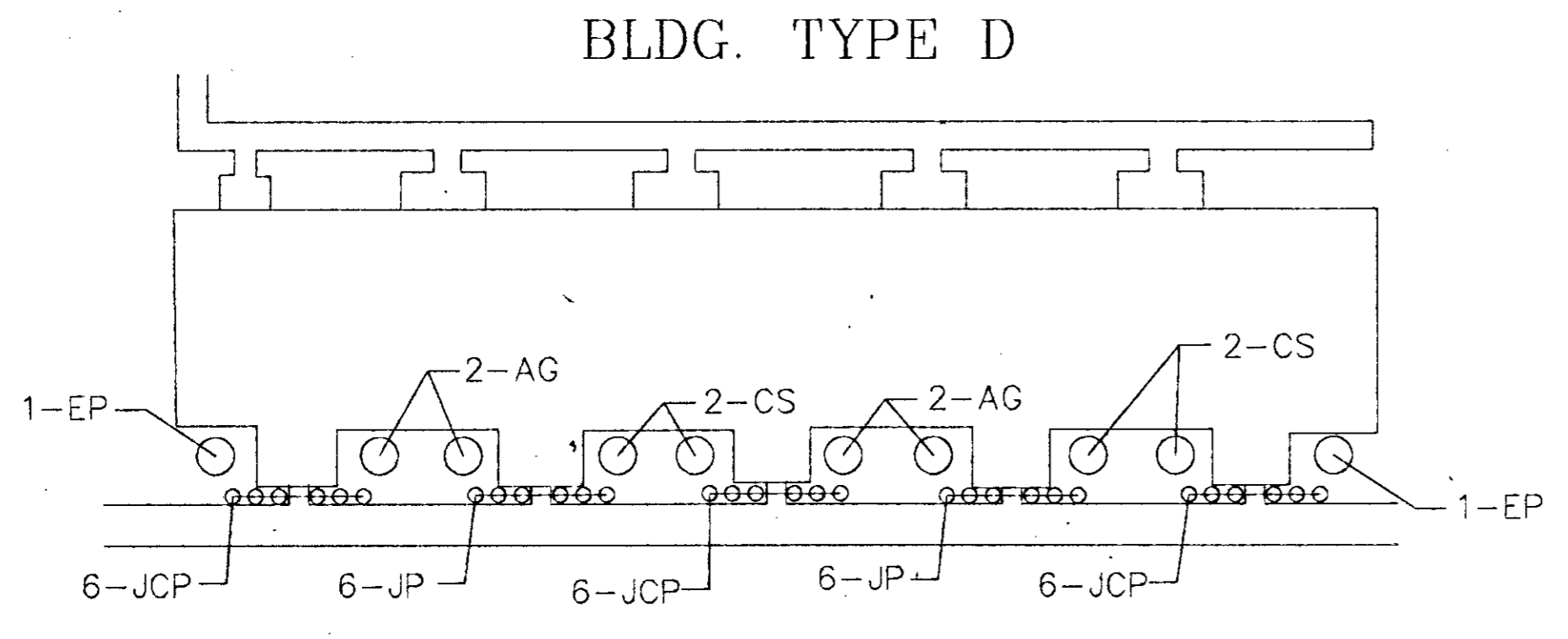
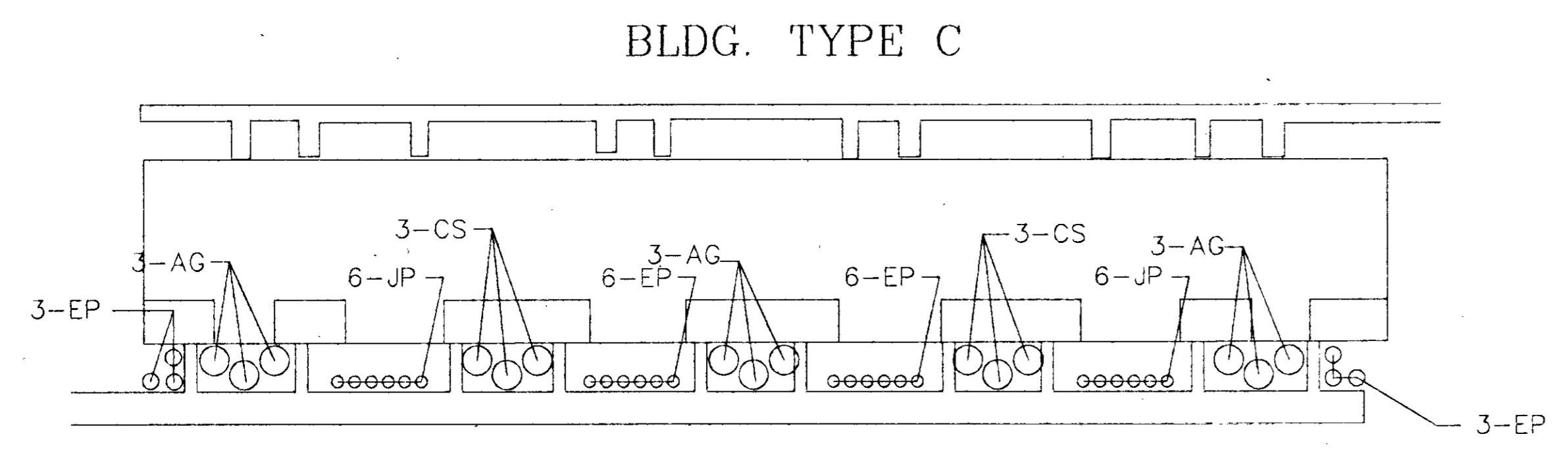
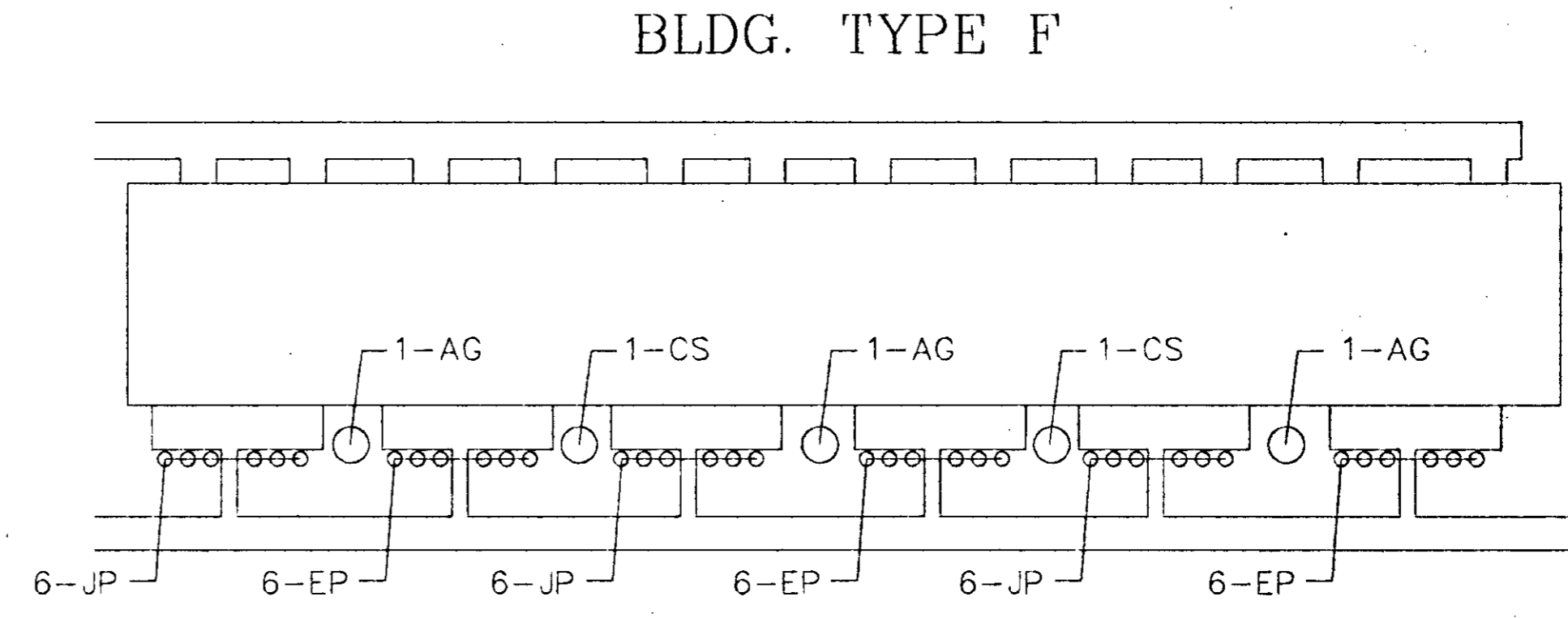
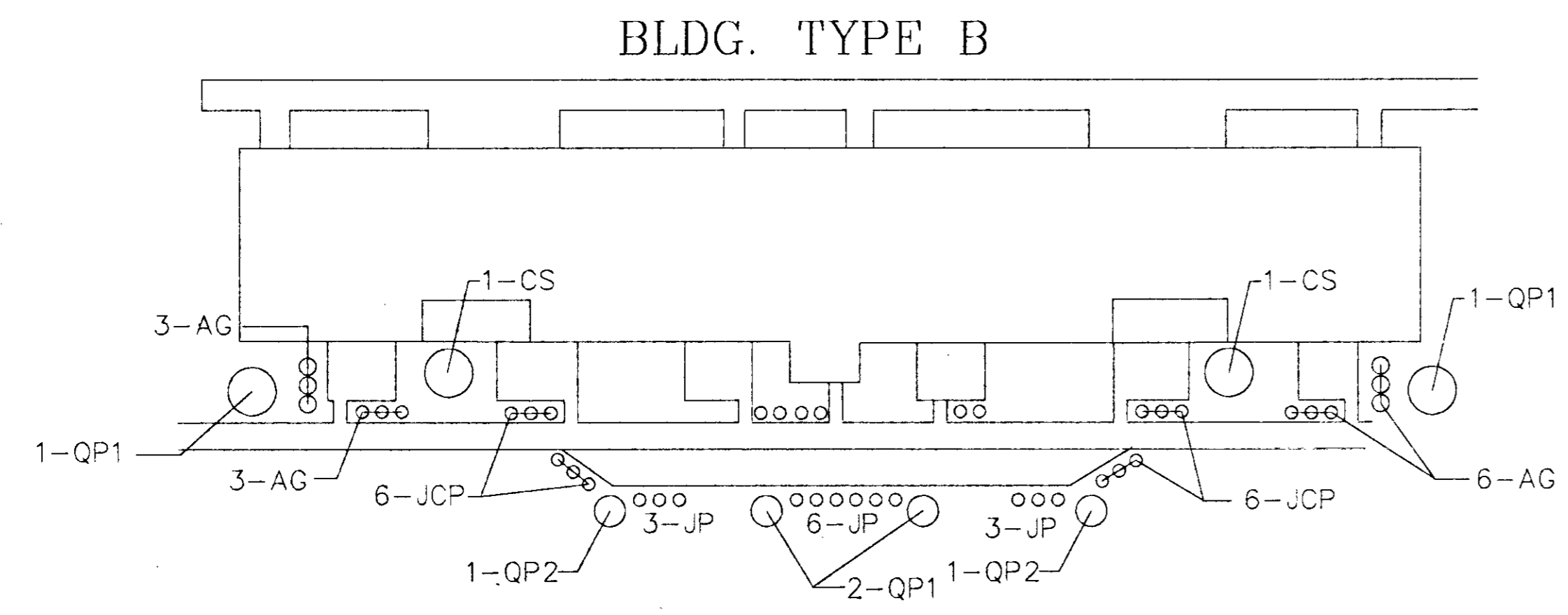
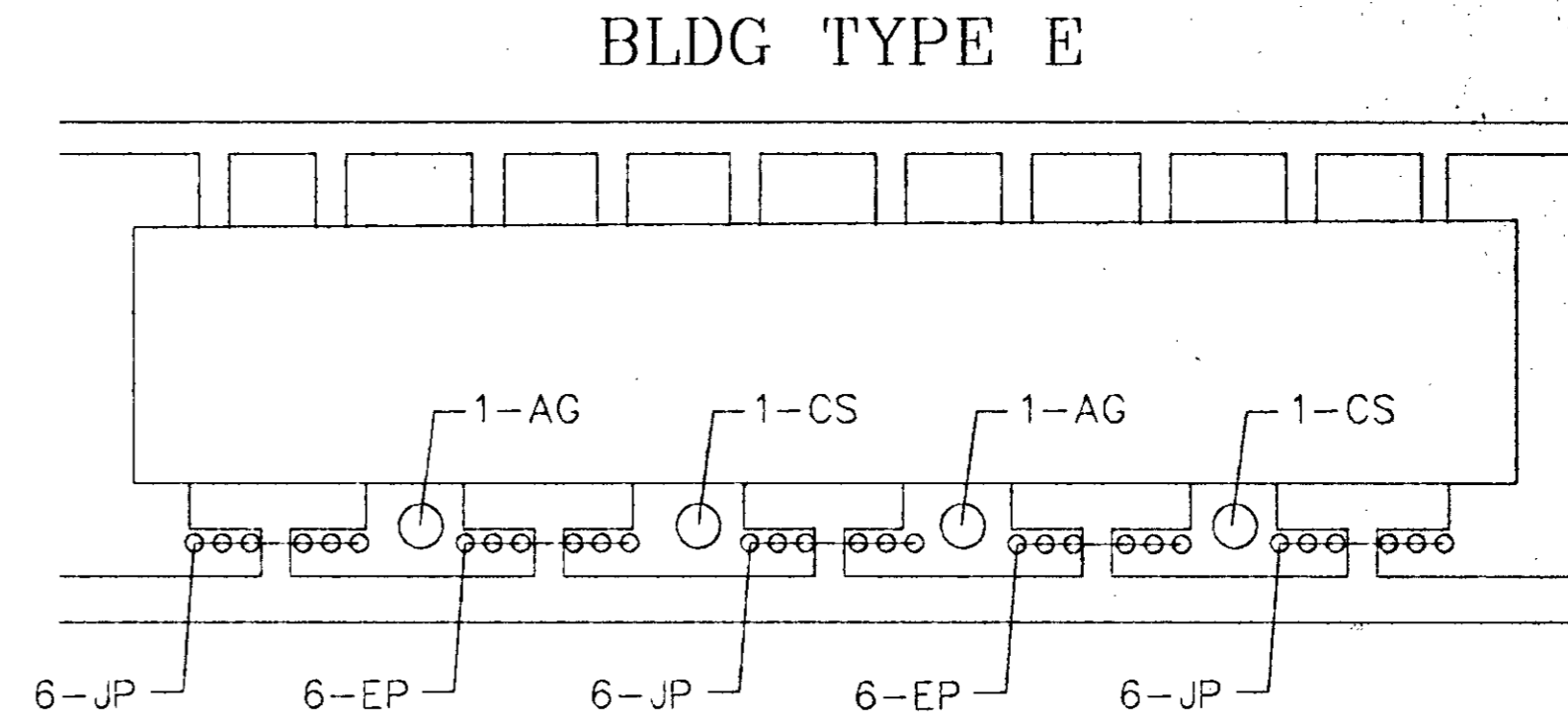
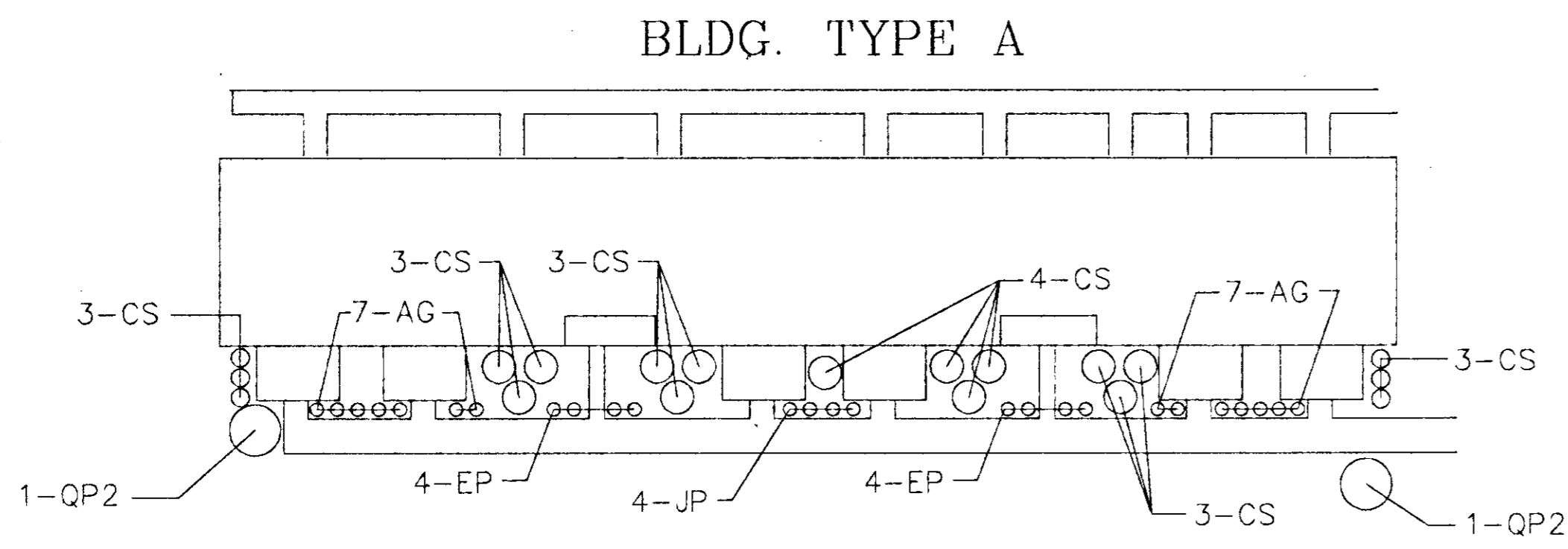
TONY SUDEKUM HOME RENOVATION
"TN005-005"
METROPOLITAN DEVELOPMENT & HOUSING AGENCY
OF NASHVILLE & DAVIDSON COUNTY
NASHVILLE, TENNESSEE



WR&J Project No.: 6018
DATE: 12/19/94

NO.	DATE	REVISION
1	10/21/95	REVISED IN LEGALITY

SHEET NO.
C-30



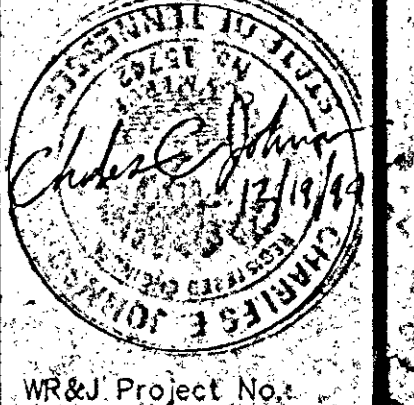
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CS	CHAENOMEIES SPECIES	FLOWERING QUINCE	30	3'	4'	3 GAL.	4' O.C.	
EP	ELAEAGNUS PUNGENS	THORNY ELAEAGNUS	94	3'	4'	3 GAL.	6' O.C.	
QP1	QUERCUS PHELLOS	WILLOW OAK	24	14'	8'	2 GAL.	AS SHOWN	
JP	JUNIPERUS PFITZERIANA	PFITZER JUNIPER	34	14"	14"		6' O.C.	
QP2	QUERCUS PALUSTRIS	PIN OAK	4	14'	7'	3 GAL.	6' O.C.	
JCP	JUNIPER CHINENSIS PARSONII	PARSONS JUNIPER	36	14"	14"		2' O.C.	↓

PLANTING SCHEME
SCALE 1" = 20'

williams - russell and johnson, inc.
engineers - planners - architects
Nashville Branch, Suite 450
220 Athens Way
Nashville, Tennessee 37203
Telephone 615/254-2170

DRAWN BY: WLB CAD FILE NO. C-3C
CHECKED BY: GVD PLOT DATE: 8-25-84

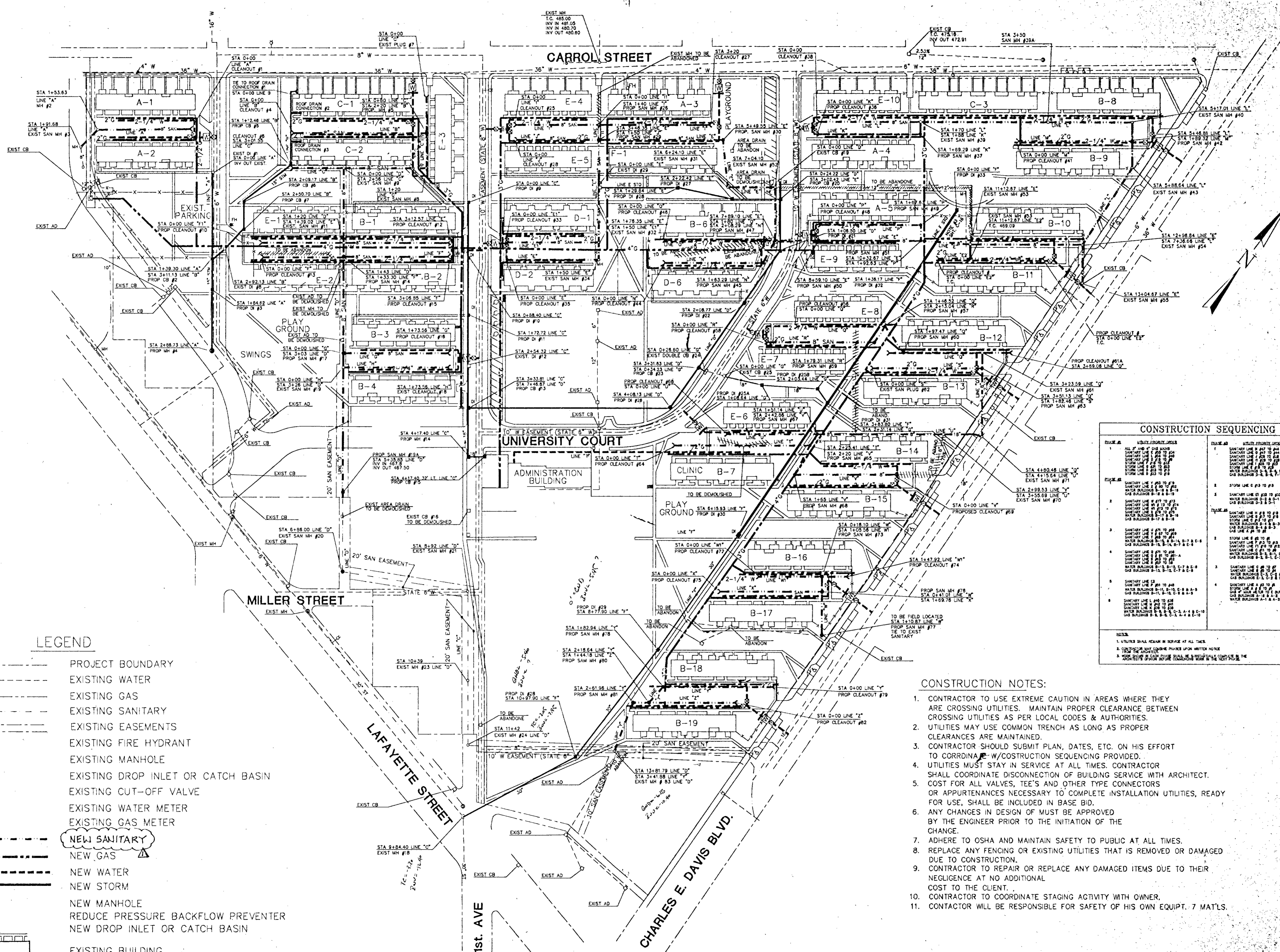
TONY SUDEKUM HOME RENOVATION
TN005-005
METROPOLITAN DEVELOPMENT & HOUSING AGENCY
OF NASHVILLE & DAVIDSON COUNTY
NASHVILLE, TENNESSEE



WR&J Project No. 6013
DATE: 12/19/84

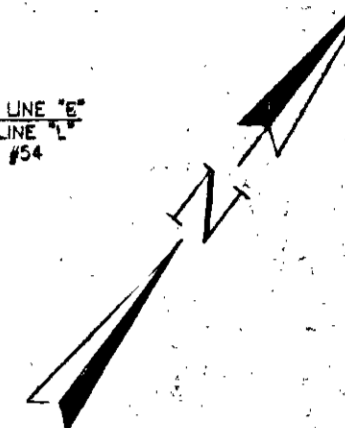
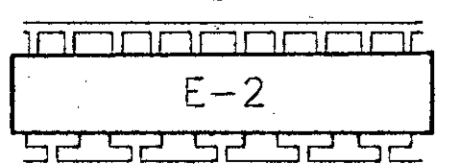
NO.	DATE	REVISION

SHEET NO.
C-3D



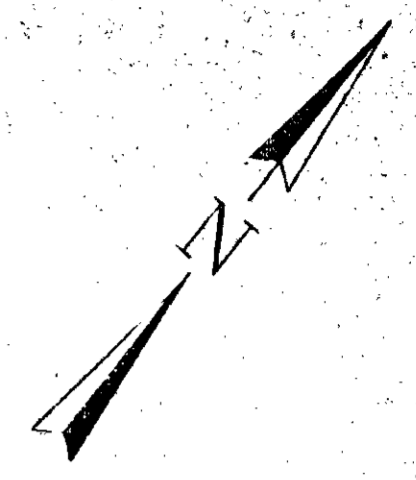
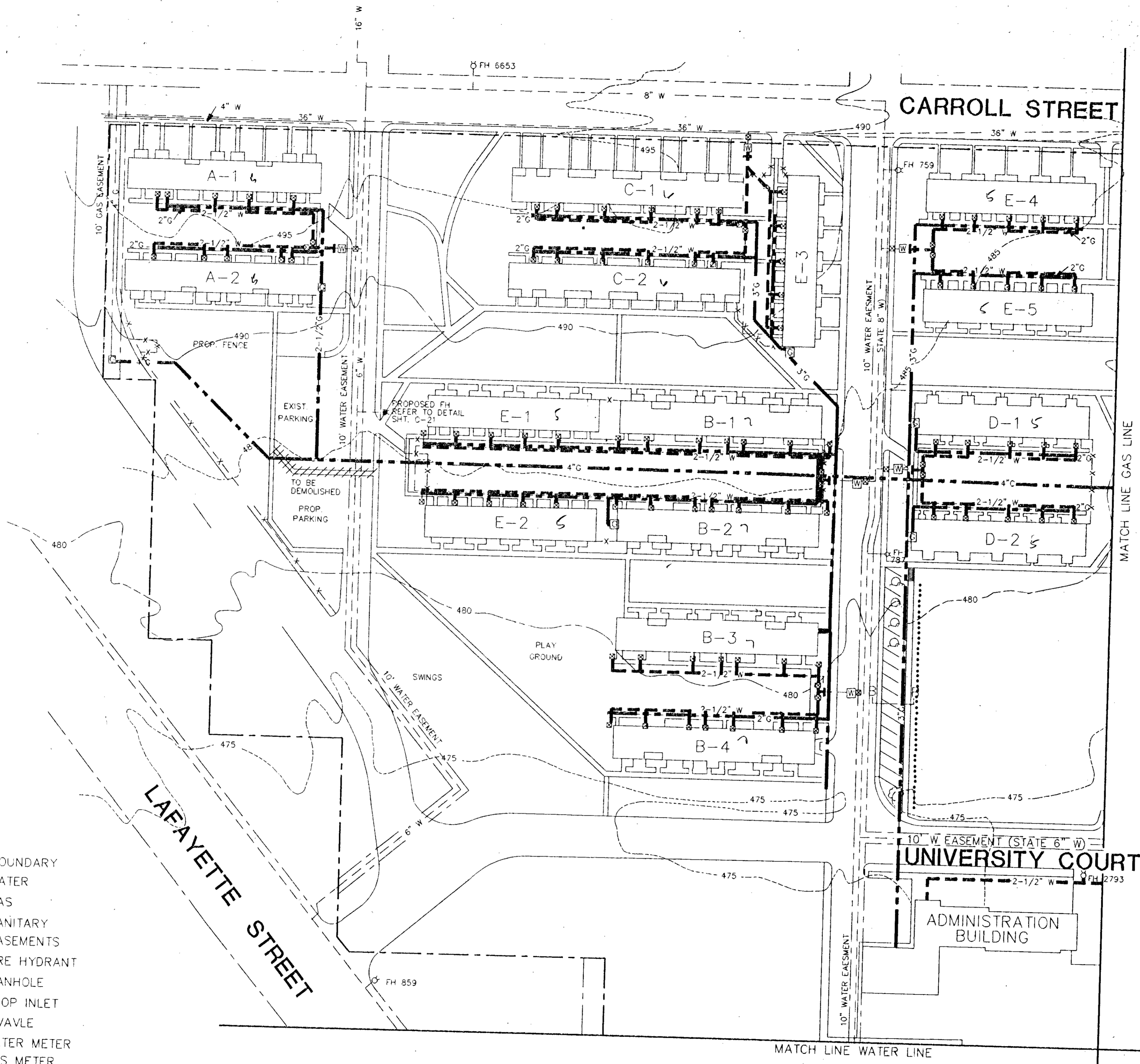
LEGEND

- 6" W --- PROJECT BOUNDARY
- 6" G --- EXISTING WATER
- 8" SAN --- EXISTING GAS
- 8" SAN --- EXISTING SANITARY
- 8" SAN --- EXISTING EASEMENTS
- EXISTING FIRE HYDRANT
- EXISTING MANHOLE
- EXISTING DROP INLET OR CATCH BASIN
- ⊗ EXISTING CUT-OFF VALVE
- ⊞ EXISTING WATER METER
- ⊞ EXISTING GAS METER
- 10" SAN --- NEW SANITARY
- NEW GAS
- NEW WATER
- NEW STORM
- NEW MANHOLE
- REDUCE PRESSURE BACKFLOW PREVENTER
- NEW DROP INLET OR CATCH BASIN
- ▭ EXISTING BUILDING



CONSTRUCTION SEQUENCING

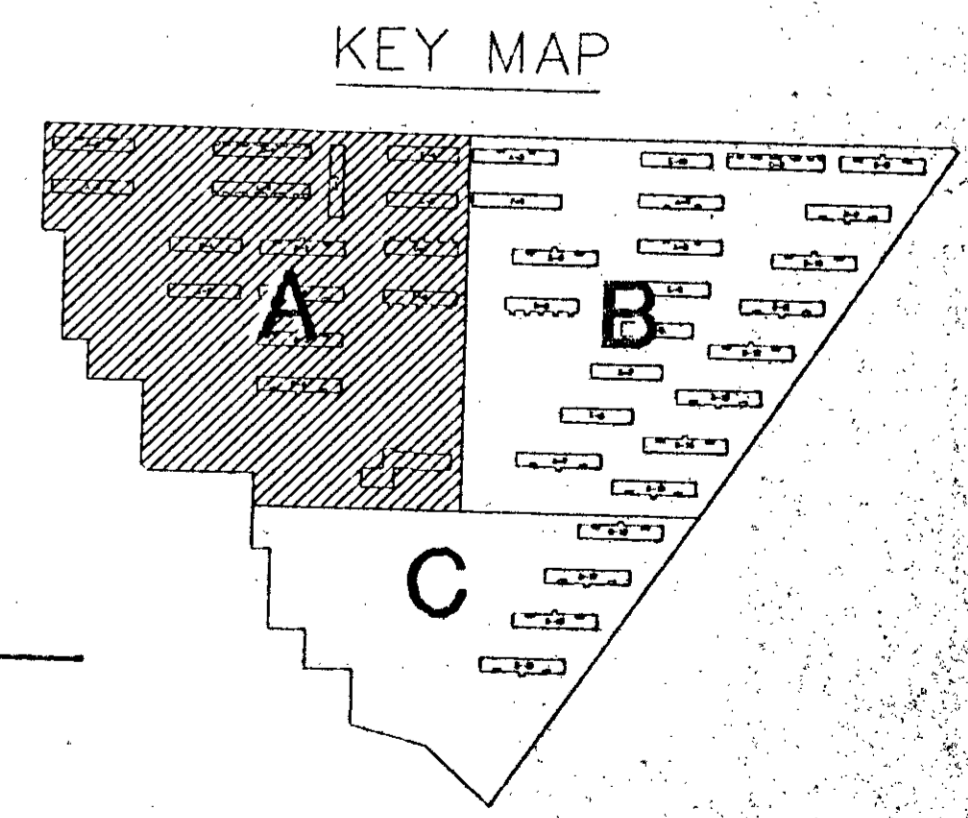
PHASE	UTILITY PRIORITY ORDER	PHASE	UTILITY PRIORITY ORDER
1	ALL UTILITIES TO BE DEMOLISHED	1	STORM LINE C #3 TO #10
2	SANITARY LINE #1 TO #2	2	SANITARY LINE D #1 TO #10
3	SANITARY LINE #3 TO #4	3	SANITARY LINE E #1 TO #10
4	SANITARY LINE #5 TO #6	4	SANITARY LINE F #1 TO #10
5	SANITARY LINE #7 TO #8	5	SANITARY LINE G #1 TO #10
6	SANITARY LINE #9 TO #10	6	SANITARY LINE H #1 TO #10
7	SANITARY LINE #11 TO #12	7	SANITARY LINE I #1 TO #10
8	SANITARY LINE #13 TO #14	8	SANITARY LINE J #1 TO #10
9	SANITARY LINE #15 TO #16	9	SANITARY LINE K #1 TO #10
10	SANITARY LINE #17 TO #18	10	SANITARY LINE L #1 TO #10
11	SANITARY LINE #19 TO #20	11	SANITARY LINE M #1 TO #10
12	SANITARY LINE #21 TO #22	12	SANITARY LINE N #1 TO #10
13	SANITARY LINE #23 TO #24	13	SANITARY LINE O #1 TO #10
14	SANITARY LINE #25 TO #26	14	SANITARY LINE P #1 TO #10
15	SANITARY LINE #27 TO #28	15	SANITARY LINE Q #1 TO #10
16	SANITARY LINE #29 TO #30	16	SANITARY LINE R #1 TO #10
17	SANITARY LINE #31 TO #32	17	SANITARY LINE S #1 TO #10
18	SANITARY LINE #33 TO #34	18	SANITARY LINE T #1 TO #10
19	SANITARY LINE #35 TO #36	19	SANITARY LINE U #1 TO #10
20	SANITARY LINE #37 TO #38	20	SANITARY LINE V #1 TO #10
21	SANITARY LINE #39 TO #40	21	SANITARY LINE W #1 TO #10
22	SANITARY LINE #41 TO #42	22	SANITARY LINE X #1 TO #10
23	SANITARY LINE #43 TO #44	23	SANITARY LINE Y #1 TO #10
24	SANITARY LINE #45 TO #46	24	SANITARY LINE Z #1 TO #10
25	SANITARY LINE #47 TO #48	25	SANITARY LINE AA #1 TO #10
26	SANITARY LINE #49 TO #50	26	SANITARY LINE AB #1 TO #10
27	SANITARY LINE #51 TO #52	27	SANITARY LINE AC #1 TO #10
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36	SANITARY LINE #69 TO #70	36	SANITARY LINE AL #1 TO #10
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38	SANITARY LINE #73 TO #74	38	SANITARY LINE AN #1 TO #10
39	SANITARY LINE #75 TO #76	39	SANITARY LINE AO #1 TO #10
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51	SANITARY LINE #99 TO #100	51	SANITARY LINE BA #1 TO #10
52	SANITARY LINE #101 TO #102	52	SANITARY LINE BB #1 TO #10
53	SANITARY LINE #103 TO #104	53	SANITARY LINE BC #1 TO #10
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72	SANITARY LINE #141 TO #142	72	SANITARY LINE BV #1 TO #10
73	SANITARY LINE #143 TO #144	73	SANITARY LINE BW #1 TO #10
74	SANITARY LINE #145 TO #146	74	SANITARY LINE BX #1 TO #10
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194	SANITARY LINE #385 TO #386	194	SANITARY LINE GN #1 TO #10
195	SANITARY LINE #387 TO #388	195	SANITARY LINE GO #1 TO #10
196	SANITARY LINE #389 TO #390	196	SANITARY LINE GP #1 TO #10
197	SANITARY LINE #391 TO #392	19	



LEGEND

- PROJECT BOUNDARY
- - - 6" W EXISTING WATER
- - - 6" G EXISTING GAS
- - - 10" SAN EXISTING SANITARY
- - - EXISTING EASEMENTS
- o EXISTING FIRE HYDRANT
- o EXISTING MANHOLE
- o EXISTING DROP INLET
- o SHUT-OFF VALVE
- o EXISTING WATER METER
- o EXISTING GAS METER
- o REDUCE PRESSURE BACKFLOW PREVENTER
- - - NEW GAS
- - - NEW WATER
- [Building Footprint] EXISTING BUILDING

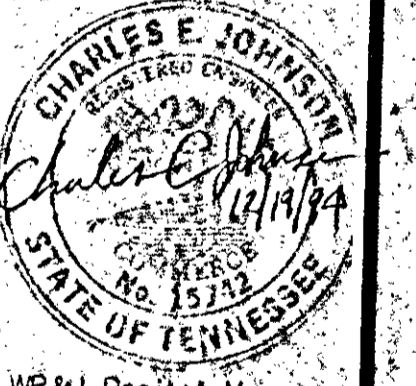
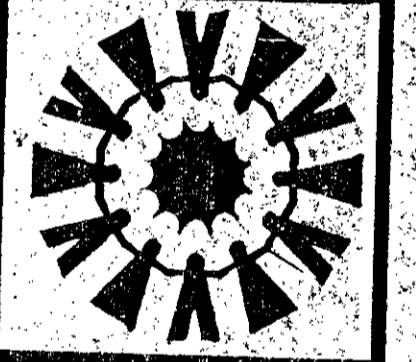
REFER TO GENERAL NOTES SHEET C-7



PROPOSED GAS AND WATER DISTRIBUTION
SCALE 1" = 50'

Willmore - Russell and Johnson, Inc.
Engineers - Planners - Architects
Nashville Branch - Suite 400
Nashville, Tennessee 37228
Telephone 615/254-2174
DRAWN BY: WLB CADD FILE NO.: C-5
CHECKED BY: GMD/PLT/DATE: 8-25-94

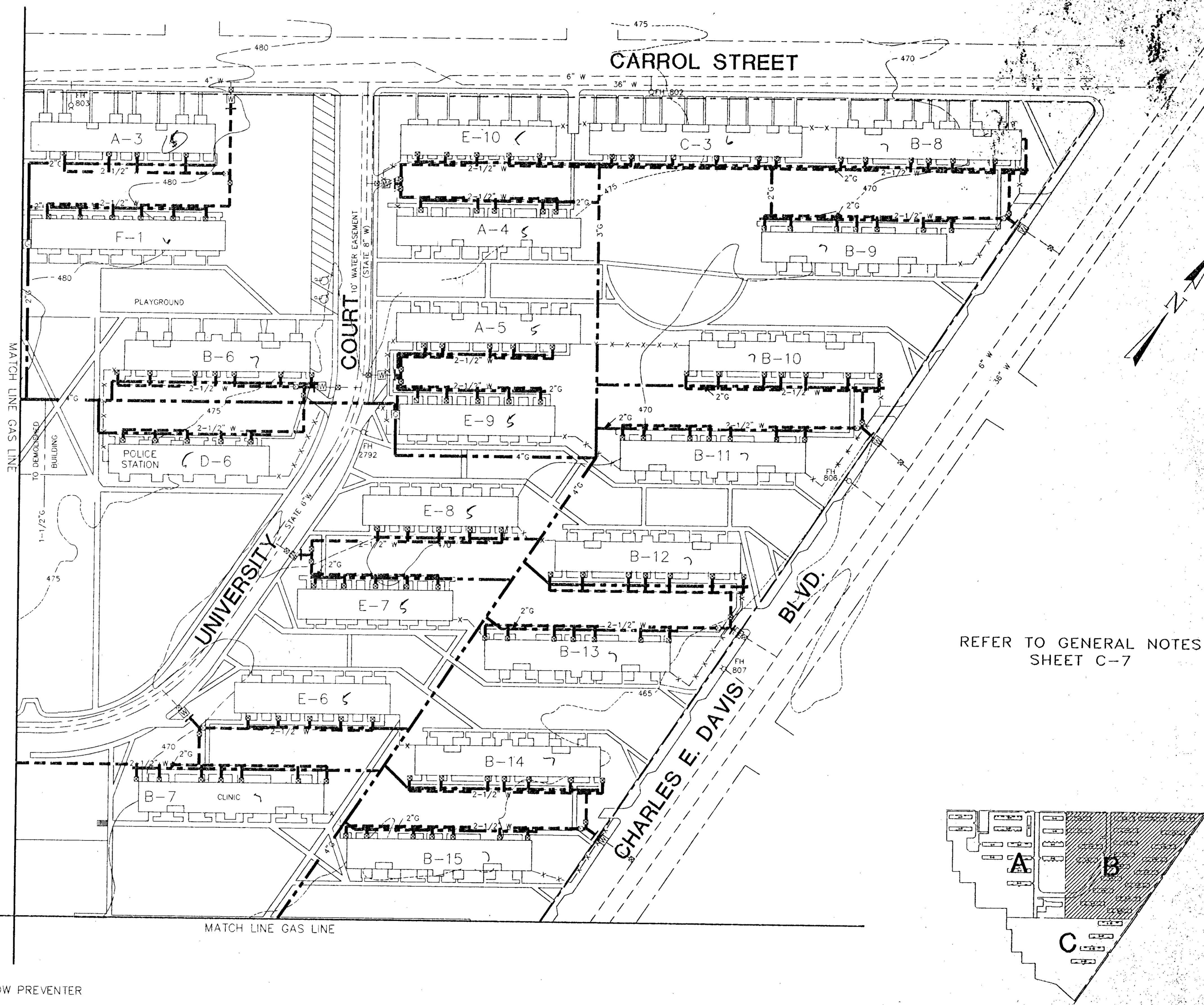
TONY SUDEKUM HOME RENOVATION
PROJECT NO. TN005-005
METROPOLITAN DEVELOPMENT & HOUSING AGENCY
OF NASHVILLE & DAVIDSON COUNTY
NASHVILLE, TENNESSEE



WR&I Project No. 6018
DATE: 12/19/94

DATE	REVISION

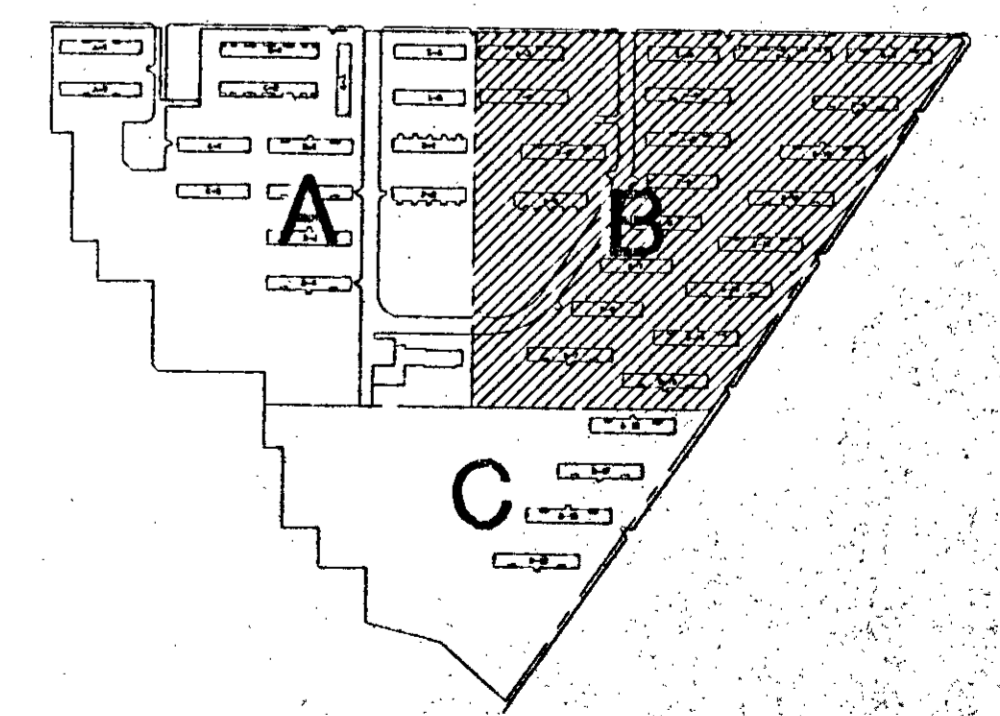
SHEET NO.
C-5



LEGEND

- PROJECT BOUNDARY
- - - - - 6" W EXISTING WATER
- - - - - 6" G EXISTING GAS
- - - - - 10" SAN EXISTING SANITARY
- - - - - EXISTING EASEMENTS
- o EXISTING FIRE HYDRANT
- o EXISTING MANHOLE
- o EXISTING DROP INLET
- o SHUT-OFF VALVE
- o EXISTING WATER METER
- o EXISTING GAS METER
- REDUCE PRESSURE BACKFLOW PREVENTER
- - - - - NEW GAS
- - - - - NEW WATER
- ▭ E-2 EXISTING BUILDING

REFER TO GENERAL NOTES
SHEET C-7



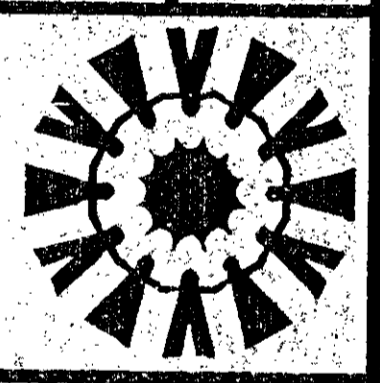

**PROPOSED GAS AND
WATER DISTRIBUTION**
SCALE 1" = 50'

williams, russell, and johnson, inc.
 engineers, planners, architects
 Nashville Branch - Suite 450
 Nashville, Tennessee 37208
 Telephone 615/255-2170

DRAWN BY: WLB CAD FILE NO: C-6
 CHECKED BY: GVO PLOT DATE: 6-27-94

TONY SUDEKUM HOME RENOVATION
 TN005-005

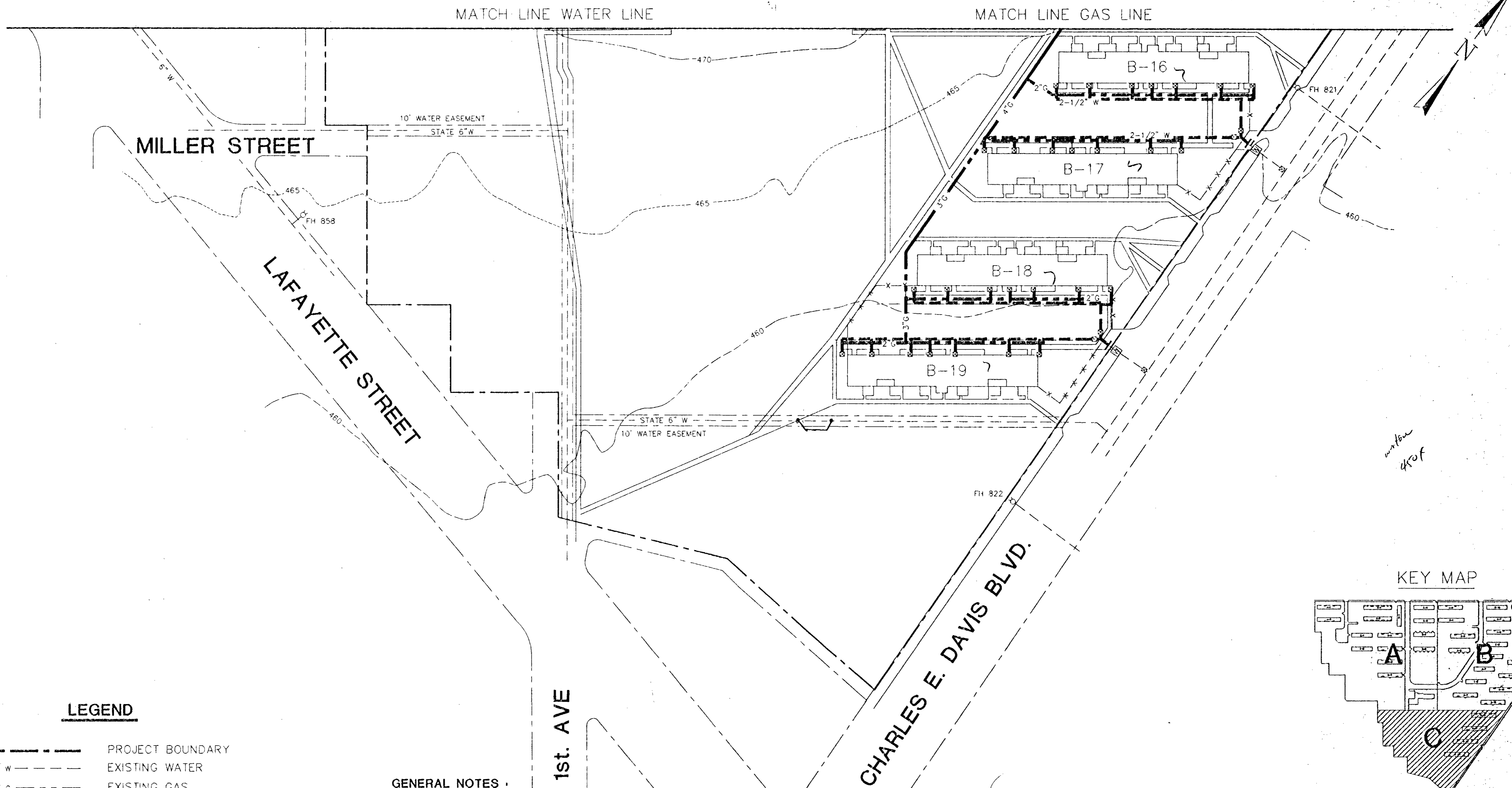
METROPOLITAN DEVELOPMENT & HOUSING AGENCY
 OF NASHVILLE & DAVIDSON COUNTY
 NASHVILLE, TENNESSEE

WR&J Project No. 6018
 DATE: 12/1/94

NO.	DATE	REVISION

SHEET NO.
C-6

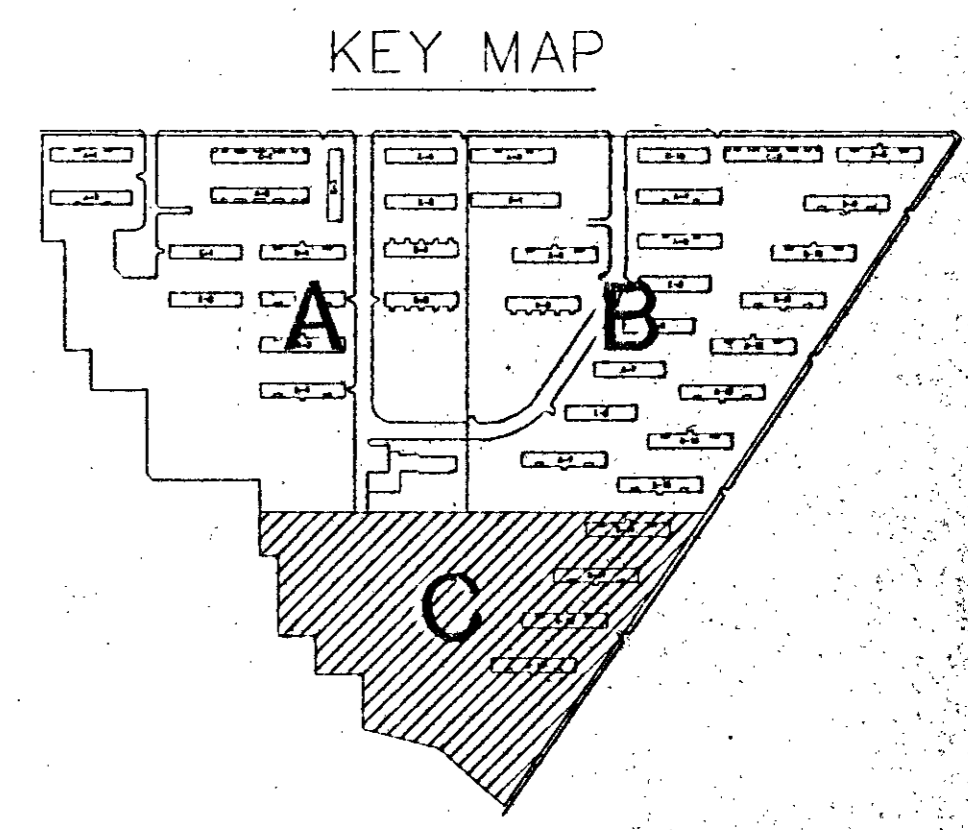


LEGEND

-----	PROJECT BOUNDARY
--- 6" W ---	EXISTING WATER
--- 6" G ---	EXISTING GAS
--- 10" SAN ---	EXISTING SANITARY
-----	EXISTING EASEMENTS
o	EXISTING FIRE HYDRANT
o	EXISTING MANHOLE
o	EXISTING DROP INLET
o	SHUT-OFF VALVE
o	EXISTING WATER METER
o	EXISTING GAS METER
o	REDUCE PRESSURE BACKFLOW PREVENTER
-----	NEW GAS
-----	NEW WATER
▬▬▬▬▬▬▬▬▬▬▬▬	EXISTING BUILDING

GENERAL NOTES

- ALL WATER & GAS LINES ARE TO BE REPLACED. ROUTING WILL BE MAINTAINED AS-IS, UNLESS OTHERWISE NOTED NO MORE THAN TWO BLDGS. MAY BE WITHOUT SERVICE AT ONE TIME, AND NO OCCUPIED BLDG. SHOULD BE WITHOUT SERVICE FOR A PERIOD LONGER THAN 4 HOURS. ALL SERVICES SHALL BE OPERATIONAL AT THE END OF EACH DAY.
- HOUSING AUTHORITY SHALL BE GIVEN 48 HOUR NOTICE BEFORE SHUT-DOWN OF ANY SERVICE THAT MAY INCONVENIENCE TENANTS.
- CONTRACTOR SHALL LOCATE EXISTING GAS & WATER CONNECTIONS IN THE ADMINISTRATION BUILDING AND REPLACE ALL SERVICE LINES AT THESE LOCATIONS.
- UNIT PRICING SHALL BE COMPLETED FOR ALL TASK, MATERIALS AND SIZES LIKELY TO BE ENCOUNTERED IN PERFORMING THIS WORK.
- WHERE PVC PIPE IS USED, GROUNDING SHOULD BE INSTALLED AS REQUIRED BY ARTICLE 250 IN THE NATIONAL ELECTRICAL CODES. REFER TO TABLE 250-94.
- CONTRACTOR SHALL LOCATE ALL GAS & WATER PIPING, FIXTURES & METERS BEFORE COMMENCING WORK.
- REMOVE ANY DISCONNECTED PIPE FROM CRAWL SPACES & BASEMENTS.
- ENCASE PLASTIC PIPE UNDER SIDEWALKS, ROADS AND RETAINING WALLS W/STEEL PIPE. SEE DETAIL C-24.
- ALTER PIPE ROUTING AS REQUIRED TO AVOID OBSTRUCTIONS.
- ALL EXISTING WATER METERS ARE TO REMAIN.
- CONTRACTOR SHALL REPLACE ALL SHUT-OFF VALVES & BOXES. VALVES SHALL BE PLACED IN HEAVY DUTY, ADJUSTABLE VALVE BOX W/CONCRETE COLLAR & LOCKABLE LID. REFER TO SPECIFICATIONS FOR ACCEPTABLE TYPES & MODEL NUMBERS.
- EXISTING ELECTRICAL SYSTEM IS GROUNDED THROUGH THE EXISTING WATER PIPING SYSTEMS.
- EXISTING 2" WATER METERS AND FIRE HYDRANTS ARE TO BE RE-CONNECTED. REPLACEMENT OF DAMAGED WATER METERS OR FIRE HYDRANTS SHALL BE COORDINATED WITH ENGINEER & UPON APPROVAL OF OWNER.
- 3/4" WATER SUPPLY INTO VALVE BOXES SHOULD BE INCREASED TO 1". EXISTING 1" AND 1-1/4" LINES SHOULD BE INCREASED TO 1-1/2".
- BACKFLOW PREVENTER TO BE INSTALLED BEHIND EACH WATER METER. REFER TO DETAIL SHIT. C-23 & C-24.
- SHUT-OFF VALVE SHALL BE INSTALLED AT EACH TAP OFF MAIN AND AT EACH BRANCH SPLIT.
- CONCRETE THRUST BLOCKS SHALL BE PLACED BEHIND ALL BENDS. REFER TO SHIT. C-21 FOR THRUST BLOCK DETAIL.
- PVC SHALL BE USED FOR ALL WATER LINES.
- BLOW-OFF VALVE SHALL BE INSTALLED AT ALL DEAD ENDS OF WATER LINES.
- THE METRO FIRE MARSHALL DEPARTMENT REQUIRES 24 HOUR HYDRANT STATIC SURVEILLANCE. TWO HYDRANT FLOW TESTS MUST BE CONDUCTED WITHIN 30 DAYS OF CALCULATION SUBMITTAL FROM SPRINKLER CONTRACTOR.
- ABANDONED GAS LINES MUST BE REMOVED OR FILLED WITH WATER AND CAPPED.
- ALL GAS PIPING ROUTED EXTERIOR SHALL BE TIGHTLY SECURED TO BUILDING WALL.
- DAMAGED GAS METERS SHOULD BE REPORTED TO NASHVILLE GAS FOR REPAIR.
- BLDGS A-1 & B-19 WILL REQUIRE ADJUSTABLE CAST IRON VALVE BOX W/LOCKABLE LID. ABANDON EXISTING VALVE BOX. REMOVE BRICK & FILL BOX W/SAND OR TOPSOIL.



PROPOSED GAS AND WATER DISTRIBUTION
SCALE 1" = 50'

williams, russell and johnson, inc.
engineers, planners, architects
Nashville Branch - Suite 450
Metropolitan Center
Nashville, Tennessee 37228
Telephone 615/254-2170

DRAWN BY: M.L.B. CADD FILE NO.: C-7
CHECKED BY: G.V.O. PLOT DATE: 6-25-94

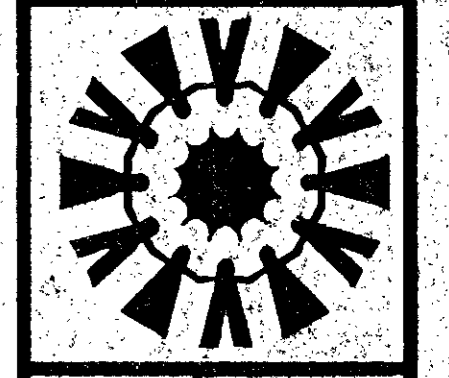
TONY SUDEKUM HOME RENOVATION
IN 005-005

METROPOLITAN DEVELOPMENT & HOUSING AGENCY
OF NASHVILLE & DAVIDSON COUNTY
NASHVILLE, TENNESSEE

WR&J Project No. 6018
DATE: 12/19/94

NO.	DATE	REVISION

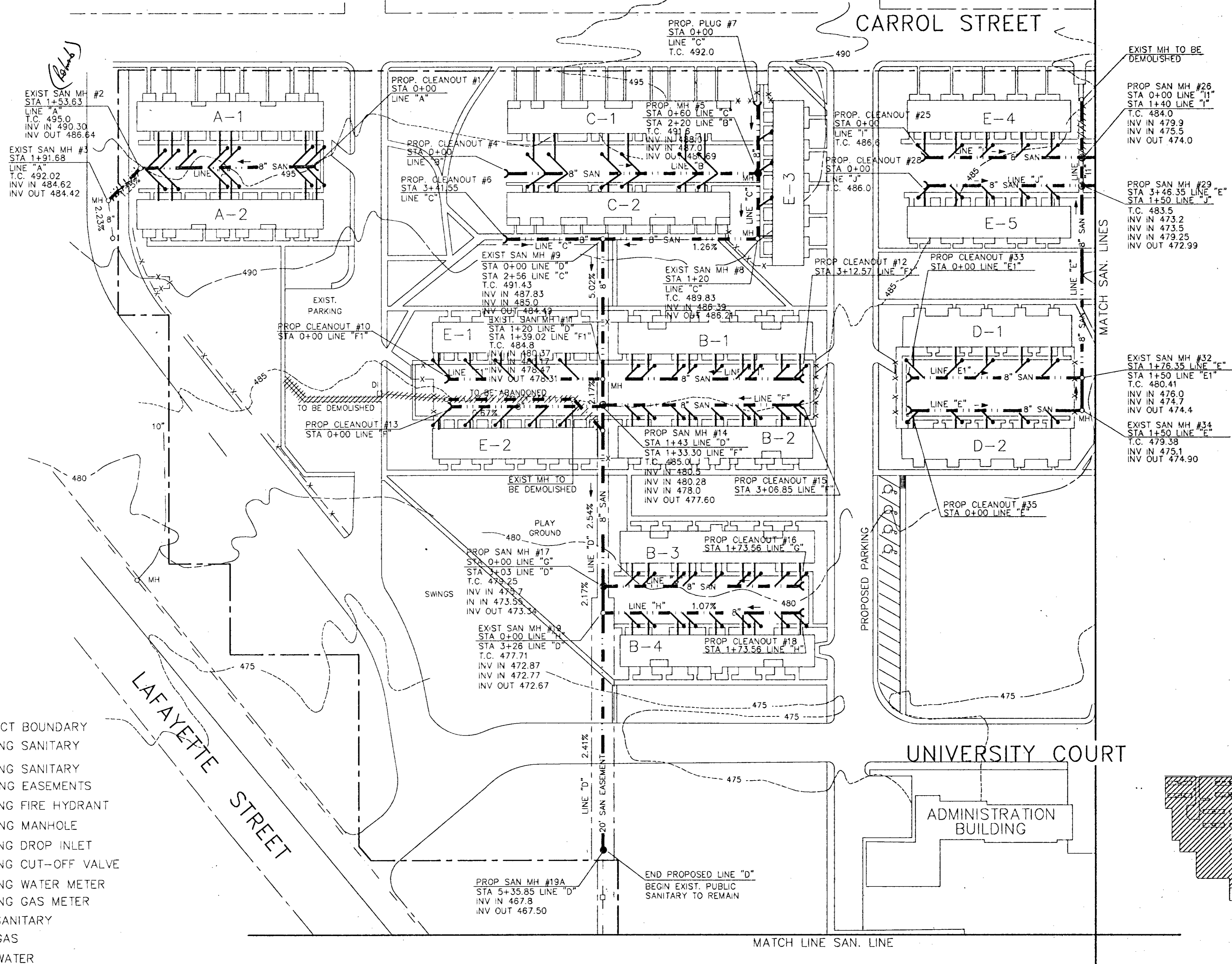
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WR&J Project No.: 6018
 DATE: 12/12/94

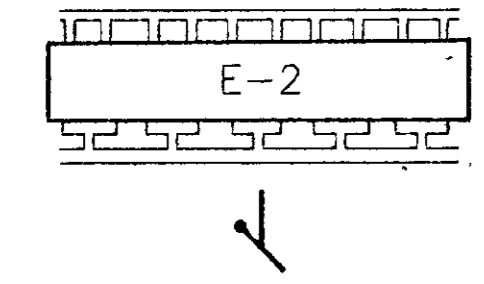
NO.	DATE	REVISION

SHEET NO.
C-8



LEGEND

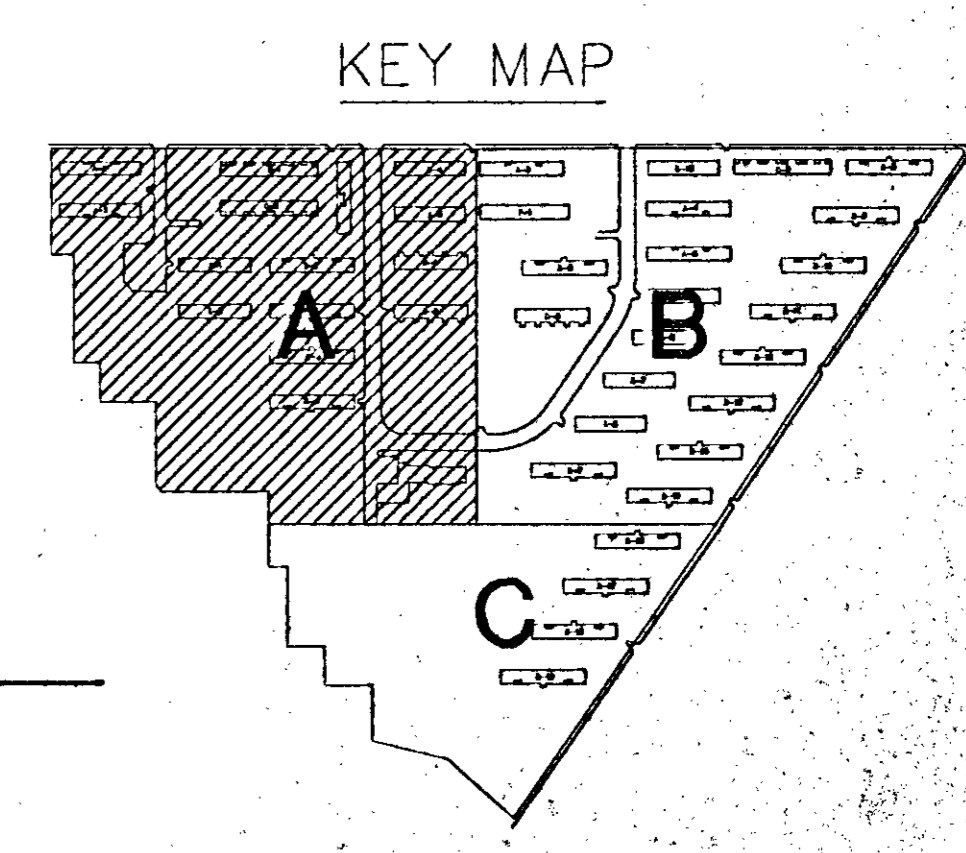
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- - - 6" W --- EXISTING SANITARY
- - - 10" SAN --- EXISTING SANITARY
- - - EXISTING EASEMENTS
- ⊕ EXISTING FIRE HYDRANT
- EXISTING MANHOLE
- EXISTING DROP INLET
- ⊗ EXISTING CUT-OFF VALVE
- ⊞ EXISTING WATER METER
- ⊠ EXISTING GAS METER
- - - 10" SAN --- NEW SANITARY
- NEW GAS
- NEW WATER
- NEW STORM
- NEW SWALE
- NEW MANHOLE
- NEW CLEAN OUT

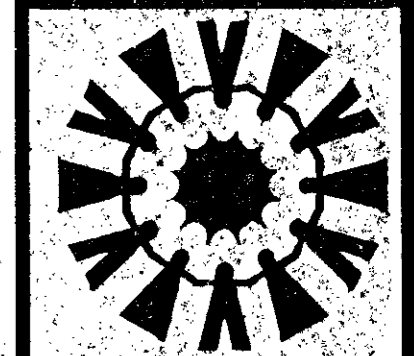


EXISTING BUILDING
 4" PVC
 DOUBLE SWEEP CLEANOUT ASSEMBLY

NOTE: T.C. ELEVATION ARE APPROXIMATE.
 CONTRACTOR TO VERIFY PRIOR
 TO CONSTRUCTION

**PROPOSED SANITARY
 DISTRIBUTION**
 SCALE 1" = 50'

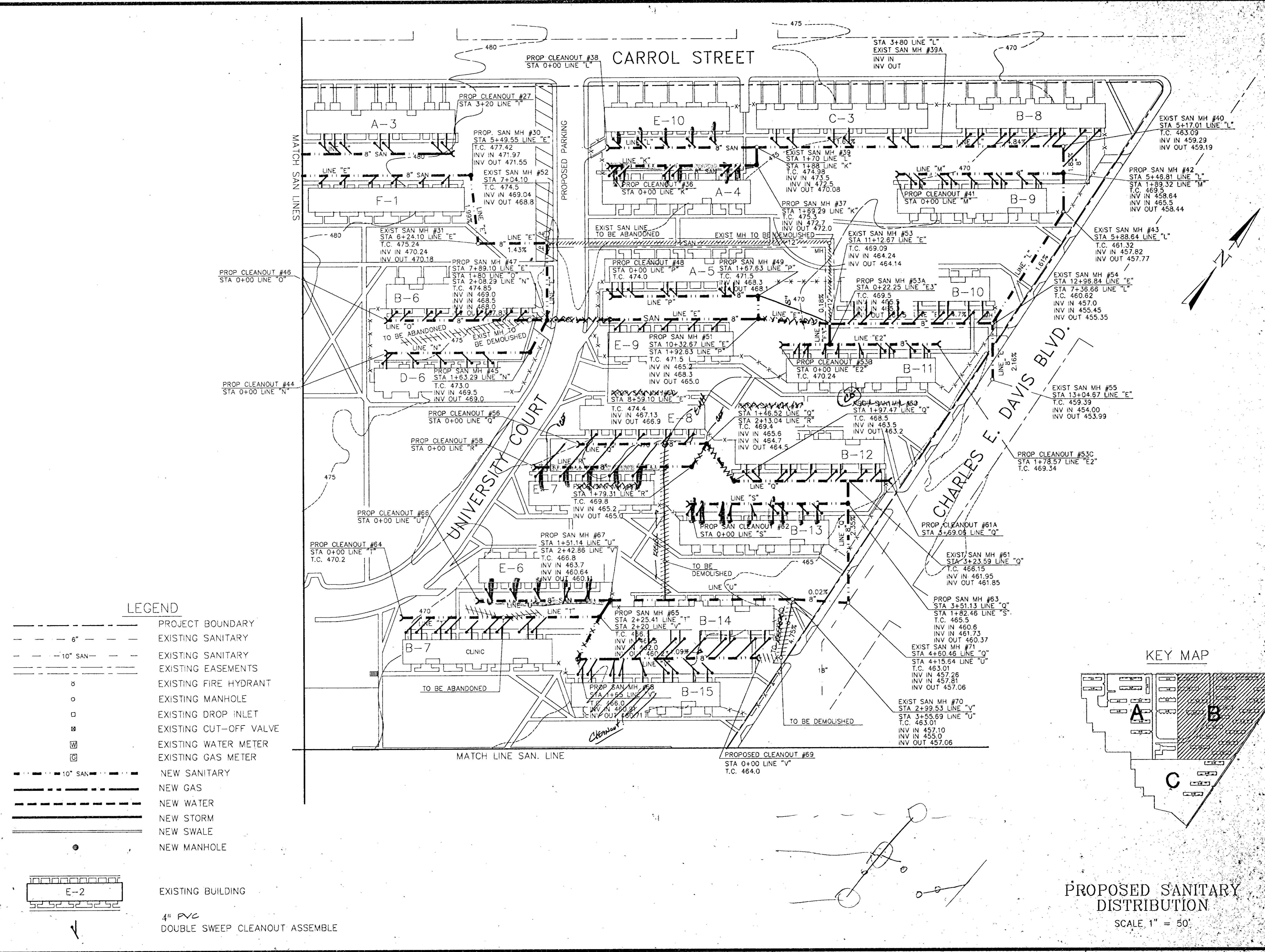




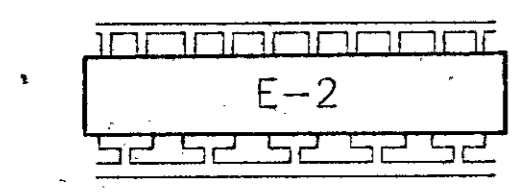
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 DATE: 12/12/94

NO.	DATE	REVISION

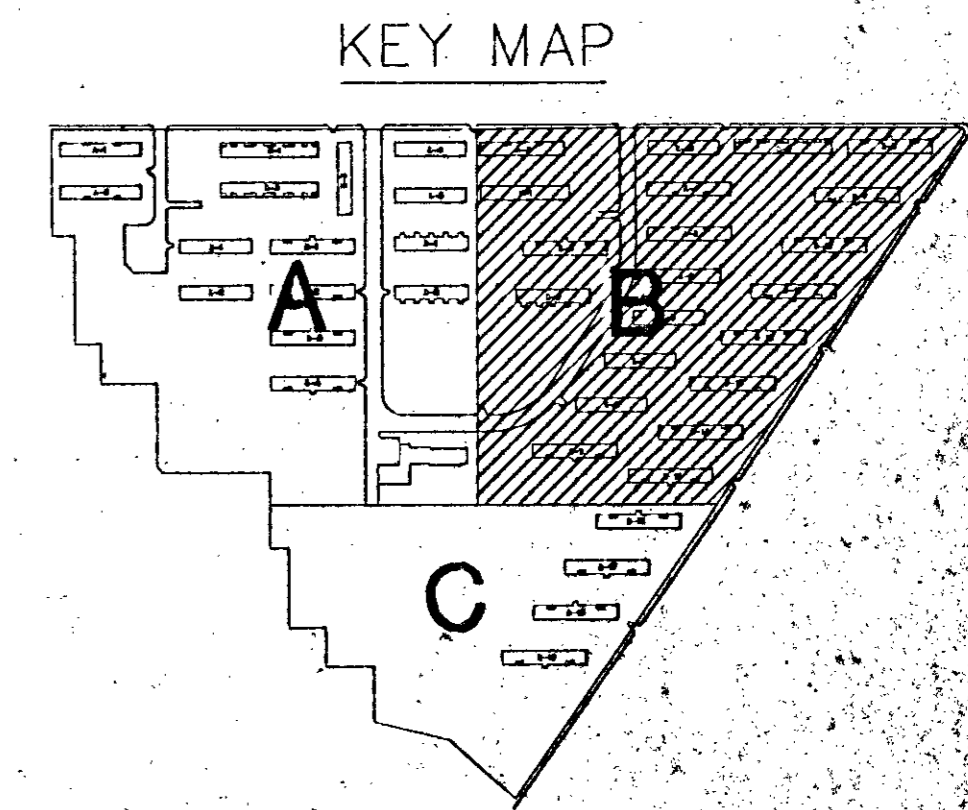
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C-9



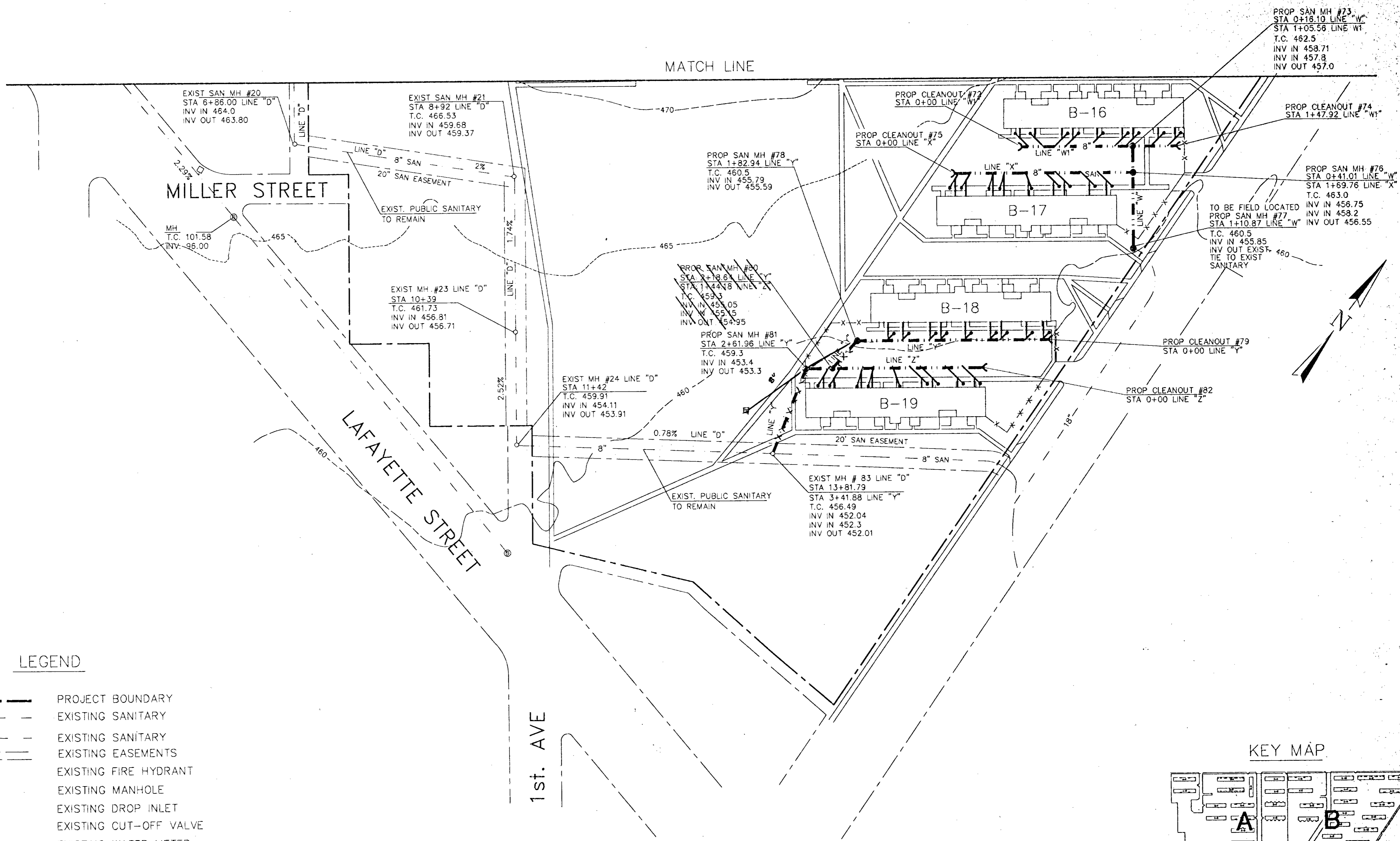
- LEGEND**
- PROJECT BOUNDARY
 - - - 6" EXISTING SANITARY
 - - - 10" SAN EXISTING SANITARY
 - - - EXISTING EASEMENTS
 - o EXISTING FIRE HYDRANT
 - o EXISTING MANHOLE
 - o EXISTING DROP INLET
 - o EXISTING CUT-OFF VALVE
 - o EXISTING WATER METER
 - o EXISTING GAS METER
 - - - 10" SAN NEW SANITARY
 - - - NEW GAS
 - - - NEW WATER
 - - - NEW STORM
 - - - NEW SWALE
 - o NEW MANHOLE



EXISTING BUILDING
 4" PVC
 DOUBLE SWEEP CLEANOUT ASSEMBLY



PROPOSED SANITARY DISTRIBUTION
 SCALE 1" = 50'

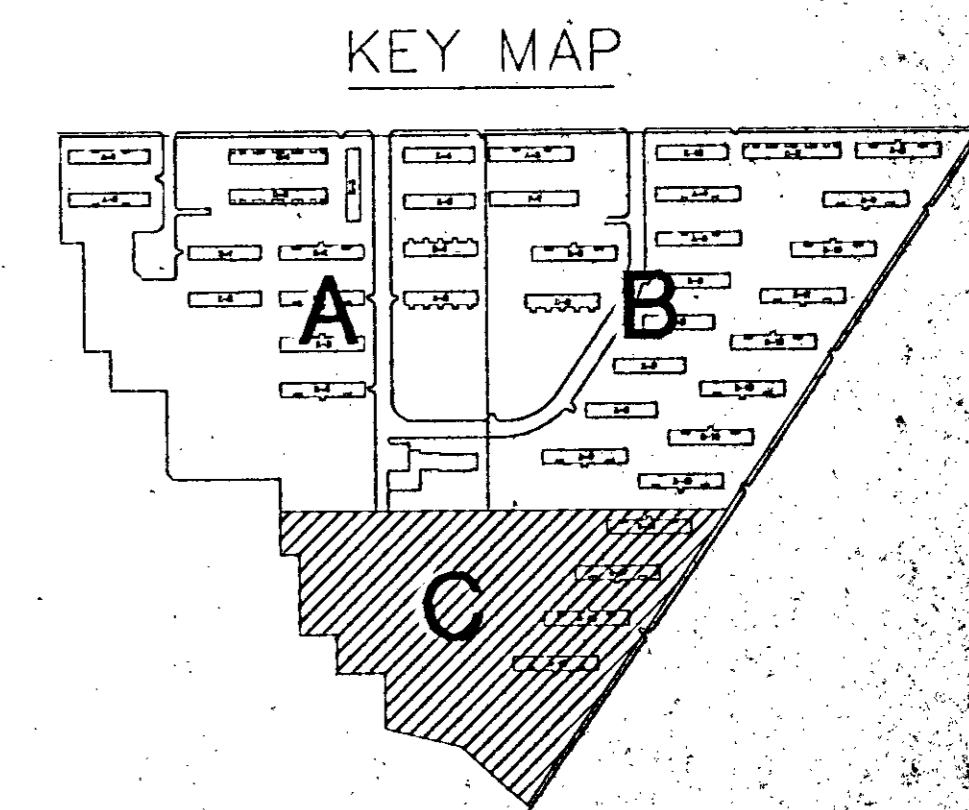


LEGEND

- PROJECT BOUNDARY
- EXISTING SANITARY
- EXISTING SANITARY
- EXISTING EASEMENTS
- EXISTING FIRE HYDRANT
- EXISTING MANHOLE
- EXISTING DROP INLET
- EXISTING CUT-OFF VALVE
- EXISTING WATER METER
- EXISTING GAS METER
- NEW SANITARY
- NEW GAS
- NEW WATER
- NEW SANITARY
- NEW STORM
- NEW SWALE
- NEW MANHOLE
- NEW CLEAN OUT
- EXISTING BUILDING
- 4" PVC DOUBLE SWEEP CLEANOUT ASSEMBLY

GENERAL NOTES:

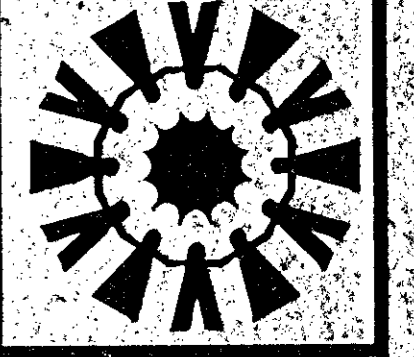
1. REFER TO SHTS. C-22, C-23 & C-24 FOR DETAILS.
2. A 10" SEPARATION IS REQ'D. BETWEEN SANITARY & DOMESTIC WATER LINES. REFER TO LOCAL CODES & SPECIFICATIONS FOR THIS PROJECT. WHERE SEPARATION IS NOT POSSIBLE, SANITARY LINE SHALL BE ENCASED IN CONCRETE AT CROSSINGS.
3. ABANDONED SANITARY LINES SHALL BE PROPERLY FILLED WITH SAND.
4. MANHOLES & OTHER STRUCTURES DESIGNATED TO REMAIN IN PLACE SHOULD BE INSPECTED FOR STRUCTURAL DAMAGE. REPLACE IF NECESSARY. NOTIFY ENGINEER FOR APPROVAL PRIOR TO REPLACEMENT.
5. ALL SANITARY SERVICE LINES TO BLDGS. ARE TO BE REPLACED TO WITHIN 5' OF BLDG. SERVICE LINES TO APTS. SHALL BE 6" PVC. SITE CONTRACTOR IS RESPONSIBLE FOR MAKING CONNECTION AND MUST COORDINATE WITH BLDG. CONTRACTOR.
6. PROFILES DEPICT MINIMUM DESIRABLE SLOPES. AT NO TIME SHOULD SLOPE BE LESS THAN MIN. ALLOWED BY LOCAL CODE AUTHORITIES. SERVICE & LATERAL LINES SHOULD BE REPLACED IN KIND, UNLESS MIN. SLOPE CONDITION NOT MET. SERVICE LINES ARE NOT SHOWN ON DWGS. CONTRACTOR IS RESPONSIBLE FOR SUBMITTING AS-BUILT DWGS TO THE ENGINEER.
7. ALL TOP OF CASTING ELEVATIONS SHOWN ARE APPROXIMATE. CONTRACTOR IS TO MATCH FINISHED GRADE.
8. DOUBLE CLEANOUTS ARE REQUIRED ON ALL SERVICE LINES. CONTRACTOR IS TO MAINTAIN MINIMUM SLOPES AND MINIMUM COVER AS PER LOCAL CODE AUTHORITIES.



PROPOSED SANITARY DISTRIBUTION
SCALE 1" = .50'

williams russell and johnson, inc.
engineers, planners, architects
Nashville, Branch, Suite 400
Nashville, Tennessee 37228
Telephone 615/254-2170
DRAWN BY: W.B. CADD FILE NO.: C-10
CHECKED BY: G.V. PLOT DATE: 6-25-94

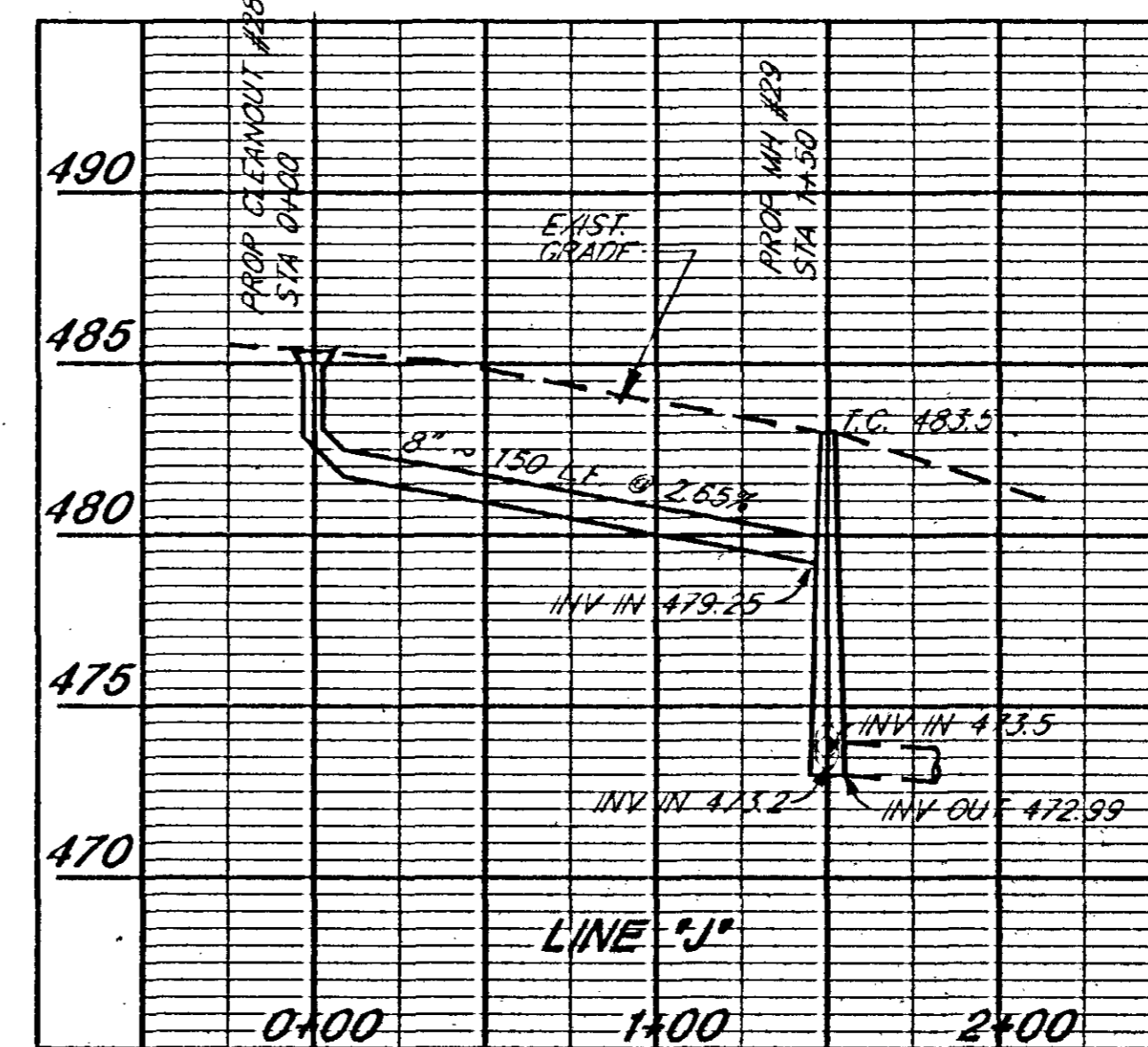
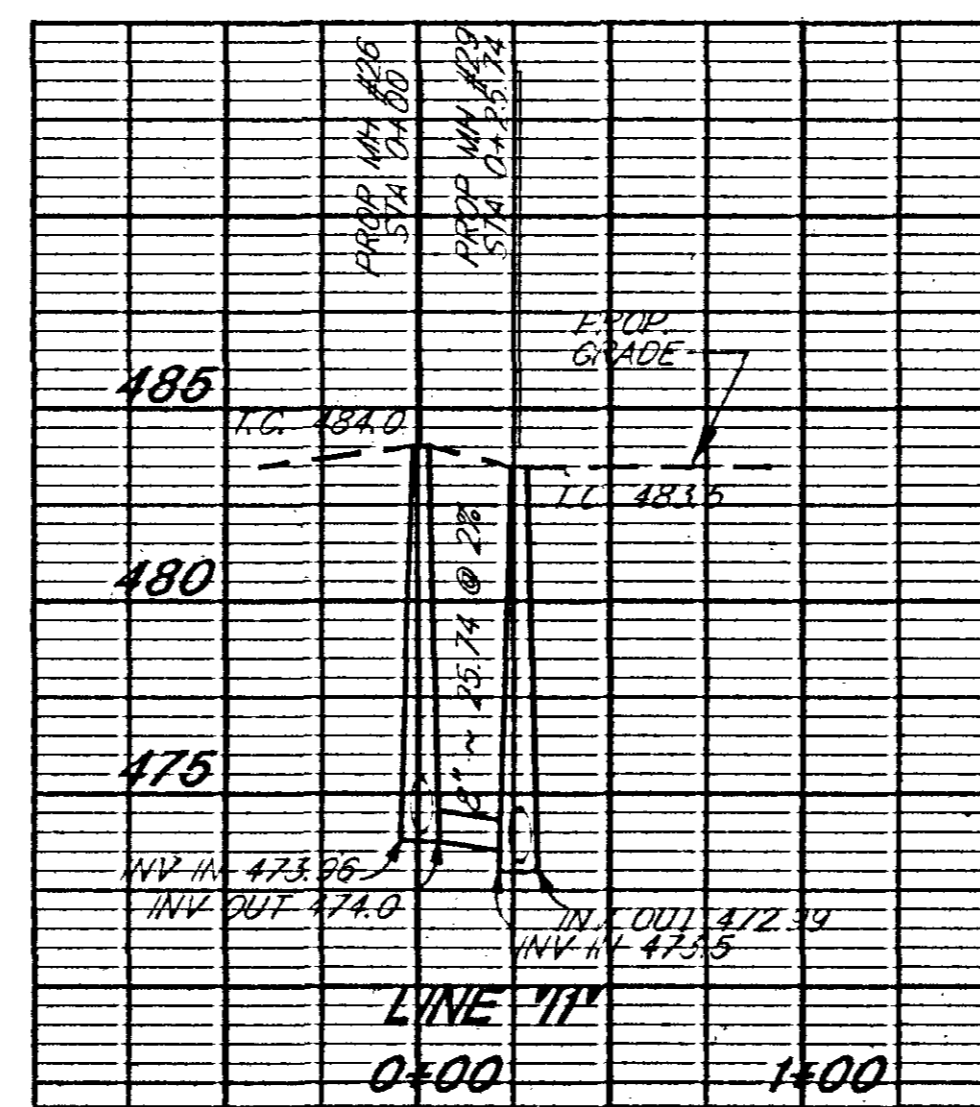
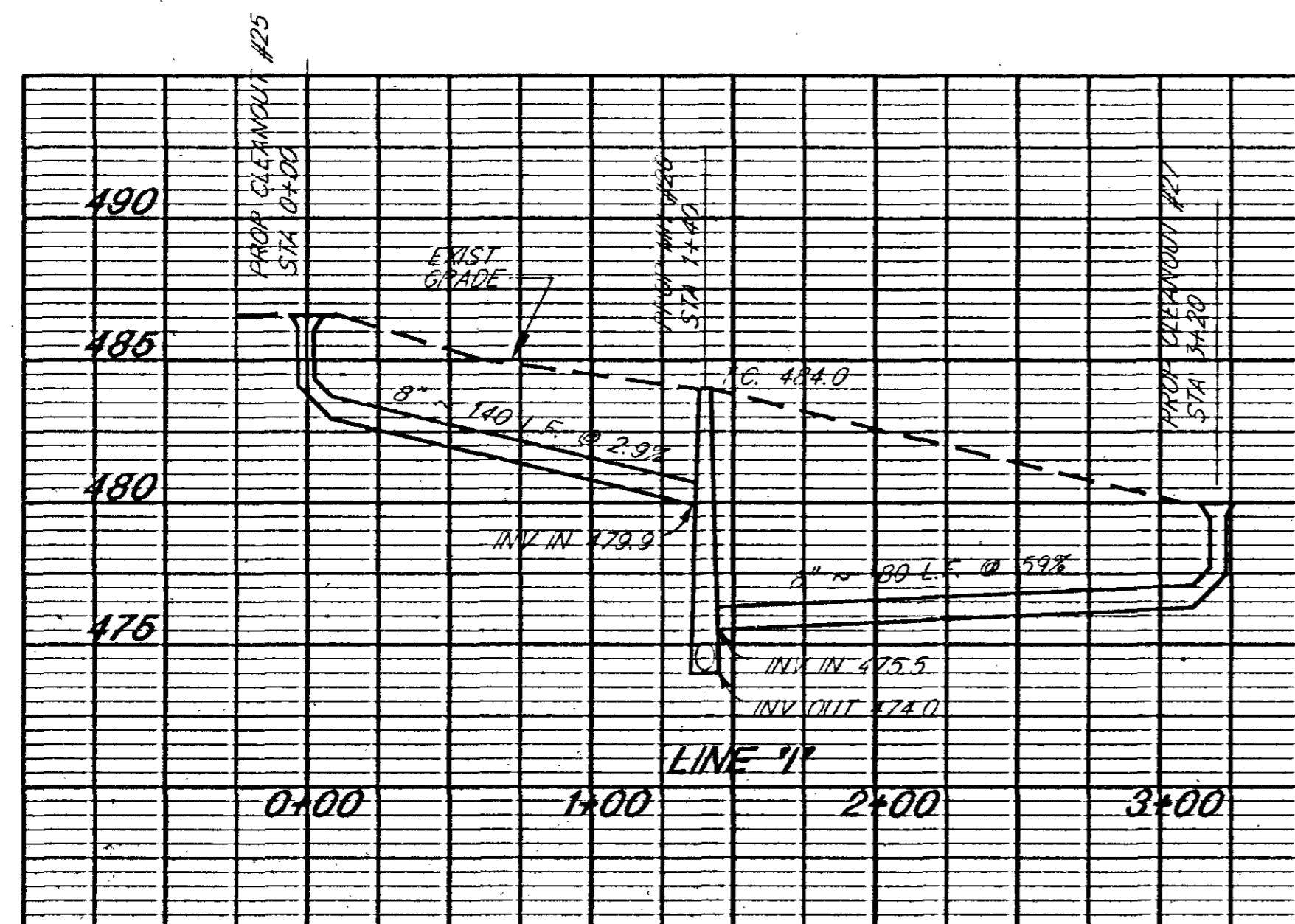
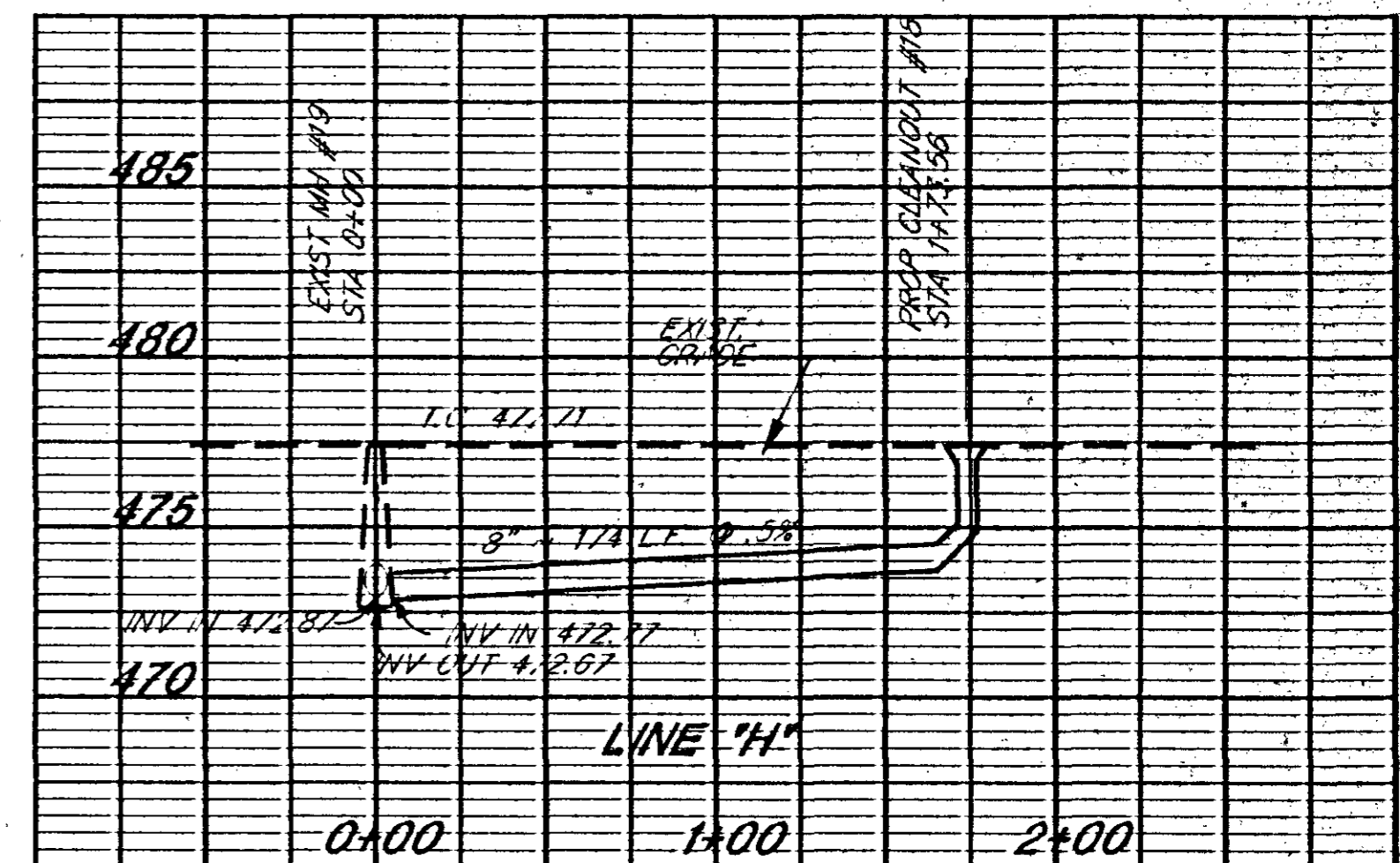
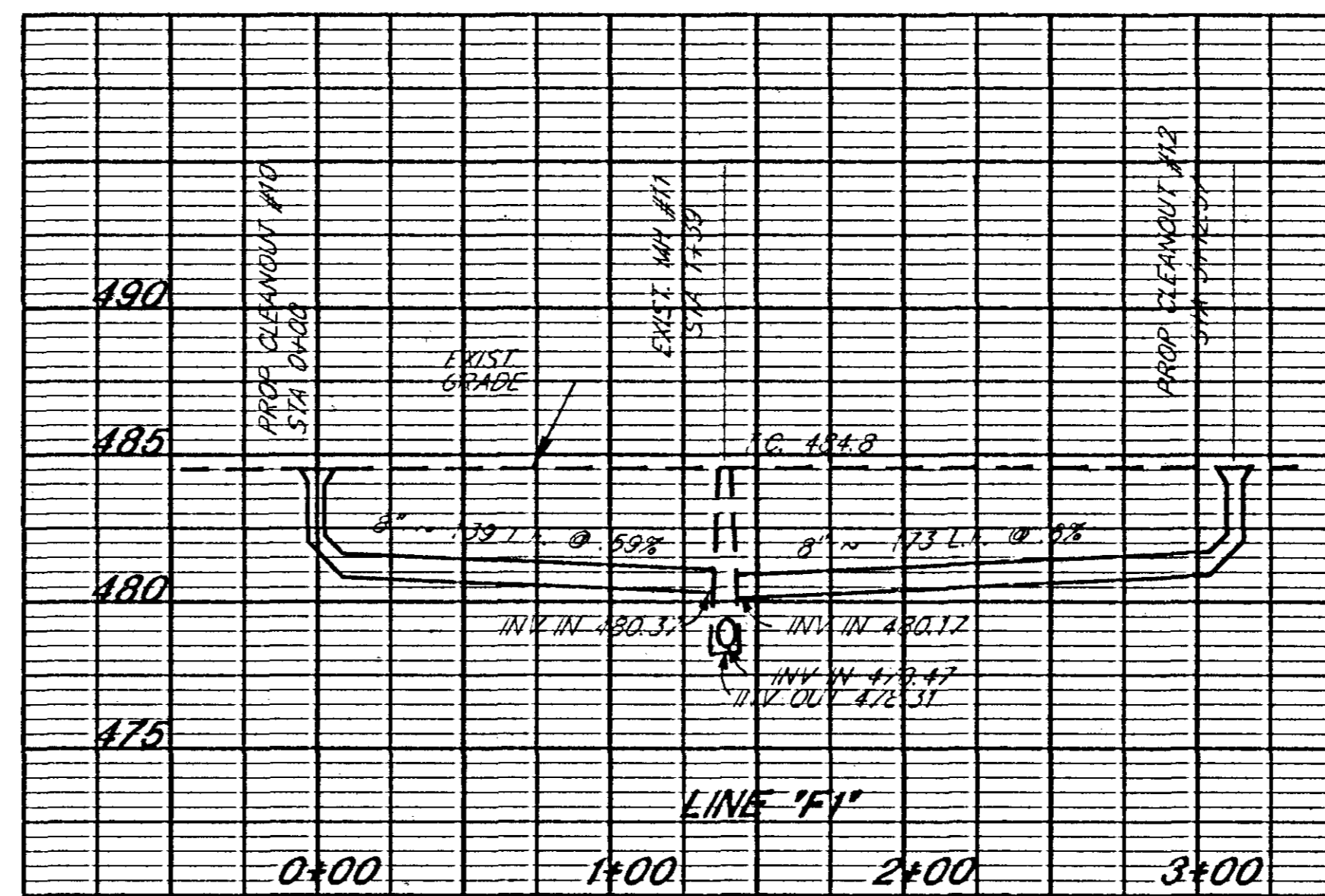
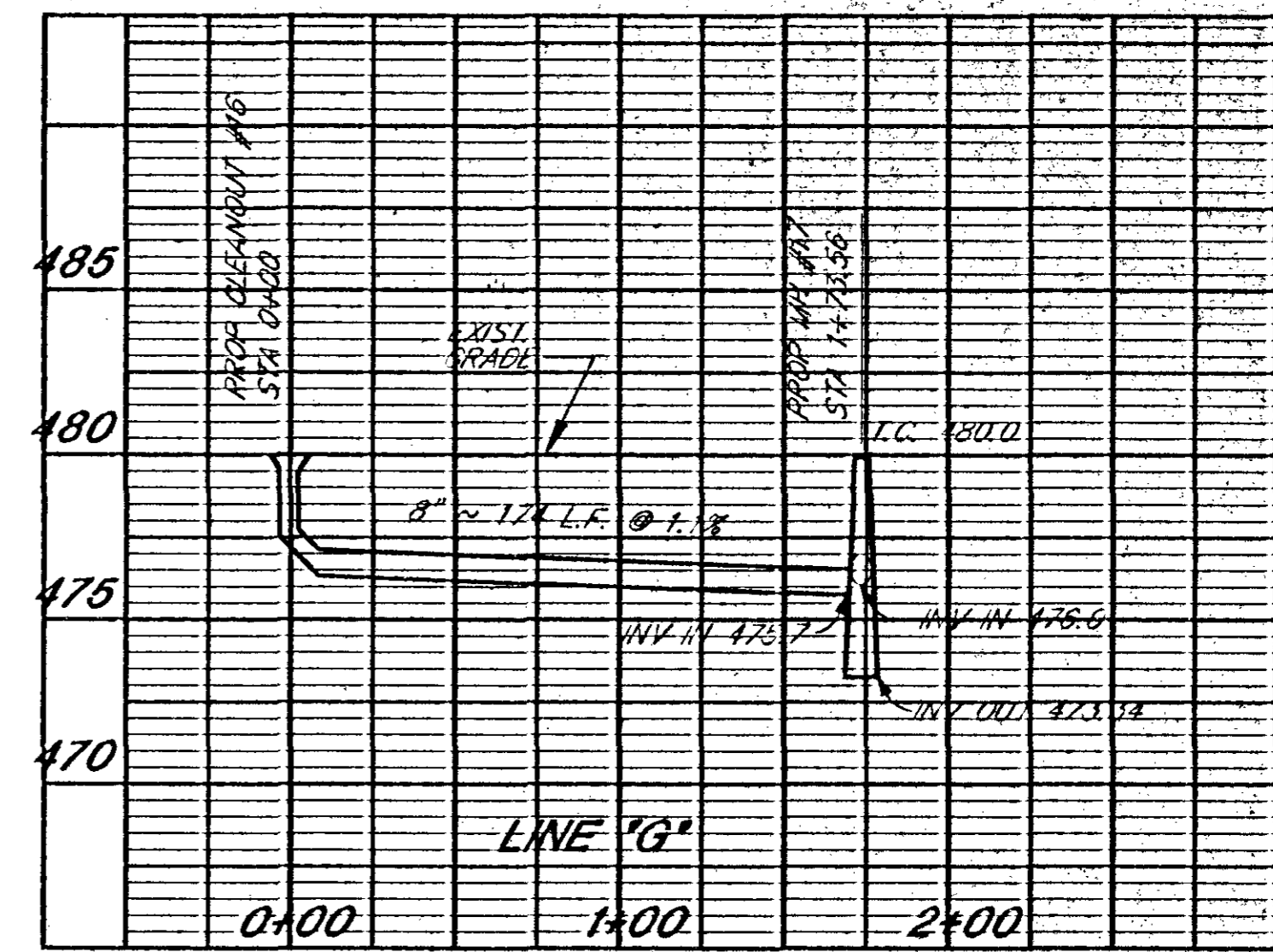
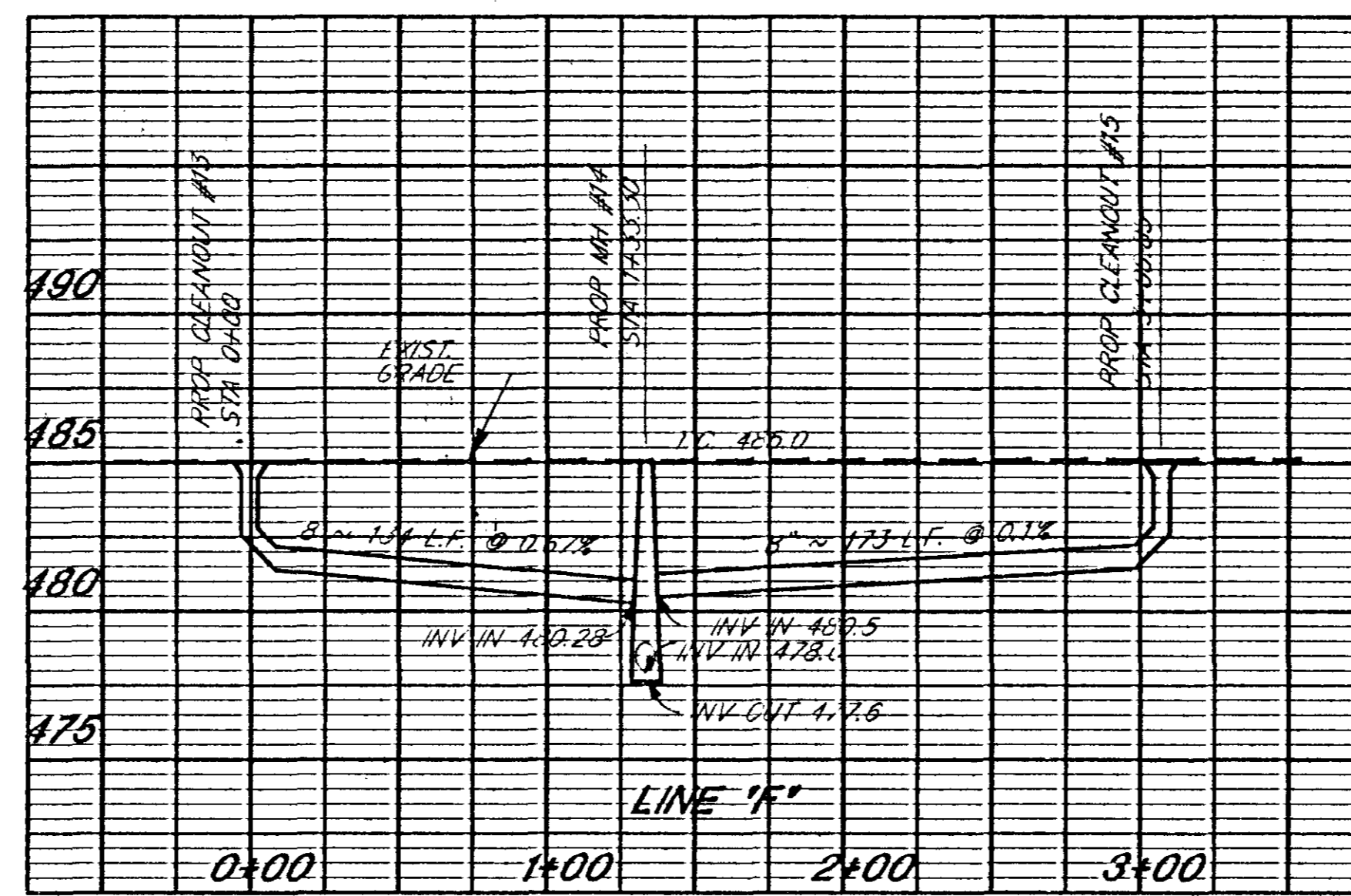
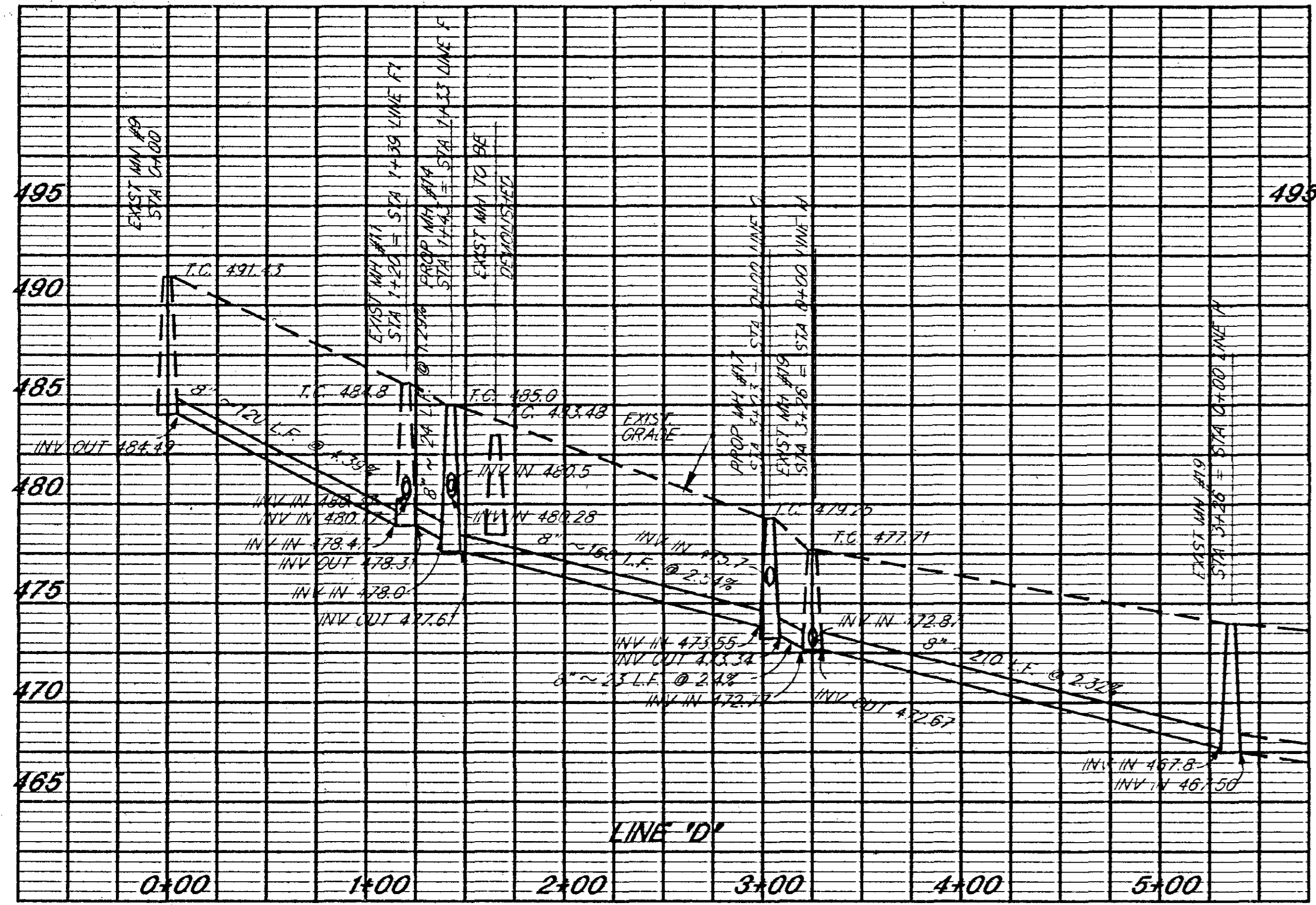
TONY SUDEKUM HOME RENOVATION
TN005-005
METROPOLITAN DEVELOPMENT & HOUSING AGENCY
OF NASHVILLE & DAVIDSON COUNTY
NASHVILLE, TENNESSEE



WR&J Project No. 6018
DATE: 12/19/94

NO.	DATE	REVISION

SHEET NO. **C-10**



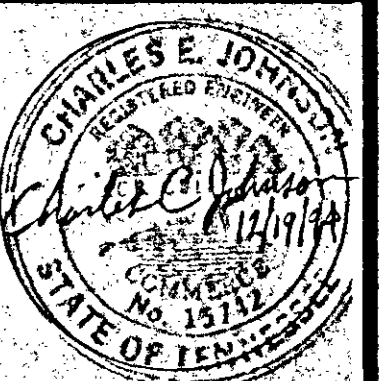
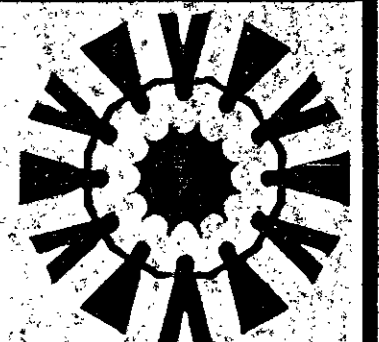
NOTE: GRADES ARE APPROXIMATE
CONTRACTOR TO VERIFY ELEVATION
PRIOR TO COMMENCING WORK
ANY SIGNIFICANT CHANGE
MUST BE APPROVED BY ENGR.

SANITARY PROFILES
SCALE 1" = 50' HOR.
1" = 5' VERT

williams, russell, and johnson, inc.
engineers, planners, architects
Nashville Branch, Suite 400
200 Adams Way
Nashville, Tennessee 37203
Telephone 615/252-2370

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CHECKED BY: GVD | PLOT DATE: 6-25-94

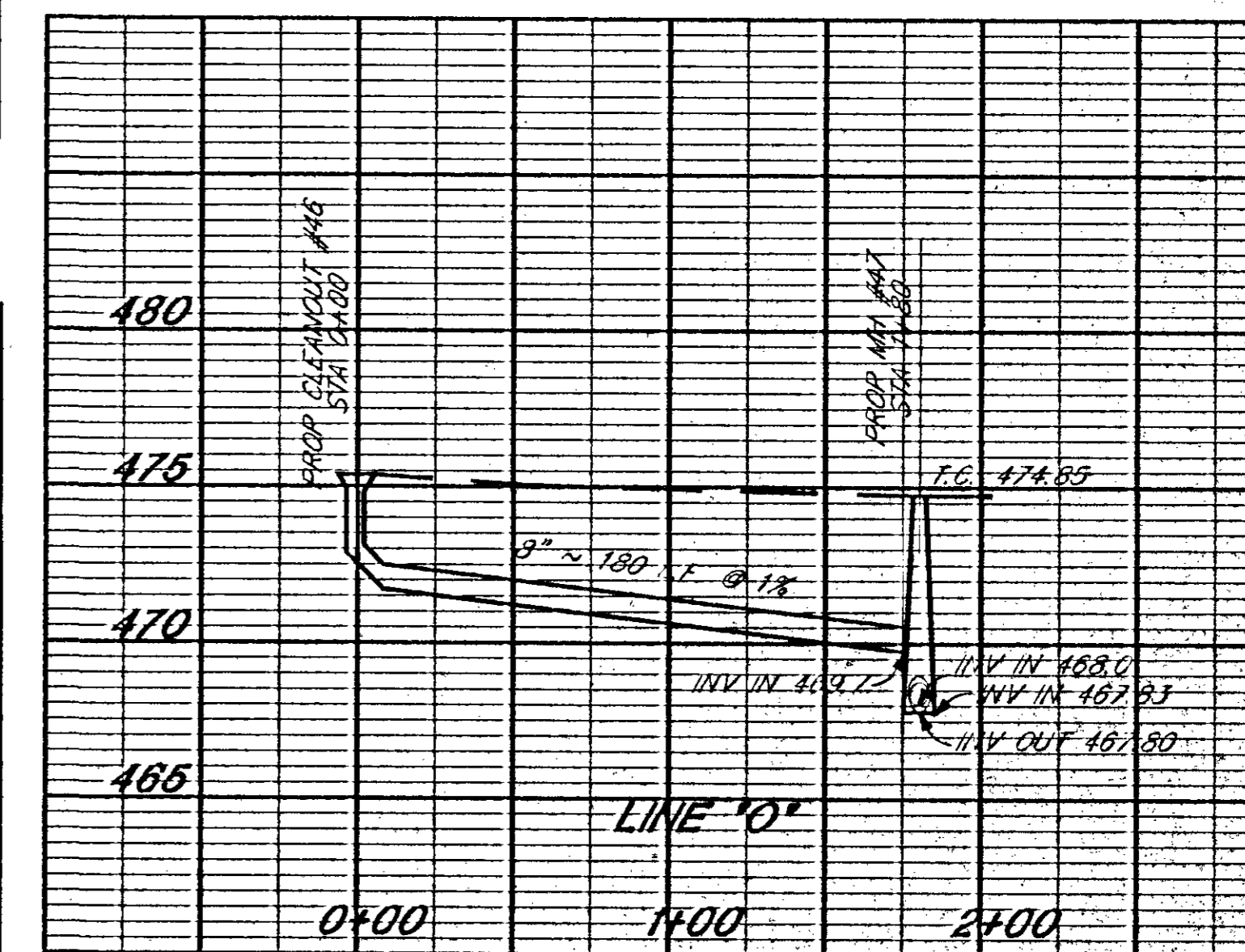
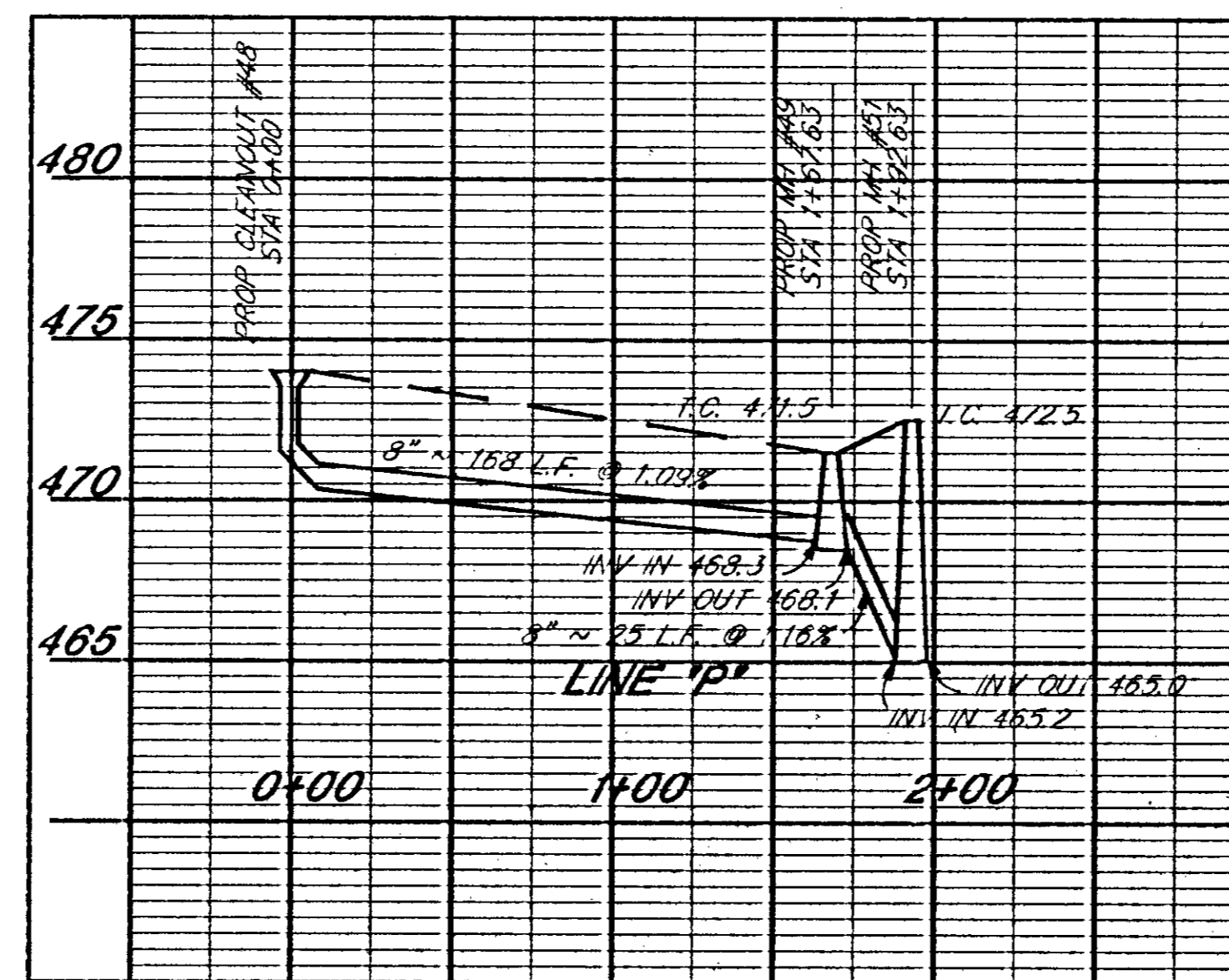
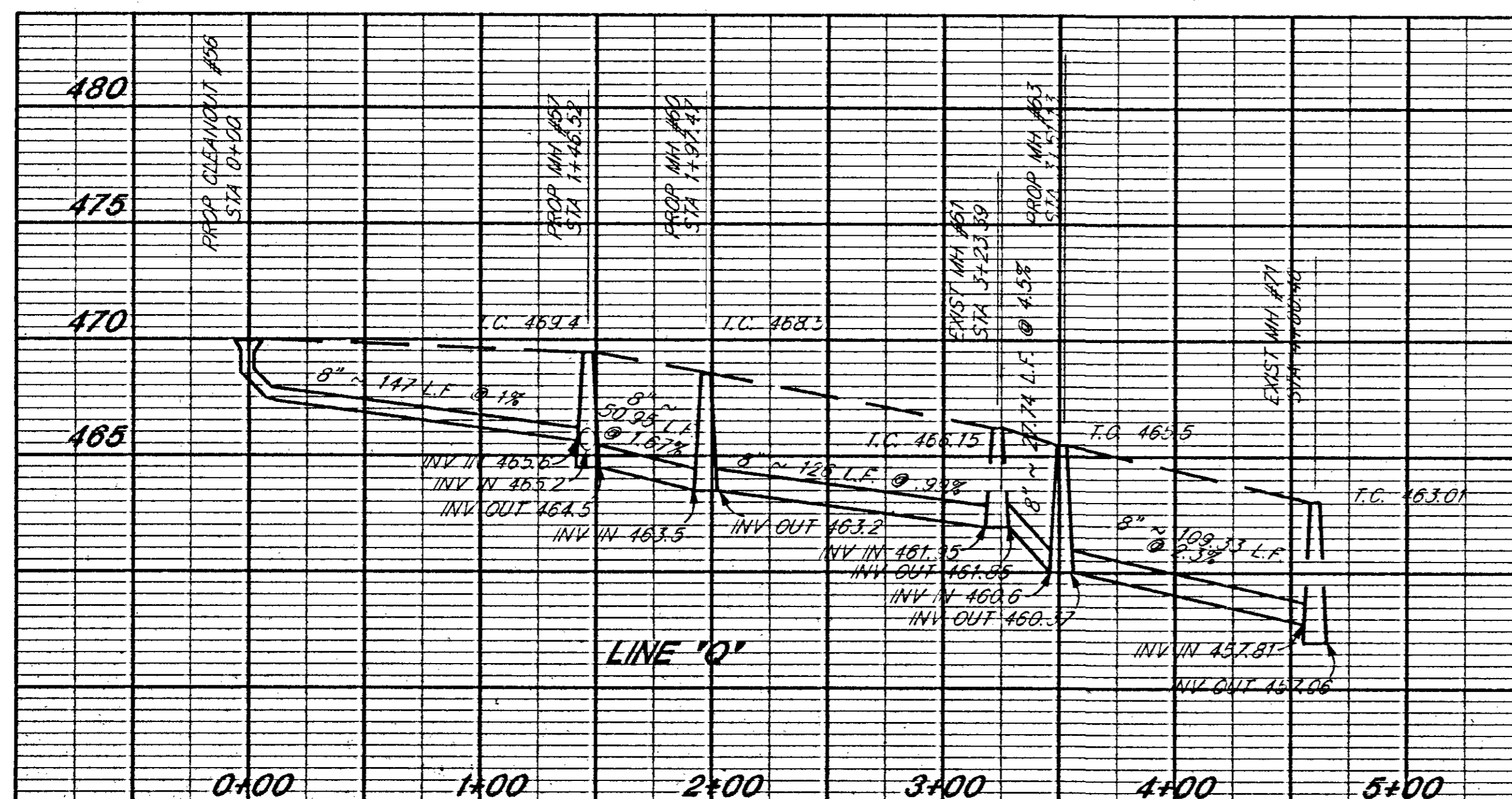
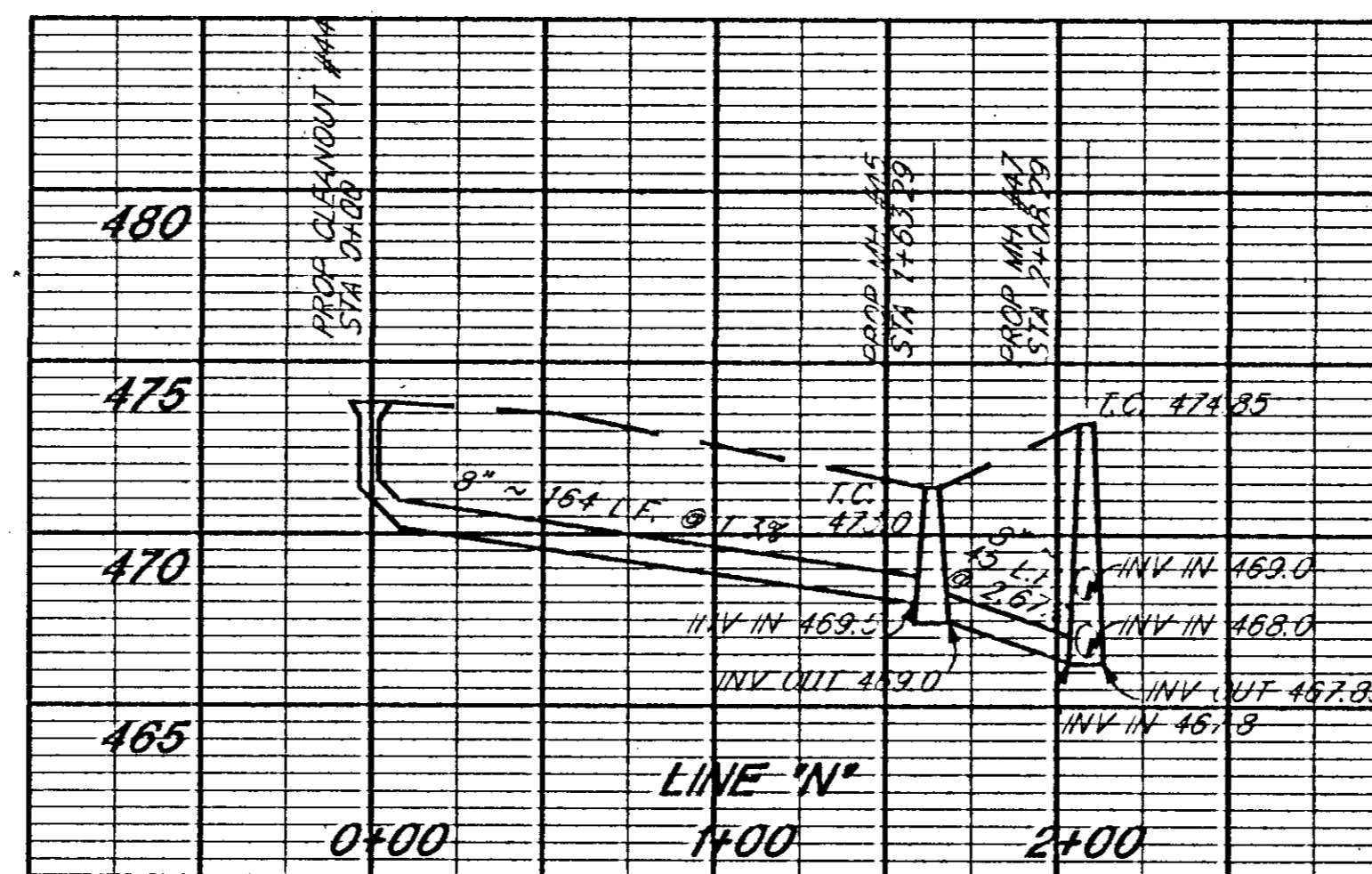
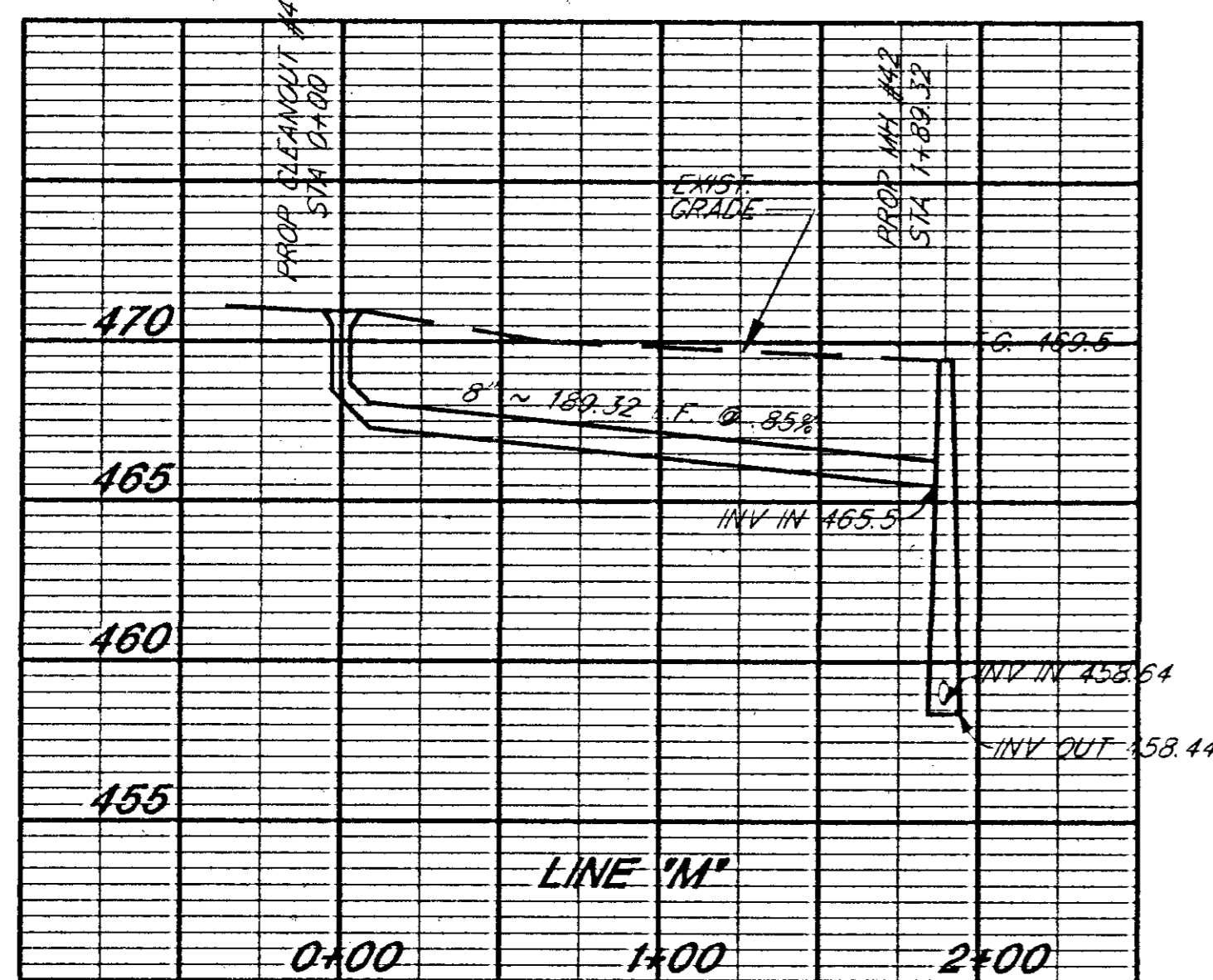
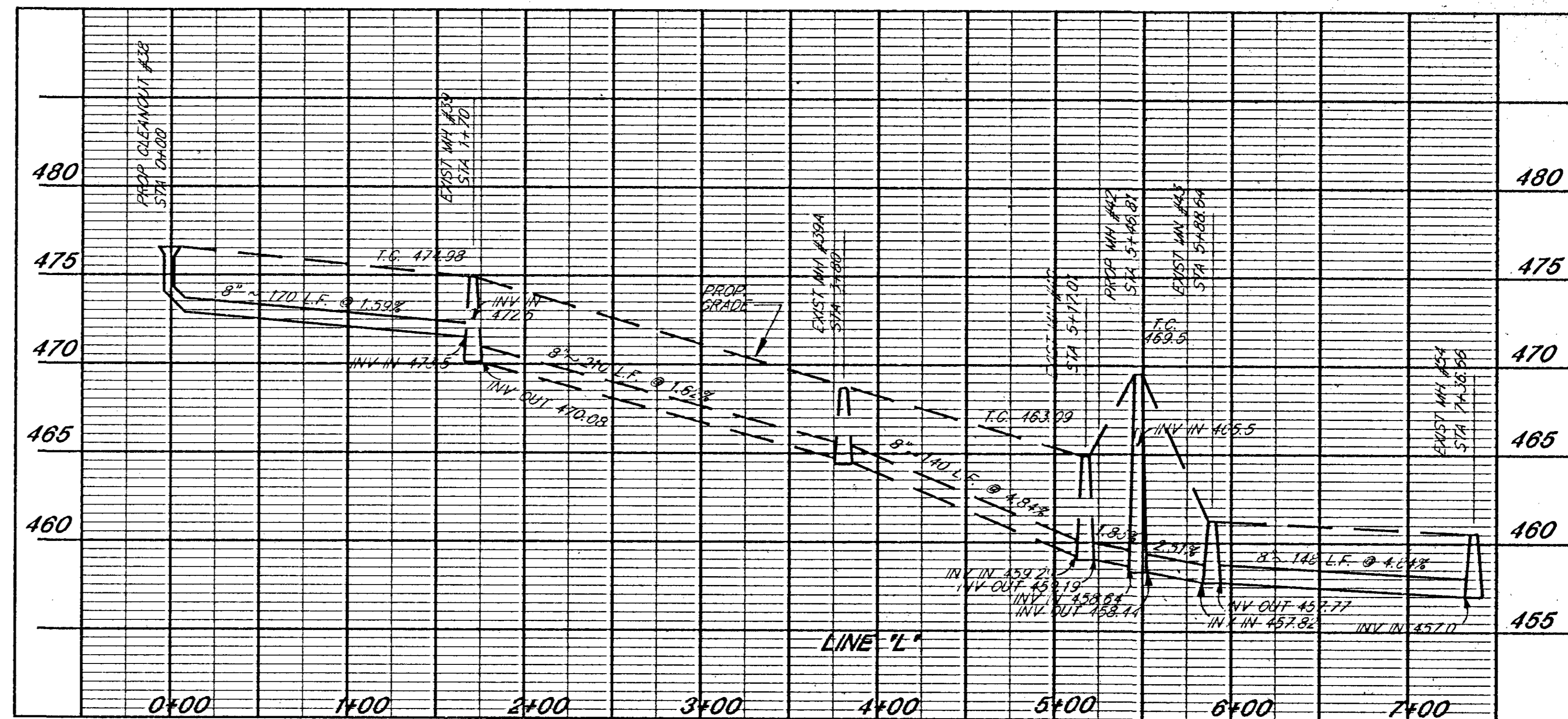
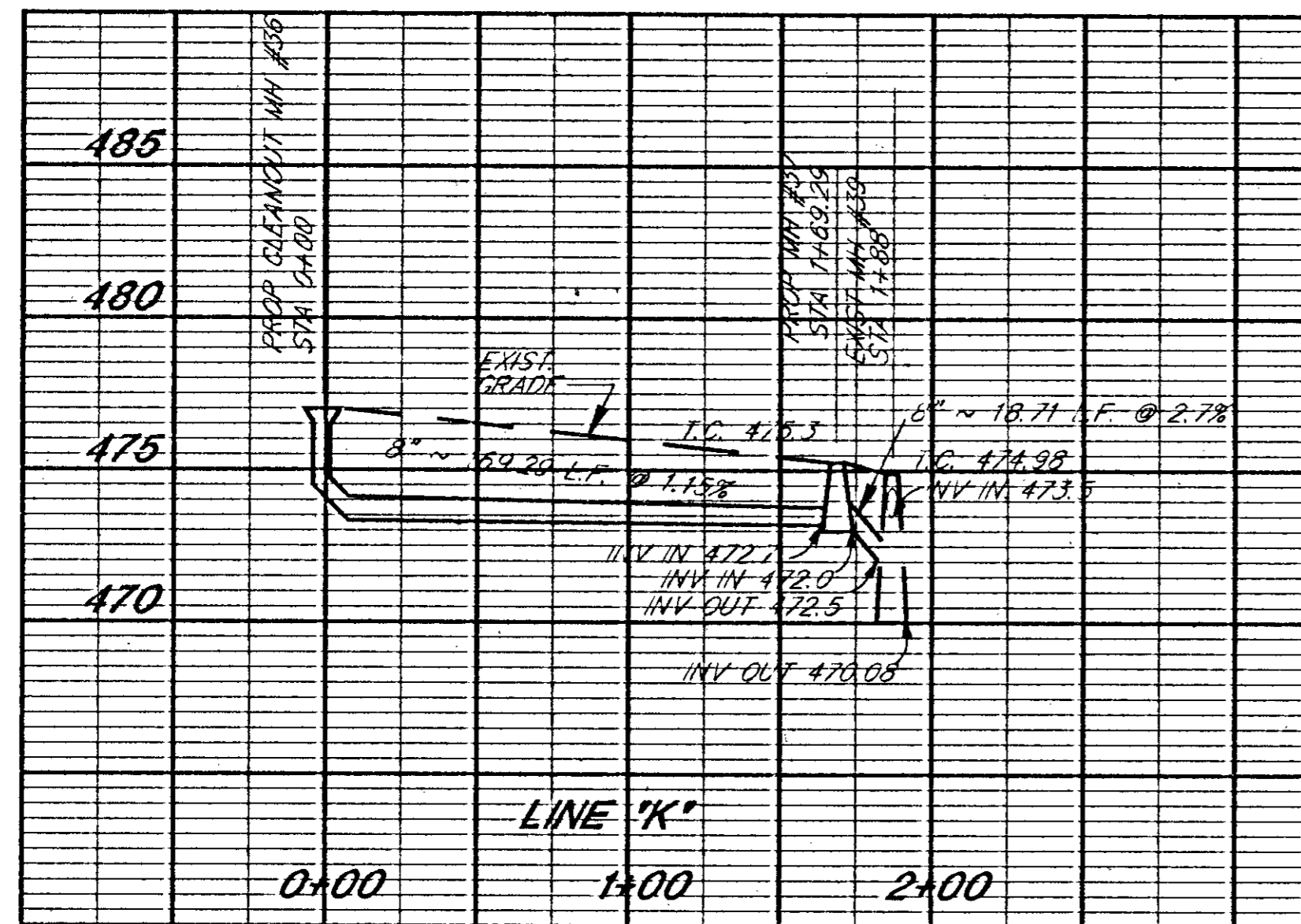
TONY SUDEKUM HOME RENOVATION
TN005-005
METROPOLITAN DEVELOPMENT & HOUSING AGENCY
OF NASHVILLE & DAVIDSON COUNTY
NASHVILLE, TENNESSEE



WR&J Project No. 6018
DATE: 12/2/94

NO.	DATE	REVISION

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C-12

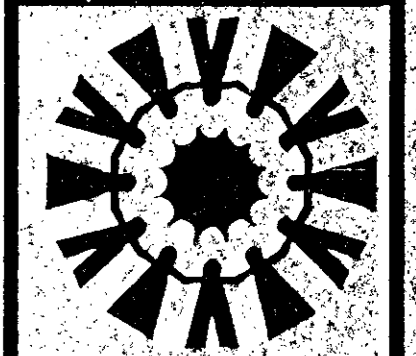


NOTE:
GRADES ARE APPROXIMATE
CONTRACTOR TO VERIFY ELEVATION
PRIOR TO COMMENCING WORK
ANY SIGNIFICANT CHANGE
MUST BE APPROVED BY ENGR.

SANITARY PROFILES
SCALE 1" = 50' HOR
1" = 5' VERT

Williams, Russell and Johnson, Inc.
Engineers - Planners - Architects
Nashville Branch, Suite 400
220 Adams Way
Nashville, Tennessee 37228
Telephone 615/254-2174

TONY SUDEKUM HOME RENOVATION
IN005-005
METROPOLITAN DEVELOPMENT & HOUSING AGENCY
OF NASHVILLE & DAVIDSON COUNTY
NASHVILLE, TENNESSEE

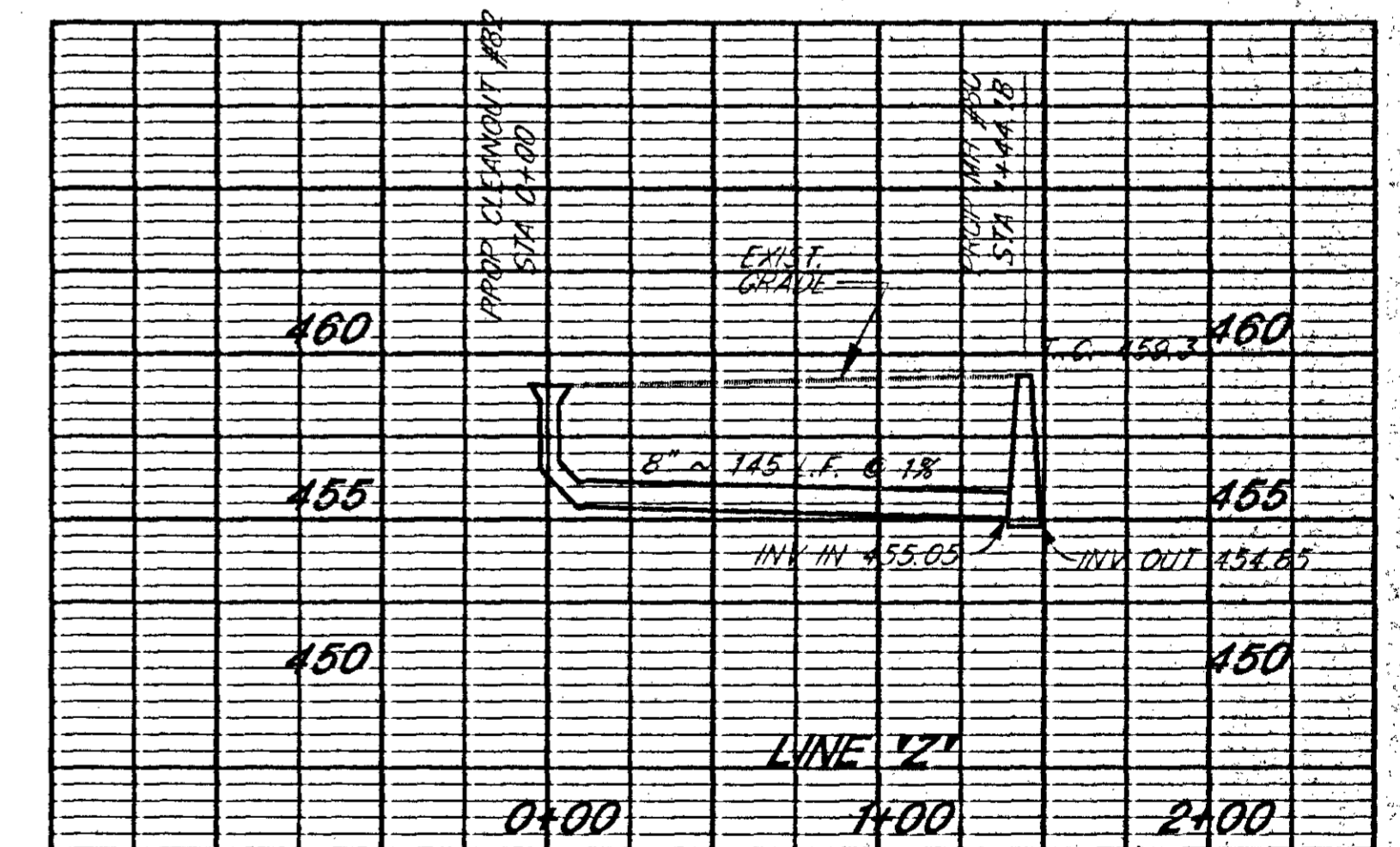
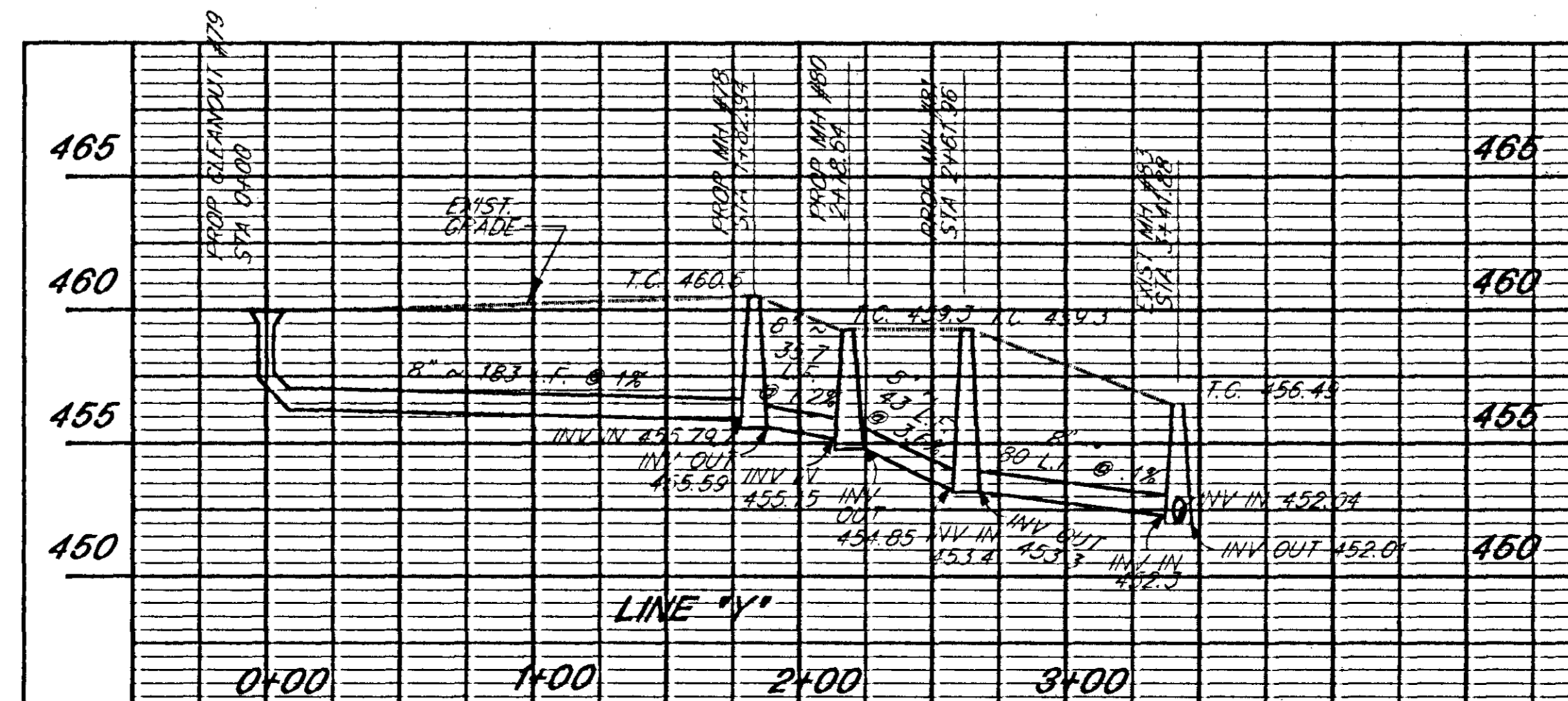
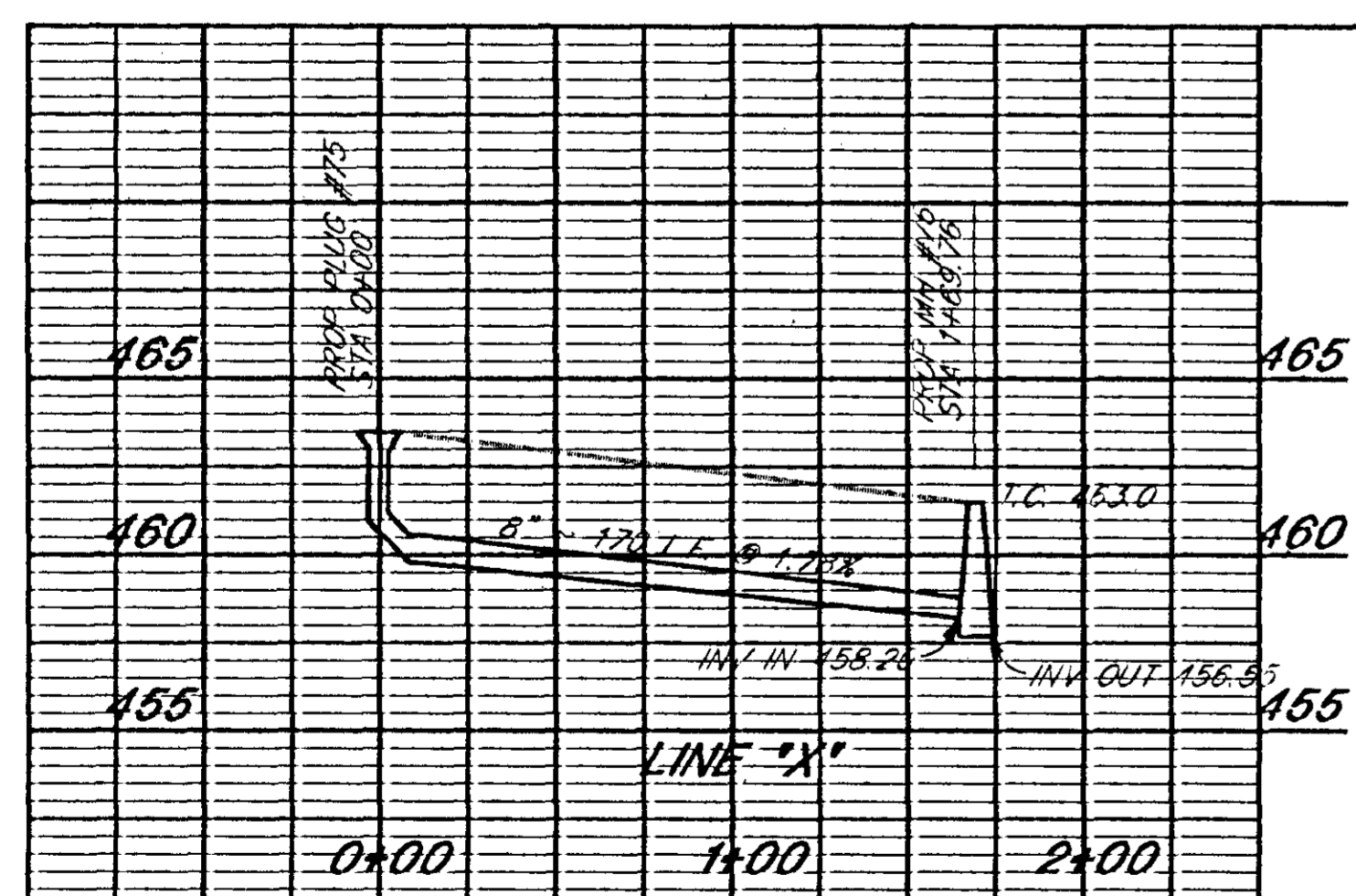
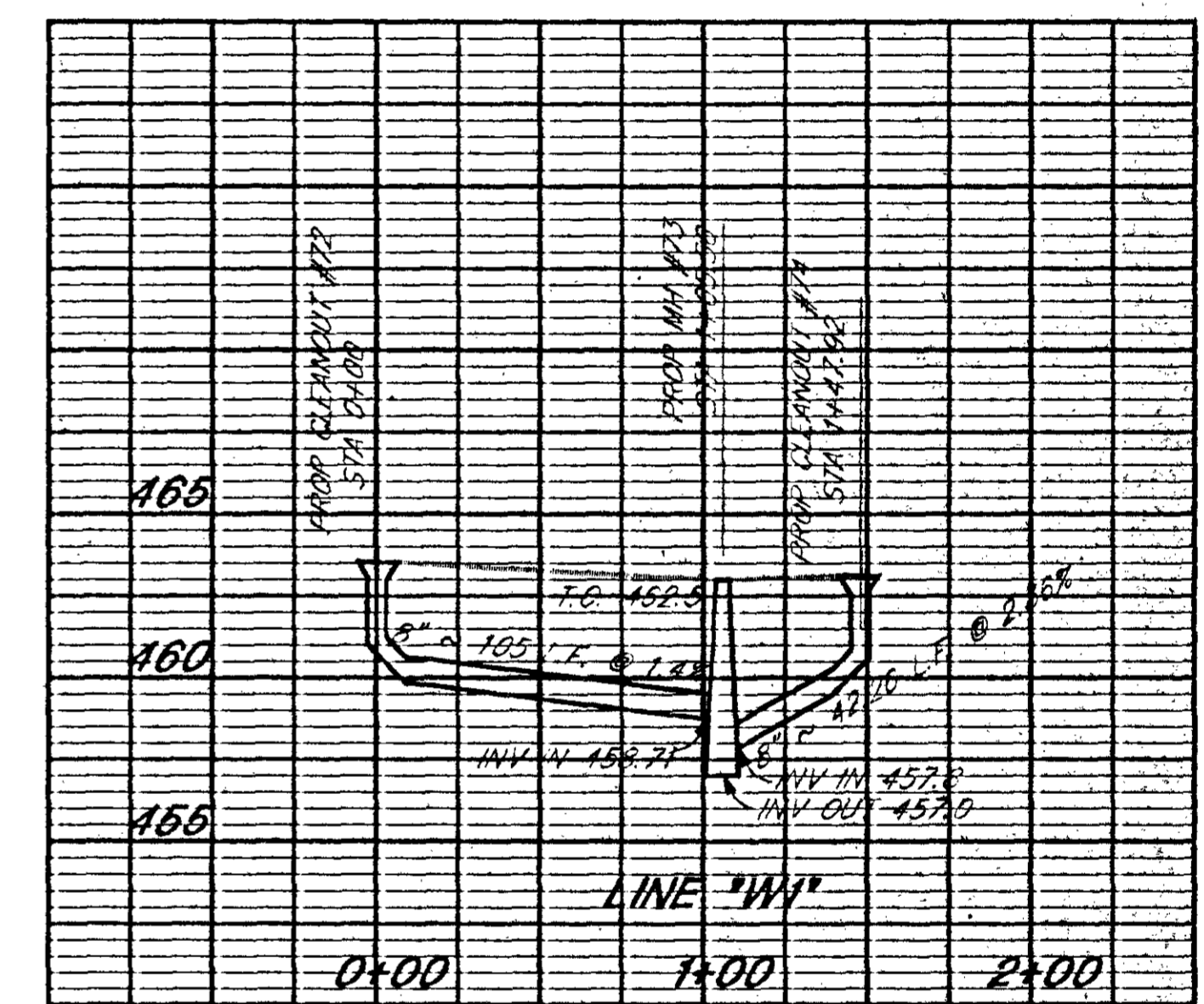
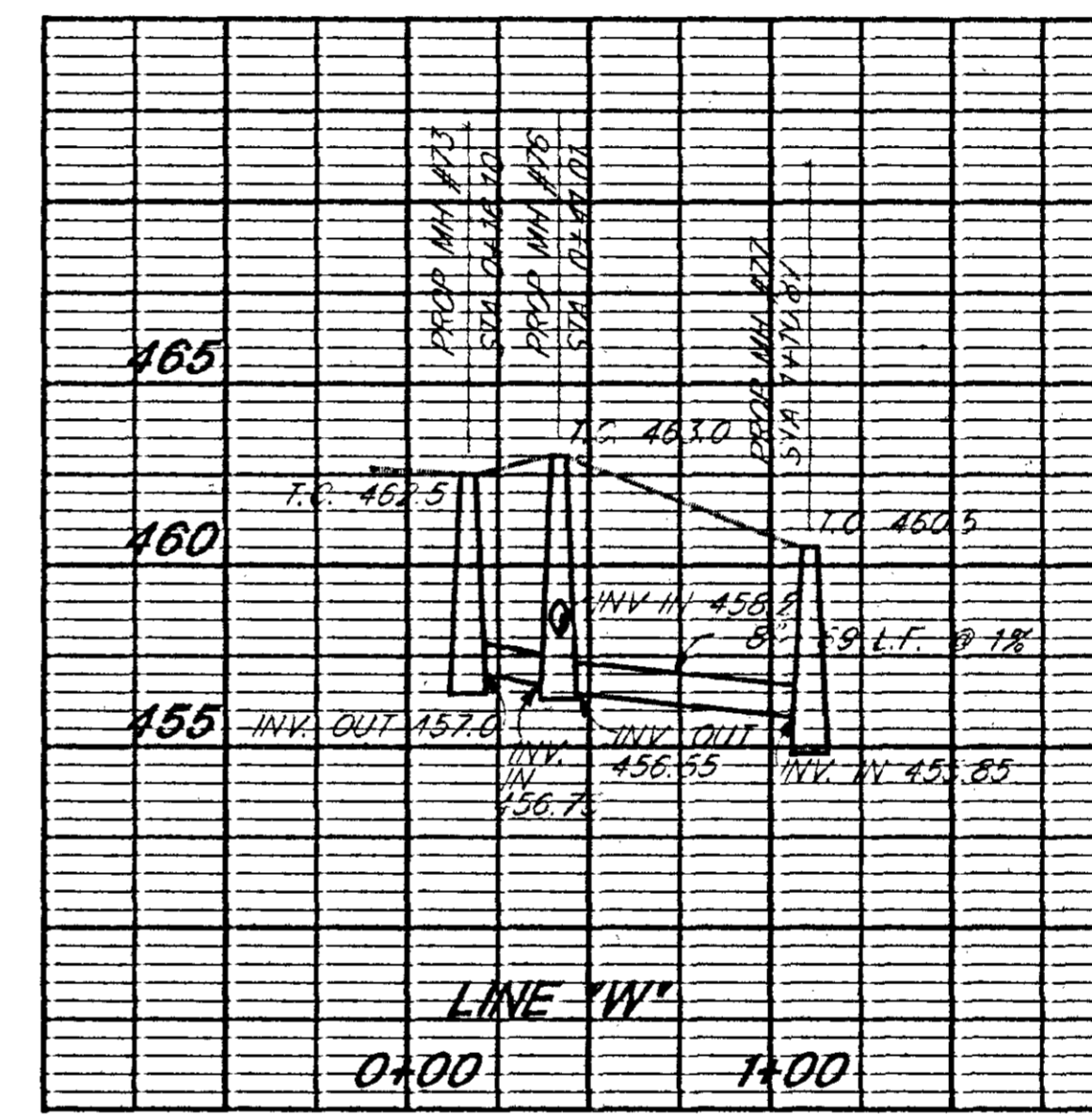
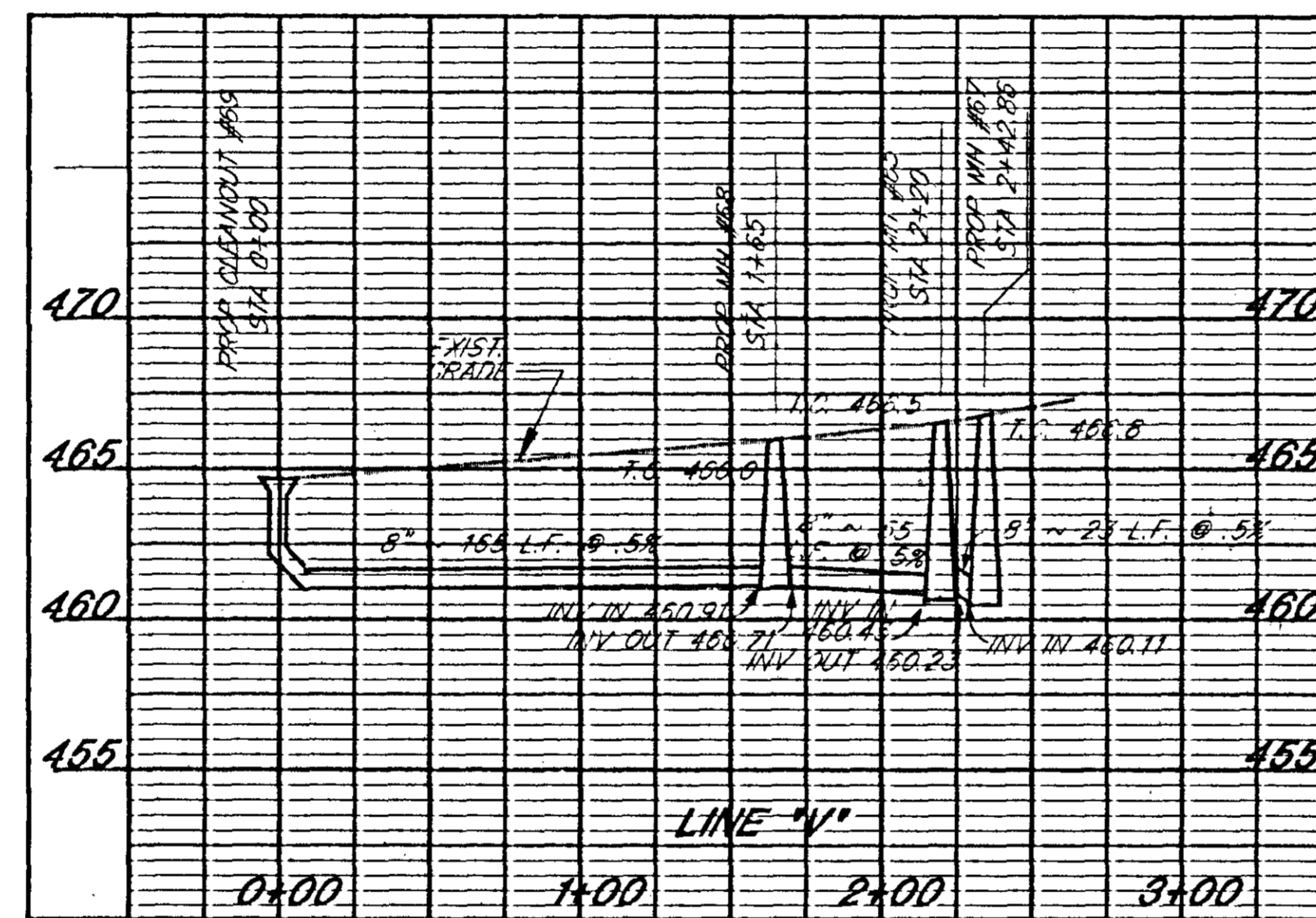
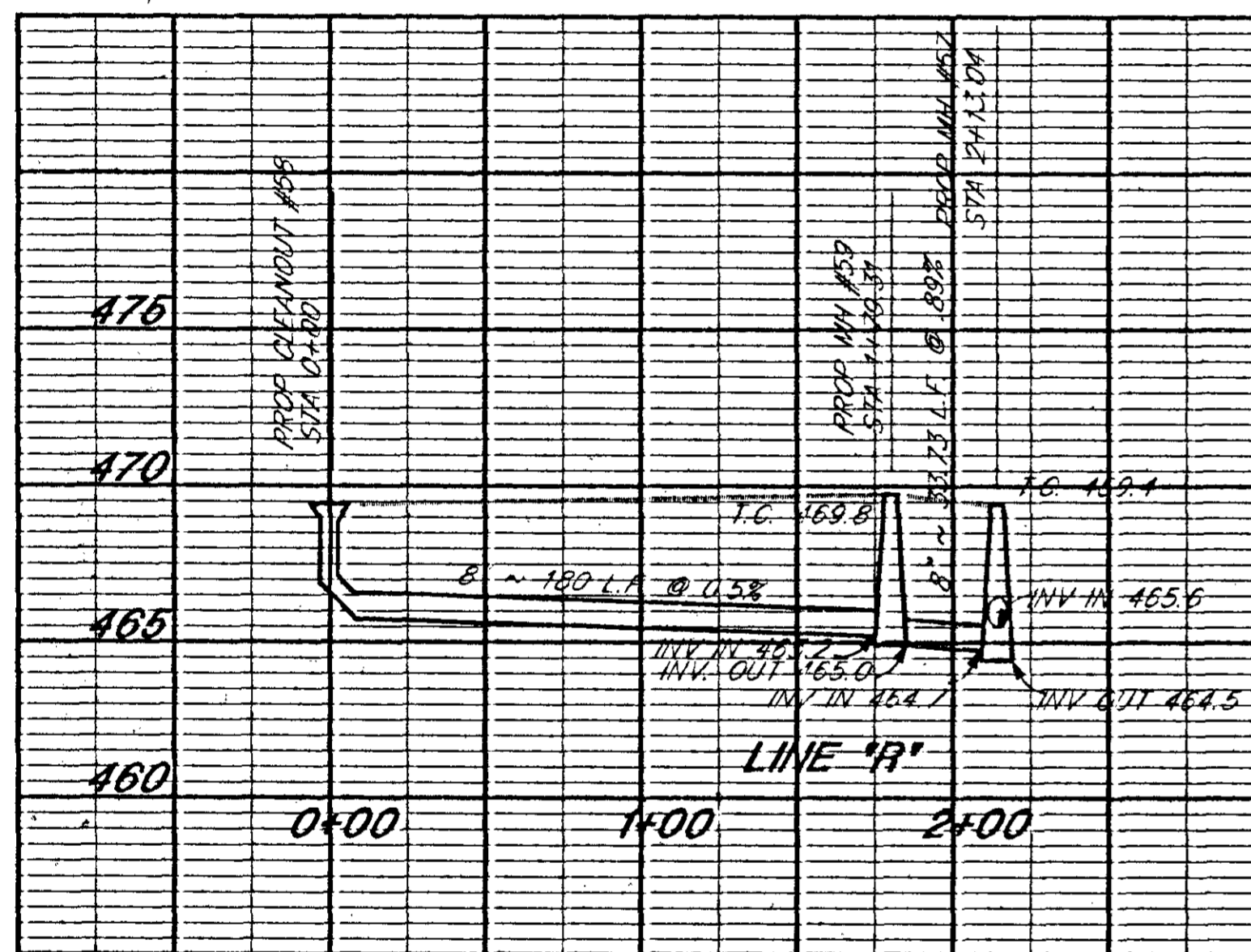
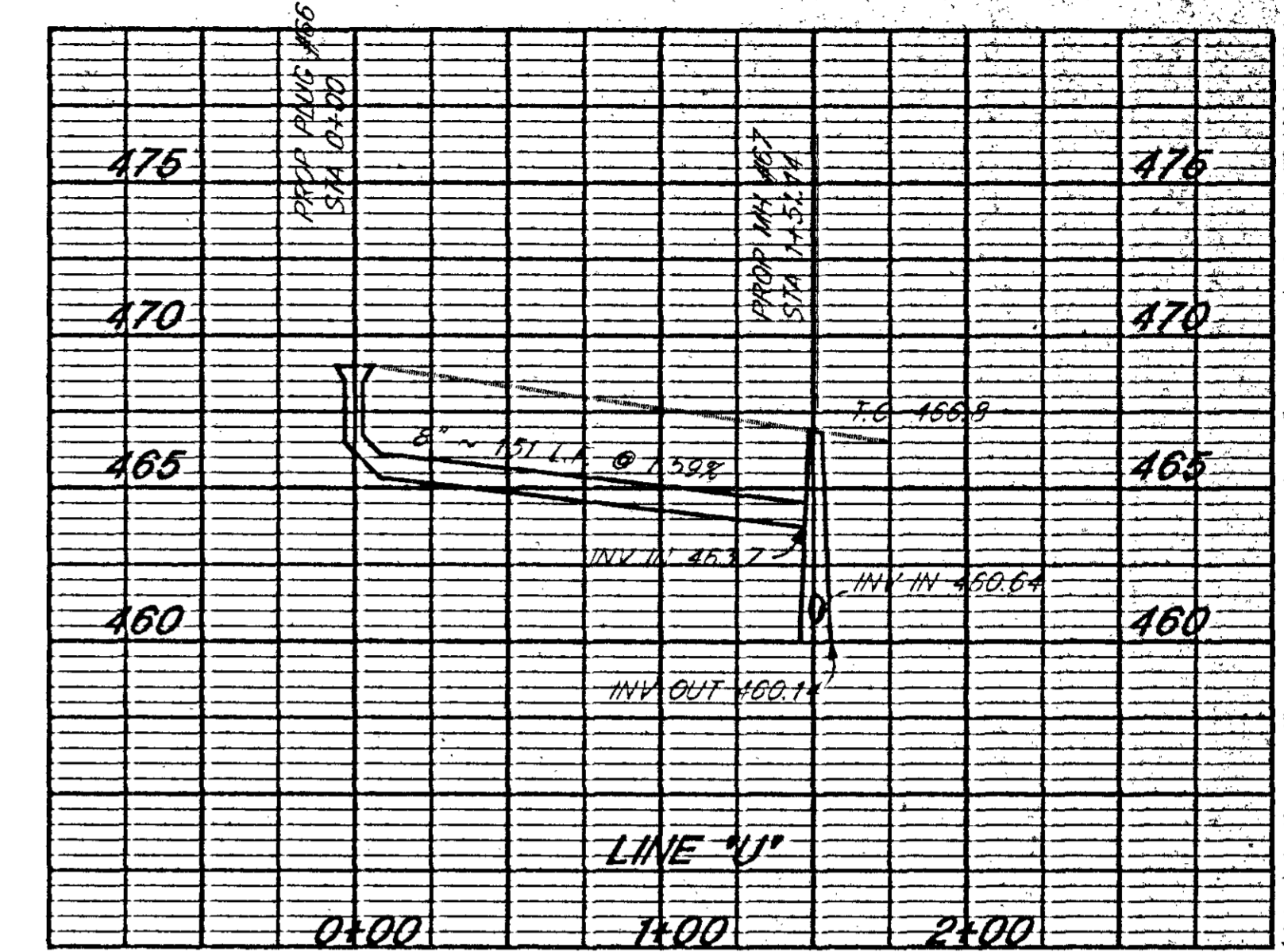
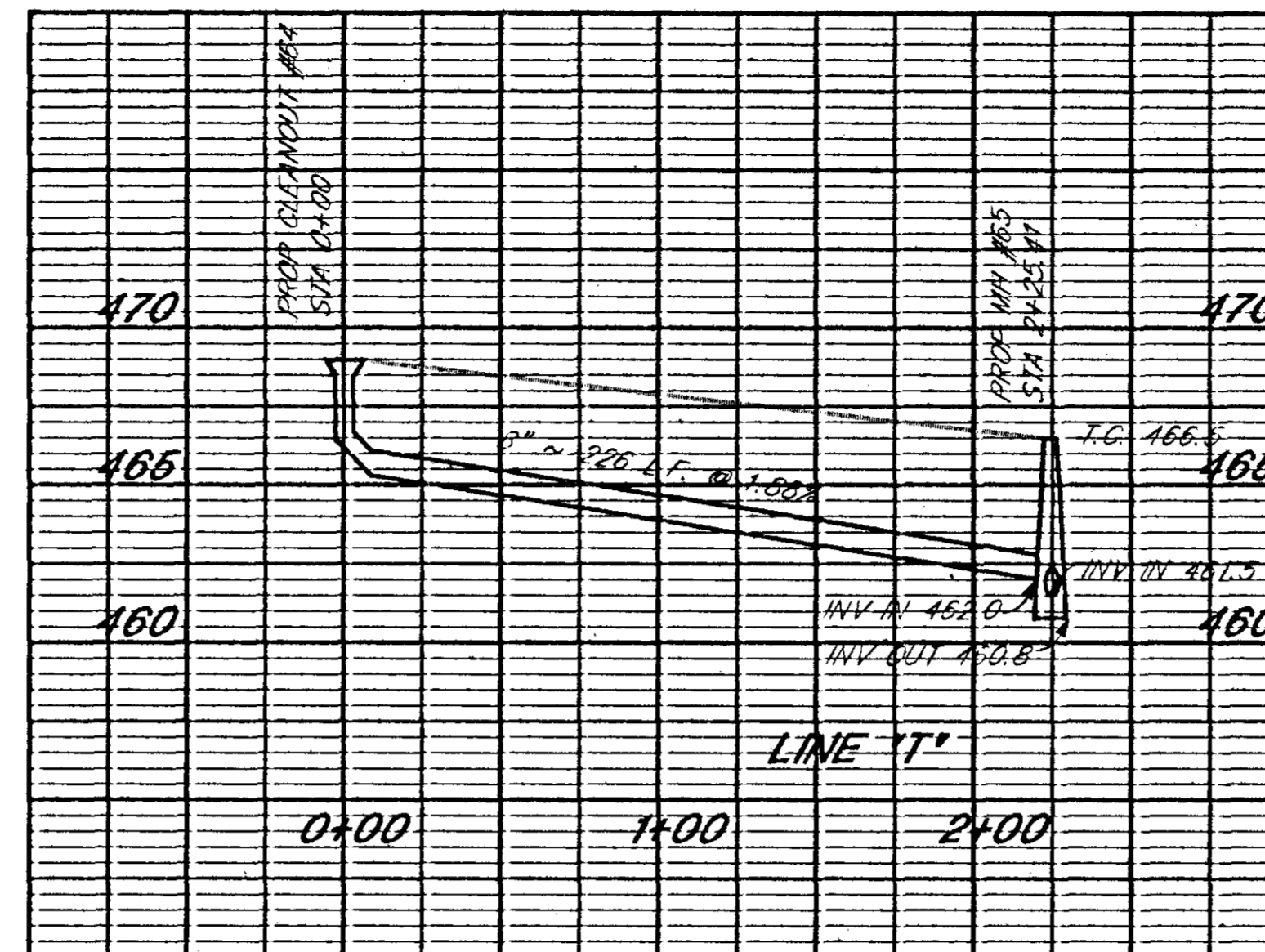
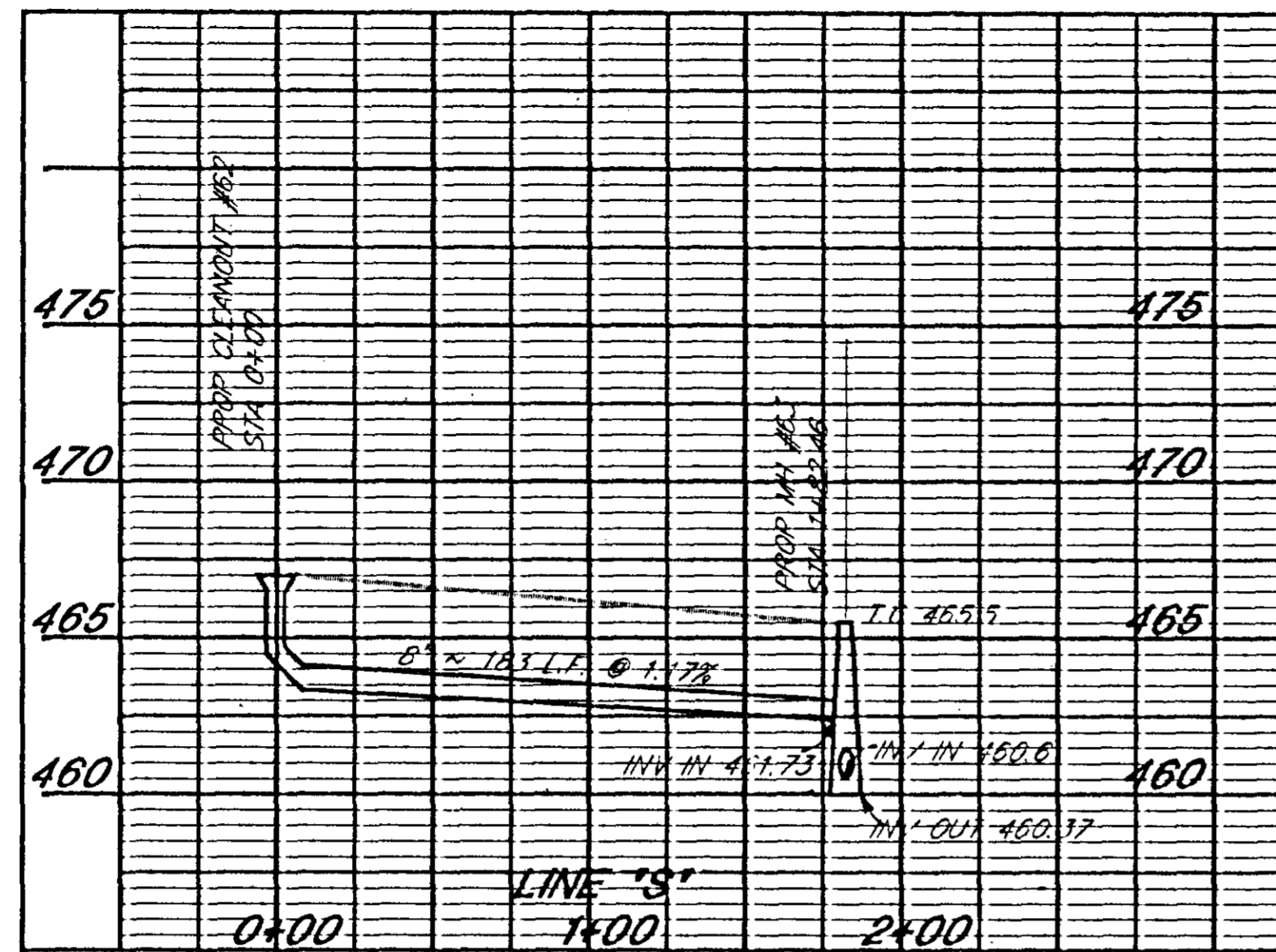


WR&J Project No. 8018
DATE: 12/19/94

NO.	DATE	REVISION

SHEET NO
C-13

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NOTE: GRADES ARE APPROXIMATE
CONTRACTOR TO VERIFY ELEVATION
PRIOR TO COMMENCING WORK
ANY SIGNIFICANT CHANGE
MUST BE APPROVED BY ENGR.

SANITARY PROFILES
SCALE 1" = 50' HOR.
1" = 5' VERT

Williams, Russell and Johnson, Inc.
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Nashville Branch, Suite 400
Nashville, Tennessee 37228
Telephone 615/254-2176

TONY SUDEKUM HOME RENOVATION
IN005-005
METROPOLITAN DEVELOPMENT & HOUSING AGENCY
OF NASHVILLE & DAVIDSON COUNTY
NASHVILLE, TENNESSEE

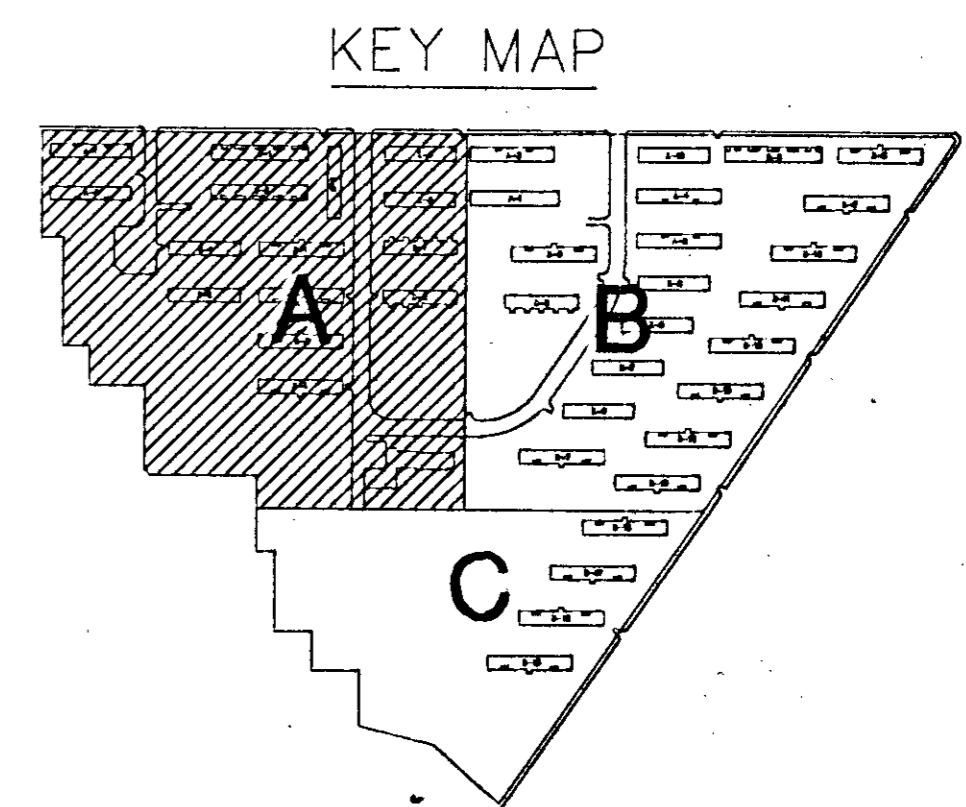
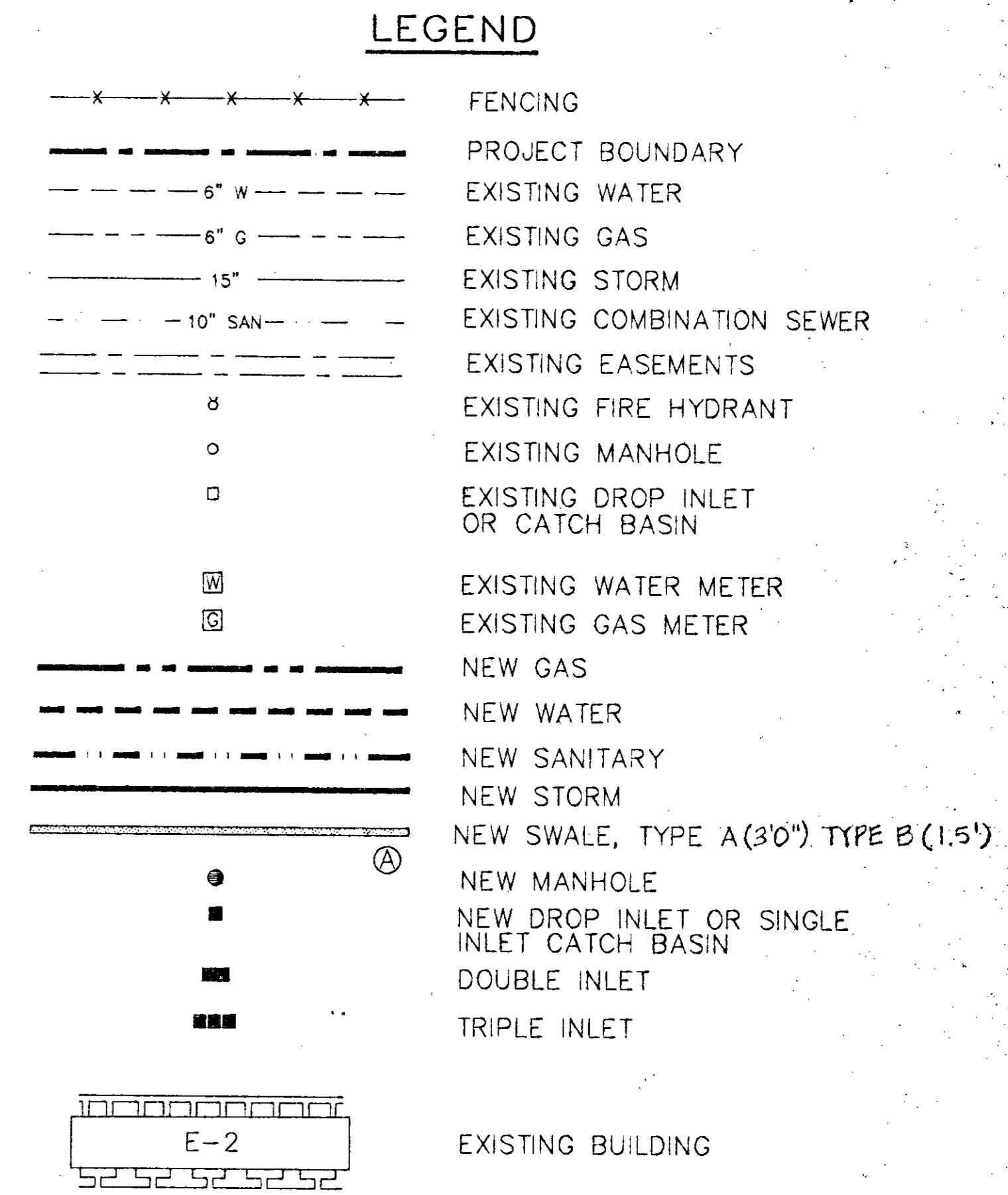
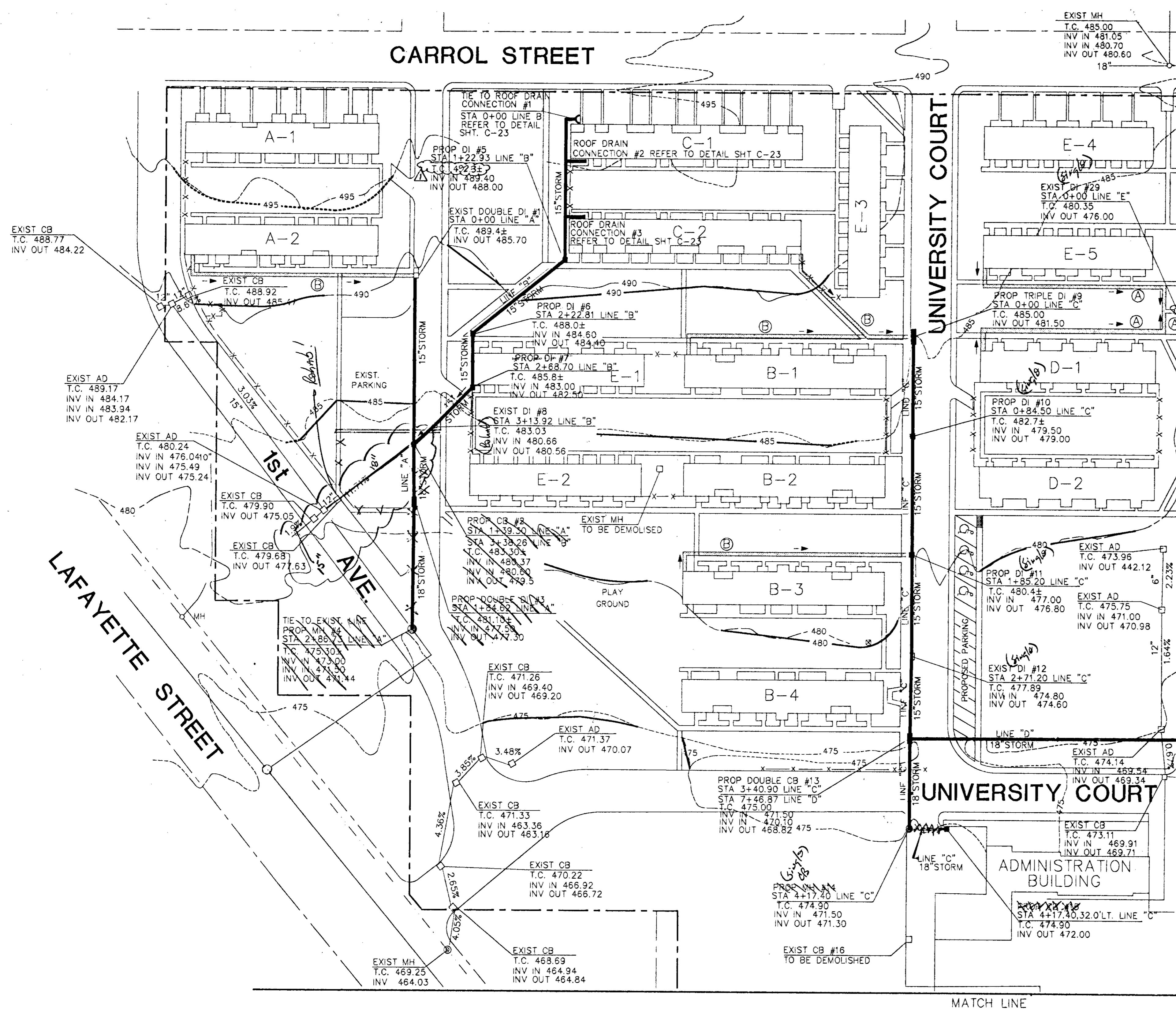


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DATE: 12/16/94

NO. DATE REVISION

NO.	DATE	REVISION

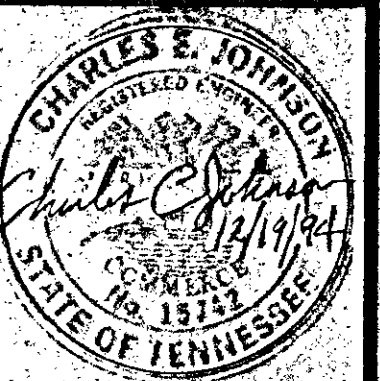
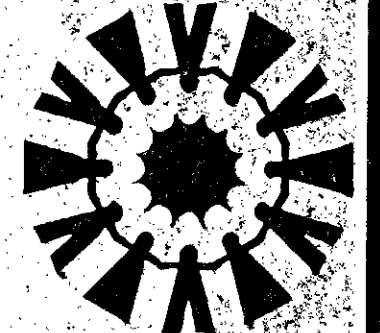
SHEET NO.
C-14



PROPOSED GRADING, DRAINAGE AND STORM DISTRIBUTION
SCALE 1" = 50'

williams + russell and johnson, inc.
Engineers, Planners, Architects
220 Atlanta, Way
Nashville, Tennessee 37226
Telephone: 615/252-5199
FAX: 615/252-5198
DRAWN BY: WLB CADD FILE NO: C-15
CHECKED BY: GVO PLOT DATE: 6/27/94

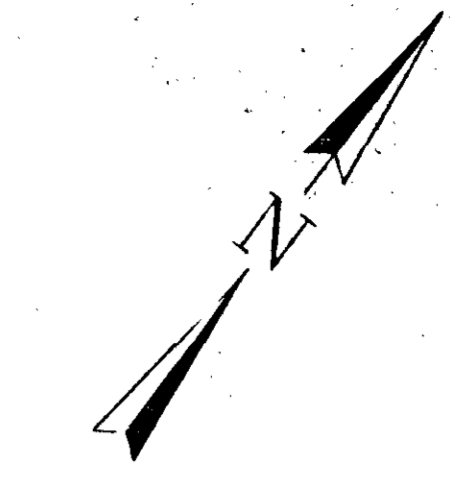
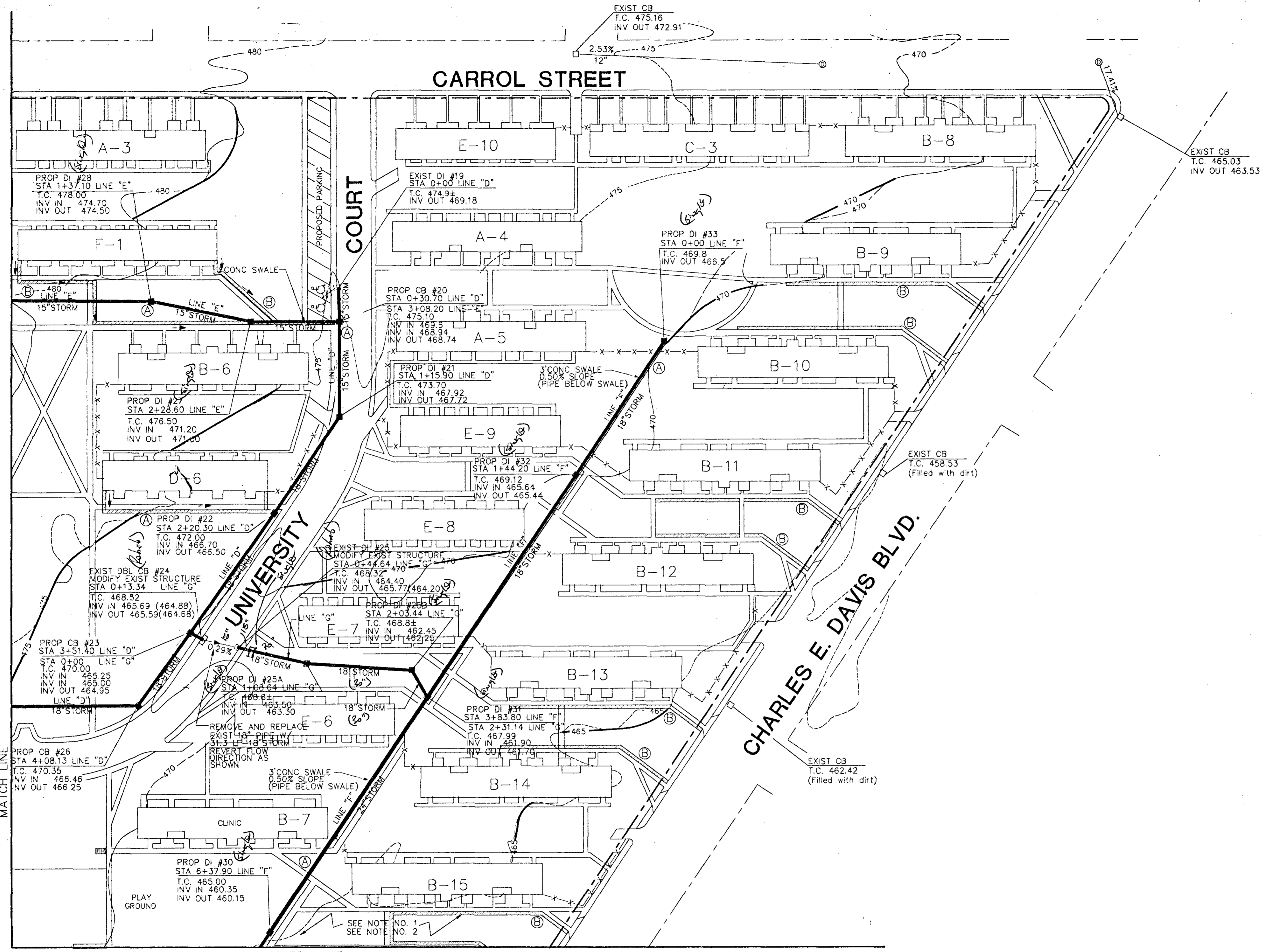
TONY SUDEKUM HOME RENOVATION
TN005-005
METROPOLITAN DEVELOPMENT & HOUSING AGENCY
OF NASHVILLE & DAVIDSON COUNTY
NASHVILLE, TENNESSEE



WR&J Project No.: 6018
DATE: 11/13/94

NO.	DATE	REVISION
1	6/21/95	CHANGE ELEVATION

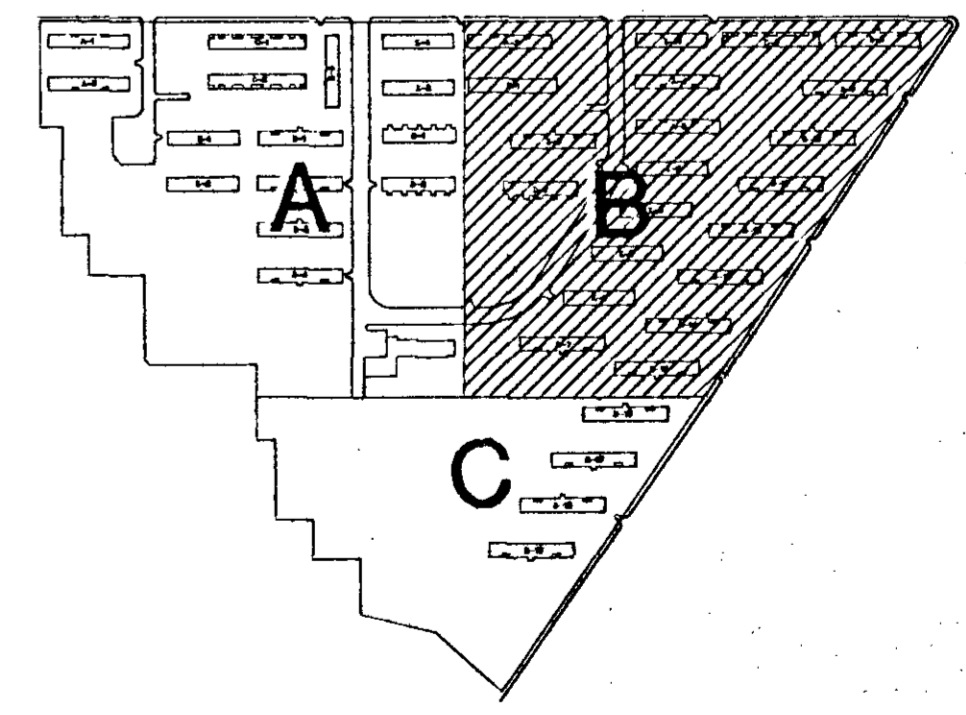
SHEET NO.
C-15



LEGEND

- x---x---x---x---x--- FENCING
- PROJECT BOUNDARY
- - - - - 6" W EXISTING WATER
- - - - - 6" G EXISTING GAS
- - - - - 15" EXISTING STORM
- - - - - 10" SAN EXISTING COMBINATION SEWER
- EXISTING EASEMENTS
- o EXISTING FIRE HYDRANT
- o EXISTING MANHOLE
- EXISTING DROP INLET OR CATCH BASIN
- W EXISTING WATER METER
- G EXISTING GAS METER
- NEW GAS
- NEW WATER
- NEW SANITARY
- NEW STORM
- NEW SWALE, TYPE A (30") TYPE B (15")
- o EXISTING MANHOLE
- o NEW DROP INLET OR SINGLE INLET CATCH BASIN
- o DOUBLE INLET
- o TRIPLE INLET
- E-2 EXISTING BUILDING

KEY MAP

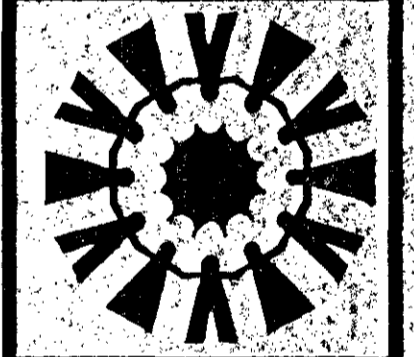


- NOTES**
1. NO DRAINAGE OR LANDSCAPING NEEDED THIS AREA. SOD IF NECESSARY.
 2. CONTRACTOR TO USE THIS AREA (BETWEEN BUILDINGS NOS. B-15 AND B-16) AS MODEL AREA FOR SWALES AND LANDSCAPING.
 3. MAKE SMOOTH GRADE TRANSITIONS BETWEEN ALL BUILDINGS.
 4. WHERE STORM WATER HAS ERODED SOIL AT SIDEWALKS, FILL AND REGRADE.
 5. WHERE CONCRETE SWALES CROSS SIDEWALK INSTALL SWALE COVER PLATE. FOR DETAIL SEE SHEET NO. C-23.

PROPOSED GRADING, DRAINAGE AND STORM DISTRIBUTION
SCALE 1" = 50'

Williams - Russell and Johnson, Inc.
Engineers - Planners - Architects
Nashville Branch - Suite 400
Nashville, Tennessee 37228
Telephone 615/254-2170
DRAWN BY: MLP CADD FILE NO: C-16
CHECKED BY: GVD PLOT DATE: 6/25/94

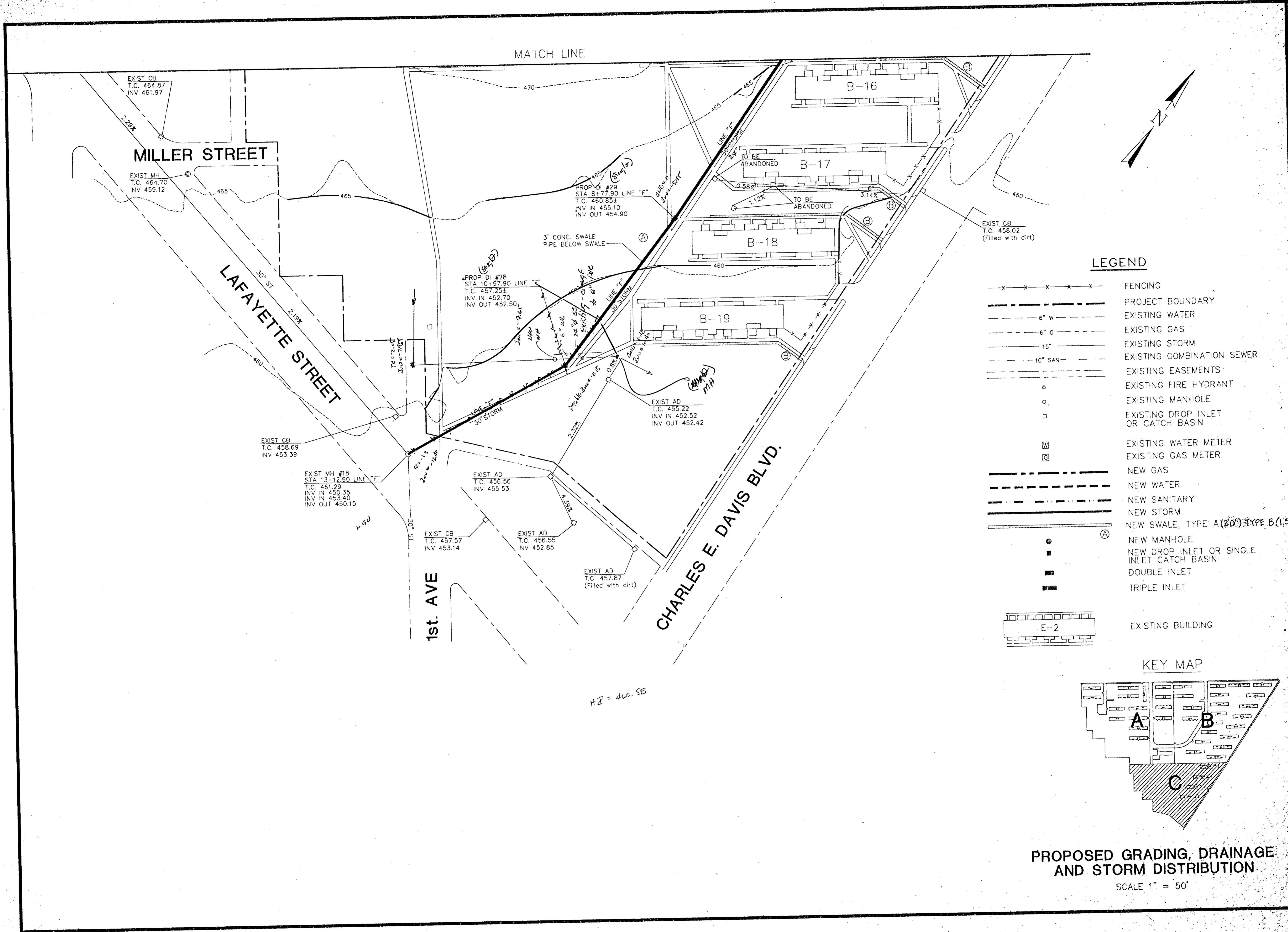
TONY SUDEKUM HOME RENOVATION
TN005-005
METROPOLITAN DEVELOPMENT & HOUSING AGENCY
OF NASHVILLE & DAVIDSON COUNTY
NASHVILLE, TENNESSEE



WR&J Project No: 6018
DATE: 11/19/94

NO.	DATE	REVISION

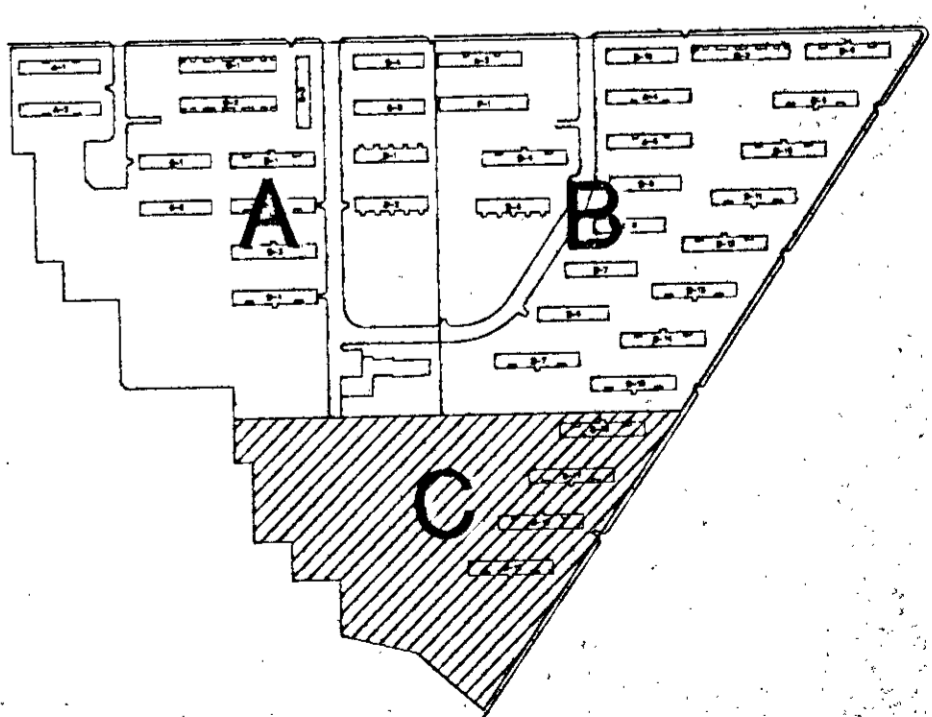
SHEET NO. **C-16**



LEGEND

- x---x---x---x---x--- FENCING
- PROJECT BOUNDARY
- - - - - 6" W ----- EXISTING WATER
- - - - - 6" G ----- EXISTING GAS
- - - - - 15" ----- EXISTING STORM
- - - - - 10" SAN ----- EXISTING COMBINATION SEWER
- EXISTING EASEMENTS
- o EXISTING FIRE HYDRANT
- o EXISTING MANHOLE
- EXISTING DROP INLET OR CATCH BASIN
- W EXISTING WATER METER
- G EXISTING GAS METER
- NEW GAS
- NEW WATER
- NEW SANITARY
- NEW STORM
- NEW SWALE, TYPE A (30") TYPE B (1.5)
- o NEW MANHOLE
- NEW DROP INLET OR SINGLE INLET CATCH BASIN
- DOUBLE INLET
- TRIPLE INLET
- E-2 EXISTING BUILDING

KEY MAP



PROPOSED GRADING, DRAINAGE AND STORM DISTRIBUTION
SCALE 1" = 50'

Williams & Russell and Johnson, Inc.
Nashville, Tennessee 37208
Telephone: 615/254-2700

TONY SUDEKUM HOME RENOVATION
TN005-005

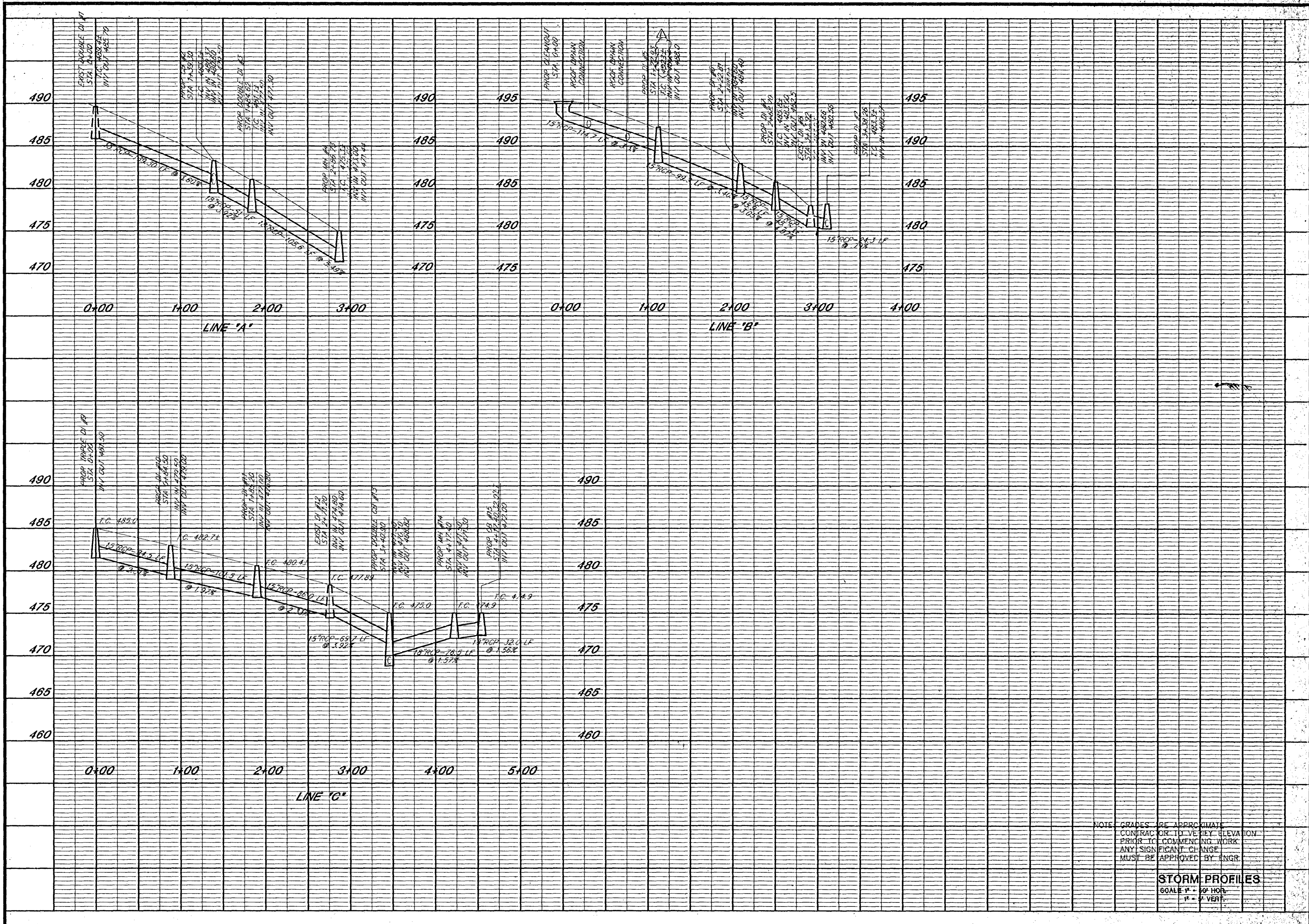
METROPOLITAN DEVELOPMENT & HOUSING AGENCY
OF NASHVILLE, & DAVIDSON COUNTY
NASHVILLE, TENNESSEE

WR&J Project No.: 6018
DATE: 12/12/94

NO.	DATE	REVISION

SHEET NO. **C-17**

DRAWN BY: WLB
CHECKED BY: GVD
CADD FILE NO.: C-17
PLOT DATE: 8/25/94

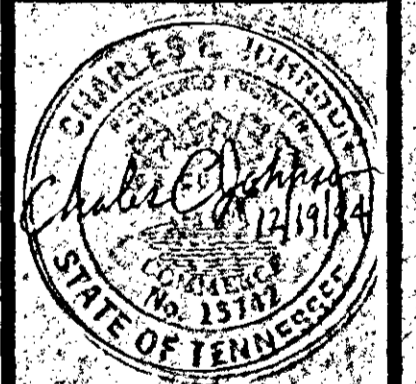
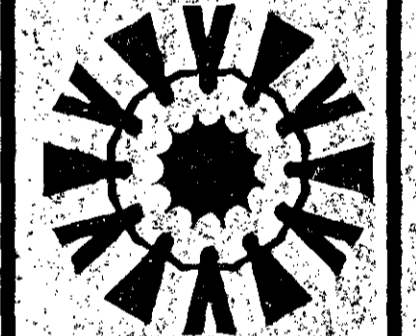


NOTE: GRADES ARE APPROXIMATE
 CONTRACTOR TO VERIFY ELEVATION
 PRIOR TO COMMENCING WORK
 ANY SIGNIFICANT CHANGE
 MUST BE APPROVED BY ENGR

STORM PROFILES
 SCALE 1" = 50' HOR.
 1" = 2' VERT.

williams • russell and johnson, inc.
 engineers • planners • architects
 Nashville Branch, Suite 450
 Nashville, Tennessee 37228
 Telephone 615/254-2170

TONY SUDEKUM HOME RENOVATION
 TN005-005
 METROPOLITAN DEVELOPMENT & HOUSING AGENCY
 OF NASHVILLE & DAVIDSON COUNTY
 NASHVILLE, TENNESSEE



WR&J Project No. 6018
 DATE: 12/19/94

NO.	DATE	REVISION
1	12/19/95	Change 12-26-94

SHEET NO.
C-18

DRAWN BY: NUB
 CHECKED BY: CVD
 PLOT DATE: 6/21/94
 CADD FILE NO: C-18

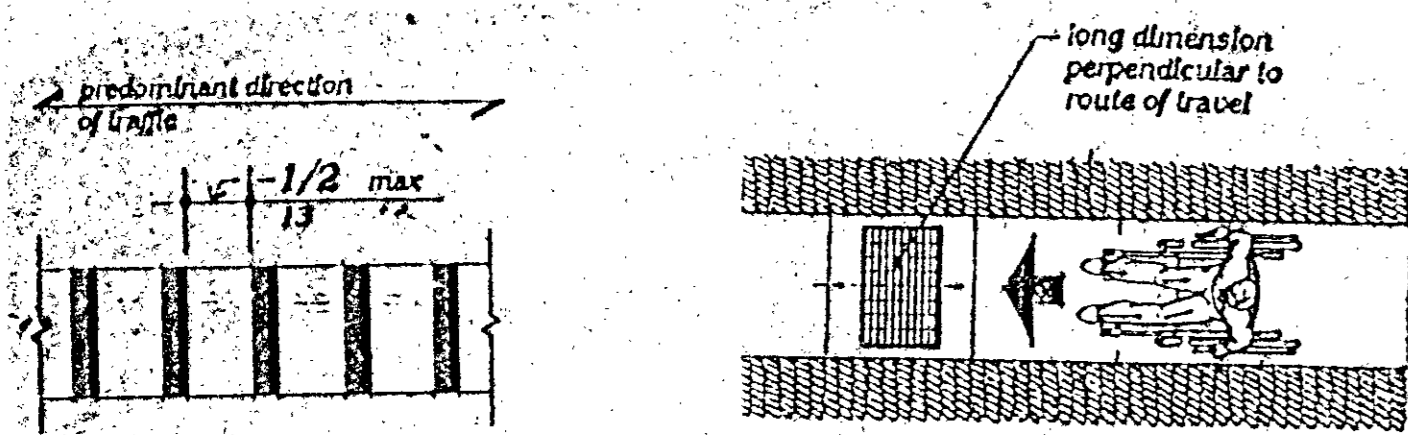


Fig. 8 (g)
Gratings

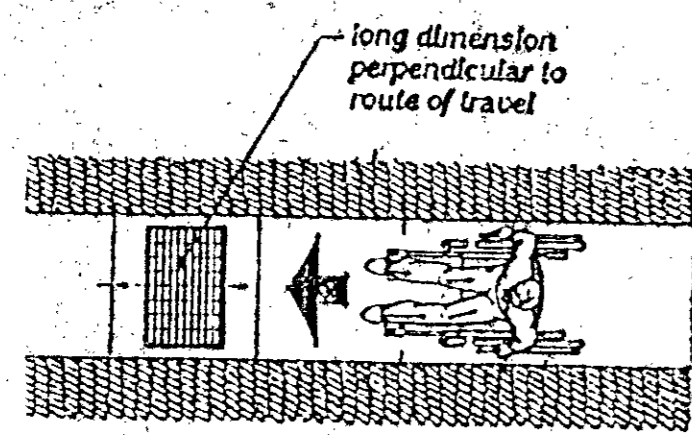


Fig. 8 (h)
Grating Orientation

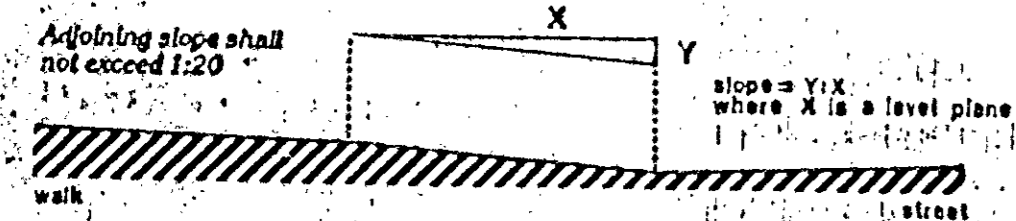


Fig. 11
Measurement of Curb Ramp Slopes

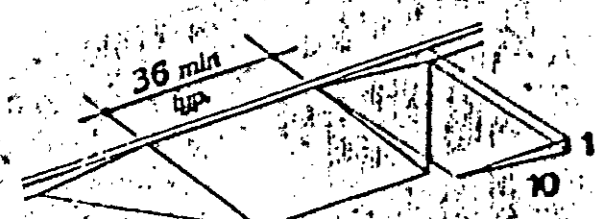
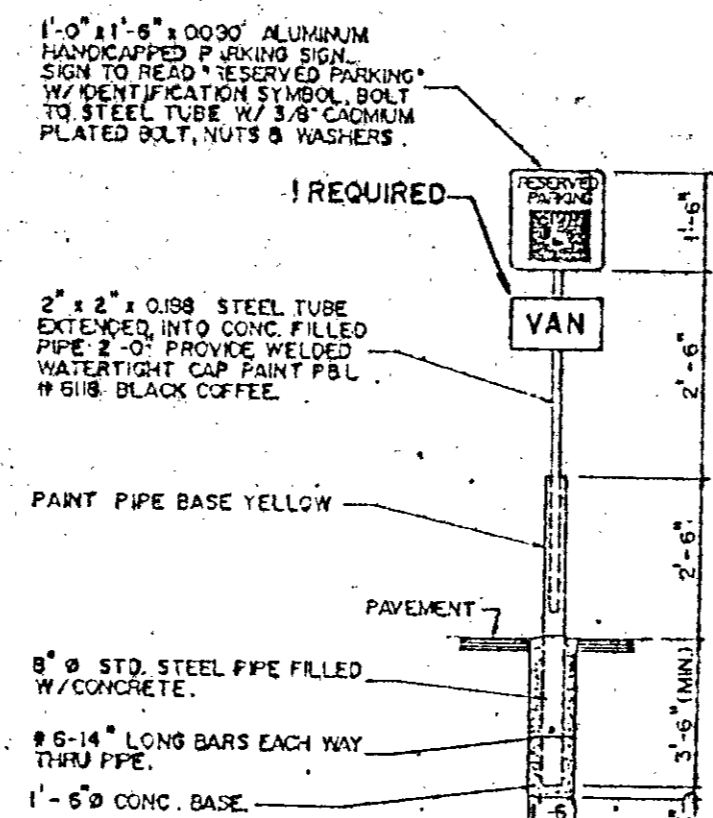
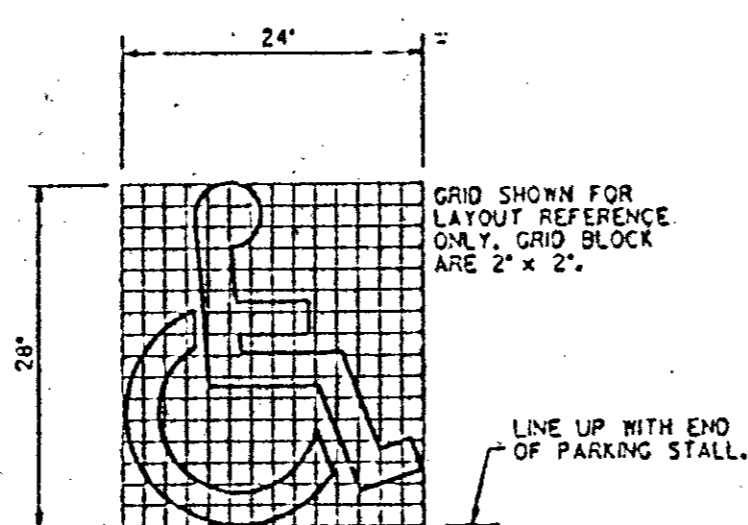


Fig. 13
Built-Up Curb Ramp

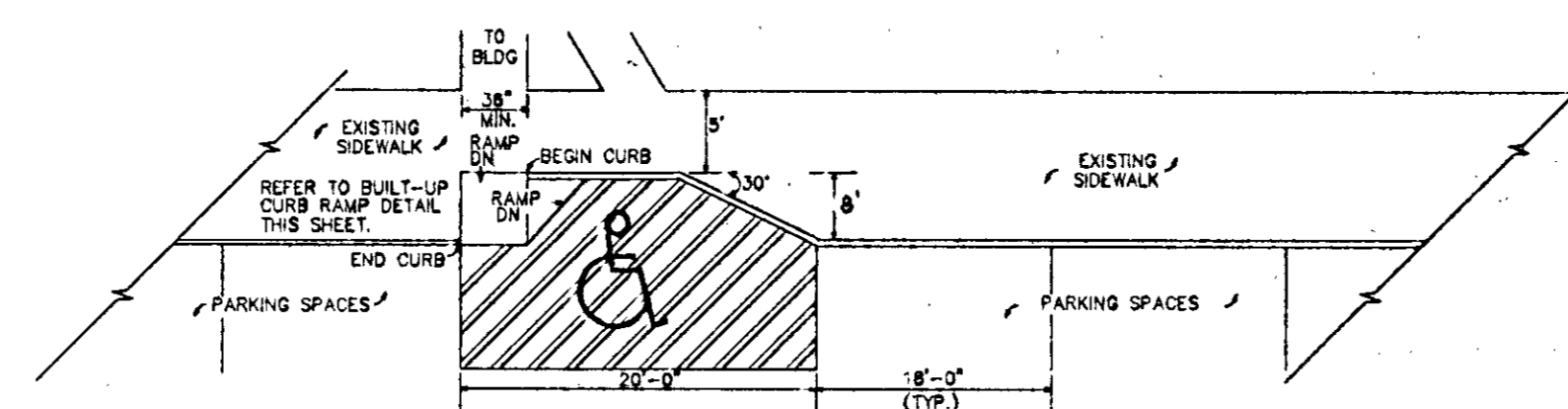


HANDICAPPED PARKING SIGN
N.T.S.

NOTES:
1. HANDICAPPED PARKING SIGN SHALL CONFORM WITH CURRENT STATE AND LOCAL CODES AND REGULATIONS.

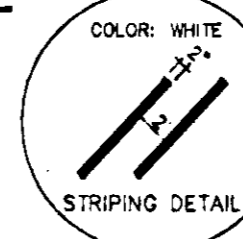


HANDICAP DESIGNATION AT
HANDICAP PARKING SPACE

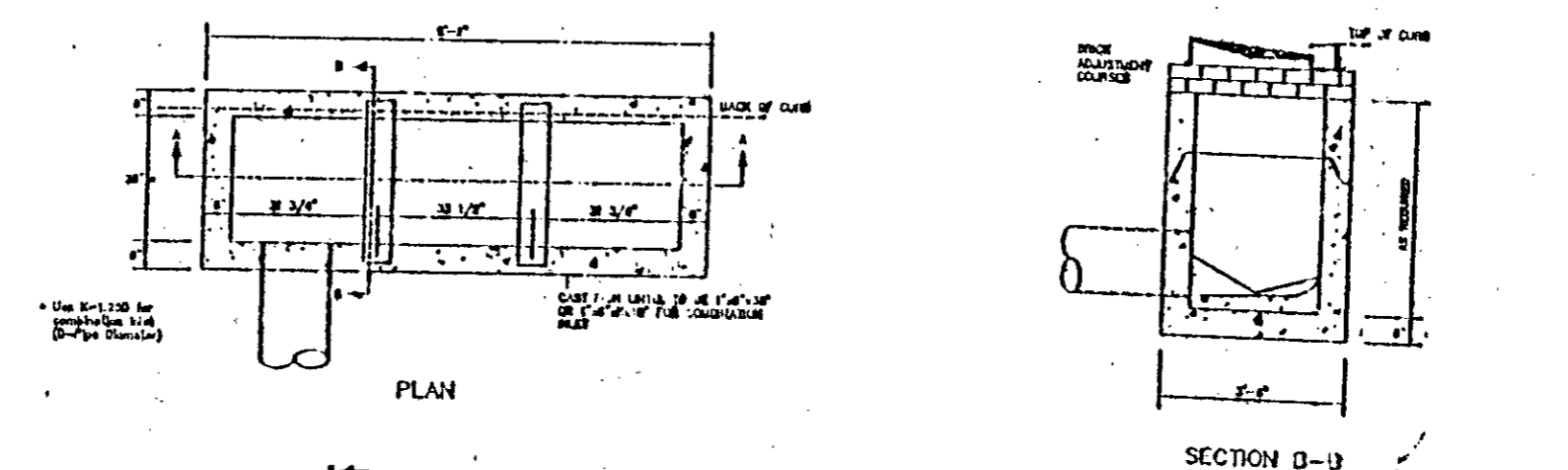


TYPICAL HANDICAPPED PARKING DETAIL
N.T.S.

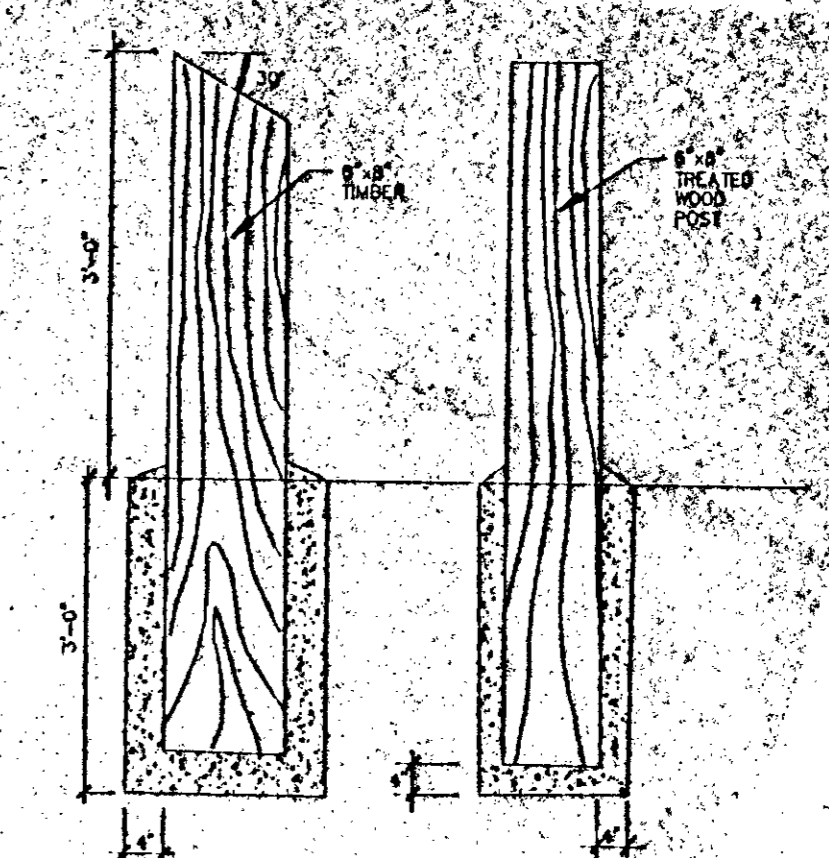
(USE ALONG CHARLES E. DAVIS BLVD.)



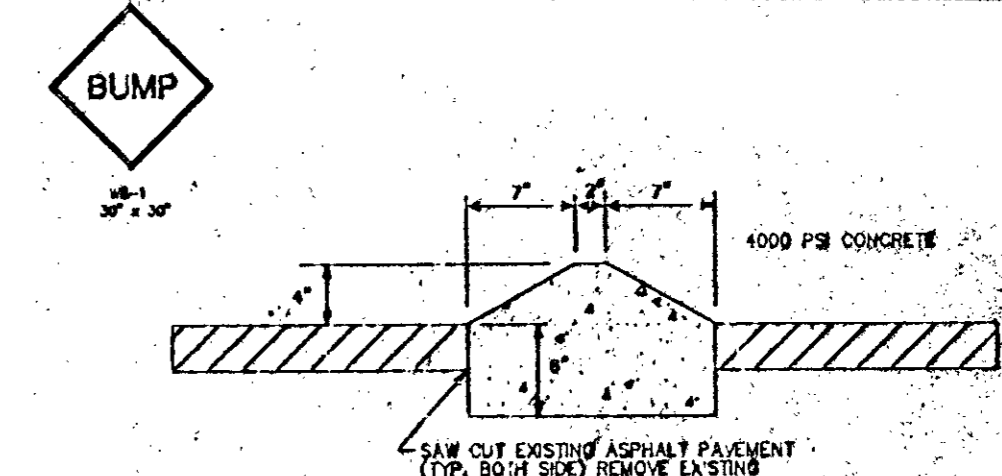
STRIPING DETAIL



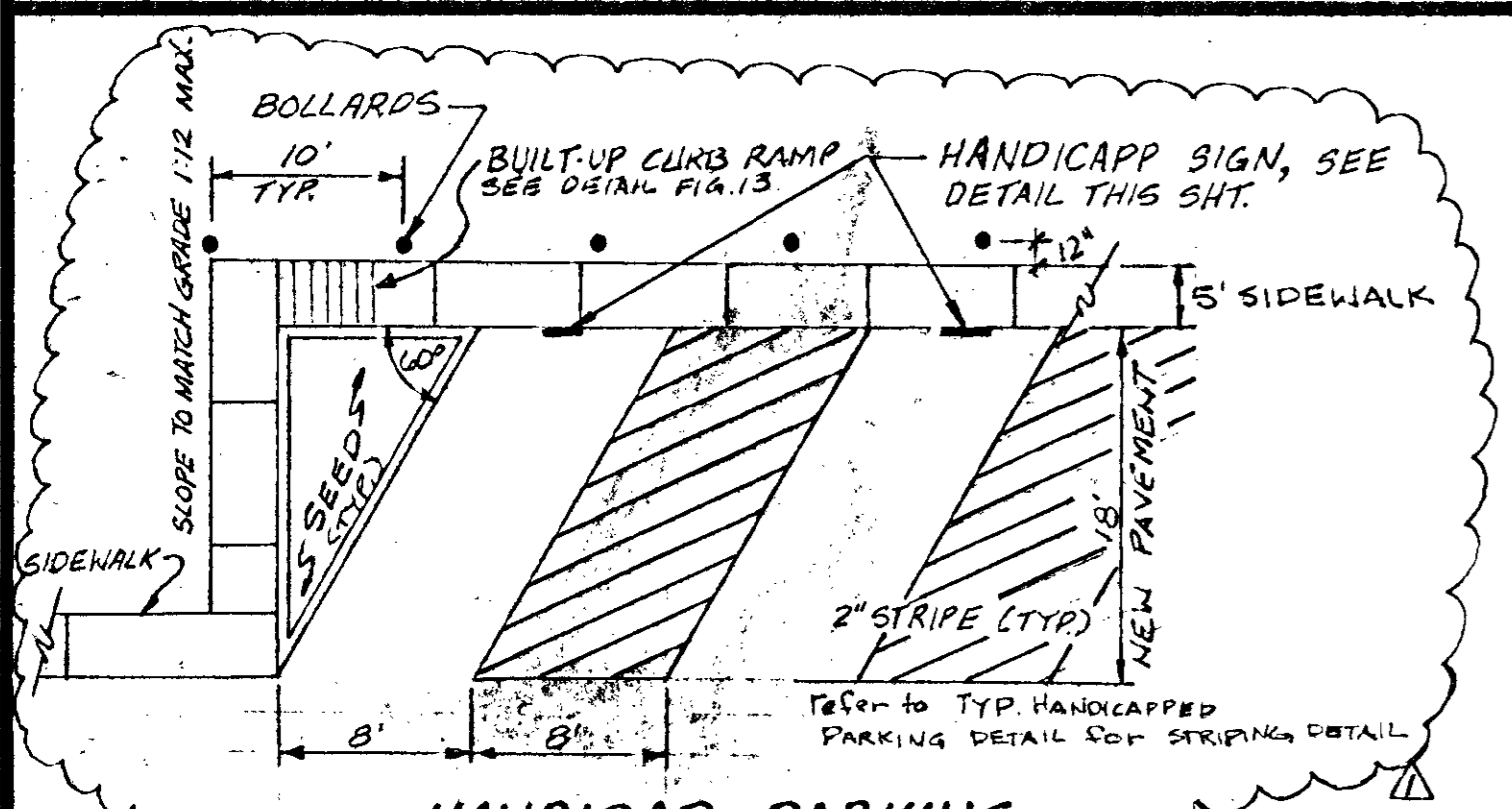
TRIPLE INLET
N.T.S.



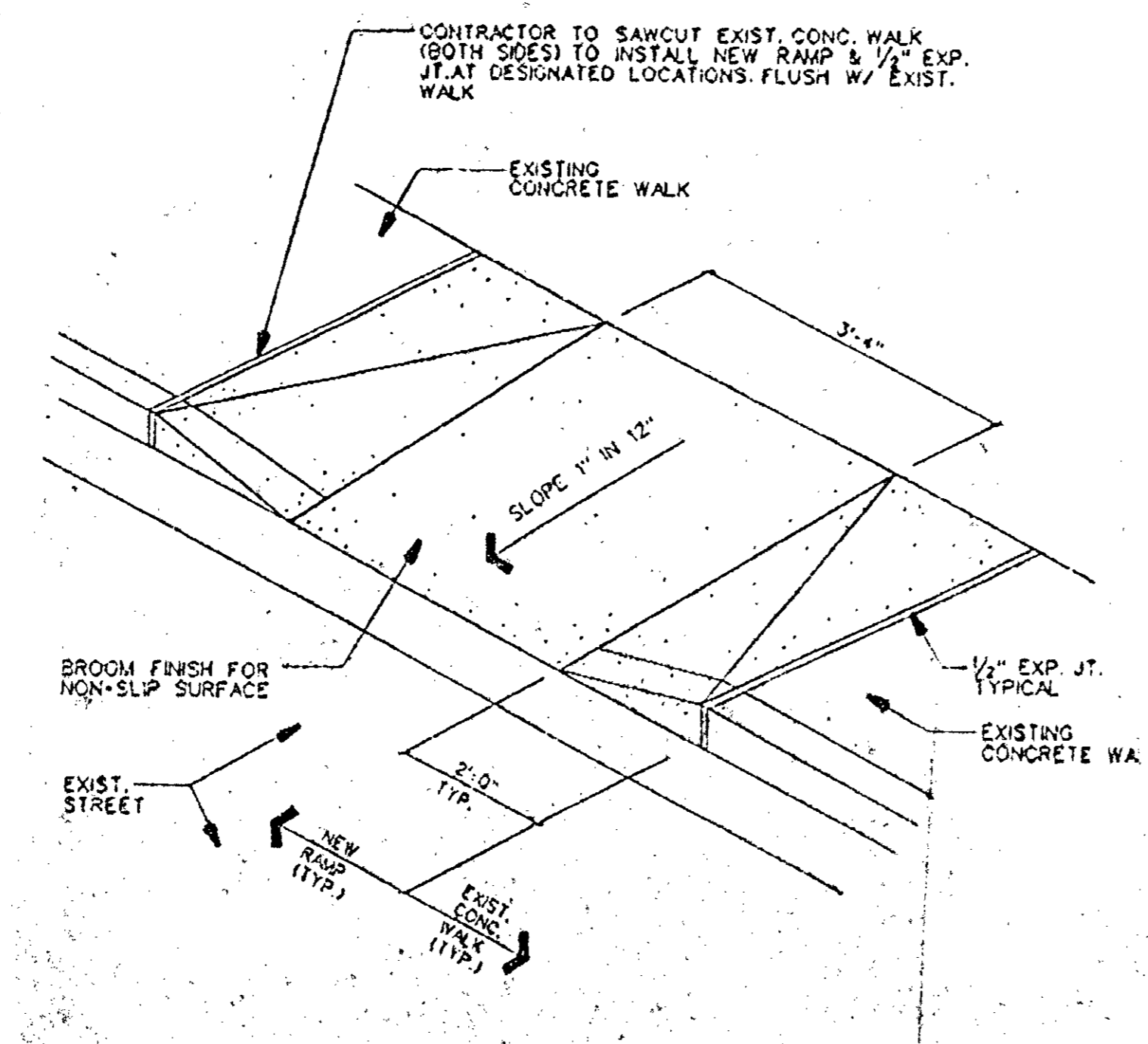
BOLLARD DETAIL
N.T.S.



SPEED BUMP DETAIL
N.T.S.

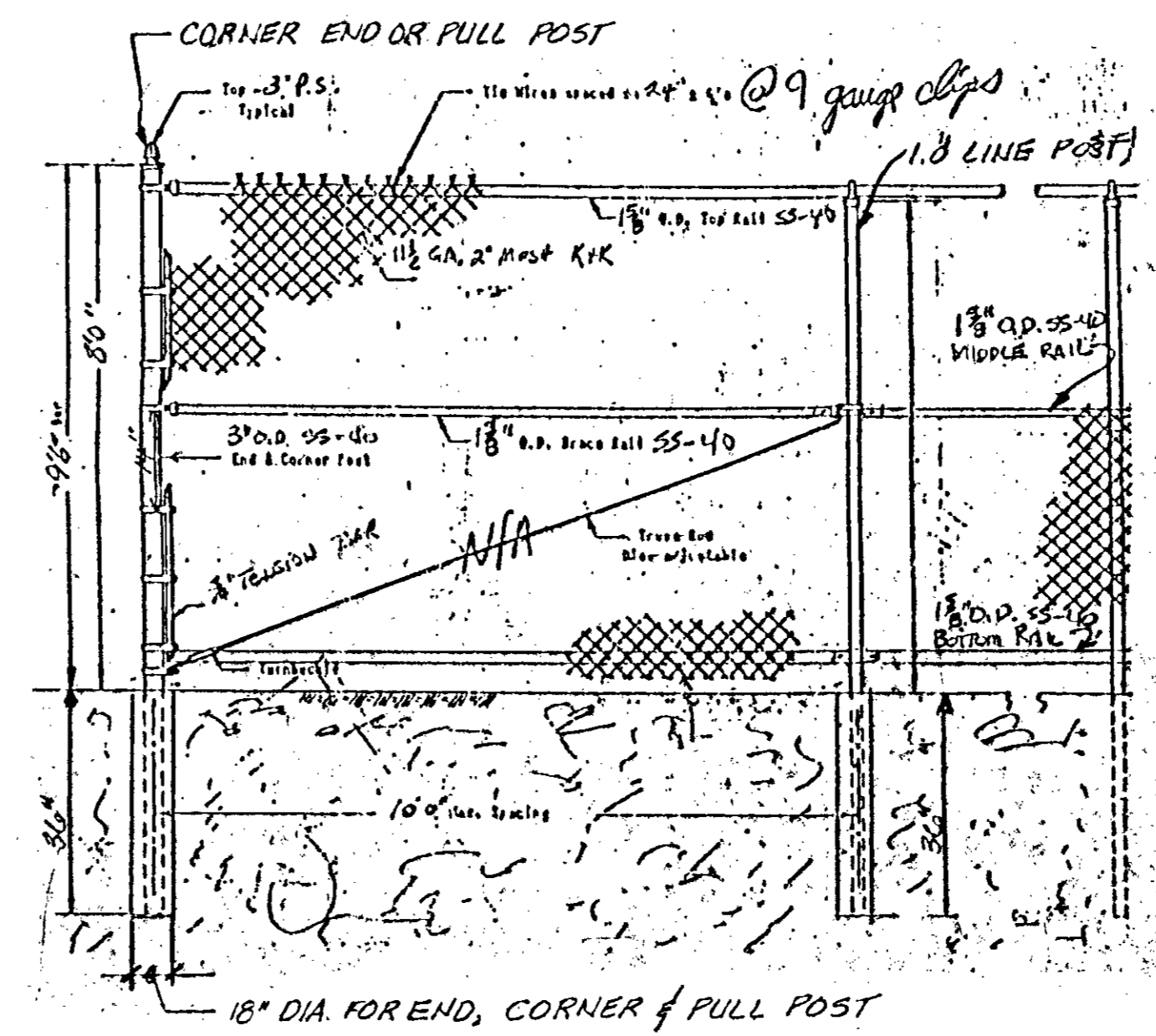


HANDICAP PARKING
STALL LAYOUT

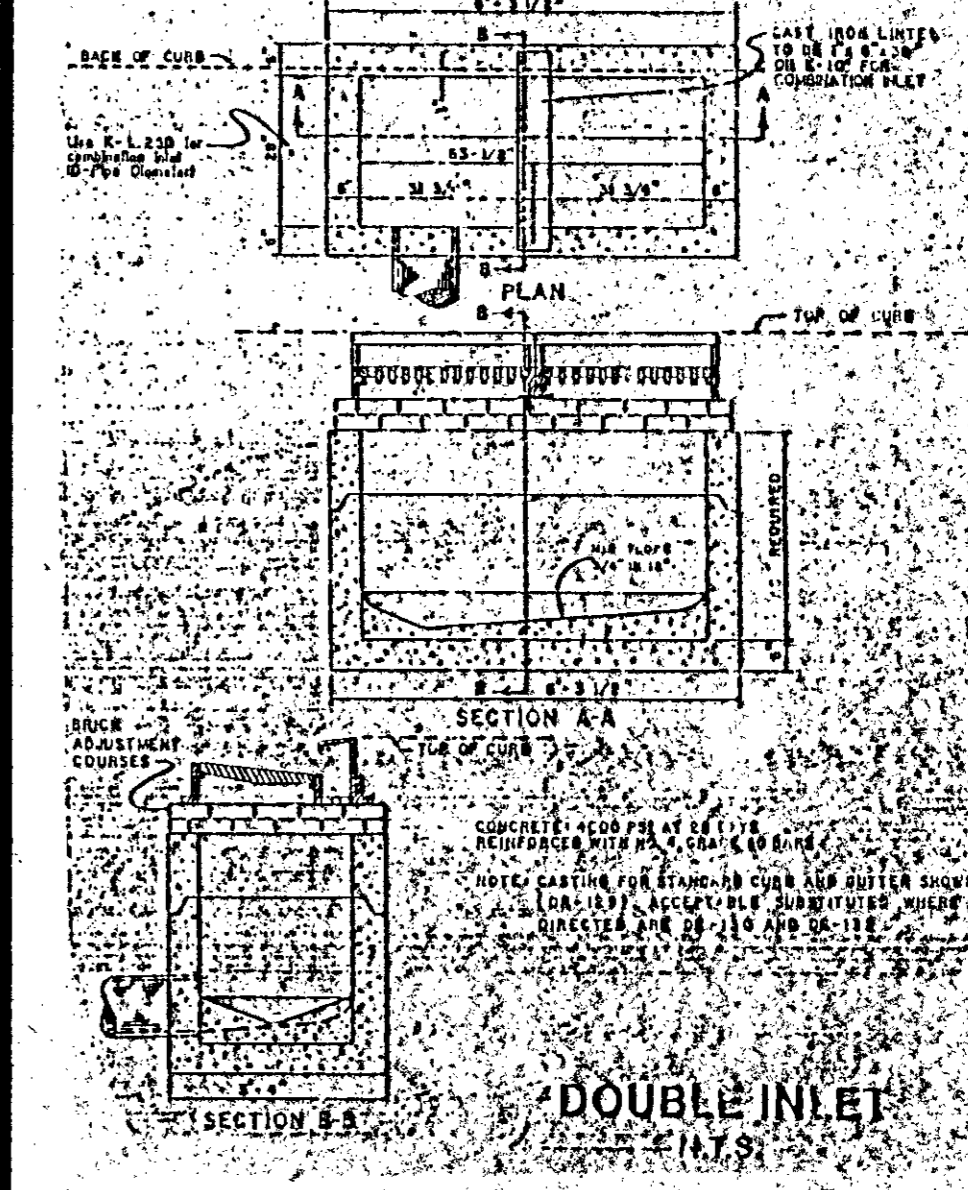


NOTE: CURB CUTS REQUIRED, COORDINATE LOCATION WITH OWNER & ARCHITECT

NEW SIDEWALK RAMP DETAIL @ H.O. PARKING SPACES



FENCING DETAIL



DOUBLE INLET
N.T.S.

Fig. 16
Components of a Single Ramp Run and Sample Ramp Dimensions

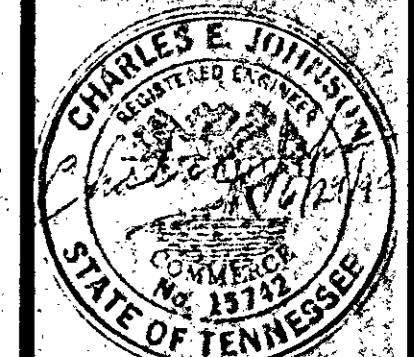
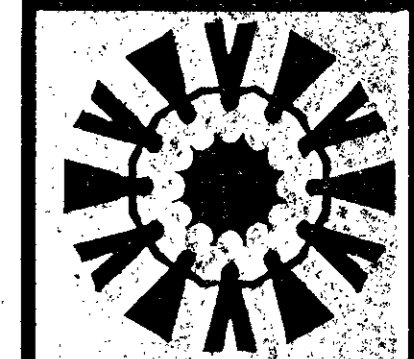
Slope	Maximum Rise		Maximum Horizontal Projection	
	in	mm	ft	in
1:12 to < 1:16	30	762	28	9
1:16 to < 1:20	30	762	49	12

Williams + Russell and Johnson, Inc.
Professional Engineers, Architects
2000 Broadway, Suite 400
Nashville, Tennessee 37203
Telephone 615/252-2170

DRAWN BY: WEB
CHECKED BY: GAD
CADD FILE NO.
PLOT DATE

TONY SUDEKUM HOME RENOVATION
IN005-005

METROPOLITAN DEVELOPMENT & HOUSING AGENCY
OF NASHVILLE & DAVIDSON COUNTY
NASHVILLE, TENNESSEE



WR&J Project No.
6018

DATE: 1/23/95

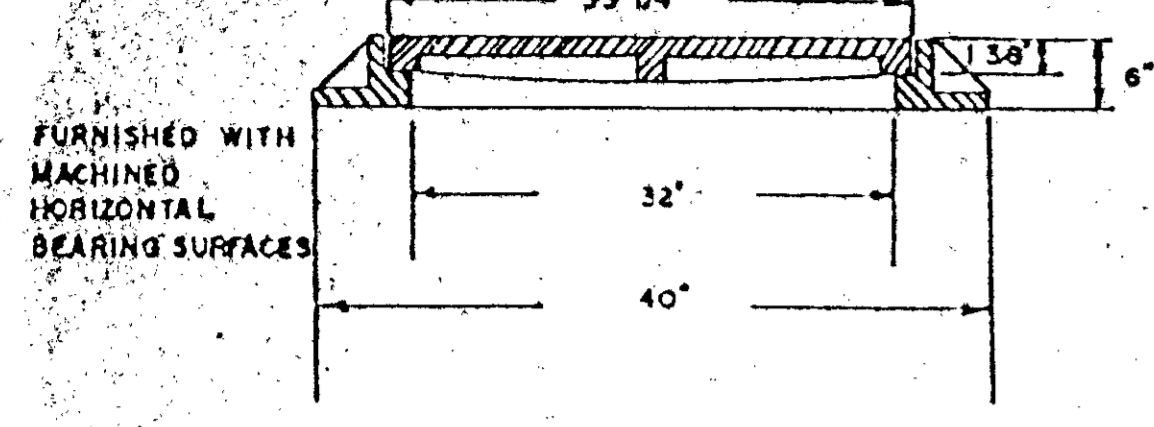
NO.	DATE	REVISION
1	1/23/95	REVISED DETAIL

SHEET NO.

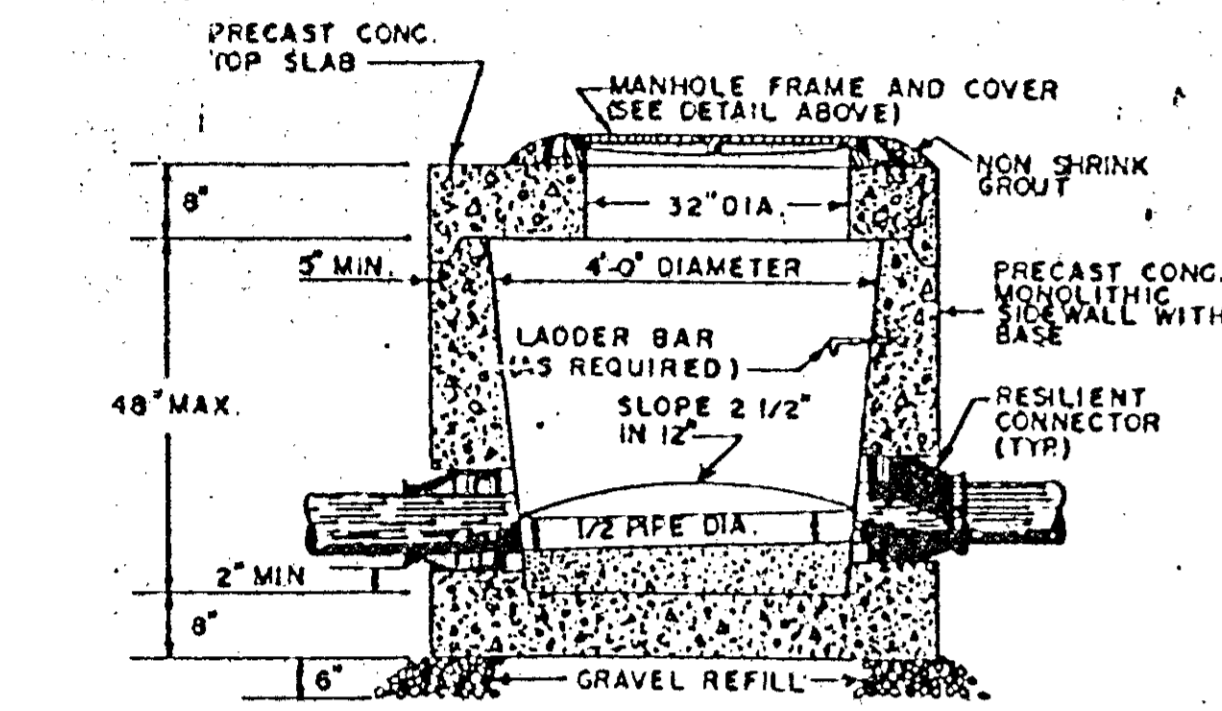
DETAILS

C-20

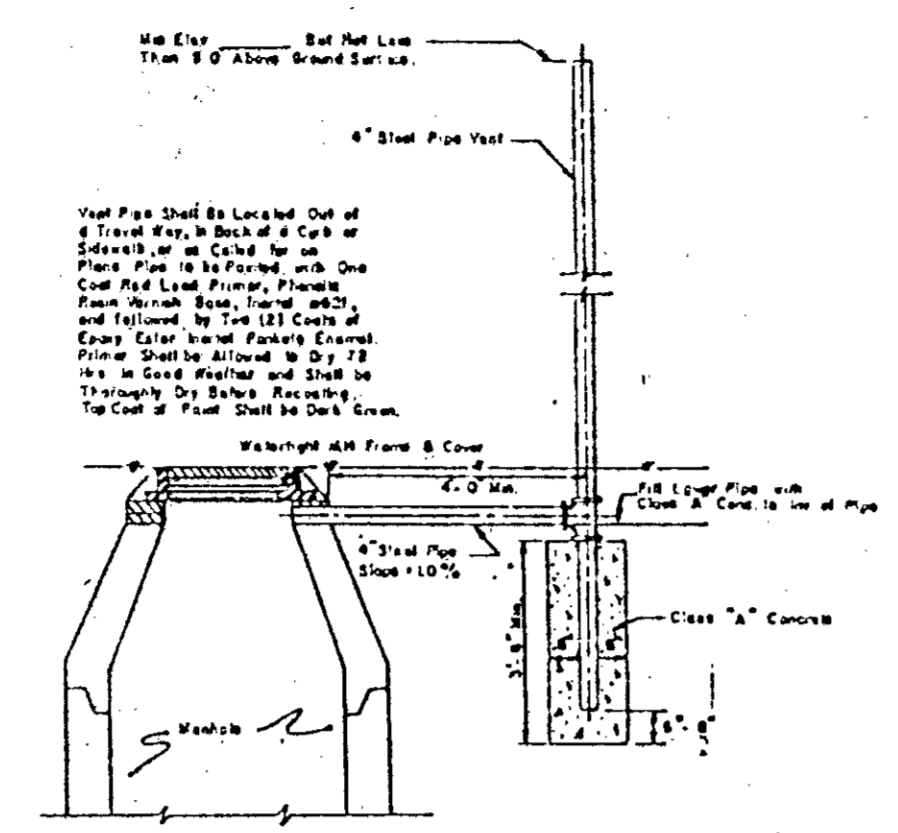
JOHN BOUCHARD AND SONS CO. CAT NO. 1312
SHALLOW MANHOLE FRAME WITH SOLID LID
TOTAL WEIGHT 812 L.B.S.



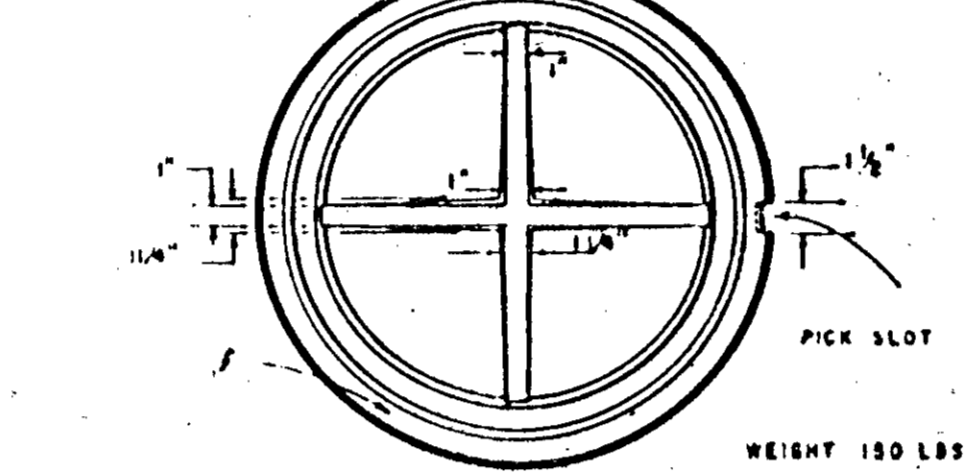
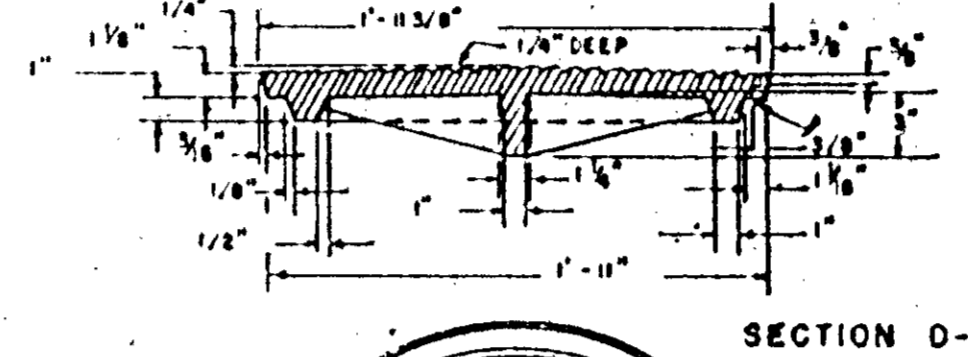
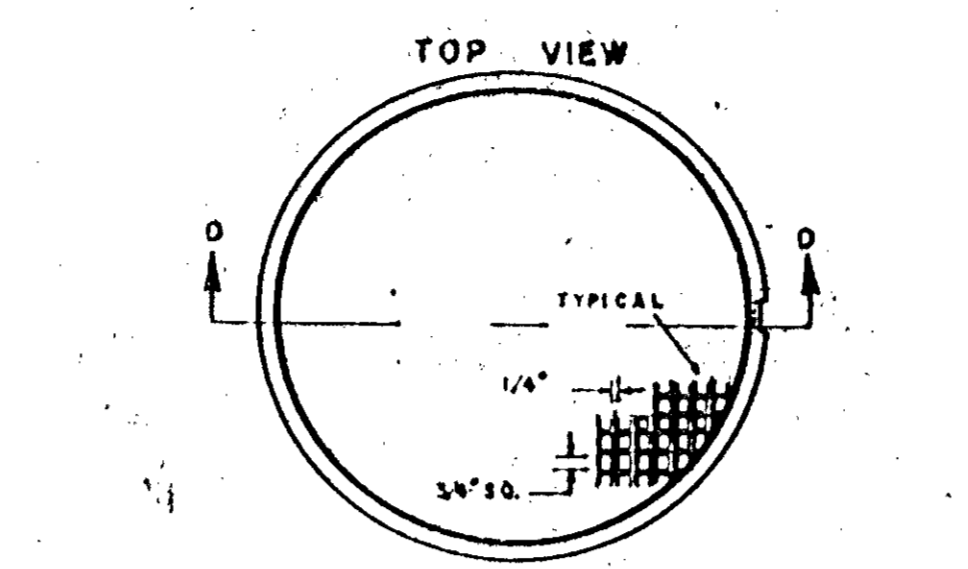
SHALLOW MANHOLE FRAME AND COVER



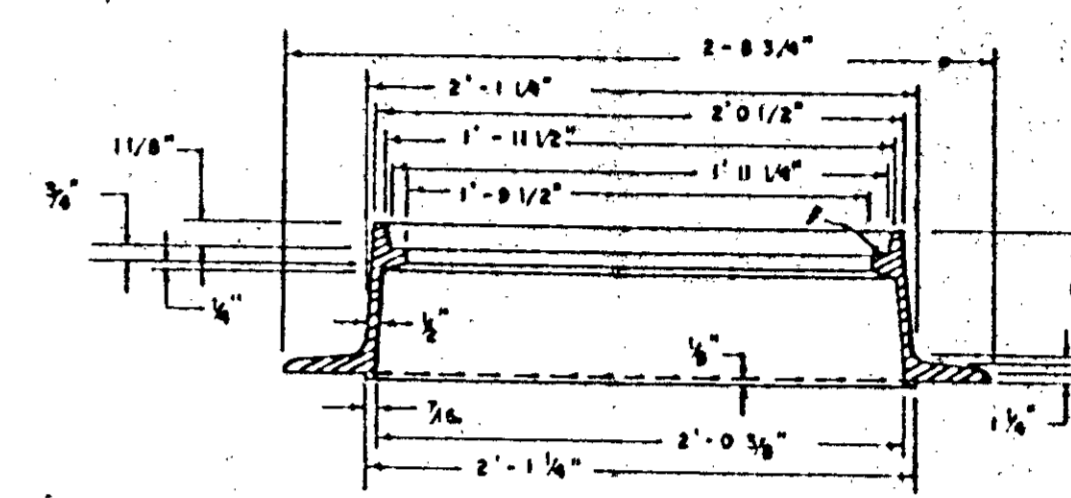
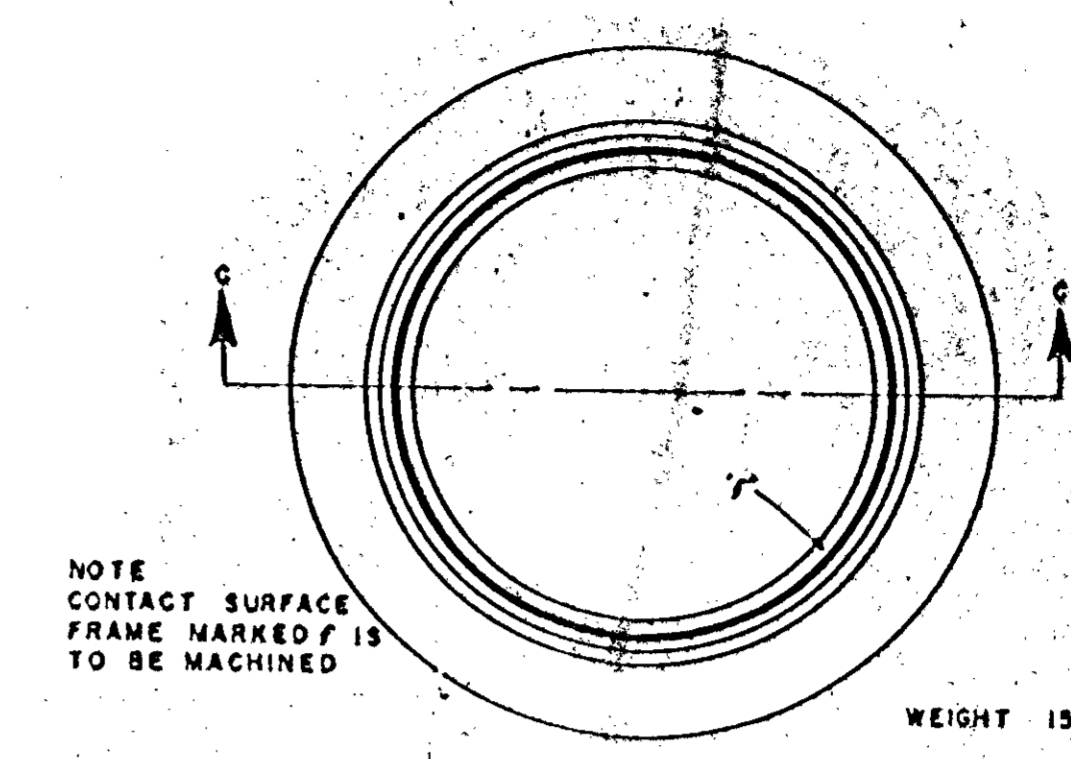
SPECIAL SHALLOW TYPE
MANHOLE DETAIL
DRAWING NO. 55-3A
DATE: 9-15-63 SCALE: NONE
METROPOLITAN DEPARTMENT OF
WATER AND SEWERAGE SERVICES
SEWERAGE SERVICE DIVISION



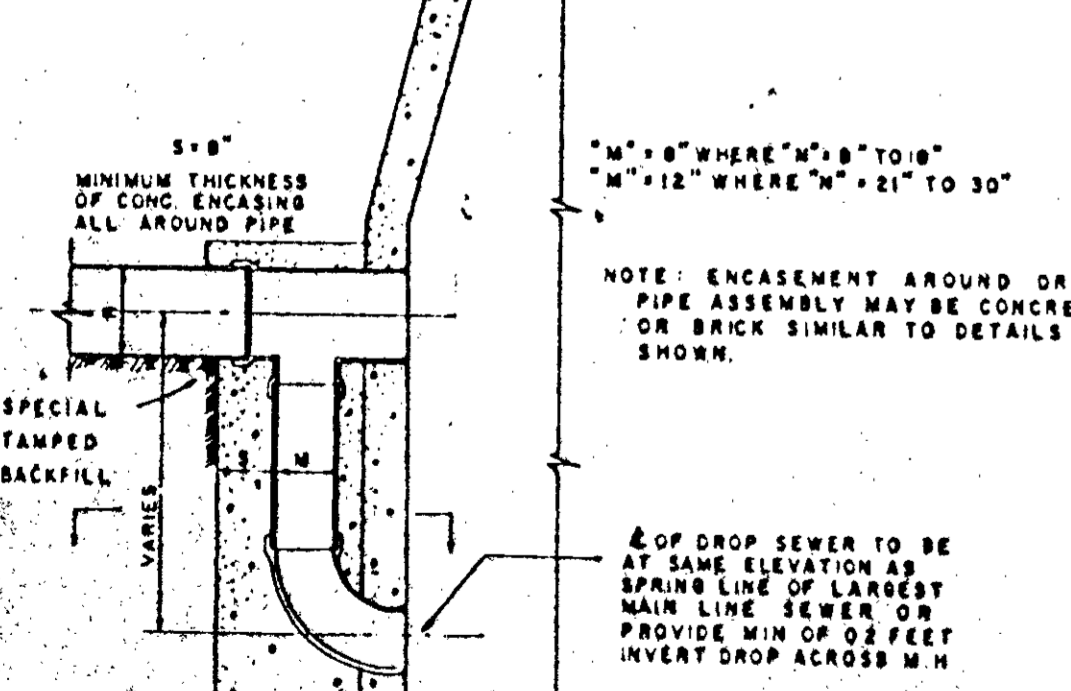
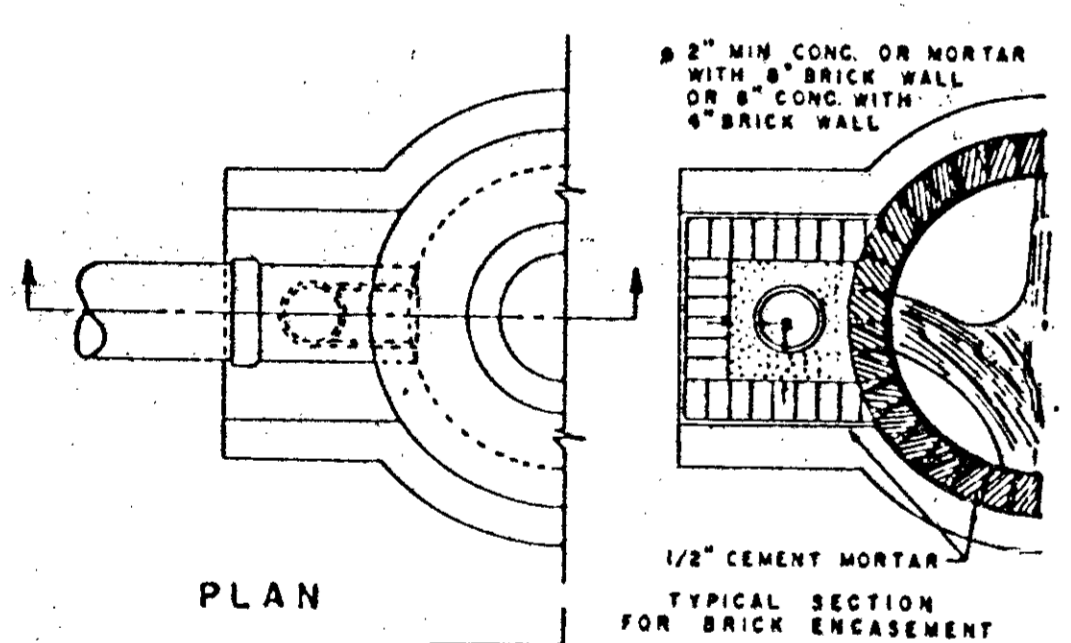
VENT PIPE ASSEMBLY DETAILS
DRAWING NO. 55-14
SCALE: N.A. DATE: 10-7-62
METROPOLITAN DEPARTMENT OF
WATER AND SEWERAGE SERVICES
SEWERAGE SERVICE DIVISION



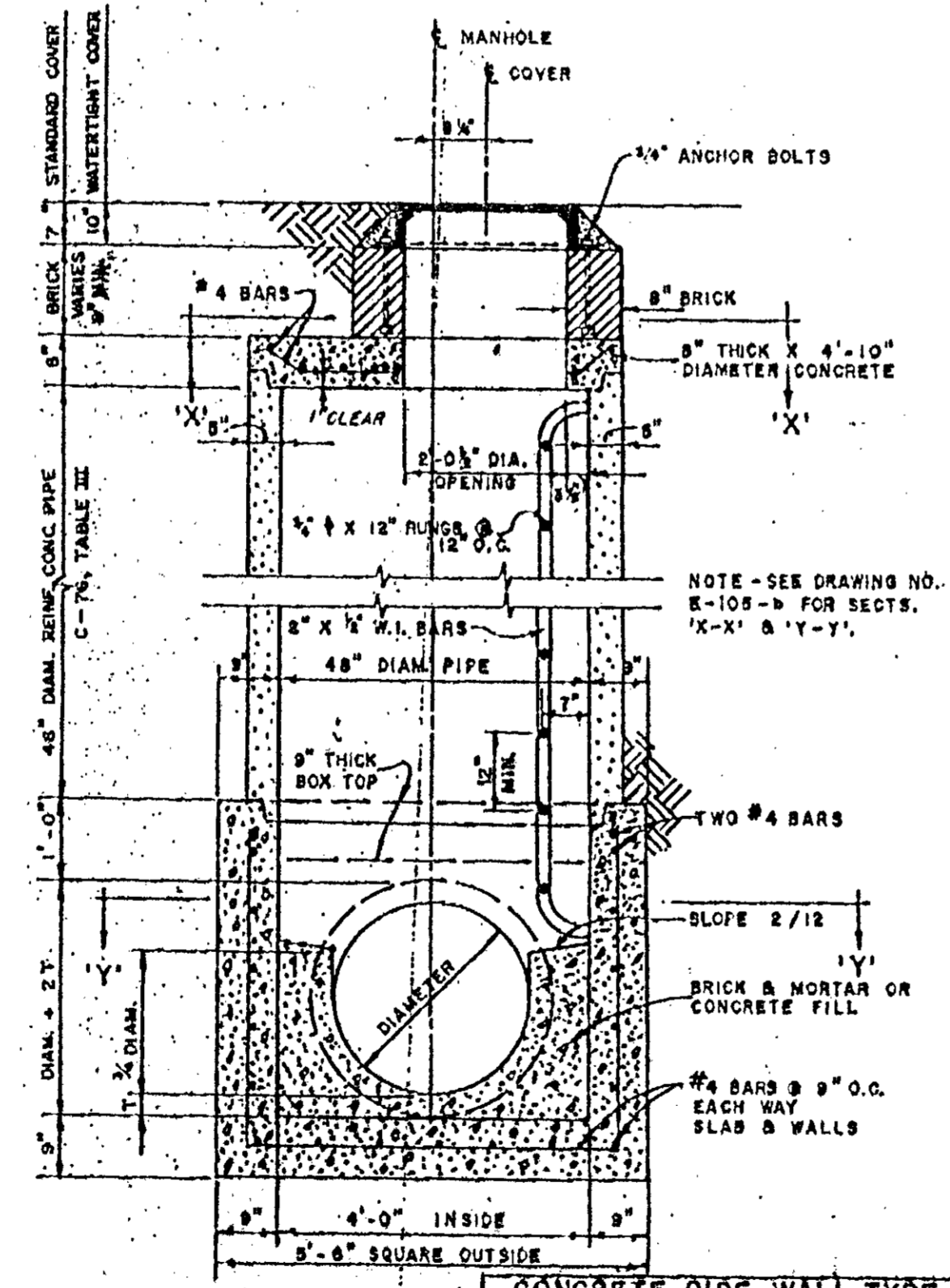
M.H. COVER NO. 12
DRAWING NO. 55-9
SCALE: 1/2" = 1' DATE: 8-28-64
METROPOLITAN DEPARTMENT OF
WATER AND SEWERAGE SERVICES
SEWERAGE SERVICE DIVISION



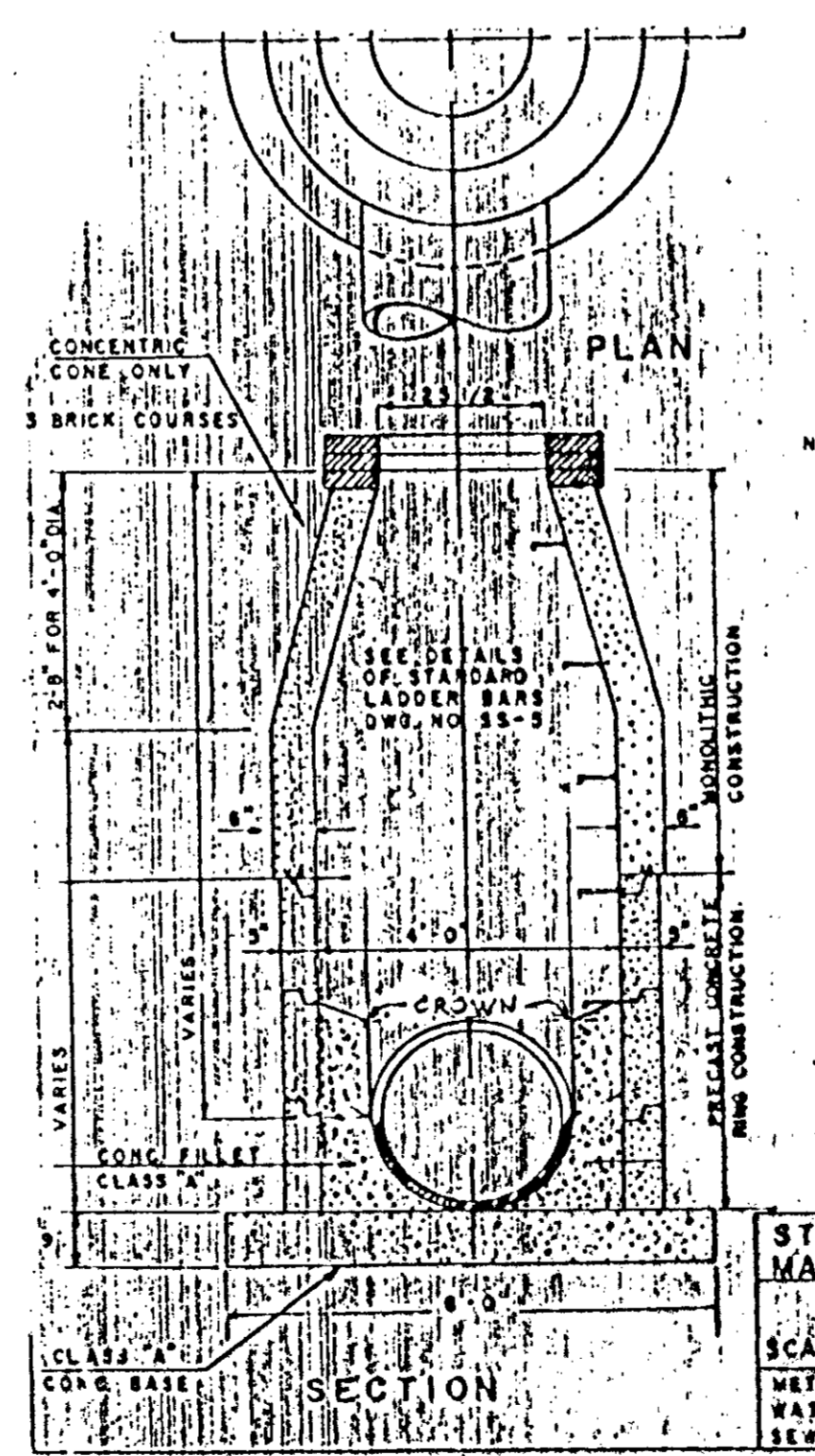
MANHOLE FRAME NO. 11
DRAWING NO. 55-8
SCALE: 1" = 1 1/2' DATE: 8-31-64
METROPOLITAN DEPARTMENT OF
WATER AND SEWERAGE SERVICES
SEWERAGE SERVICE DIVISION



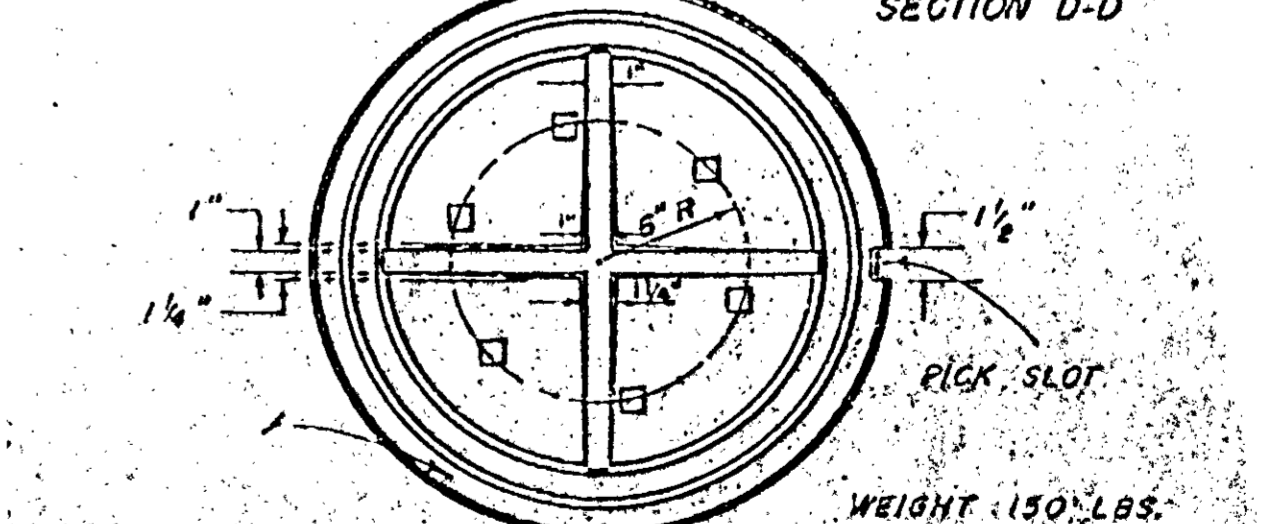
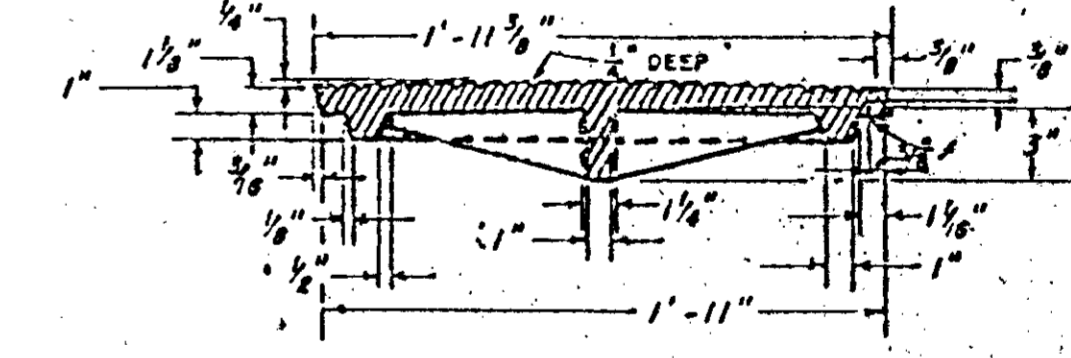
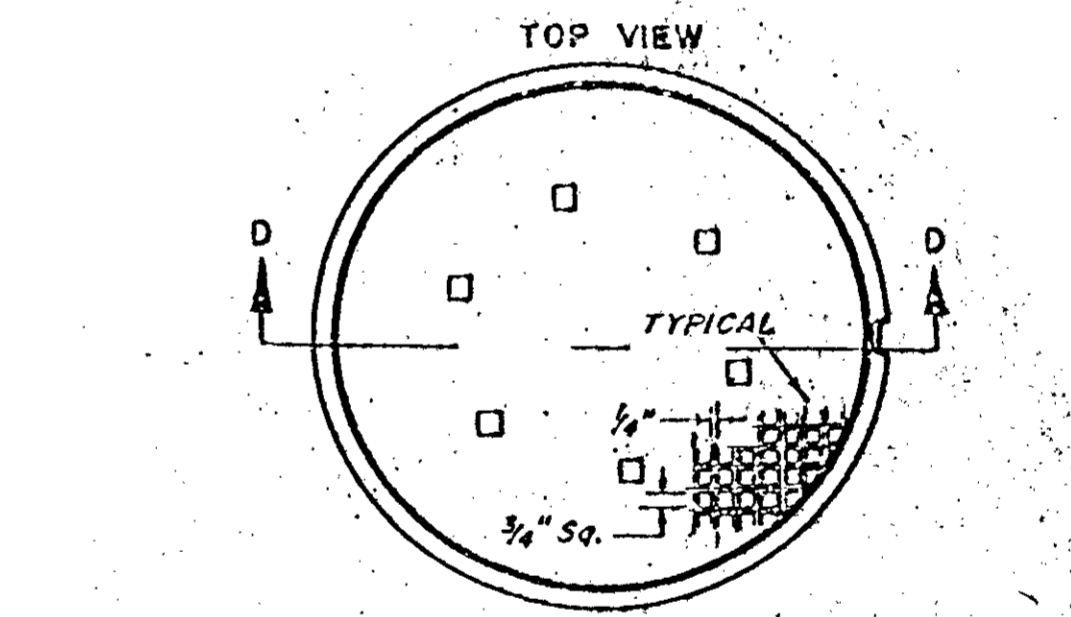
DROP PIPE ASSEMBLY
FOR STANDARD MANHOLES
DRAWING NO. 55-6
SCALE: NONE DATE: 9-9-64
METROPOLITAN DEPARTMENT OF
WATER AND SEWERAGE SERVICES
SEWERAGE SERVICE DIVISION



CONCRETE PIPE WALL TYPE
MANHOLE
DRAWING NO. E-105-g
SCALE: 1" = 2.0' DATE: 11-18-58



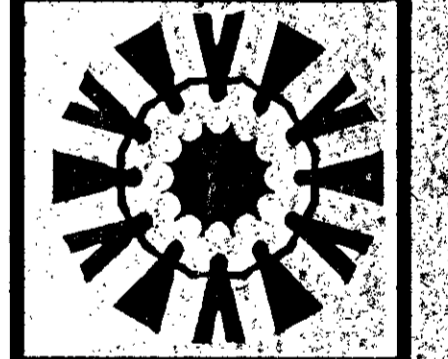
STD. PRE-CAST CONG.
MANHOLE DETAIL
DRAWING NO. 55-2
SCALE: NONE DATE: 10-2-64
METROPOLITAN DEPARTMENT OF
WATER AND SEWERAGE SERVICES
SEWERAGE SERVICE DIVISION



MANHOLE FRAME & COVER
DRAWING NO. 55-8
SCALE: 1" = 1 1/2' DATE: 8-31-64
METROPOLITAN DEPARTMENT OF
WATER AND SEWERAGE SERVICES
SEWERAGE SERVICE DIVISION

Williams - Russell and Johnson, Inc.
Engineers, Planners, Architects
Nashville, Branch - Suite 640
220 Atlanta Way
Nashville, Tennessee 37203
Telephone: 615/252-5170
FAX: 615/252-5170

TONY SUDEKUM HOME RENOVATION
TN005-005
METROPOLITAN DEVELOPMENT & HOUSING AGENCY
OF NASHVILLE & DAVIDSON COUNTY
NASHVILLE, TENNESSEE

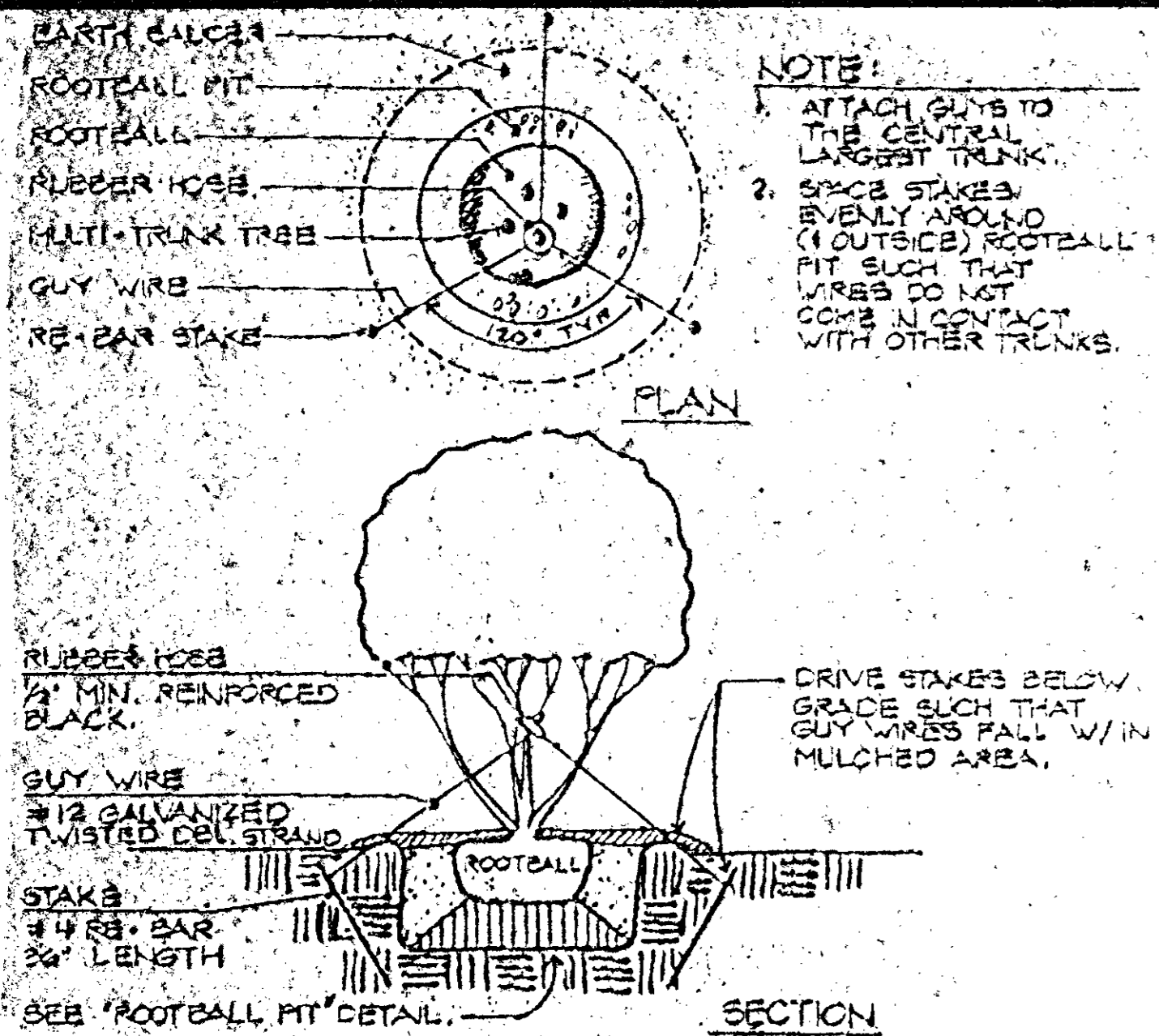


WR&J Project No.:
6018-334
DATE: 6/29/94

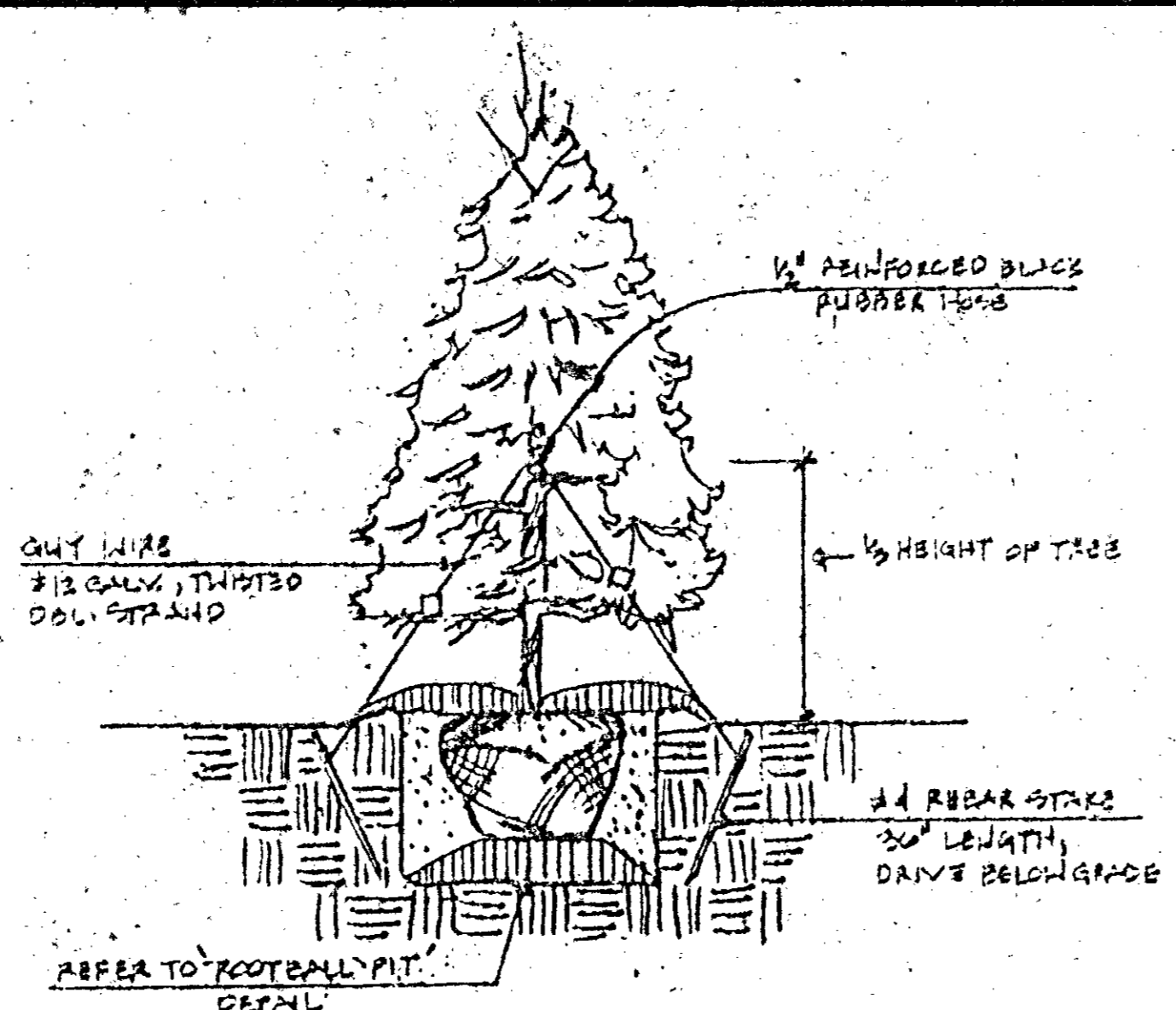
NO.	DATE	REVISION

SHEET NO.
C-22

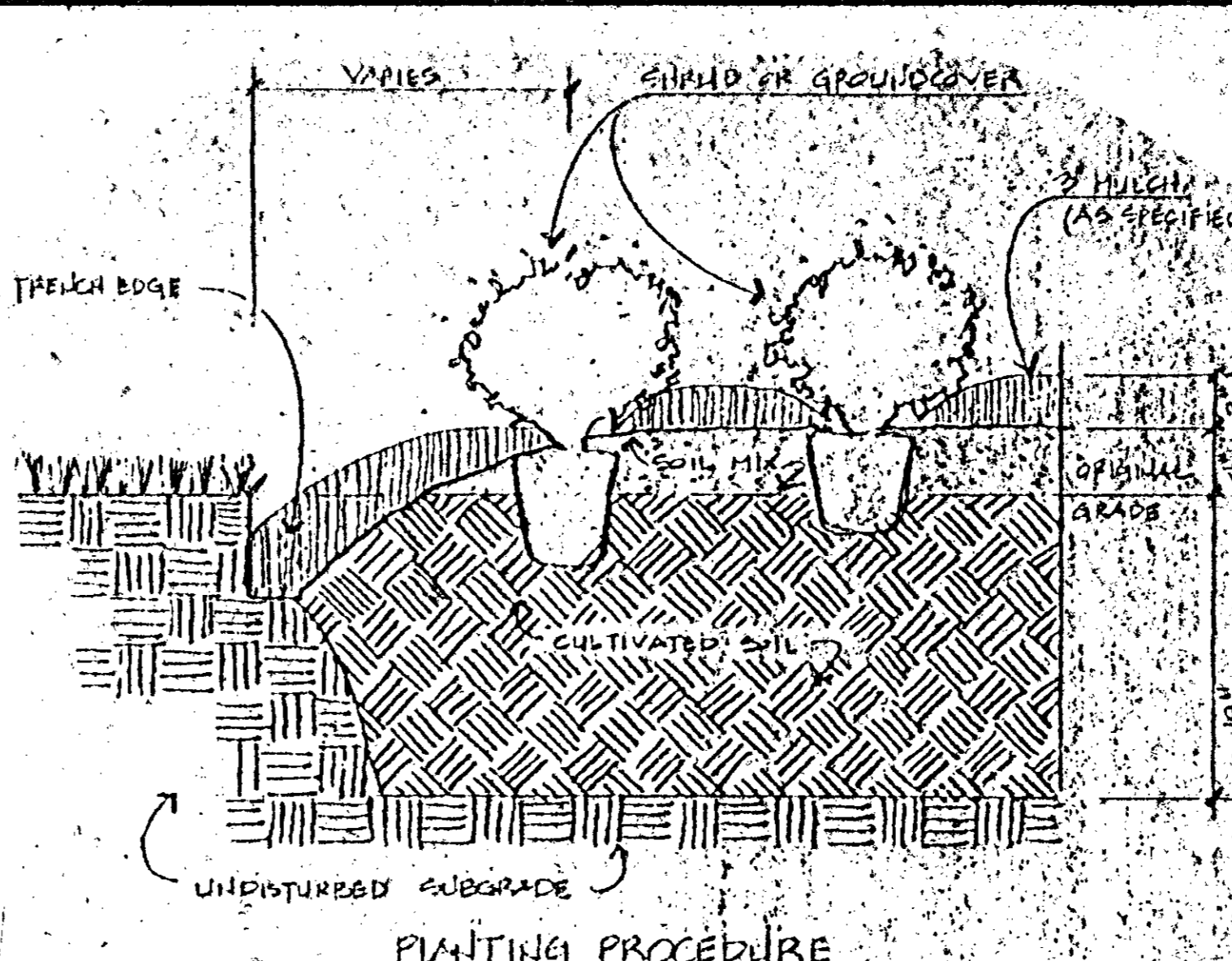
DETAILS



MULTI-TRUNK TREE STAKING
N.T.S.



PINE TREE STAKING
N.T.S.



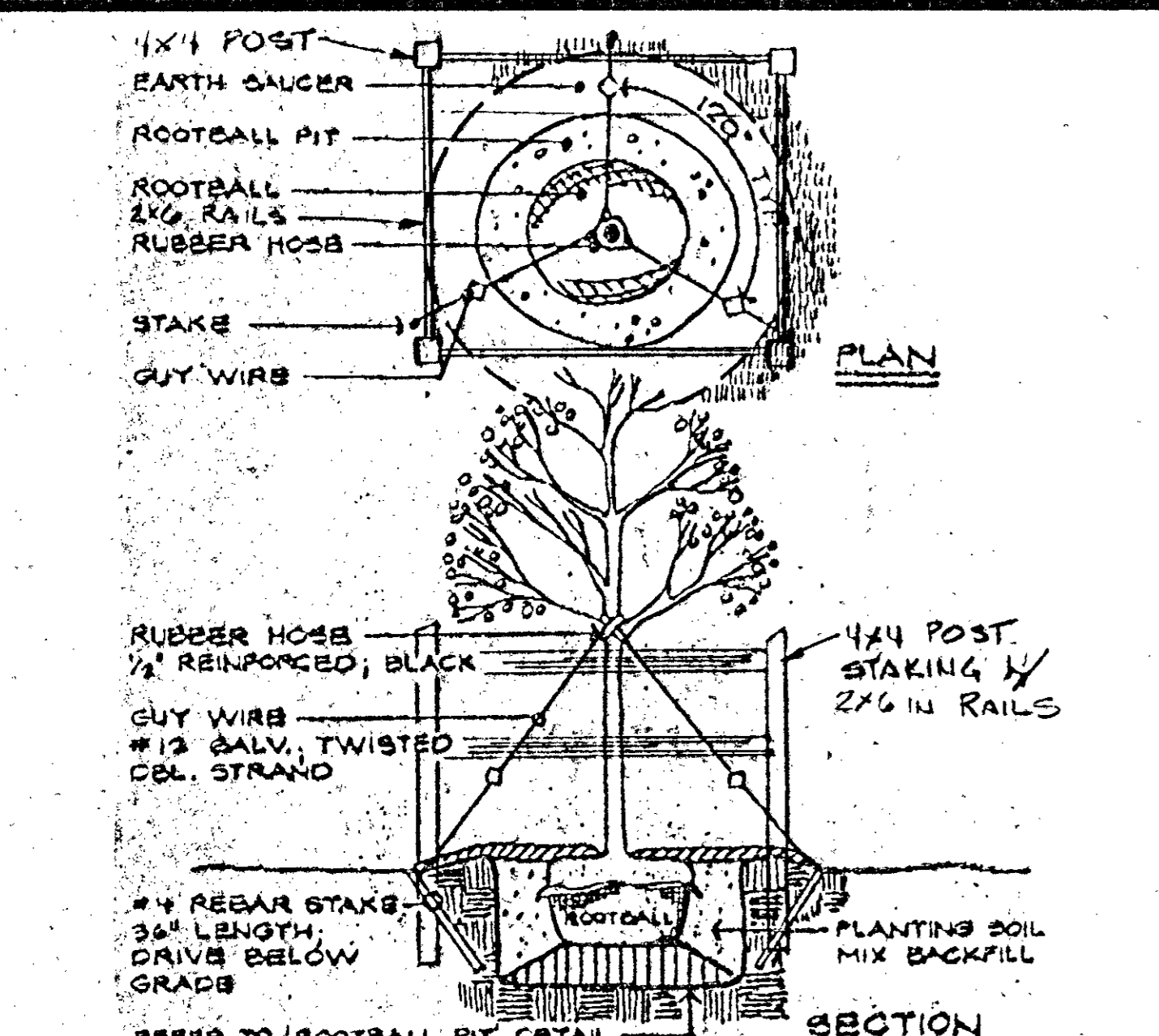
SHRUB INSTALLATION
N.T.S.

PLANTING TREE & SHRUBS

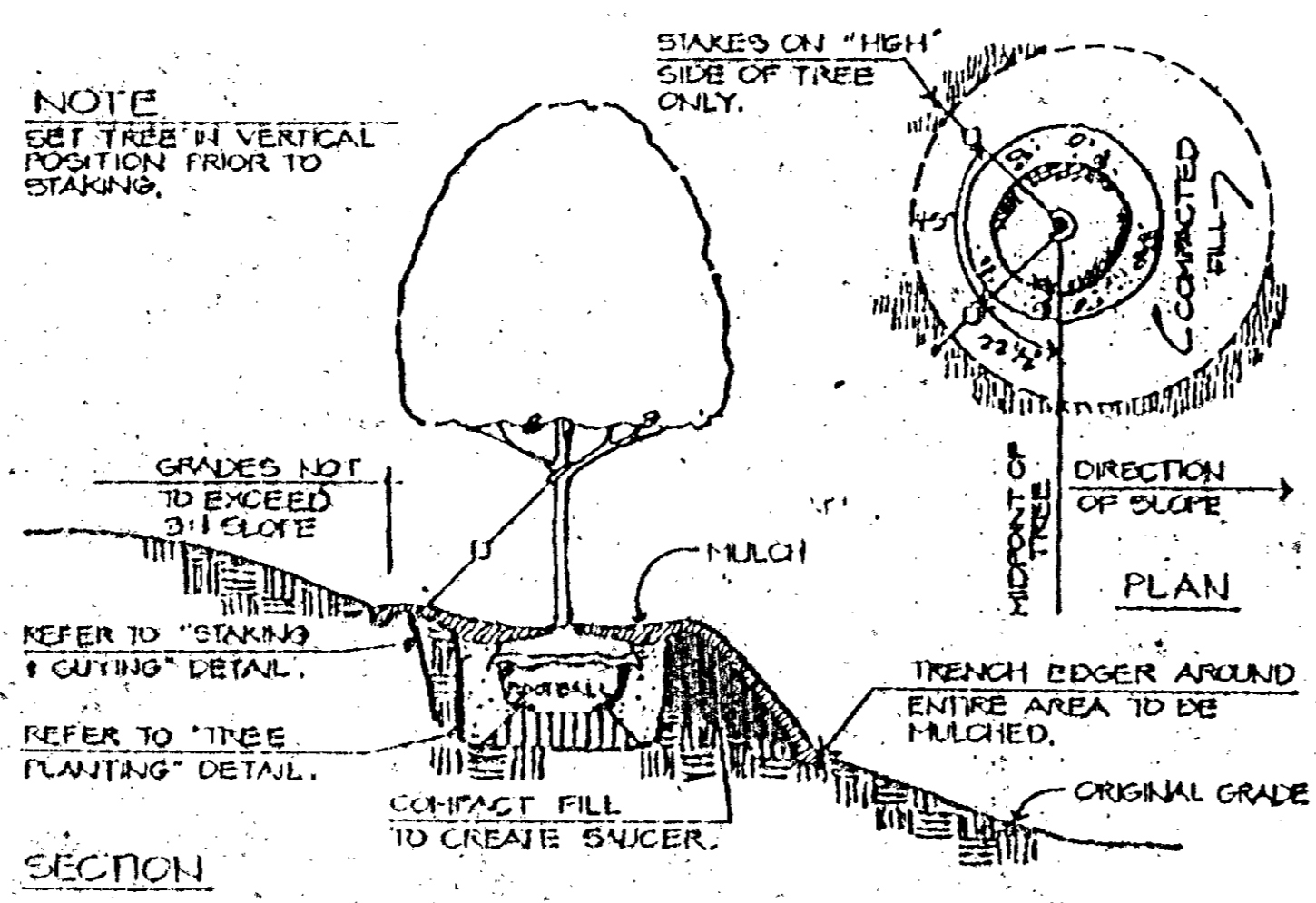
1. PLANT BALLS SHALL BE 100% AS UNROLLED PITS WITH VERTICAL SOLES AND LEVEL BOTTOMS. ALL SOFT CORNER SOILS SHALL BE ELIMINATED AND BACKFILLED WITH PREPARED TOPSOIL. THE USE OF SETTING PLANTS, TREE PITS SHALL HAVE DIAMETERS (IF GREATER THAN THE WIDTH OF THE TREE BALLS) SHRUB PITS SHALL HAVE A DIAMETER AT LEAST ONE FOOT (1) LARGER THAN THE WIDTH OF THE TREE BALLS. THE TREE AND SHRUB PITS SHALL BE SIX (6) AND FOUR (4) COPIES RESPECTIVELY DEEPER THAN BALL DEPTH, SO THIS MOIST PREPARED PLANTING SOIL CAN BE COMPACTED UNDER PLANT BALLS WHILE SETTING.
2. SHRUBS PLANTED IN BEDS: THE ENTIRE AREA SHALL BE CULTIVATED TO A DEPTH OF SIX (6) OR SEVEN (7) INCHES WITH ROTARY TILLER BEFORE DIGGING SHRUBS AS INSTRUCTED ABOVE.
3. PLANTING SOIL & PREPARATION: TOPSOIL SHALL BE ORIGINAL SURFACE LOAN, FERTILE AND FREE OF STONES AND NATURALLY WELL DRAINED AREAS. A SLIGHTLY ACID PH IS BEST FOR MOST TREES AND SHRUBS. MIX ONE (1) PART PEAT MOSS WITH FOUR (4) PARTS OF THIS TOPSOIL.
4. SETTING PLANTS: ALL TREES AND SHRUBS SHALL BE CENTERED TURNED TO MOST ATTRACTIVE ADVANTAGE AND PLANTED IN A TRUCK UPRIGHT POSITION IN THE PLANTING PIT. TREES SHALL BE SET ON SIX INCHES (6") OF COMPACTED PREPARED SOIL WHILE SHRUBS SHALL BE SET ON FOUR INCHES (4"). THE PLANT SHALL BE SET AT SUCH A DEPTH THE FINISHED GRADE LEVEL AT THE SETTLEMENT WILL BE THE SAME AS THAT WHICH THE PLANT WAS GROWN. CUT AND LOOSEN ALL PLANT BALLS BINDINGS, SUCH AS CORDS, TWINE AND ROPES. HOWEVER, HEAVY BINDINGS SUCH AS STRIPS WIRE ETC. SHALL BE COMPLETELY PULLED OUT AND ELIMINATED. LOOSEN ALL BURLAP ON TOP OF PLANTS BALLS AND TURN DOWNWARD. NO BURLAP SHALL BE PULLED OUT FROM UNDER BALLS.
5. PREPARE PLANTING SOIL: SHALL BE PLACED IN THE PITS AS ABOVE AND THE BALLS AND WHEN THE HOLE IS NEARLY FULLER AND PLENTY OF WATER AND LET IT SOAK WELL. FILL THE HOLES TO FINISHED GRADE AND FORM A WINDROW SAFELY AROUND EACH PLANT BY PLACING RIDGE OF PLANTING SOIL AROUND THE EDGE OF EACH PIT. AFTER THE GROUND SETTLES, ADDITIONAL SOIL SHALL BE FILLED IN TO THE LEVEL OF FINISHED GRADE.
6. TREE MULCHING: ALL TREES SHALL BE MULCHED TO A DEPTH OF FOUR (4) INCHES AT THE TRUNK AND RECOMMENDED IN SOIL ANALYSIS.

PLANTING SOIL MIX NOTES

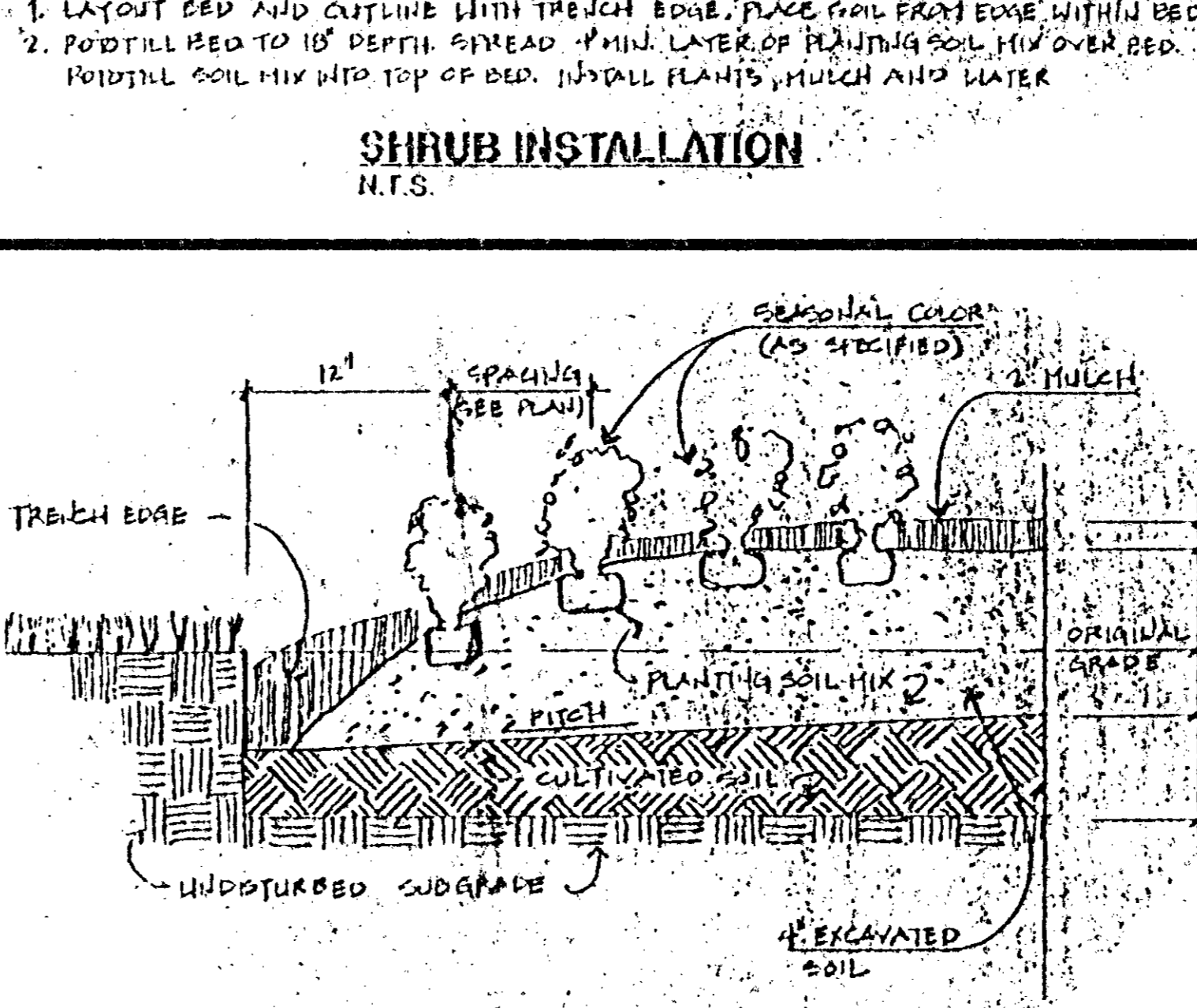
1. LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANTING SOIL. PLANTING SOIL SHALL BE MIXED AND STORED ON SITE.
2. LANDSCAPE CONTRACTOR SHALL FURNISH (FROM HIS SOURCE) A GOOD CLEAN DARK LOAMY TOPSOIL. TOPSOIL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
3. THE PLANTING SOIL MIX MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY BACKFILLING.
4. THE PLANTING SOIL MIX SHALL CONSIST OF THE FOLLOWING:
FOR TREES, SHRUBS, AND GROUNDCOVERS
50% TOPSOIL
50% PREPARED ADDITIVES (BY VOLUME AS FOLLOWS)
3 PARTS HUMUS (FOREST OF PEAT)
1 PART STERILIZED COMMUNARE COMMERCIAL FERTILIZER @ 4 LBS/CU. YD. LIME (AS RECOMMENDED IN SOIL ANALYSIS)



TREE STAKING & PROTECTION
N.T.S.



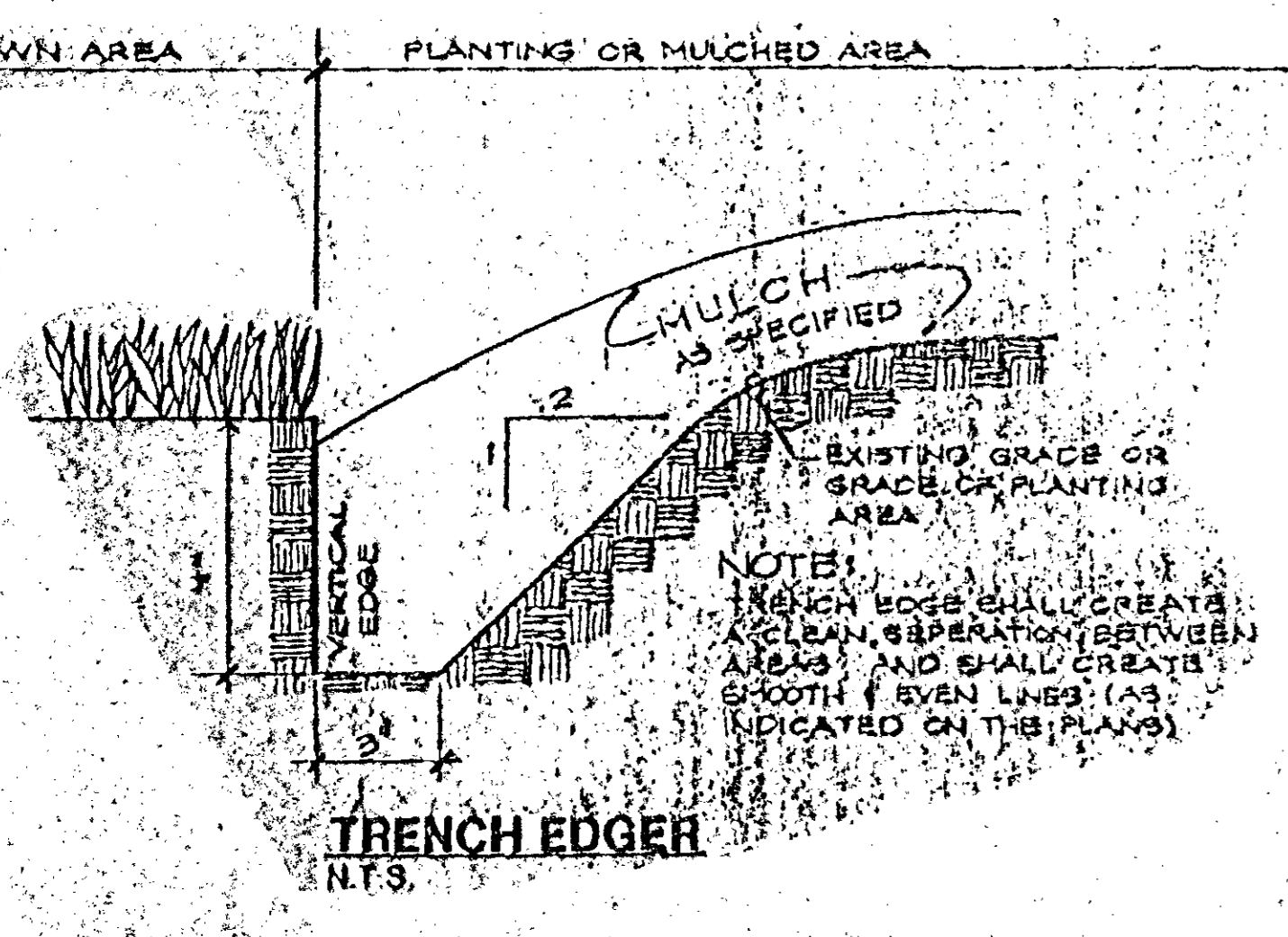
TREE ON SLOPE
N.T.S.



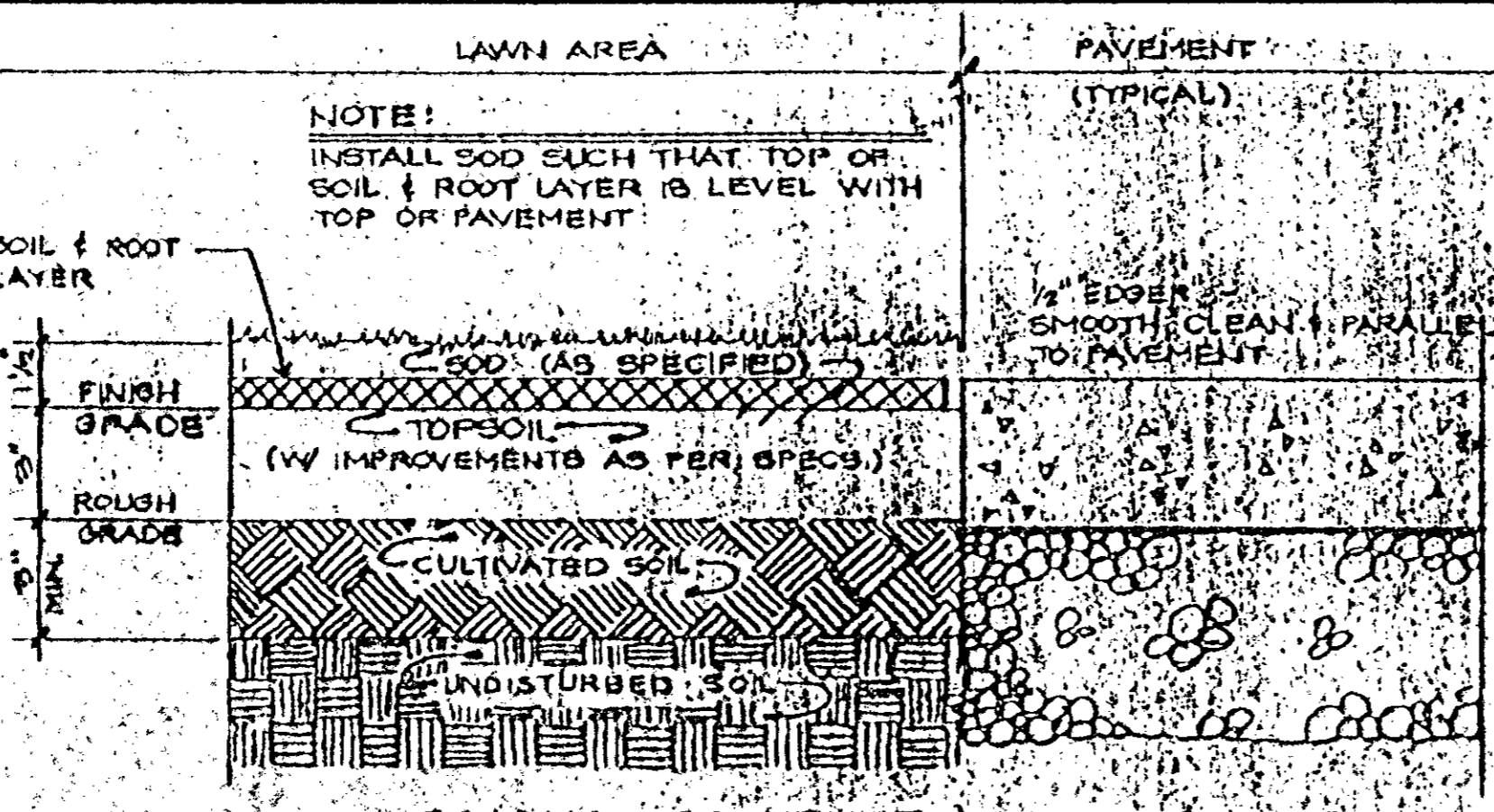
SEASONAL COLOR INSTALLATION
N.T.S.

SEASONAL COLOR BED MAINTENANCE

1. TEST SOIL MIX EACH YEAR FOR FERTILIZER, LIME AND ORGANIC REQUIREMENTS.
2. AS SOIL AMENDMENTS AS NEEDED IN FIRST YEAR; AND AT ONE HALF THE SPECIFIED RATE THE SECOND YEAR AND EVERY THIRD YEAR THEREAFTER.
3. ROTO-TILL BEDS A MINIMUM 14" IN DEPTH AT EACH PLANTING.
4. PREPARE BEDS AS FOLLOWS: (ADJUST FERTILIZER AND LIME REQUIREMENTS PER SOIL TEST RESULTS.)



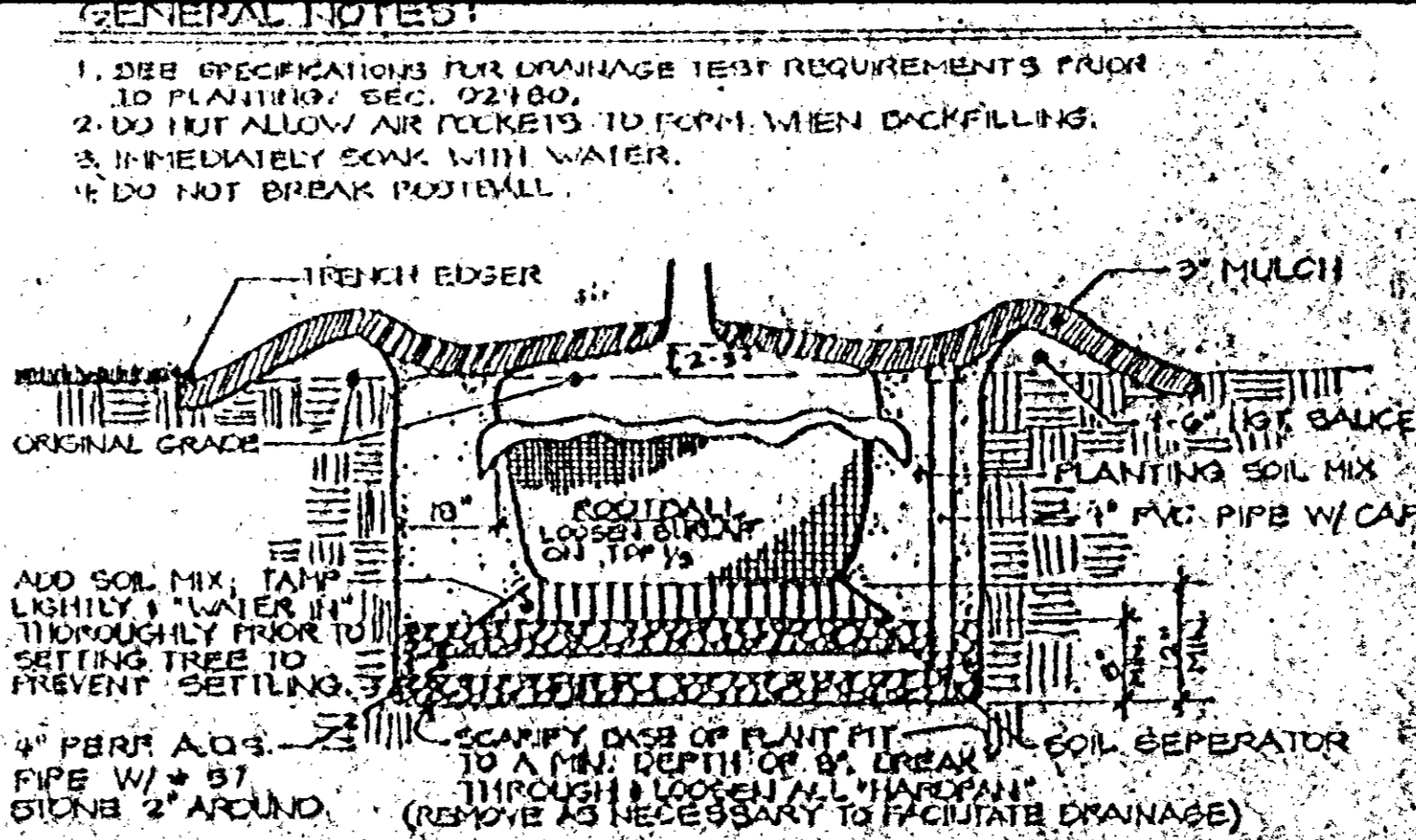
TRENCH EDGER
N.T.S.



SODDING PROCEDURE

1. THE GENERAL CONTRACTOR WILL PROVIDE GRADES TO (± .20) OF A FOOT OF PROPOSED GRADES.
2. SPREAD 3" OR TOPSOIL & CULTIVATE ENTIRE AREA TO A MINIMUM 6" DEPTH. HANDRAKE SMOOTH.
3. APPLY LIME & FERTILIZER, ROTO-TILL (AS PER SOIL TEST ANALYSIS).
4. WATER AREA TO BE SODDED PRIOR TO LAYING SOD.
5. LAY SOD, ROLL SOD, AND WATER THOROUGHLY.

SOD INSTALLATION
N.T.S.



ROOTBALL (WITH ADS PIPE)
N.T.S.

GENERAL NOTES:

1. SEE SPECIFICATIONS FOR DRAINAGE TEST REQUIREMENTS PRIOR TO PLANTING, SEC. 02180.
2. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
3. IMMEDIATELY SOAK WITH WATER.
4. DO NOT BREAK ROOTBALL.

PLANTING PROCEDURE:

1. EXCAVATE ROOTBALL PIT
2. SCARIFY (T. ADD SOIL MIX & TAMP EACH THAT TREE IS SET 1" HIGHER THAN ORIGINAL GRADE.
3. SET TREE LEVEL WITH IT'S ORIGINAL GRADE IN NURSERY.
4. BACKFILL W/ SOIL MIX & CONSTRUCT SAUCER.
5. COMPLETE BACKFILLING & ADD MULCH. APPLY TREE WRAP.
6. STAKE & GUY SECURELY.

PLANTING TREE LOCATION

RULES FOR SPACING

1. FUTURE SHADE
2. FRAME VIEWS TOWARD STRUCTURES AND ALSO INTERESTING VISTAS VIEWED OUTSIDE OF PROJECTS.
3. BREAK LONG ROOF LINES TO ELIMINATE MONOTONY AND PRODUCE INTEREST.
4. PROVIDE A VERTICAL ATMOSPHERE AND A MORE ATTRACTIVE ENVIRONMENT (THE OPPOSITE ATMOSPHERE OF HARD-CORE LIVING).
5. PROVIDE A STRUCTURE FOR A MORE NATURAL SETTING AND TO COMPLETE A PLEASANT SURROUNDING.
6. PLANT IN APPLICABLE LOCATIONS MERELY FOR AN ORNAMENTAL ACCENT.
7. TAKE OUT AND REPLACE DISEASED, DEAD OR DYING TREES WITH YOUNG TREES OF A BETTER VARIETY.
8. REMOVE TREES & STUMPS IN LOCATIONS WHERE TREES HAVE BEEN TAKEN OUT AND ELIMINATED PREVIOUSLY (LOSSES RESULTING FROM WIND STORMS, DISEASE, AGE, ACCIDENTS, VANDALISM, UTILITIES, ETC.).

PLANNING FOR SHRUBS:

1. PLANT SHRUBS AROUND BUILDING FOUNDATIONS. (MINIMUM AMOUNT - CORNER MASS, ENTRANCE ACCENTS AND INTERMEDIATE MASS AT BREAKS IN THE BUILDING WALLS).
2. PLANT SHRUBS TO SCREEN UNATTRACTIVE AREAS OR SURROUNDINGS.
3. PLANT HEDGES TO CONTROL NEIGHBORHOOD VIEWS.
4. PLANT NEAR PROPERTY LINES WITH HEDGES OR MASSIVE DRIFTS OR SHRUBS TO IMPROVE LOCATION OF THE PROPERTY.
5. PLANT ENTRANCE SHRUBS MASSIVE TO MARK AND CALL ATTENTION TO ENTRANCE DRIVES.
6. CURVES IN CURVES OFTEN NEED SOME PLANTING TO BANK THE CURVES AND PRODUCE A SUBSISTENT FEELING OF SECURITY AND PROTECTION.
7. DO NOT PLANT SHRUBS AT RANDOM LOCATION IN OPEN SPACIOUS AREAS FOR ACCENTS, SPECIMENS OR ANY OTHER REASON.

WR&J Project No. 180818
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NO.	DATE	REVISION

SHEET TITLE: **C-25**

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WR&J Project No. 180818
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