

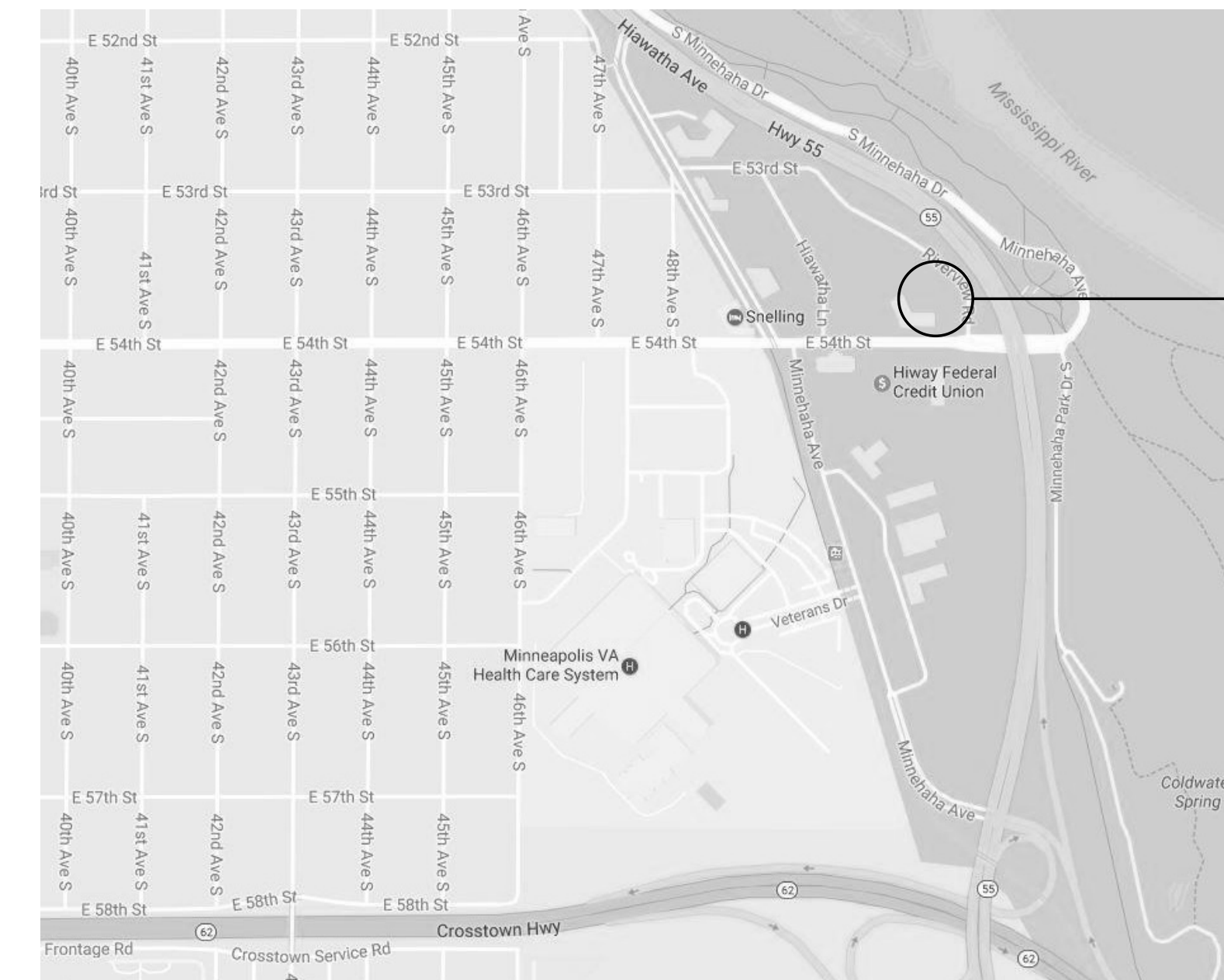
GC 90% REVIEW SET
MAY 26, 2017

MINNEHAHA TOWNHOMES

5348, 5364, 5369 RIVERVIEW ROAD, 5118 54TH ST EAST
MINNEAPOLIS, MN 55417

SHT NO	SHEET NAME
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G031	FAÇADE MATERIALS 2333 BUILDING
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C200	SWPPP NARRATIVE
C201	SWPPP GENERAL INFORMATION
C202	SWPPP DETAILS
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SHT NO	SHEET NAME
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PROJECT SITE

PROJECT ADDRESSES:
5348 RIVERVIEW ROAD
5364 RIVERVIEW ROAD
5369 RIVERVIEW ROAD
5118 54TH STREET EAST

PARCEL ID NUMBERS:
17-028-23-34-0058
17-028-23-34-0028
17-028-23-34-0056
17-028-23-34-0034

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Minneapolis, Minnesota 55401-2282

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Interiors and 612.342.2216 fax
Urban Design www.msrdesign.com





BLDG A
SEE SHEET A101

BLDG B
SEE SHEET A101

BLDG C
SEE SHEET A101

BLDG D
SEE SHEET A100

1 SITE ORIENTATION PLAN
G000 3/64" = 1'-0"

**MINNEHAHA
TOWNHOMES**
5348, 5364 5369 RIVERVIEW
5118 54TH ST EAST
MINNEAPOLIS, MN 55417

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the Laws of the State of Minnesota.
 ARCHITECT SEAL

Signature: _____
 Print Names: _____
 Date: _____ License No: _____

ISSUE	DATE	DESCRIPTION
K	04.21.17	100% DD
	04.28.17	LAND USE APPLICATION
	05.08.17	50% CD
	05.26.17	GC 50% REVIEW SET

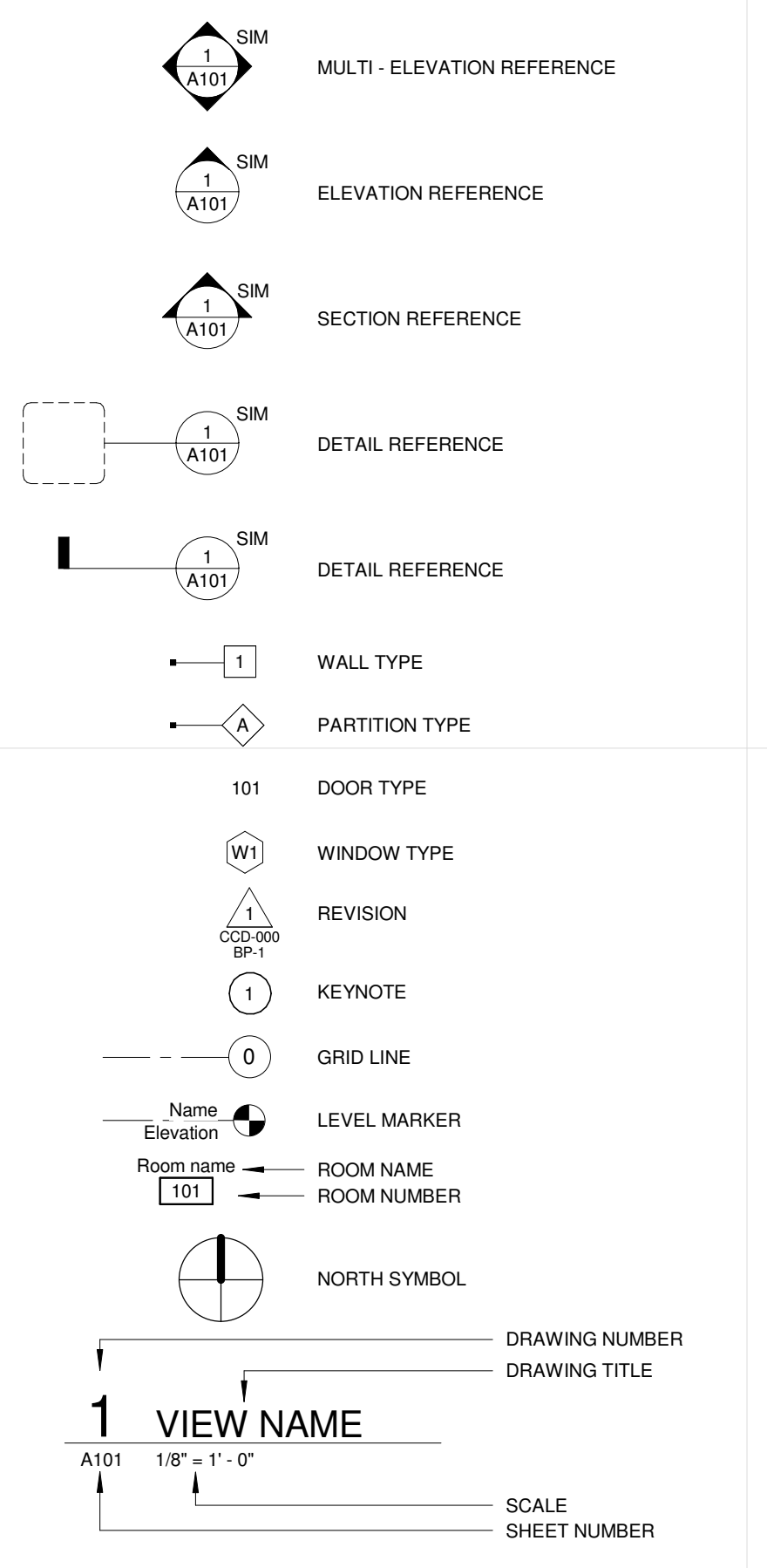
PROJECT NO.	2016.015
PROJECT PHASE	50%CD
DRAWN BY:	CHECKED BY:
Author	Checker

**SITE ORIENTATION
PLAN**

G000

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DRAFTING SYMBOLS



ABBREVIATIONS

A A/E Architect and/or Engineer AB Anchor Bolt ABV Above AC Air Conditioning ACFL Access Floor ACOUS Acoustical ACT Acoustical Ceiling Tile AD Access Door ADL Additional ADJ Adjacent ADJUST Adjustable ADMIN Administration AFF Above Finish Floor ALT Alternate ALUM Aluminum AMEND Amendment ANC Anchor AP Access Panel APC Architectural Precast Concrete APROX Approximately ARCH Architectural ALTO Automatic AV Audio Visual AVG Average AWT Acoustical Wall Treatment	C COL Column COM Communication COMP Composite COMPR Compressible CONC Concrete COND Condition CONF Conference CONN Connection CONST Construction CONT Contour (cont) (ation) CORR Corridor CPT Carpet CFS Countersunk CT Ceramic Tile CTR Center CU Cubic CUH Cabinet Unit Heater CW Cold Water CW Curtain Wall	F FEC Fire Extinguisher Cabinet FF Finished Face, Face of Wall FFE Finish Floor Elevation FFL Finish Floor Level FHC Fire Hose Cabinet FIN Finish FMT Fixture FLASH Flashing FLEX Flexible FLR Floor FLUOR Fluorescent FN Fence FO Foundation FO Finished Opening FOC Face of Concrete FOM Face Masonry FOS Face of Suds / Steel FP Fireproofing FRP Fiberglass Reinforce Plastic Panel FRT Fire Retardant Treated FT Foot or Feet Footing FTR Fine Tube Radiation / Radiator FUR Furring FT Future CWC Fabric Wall Covering	K KIT Kitchen KO Knockout	L L Long, Length LAB Laboratory LAM Laminate, Lamination LAV Lavatory LB Pound LCD Linear Ceiling Diffuser LF Linear Foot LH Left Hand LHR Left Hand Reverse LIN Linear LINO Linoleum LL Live Load LOC Location LONG Longitudinal LTG Lighting LVR Louver	P PERP Perpendicular PFM Pre-Formed PFN Pre-Finished PKG Parking PL Plate PL Property Line PLAM Plastic Laminate PLAS Plaster PLBG Plumbing PLF Pound per Linear Foot PLYWOOD Plywood PNL Panel PR Projections PREFAB Prefabricated PRELIM Preliminary PRQJ Round per Square Inch PT Paint PTN Partition PVC Polyvinyl Chloride Q Quarry Tile QTR Quarter QTY Quantity	S S Solid Surface SSK Service Sink ST Stone Tile STC Sound Transmission Coefficient STD Standard STL Steel STR Stone STOR Storage STRUCT Structural SUBFL Subflooring SUSP Suspended SYM Symmetry, Symmetrical SYS System T Tread T&G Tongue & Grooved TAN Tangent T&P Trench Drain TBD To Be Determined TD Trench Drain TEMP Temporary TERE Terrace THK Thick(ness) THRES Threshold TOL Tolerance TOC Top of Concrete or Curb TOD Top of Deck TOF Top of Footing TOJ Top of Joist TOM Top of Masonry TOR Top of Roofing TOS Top of Slab TOS Top of Steel TOW Top of Wall TRTD Treated TS Tube Steel TYP Typical U Undercut UFIN Unfinished UG Underground UNO Unless Noted Otherwise UPH Upholstery UR Urinal UTIL Utility V Varies VAR Vapor Barrier VCT Vinyl Composition Tile VERT Vertical VEST Vestibule VIN Vinyl VNR Veneer VR Vapor Retarder VT Vinyl Tile VWC Vinyl Wall Covering W West W Wide, Width WI With W/O Without WC Water Closet WD Wood WDW Window WF Wide Flange WG Wall Guard WHTR Water Heater WP Waterproofing WR Waster Receptacle WS Weather-Stripping WSC Wainscot WT Window Treatment
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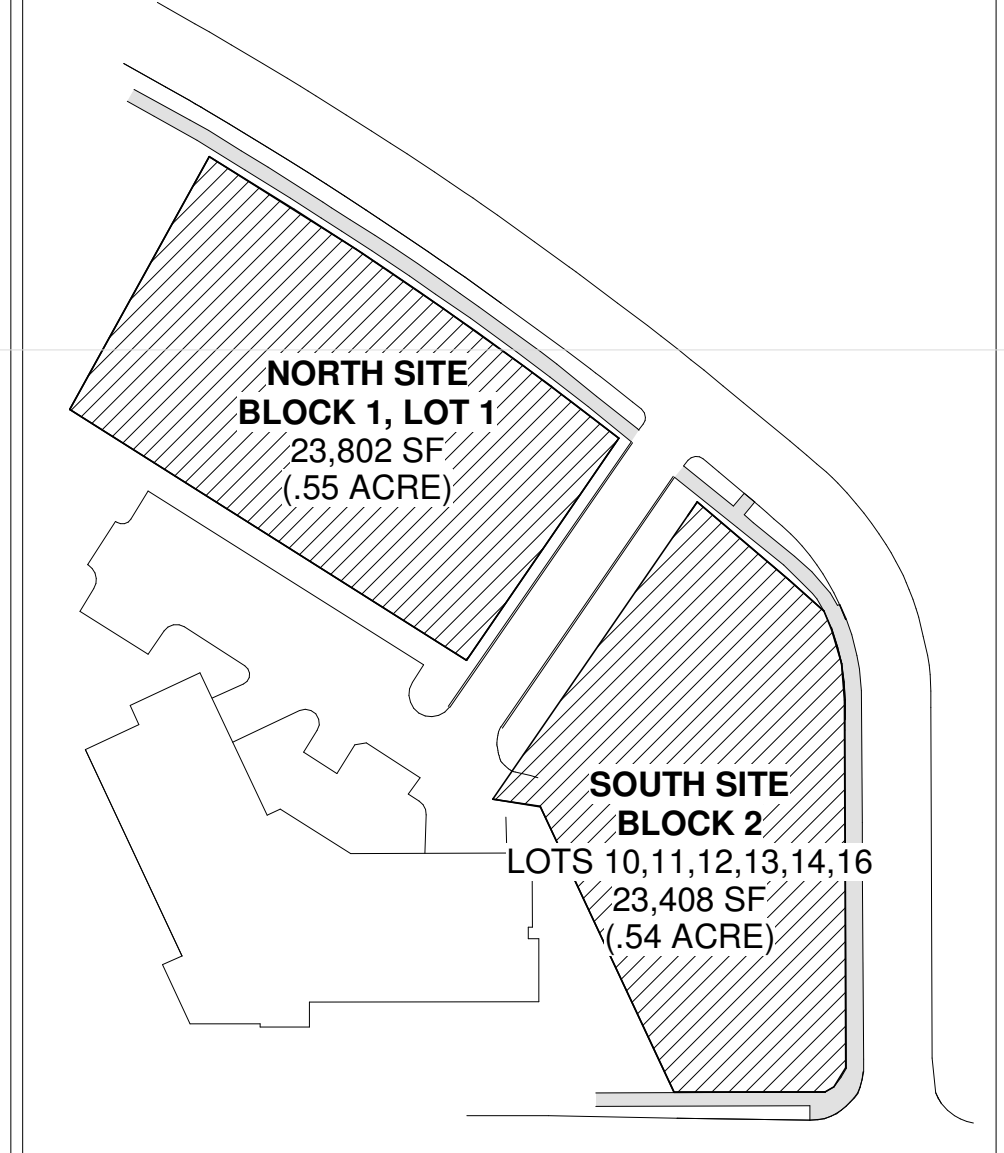
DEVELOPER: MINNEAPOLIS PUBLIC HOUSING AUTHORITY
 ARCHITECT: MSR DESIGN
 CIVIL ENGINEER: PIERCE PNN + ASSOCIATES
 STRUCTURAL: MATTONSON MACDONLAD YOUNG, INC.
 MEP: MEP ASSOCIATES, LLC

NUMBER OF PARKING SPACES: 15 STANDARD, 1 ADA

TYPE OF CONSTRUCTION	VB	R2
NET SQUARE FOOTAGE	LEVEL 1	LEVEL 2
2 BEDROOM	442 SF	384 SF
3 BEDROOM	558 SF	503 SF
4 BEDROOM	920 SF	403 SF
TOTAL	1,671 SF	1,323 SF

TOTAL NET SQUARE FOOTAGE OVER ENTIRE PROPERTY
 2 BEDROOM X 4 UNITS 3,304 SF
 3 BEDROOM X 11 UNITS 11,671 SF
 4 BEDROOM X 1 UNIT 1,323 SF
 TOTAL NET 16,298 SF

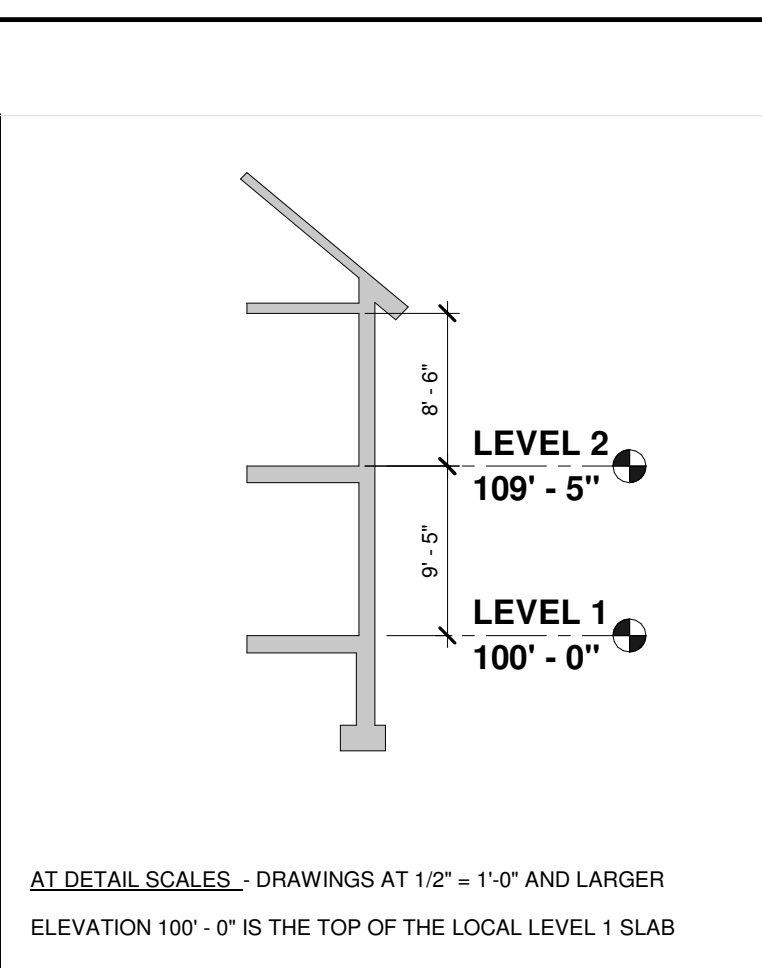
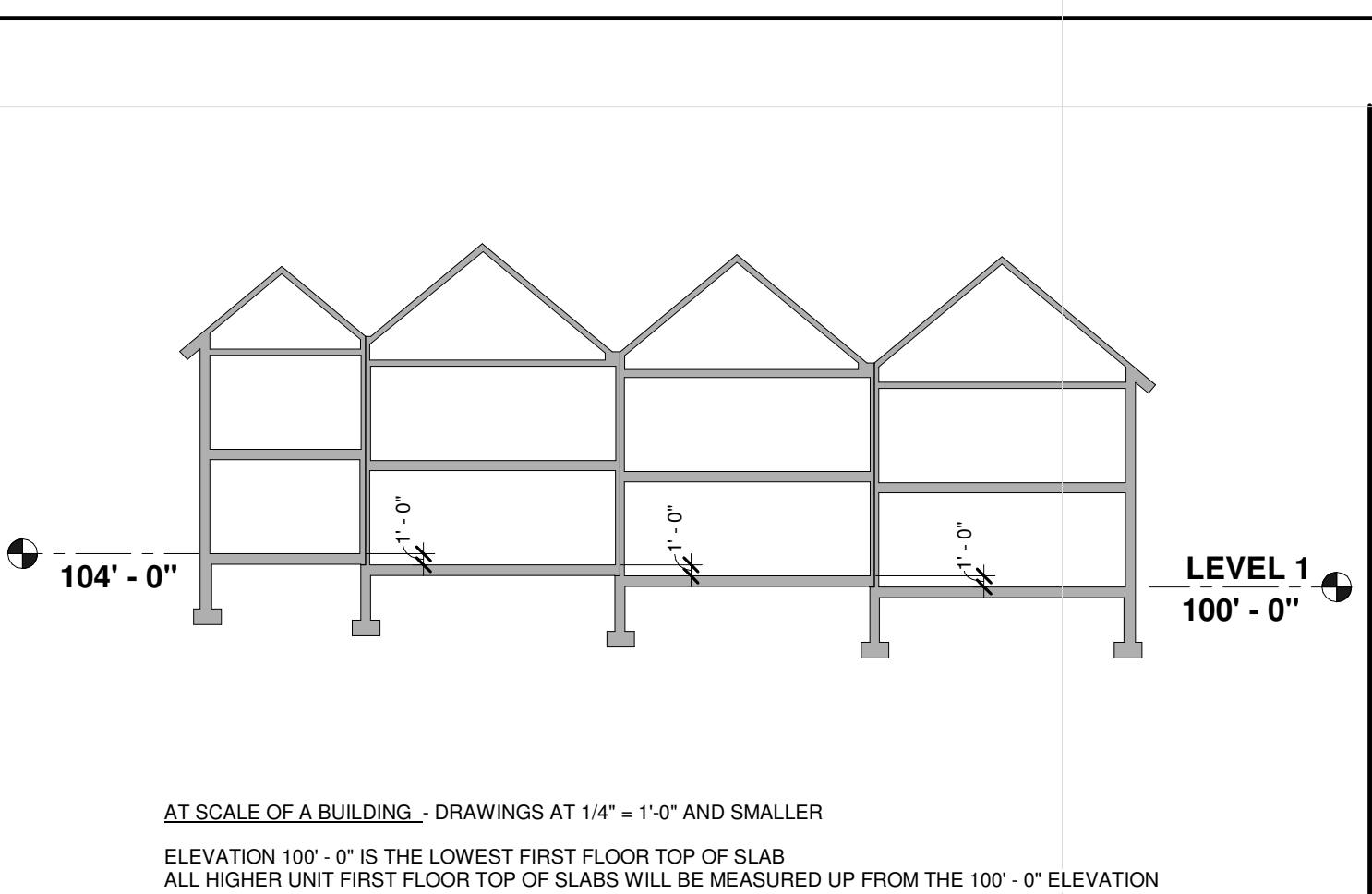
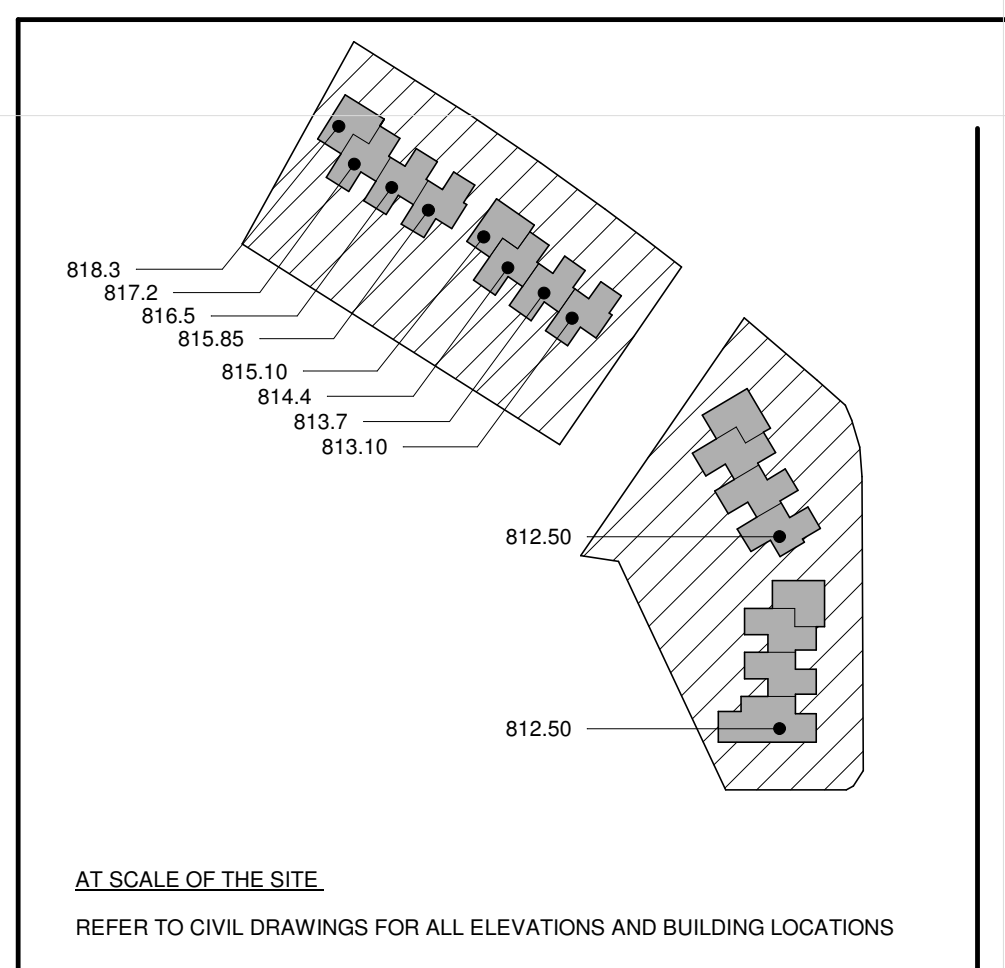
AREA OF NONLIVING UNIT SPACES N/A



NORTH SITE R4 ZONING		SOUTH SITE R3 ZONING	
GROSS SF SUMMARY		GROSS SF SUMMARY	
BUILDING A		BUILDING C	
LEVEL 1 - 2424 SF		LEVEL 1 - 2463 SF	
LEVEL 2 - 2175 SF		LEVEL 2 - 2213 SF	
TOTAL - 4,599 SF		TOTAL - 4,676 SF	
BUILDING B		BUILDING D (4 BEDROOM)	
LEVEL 1 - 2424 SF		LEVEL 1 - 2833 SF	
LEVEL 2 - 2175 SF		LEVEL 2 - 2097 SF	
TOTAL 4,599 SF		TOTAL 4,930 SF	
TOTAL SF- 9,198 SF		TOTAL SF- 9,606 SF	
LOT 23,802 SF		LOT 23,408 SF	
FAR .39		FAR .41	
LOT COVERAGE 4848 SF		LOT COVERAGE 5296 SF	
TOTAL 20.3%		TOTAL 23%	
70% MAX		45% MAX	
LOT IMPERVIOUS 25%		LOT IMPERVIOUS 33%	
85% MAX		60% MAX	
LOT OPEN SPACE		LOT OPEN SPACE	
TOTAL 17,721 SF		TOTAL 16,629 SF	
2,215 SF/ UNIT		2,041 SF/ UNIT	
1250 SF/ UNIT MIN		1,500 SF/ UNIT MIN	
TREES + SHRUBS		TREES + SHRUBS	
NON BLDG- 18,876 SF		NON BLDG- 18,112 SF	
20% 3,776 SF		20% 3,823 SF	
8 TREES		8 TREES	
38 SHRUBS		37 SHRUBS	

2012 IBC - BUILDING CODE ANALYSIS

0	USE AND OCCUPANCY CLASSIFICATION	
0	Assembly Group R-2 (Section 303)	
1	TYPE OF CONSTRUCTION	
2	TYPE VB - Building is not sprinklered	
3	FIRE RESISTANCE RATING OF BUILDING ELEMENTS	
3	Structural Frame - Table 601	No Rating
4	Bearing Walls (Interior) - Table 601	No Rating
5	Bearing Walls (Exterior) - Table 601	No Rating
6	Nonbearing walls and partitions (Interior) - Table 601	No Rating
7	Nonbearing walls and Partitions (Exterior)	No Rating
8	(Fire Separation Distance is > 30 ft) - Table 602	No Rating
9	Floor Construction (Including supporting beams and joists) - Table 601	No Rating
10	Roof Construction (Including supporting beams and joists) - Table 601	No Rating
11	Enclosure of Shafts less than 4 stories - Table 707.4	N/A
11	Enclosure of Shafts more than 4 stories - Table 707.4	N/A
11	Corridors - Less than 30 occupants - Table 1017.1	N/A
11	Corridors - Without Sprinkler System - Table 1017.1	N/A
11	Corridors - With Sprinkler System - Table 1017.1	N/A
11	Mechanical Room - Table 508.2	N/A
11	Storage Room - Table 508.2	N/A
12	GENERAL BUILDING HEIGHTS AND AREAS (CHAPTER 5, 503)	
13	508.3.2.2 - Allowable area and Height (in Nonseparated Occupancies 508.3.2) Base on the most restrictive allowances for the occupancy groups under consideration. Base on the most restrictive allowances for the occupancy groups under consideration.	
14	Allowable Height	2 stories
16	Allowable Building Area B	7,000 sf
19	Fire Sprinkler Required	yes
20		
22		
23	BUILDING HEIGHT - PROPOSED VS. ALLOWABLE	
24	Proposed Building Height	2 story; 29'-4" TO HIGHEST ROOF RIDGE
26	BUILDING FLOOR AREA - PROPOSED VS. ALLOWABLE	
28	Proposed Building Area	PER BUILDING ON SITE
28	First Floor	2,459SF
28	Second Floor	2,210SF
29	Total	4,669 SF
31	Minimum distance of building projections from building separation line table 705.2 - 5 feet or greater	PROPOSED 24" ALLOWED - 40"
39		
40	FIRE RESISTANCE RATED CONSTRUCTION (Chapter 7)	
41	Maximum area of Exterior Wall Openings (Table 704.8)	No Limit
42	Fire Separation Distance is > 30 feet	
43		
77		
78	Minimum Widths	
79	Stairways	3'-0"
80		
100		
101		
102		
103		
104		
105		



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MINNEHAHA TOWNHOMES
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MARK	DATE	DESCRIPTION
04.21.17	100% DD	
04.28.17	LAND USE APPLICATION	
05.05.17	50% CD	
05.26.17	GC 90% REVIEW SET	

PROJECT NO. 2016015
 PROJECT PHASE GC 90% REVIEW SET
 DRAWN BY: P. LYNCH CHECKED BY: Checker
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SHEET INDEX AND SYMBOLS

G001

A SERIES

ONE LAYER GYPSUM BOARD BOTH SIDES
2xX WOOD STUD

PARTITION TYPE	STUD SIZE	PARTITION WIDTH	UL DESIGN NUMBER	FIRE RATING	STC RATING	NOTES
A4	3 1/2"	4 1/2"		-	-	1, 2
A5	3 1/2"	4 3/4"	UL U905	1 HOUR	3	
A6	5 1/2"	6 1/2"		-	-	1, 2

NOTES
 1. STC VARIES WITH INSULATION USED
 2. USE CEMENTITIOUS BACKER BOARD IN LIEU OF GYP IN TILE LOCATIONS
 3. USE 5/8" TYPE X GYP FOR FIRE RATED PARTITIONS

C SERIES

ACOUSTIC SOUND BATT INSULATION
ONE LAYER 5/8" GYP-2
2xX WOOD STUD

PARTITION TYPE	STUD SIZE	PARTITION WIDTH	UL DESIGN NUMBER	FIRE RATING	STC RATING	NOTES
C4	3 1/2"	9 1/4"		1HR	52	1
C6	5 1/2"	13 1/4"		1 HR	57	1

NOTES
 1. STC VARIES WITH INSULATION USED

SERIES

ONE LAYER GYPSUM BOARD
2xX WOOD STUD

PARTITION TYPE	STUD SIZE	PARTITION WIDTH	UL DESIGN NUMBER	FIRE RATING	STC RATING	NOTES
F3	2 1/2"	3				1
F3A	2 1/2"	3.75"		1 HR		2
F4	3 1/2"	4				1

NOTES
 1. USE CEMENTITIOUS BACKER BOARD IN LIEU OF GYP IN TILE LOCATIONS
 2. 2 LAYERS OF 5/8" TYPE X GYP BOARD

GENERAL NOTES

- SOME PARTITIONS DESCRIBED HERE MAY NOT BE USED ON THIS PROJECTS. SEE PLANS FOR SPECIFIC PARTITION TYPES USED.
- INTERIOR PARTITIONS TYPES TO BE INDICATED BY \diamond XX \rightarrow ON FLOOR PLANS.
 - GAUGE, SPACING, AND PERFORMANCE REQUIREMENTS OF METAL STUDS TO BE DETERMINED BY SPECIFICATIONS UNLESS OTHERWISE NEEDED.
 - TYPE "X" GYPSUM BOARD REQUIRED AT RATED PARTITIONS ONLY.
 - FIRE RATED OR ACOUSTICALLY RATED PARTITIONS TO EXTEND TO ROOF OR FLOOR DECK ABOVE UNLESS NOTED OTHERWISE. PROVIDE REQUIRED CLOSURE TO MAINTAIN FIRE OR ACOUSTICAL RATING. PROVIDE APPROPRIATE DEFLECTION JOINT AT TOP OF PARTITION TO ELIMINATE CRUSHING OF PARTITION.
 - AT NON-RATED PARTITIONS IN ROOMS WITH FINISHED CEILING, GYPSUM BOARD TO GO 6" ABOVE CEILING UNLESS NOTED OTHERWISE. AT NON-RATED PARTITIONS IN ROOMS WITHOUT FINISH CEILINGS, GYPSUM BOARD TO GO TO DECK UNLESS NOTED OTHERWISE.
 - PENETRATIONS IN FIRE RATED OR ACOUSTICAL RATED PARTITIONS AND CONNECTIONS TO THESE PARTITIONS BY OTHER PARTITIONS SHALL BE PER PARTITION MANUFACTURER'S WRITTEN RECOMMENDATIONS OR U.L. REQUIREMENTS FOR FIRE TEST AND ACOUSTICAL TEST RATINGS.
 - REFER TO SPEC FOR BACKER AT PARTITIONS SCHEDULED TO RECEIVE CERAMIC TILE. PROVIDE TILE BACKER BOARD TO PARTITIONS IN SHOWERS, HIGH MOISTURE AREAS OR SIMILAR AREAS AND WHERE NOTED. INSTALLATION OF MOISTURE RESISTANT GYPSUM BOARD OR TILE BACKER BOARD SHALL NOT REDUCE FIRE OR ACOUSTICAL RATINGS FOR ANY PARTITION.
 - ACOUSTICALLY RATED PARTITIONS SHALL HAVE CONTINUOUS SOUND BATT INSULATION AND ACOUSTICAL CAULKING UNLESS OTHERWISE NOTED. STAGGER JUNCTION BOXES A MINIMUM OF 2" BETWEEN PENETRATIONS AT ACOUSTICALLY RATED OR FIRE RATED PARTITIONS.
 - THERMALLY SEPARATED PARTITIONS SHALL HAVE VAPOR BARRIER AND THERMAL INSULATION AS SPECIFIED UNLESS OTHERWISE NOTED.
 - VERIFY WITH STRUCTURAL ALL NON-BEARING MASONRY PARTITIONS THAT ARE NOT ADEQUATELY BRACED BY FIXED ELEMENTS PRIOR TO ERECTION.
 - PROVIDE A MINIMUM OF 1'-0" OF SOLID MASONRY BETWEEN PENETRATIONS IN MASONRY PARTITIONS UNLESS OTHERWISE NOTED.
 - REFER TO STRUCTURAL DRAWINGS FOR INTERIOR STRUCTURAL PARTITIONS
 - PROVIDE BLOCKING AND BACKER SUPPORT FOR ALL EQUIPMENT ATTACHMENT AND MOUNTING. COORDINATE LOCATION OF BLOCKING AND BACKER MATERIAL WITH OWNER AND CONTRACTOR SUPPLIED EQUIPMENT PRIOR TO CONSTRUCTION OF PARTITION. SEE FURNITURE PLAN FOR FURNITURE LOCATIONS THAT REQUIRE BLOCKING.
 - STC RATINGS INDICATED MINIMUM WALL REQUIREMENTS WITH SOUND BATT INSULATION. REFER TO GYPSUM ASSOCIATION BULLETIN #500 AND THE UL MANUAL FOR DETAILED CONSTRUCTION TECHNIQUES TO ACHIEVE STC RATINGS.

WALL TYPES - PARTITION

1 1/2" = 1'-0"

1

(E1) STANDARD 1 LAYER 1/2" GYP
(E1A) 1 HOUR RATING 2 LAYERS 5/8" TYPE X SEE CODE PLAN

ENDURAMAX BRICK UNIT
ENDURAMAX MORTAR
BRICK UNIT ANCHOR
2 STUD LOCATIONS SPACED 1 PER 2.1 SQ. FT.
ENDURAMAX 2" POLYSTYRENE PANEL
AIRB-1
SHTG-1
5 1/2" INSUL-2
2x6 WD STUD
VAPOR-1
GYP-1

R: 28

2

(E2) STANDARD 1 LAYER 1/2" GYP
(E2A) 1 HOUR RATING 2 LAYERS 5/8" TYPE X SEE CODE PLAN

SIDE-1
3/4" VERT WD FURRING @ 16" OC
INSUL-3
AIRB-1
SHTG-1
5 1/2" INSUL-2
2x6 WD STUD
VAPOR-1

R: 27.5

WALL TYPES - EXTERIOR

1 1/2" = 1'-0"

SLAB ON GRADE

LVT-1
1/2" PLY - SECURLY ATTACHED TO CONC
CONC-1
USVR-1
4" INSUL-3 WITH TAPED JOINTS
6" DRAINAGE COURSE
COMPACTED FILL - SEE STRUCTURAL

FLOOR TYPE	THICKNESS

FLOOR SYSTEMS

1 1/2" = 1'-0"

UPPER FLOORS

LVT-1
1/4" PLY JOINTS STAGGERED
SHTG-2 - ADHEARED + SCREWED TO TJI
TJI @ 19.2" O.C.
GWB-1

FLOOR TYPE	THICKNESS

1

WOOD TRUSS - SEE STRUCT FOR SIZING
1 HOUR RATED CEILING - 2 LAYERS OF 5/8" TYPE X GYP PER GYPSUM ASSOCIATION GA-610-02

CEILING TYPE	THICKNESS

CEILING SYSTEMS

1 1/2" = 1'-0"

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Signature: _____

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Date: _____ License No: _____

MARK	DATE	DESCRIPTION
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	05.05.17	50% CD
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PROJECT NO. 2016015

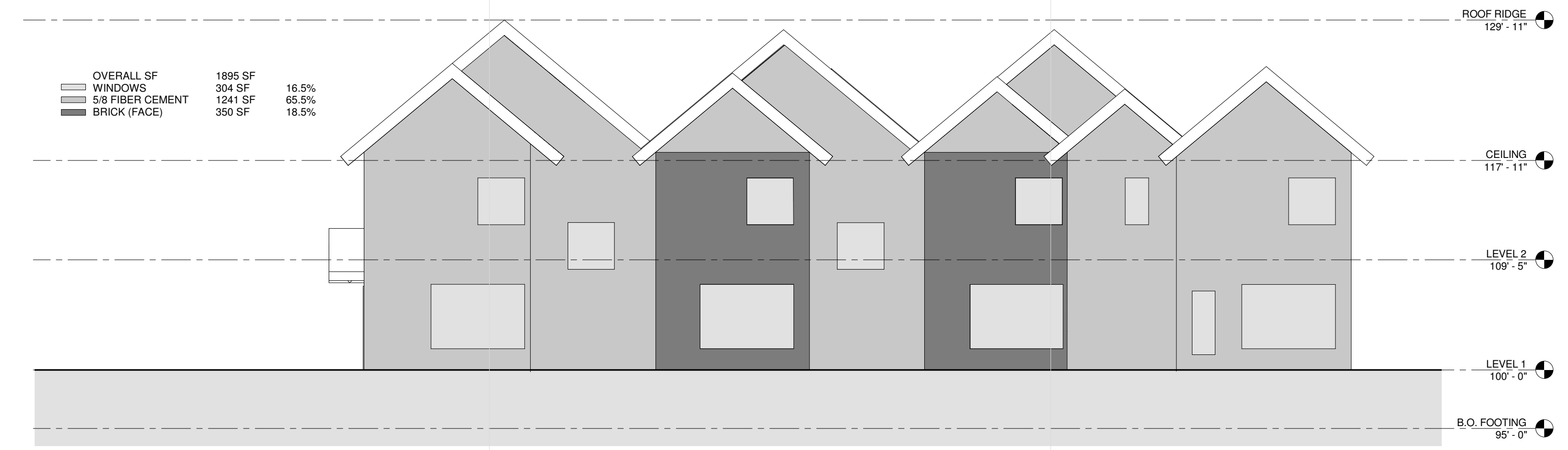
PROJECT PHASE GC 90% REVIEW SET

DRAWN BY: P.LYNCH CHECKED BY: Checker

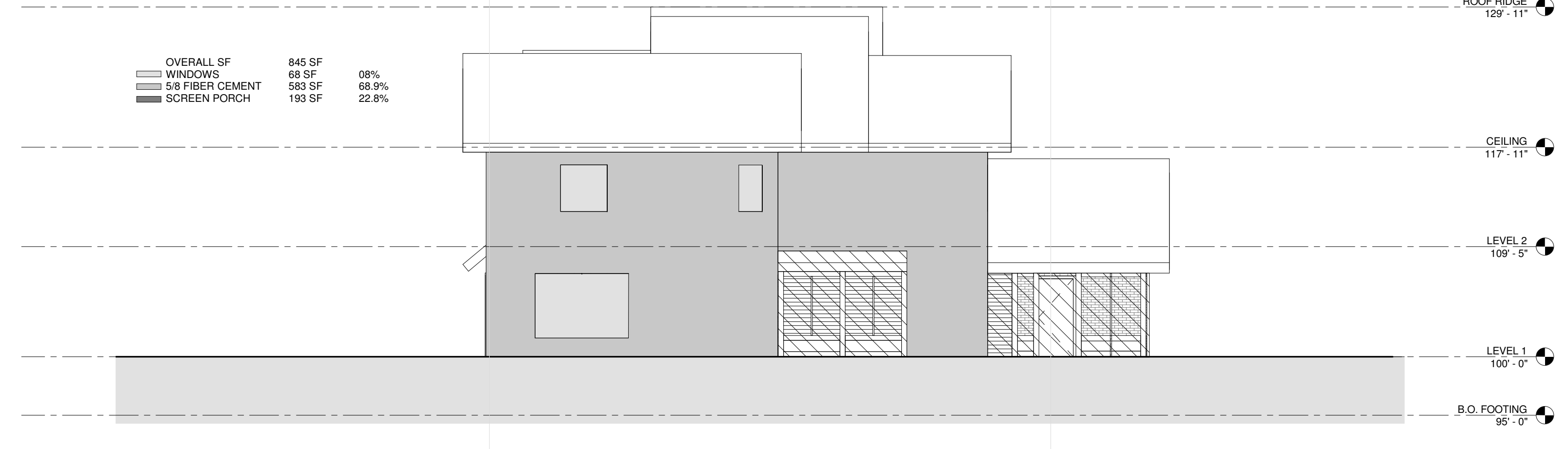
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TYPES AND SYSTEMS

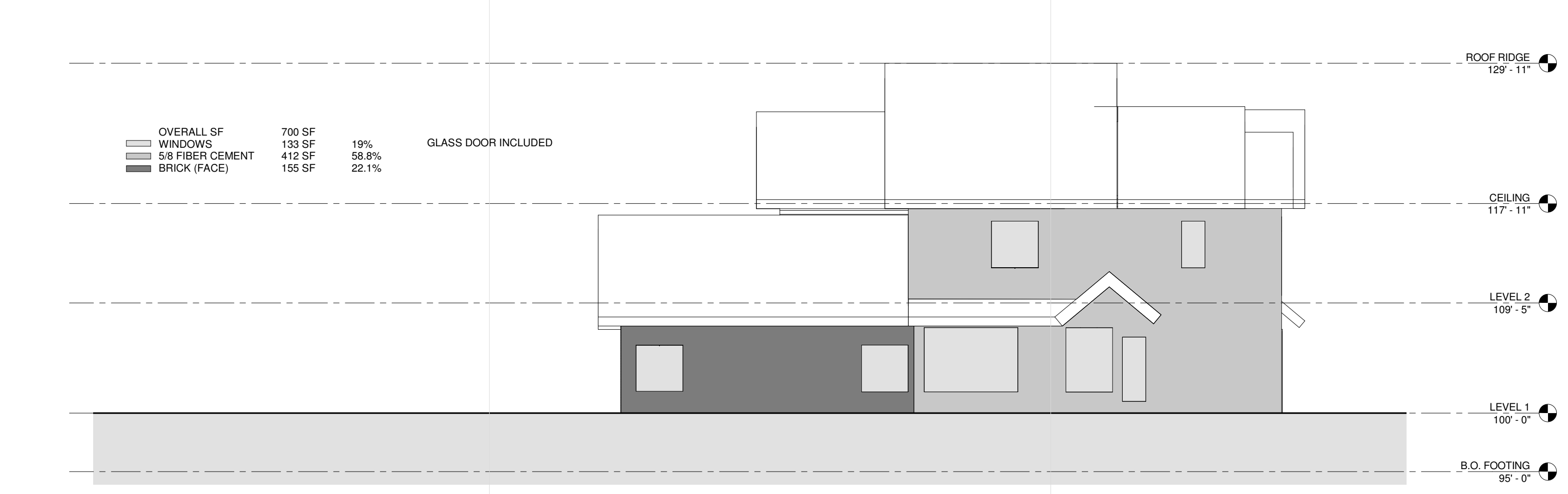
G002



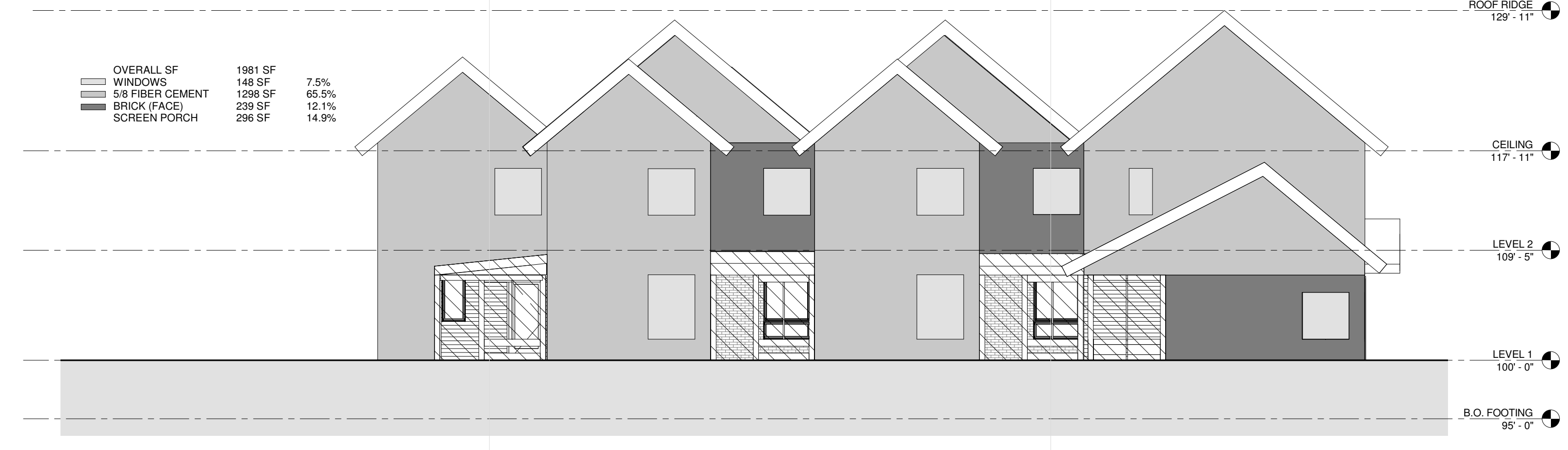
1 BUILDING EAST ELEVATION AREAS
 G030 1/8" = 1'-0"



2 BUILDING NORTH ELEVATION AREAS
 G030 1/8" = 1'-0"



3 BUILDING SOUTH ELEVATION AREAS
 G030 1/8" = 1'-0"



4 BUILDING WEST ELEVATION AREAS
 G030 1/8" = 1'-0"

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 TOWNHOMES**
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 ROAD, 5118 54TH ST EAST
 MINNEAPOLIS, MN 55417

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 Print Names: _____
 Date: _____ License No: _____

MARK	DATE	DESCRIPTION
	04.21.17	100% DD
	04.28.17	LAND USE APPLICATION
	05.05.17	50% CD
	05.26.17	GC 90% REVIEW SET

PROJECT NO. 2016015
 PROJECT PHASE GC 90% REVIEW SET
 DRAWN BY: Author CHECKED BY: Checker

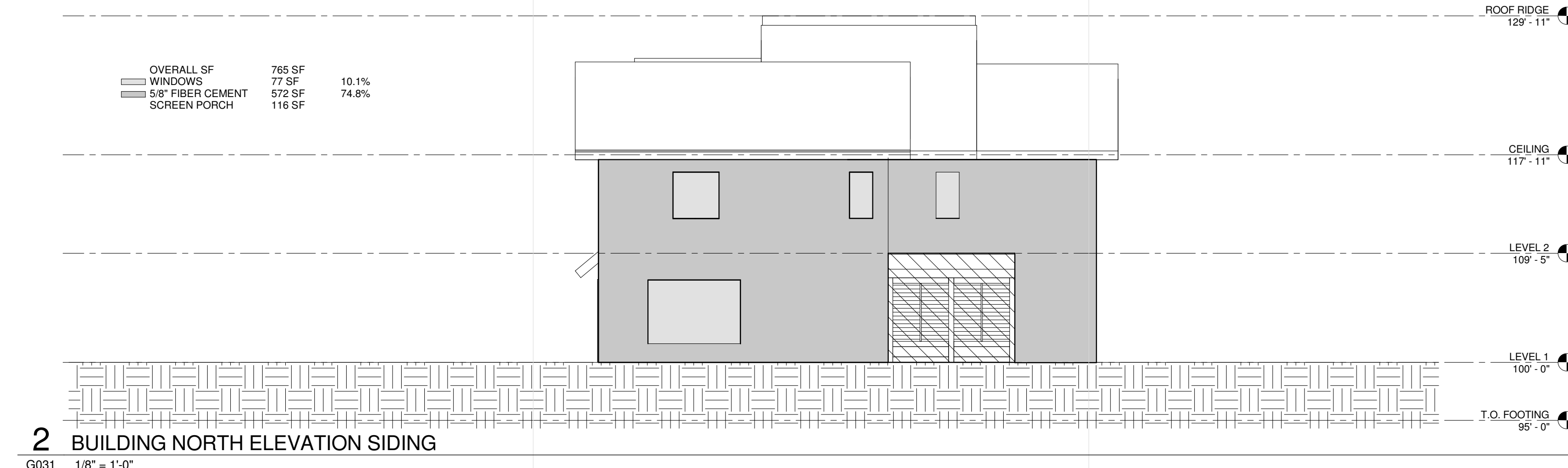
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**FACADE AREAS
 BUILDING D**

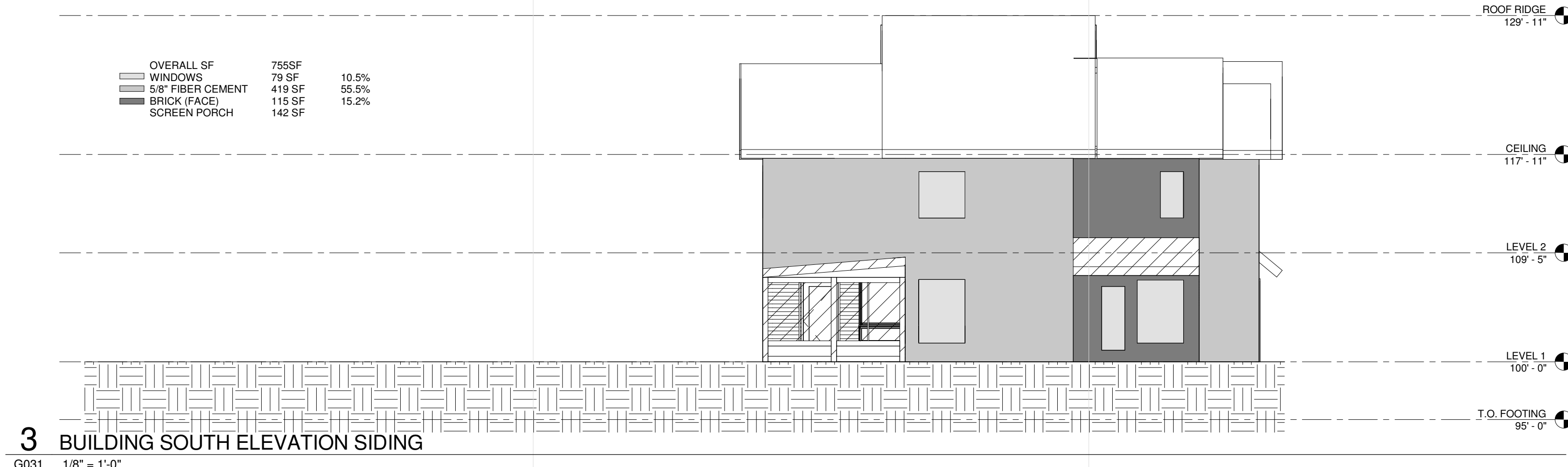
G030



1 BUILDING EAST ELEVATION SIDING
 G031 1/8" = 1'-0"



2 BUILDING NORTH ELEVATION SIDING
 G031 1/8" = 1'-0"



3 BUILDING SOUTH ELEVATION SIDING
 G031 1/8" = 1'-0"



4 BUILDING WEST ELEVATION SIDING
 G031 1/8" = 1'-0"

**MINNEHAHA
 TOWNHOMES**
 5348, 5364, 5369 RIVERVIEW
 5118 54TH ST EAST
 MINNEAPOLIS, MN 55417

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the Laws of the State of Minnesota.
 ARCHITECT SEAL

Signature: _____
 Print Names: _____
 Date: _____ License No: _____

ISSUE	DATE	DESCRIPTION
K	04.21.17	100%DD
	04.28.17	LAND USE APPLICATION
	05.08.17	50% GD
	05.26.17	GC 90% REVIEW SET

PROJECT NO. 2016015
 PROJECT PHASE GC 90% REVIEW SET
 DRAWN BY: Author CHECKED BY: Checker

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FAÇADE MATERIALS 2333 BUILDING

G031

SWPPP NARRATIVE – EROSION AND SEDIMENT CONTROL

PROJECT DESCRIPTION:

A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED AS PART OF THE GENERAL PERMIT AUTHORIZATION TO DISCHARGE STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)/STATE DISPOSAL SYSTEM (SDS) FOR SITES OVER ONE ACRE OF DISTURBANCE.

THE GOAL OF POLLUTION PREVENTION EFFORTS DURING PROJECT CONSTRUCTION IS TO CONTROL SOIL AND POLLUTANTS ON THE SITE AND PREVENT THEM FROM LEAVING THE PROJECT SITE AND FLOWING TO SURFACE WATERS.

THE PROJECT IS LOCATED AT 5348, 5364, AND 5368 RIVERVIEW ROAD AND 5118 54TH STREET EAST MINNEAPOLIS, MN.

THIS PROJECT CONSISTS OF THE DEMOLITION OF THE EXISTING ALLEYWAY AND UTILITIES. THE PROPOSED CONSTRUCTION WILL CONSIST OF TWO SETS OF FOUR TOWNHOUSES ON EACH OF THE TWO SITES WITH ASSOCIATED CONCRETE SIDEWALK AND BITUMINOUS PAVEMENTS.

THE PROPOSED STORMWATER MANAGEMENT DESIGN WILL MEET THE REQUIREMENTS OF THE CITY OF MINNEAPOLIS AND THE MINNEHAHA CREEK WATERSHED DISTRICT. THIS PROJECT IS NOT REQUIRED TO MEET THE MPCA PERMANENT STORMWATER MANAGEMENT REQUIREMENTS BECAUSE THE INCREASE IN IMPERVIOUS AREA IS LESS THAN ONE ACRE.

REGULATORY CONTEXT:

DISCHARGE TO SPECIAL OR IMPAIRED WATERS WITHIN ONE MILE OF SITE:

–THIS PROJECT DISCHARGES TO MINNEHAHA CREEK AND THE MISSISSIPPI RIVER. THE MISSISSIPPI RIVER SEGMENT HAS NO CONSTRUCTION RELATED IMPAIRMENTS, THEREFORE NO ADDITIONAL BMPs ARE REQUIRED.

C.1 DURING CONSTRUCTION.

- A. STABILIZATION OF ALL EXPOSED SOIL AREAS MUST BE INITIATED IMMEDIATELY TO LIMIT SOIL EROSION BUT IN NO CASE COMPLETED LATER THAN SEVEN (7) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.

C.2. POST CONSTRUCTION.

- A. THE WATER QUALITY VOLUME THAT MUST BE RETAINED ON SITE BY THE PROJECT'S PERMANENT STORMWATER MANAGEMENT SYSTEM DESCRIBED IN PART III.D SHALL BE ONE (1) INCH OF RUNOFF FROM THE NEW IMPERVIOUS SURFACES CREATED BY THE PROJECT.

THE REQUIREMENT IN SECTION C.2 DOES NOT APPLY BECAUSE THE INCREASE IN IMPERVIOUS AREA IS LESS THAN 1.0 ACRE FOR THIS PROJECT.

PLACEMENT OF FILL IN WATERS OF THE STATE:

–N/A

DRINKING WATER SUPPLY MANAGEMENT AREA:

–N/A

THE PROJECT STORMWATER DISCHARGE IS NOT ANTICIPATED TO IMPACT ANY OF THE FOLLOWING:

–OUTSTANDING RESOURCE VALUE WATERS, TROUT WATERS, WETLANDS, CALCAREOUS FENS, PROPERTIES LISTED BY THE NATIONAL REGISTER OF HISTORIC PLACES OR ARCHAEOLOGICAL SITES

THE PROJECT STORMWATER DISCHARGE IS NOT SUBJECT TO ADDITIONAL REGULATION DUE TO ANY OF THE FOLLOWING:

–OTHER FORMAL ENVIRONMENTAL REVIEWS, ENDANGERED OR THREATENED SPECIES

STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IMPLEMENTATION RESPONSIBILITIES:

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE IMPLEMENTATION OF THE SWPPP, INCLUDING THE ACTIVITIES OF ALL OF THE CONTRACTOR'S SUBCONTRACTORS DURING CONSTRUCTION.

STORMWATER DISCHARGE DESIGN REQUIREMENTS:

THE FOLLOWING SIZING CRITERIA APPLY TO THE DESIGN OF STORMWATER TREATMENT FACILITIES. N/A INDICATES NOT APPLICABLE OR NOT CONSTRUCTED AS PART OF THIS PROJECT.

- 1. TEMPORARY SEDIMENTATION BASINS: N/A
- 2. PERMANENT WET SEDIMENTATION BASINS: N/A
- 3. PERMANENT INFILTRATION/FILTRATION : N/A
- 4. PERMANENT REGIONAL PONDS: N/A
- 5. ALTERNATIVE METHODS: N/A

WATERSHED REQUIREMENTS:

- 1. INSTALLATION OF FILTRATION PRACTICES SHALL BE DONE DURING PERIODS OF DRY WEATHER AND COMPLETED BEFORE A RAINFALL EVENT.
- 2. THE BOTTOM EXCAVATION SURFACE OF FILTRATION AREAS SHALL BE LEVEL WITHOUT DIPS OR SWALES.
- 3. ENGINEERED SOIL SHALL REMAIN UNCONTAMINATED (NOT MIXED WITH OTHER SOIL) WHEN INSTALLED.
- 4. DURING CONSTRUCTION, STORMWATER MUST BE ROUTED AROUND FILTRATION AREAS UNTIL ALL CONSTRUCTION ACTIVITY HAS CEASED AND TRIBUTARY SURFACES ARE CLEANED OF SEDIMENT.

SEQUENCE OF CONSTRUCTION:

THE FOLLOWING SEQUENCE DESCRIBES, IN GENERAL, THE WORK ON THE SITE:

- 1. CONTRACTOR SHALL VERIFY THAT ALL PERMITS HAVE BEEN OBTAINED AND/OR OBTAIN THE NECESSARY PERMITS.
- 2. CONTRACTOR SHALL PERFORM SITE INSPECTIONS, RECORD KEEPING AND RECORD RETENTION IN ACCORDANCE WITH ALL PERMITS.
- 3. CONTRACTOR SHALL INSTALL ALL PERIMETER AND DOWN-GRADIENT EROSION CONTROL AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs), CONSTRUCTION ENTRANCES AND INLET PROTECTION DEVICES PRIOR TO SITE GRADING, EXCAVATION, STOCKPILING OR DISTURBING EXISTING VEGETATIVE COVER.

1. CONSTRUCTION ACTIVITY FIELD REQUIREMENTS:

- ALL FIELD REQUIREMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
- A. THE CONTRACTOR MUST IMPLEMENT THE SWPPP AND PROVIDE BMPs IDENTIFIED IN THE SWPPP IN AN APPROPRIATE AND FUNCTIONAL MANNER.
- B. THE CONTRACTOR SHALL RESPOND TO CHANGING SITE CONDITIONS AND IMPLEMENT/SUPPLEMENT EROSION PREVENTION AND SEDIMENT CONTROL MEASURES UTILIZED TO PROVIDE ADEQUATE PROTECTION OF DISTURBED SOILS AND ADEQUATE PREVENTION OF SEDIMENT TRANSPORT OFF-SITE.

2. EROSION PREVENTION PRACTICES

CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING EROSION PREVENTION PRACTICES:

- A. THE CONTRACTOR SHALL ATTEMPT TO PHASE ALL WORK TO MINIMIZE EROSION AND MAINTAIN VEGETATIVE COVER TO THE EXTENT POSSIBLE. THE LOCATION OF AREAS NOT TO BE DISTURBED MUST BE DELINEATED ON THE SITE BEFORE CONSTRUCTION BEGINS.
- B. STABILIZATION ON ALL EXPOSED SOILS MUST BE INITIATED IMMEDIATELY WHENEVER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 7 CALENDAR DAYS.
- C. THE NORMAL WETTED PERIMETER OF ANY TEMPORARY OR PERMANENT DRAINAGE DITCH THAT DRAINS WATER FROM A CONSTRUCTION SITE OR DIVERTS WATER AROUND A SITE MUST BE STABILIZED BY CONTRACTOR WITHIN 200 FEET FROM THE PROPERTY EDGE, OR FROM THE POINT OF DISCHARGE TO ANY SURFACE WATER WITHIN 24 HOURS OF CONNECTING TO A SURFACE WATER.

3. SEDIMENT CONTROL PRACTICES

CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING SEDIMENT CONTROL PRACTICES:

- A. CONTRACTOR MUST INSTALL ALL DOWN GRADIENT PERIMETER CONTROLS BEFORE ANY UP GRADIENT DISTURBANCE BEGINS. CONTRACTOR SHALL MAINTAIN PERIMETER CONTROLS UNTIL FINAL STABILIZATION HAS BEEN ESTABLISHED.
- B. CONTRACTOR SHALL PROVIDE GRADING AND BMP INSTALLATION TO LIMIT ALL SLOPES OF 3H:1V OR STEEPER TO AN UNBROKEN LENGTH OF 75 FEET OR LESS.
- C. IF DOWN GRADIENT SEDIMENT CONTROLS ARE OVERLOADED, THE CONTRACTOR MUST INSTALL ADDITIONAL UPGRADIENT SEDIMENT CONTROL PRACTICES OR REDUNDANT BMPs TO ELIMINATE OVERLOADING.
- D. TIMING AND INSTALLATION OF SEDIMENT CONTROL DEVICES CAN BE ADJUSTED BY CONTRACTOR TO ACCOMMODATE SHORT-TERM ACTIVITIES SUCH AS CLEARING AND GRUBBING OR VEHICLE PASSAGE.

4. DEWATERING AND BASIN DRAINING

CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING DEWATERING REQUIREMENTS:

- A. CONTRACTOR'S DEWATERING ACTIVITIES THAT HAVE SEDIMENT-LADEN DISCHARGE WATER MUST BE DISCHARGED INTO A TEMPORARY OR PERMANENT SEDIMENTATION BASIN WHENEVER POSSIBLE.
- B. THE CONTRACTOR SHALL DISCHARGE WATER FROM DEWATERING IN A MANNER THAT DOES NOT CAUSE NUISANCE CONDITIONS. THE DISCHARGE WATER SHALL BE DISPERSION OVER AN ACCEPTED ENERGY DISSIPATION MEASURE AND NOT ADVERSELY AFFECT THE RECEIVING WATER OR DOWNSTREAM LANDOWNERS OR WETLANDS.
- C. IF CONTRACTOR IS USING FILTERS WITH BACKWASH WATER, THE CONTRACTOR SHALL HAUL THE BACKWASH WATER AWAY FOR DISPOSAL.

5. INSPECTIONS AND MAINTENANCE

CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING THE FOLLOWING INSPECTIONS AND MAINTENANCE:

- A. WHEN INSPECTIONS FIND EROSION PREVENTION AND SEDIMENT CONTROL BMPs THAT ARE NONFUNCTIONAL, ALL NONFUNCTIONAL BMPs MUST BE REPAIRED, REPLACED, OR SUPPLEMENTED WITH FUNCTIONAL BMPs WITHIN 24 HOURS AFTER DISCOVERY.
- B. THE CONTRACTOR MUST ROUTINELY INSPECT THE SITE ONCE EVERY 7 DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS.
- C. ALL INSPECTIONS AND MAINTENANCE CONDUCTED DURING CONSTRUCTION MUST BE RECORDED IN WRITING BY CONTRACTOR AND RETAINED WITH THE SWPPP BY CONTRACTOR.
- D. IN AREAS OF PROJECT WHERE FINAL STABILIZATION IS COMPLETE INSPECTIONS CAN BE REDUCED TO ONCE A MONTH.
- E. THE CONTRACTOR IS RESPONSIBLE FOR THE INSPECTION AND MAINTENANCE OF BMPs UNTIL ANOTHER PERMITTEE HAS OBTAINED COVERAGE.

- J. CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING EXISTING PAVED SURFACES CLEAN OF SEDIMENT. CONSTRUCTION ENTRANCES SHALL BE CHECKED DAILY BY CONTRACTOR.
- K. CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ANY OFF-SITE SEDIMENT ACCUMULATIONS IN A MANNER AND AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS.
- L. ALL INFILTRATION/FILTRATION AREAS MUST BE INSPECTED BY CONTRACTOR TO ENSURE THAT NO SEDIMENT FROM ONGOING CONSTRUCTION IS ACCUMULATING OVER THE INFILTRATION/FILTRATION AREA.
- M. CONTRACTOR SHALL PROTECT INFILTRATION/FILTRATION AREAS FROM SEDIMENTATION AND OVER-COMPACTION.
- N. INSPECTIONS CAN BE SUSPENDED DUE TO FROZEN GROUND CONDITIONS UNTIL FIRST RUNOFF OCCURS OR CONSTRUCTION ACTIVITIES RESUME.

6. POLLUTION PREVENTION MEASURES

CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE FOLLOWING POLLUTION PREVENTION MANAGEMENT MEASURES ON THE SITE:

- A. THE CONTRACTOR SHALL MINIMIZE THE EXPOSURE OF ALL PRODUCTS, MATERIALS, AND WASTES FROM STORMWATER WHICH MAY BE A SOURCE OF CONTAMINATION TO STORMWATER OR ARE NOT DESIGNED TO BE EXPOSED TO STORMWATER.
- B. BUILDING PRODUCTS THAT MAY LEACH POLLUTANTS MUST BE UNDER COVER (PLASTIC SHEETING, TEMPORARY ROOFS, ETC.) TO PREVENT THE DISCHARGE OF POLLUTANTS OR PROTECTED BY A SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER.
- C. PESTICIDES, HERBICIDES, INSECTICIDES, FERTILIZERS, TREATMENT CHEMICALS, AND LANDSCAPE MATERIALS MUST BE UNDER COVER (PLASTIC SHEETING, TEMPORARY ROOFS, ETC.) TO PREVENT THE DISCHARGE OF POLLUTANTS OR PROTECTED BY A SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER.
- D. HAZARDOUS MATERIALS, TOXIC WASTE, (INCLUDING OIL, DIESEL FUEL, GASOLINE, HYDRAULIC FLUIDS, PAINT SOLVENTS, PETROLEUM-BASED PRODUCTS, WOOD PRESERVATIVES, ADDITIVES, CURING COMPOUNDS, AND ACIDS) MUST BE STORED IN SEALED CONTAINERS TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE.

7. FINAL STABILIZATION

THE CONTRACTOR SHALL ENSURE FINAL STABILIZATION OF THE SITE. FINAL STABILIZATION REQUIRES THE FOLLOWING:

- A. ALL SOIL DISTURBING ACTIVITIES ARE COMPLETE AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% OVER THE ENTIRE PERVIOUS SURFACE HAS BEEN ACHIEVED.
- B. CONTRACTOR SHALL ENSURE THAT ALL PERMANENT STORMWATER TREATMENT SYSTEMS ARE CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS IF THERE IS ON-SITE SYSTEMS.
- C. CONTRACTOR SHALL REMOVE ALL TEMPORARY SYNTHETIC AND STRUCTURAL BMPs.
- D. CONTRACTOR SHALL REMOVE ALL SEDIMENTS FROM STORM WATER CONVEYANCES AND PERMANENT WATER QUALITY BASINS.

INSPECTION AND ENTRY:

–THE CONTRACTOR MUST ALLOW ACCESS AS REQUIRED BY CITY AND STATE REGULATIONS FOR REPRESENTATIVES OF THE CITY OR MPCA OR ANY MEMBER THEREOF WHEN AUTHORIZED BY IT, TO ENTER UPON THE PROJECT SITE FOR THE PURPOSE OF OBTAINING INFORMATION, EXAMINATION OF RECORDS, OR CONDUCTING SURVEYS OR INVESTIGATIONS.

8. CHANGES TO SWPPP

–THE PERMITTEE MUST AMEND THE SWPPP AS NECESSARY TO INCLUDE ADDITIONAL REQUIREMENTS, SUCH AS ADDITIONAL OR MODIFIED BMPs, DESIGNED TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER:

- 1. THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION OR MAINTENANCE, WEATHER OR SEASONAL CONDITIONS THAT HAVE SIGNIFICANT EFFECT ON DISCHARGE.
- 2. INSPECTION OR INVESTIGATION BY SITE OPERATORS, LOCAL, STATE OR FEDERAL OFFICIALS INDICATE THE SWPPP IS NOT EFFECTIVE.
- 3. THE SWPPP IS NOT ACHIEVING THE GENERAL OBJECTIVES OF CONTROLLING POLLUTANTS OR THE SWPPP IS NOT CONSISTENT WITH THE TERMS AND CONDITIONS OF THIS PERMIT.
- 4. THE MPCA DETERMINES THAT DISCHARGE MAY CAUSE OR CONTRIBUTE TO NON-ATTAINMENT OF ANY APPLICABLE WATER QUALITY STANDARDS OR THE SWPPP DOES NOT INCORPORATE THE REQUIREMENTS RELATED TO AN APPROVED TOTAL MAXIMUM DAILY LOAD (TMDL).

SWPPP CERTIFICATION:

– THIS STORMWATER POLLUTION PREVENTION PLAN WAS PREPARED BY INDIVIDUAL(S) TRAINED IN ACCORDANCE WITH THE PERMIT'S TRAINING REQUIREMENTS FOR PREPARATION OF SWPPPS, INDIVIDUAL(S) PREPARING THIS SWPPP:

PREPARED BY:

RHONDA PIERCE, P.E.
PIERCE PINI AND ASSOCIATES
RHONDA@PIERCEPINI.COM
763-537-1311

TRAINING/CERTIFICATION:

DATE OF TRAINING/CERTIFICATION: 2013
CERTIFICATION PROGRAM: UNIVERSITY OF MINNESOTA – DESIGN OF CONSTRUCTION SWPPP – ARDEN HILLS, MN
INSTRUCTOR(S): JOHN CHAPMAN
CERTIFICATION EXPIRATION: 2016

CIVIL ENGINEER
PIERCE PINI ASSOCIATES, INC.

9298 Central Avenue NE
Suite 312
Blaine, MN 55434-3425
Office Phone: 763-537-1311
Office Fax: 763-537-1354

MINNEHAHA
TOWNHOMES
5348 RIVERVIEW ROAD
MINNEAPOLIS, MN 55417

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Engineer under the Laws of the State of Minnesota.

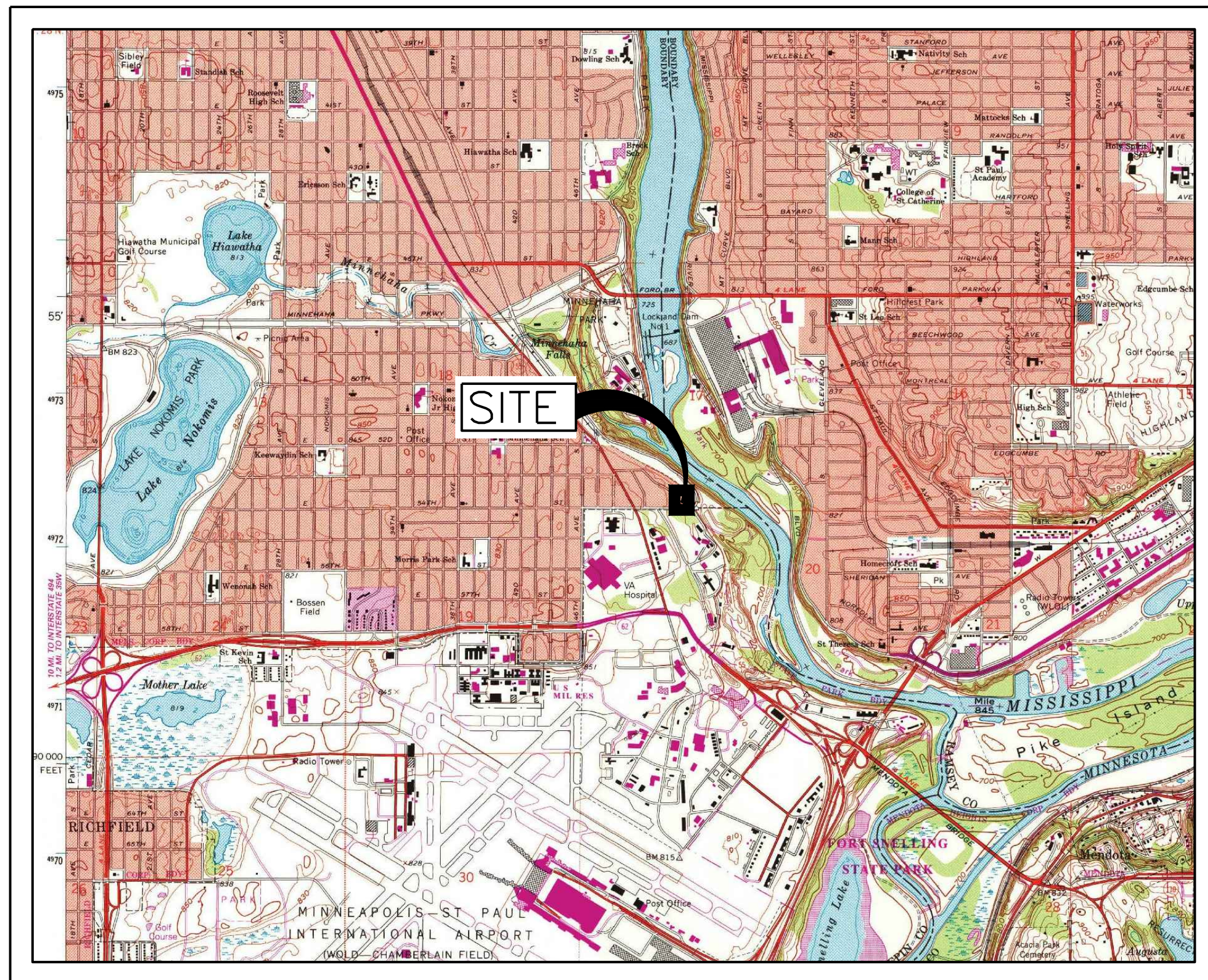
Signature: _____
Print Names: RHONDA S. PIERCE
Date: 05-08-2017 License No.: 41333

Table with columns: ISSUE, MAR DATE, DESCRIPTION. Includes entries for PDR SUBMITTAL (04-07-2017), MCWD SUBMITTAL (04-10-2017), 100% DD (04-25-2017), 90% CD (05-08-2017), GC 90% REVIEW SET (05-26-2017).

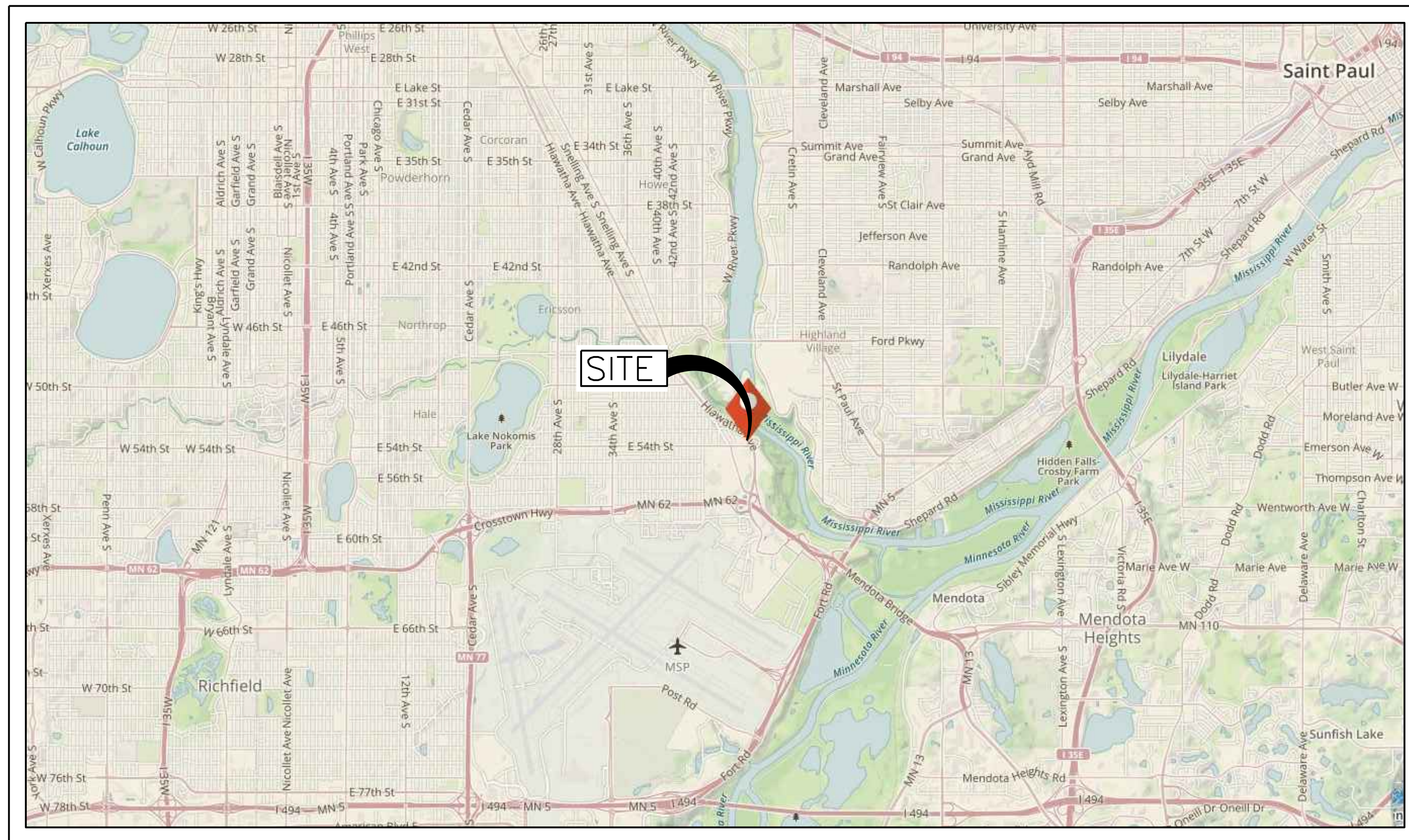
Table with columns: PROJECT NO, PROJECT PHASE, DRAWN BY, CHECKED BY. Values: PROJECT NO: 17-003, PROJECT PHASE: 90% GC, DRAWN BY: CLG, CHECKED BY: RSP

SWPPP - NARRATIVE

C200



USGS VICINITY MAP
NOT TO SCALE



SITE LOCATION MAP
NOT TO SCALE

ACREAGE SUMMARY	
TOTAL SITE AREA	1.09 ACRES
ON-SITE DISTURBED AREA	1.09 ACRES
OFF-SITE DISTURBED AREA	0.07 ACRES
TOTAL DISTURBED AREA	1.16 ACRES
EXISTING IMPERVIOUS AREA	0.12 ACRES
PROPOSED IMPERVIOUS AREA	0.51 ACRES

ESTIMATED BMP QUANTITIES	
SILT FENCE	800 LF
FILTER LOGS	800 LF
CATCH BASIN INSERTS	50 EA
ROCK CONSTRUCTION ENTRANCE	40 CY

NOTE: QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL DETERMINE FOR THEMSELVES THE EXACT QUANTITIES FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL NOT RELY ON THESE QUANTITIES FOR THEIR BID AND CIVIL ENGINEER IS NOT RESPONSIBLE FOR COST ESTIMATES OR ACTUAL CONSTRUCTION COSTS.

CONTACT INFORMATION	
OWNER	
CONTACT PERSON, TITLE:	
ADDRESS:	
TELEPHONE:	
EMAIL:	
PARTY RESPONSIBLE FOR LONG TERM MAINTENANCE	
CONTACT PERSON, TITLE:	
ADDRESS:	
TELEPHONE:	
EMAIL:	
CONTRACTOR	
BUSINESS:	
CONTACT PERSON, TITLE:	
ADDRESS:	
TELEPHONE:	
EMAIL:	
CONTRACTOR'S ONSITE REPRESENTATIVE	
BUSINESS:	
CONTACT PERSON, TITLE:	
ADDRESS:	
TELEPHONE:	
EMAIL:	
ALTERNATE CONTACT:	
PHONE:	
EMAIL:	

NOTE: CONTRACTOR'S ONSITE REPRESENTATIVE SHALL BE COMPLETED ON THE PLAN SET KEPT IN THE CONSTRUCTION TRAILER. THIS INFORMATION SHALL ALSO BE PROVIDED TO THE OWNER AND CIVIL ENGINEER.

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Minneapolis, Minnesota 55401-2282
Architecture 612 375 0336 tel
Interiors and 612 342 2216 fax
Urban Design www.msrdesign.com

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Office Fax: 763-537-1354

**MINNEHAHA
TOWNHOMES**
5348 RIVERVIEW ROAD
MINNEAPOLIS, MN 55417

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Engineer under the Laws of the State of Minnesota.

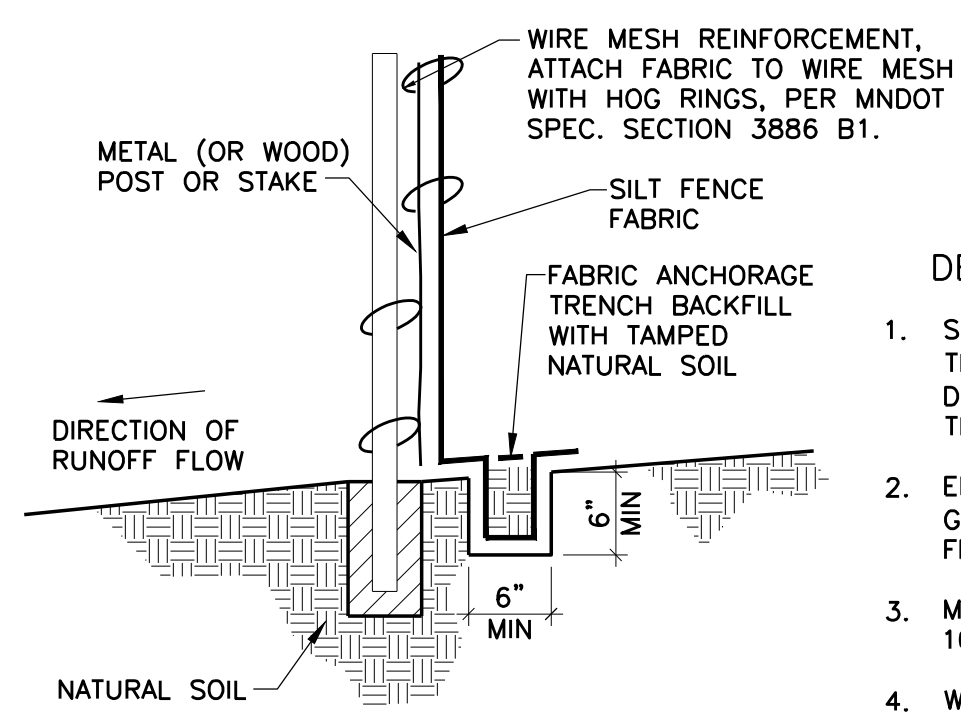
Signature: _____
Print Names: **RHONDA S. PIERCE**
Date: **05-08-2017** License No.: **41333**

ISSUE	DATE	DESCRIPTION
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	04-21-2017	100% DD
	05-08-2017	50% CD
	05-26-2017	GC 90% REVIEW SET

PROJECT NO:	17-003
PROJECT PHASE	90% GC
DRAWN BY:	CLG
CHECKED BY:	RSP

**SWPPP - GENERAL
INFORMATION**

C201



- DESIGN RECOMMENDATIONS**
- SILT FENCES SHOULD BE INSTALLED ON THE CONTOUR (AS OPPOSED TO UP AND DOWN A HILL) AND CONSTRUCTED SO THAT FLOW CANNOT BYPASS THE ENDS.
 - ENSURE THAT THE DRAINAGE AREA IS NO GREATER THAN 1/4 ACRE PER 100 FT OF FENCE.
 - MAKE THE FENCE STABLE FOR THE 10-YEAR PEAK STORM RUNOFF.
 - WHERE ALL RUNOFF IS TO BE STORED BEHIND THE SILT FENCE, ENSURE THAT THE MAXIMUM SLOPE LENGTH BEHIND THE FENCE DOES NOT EXCEED THE SPECIFICATIONS SHOWN IN TABLE 1.

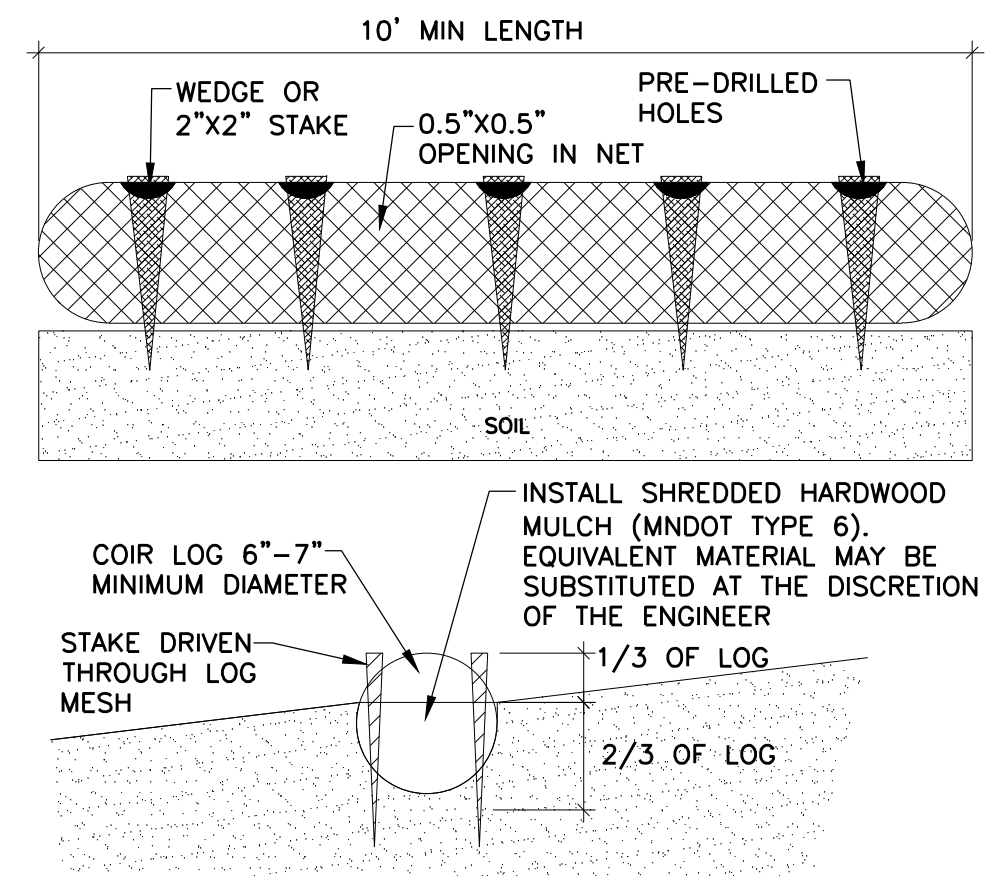
NOTE: SILT FENCE SHALL FOLLOW MNDOT SPEC. SECTION 3886.

FIGURE 1 TYPICAL INSTALLATION FOR SILT FENCE

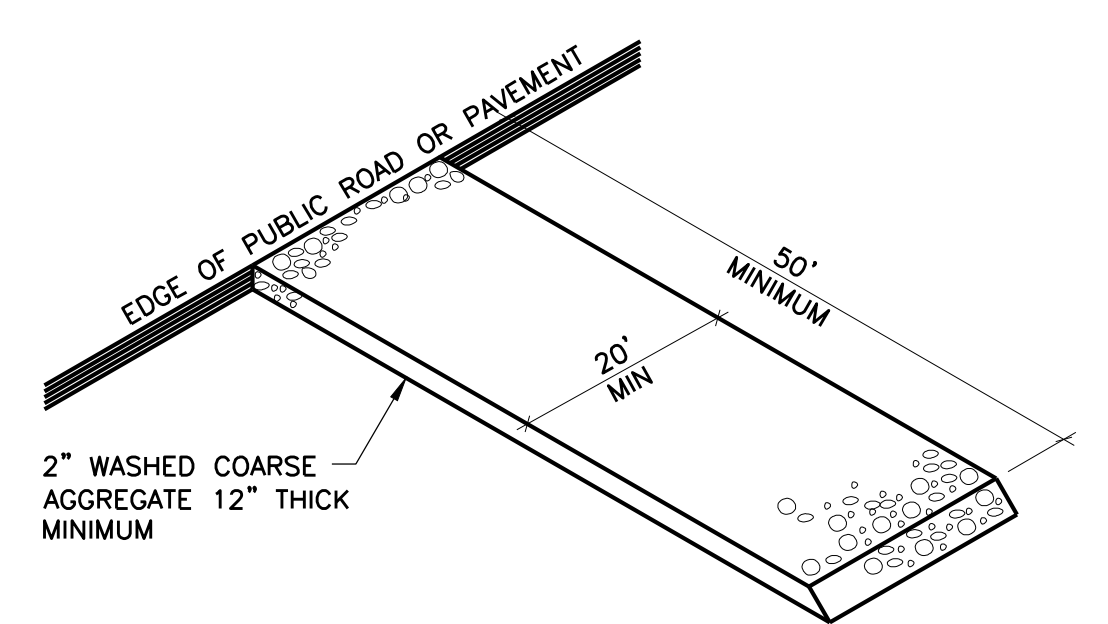
TABLE 1 MAXIMUM SLOPE LENGTH AND SLOPE FOR WHICH SILT FENCE IS APPLICABLE

SLOPE H:V	PERCENT	BY CALCULATION	BY CALCULATION	BY ACCEPTED DESIGN PRACTICES
		SILT FENCE STORAGE EQUALS 2 FT FOR A 100-YEAR EVENT	SILT FENCE STORAGE EQUALS 2 FT FOR A 2-YEAR EVENT OR 3 FT FOR A 100-YEAR EVENT	MAXIMUM SLOPE LENGTH
100:1	1%	400 FT	900 FT	100 FT
50:1	2%	200 FT	450 FT	75 FT
25:1	4%	100 FT	225 FT	75 FT
20:1	5%	80 FT	180 FT	75-50 FT
17:1	6%	67 FT	150 FT	50 FT
12.5:1	8%	50 FT	112 FT	50 FT
10:1	10%	40 FT	90 FT	50-25 FT
5:1	20%	20 FT	45 FT	25-15 FT
4:1	25%	16 FT	36 FT	15 FT
3:1	33%	12 FT	27 FT	15 FT
2:1	50%	8 FT	18 FT	15 FT

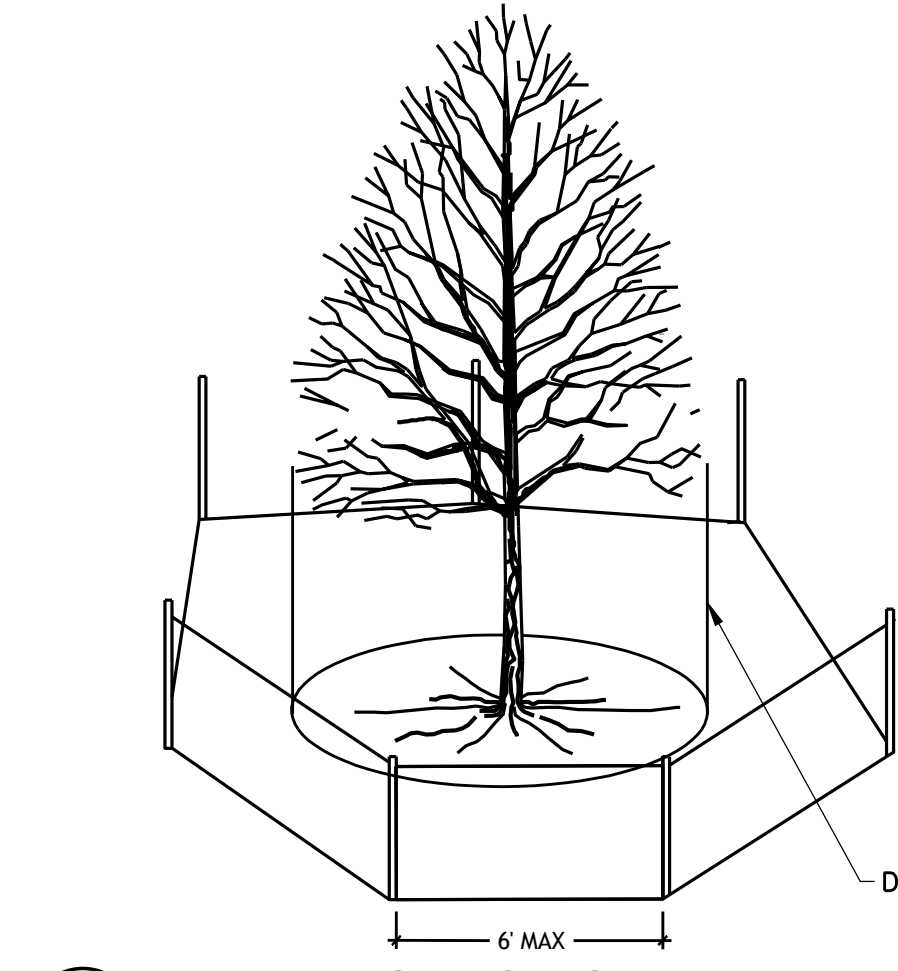
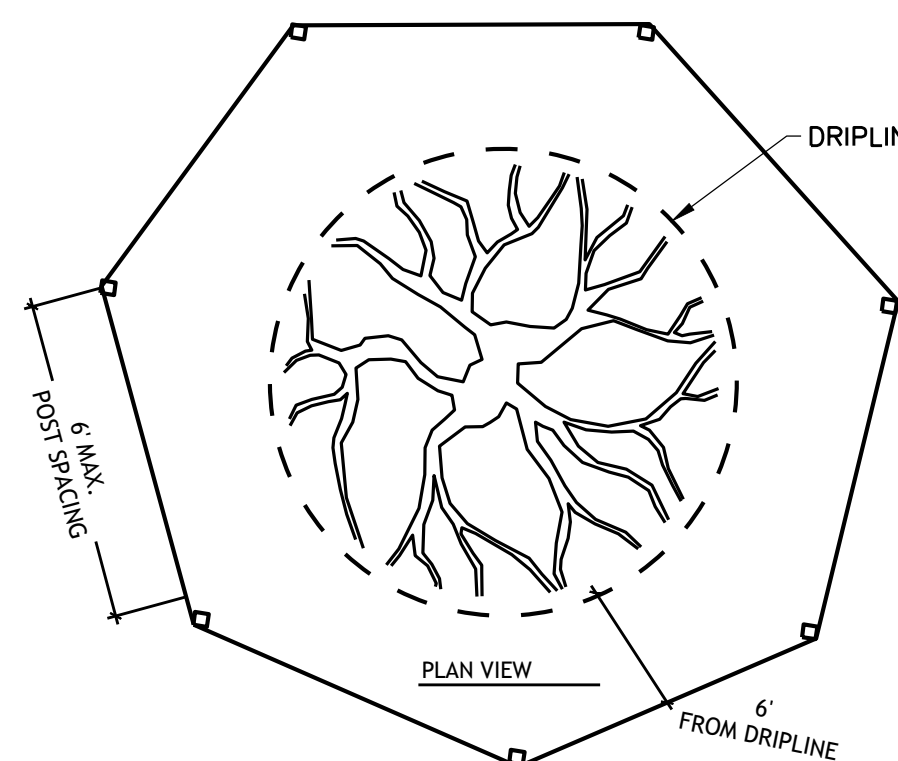
1 HEAVY DUTY SILT FENCE DETAIL NO SCALE



2 COIR LOG NO SCALE

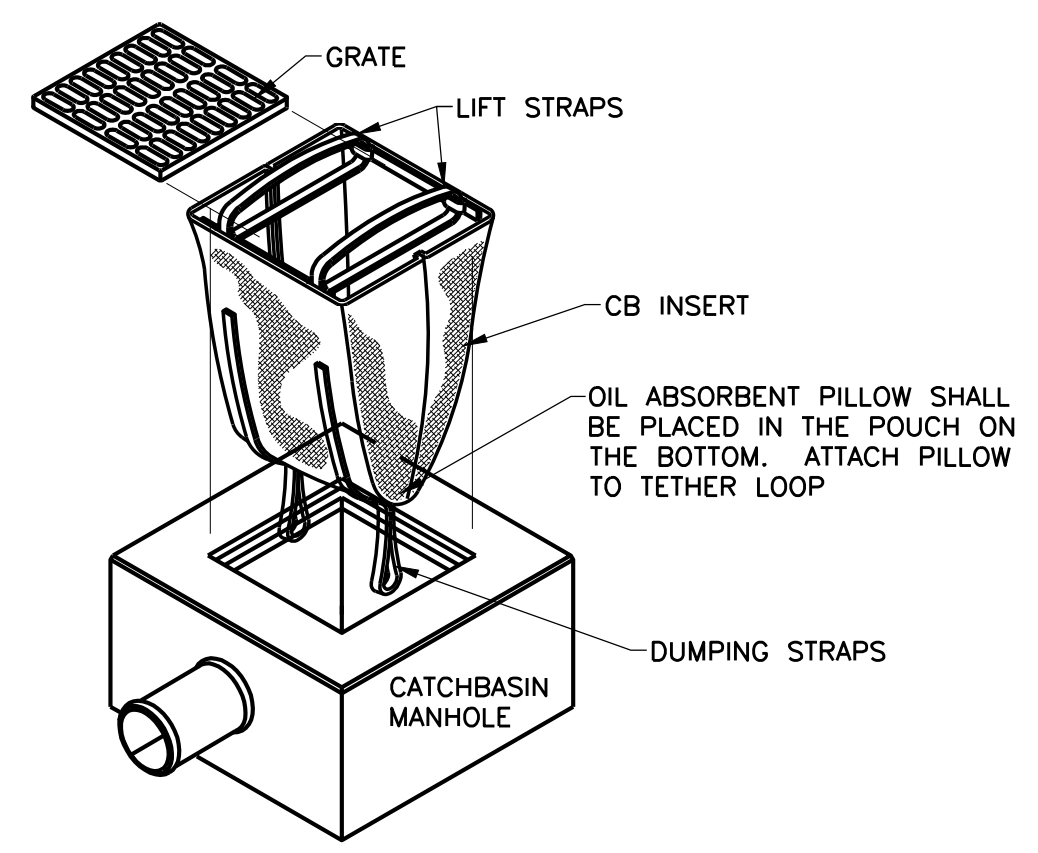


3 GRAVEL CONSTRUCTION ENTRANCE NO SCALE



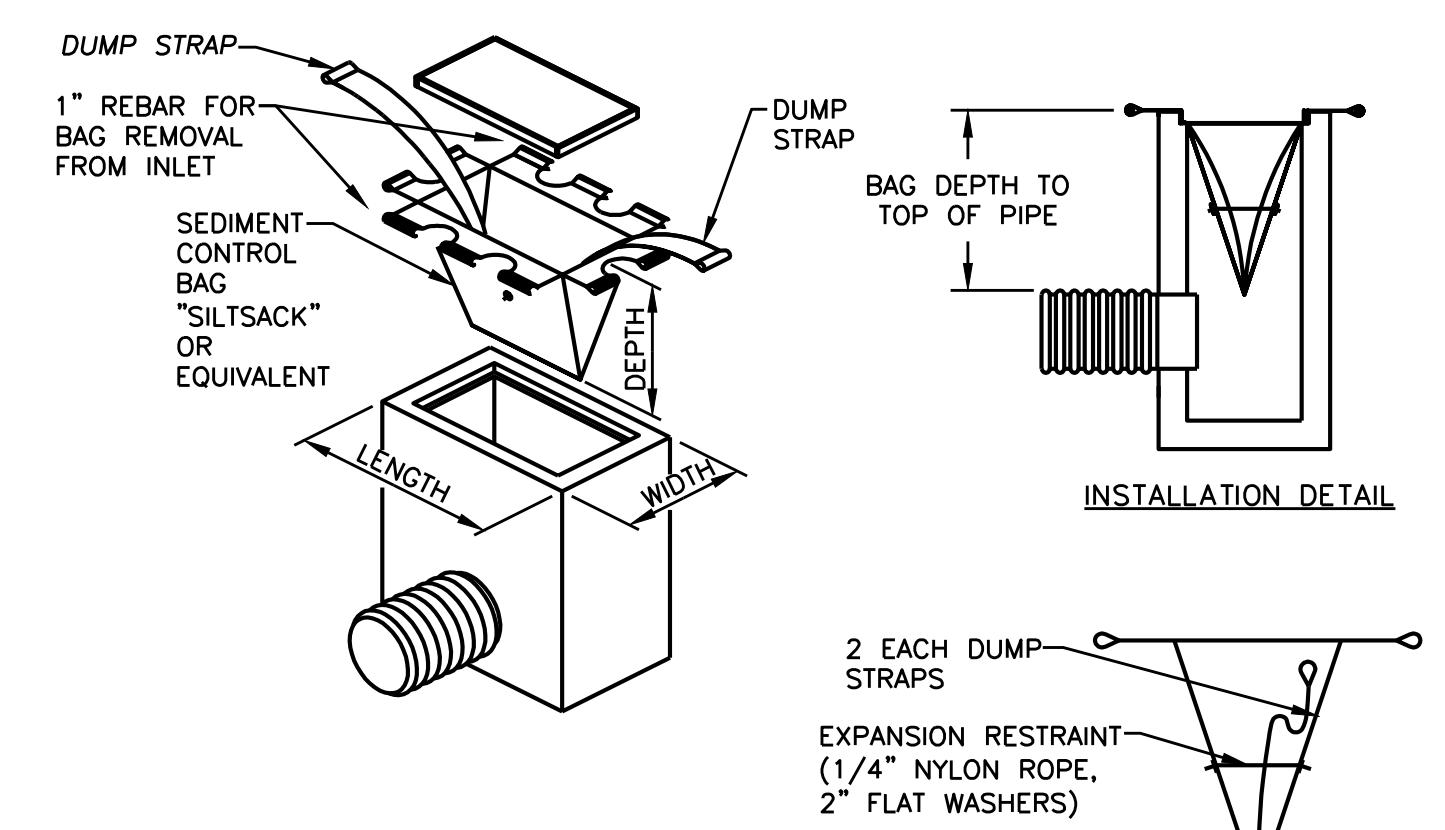
4 TREE PROTECTION DETAIL NO SCALE

- TREE PROTECTION NOTES:**
- ALL TREE PROTECTION FENCING AND EROSION CONTROL FENCING SHALL BE INSTALLED ACCORDING TO THE PLANS PRIOR TO ANY DEMOLITION. AFTER DEMOLITION OR AS NECESSARY, TREE PROTECTION FENCING MAY BE RELOCATED WITH APPROVAL FROM THE LANDSCAPE ARCHITECT. ALL TREE PROTECTION FENCING AND EROSION CONTROL DEVICES SHALL BE MAINTAINED FOR THE DURATION OF THE CONSTRUCTION PERIOD.
 - CONTRACTOR SHALL NOT STORE ANY MATERIALS OR PARK ANY VEHICLES IN TREE PROTECTION ZONES. THE FENCE SHALL PREVENT TRAFFIC MOVEMENT AND THE PLACEMENT OF TEMPORARY FACILITIES, EQUIPMENT, STOCKPILES AND SUPPLIES FROM HARMING VEGETATION WITHIN THE LIMITS OF PROTECTION.
 - THE CONTRACTOR SHALL CLEANLY CUT ALL ROOTS EXPOSED BY GRADING AS DIRECTED BY THE LANDSCAPE ARCHITECT.
 - THE CONTRACTOR SHALL USE DESIGNATED CONSTRUCTION ENTRANCES AND STAGING AREAS.
 - SEE UMD TREE PROTECTION REQUIREMENTS AND NOTE #45 ON SHEET 200.CN.



- OIL ABSORBENT PILLOW SHALL BE REMOVED AND REPLACED WHEN NEAR SATURATION.
- USE DANDY® BAG IT AS MANUFACTURED BY DANDY® PRODUCTS, INC.
- AN EQUIVALENT CATCHBASIN EROSION CONTROL INSERT METHOD OR PRODUCT MAY BE USED WITH PRIOR APPROVAL FROM ENGINEER.

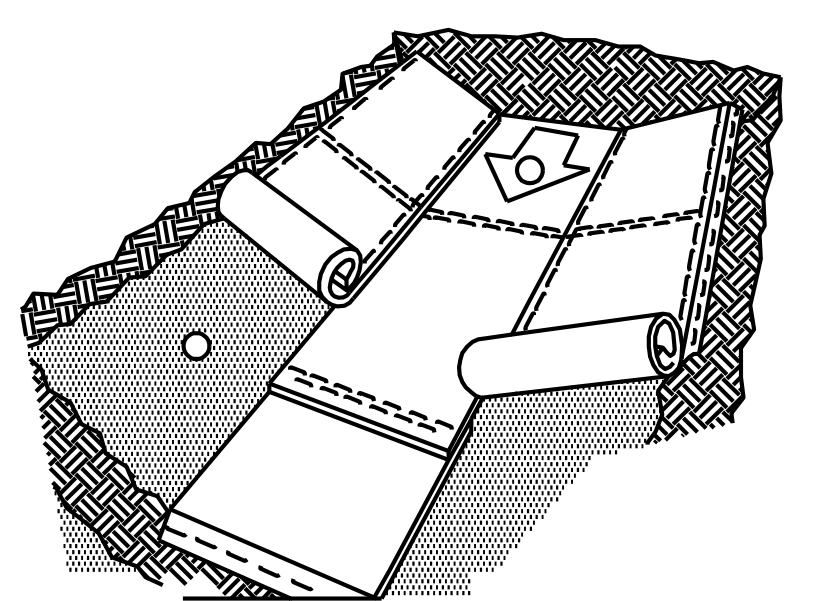
5 CB INSERT EROSION CONTROL NO SCALE



CB STYLE	LENGTH	WIDTH	DEPTH
TYPE 1 CB	24"	20"	VARIABLE
TYPE 1 CCI	29.5"	24"	VARIABLE
USA G2	32.5"	27.5"	VARIABLE

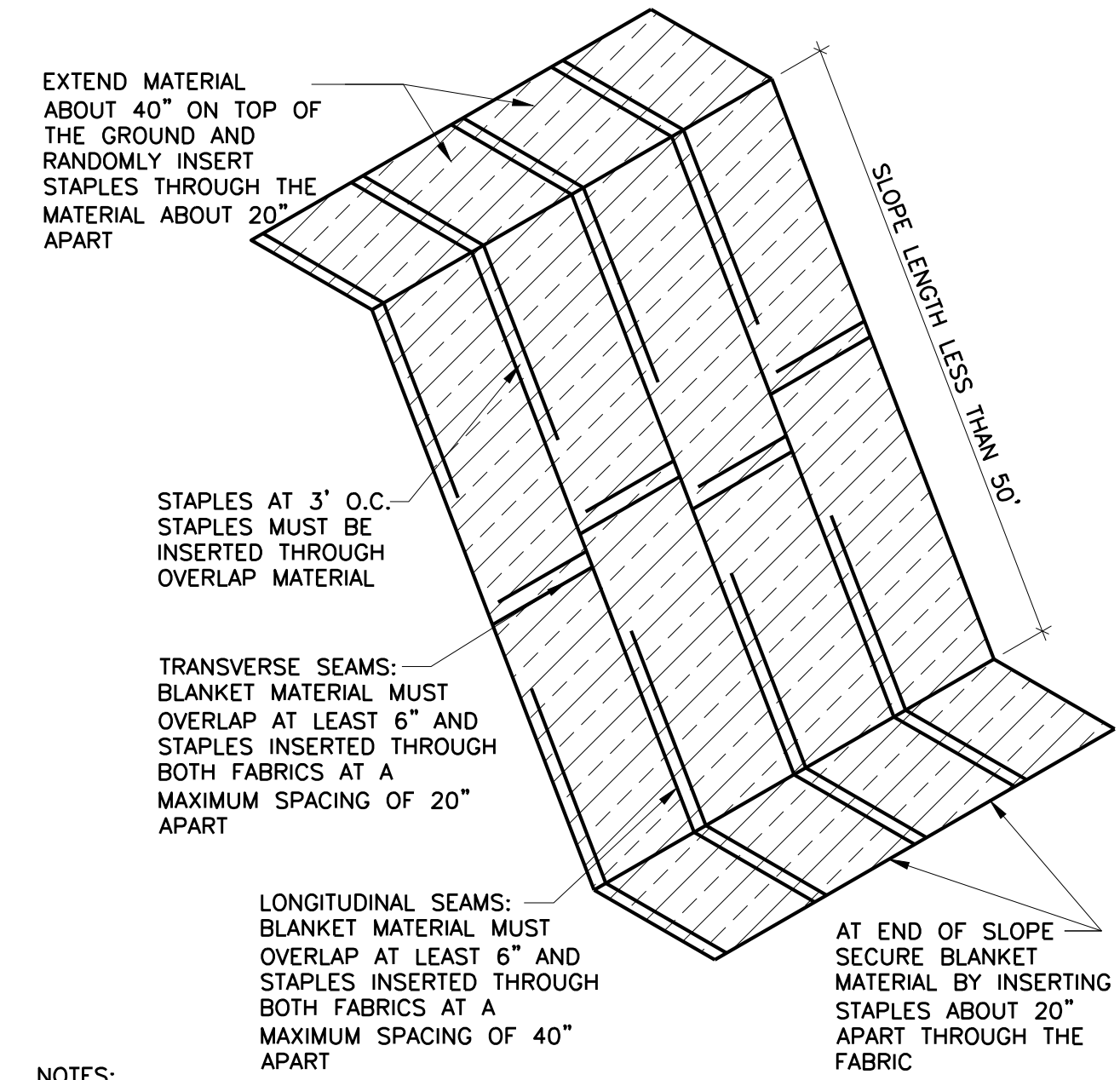
- INLET SEDIMENT CONTROL DEVICE - SILT SACK**
- NOTES:**
- THE DIMENSION CHART ABOVE IS FOR STANDARD CATCH BASINS AND INLETS ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE CORRECT SIZE DEVICE FOR EACH INLET.
 - FOR NON-STANDARD CATCH BASINS AND INLETS, THE CONTRACTOR SHALL MEASURE DIMENSIONS IN THE FIELD AND ORDER THE APPROPRIATE SIZE(S).
 - THE INLET SEDIMENT CONTROL DEVICE SHALL BE OF HIGH FLOW DESIGN (200 GAL/MIN/FT), AS PER THE MANUFACTURER'S SPECS.
 - THE SEDIMENT CONTROL DEVICE SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND MAINTAINED A MINIMUM ONCE PER MONTH OR WITHIN THE 48 HOURS FOLLOWING A STORM EVENT. FILTER SHALL BE CLEANED IN A MANNER WHICH ENSURES THAT ALL SEDIMENT REMAINS ON SITE.
 - SUBSTITUTION OF A SHEET OF FILTER FABRIC PLACED OVER THE OPENING OF THE INLET IS NOT APPROVED.
 - RECESSED CURB INLET CATCH BASINS MUST BE BLOCKED WHEN USING FILTER FABRIC INLET SACKS, SIZE OF FILTER INLET SACK TO BE DETERMINED BY MANUFACTURER.
 - THE FILTER SHALL BE REPLACED OR CLEANED WHEN THE BAG BECOMES HALF FULL.

6 SILT SACK NO SCALE



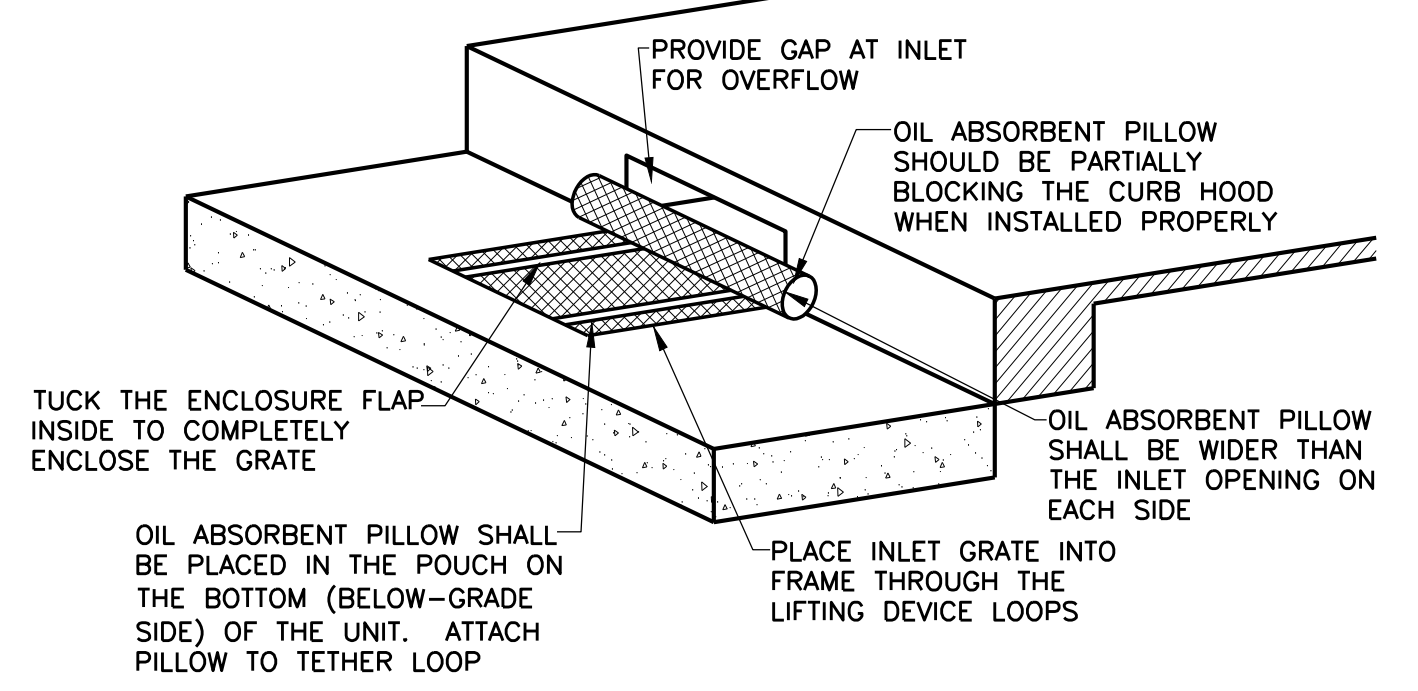
- BEFORE INSTALLATION APPLY TOPSOIL, FERTILIZER AND SEED TO SURFACE.
- BEGIN AT THE TOP OF THE CHANNEL, INSTALL MATS BY ANCHORING IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF MAT EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR WITH A ROW OF STAPLES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND SOIL. SECURE MATS WITH A WITH A ROW OF STAPLES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE MATS.
- ROLL CENTER MATS IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL.
- PLACE CONSECUTIVE AND ADJACENT MATS END OVER END (SHINGLE STYLE) WITH A MINIMUM 6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER TO SECURE OVERLAPPED MATS.
- FULL LENGTH EDGE OF MATS AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES APPROXIMATELY 12" APART IN A 6" DEEP BY 6" WIDE TRENCH.
- THE TERMINAL END OF MATS MUST BE ANCHORED WITH A ROW OF STAPLES APPROXIMATELY 12" APART IN A 6" DEEP BY 6" WIDE TRENCH.
- BACKFILL AND SEED AFTER STAPLING.
- FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PROPER INSTALLATION.

7 EROSION STABILIZATION MATS NO SCALE



- NOTES:**
- EROSION CONTROL BLANKET TO BE CATEGORY 4-COCONUT 25 FOR SLOPES GREATER THAN 5:1 AND SIDES AND BOTTOM OF ALL DRAINAGE SWALES AND PONDING AREAS AND CATEGORY 2-STRAW 25 FOR ALL SLOPES LESS THAN 5:1 PER MNDOT SPEC. SECTION 3885.
 - INSTALL PER MNDOT SPEC. SECTION 2575

8 EROSION CONTROL BLANKET NO SCALE



- OIL ABSORBENT PILLOW SHALL BE REMOVED AND REPLACED WHEN NEAR SATURATION.
- PROVIDE BEAVER DAM AS MANUFACTURED BY DANDY PRODUCTS, INC.
- AN EQUIVALENT CURB INLET EROSION CONTROL METHOD OR PRODUCT MAY BE USED WITH APPROVAL FROM ENGINEER.

9 CATCHBASIN CURB BOX INLET EROSION CONTROL NO SCALE

MSR 710 South 2nd Street, 8th Floor
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Architecture Interiors and Urban Design 612 375 0336 tel
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CIVIL ENGINEER
PIERCE PINI ASSOCIATES, INC.

9298 Central Avenue NE
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Blaine, MN 55434-3425
Office Phone: 763-537-1311
Office Fax: 763-537-1354

**MINNEHAHA
TOWNHOMES**
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MINNEAPOLIS, MN 55417

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Signature: _____
Print Names: **RHONDA S. PIERCE**
Date: **05-08-2017** License No.: **41333**

ISSUE	MAR DATE	DESCRIPTION
	04-07-2017	PDR SUBMITTAL
	04-10-2017	MCWD SUBMITTAL
	04-25-2017	100% DD
	05-08-2017	30% CD
	05-26-2017	GC 90% REVIEW SET

PROJECT NO: **17-003**
PROJECT PHASE: **90% GC**
DRAWN BY: **CLG** CHECKED BY: **RSP**

SWPPP - DETAILS

C202

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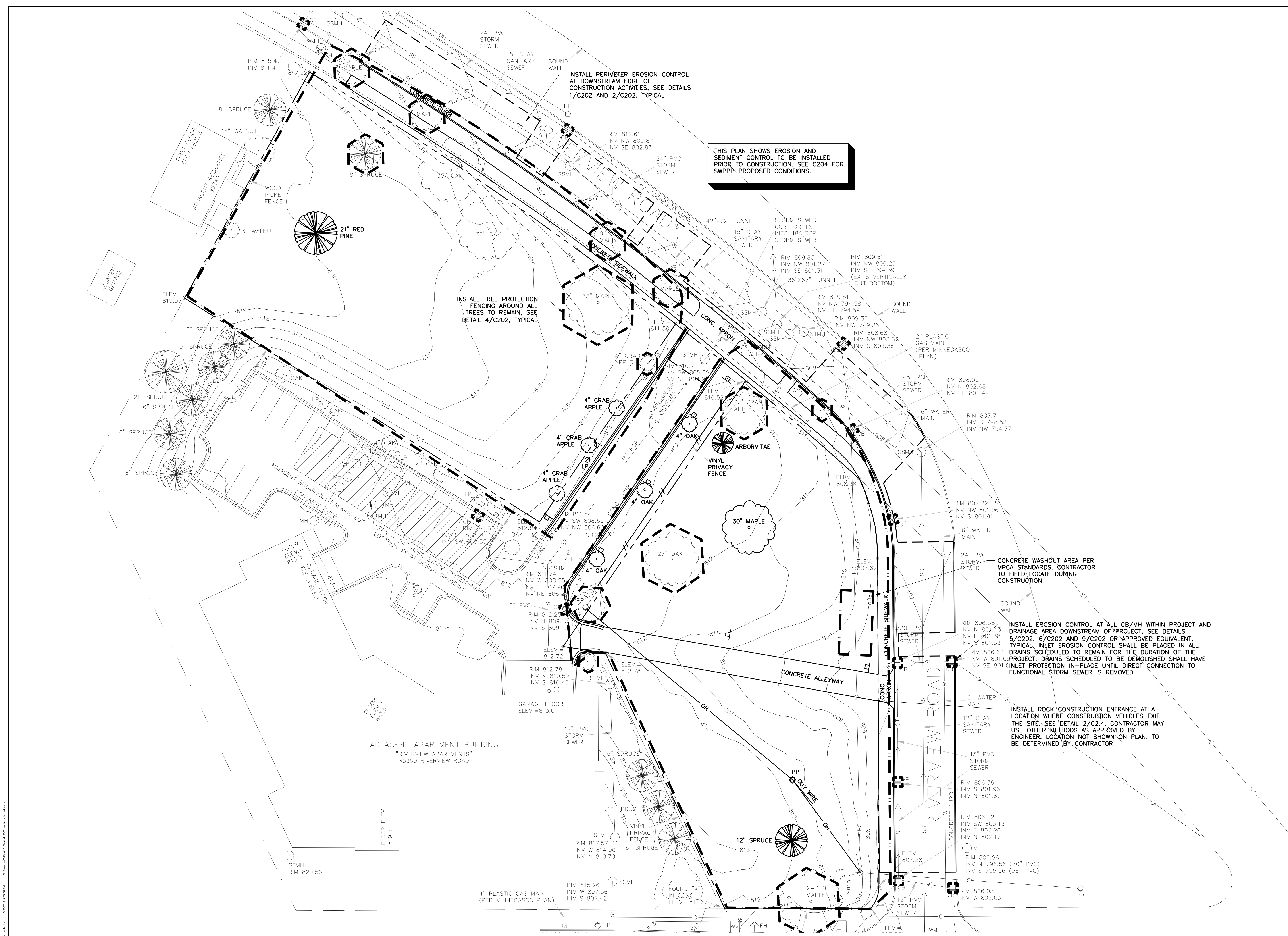
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PROJECT NO:	17-003
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DRAWN BY:	CLG
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**SWPPP - EXISTING
 CONDITIONS**

C203



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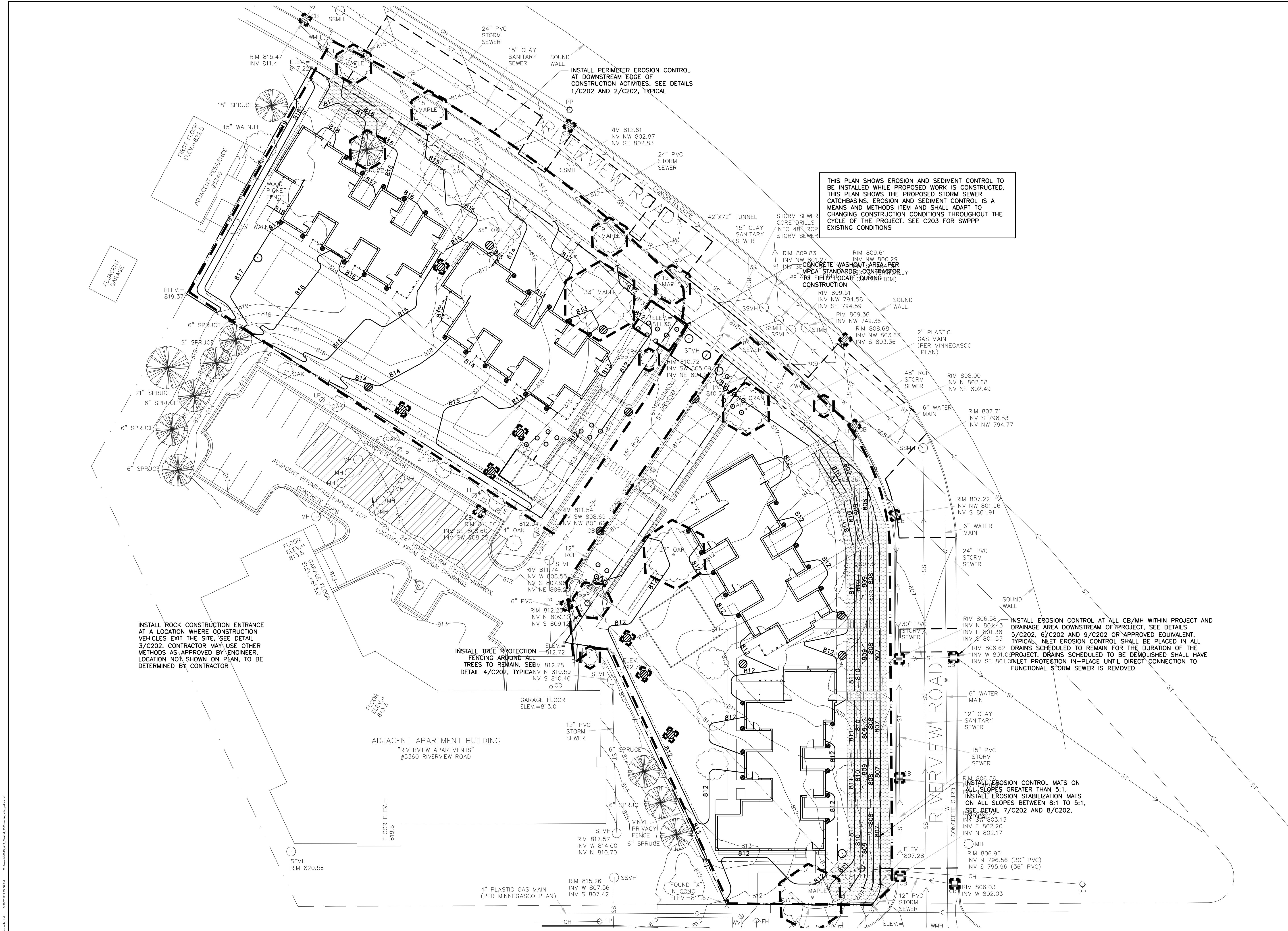
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**SWPPP - PROPOSED
 CONDITIONS**

C204



INSTALL ROCK CONSTRUCTION ENTRANCE AT A LOCATION WHERE CONSTRUCTION VEHICLES EXIT THE SITE. SEE DETAIL 3/C202. CONTRACTOR MAY USE OTHER METHODS AS APPROVED BY ENGINEER. LOCATION NOT SHOWN ON PLAN, TO BE DETERMINED BY CONTRACTOR

INSTALL TREE PROTECTION FENCING AROUND ALL TREES TO REMAIN. SEE DETAIL 4/C202, TYPICAL

THIS PLAN SHOWS EROSION AND SEDIMENT CONTROL TO BE INSTALLED WHILE PROPOSED WORK IS CONSTRUCTED. THIS PLAN SHOWS THE PROPOSED STORM SEWER CATCHBASINS. EROSION AND SEDIMENT CONTROL IS A MEANS AND METHODS ITEM AND SHALL ADAPT TO CHANGING CONSTRUCTION CONDITIONS THROUGHOUT THE CYCLE OF THE PROJECT. SEE C203 FOR SWPPP EXISTING CONDITIONS

INSTALL EROSION CONTROL AT ALL CB/MH WITHIN PROJECT AND DRAINAGE AREA DOWNSTREAM OF PROJECT. SEE DETAILS 5/C202, 6/C202 AND 9/C202 OR APPROVED EQUIVALENT. TYPICAL INLET EROSION CONTROL SHALL BE PLACED IN ALL DRAINS SCHEDULED TO REMAIN FOR THE DURATION OF THE PROJECT. DRAINS SCHEDULED TO BE DEMOLISHED SHALL HAVE INLET PROTECTION IN-PLACE UNTIL DIRECT CONNECTION TO FUNCTIONAL STORM SEWER IS REMOVED

INSTALL EROSION CONTROL MATS ON ALL SLOPES GREATER THAN 5:1. INSTALL EROSION STABILIZATION MATS ON ALL SLOPES BETWEEN 8:1 TO 5:1. SEE DETAIL 7/C202 AND 8/C202, TYPICAL

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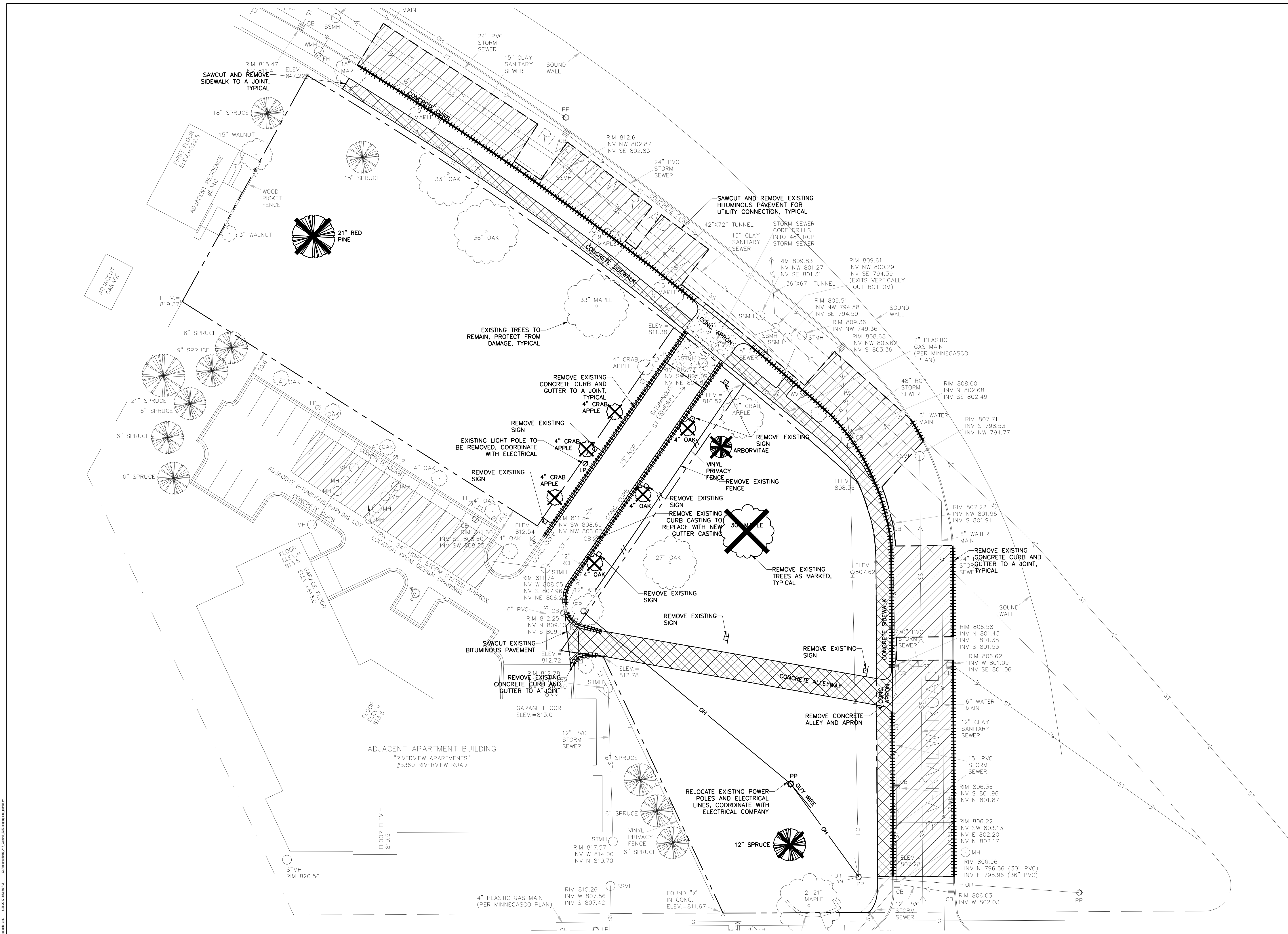
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DRAWN BY:	CLG
CHECKED BY:	RSP

**SITE DEMOLITION
PLAN**

C300



SITE DEMOLITION PLAN
1
0 20' 40' 60'
1" = 20'-0"

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 05/08/2017 10:58:49 AM

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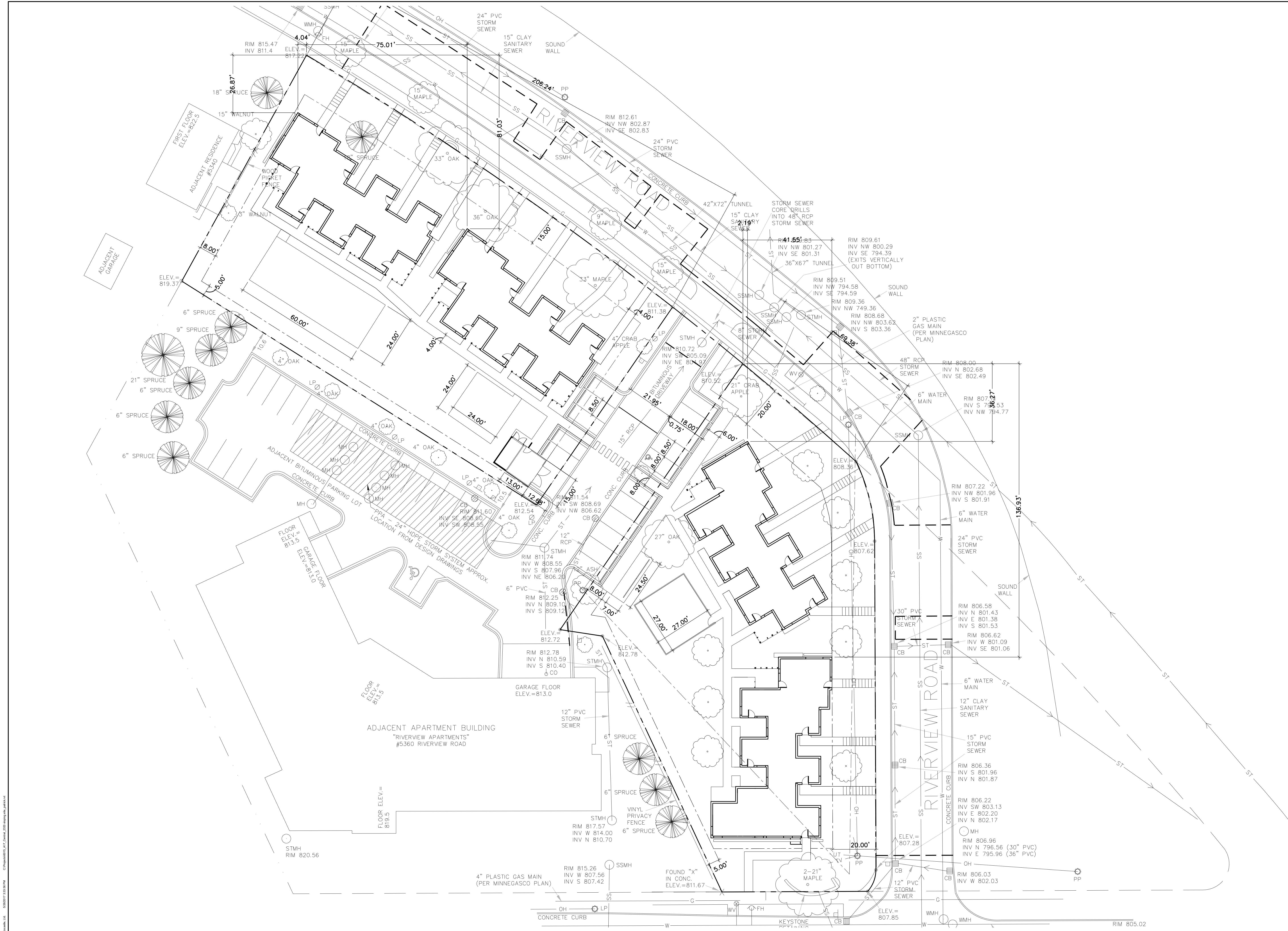
PROJECT PHASE: 90% GC

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**DIMENSIONED
SITE PLAN**

C400



1 DIMENSIONED SITE PLAN
C400
0 20' 40' 60'
1" = 20'-0"

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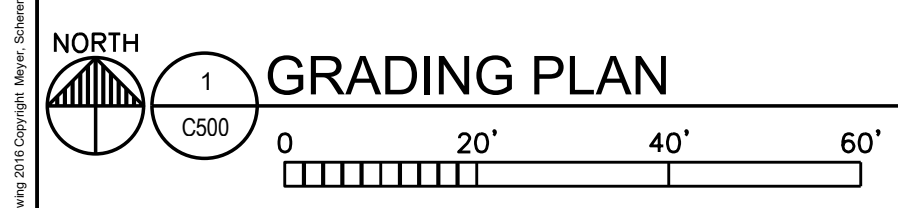
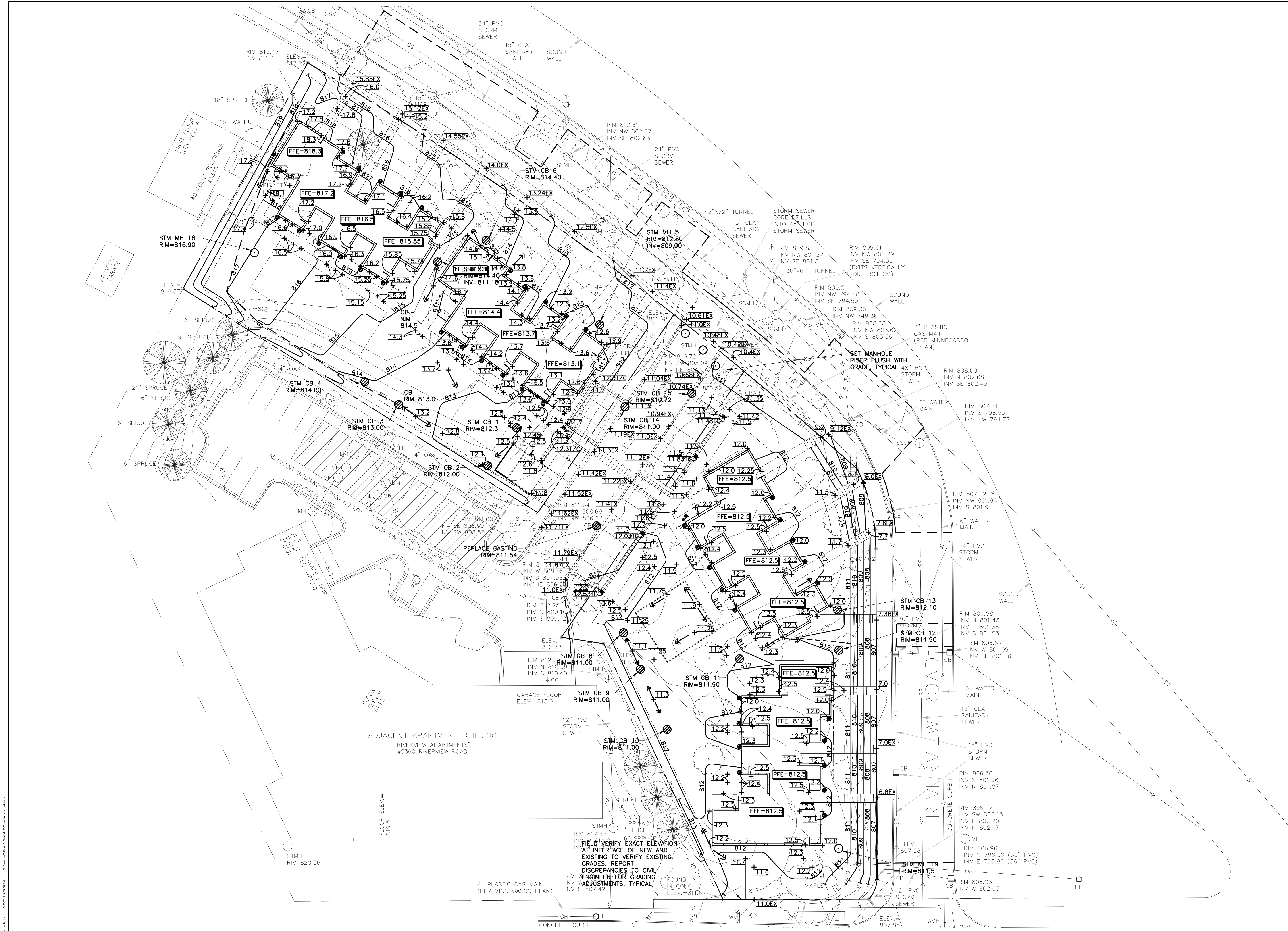
PROJECT PHASE: 90% GC

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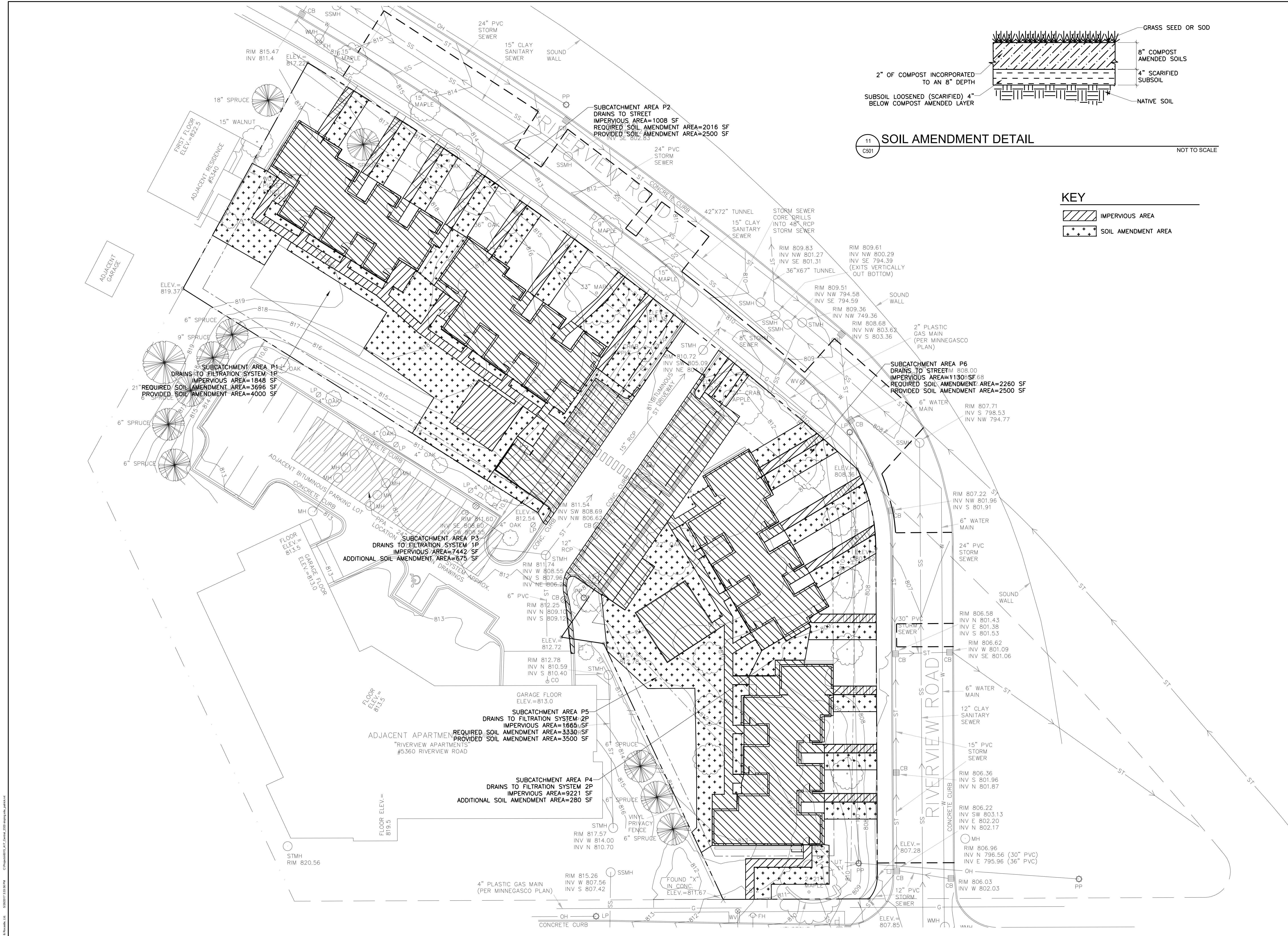
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GRADING PLAN

C500



1" = 20'-0"



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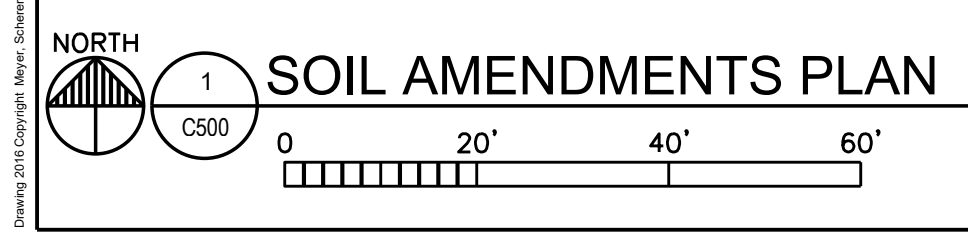
PROJECT PHASE: **90% GC**

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**SOIL
 AMENDMENTS
 PLAN**

C501



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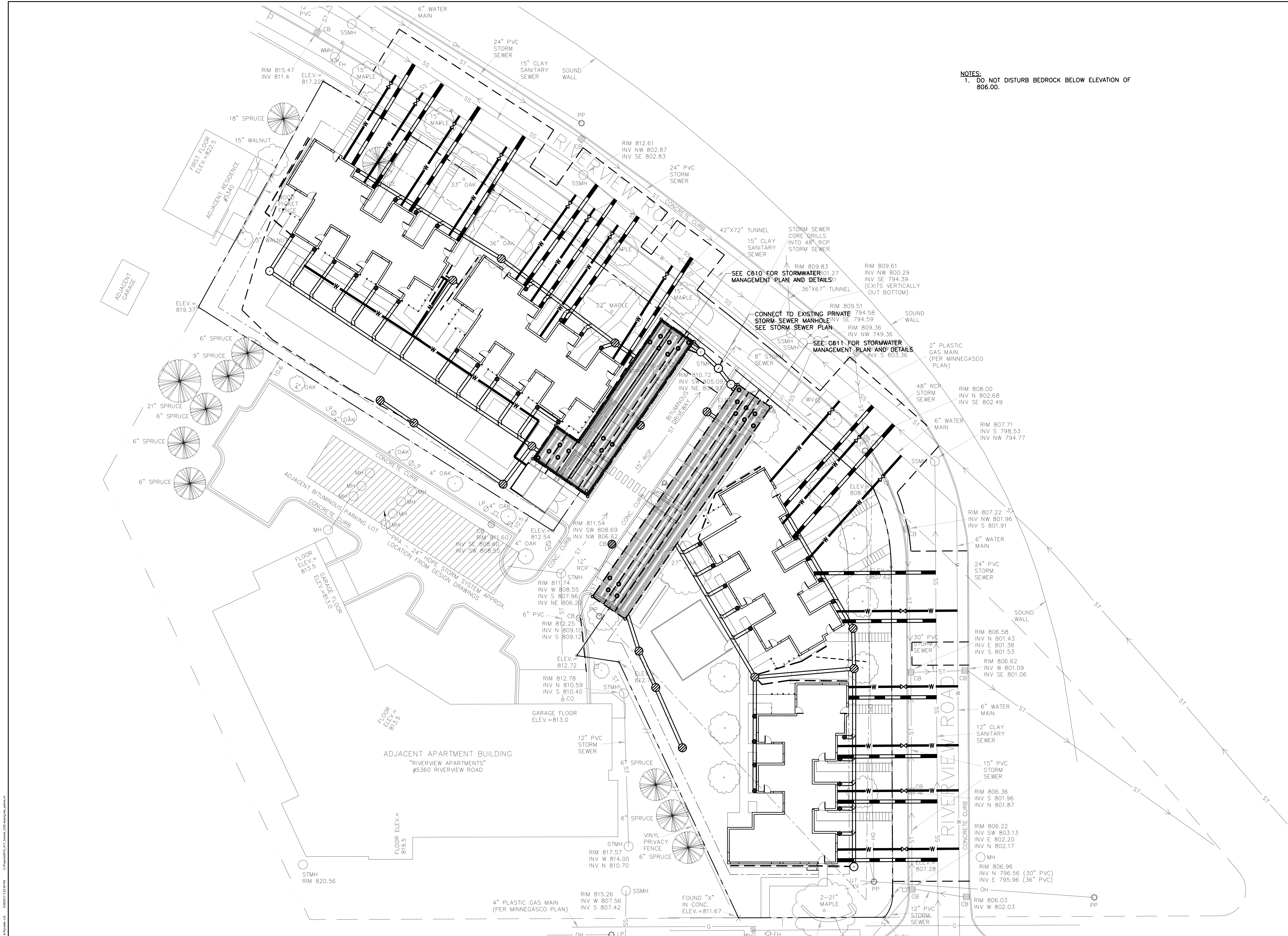
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**OVERALL UTILITY
 PLAN**

C600

NOTES:
 1. DO NOT DISTURB BEDROCK BELOW ELEVATION OF 806.00.



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 Date: **05-08-2017** License No.: **41333**

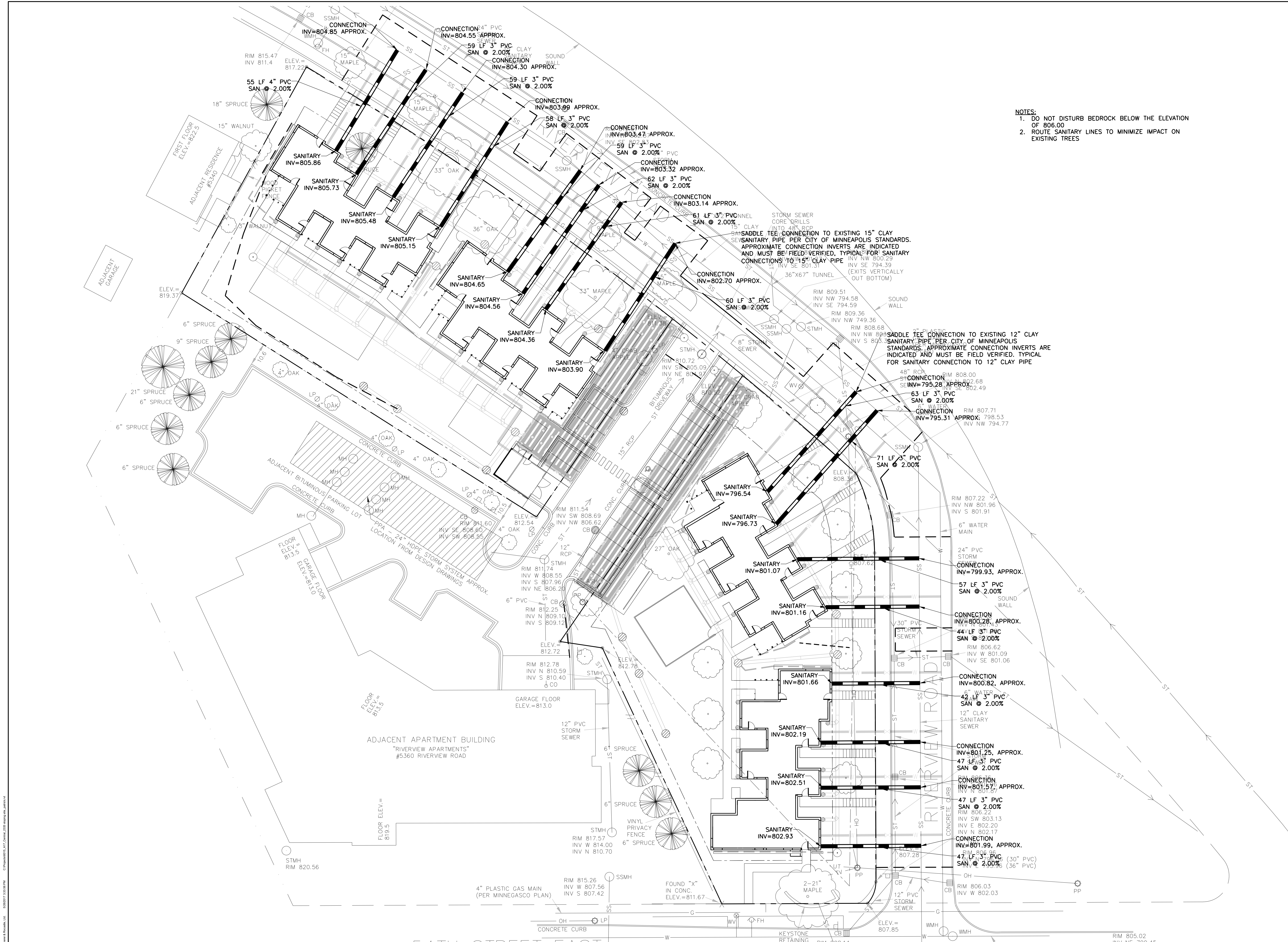
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	04-21-2017	100% DD
	05-08-2017	90% CD
	05-26-2017	GC 90% REVIEW SET

PROJECT NO:	17-003
PROJECT PHASE:	90% GC
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**SANITARY SEWER
 PLAN**

C601

- NOTES:**
- DO NOT DISTURB BEDROCK BELOW THE ELEVATION OF 806.00
 - ROUTE SANITARY LINES TO MINIMIZE IMPACT ON EXISTING TREES



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Print Names: RHONDA S. PIERCE

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PROJECT NO: 17-003

PROJECT PHASE: 90% GC

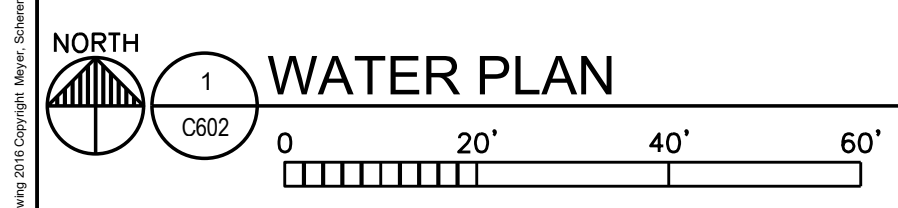
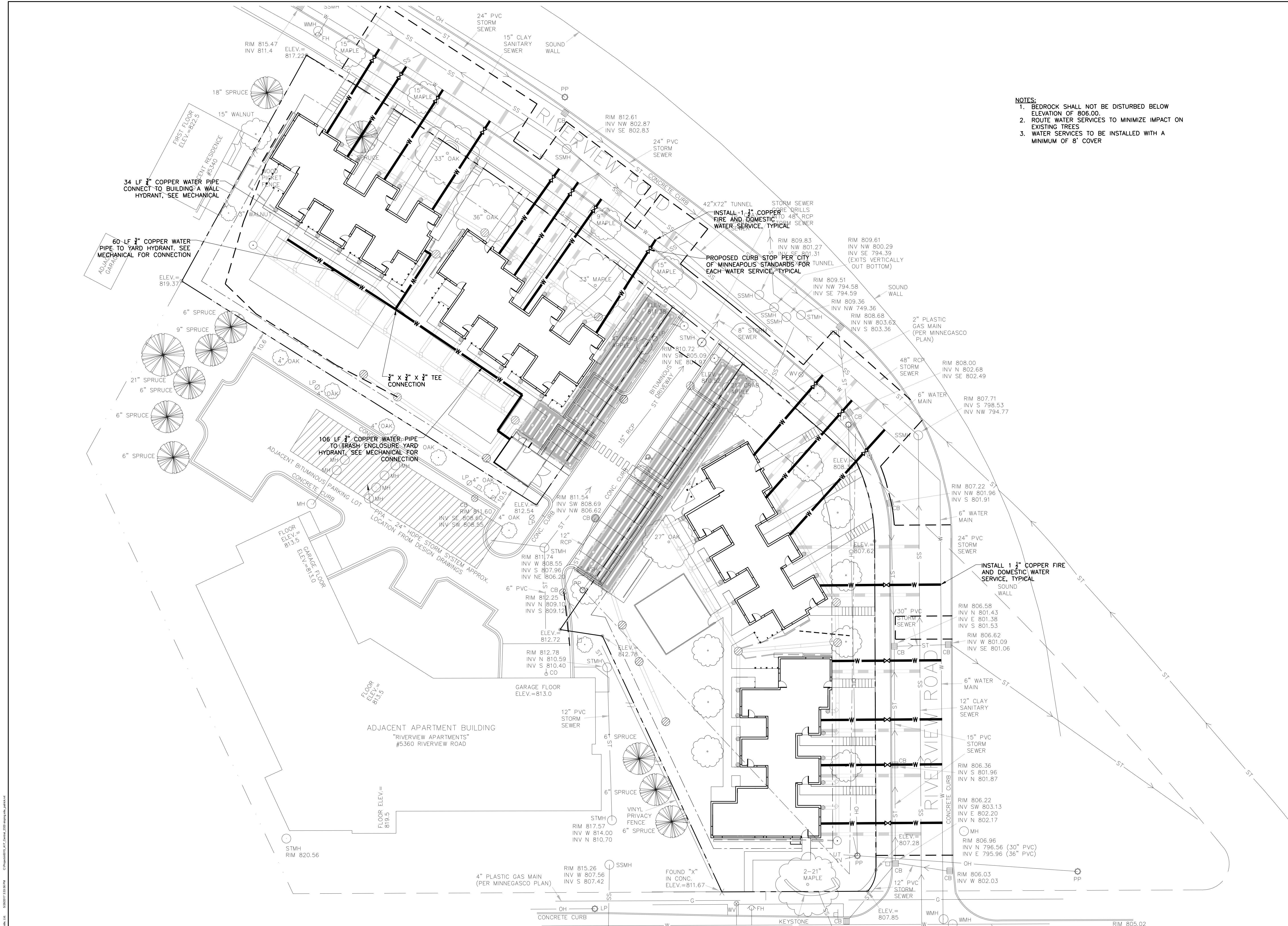
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WATER PLAN

C602

- NOTES:**
- BEDROCK SHALL NOT BE DISTURBED BELOW ELEVATION OF 806.00.
 - ROUTE WATER SERVICES TO MINIMIZE IMPACT ON EXISTING TREES
 - WATER SERVICES TO BE INSTALLED WITH A MINIMUM OF 8" COVER

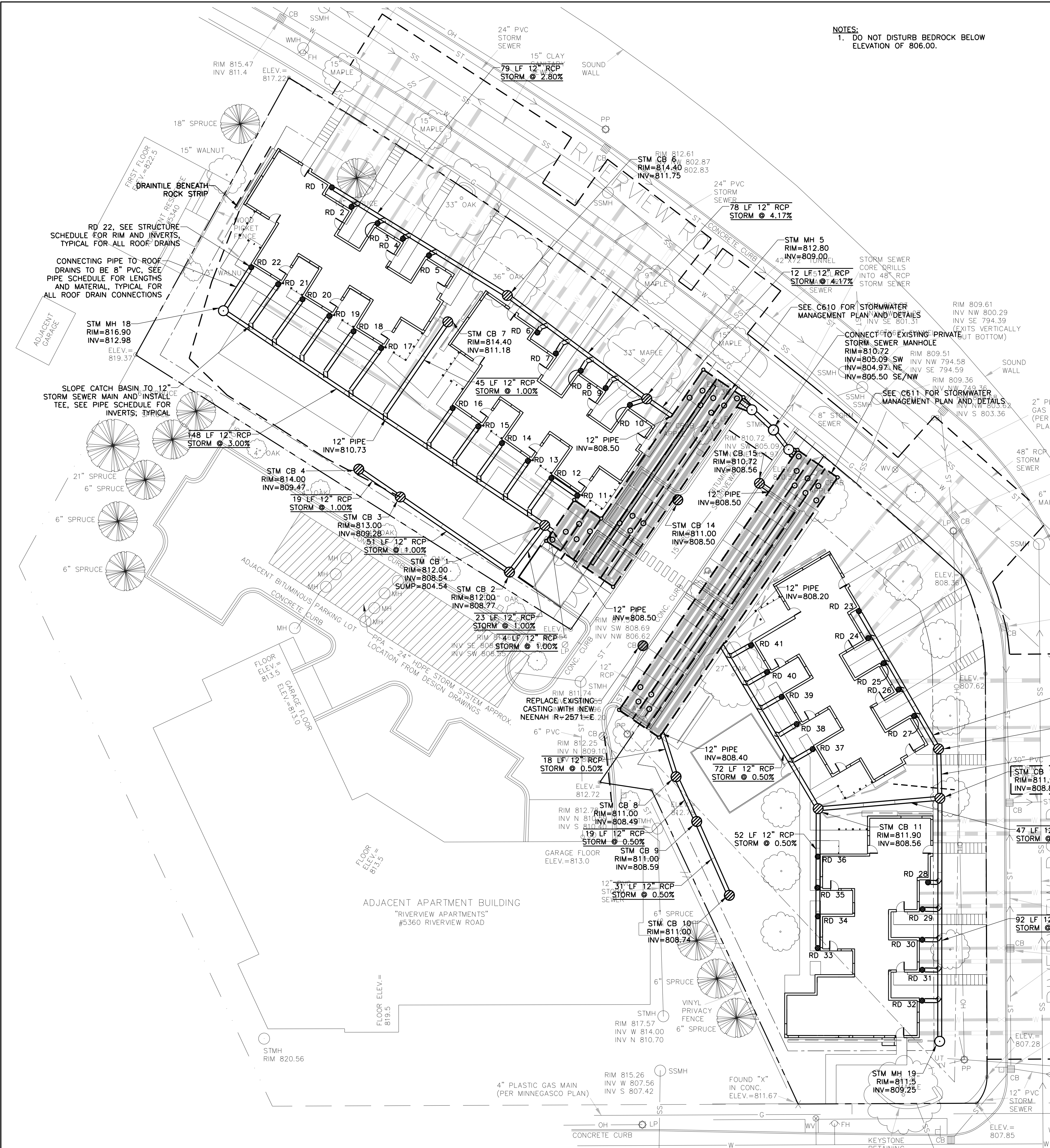


1" = 20'-0"

NOTES:
1. DO NOT DISTURB BEDROCK BELOW ELEVATION OF 806.00.

ROOF DRAIN PIPE SCHEDULE			
INLET ROOF DRAIN	OUTLET	LENGTH (FT)	PIPE MATERIAL
1	12" RCP	2	8" SDR-26 PVC
2	12" RCP	2	8" SDR-26 PVC
3	12" RCP	3	8" SDR-26 PVC
4	12" RCP	3	8" SDR-26 PVC
5	12" RCP	3	8" SDR-26 PVC
6	12" RCP	5	8" SDR-26 PVC
7	12" RCP	7	8" SDR-26 PVC
8	12" RCP	7	8" SDR-26 PVC
9	12" RCP	7	8" SDR-26 PVC
10	STM MH 5	7	8" SDR-26 PVC
11	RD 12	12	8" SDR-26 PVC
12	12" RCP	18	8" SDR-26 PVC
13	12" RCP	18	8" SDR-26 PVC
14	12" RCP	18	8" SDR-26 PVC
15	12" RCP	18	8" SDR-26 PVC
16	12" RCP	18	8" SDR-26 PVC
17	12" RCP	22	8" SDR-26 PVC
18	12" RCP	22	8" SDR-26 PVC
19	12" RCP	22	8" SDR-26 PVC
20	12" RCP	22	8" SDR-26 PVC
21	12" RCP	22	8" SDR-26 PVC
22	STM MH 18	22	8" SDR-26 PVC
23	12" RCP	1	8" SDR-26 PVC
24	12" RCP	2	8" SDR-26 PVC
25	12" RCP	2	8" SDR-26 PVC
26	12" RCP	2	8" SDR-26 PVC
27	12" RCP	2	8" SDR-26 PVC
28	12" RCP	5	8" SDR-26 PVC
29	12" RCP	8	8" SDR-26 PVC
30	12" RCP	8	8" SDR-26 PVC
31	12" RCP	8	8" SDR-26 PVC
32	12" RCP	8	8" SDR-26 PVC
33	12" RCP	1	8" SDR-26 PVC
34	12" RCP	1	8" SDR-26 PVC
35	12" RCP	1	8" SDR-26 PVC
36	12" RCP	1	8" SDR-26 PVC
37	12" RCP	5	8" SDR-26 PVC
38	12" RCP	5	8" SDR-26 PVC
39	12" RCP	5	8" SDR-26 PVC
40	12" RCP	5	8" SDR-26 PVC
41	12" RCP	5	8" SDR-26 PVC

STORM STRUCTURE SCHEDULE					
STRUCTURE TYPE	STRUCTURE NUMBER	STRUCTURE SIZE (DIA)	RIM/GRATE ELEVATION	INVERT ELEVATION	CASTING (NEENAH)
STORM	1	4'	SEE PLAN	SEE PLAN	R-2571-E
STORM	2	4'	SEE PLAN	SEE PLAN	R-2571-E
STORM	3	4'	SEE PLAN	SEE PLAN	R-2571-E
STORM	4	4'	SEE PLAN	SEE PLAN	R-2571-E
STORM	5	4'	SEE PLAN	SEE PLAN	R-2571-E
STORM	6	4'	SEE PLAN	SEE PLAN	R-2571-E
STORM	7	4'	SEE PLAN	SEE PLAN	R-2571-E
STORM	8	4'	SEE PLAN	SEE PLAN	R-2571-E
STORM	9	4'	SEE PLAN	SEE PLAN	R-2571-E
STORM	10	4'	SEE PLAN	SEE PLAN	R-2571-E
STORM	11	4'	SEE PLAN	SEE PLAN	R-2571-E
STORM	12	4'	SEE PLAN	SEE PLAN	R-2571-E
STORM	13	4'	SEE PLAN	SEE PLAN	R-2571-E
STORM	14	4'	SEE PLAN	SEE PLAN	R-2571-E
STORM	15	4'	SEE PLAN	SEE PLAN	R-2571-E
STORM	16	4'	SEE PLAN	SEE PLAN	R-1642-A
STORM	17	4'	SEE PLAN	SEE PLAN	R-1642-A
STORM	18	4'	SEE PLAN	SEE PLAN	R-1642-A
STORM	19	4'	SEE PLAN	SEE PLAN	R-1642-A
STORM	20	4'	SEE PLAN	SEE PLAN	R-1642-A
ROOF DRAIN	RD 1	NA	817.60	815.60	NDS#1213
ROOF DRAIN	RD 2	NA	816.90	814.90	NDS#1213
ROOF DRAIN	RD 3	NA	816.20	814.20	NDS#1213
ROOF DRAIN	RD 4	NA	816.20	814.20	NDS#1213
ROOF DRAIN	RD 5	NA	815.50	813.50	NDS#1213
ROOF DRAIN	RD 6	NA	813.80	811.80	NDS#1213
ROOF DRAIN	RD 7	NA	813.60	811.60	NDS#1213
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ROOF DRAIN	RD 11	NA	813.00	811.00	NDS#1213
ROOF DRAIN	RD 12	NA	813.40	811.40	NDS#1213
ROOF DRAIN	RD 13	NA	813.40	811.40	NDS#1213
ROOF DRAIN	RD 14	NA	813.80	811.80	NDS#1213
ROOF DRAIN	RD 15	NA	814.00	812.00	NDS#1213
ROOF DRAIN	RD 16	NA	814.10	812.10	NDS#1213
ROOF DRAIN	RD 17	NA	815.60	813.60	NDS#1213
ROOF DRAIN	RD 18	NA	816.10	814.10	NDS#1213
ROOF DRAIN	RD 19	NA	816.20	814.20	NDS#1213
ROOF DRAIN	RD 20	NA	816.80	814.80	NDS#1213
ROOF DRAIN	RD 21	NA	816.90	814.90	NDS#1213
ROOF DRAIN	RD 22	NA	817.10	815.10	NDS#1213
ROOF DRAIN	RD 23	NA	812.00	810.00	NDS#1213
ROOF DRAIN	RD 24	NA	812.00	810.00	NDS#1213
ROOF DRAIN	RD 25	NA	812.00	810.00	NDS#1213
ROOF DRAIN	RD 26	NA	812.00	810.00	NDS#1213
ROOF DRAIN	RD 27	NA	812.00	810.00	NDS#1213
ROOF DRAIN	RD 28	NA	812.00	810.00	NDS#1213
ROOF DRAIN	RD 29	NA	812.20	810.20	NDS#1213
ROOF DRAIN	RD 30	NA	812.10	810.10	NDS#1213
ROOF DRAIN	RD 31	NA	812.20	810.20	NDS#1213
ROOF DRAIN	RD 32	NA	812.30	810.30	NDS#1213
ROOF DRAIN	RD 33	NA	812.30	810.30	NDS#1213
ROOF DRAIN	RD 34	NA	812.30	810.30	NDS#1213
ROOF DRAIN	RD 35	NA	812.30	810.30	NDS#1213
ROOF DRAIN	RD 36	NA	812.00	810.00	NDS#1213
ROOF DRAIN	RD 37	NA	812.30	810.30	NDS#1213
ROOF DRAIN	RD 38	NA	812.30	810.30	NDS#1213
ROOF DRAIN	RD 39	NA	812.30	810.30	NDS#1213
ROOF DRAIN	RD 40	NA	812.30	810.30	NDS#1213
ROOF DRAIN	RD 41	NA	812.00	810.00	NDS#1213
VIEW PORTS	1	1.5'	812.2	NA	R-1642-A
VIEW PORTS	2	1.5'	811.9	NA	R-1642-A
VIEW PORTS	3	1.5'	812.1	NA	R-1642-A
VIEW PORTS	4	1.5'	811.8	NA	R-1642-A
VIEW PORTS	5	1.5'	811.8	NA	R-1642-A
VIEW PORTS	6	1.5'	811.7	NA	R-1642-A
VIEW PORTS	7	1.5'	811.6	NA	R-1642-A
VIEW PORTS	8	1.5'	812.4	NA	R-1642-A
VIEW PORTS	9	1.5'	812.3	NA	R-1642-A
VIEW PORTS	10	1.5'	812.4	NA	R-1642-A
VIEW PORTS	11	1.5'	812.4	NA	R-1642-A
VIEW PORTS	12	1.5'	812.3	NA	R-1642-A
VIEW PORTS	13	1.5'	811.8	NA	R-1642-A
VIEW PORTS	14	1.5'	811.7	NA	R-1642-A
VIEW PORTS	15	1.5'	811.6	NA	R-1642-A
VIEW PORTS	16	1.5'	811.5	NA	R-1642-A
VIEW PORTS	17	1.5'	810.6	NA	R-1642-A
VIEW PORTS	18	1.5'	810.6	NA	R-1642-A
VIEW PORTS	19	1.5'	810.6	NA	R-1642-A
VIEW PORTS	20	1.5'	810.6	NA	R-1642-A
VIEW PORTS	21	1.5'	811.2	NA	R-1642-A
VIEW PORTS	22	1.5'	811.2	NA	R-1642-A
VIEW PORTS	23	1.5'	811.2	NA	R-1642-A
VIEW PORTS	24	1.5'	811.9	NA	R-1642-A
VIEW PORTS	25	1.5'	811.9	NA	R-1642-A
VIEW PORTS	26	1.5'	811.9	NA	R-1642-A
VIEW PORTS	27	1.5'	812	NA	R-1642-A



STORM SEWER PLAN
C603
0 20' 40' 60'
1" = 20'-0"

MSR 710 South 2nd Street, 8th Floor
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Architecture Interiors and Urban Design
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Office Fax: 763-537-1354

MINNEHAHA TOWNHOMES
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MINNEAPOLIS, MN 55417

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Signature: _____
Print Names: RHONDA S. PIERCE
Date: 05-08-2017 License No.: 41333

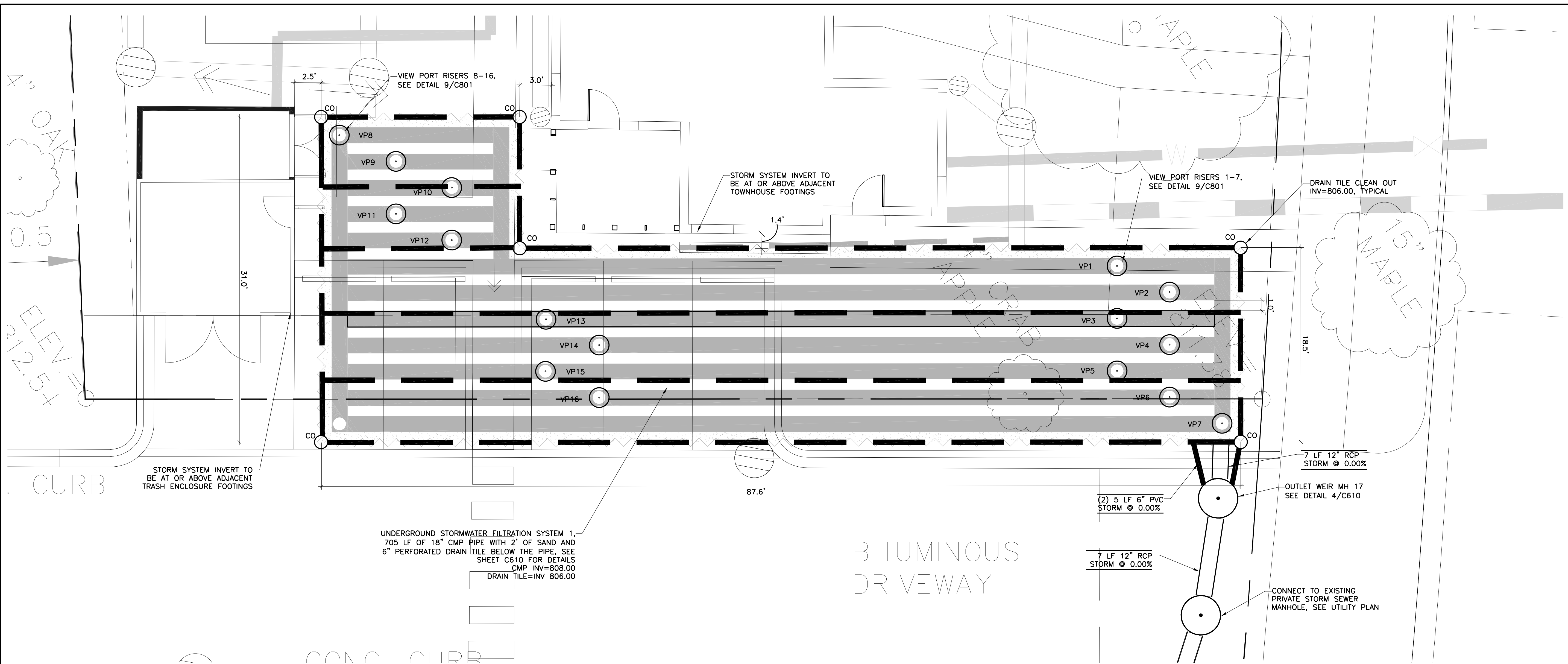
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	04-25-2017	100% DD
	05-08-2017	30% CD
	05-26-2017	GC 90% REVIEW SET

PROJECT NO: 17-003
PROJECT PHASE: 90% GC
DRAWN BY: CLG CHECKED BY: RSP
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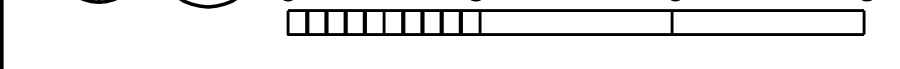
STORM SEWER PLAN

C603

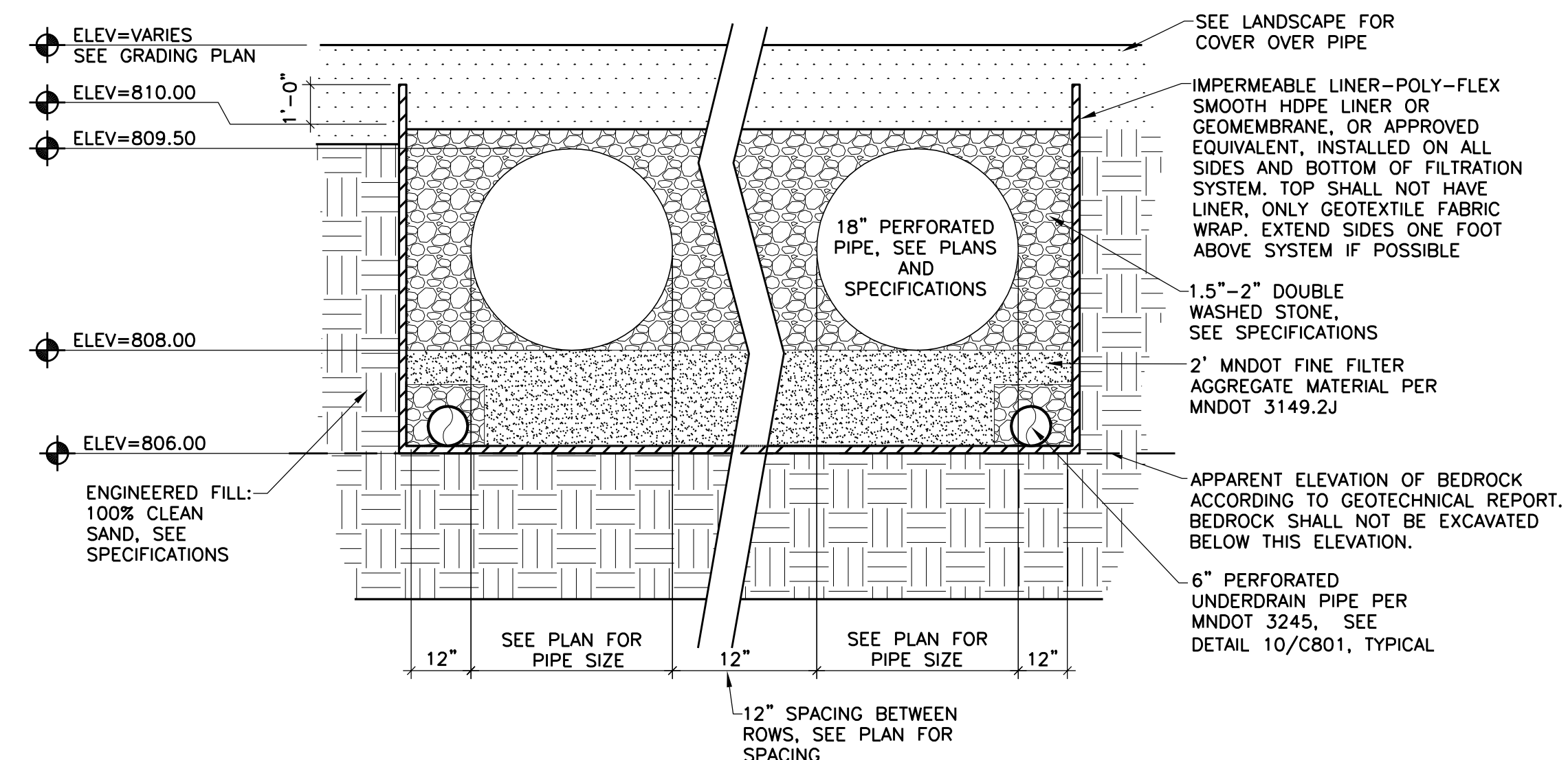
**MINNEHAHA
TOWNHOMES**
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MINNEAPOLIS, MN 55417



1 UNDERGROUND FILTRATION SYSTEM 1 (NORTH)

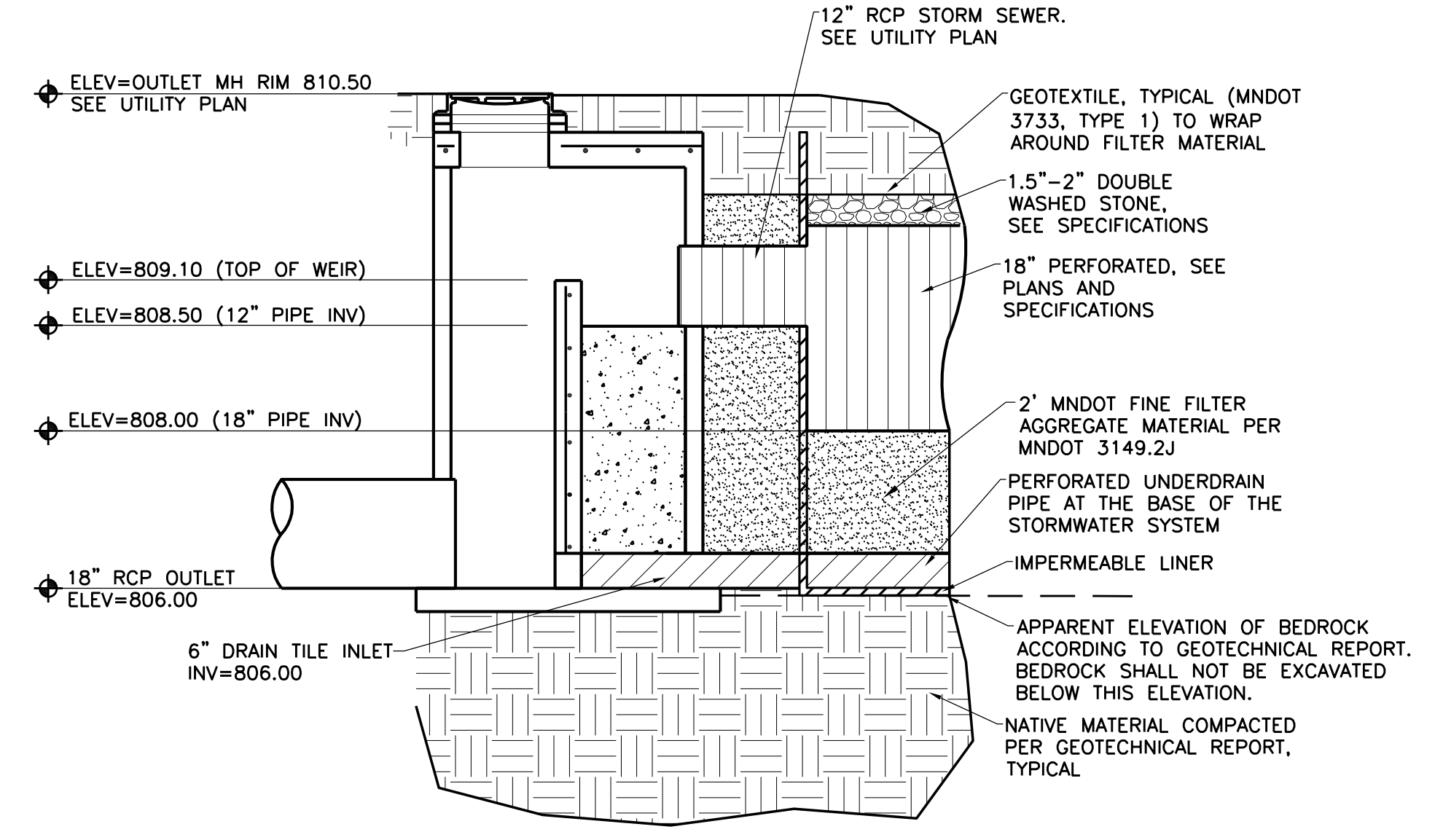


1" = 5'-0"



2 UNDERGROUND FILTRATION SYSTEM - CROSS SECTION

NO SCALE



3 UNDERGROUND FILTRATION SYSTEM - OUTLET MANHOLE

NO SCALE

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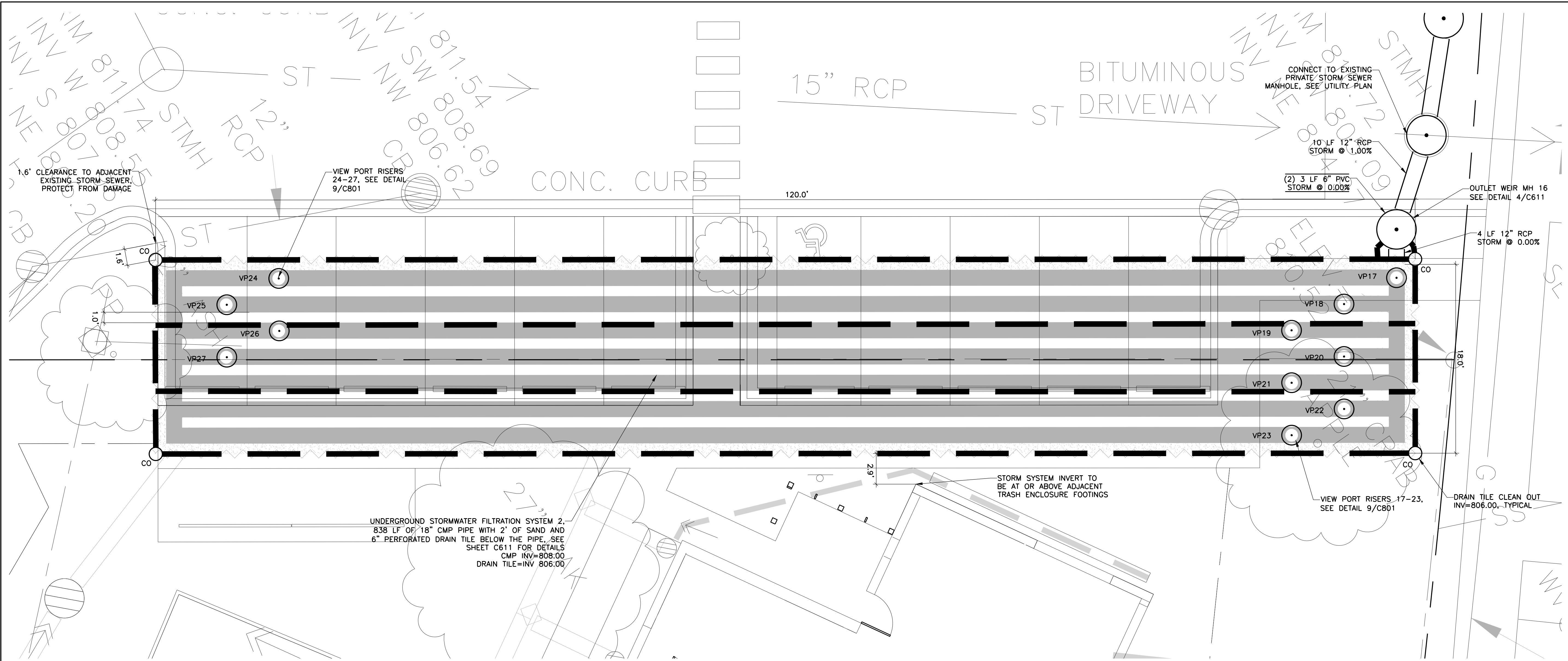
Signature: _____
Print Names: RHONDA S. PIERCE
Date: 05-08-2017 License No.: 41333

ISSUE	DATE	DESCRIPTION
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	04-10-2017	MCWD SUBMITTAL
	04-21-2017	100% CD
	05-08-2017	50% CD
	05-28-2017	GC 90% REVIEW SET

PROJECT NO.	17-003
PROJECT PHASE	90% GC
DRAWN BY:	CLG
CHECKED BY:	RSP

**STORMWATER
MANAGEMENT
PLAN**

C610

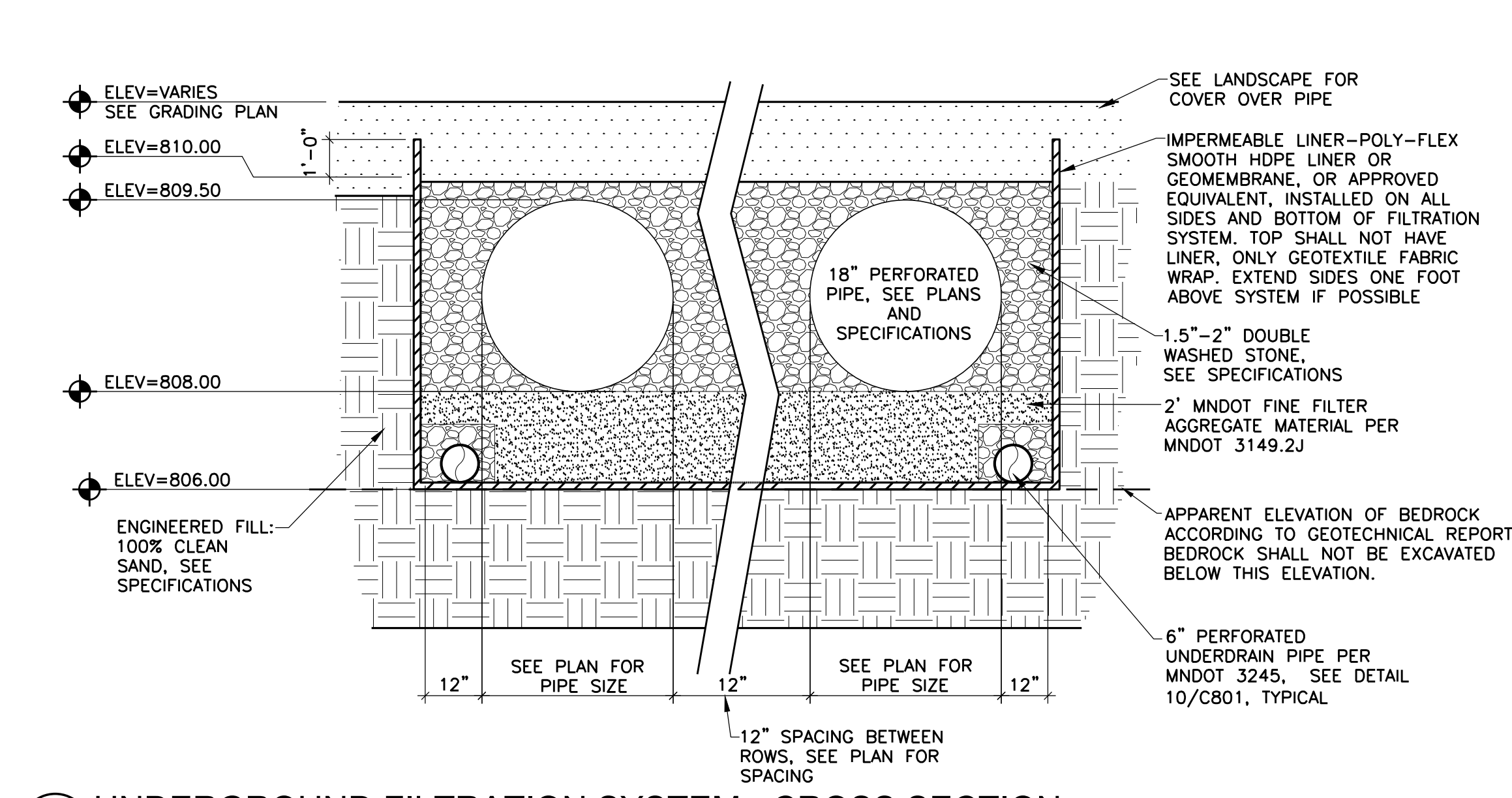


1 UNGROUND FILTRATION SYSTEM 2 SOUTH

NORTH

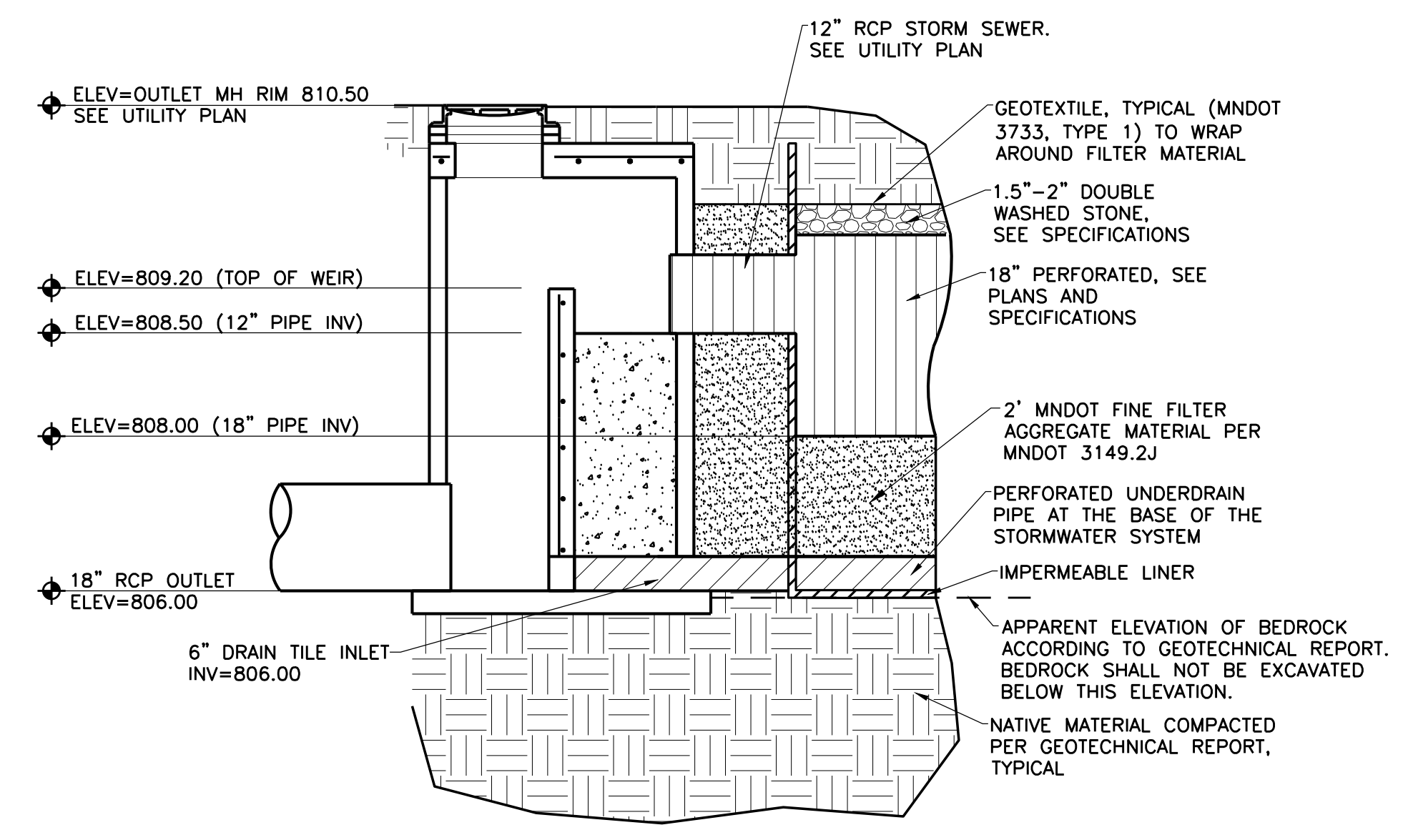
0 5' 10' 15'

1" = 5'-0"



3 UNDERGROUND FILTRATION SYSTEM - CROSS SECTION

NO SCALE



4 UNDERGROUND FILTRATION SYSTEM - OUTLET MANHOLE

NO SCALE

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Date: 05-08-2017 License No.: 41333

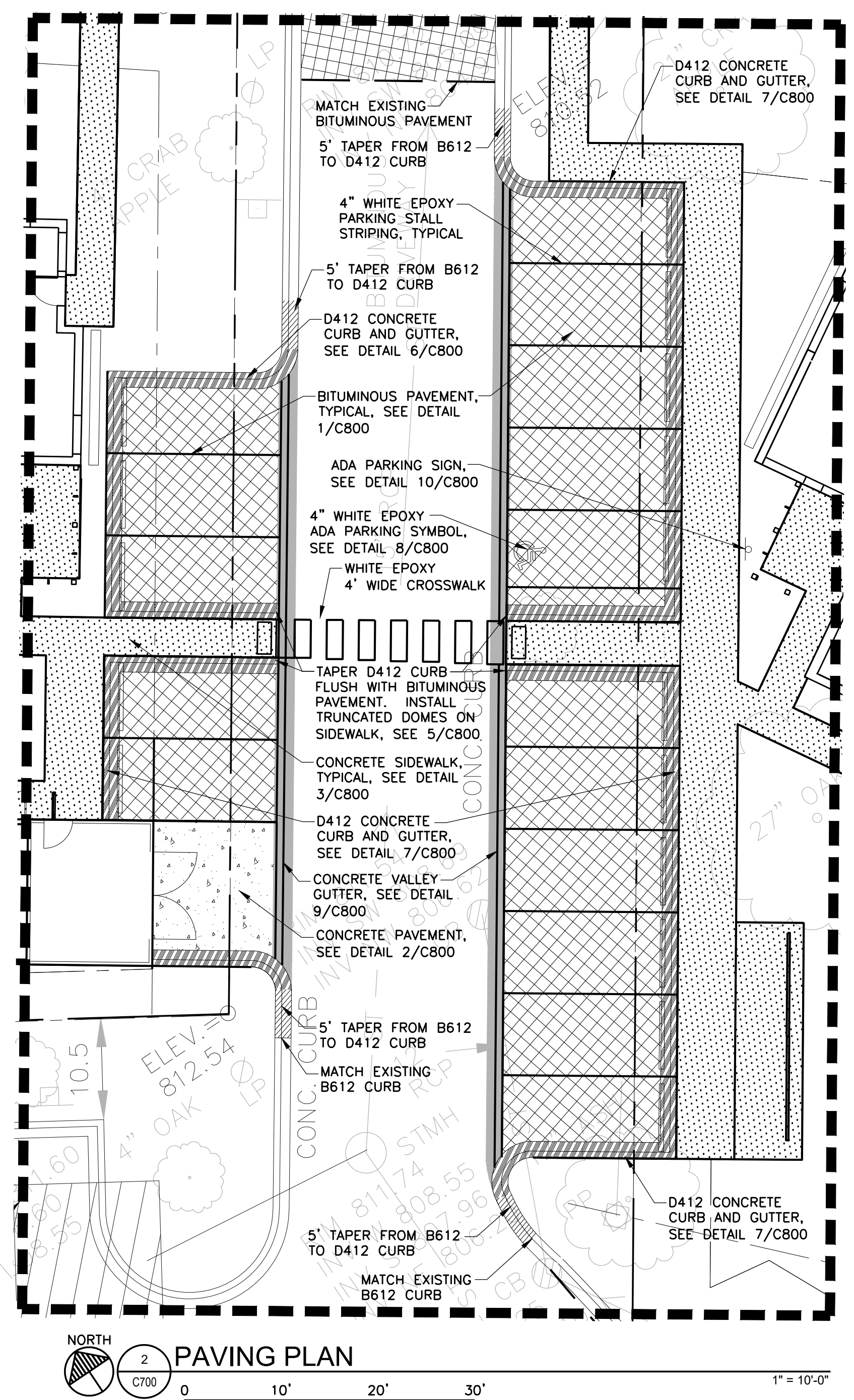
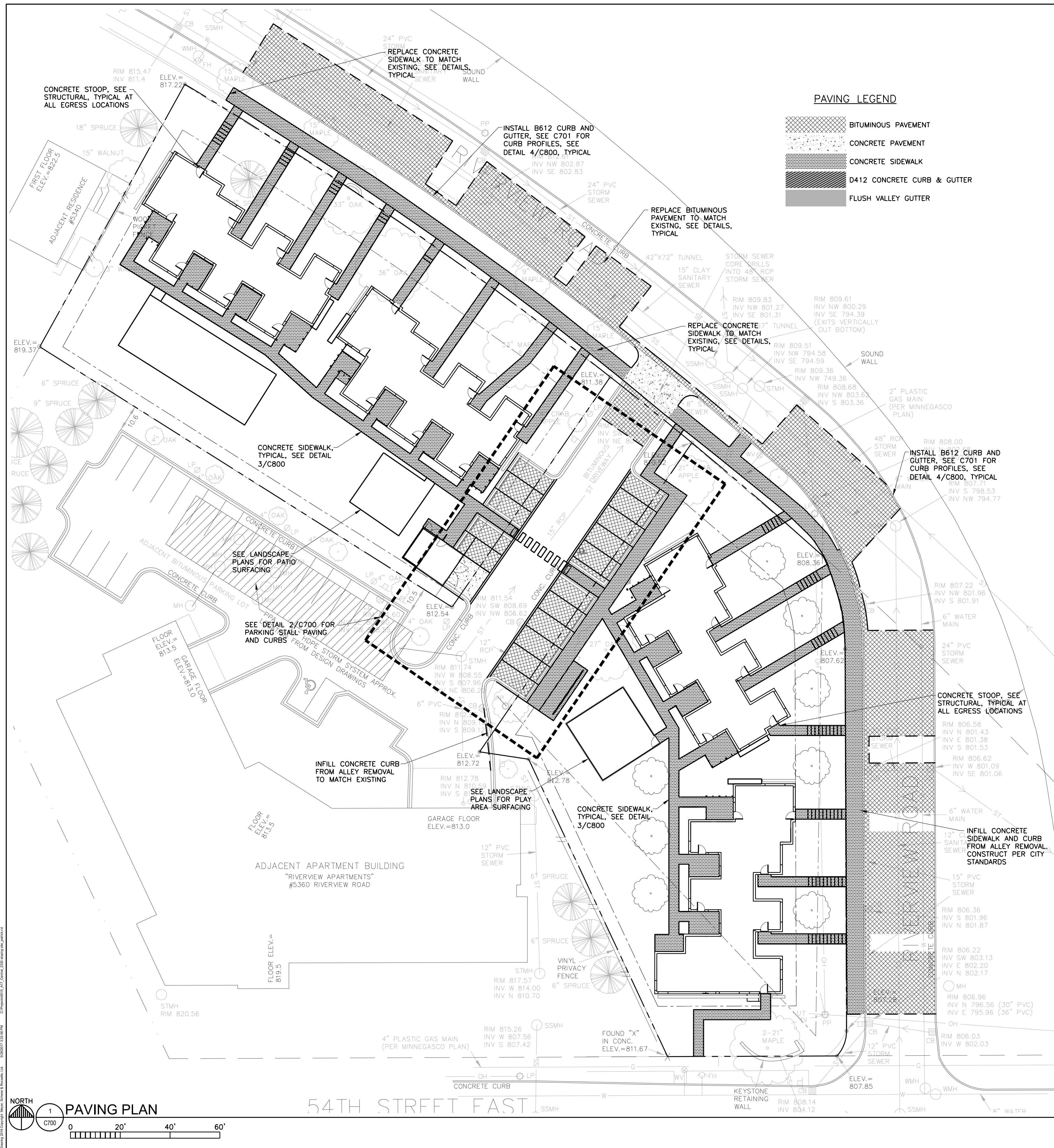
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	04-21-2017	100% DD
	05-08-2017	90% CD
	05-26-2017	GC 90% REVIEW SET

PROJECT NO: 17-003
PROJECT PHASE: 90% GC
DRAWN BY: CLG CHECKED BY: RSP

**STORMWATER
MANAGEMENT
PLAN**

C611

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Date: 05-08-2017 License No.: 41333

ISSUE	DATE	DESCRIPTION
	04-07-2017	PDR SUBMITTAL
	04-10-2017	MCWD SUBMITTAL
	04-21-2017	100% DD
	05-08-2017	90% CD
	05-26-2017	GC 90% REVIEW SET

PROJECT NO: 17-003
PROJECT PHASE: 90% GC
DRAWN BY: CLG CHECKED BY: RSP

PAVING PLAN

C700

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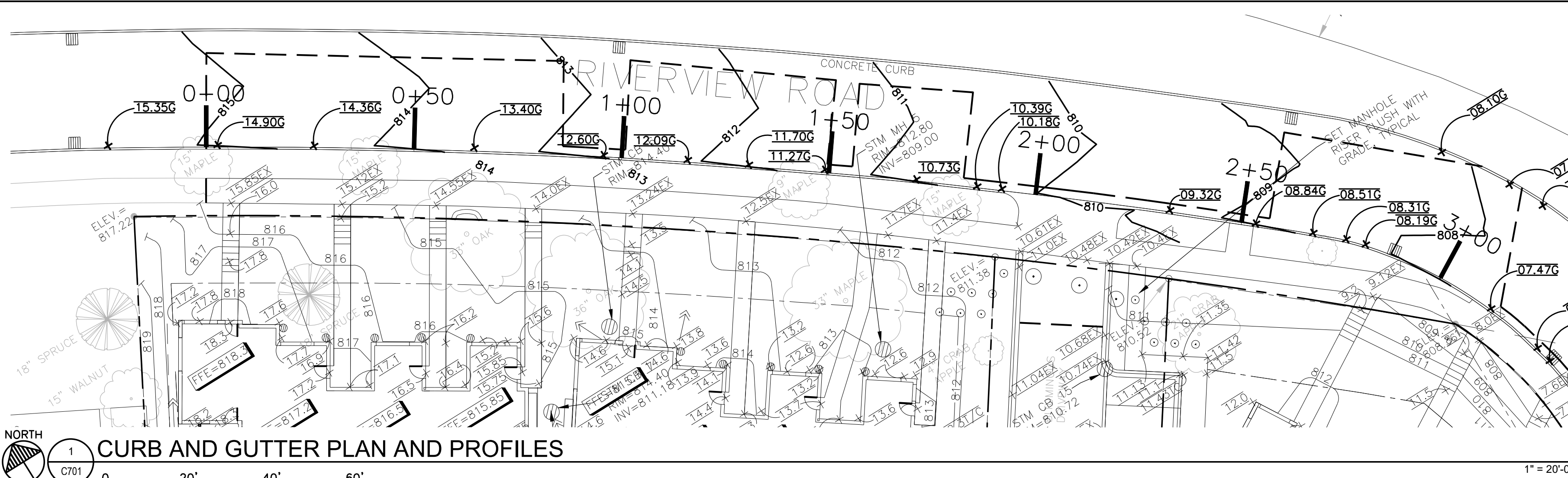
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	04-21-2017	100% DD
	05-08-2017	90% CD
	05-26-2017	GC 90% REVIEW SET

PROJECT NO:	17-003
PROJECT PHASE	90% GC
DRAWN BY:	CLG
CHECKED BY:	RSP

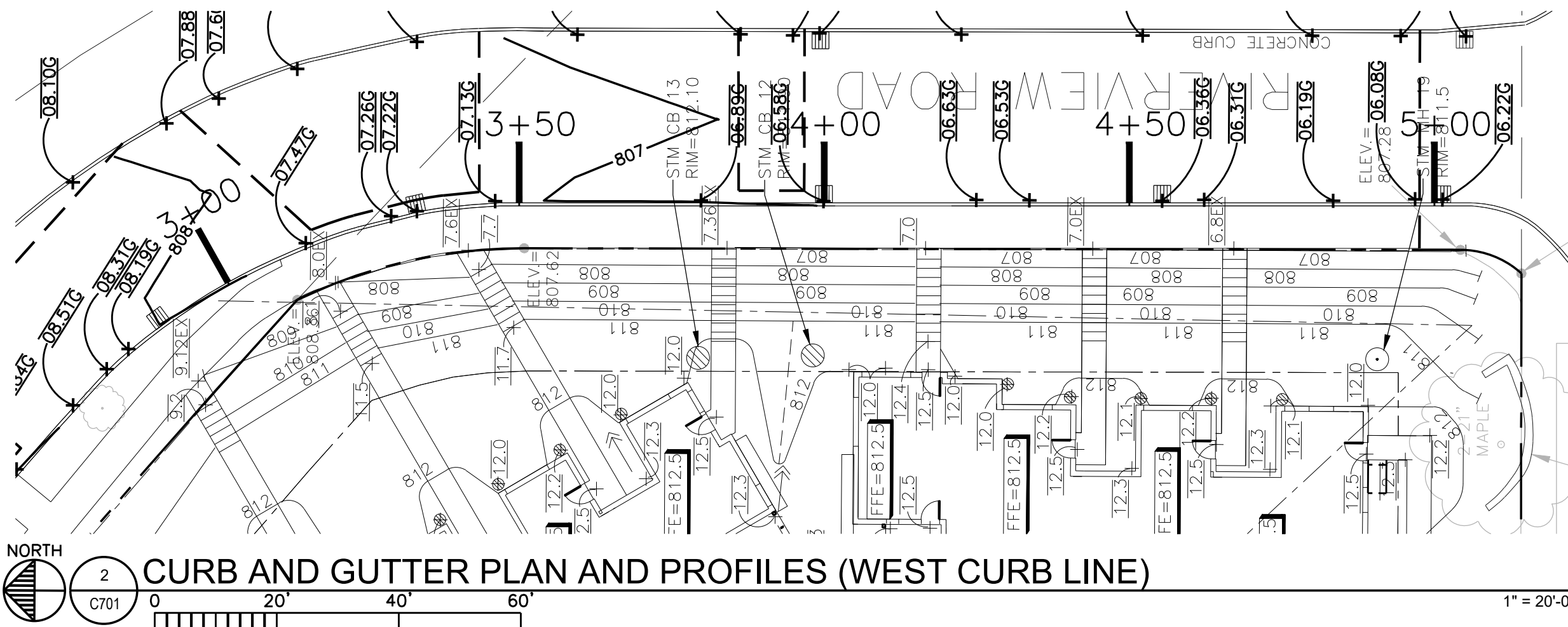
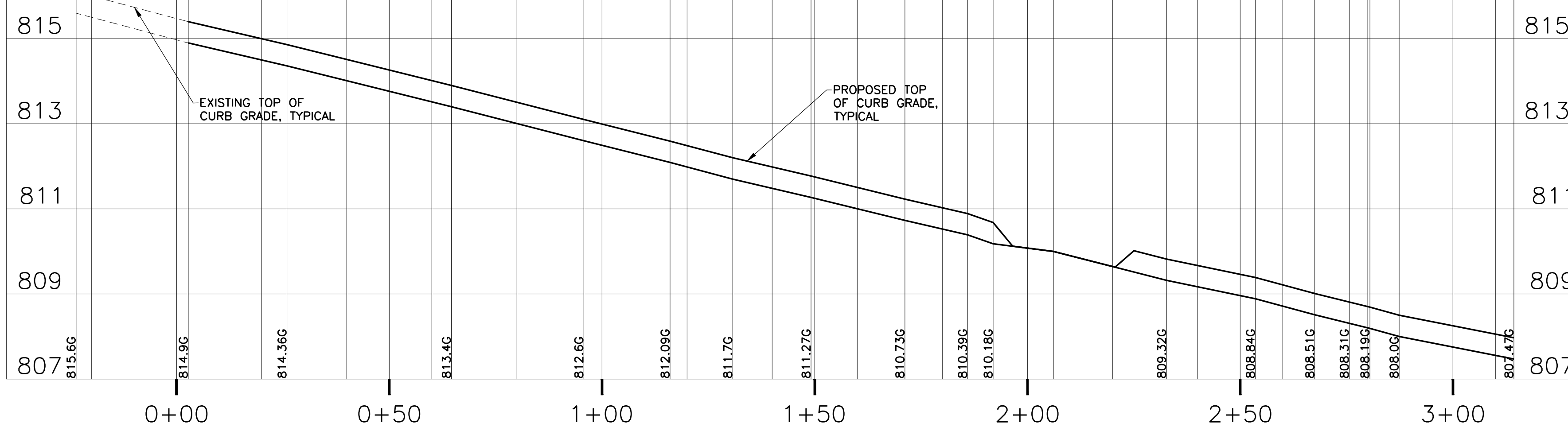
CURB PROFILE

C701



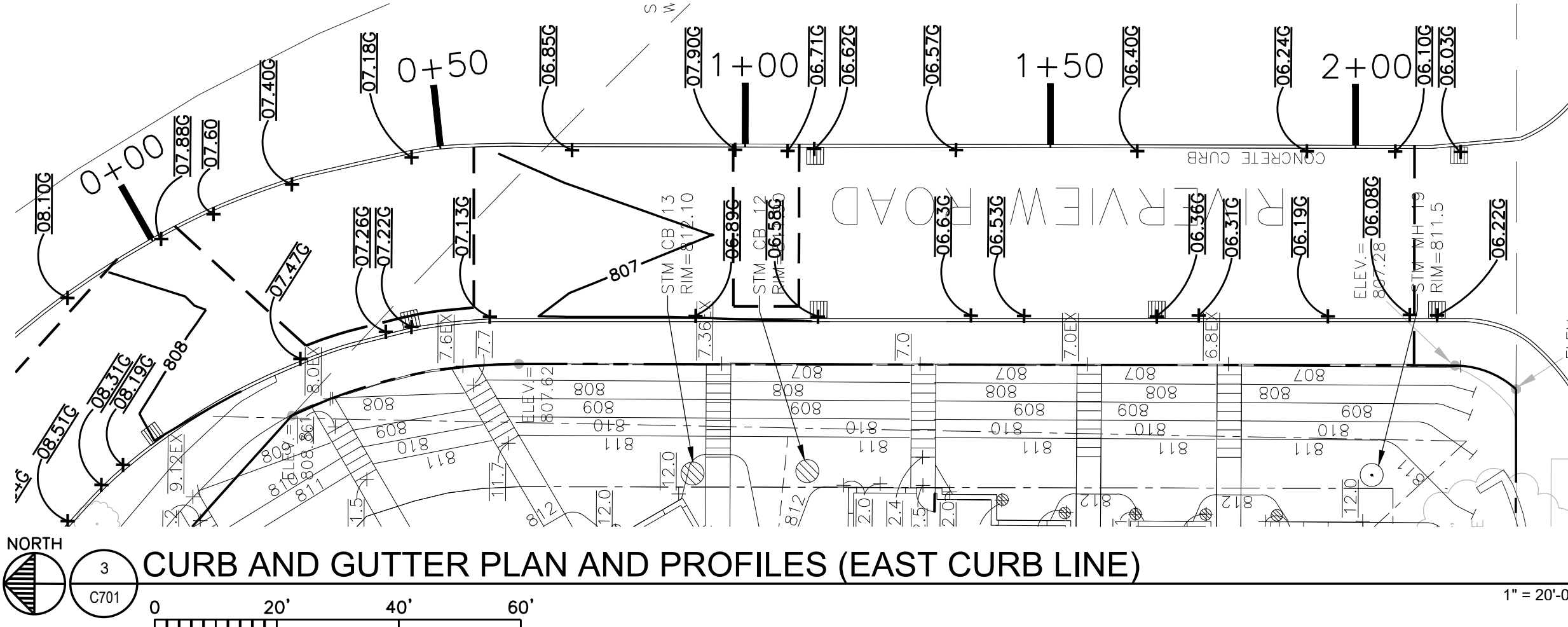
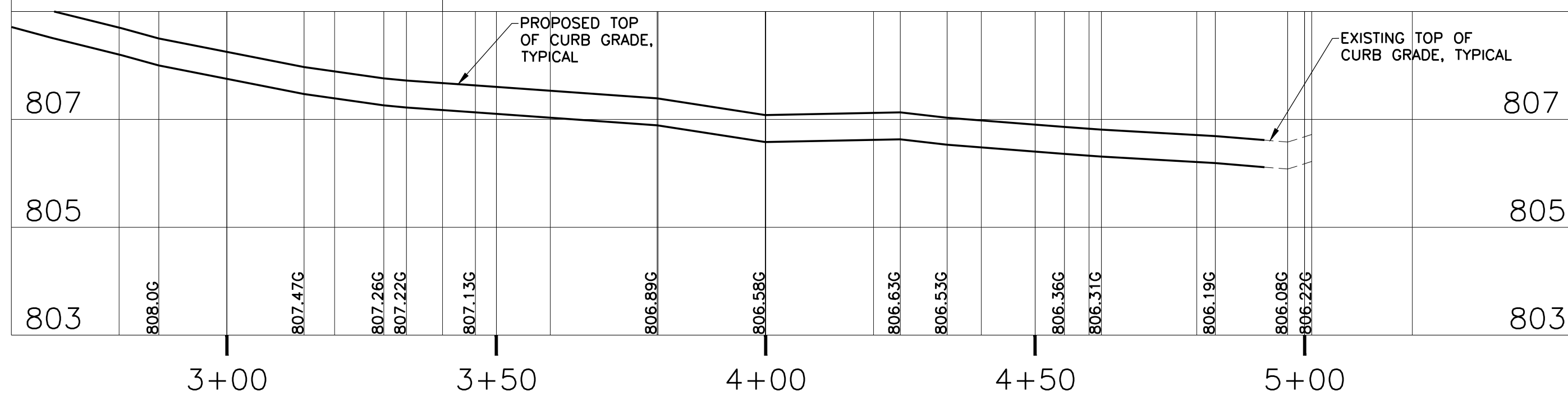
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VERTICAL 1"=2'
HORIZONTAL 1"=20'

PROFILE-RIVER ROAD CURB AND GUTTER LINE



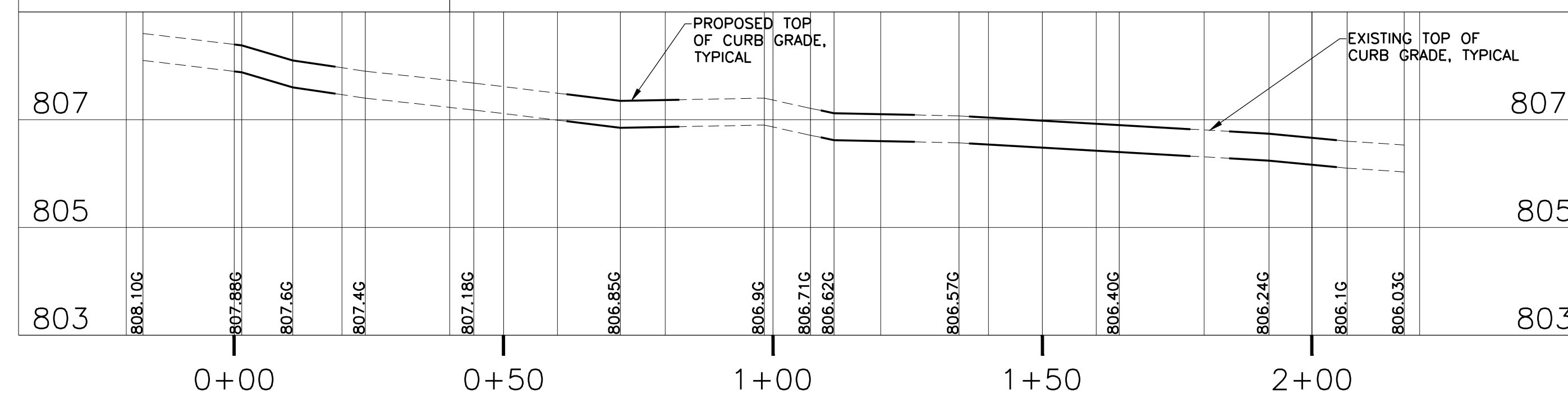
SCALE
VERTICAL 1"=2'
HORIZONTAL 1"=20'

**PROFILE-RIVERVIEW ROAD CURB AND GUTTER LINE
(WEST CURB LINE)**



SCALE
VERTICAL 1"=2'
HORIZONTAL 1"=20'

**PROFILE-RIVERVIEW ROAD CURB AND GUTTER LINE
(EAST CURB LINE)**



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 Print Names: **RHONDA S. PIERCE**
 Date: **05-08-2017** License No.: **41333**

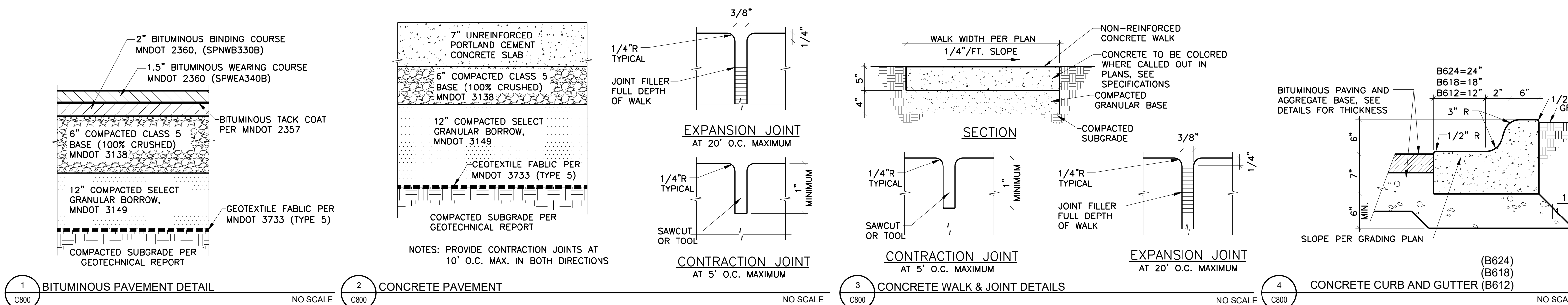
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	04-21-2017	100% DD
	05-08-2017	90% CD
	05-26-2017	GC 90% REVIEW SET

PROJECT NO:	17-003
PROJECT PHASE	90% GC
DRAWN BY:	CLG
CHECKED BY:	RSP

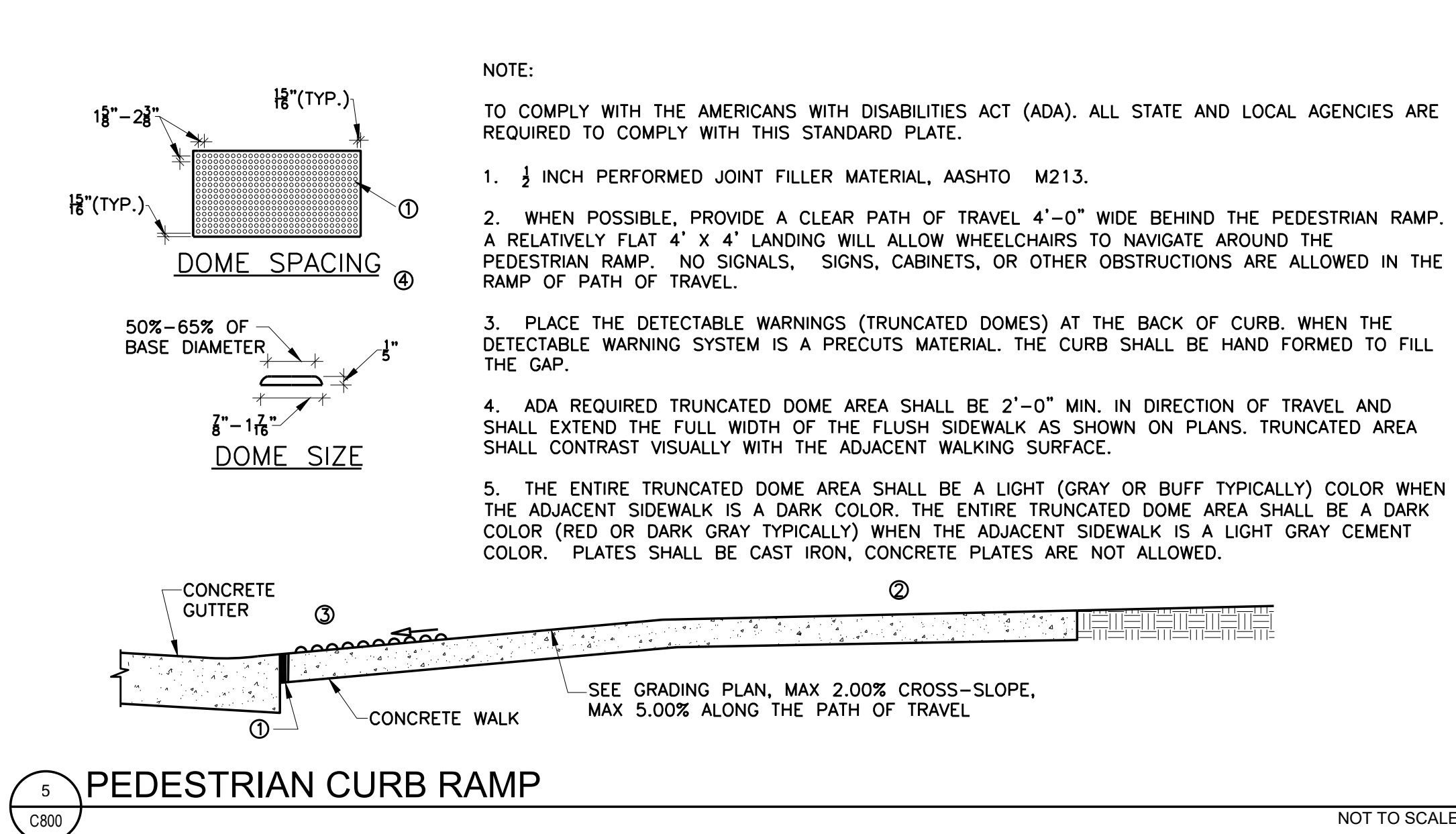
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CIVIL DETAILS

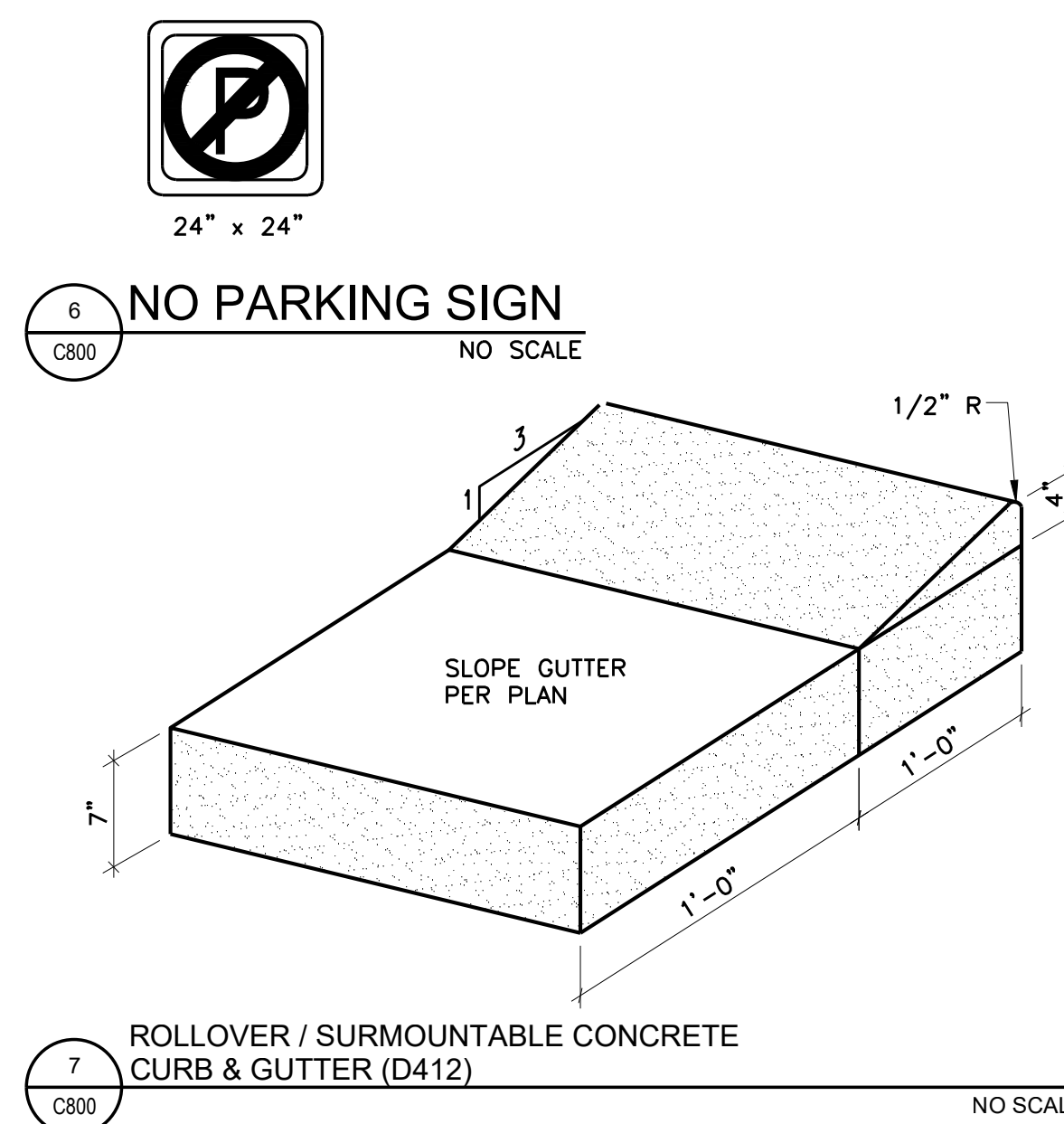
C800



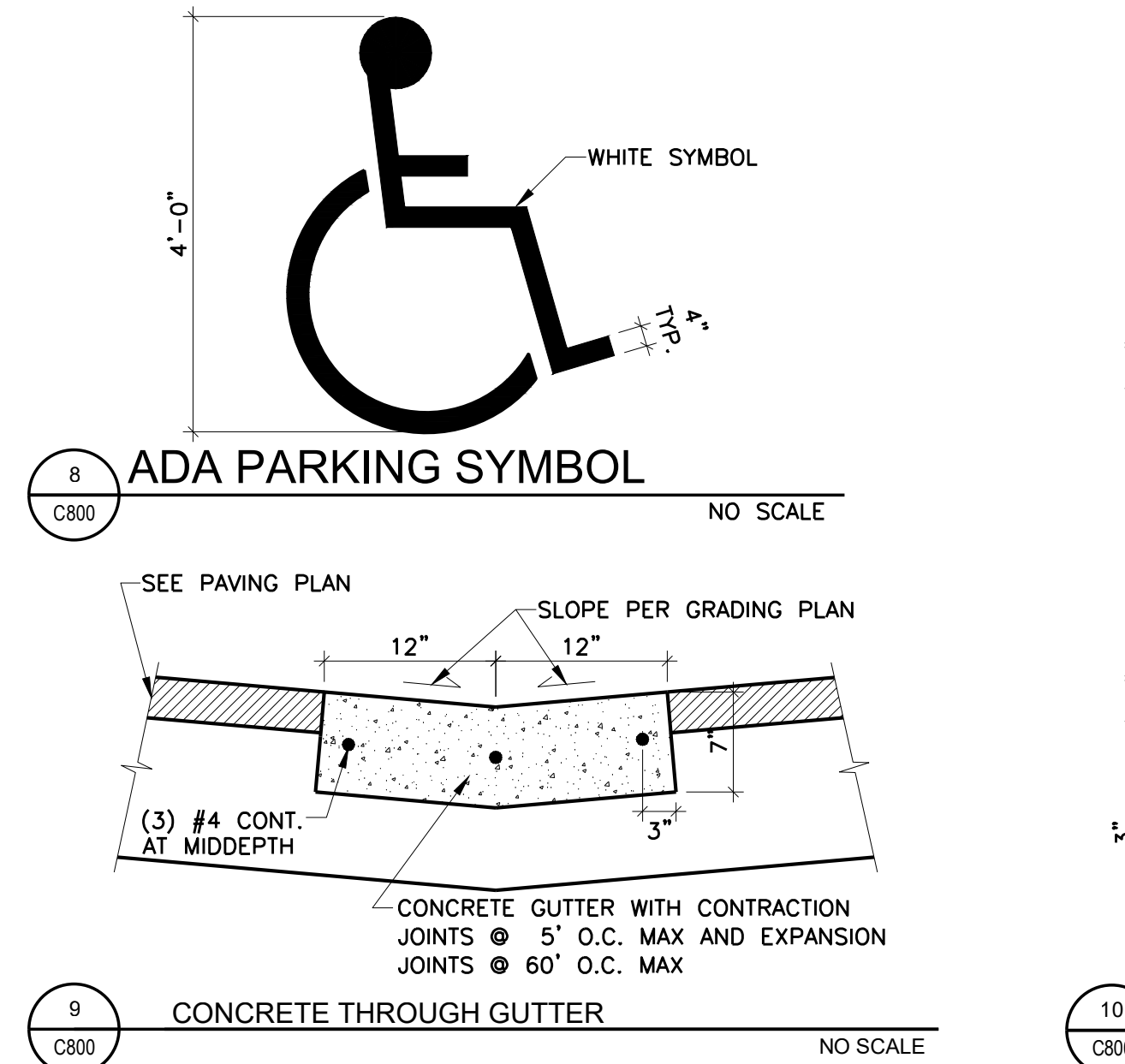
1 BITUMINOUS PAVEMENT DETAIL NO SCALE
 2 CONCRETE PAVEMENT NO SCALE
 3 CONCRETE WALK & JOINT DETAILS NO SCALE
 4 CONCRETE CURB AND GUTTER (B624) (B618) (B612) NO SCALE



5 PEDESTRIAN CURB RAMP NOT TO SCALE
 6 DOME SPACING
 7 DOME SIZE



8 NO PARKING SIGN NO SCALE
 9 ADA PARKING SYMBOL NO SCALE
 10 ROLLOVER / SURMOUNTABLE CONCRETE CURB & GUTTER (D412) NO SCALE



11 CONCRETE THROUGH GUTTER NO SCALE
 12 ACCESSIBLE PARKING STALL SIGN NO SCALE

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MINNEAPOLIS, MN 55417

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Date: 05-08-2017 License No.: 41333

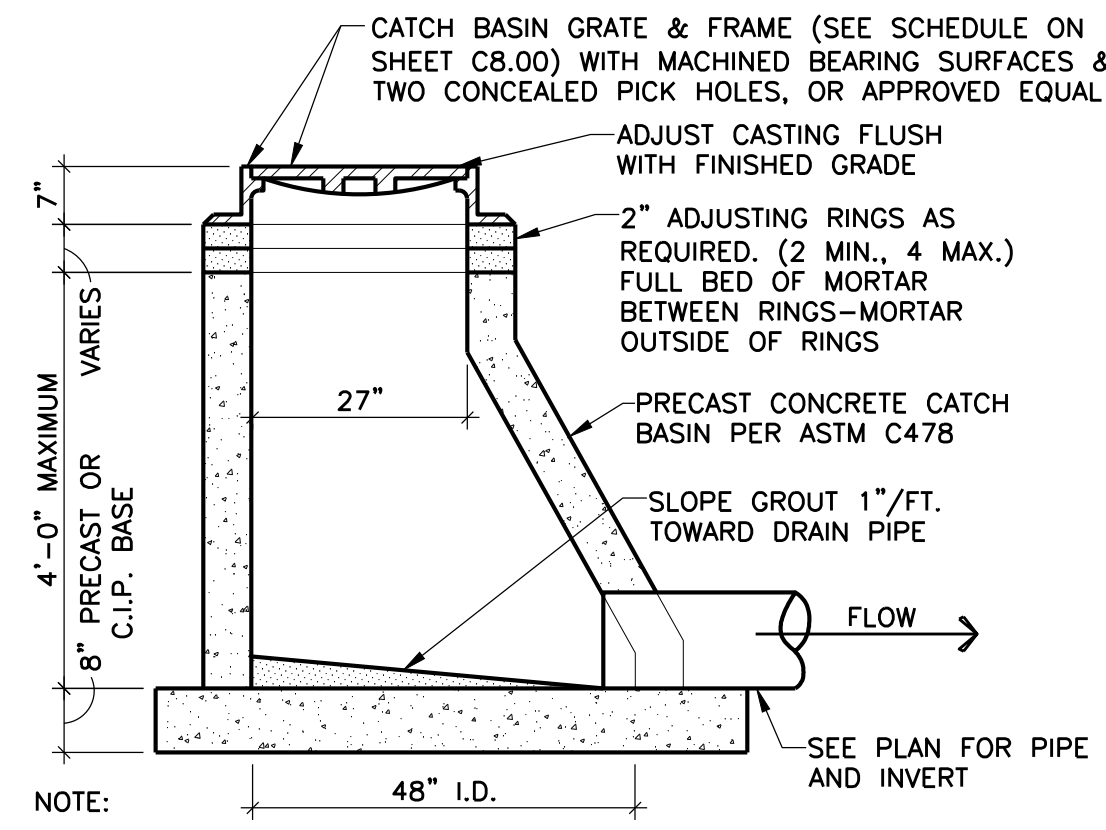
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	05-08-2017	90% CD
	05-26-2017	GC 90% REVIEW SET

PROJECT NO:	17-003
PROJECT PHASE:	90% GC
DRAWN BY:	CLG
CHECKED BY:	RSP

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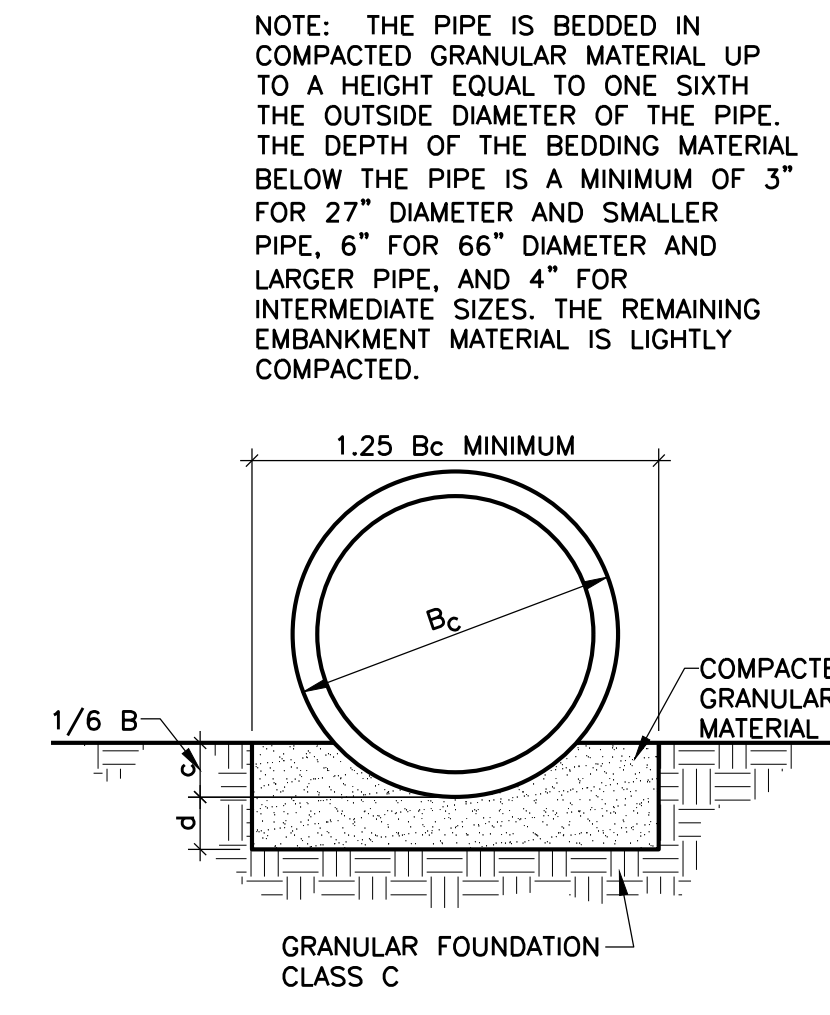
CIVIL DETAILS

C801

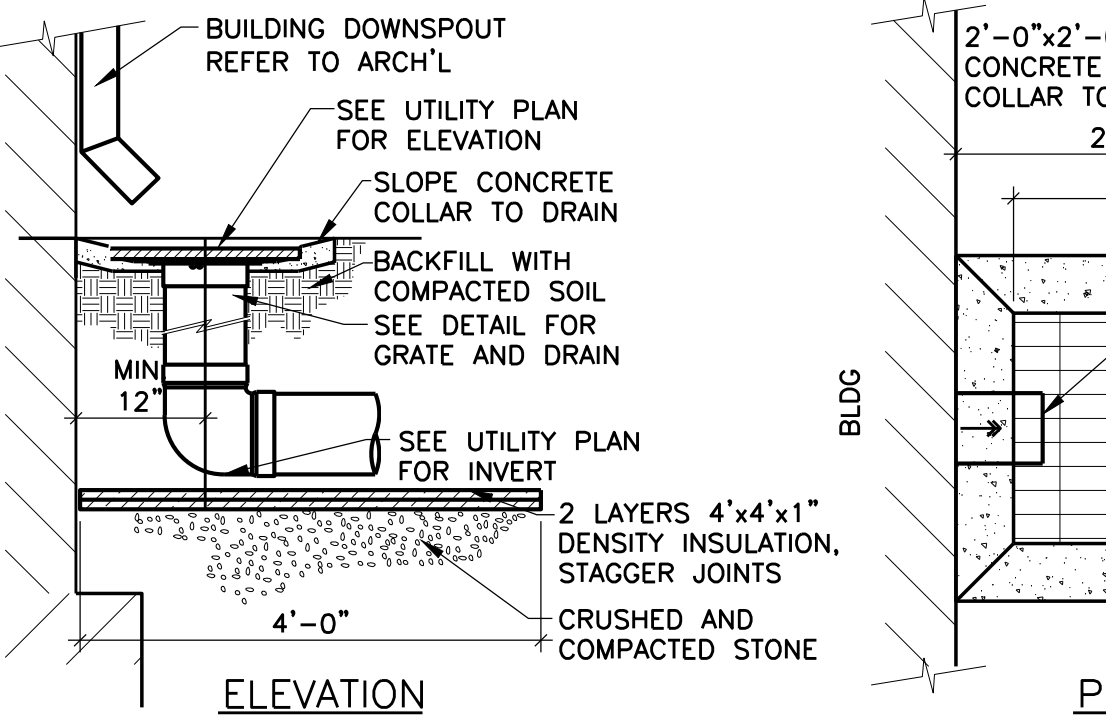


- NOTE:
1. REINFORCING SHALL BE A MINIMUM OF A SINGLE LINE WIRE FABRIC HAVING AN AREA OF NOT LESS THAN 0.12 SQ. IN. PER FOOT OF HEIGHT.
 2. ALL STORM SEWER PIPING RUNS SHALL USE RESILIENT RUBBER JOINTS AT PIPE CONNECTIONS TO CATCH BASINS FOR WATERTIGHT CONNECTION PER PLUMBING CODE.

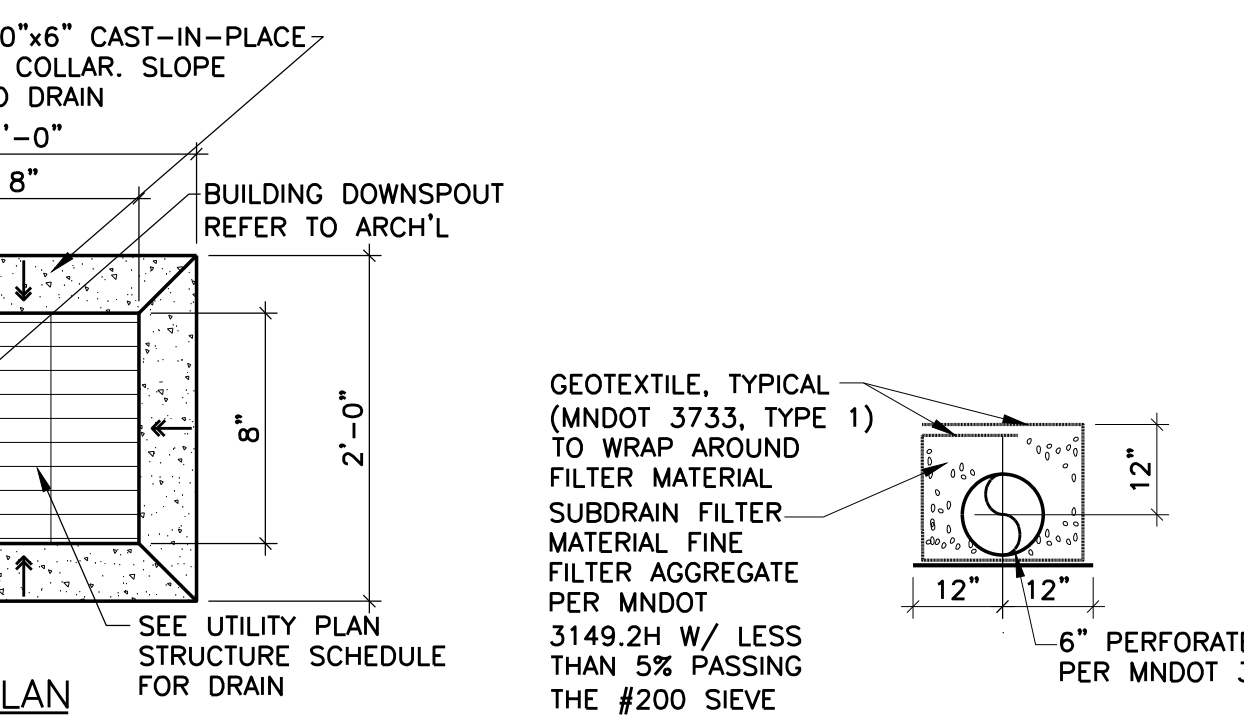
3 SHALLOW SEWER MANHOLE
C801 NO SCALE



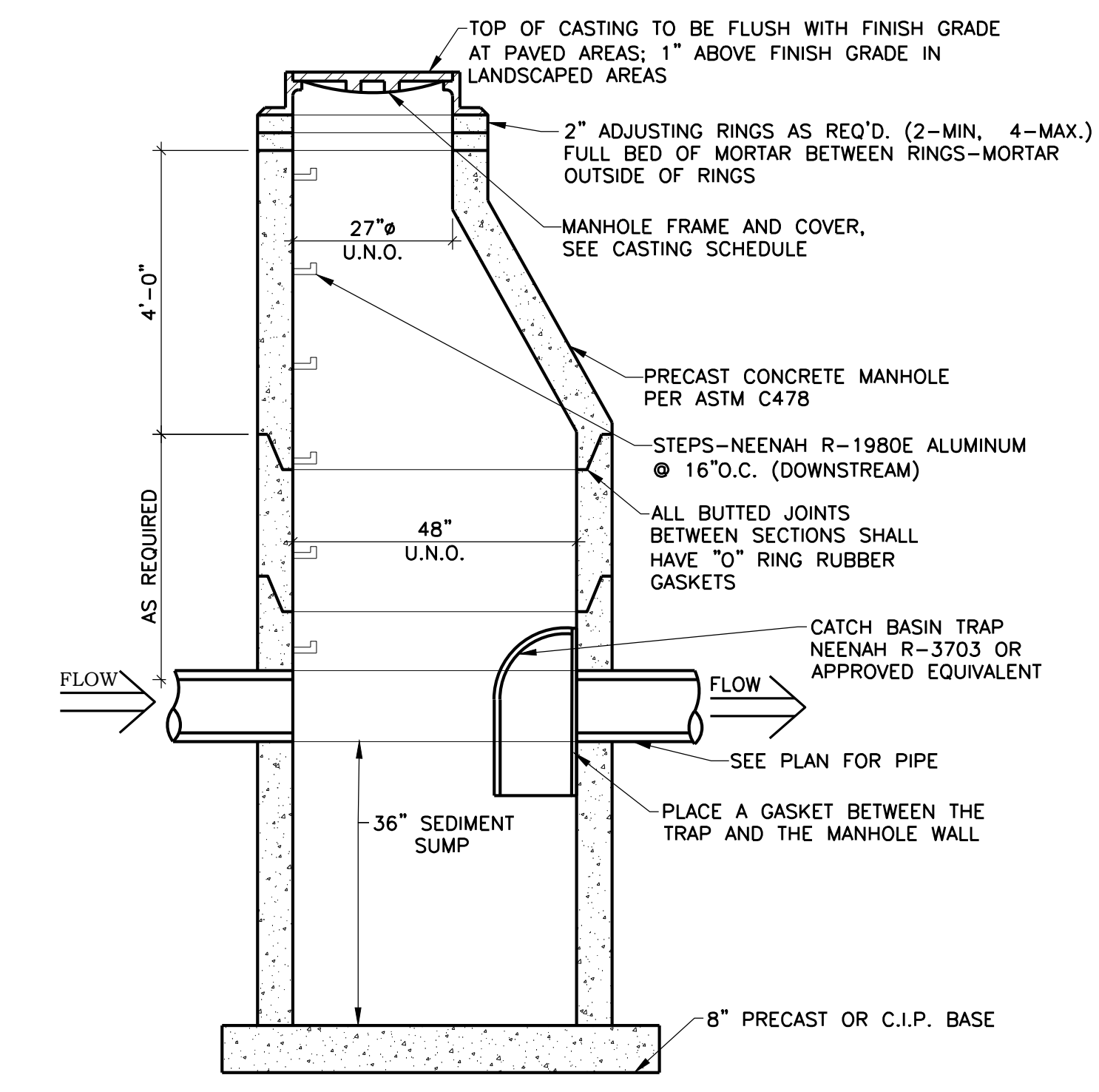
5 CLASS C BEDDING
C801 NO SCALE



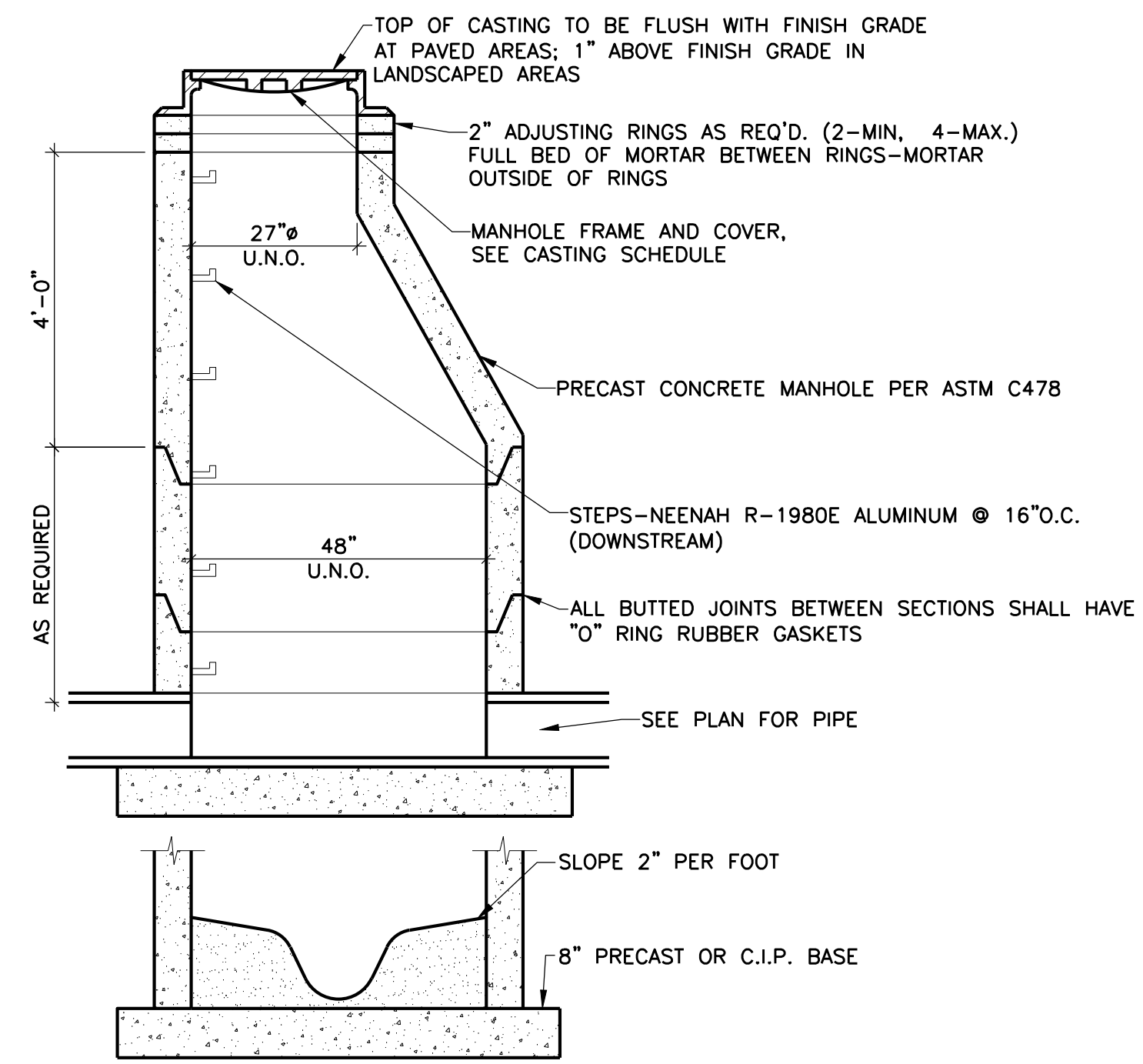
4 AREA DRAIN AT ROOF DOWNSPOUT
C801 NO SCALE



6 DRAINTILE
C801 NO SCALE

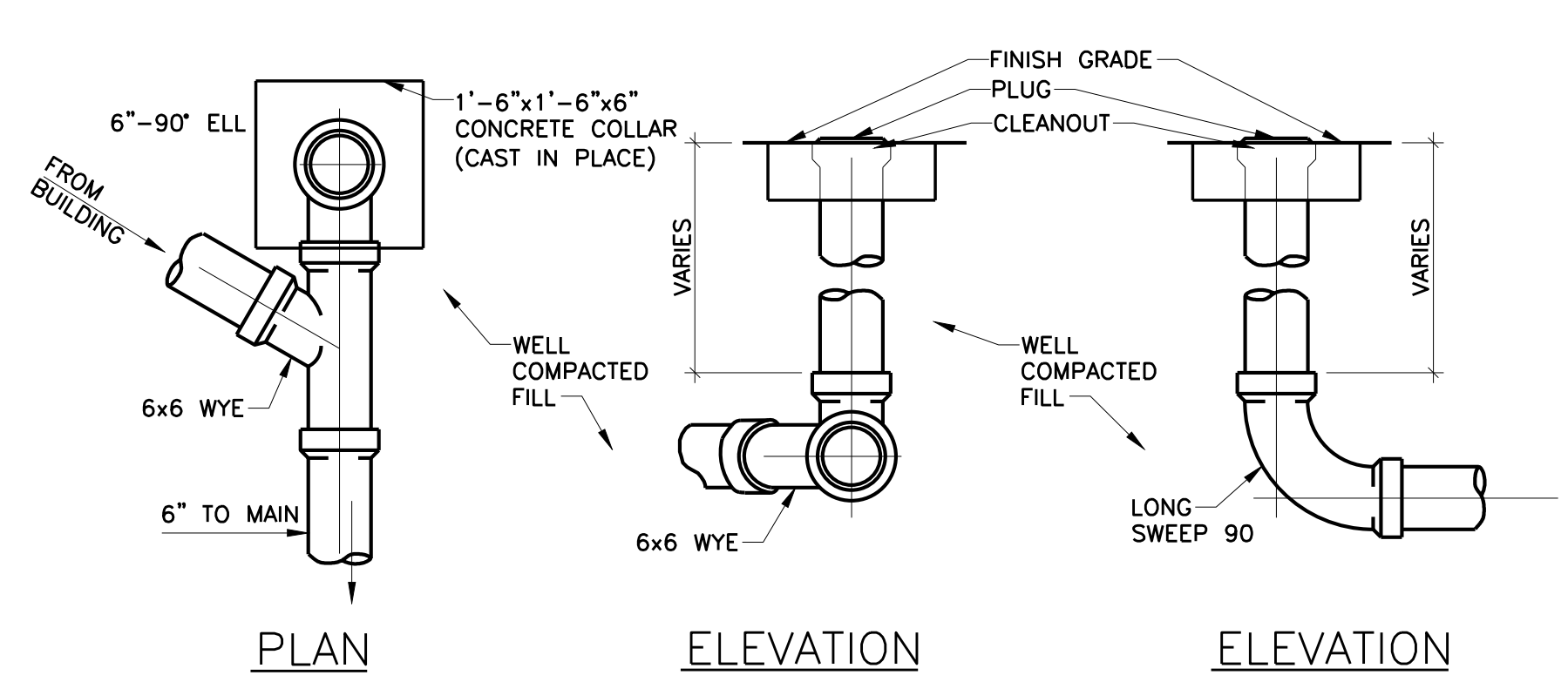


1 MANHOLE SUMP
C801 NO SCALE

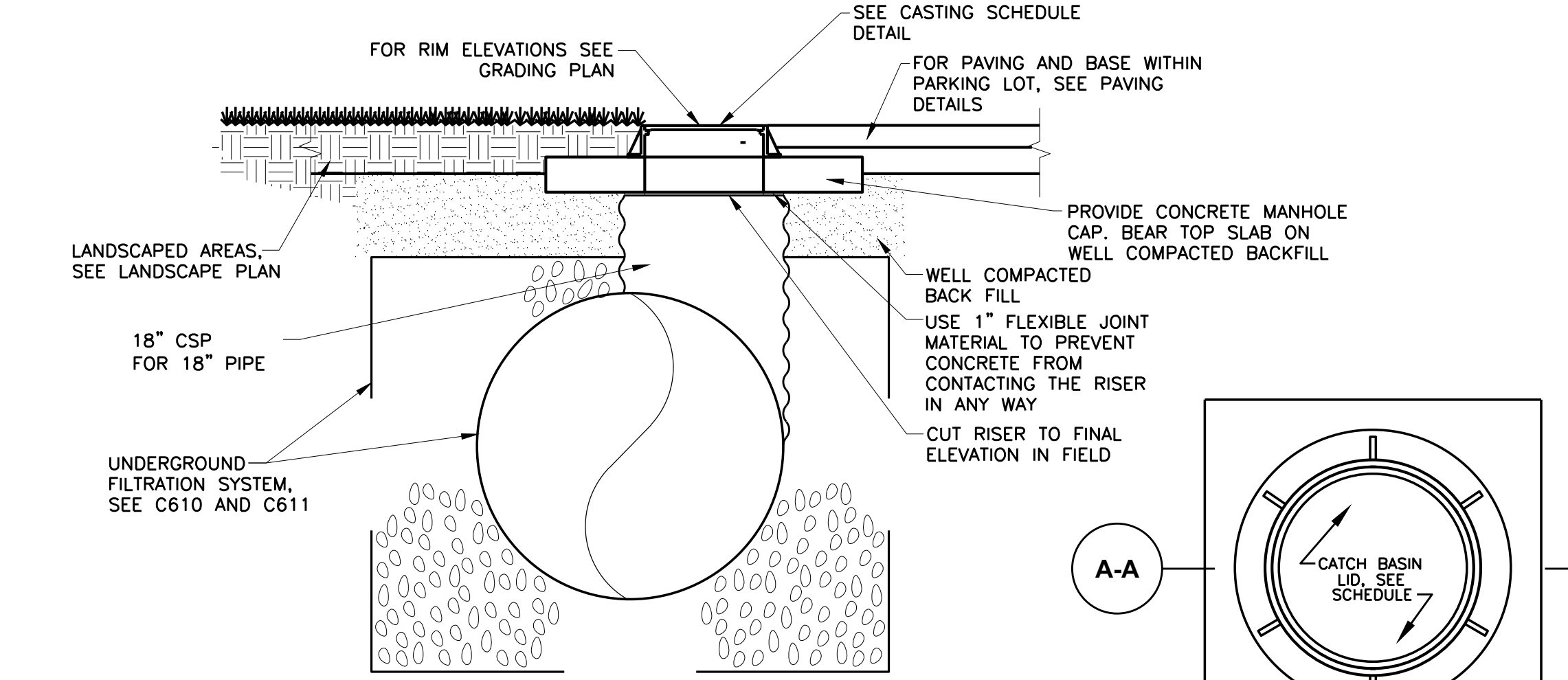


- NOTES:
1. MANHOLES 8' OR DEEPER - THE PRECAST SECTION IMMEDIATELY BELOW THE CONCRETE SECTION SHALL BE 1'-0" HIGH.
 2. PROVIDE STEPS IN MANHOLES OVER 4'-0" IN DEPTH.
 3. REINFORCING SHALL BE A MINIMUM OF A SINGLE LINE WIRE FABRIC HAVING AN AREA OF NOT LESS THAN 0.12 SQ. IN. PER FOOT OF HEIGHT.
 4. PROVIDE SNAP-IN BOOT AT ALL SANITARY SEWER CONNECTIONS TO MANHOLES.
 5. ALL STORM SEWER PIPING RUNS SHALL USE RESILIENT RUBBER JOINTS AT PIPE CONNECTIONS TO CATCH BASINS FOR WATERTIGHT CONNECTION PER PLUMBING CODE.

2 SEWER MANHOLE
C801 NO SCALE

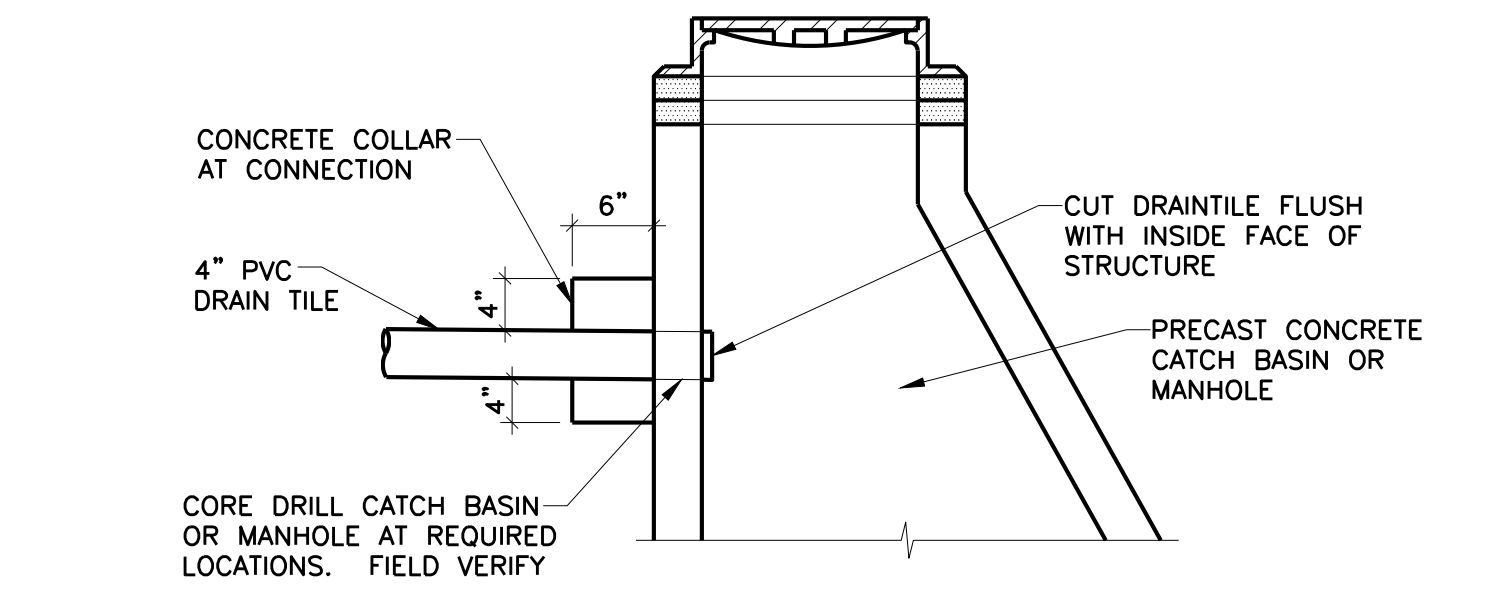


7 DRAINTILE CLEANOUT
C801 NOT TO SCALE



- NOTES:
1. THE CONCRETE CAP SHALL BE PLACED SO THAT THE LOADS ARE TRANSMITTED TO THE SOIL, AND NOT THE RISER.
 2. THE CONCRETE CAP SHALL BE SIZED TO PROVIDE AN ADEQUATE BOTTOM AREA BASED ON THE ALLOWABLE BEARING CAPACITY OF THE SOIL.
 3. THE FLEXIBLE JOINT MATERIAL TO BE STIFF ENOUGH SO THAT THE CONCRETE CAN NEVER ENGAGE WITH THE RISER CORRUGATIONS.

9 ACCESS RISER DETAIL
C801 NO SCALE

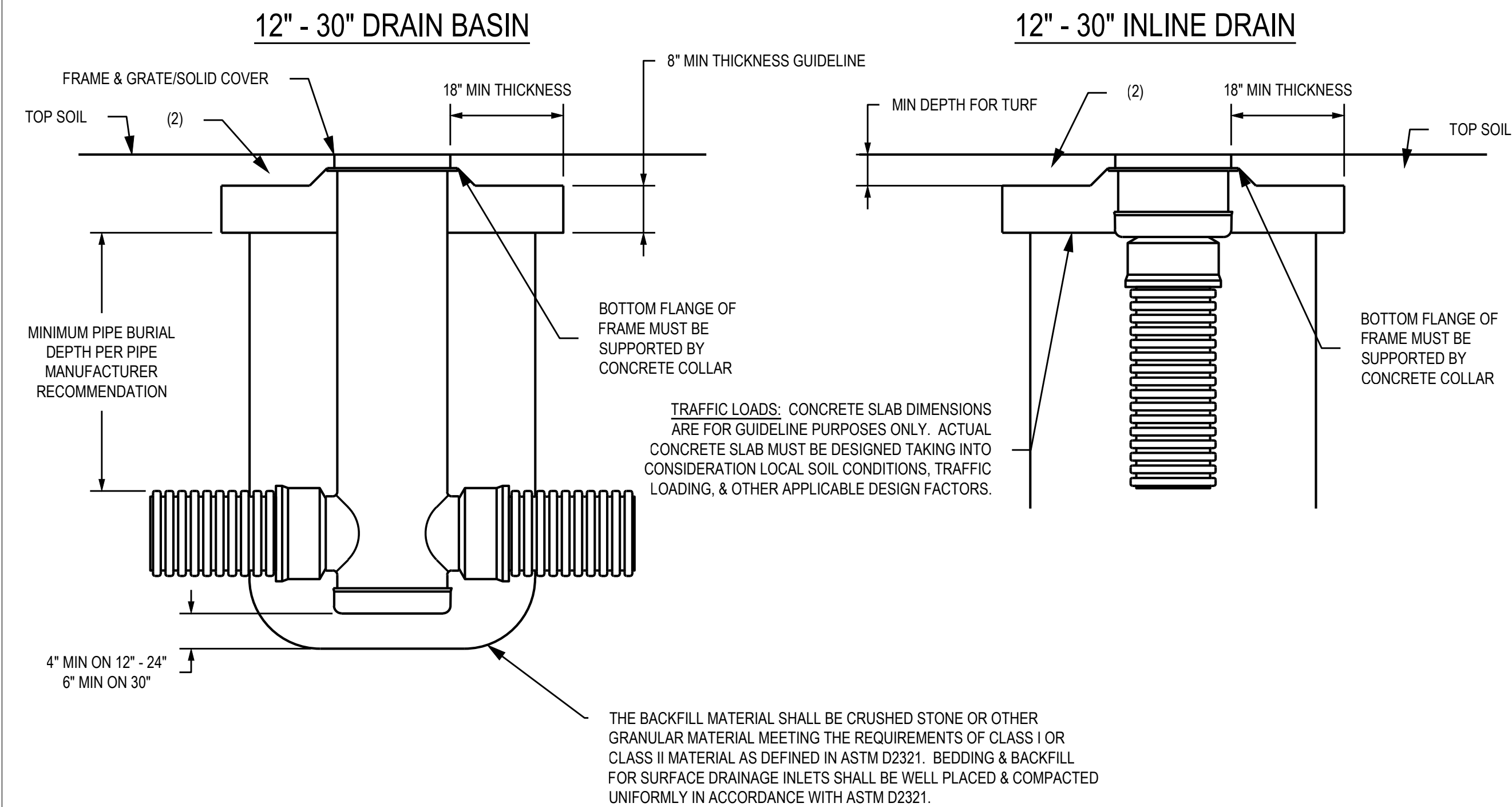


- NOTE:
1. ALL STORM SEWER PIPING RUNS SHALL USE RESILIENT RUBBER JOINTS AT PIPE CONNECTIONS TO CATCH BASINS FOR WATERTIGHT CONNECTION PER PLUMBING CODE.

8 DRAINTILE TO CB/MH CONNECTION
C801 NO SCALE

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NYLOPLAST TURF TRAFFIC INSTALLATION

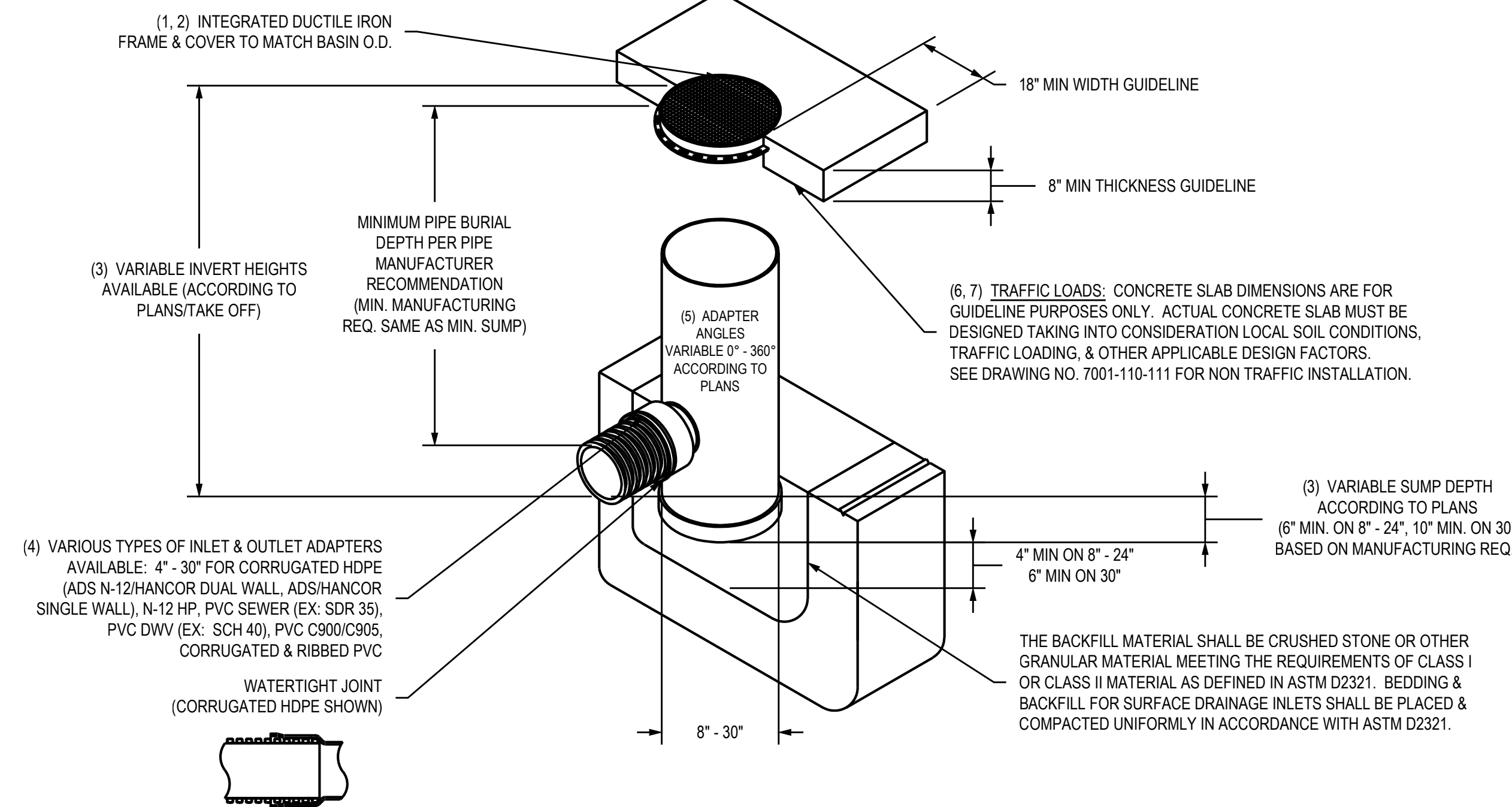


- GRATES/SOLID COVERS SHALL MEET H-20 LOAD RATING FOR 30' PEDESTRIAN & 12" - 30" STANDARD & SOLID
- DESIGN SHOULD ACCOUNT FOR ROOT DEPTH TO ALLOW TURF TO GROW AND PREVENT EROSION AROUND GRATE SO THAT HAZARDS DO NOT FORM.

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DATE	01-05-09		
REVISED BY	NMH	PROJECT NO./NAME	
DATE	12-03-14		
DWG SIZE	A	SCALE	1:25 SHEET 1 OF 1
TITLE		12 IN - 30 IN DRAIN BASIN & INLINE DRAIN TURF TRAFFIC INSTALLATION	
DWG NO.	7001-110-340	REV	E

NYLOPLAST DRAIN BASIN WITH SOLID COVER

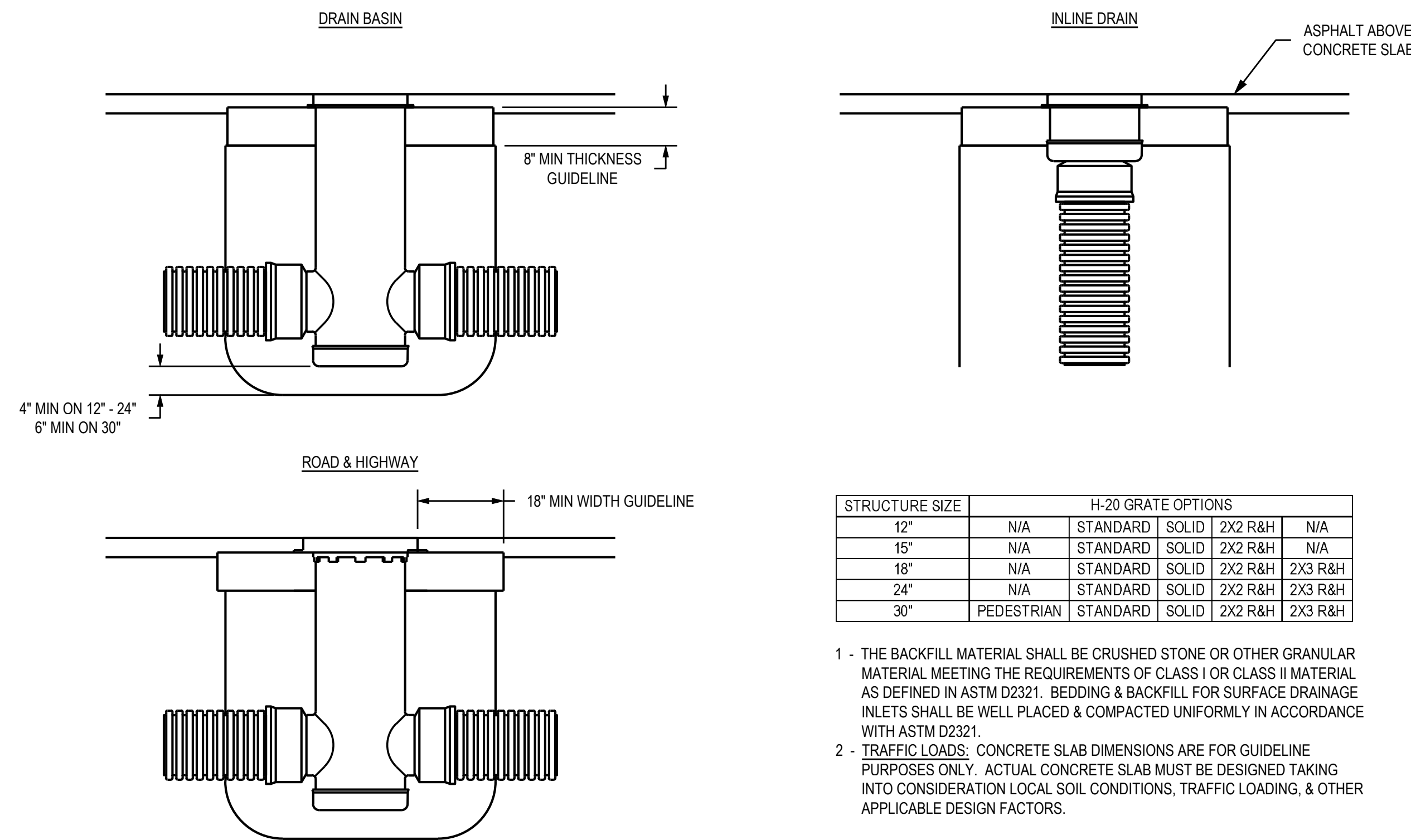


- 8" - 30" SOLID COVERS SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- 12" - 30" FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- 8" & 10" SOLID COVERS FIT DIRECTLY ONTO DRAIN BASINS WITH THE USE OF A PVC BODY TOP. SEE DRAWING NO. 7001-110-045.
- DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065.
- DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL, N-12 HP, & PVC SEWER (EX: SDR 35), PVC DWV (EX: SCH 40), PVC C900/C905, CORRUGATED & RIBBED PVC).
- ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.
- 12" - 30" SOLID COVERS SHALL MEET H-20 LOAD RATING.
- 8" & 10" SOLID COVERS ARE RATED FOR LIGHT DUTY APPLICATIONS ONLY; NO CONCRETE COLLAR NEEDED FOR LIGHT DUTY RATING.

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DATE	09-14-07		
REVISED BY	CCA	PROJECT NO./NAME	
DATE	09-04-13		
DWG SIZE	A	SCALE	1:40 SHEET 1 OF 1
TITLE		DRAIN BASIN WITH SOLID COVER QUICK SPEC INSTALLATION DETAIL	
DWG NO.	7001-110-298	REV	C

ASPHALT INSTALLATION



STRUCTURE SIZE	H-20 GRATE OPTIONS				
12"	N/A	STANDARD	SOLID	2X2 R&H	N/A
15"	N/A	STANDARD	SOLID	2X2 R&H	N/A
18"	N/A	STANDARD	SOLID	2X2 R&H	2X3 R&H
24"	N/A	STANDARD	SOLID	2X2 R&H	2X3 R&H
30"	PEDESTRIAN	STANDARD	SOLID	2X2 R&H	2X3 R&H

- THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I OR CLASS II MATERIAL AS DEFINED IN ASTM D2321. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE WELL PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.
- TRAFFIC LOADS: CONCRETE SLAB DIMENSIONS ARE FOR GUIDELINE PURPOSES ONLY. ACTUAL CONCRETE SLAB MUST BE DESIGNED TAKING INTO CONSIDERATION LOCAL SOIL CONDITIONS, TRAFFIC LOADING, & OTHER APPLICABLE DESIGN FACTORS.

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DATE	4-4-06		
REVISED BY	CCA	PROJECT NO./NAME	
DATE	12-29-11		
DWG SIZE	A	SCALE	1:30 SHEET 1 OF 1
TITLE		DRAIN BASIN, INLINE DRAIN, & ROAD & HIGHWAY (H-20 TRAFFIC LOAD) ASPHALT INSTALLATION DETAIL	
DWG NO.	7001-110-188	REV	D

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Signature: _____
Print Names: RHONDA S. PIERCE
Date: 05-08-2017 License No.: 41333

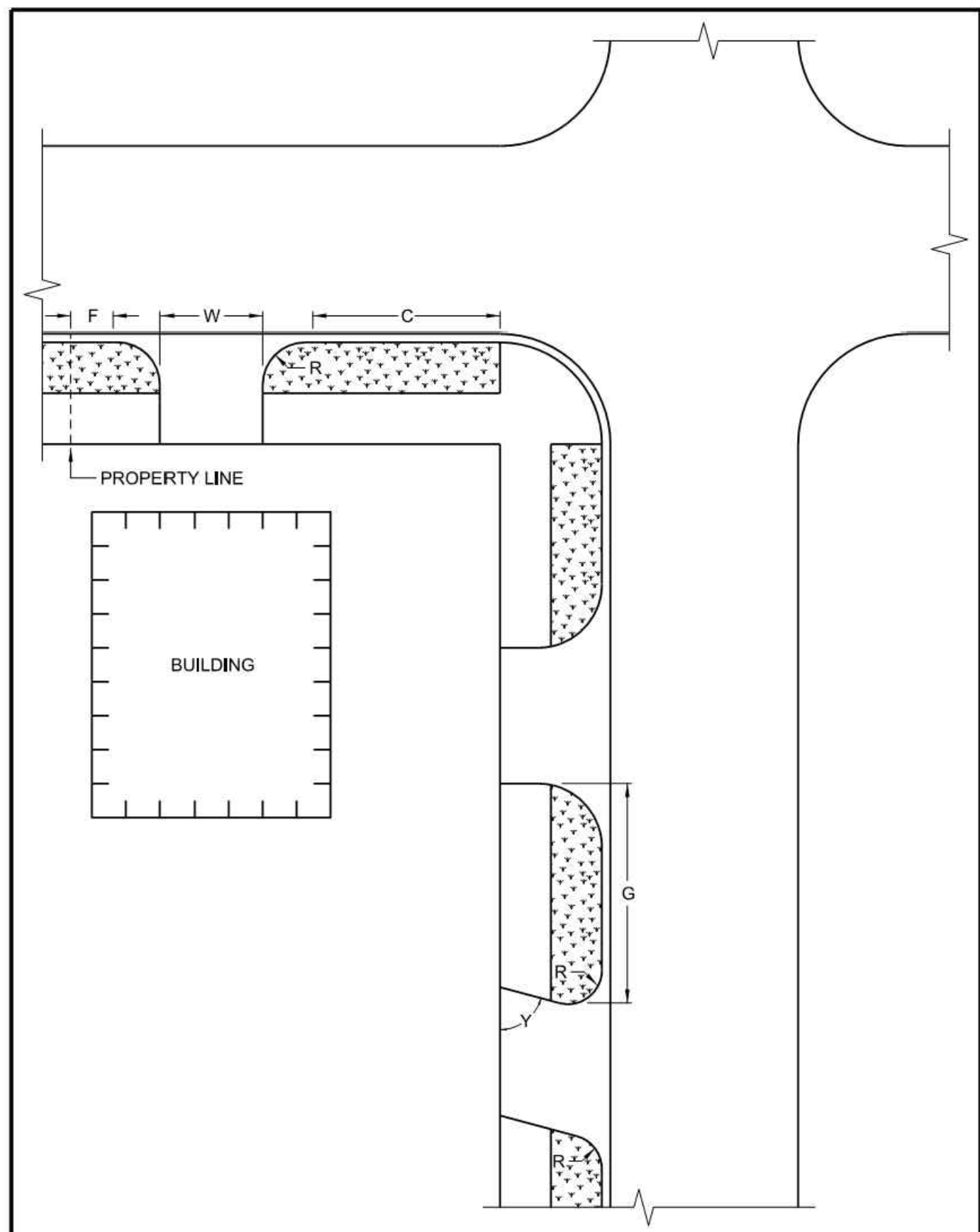
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	04-10-2017	MCWD SUBMITTAL
	04-21-2017	100% DD
	05-08-2017	90% CD
	05-26-2017	GC 90% REVIEW SET

PROJECT NO.	17-003
PROJECT PHASE	90% GC
DRAWN BY:	CLG
CHECKED BY:	RSP

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CIVIL DETAILS

C802



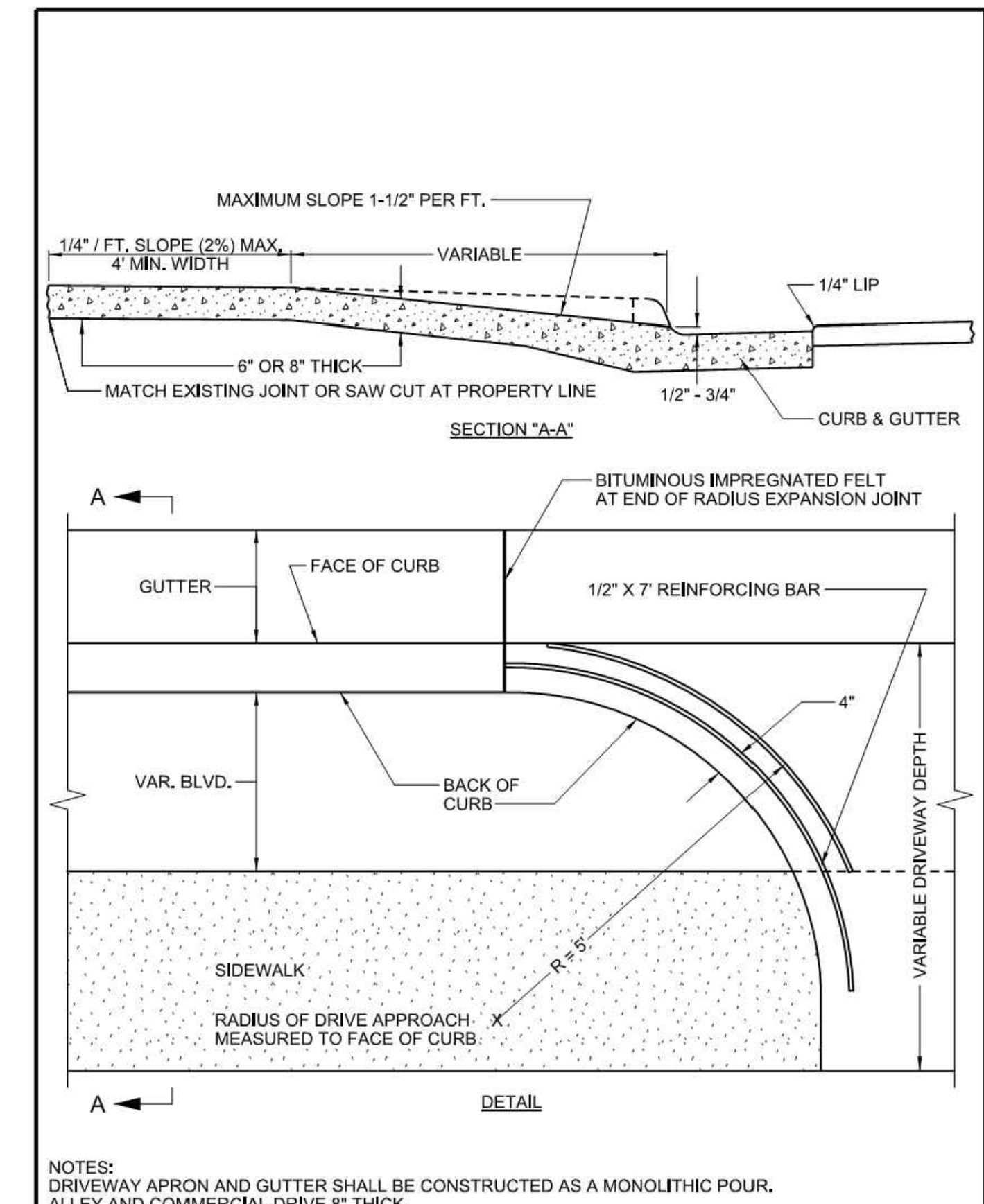
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	DRAWING: JFC DATE: 7/29/14 APPROVED: JSH DATE: 7/29/14		

DRIVE APPROACH DIMENSIONS			
CODE	DIMENSION	RESIDENTIAL	COMMERCIAL
Y	DRIVE APPROACH ANGLE	60-90°	60-90°
W	DRIVE APPROACH WIDTH	12' MIN., 25' MAX.*	12' MIN., 25' MAX.*
R	RADIUS OF CURVATURE OF CURB FOR DRIVE APPROACH	2.5' MIN., 5' MAX.*	5' STD., 5' MAX.*
R1, R2	RADIUS OF CURVATURE	5' MIN., 15' MAX.*	5' MIN., 30' MAX.*
F	COMMON FRONTAGE CLEARANCE	5' MIN.	5' MIN.
G	DISTANCE BETWEEN DOUBLE DRIVE APPROACHES	30' MIN.*	30' MIN.*
C	CORNER CLEARANCE AT THE INTERSECTION OF TWO MAJOR STREETS	30' MIN.*	30' MIN.*
N/A	CORNER CLEARANCE AT ALL OTHER INTERSECTIONS	20' MIN.*	20' MIN.*
N/A	CLEARANCE FROM BUS STOP ZONE	40' MIN.*	40' MIN.*

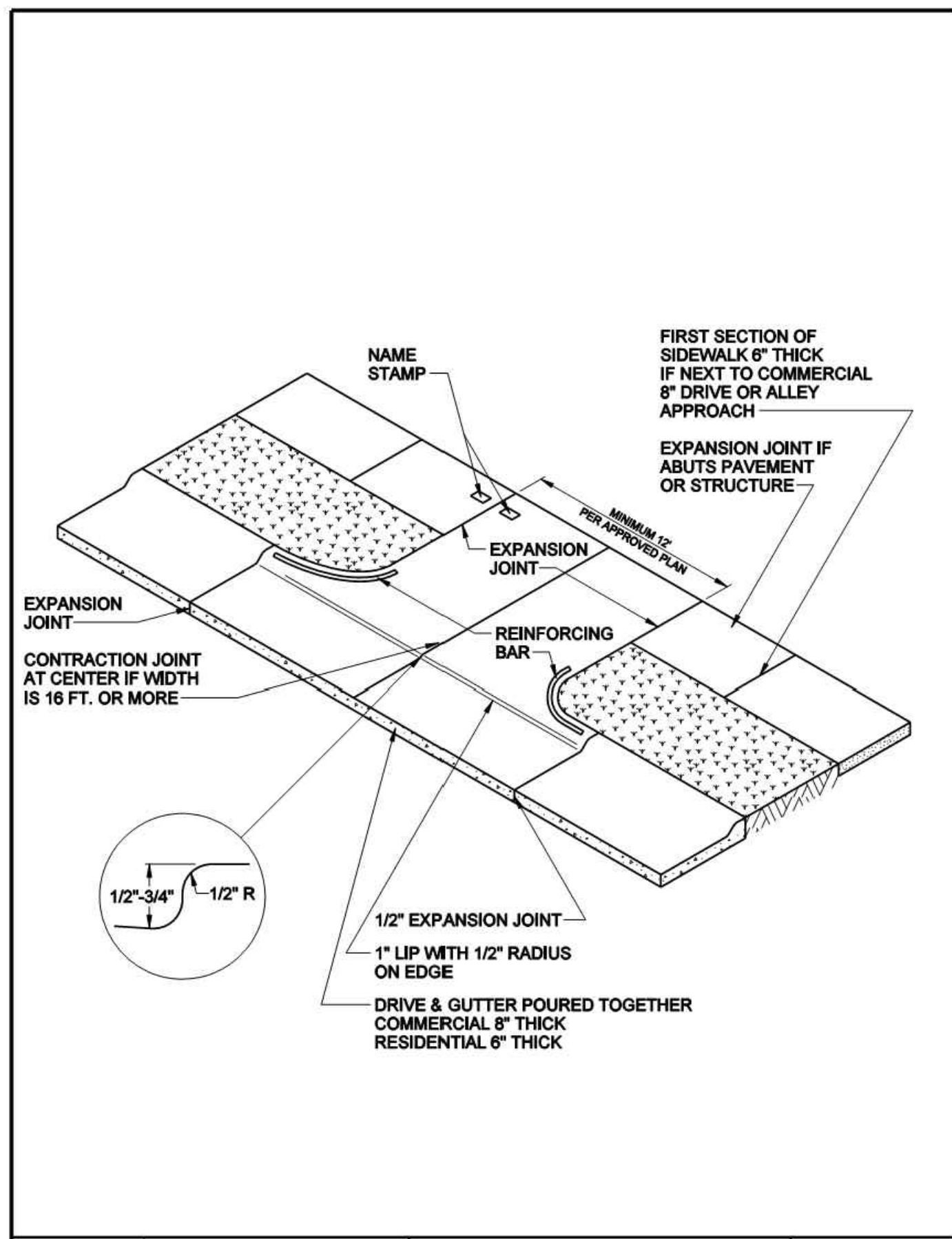
NOTE: PERIODIC CHANGES IN THE ABOVE DIMENSIONS WILL BE MADE AS NECESSARY TO IMPROVE TRAFFIC AND SAFETY ON THE PUBLIC STREETS AND SIDEWALKS.

*OR AS APPROVED BY THE CITY ENGINEER.

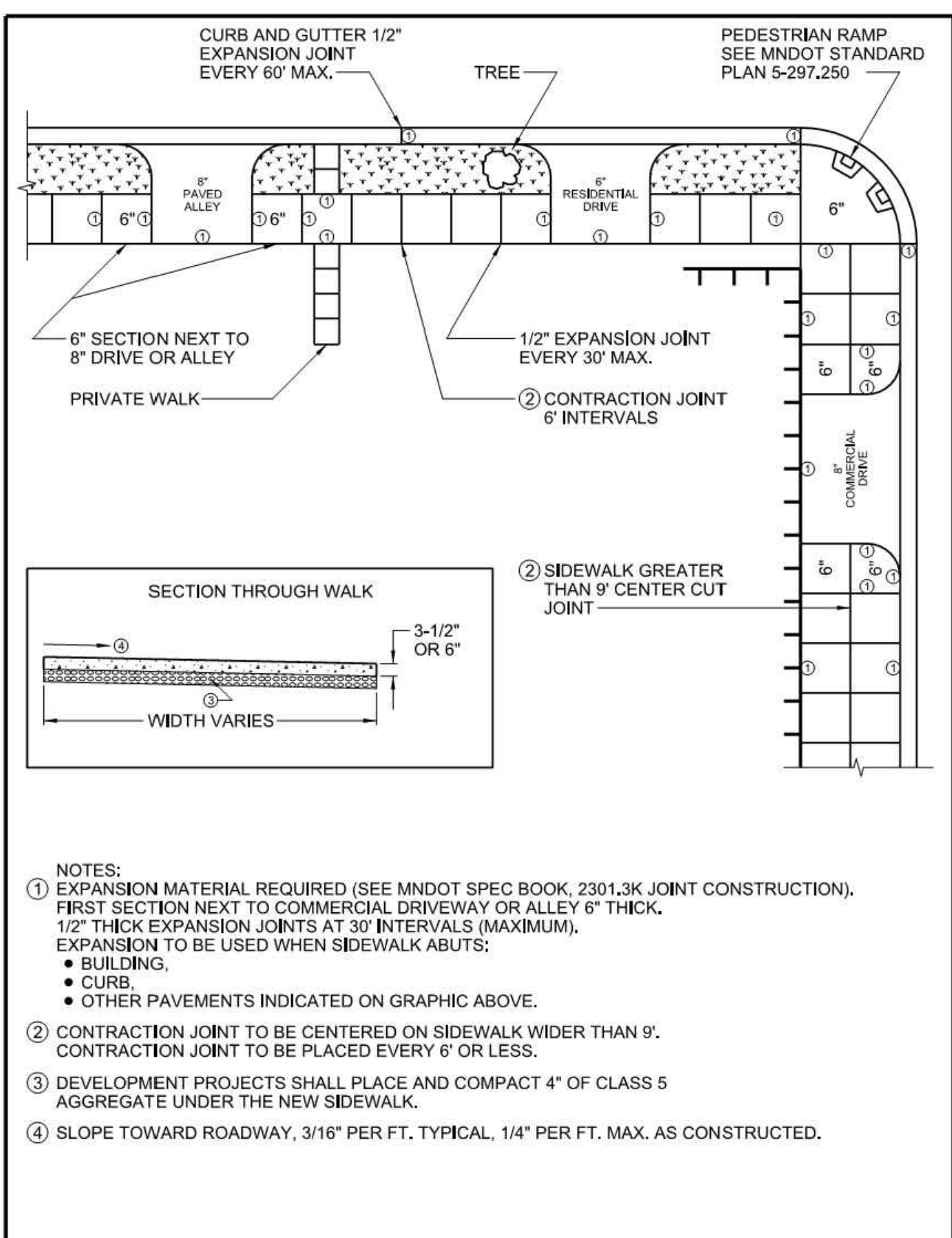
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	DRAWING: JFC DATE: 7/29/14 APPROVED: JSH DATE: 7/29/14		



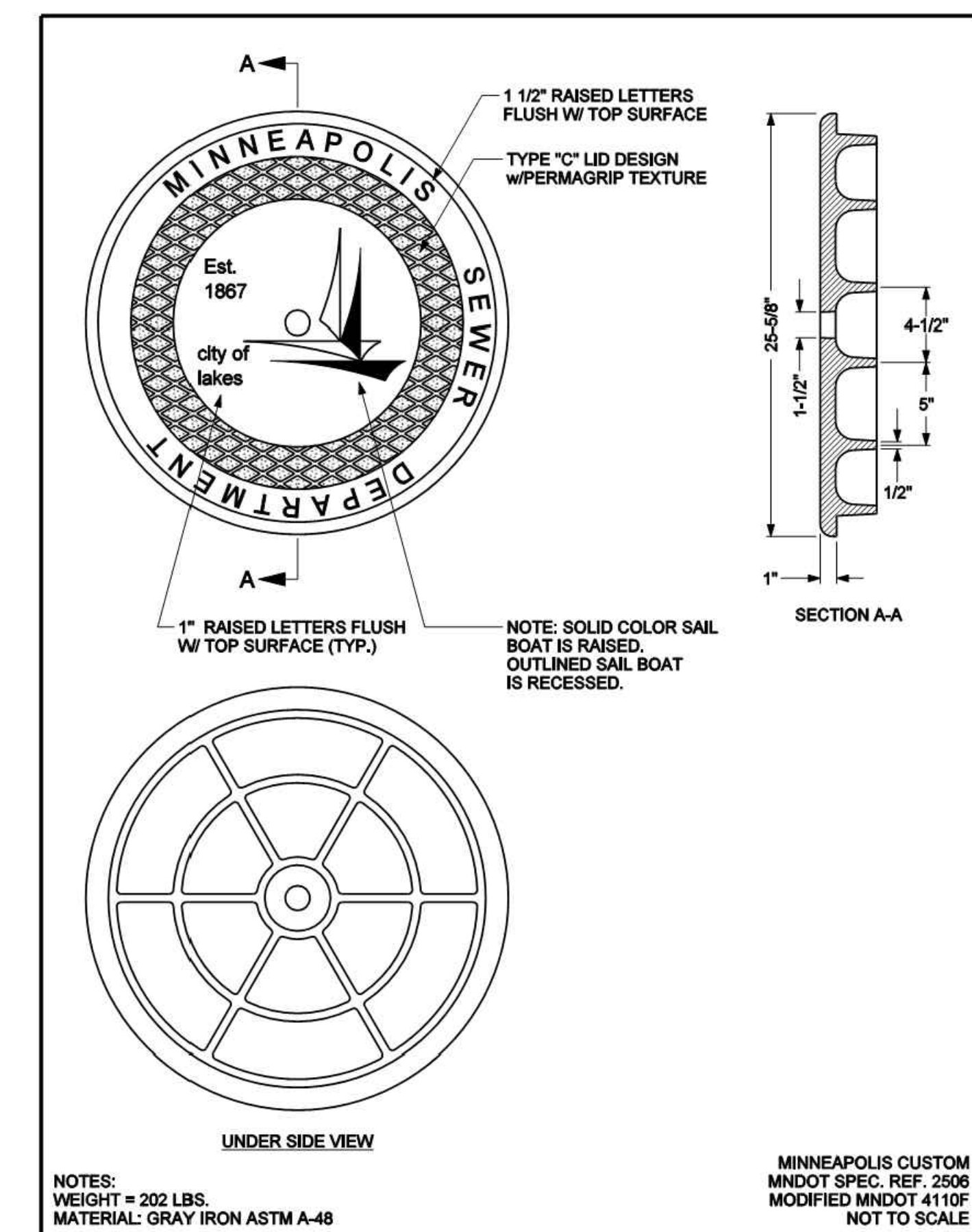
	DRAWING: JFC DATE: 6/12/15 APPR: JSH DATE: 6/29/15	TYPICAL DRIVEWAY CONSTRUCTION	STANDARD PLATE NO. ROAD-2001-R1
	MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS		



	MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS	TYPICAL DRIVEWAY	STANDARD PLATE NO. ROAD-2002
	DRAWING: JFC DATE: 9/10/07 APPROVED: GAS DATE: 5/18/08		



	DRAWING: JFC DATE: 1/4/16 APPR: JSH DATE: 12/30/15	TYPICAL SIDEWALK AND DRIVEWAY CONSTRUCTION	STANDARD PLATE NO. ROAD-2003-R1
	MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS		



	DRAWING: ZTT DATE: 2003 APPROVED: HRS DATE: 12/06	MANHOLE COVER CITY LOGO	STANDARD PLATE NO. SEWR-2000
	MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS		

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	04-10-2017	MCWD SUBMITTAL
	04-21-2017	100% DD
	05-08-2017	90% CD
	05-26-2017	GC 90% REVIEW SET

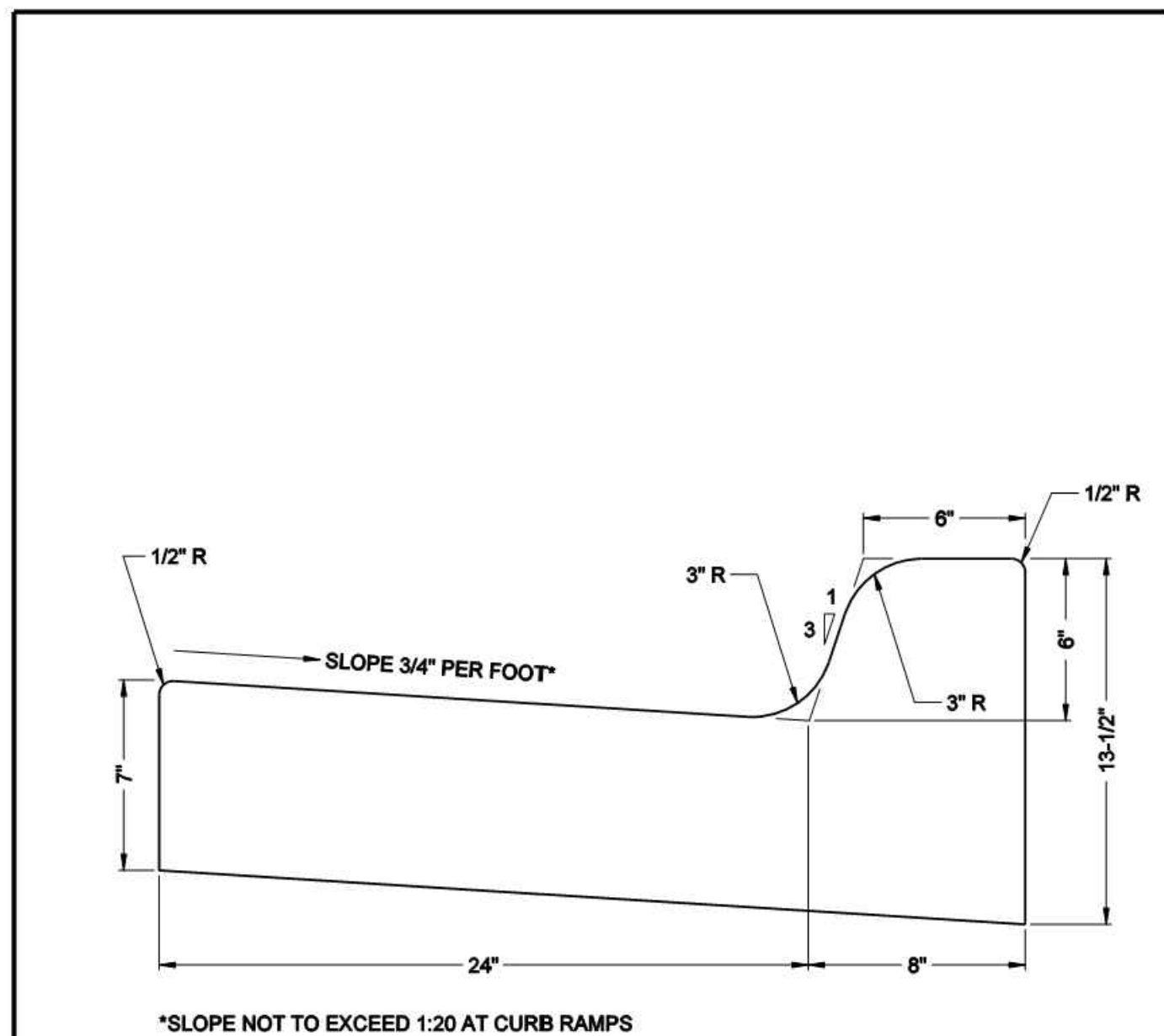
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PROJECT PHASE:	90% GC
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CITY DETAILS

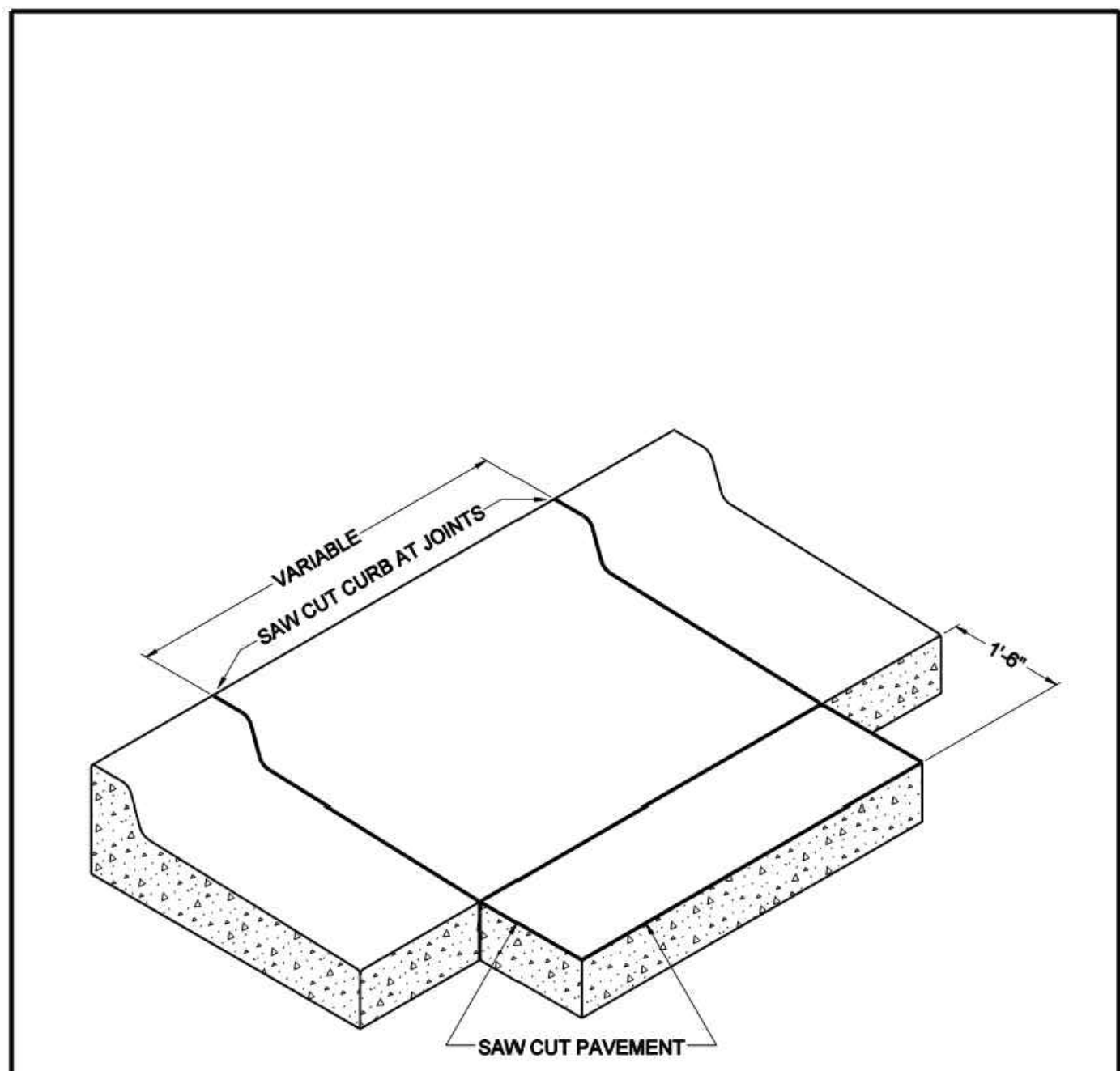
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PIERCE PINI ASSOCIATES, INC.

9298 Central Avenue NE
 Suite 312
 Blaine, MN 55434-3425
 Office Phone: 763-537-1511
 Office Fax: 763-537-1354



	MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS		B-624 CURB AND GUTTER	STANDARD PLATE NO. ROAD-1003
	DRAWN: JFC	DATE: 9/19/07		
	APPROVED: GAS	DATE: 5/19/08		



	MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS		SAW CUT AT CURB AND GUTTER REMOVAL	STANDARD PLATE NO. ROAD-1010
	DRAWN: JFC	DATE: 9/19/07		
	APPROVED: GAS	DATE: 5/19/08		

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	04-21-2017	100% DD
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	05-26-2017	GC 90% REVIEW SET

PROJECT NO:	17-003
PROJECT PHASE	90% GC
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CITY DETAILS

C804

HANGER SCHEDULE	
MEMBER	SIMPSON HANGER
2 - 1 3/4 x 4 1/4 LVL	HU5410

GALVANIZED LOOSE LINTEL SCHEDULE	
STEEL SHAPE	NOTES
L5 x 3 1/2 x 5/16	FASTEN TO WOOD STUD BACK UP WALL AT 16" O.C. OR HEADER. SEE DETAILS 4/5400, 2/5500 AND 2/5600 FOR ADDNL. INFO.

SHEAR WALL SCHEDULE						
MARK	BLOCK HORIZ JOINTS	SHEATHING	NAIL	SPACING		REMARKS
				EDGE	FIELD	
SK1	NO	5/8" PLYWOOD SHEATHING	10d	6	12	
SK2	YES	5/8" PLYWOOD SHEATHING	10d	4	12	2 - PLY END POSTS SEE NOTE #5
SK3	YES	1/2" GYPSUM SHEATHING	#6 SCREW	4	12	TYPICAL BOTH SIDES OF THE WALL.

SHEAR WALL NOTES:

- ANCHORAGE AND CONNECTION DETAILS ARE PROVIDED TO ENSURE PROPER LOAD TRANSFER TO THE FOUNDATION. WALLS NOT NOTED SHALL BE ANCHORED AS OTHERWISE SPECIFIED IN THESE CONSTRUCTION DRAWINGS/SPECIFICATIONS.
- SEE ARCH FOR WALL SHEATHING/FINISHES.
- Δ INDICATES SHEAR WALL HOLDOWN LOCATION AS FOLLOWS:
 - PROVIDE SIMPSON HT4 HOLDOWN W/18 - 10d x 1 1/2" NAILS.
 - PROVIDE 5/8" ϕ HILTI HAS RODS W/WASHERS. DRILL AND EPOXY WITH HILTI HIT HY10 (14") EMBED.
 - PROVIDE VERTICAL STEEL REINFORCEMENT IN MASONRY FOUNDATION WALL AT ALL HOLDOWN LOCATIONS.
 - PROVIDE FULLY GROUTED CELLS IN THE FOUNDATION WALLS 2' ON EACH SIDE OF HOLDOWN LOCATION.
- PROVIDE #12 STRUCTURAL WOOD SCREWS @ 8" O.C. FOR SILL PLATE ATTACHMENT TO RIM JOIST AT SHEARWALL TYPE SK2.
- REFER TO STRUCTURAL NOTES FOR SHEATHING ATTACHMENT AT EXTERIOR WALLS, UNO.

WOOD BEAM/ BEARING HEADER SCHEDULE	
MARK	SIZE
W1	(2) - 2 x 8
W2	(2) - 2 x 8
W3	(3) - 2 x 8
W4	(2) - 2 x 10
W5	(2) - 1 3/4" x 7 1/4" LVL
W6	(3) - 1 3/4" x 7 1/4" LVL
W7	(2) - 1 3/4" x 9 1/4" LVL
W8	(2) - 1 3/4" x 14" LVL

NOTES:

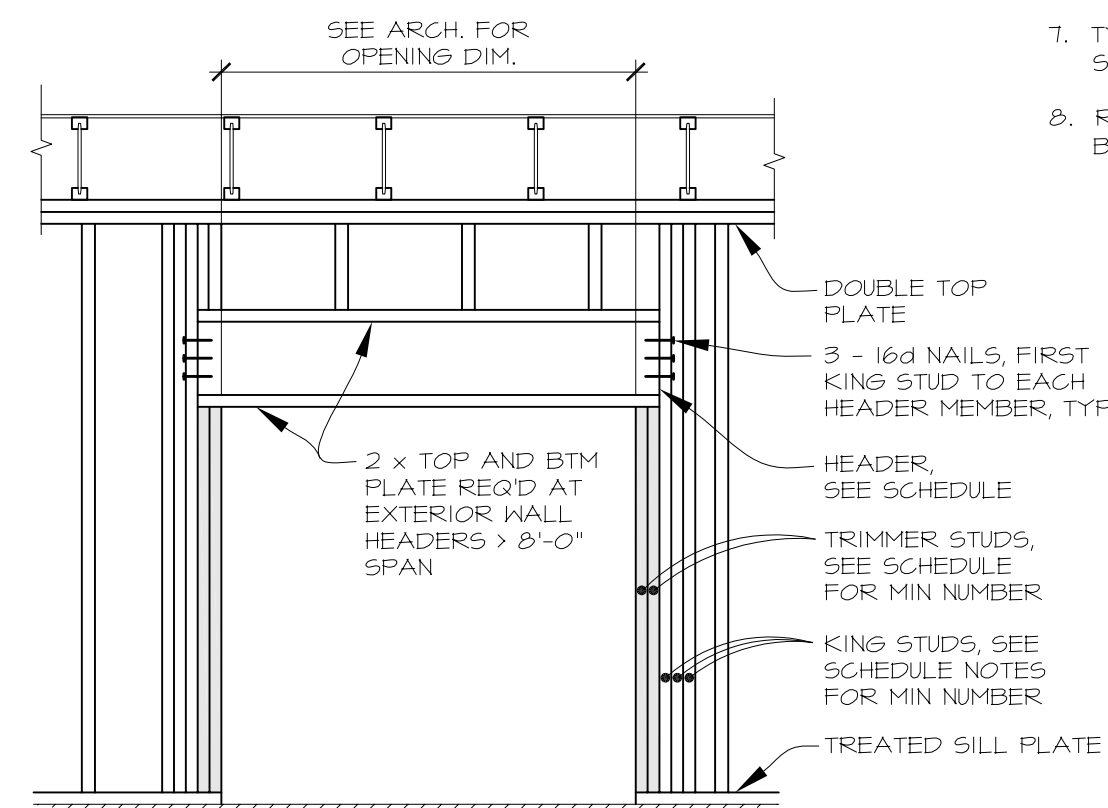
- \odot INDICATES "FLUSH" BEAM/HEADER (TOP OF BEAM = TOP OF JOIST OR BOTTOM OF BEAM = BOTTOM OF JOIST).
- HEADERS IN INTERIOR AND EXTERIOR NON-LOAD BEARING WALLS ARE NOT INDICATED. FOLLOW SCHEDULE BELOW FOR ALL NON-LOAD BEARING WALL HEADERS.

SPAN	HEADER	MIN NUMBER TRIMMER STUDS
0'-0" TO 6'-0"	2 - 2 x 6	1 - 2 x
> 6'-0" TO 8'-0"	2 - 2 x 8	1 - 2 x
> 8'-0" TO 10'-0"	2 - 2 x 10	1 - 2 x
> 10'-0" TO 12'-0"	3 - 2 x 10	2 - 2 x

KING STUDS:
PROVIDE THE FOLLOWING MINIMUM NUMBER OF KING STUDS AS FOLLOWS.

INTERIOR OPENINGS:	MIN NUMBER KING STUDS
SPAN > 0'-0" TO 6'-0"	1 - KING STUD
SPAN > 6'-0" TO 12'-0"	2 - KING STUDS

EXTERIOR OPENINGS:	MIN NUMBER KING STUDS
SPAN > 0'-0" TO 6'-0"	1 - KING STUD
SPAN > 6'-0" TO 8'-0"	2 - KING STUDS
SPAN > 8'-0" TO 10'-0"	2 - KING STUDS
SPAN > 10'-0" TO 12'-0"	3 - KING STUDS



FOOTING SCHEDULE		
MARK	SIZE	REINFORCEMENT
A	16" x 12" THICK CONTINUOUS	2 - #5 CONTINUOUS
B	20" x 12" THICK CONTINUOUS	2 - #5 CONTINUOUS
C	24" x 12" THICK CONTINUOUS	2 - #5 CONTINUOUS
D	1'-6" x 1'-6" x 12" THICK	2 - #5 x 1'-0" EACH WAY BOTTOM
E	2'-6" x 2'-6" x 12" THICK	3 - #5 x 2'-0" EACH WAY BOTTOM

FOOTING AND FOUNDATION NOTES:

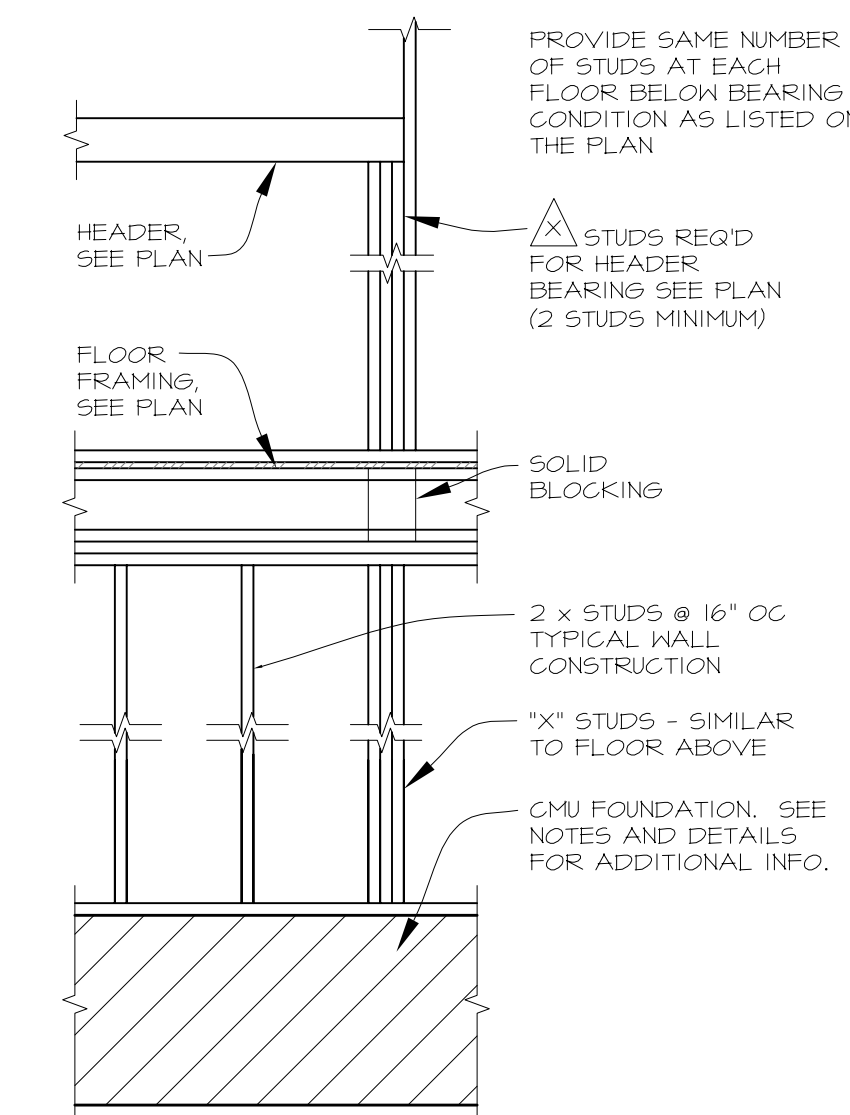
UNLESS NOTED OTHERWISE:

- UNLESS NOTED OTHERWISE, PROVIDE 4" CONCRETE SLAB ON GRADE W/3.0 POUNDS PER CUBIC YARD POLYPROPYLENE FIBER REINFORCEMENT. SEE DETAILS 2/54 FOR TYPICAL SLAB ON GRADE JOINTS.
- SEE ARCHITECTURAL DRAWINGS FOR SLOPED SLABS AND FLOOR DRAINS. TOP OF SLAB ELEVATION VARIES. SEE PLAN FOR TOP OF SLAB ELEVATION.
- MAINTAIN MINIMUM OF 42" COVER (FINAL GRADE ELEVATION TO BOTTOM OF FOOTING) AT ALL EXTERIOR WALL FOOTINGS. STEP FOOTINGS AS NECESSARY TO MAINTAIN COVER AND TO CLEAR UNDERGROUND UTILITIES/SLOPED SLABS. SEE DETAIL 1/54 FOR TYPICAL STEPPED FOOTING.
- REFER TO ARCHITECTURAL SHEET A001 FOR THE SITE PLAN. THE TOP OF CONCRETE SLAB ON GRADE TYPICALLY = 100'-0". TOP OF EXTERIOR STRIP FOOTING ELEVATION = 46'-8". ADJUST AS NECESSARY TO MAINTAIN 42" COVER MINIMUM.
- SEE 3/5400 FOR TYPICAL UNDERGROUND PIPING EXCAVATION.
- REFER TO DETAILS FOR TYPICAL WALL REINFORCEMENT. UNLESS NOTED OTHERWISE, REINFORCE ALL 8" CMU WALLS W/75 VERTS/DOHELS AT 48" O.C. MINIMUM.
- AT INTERIOR BEARING WALLS BETWEEN UNITS, GENERAL CONTRACTOR CAN REMOVE STEPPED FOOTINGS AND KEEP CONTINUOUS STRIP FOOTINGS AT FROST DEPTH FOR EASE OF CONSTRUCTION.

FLOOR FRAMING NOTES:

UNLESS NOTED OTHERWISE:

- MARKS THIS: \leftarrow INDICATES 9 1/2" TJI/110 JOISTS AT 19.2" O.C.; TYPICAL FLOOR FRAMING UNLESS NOTED OTHERWISE.
- MARKS THIS: Δ INDICATE NUMBER OF STUDS REQUIRED FOR BEARING. IF NUMBER NOT SHOWN, PROVIDE A MINIMUM OF 2 STUDS, 3" LENGTH OF BEARING. FULL WIDTH OF BEAM/HEADER MUST BE SUPPORTED. WHERE POSTS CONSISTING OF 3 OR MORE STUDS OCCUR ON THIS LEVEL, IDENTICAL STUD POSTS SHALL BE CONSTRUCTED ON ALL FLOORS BELOW (TO FOUNDATION LEVEL). SOLID BLOCKING SHALL BE PLACED IN FLOOR FRAMING SPACE BETWEEN UPPER AND LOWER POSTS. SEE DETAIL 1/5001 FOR ADDITIONAL INFORMATION.
- FLOORING SYSTEM SHALL CONSIST OF 3/4" TONGUE AND GROOVE PLYWOOD FLOOR SHEATHING (GLUED AND NAILED). ATTACH SHEATHING TO FLOOR FRAMING MEMBERS W/ 10d NAILS @ 4" O.C. AT PANEL EDGES AND @ 8" O.C. AT INTERMEDIATE SUPPORTS.
- DASHED WALLS INDICATE WALLS SUPPORTED ON THIS FRAMING LEVEL.
- EXTERIOR WALLS SHALL BE 2 x 6 STUDS @ 16" O.C. ADDITIONAL INTERIOR BEARING WALLS SHALL BE 2 x 4 & 2 x 6 STUDS @ 16" O.C. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION REGARDING WALL TYPES.
- REFER TO ARCHITECTURAL DRAWINGS FOR BRICK VENEER.
- TYPICAL STAIR STRINGERS SHALL BE (1) - 1 3/4 x 11 7/8" LVL, (3) STRINGERS PER STAIR, (1) AT CENTER AND (2) AT EACH EDGE.
- REFER TO ARCHITECTURAL DRAWINGS FOR TOP OF SUBFLOOR AT EACH BUILDING. ELEVATION VARIES.



SECTION
1/2" = 1'-0"

ROOF FRAMING NOTES:

UNLESS NOTED OTHERWISE:

- MARKS THIS: \leftarrow INDICATE PREFABRICATED WOOD ROOF TRUSSES @ 24" O.C. ANCHOR EACH TRUSS TO DOUBLE TOP PLATE W/ 1 - SIMPSON H2.5 HURRICANE ANCHOR (OR EQUAL) AT EACH BEARING LOCATION. SEE ARCHITECTURAL DRAWINGS FOR ROOF SLOPES. ROOF TRUSS ELEVATION VARIES. REFER TO ARCHITECTURAL DRAWINGS.
- MARKS THIS: \leftarrow INDICATE VALLEY SET TRUSSES @ 24" O.C. SEE STRUCTURAL NOTES FOR INFORMATION REGARDING HIP-SETS, DORMER FRAMING AND PIGGY-BACK TRUSSES, ETC.
- ROOF SHEATHING SHALL BE APPLIED PRIOR TO PLACING "OVER - FRAMING". TRUSS SUPPLIER SHALL NOTIFY STRUCTURAL ENGINEER OF ANY PROPOSED REVISIONS MADE TO LAYOUT INDICATED ON THIS PLAN.
- TRUSS SUPPLIER SHALL PROVIDE ALL HANGERS NECESSARY FOR TRUSS-TO-TRUSS CONNECTIONS.
- VERIFY ALLOWABLE BEARING LOCATIONS FOR GIRDER TRUSSES W/ STRUCTURAL ENGINEER PRIOR TO FINAL DESIGN STAGE. PROVIDE METAL BEARING ENHANCERS AS NECESSARY TO UTILIZE STUD POSTS SHOWN ON PLAN.
- MARKS THIS: Δ INDICATE NUMBER OF STUDS REQUIRED FOR BEARING. IF NUMBER NOT SHOWN, PROVIDE MINIMUM OF 2 STUDS (3" LENGTH OF BEARING). FULL WIDTH OF BEAM/HEADER/GIRDER TRUSS MUST BE SUPPORTED. WHERE POSTS CONSISTING OF 3 OR MORE STUDS OCCUR ON THIS LEVEL, IDENTICAL STUD POSTS SHALL BE CONSTRUCTED ON ALL FLOORS BELOW (TO FOUNDATION LEVEL). SOLID BLOCKING SHALL BE PLACED IN FLOOR FRAMING SPACE BETWEEN UPPER AND LOWER POSTS. SEE DETAIL 1/5001 FOR ADDITIONAL INFORMATION.
- ROOF SHEATHING SHALL BE 5/8" PLYWOOD/OSB (MINIMUM). ATTACH SHEATHING TO ROOF FRAMING MEMBERS W/ 10d NAILS @ 4" O.C. AT PANEL EDGES AND @ 8" O.C. AT INTERMEDIATE SUPPORTS.
- EXTERIOR WALLS SHALL BE 2 x 6 STUDS @ 16" O.C. ADDITIONAL INTERIOR BEARING WALLS SHALL BE 2 x 4 & 2 x 6 STUDS @ 16" O.C. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION REGARDING WALL TYPES.
- SEE ARCHITECTURAL DRAWINGS FOR BRICK VENEER LOCATIONS.
- SEE 3/5600 FOR TYPICAL TRUSS BLOCKING DETAIL WHEN HEEL HEIGHT IS GREATER THAN 18".

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MINNEHAHA TOWNHOMES
5364 RIVERVIEW ROAD
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5118 54TH STREET EAST
MINNEAPOLIS, MN 55417

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Signature: ADAM JESSE NEIGEBAUER
Date: License No. 47773

ISSUE	
MAR DATE	DESCRIPTION
1 4/21/2017	100% DESIGN DEVELOPMENT ISSUE
2 5/08/2017	90% CONSTRUCTION DOCUMENTS ISSUE
3 5/26/2017	GC 90% REVIEW SET

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SCHEDULES AND TYPICAL PLAN NOTES

S001

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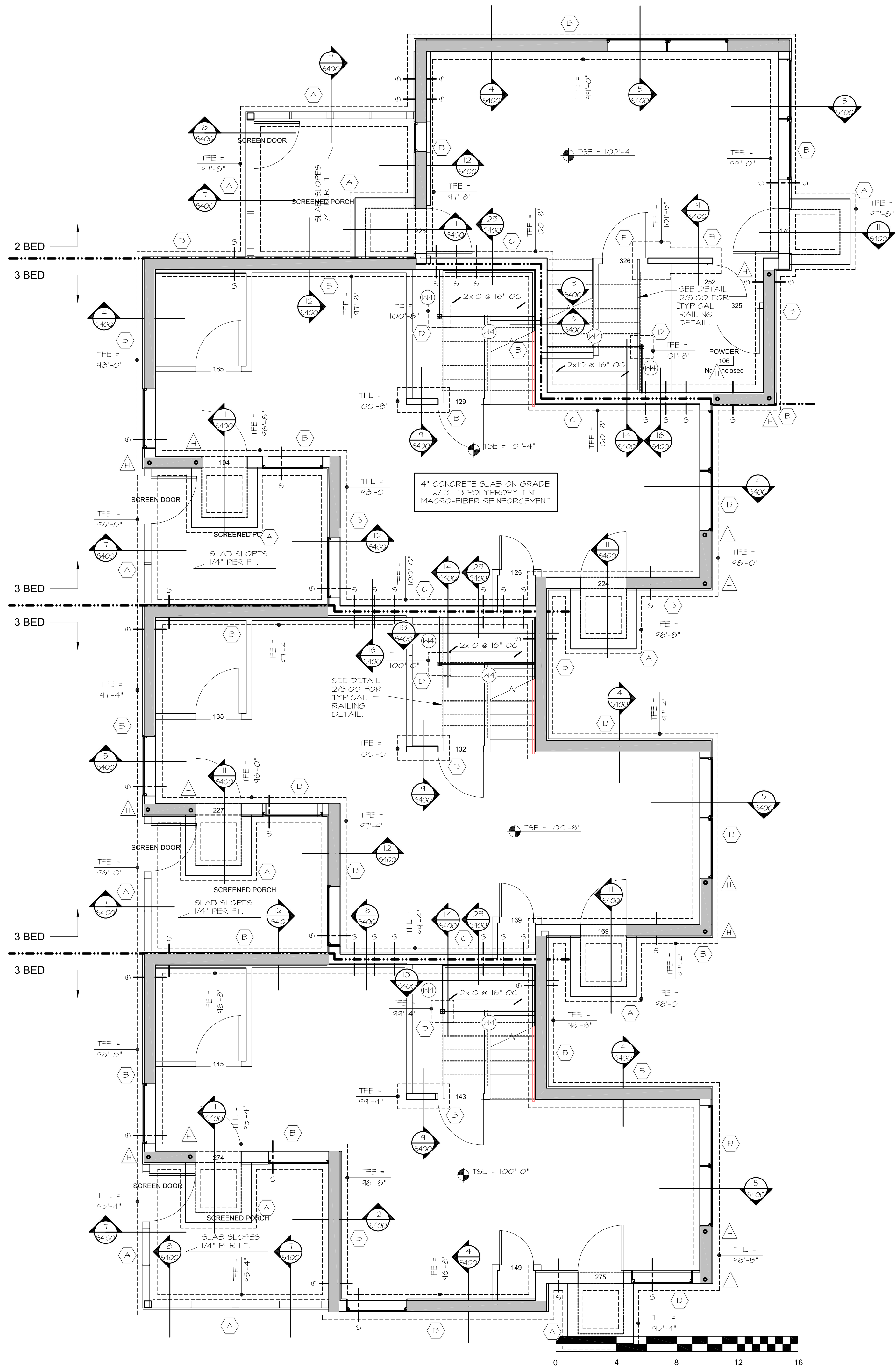
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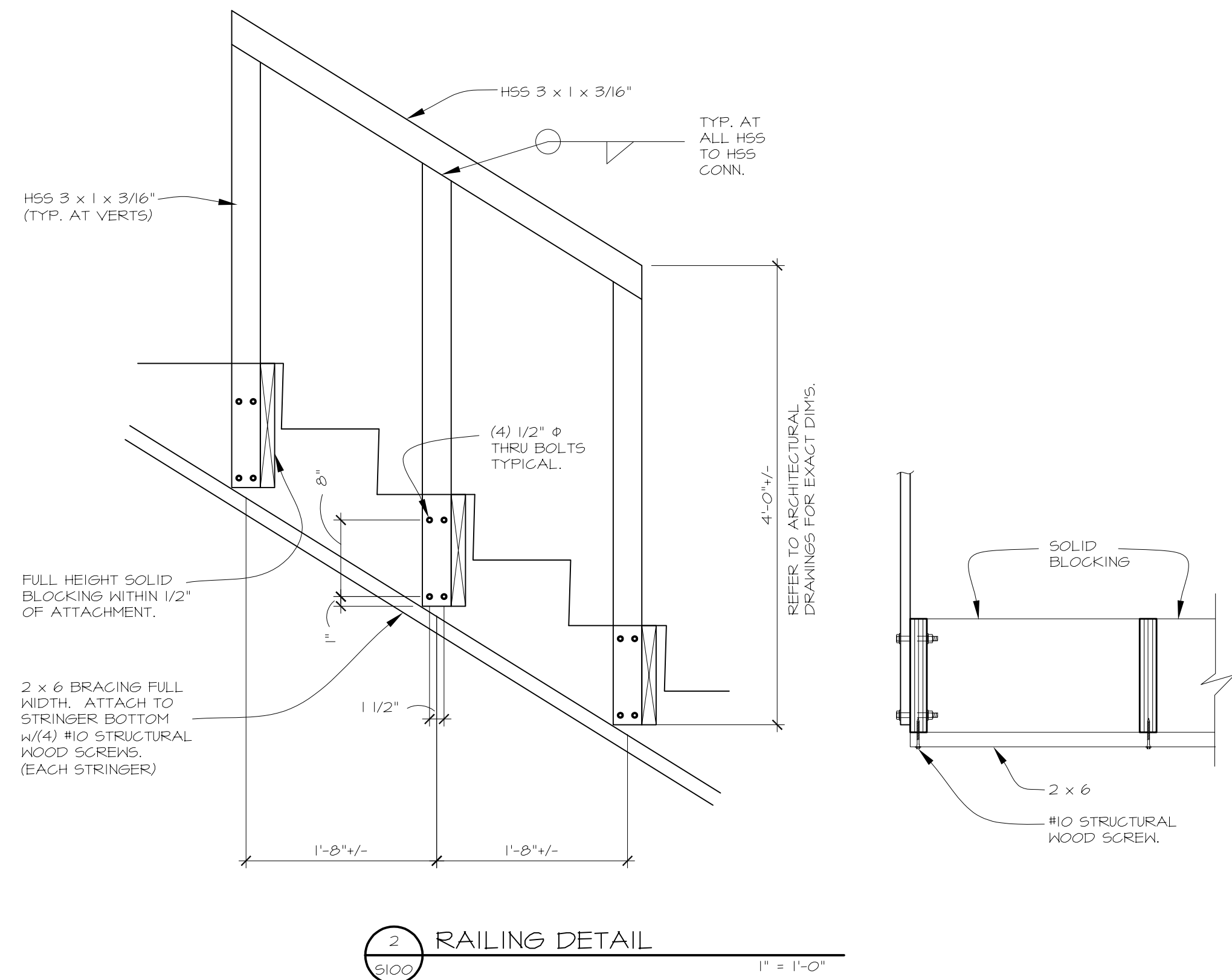
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3	5/26/2017	GC 90% REVIEW SET

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**FOOTING AND
 FOUNDATION PLAN
 BUILDING A, 2-3-3-3**

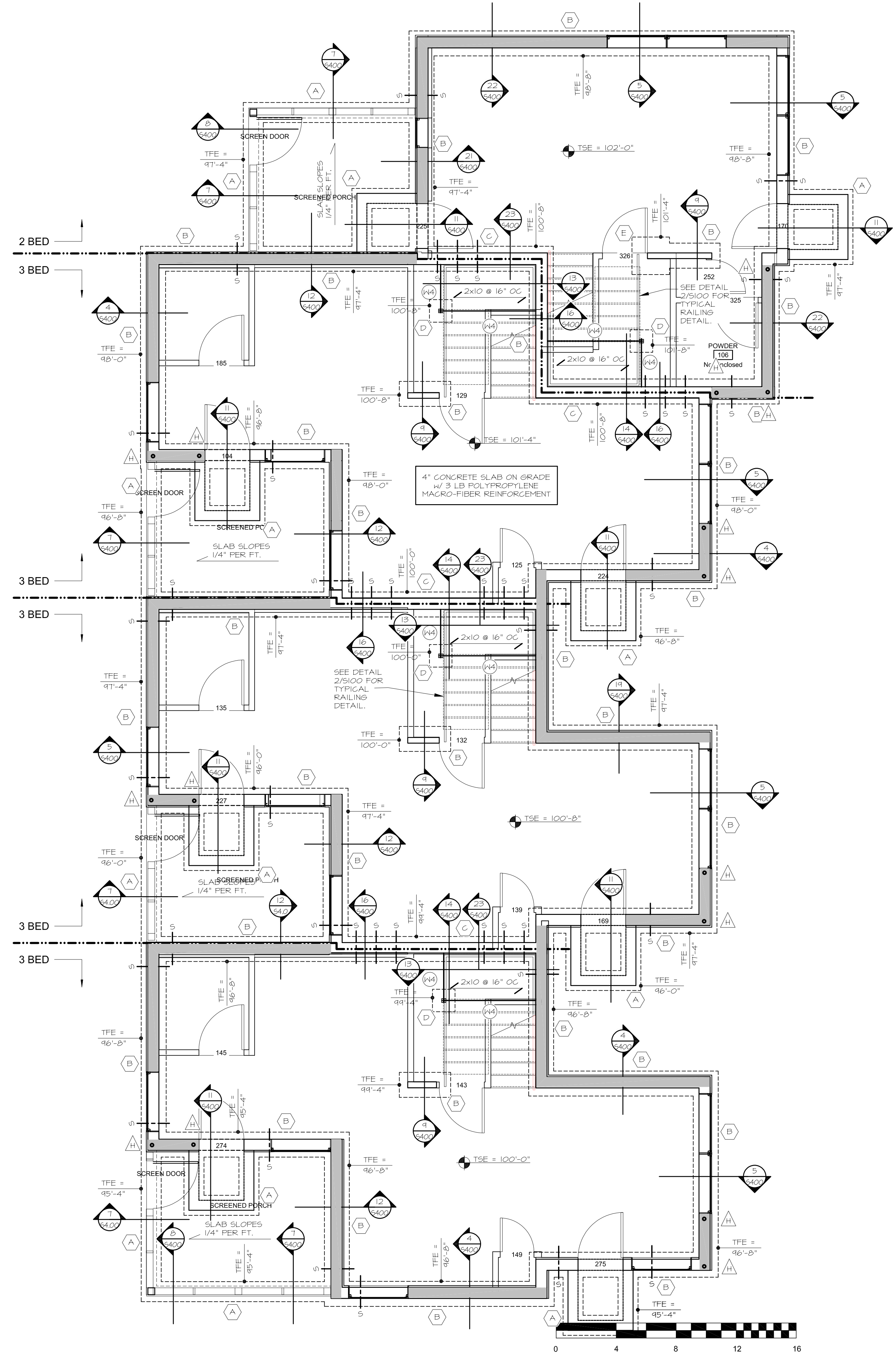


**1 FOOTING AND FOUNDATION PLAN
 (BUILDING A)**
 1/4" = 1'-0"
 REFER TO SHEET S001 FOR TYPICAL PLAN NOTES AND SCHEDULES.
 FFE @ 15.85 = 100'-0"



2 RAILING DETAIL
 1\"/>

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1 FOOTING AND FOUNDATION PLAN
S101 1/4" = 1'-0" (BUILDING B)
 REFER TO SHEET S001 FOR TYPICAL PLAN NOTES AND SCHEDULES.
 FFE @ 3.1 = 100'-0".

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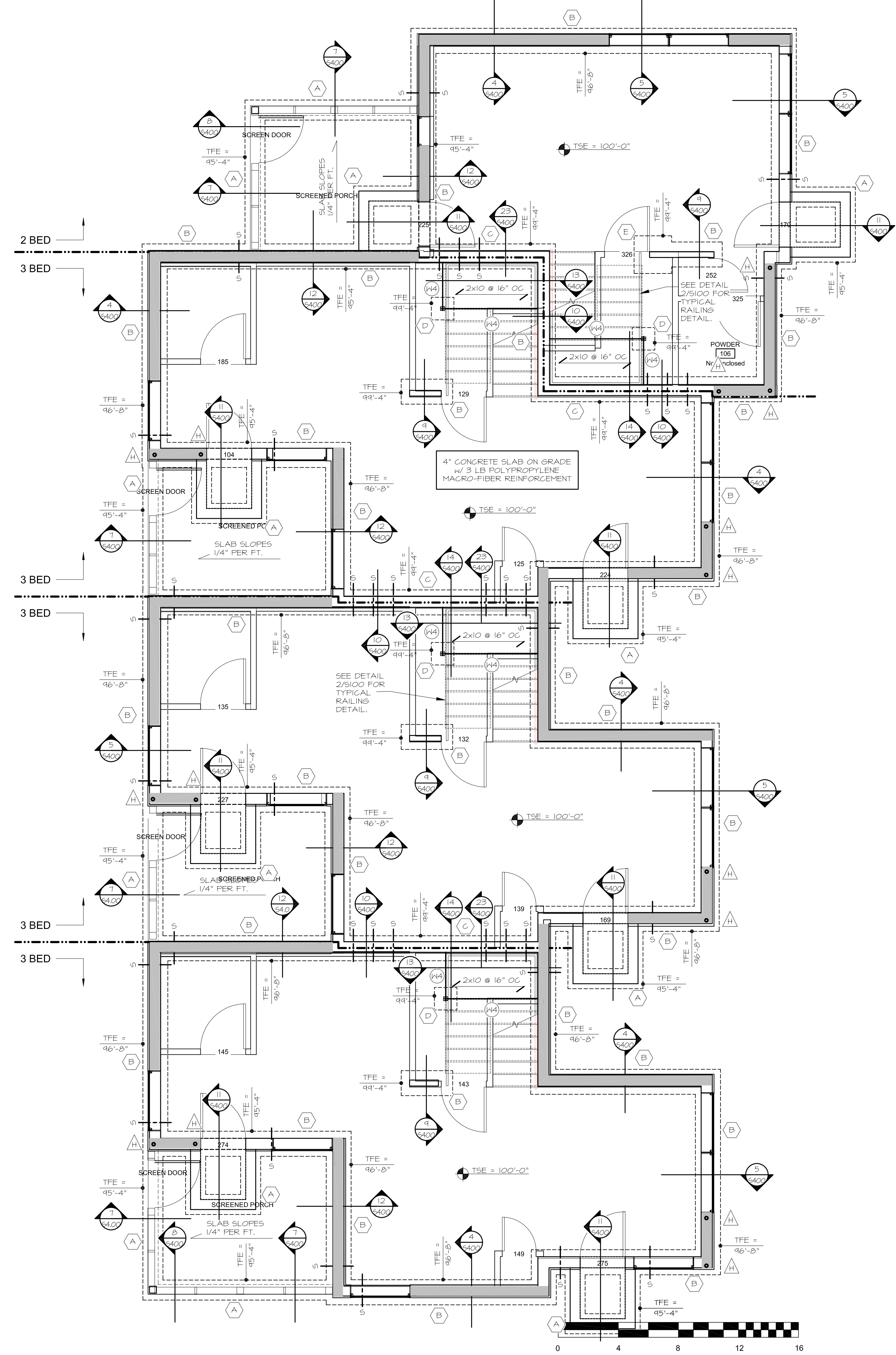
Signature: _____
 Print Name: ADAM JESSE NEIGEBAUER
 Date: _____ License No.: 47773

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3	5/26/2017	GC 90% REVIEW SET

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FOOTING AND FOUNDATION PLAN
BUILDING B, 2-3-3-3

S101



1 FOOTING AND FOUNDATION PLAN
S102 1/4" = 1'-0" (BUILDING C)
 REFER TO SHEET S001 FOR TYPICAL PLAN NOTES AND SCHEDULES.
 FFE @ 12.5 = 100'-0".

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 Date: _____ License No.: 47773

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3	5/26/2017	GC 90% REVIEW SET

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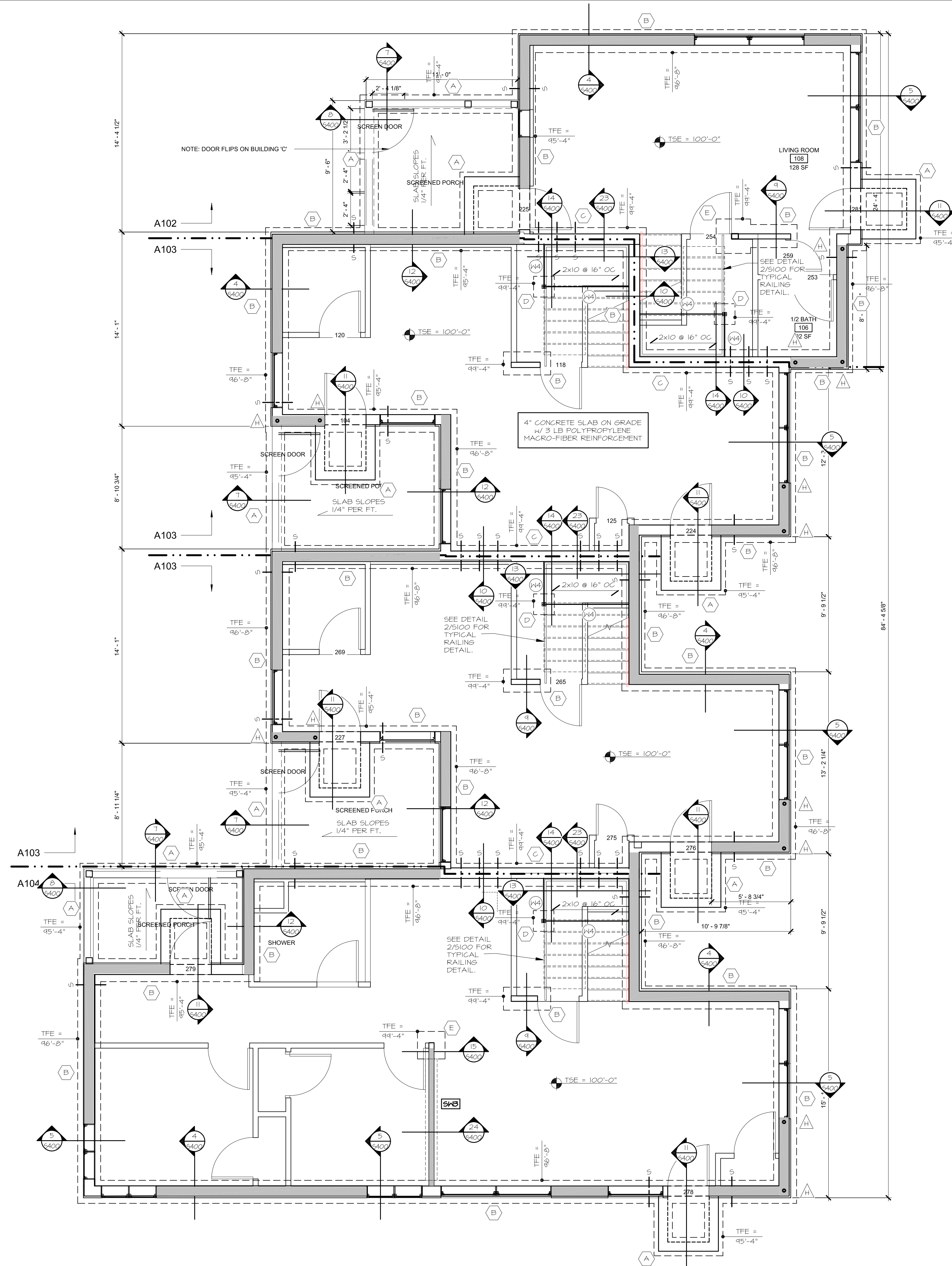
FOOTING AND FOUNDATION PLAN
BUILDING C, 2-3-3-3

S102

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1 FOOTING AND FOUNDATION PLAN
S103 1/4" = 1'-0" (BUILDING D)

REFER TO SHEET S0.01 FOR TYPICAL PLAN NOTES AND SCHEDULES.
 FFE @12.5 = 100'-0".



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Signature: _____
 Print Names: ADAM JESSE NEIGEBAUER
 Date: _____ License No.: 47773

ISSUE	DATE	DESCRIPTION
1	4/21/2017	10% DESIGN DEVELOPMENT ISSUE
2	5/08/2017	50% CONSTRUCTION DOCUMENTS ISSUE
3	5/26/2017	GC 90% REVIEW SET

PROJECT NO. 17060
 PROJECT PHASE CD
 DRAWN BY: DLH CHECKED BY: AN
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**FOOTING AND
 FOUNDATION PLAN
 BUILDING D, 2-3-3-4**

**MINNEHAHA
 TOWNHOMES**
 5364 RIVERVIEW ROAD
 5368 RIVERVIEW ROAD
 5118 54TH STREET EAST
 MINNEAPOLIS, MN 55417

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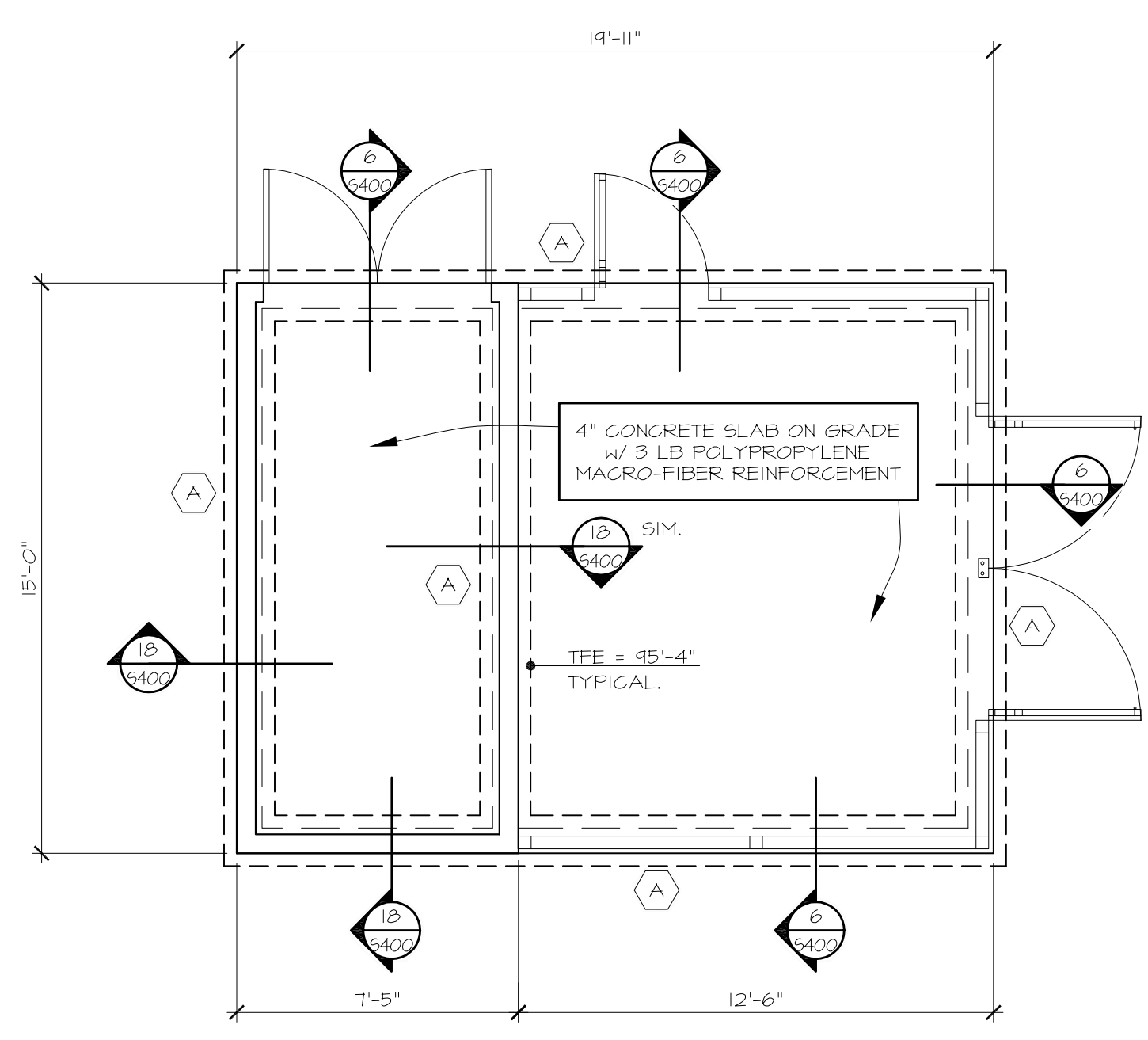
Signature: _____
 Print Names: ADAM JESSE NEIGEBAUER
 Date: _____ License No: 47773

ISSUE	DATE	DESCRIPTION
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2	5/08/2017	50% CONSTRUCTION DOCUMENTS ISSUE
3	5/26/2017	GC 30% REVIEW SET

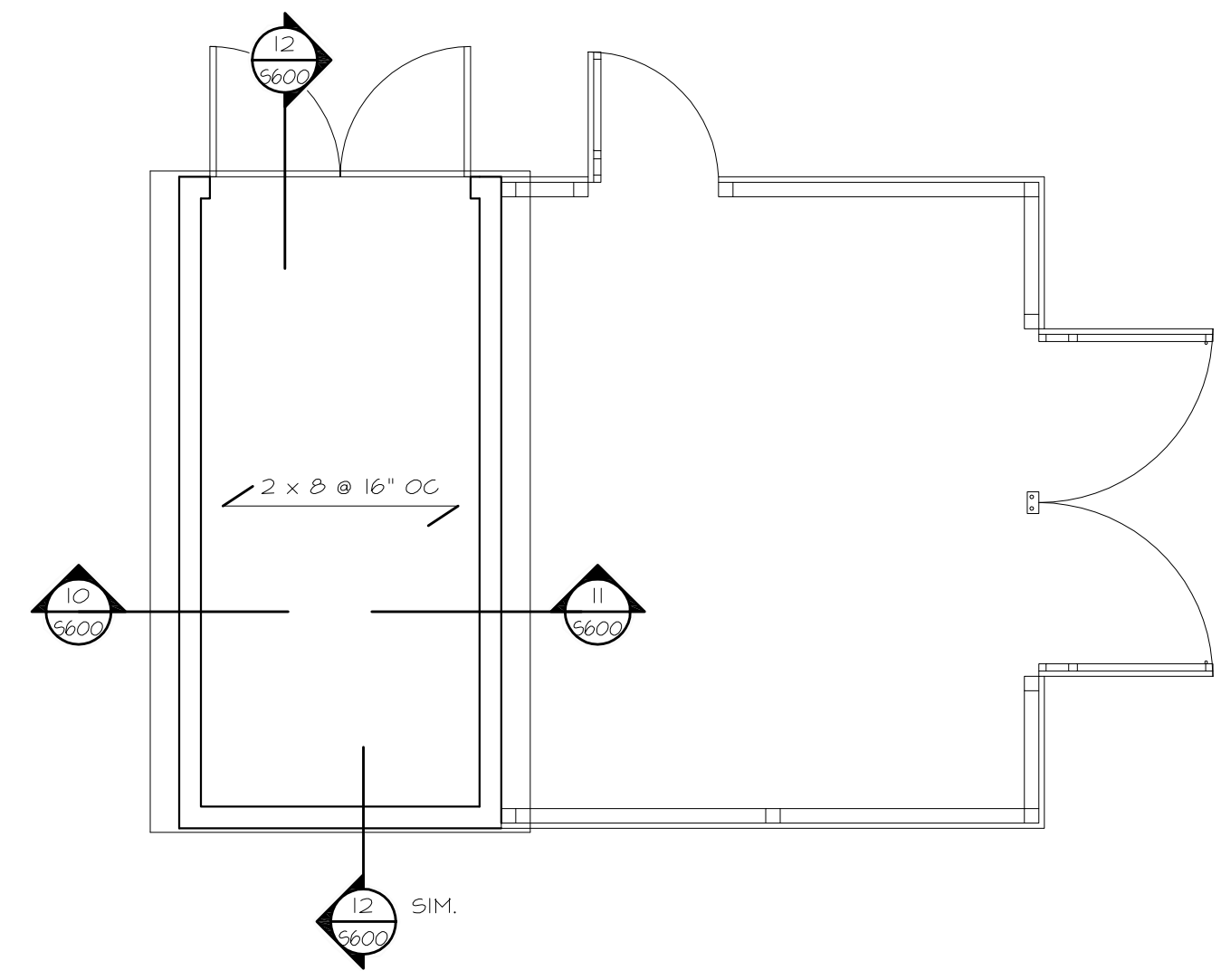
PROJECT NO. 17060
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**SECOND FLOOR AND LOW ROOF FRAMING PLAN
 BUILDINGS A,B,C, - 2-3-3-3
 SHED AND RECYCLING PLANS**

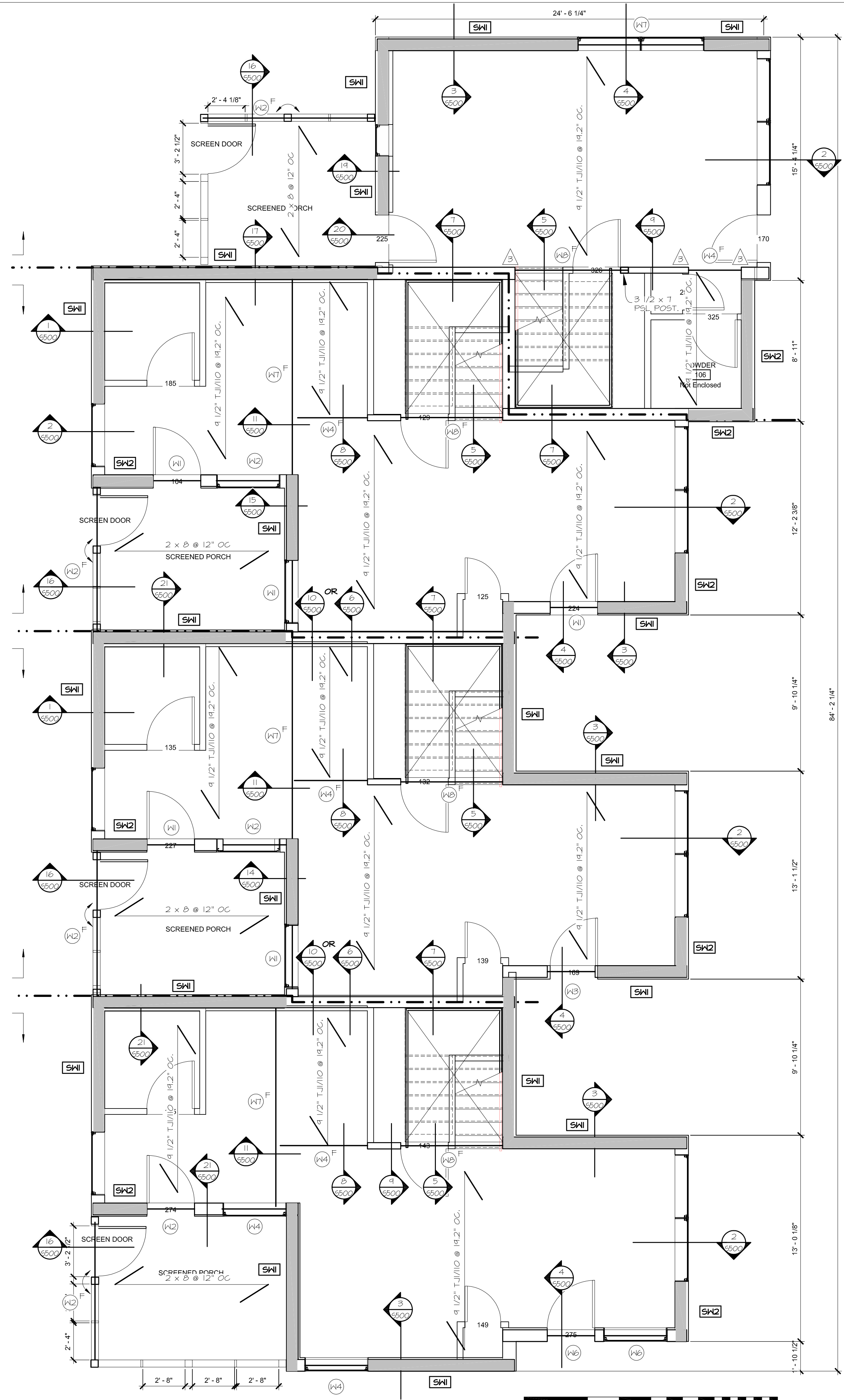
S200



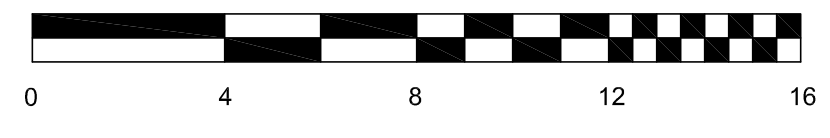
2 SHED/TRASH FOUNDATION
 1/4" = 1'-0"
 REFER TO SHEET S001 FOR TYPICAL PLAN NOTES AND SCHEDULES.



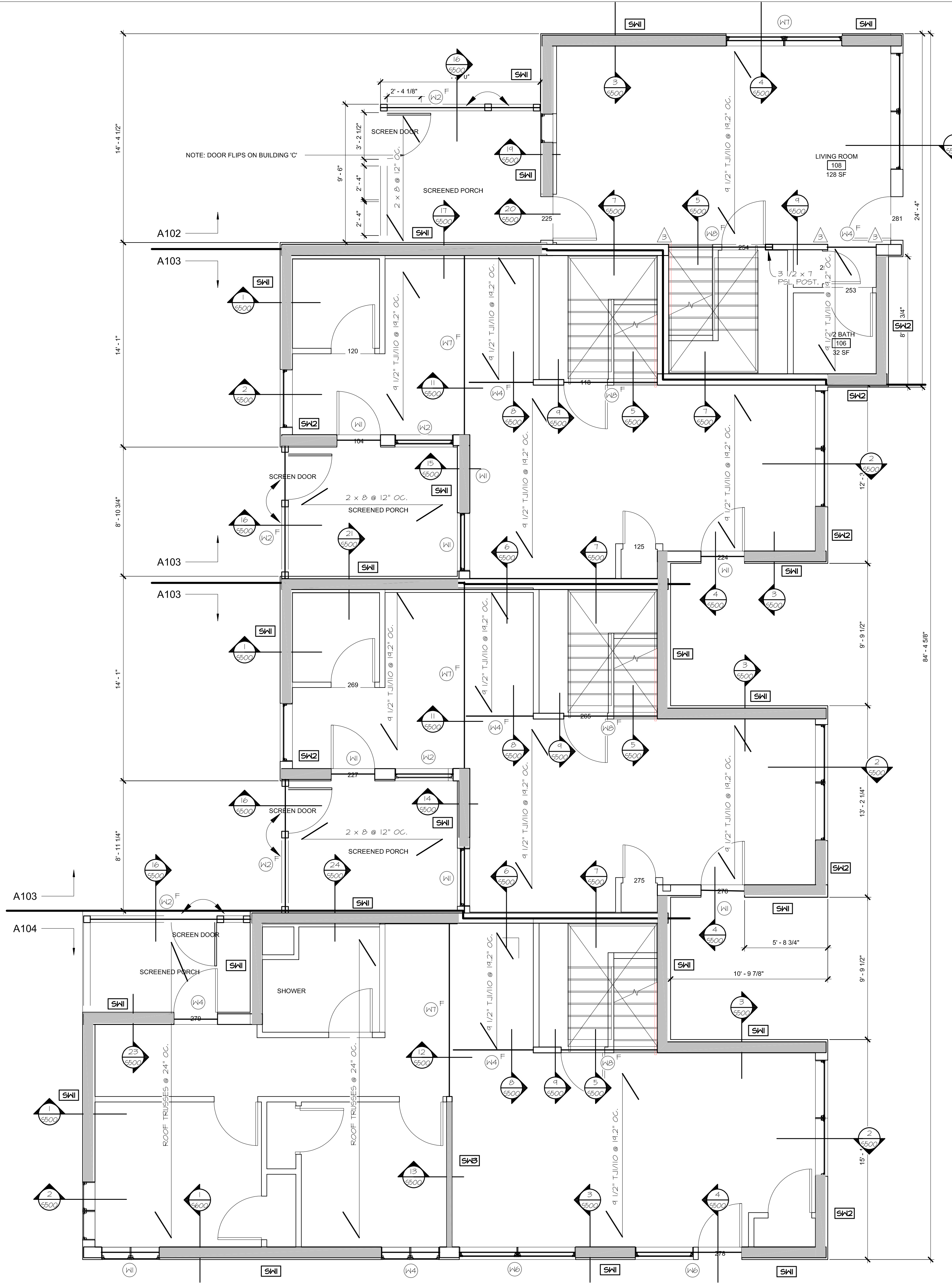
3 SHED ROOF FRAMING PLAN
 1/4" = 1'-0"
 REFER TO SHEET S001 FOR TYPICAL PLAN NOTES AND SCHEDULES.



1 SECOND LEVEL & LOW ROOF FRAMING PLAN
 1/4" = 1'-0"
 (BUILDING A,B,C)
 REFER TO SHEET S001 FOR TYPICAL PLAN NOTES AND SCHEDULES.



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1 SECOND LEVEL & LOW ROOF FRAMING PLAN
 S201 1/4" = 1'-0" (BUILDING D)

MSR 710 South 2nd Street, 8th Floor
 Minneapolis, Minnesota 55401-2282
 Architecture 612.375.0336 tel
 Interiors and 612.342.2216 fax
 Urban Design www.msrdesign.com

Mattson Macdonald Young
 structural engineers
 Bassett Creek Business Center
 901 North 3rd Street, Suite 100
 Minneapolis, MN 55401
 612-827-7825 voice
 612-827-0805 fax

MINNEHAHA
TOWNHOMES
 5364 RIVERVIEW ROAD
 5368 RIVERVIEW ROAD
 5118 54TH STREET EAST
 MINNEAPOLIS, MN 55417

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Signature: _____
 Print Names: ADAM JESSE NEIGEBAUER
 Date: _____ License No.: 47773

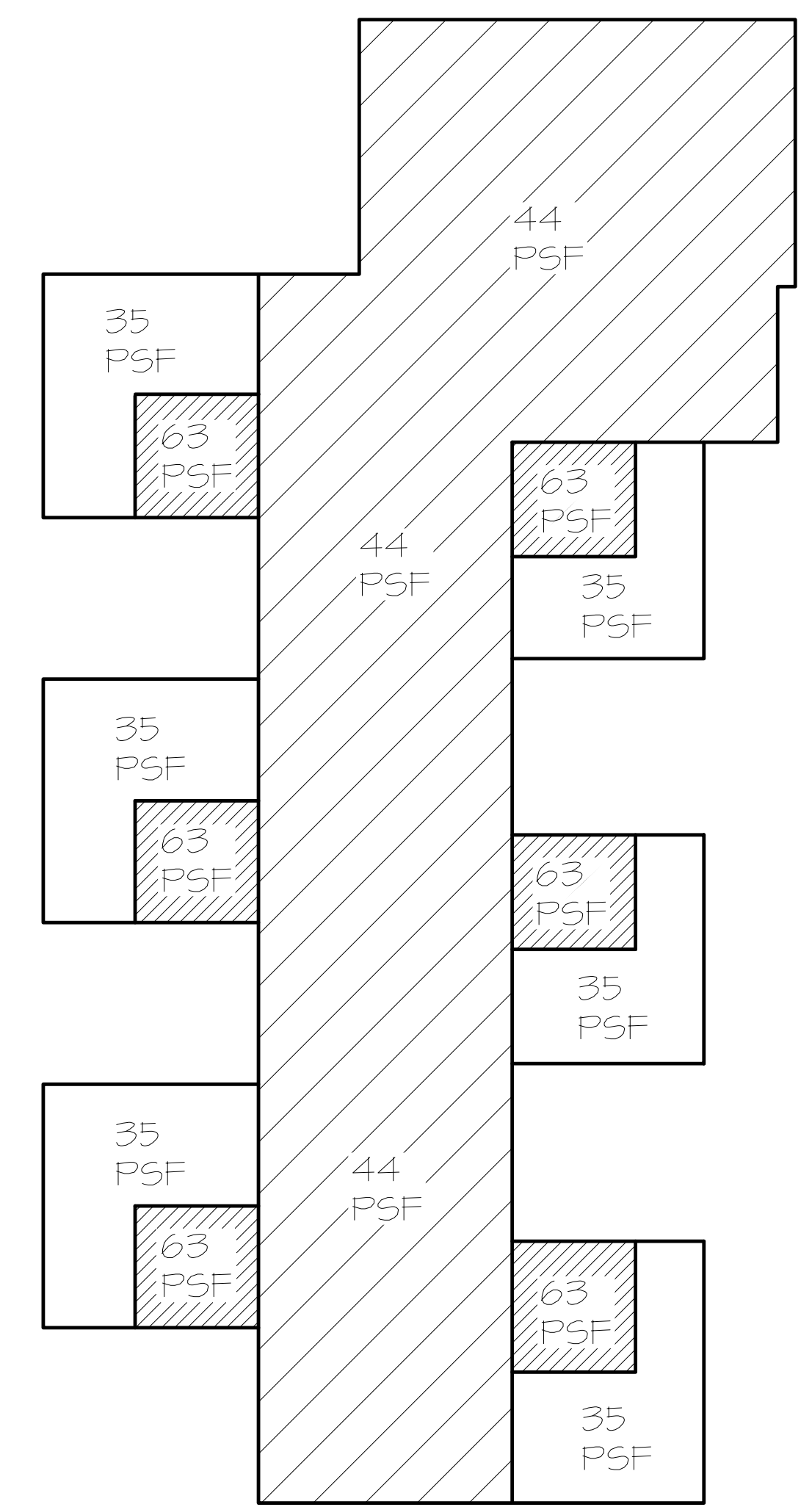
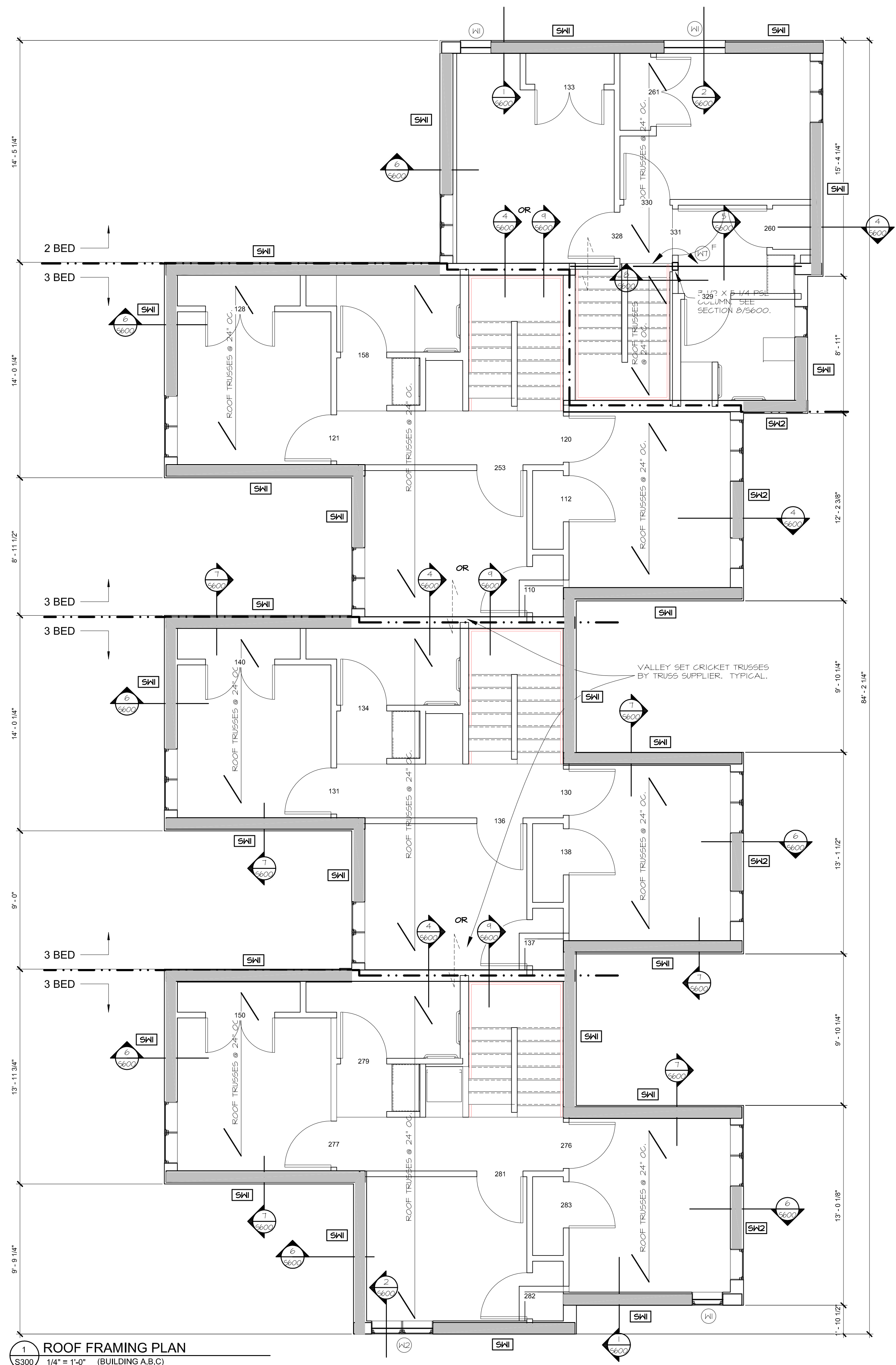
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1	4/21/2017	100% DESIGN DEVELOPMENT ISSUE
2	5/08/2017	50% CONSTRUCTION DOCUMENTS ISSUE
3	5/26/2017	GC 90% REVIEW SET

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 PROJECT PHASE CD
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SECOND FLOOR AND LOW ROOF FRAMING PLAN
BUILDING D, 2-3-3-4

S201

Mattson Macdonald Young
structural engineers
 Bassett Creek Business Center
 903 North 3rd Street, Suite 100
 Minneapolis, MN 55401
 612-827-7825 voice
 612-827-0805 fax



2 ROOF TRUSS LOADING PLAN
 1/8" = 1'-0"

1 ROOF FRAMING PLAN
 1/4" = 1'-0" (BUILDING A,B,C)
 REFER TO SHEET S001 FOR TYPICAL PLAN NOTES AND SCHEDULES.

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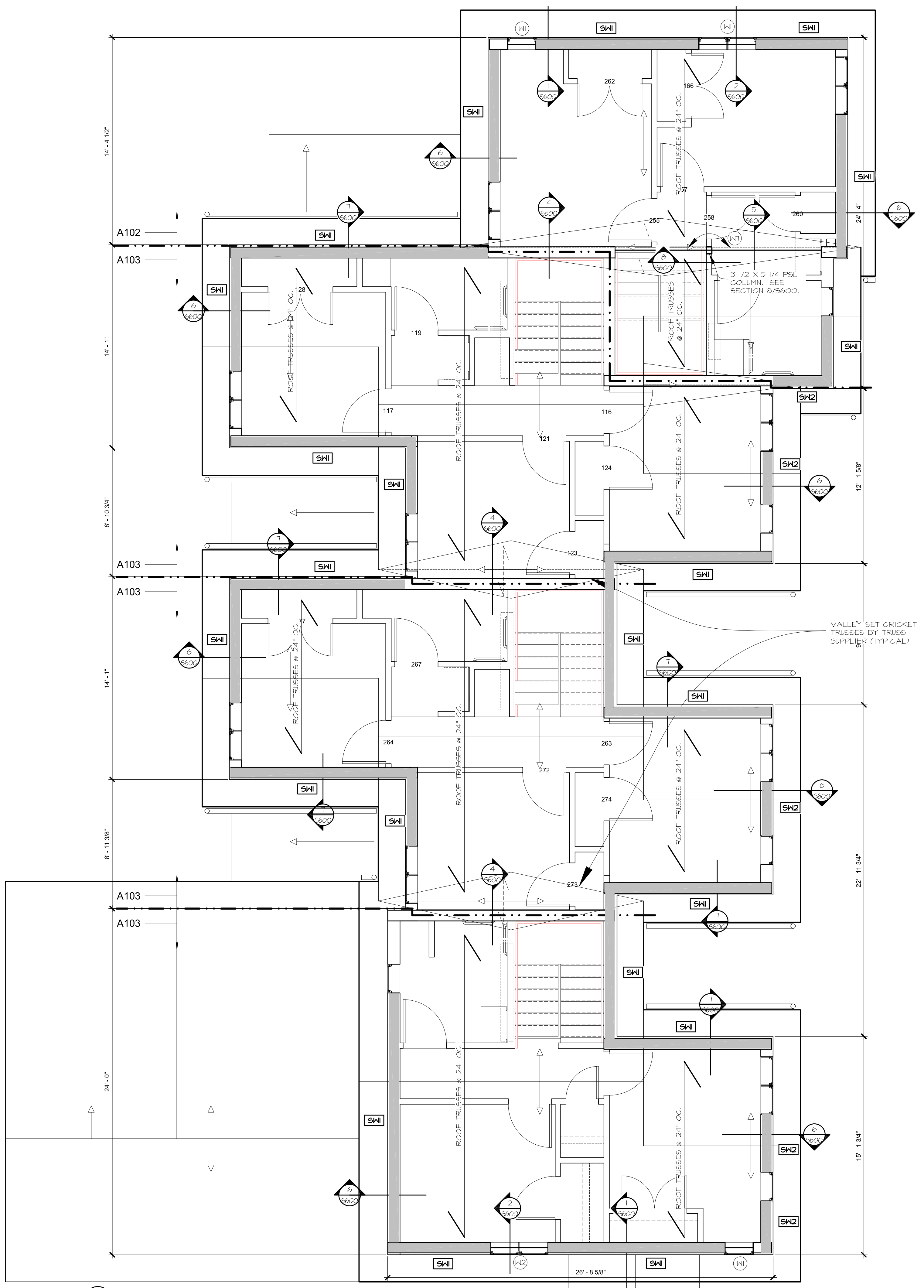
Signature: ADAM JESSE NEIGENBAUER
 Print Names: _____
 Date: _____ License No: 47773

ISSUE	MAR	DATE	DESCRIPTION
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2		5/08/2017	50% CONSTRUCTION DOCUMENTS ISSUE
3		5/28/2017	GC 90% REVIEW SET

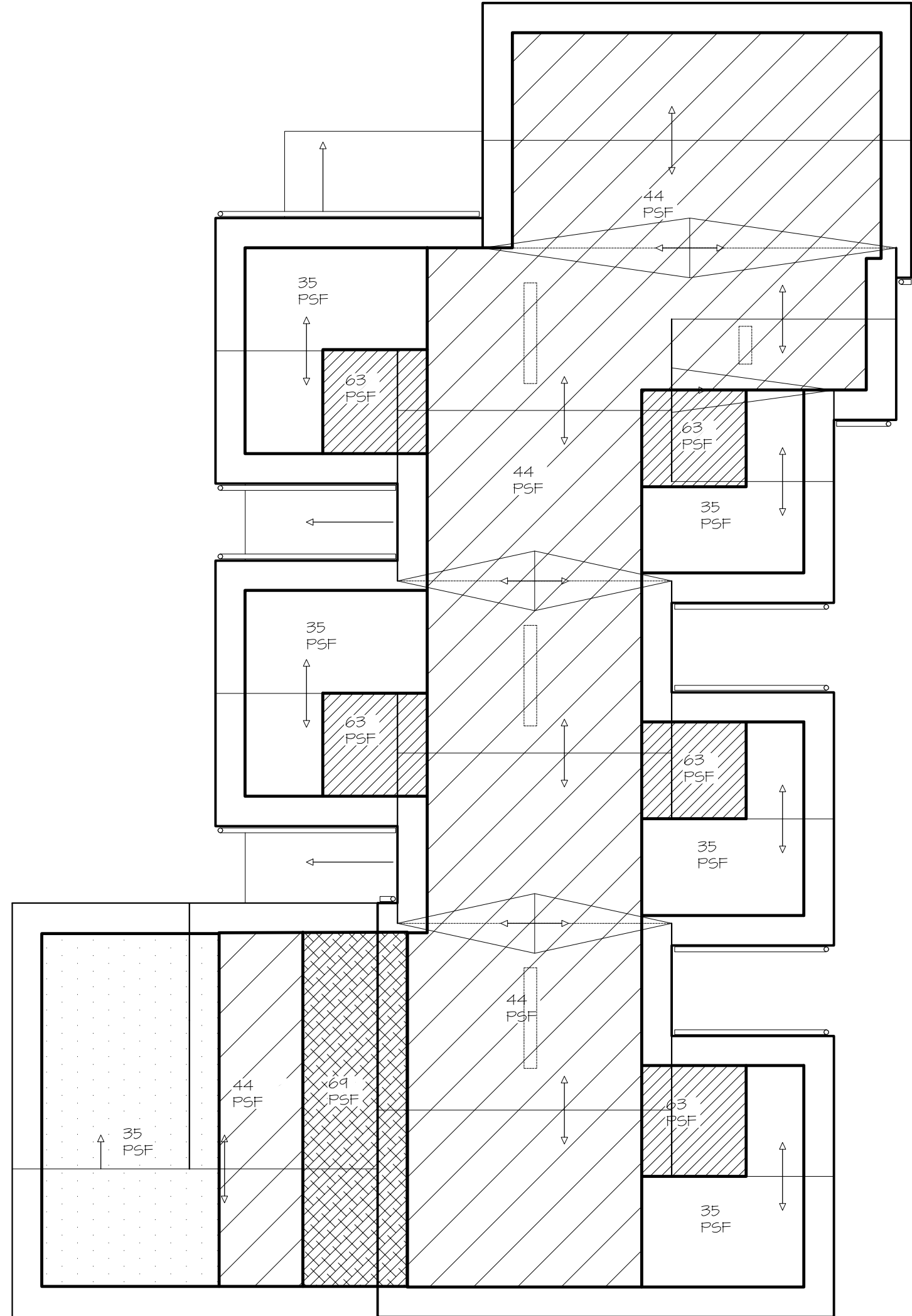
PROJECT NO.	17060
PROJECT PHASE	CD
DRAWN BY:	DLH
CHECKED BY:	AN

**ROOF FRAMING PLAN
 AND ROOF TRUSS
 LOADING PLAN
 BUILDINGS A,B,C -2-3-3-3**

S300



1 ROOF FRAMING PLAN
 S301 1/4" = 1'-0" (BUILDING D)



2 ROOF TRUSS LOADING PLAN
 S301 1/8" = 1'-0"

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Signature: _____
 Print Names: ADAM JESSE NEIGEBAUER
 Date: _____ License No.: 47773

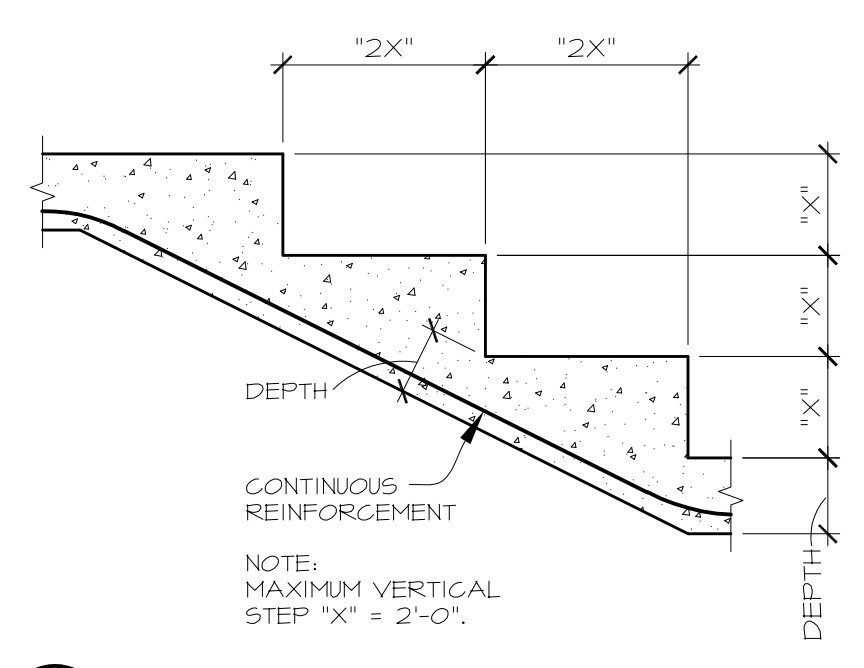
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1	4/21/2017	100% DESIGN DEVELOPMENT ISSUE
2	5/08/2017	50% CONSTRUCTION DOCUMENTS ISSUE
3	5/26/2017	GC 90% REVIEW SET

PROJECT NO. 17060
 PROJECT PHASE CD
 DRAWN BY: DLH CHECKED BY: AN

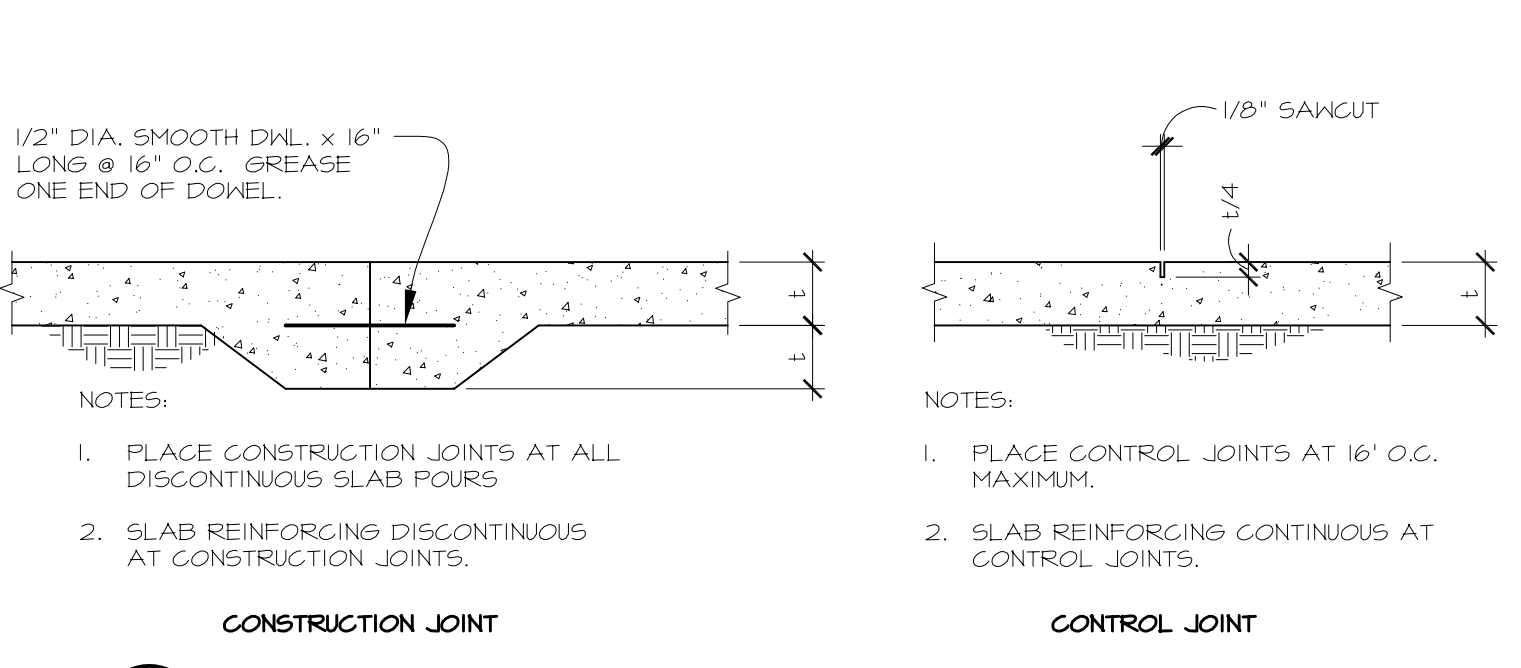
**ROOF FRAMING PLAN
 AND ROOF TRUSS
 LOADING PLAN
 BUILDING D, 2-3-4**

S301

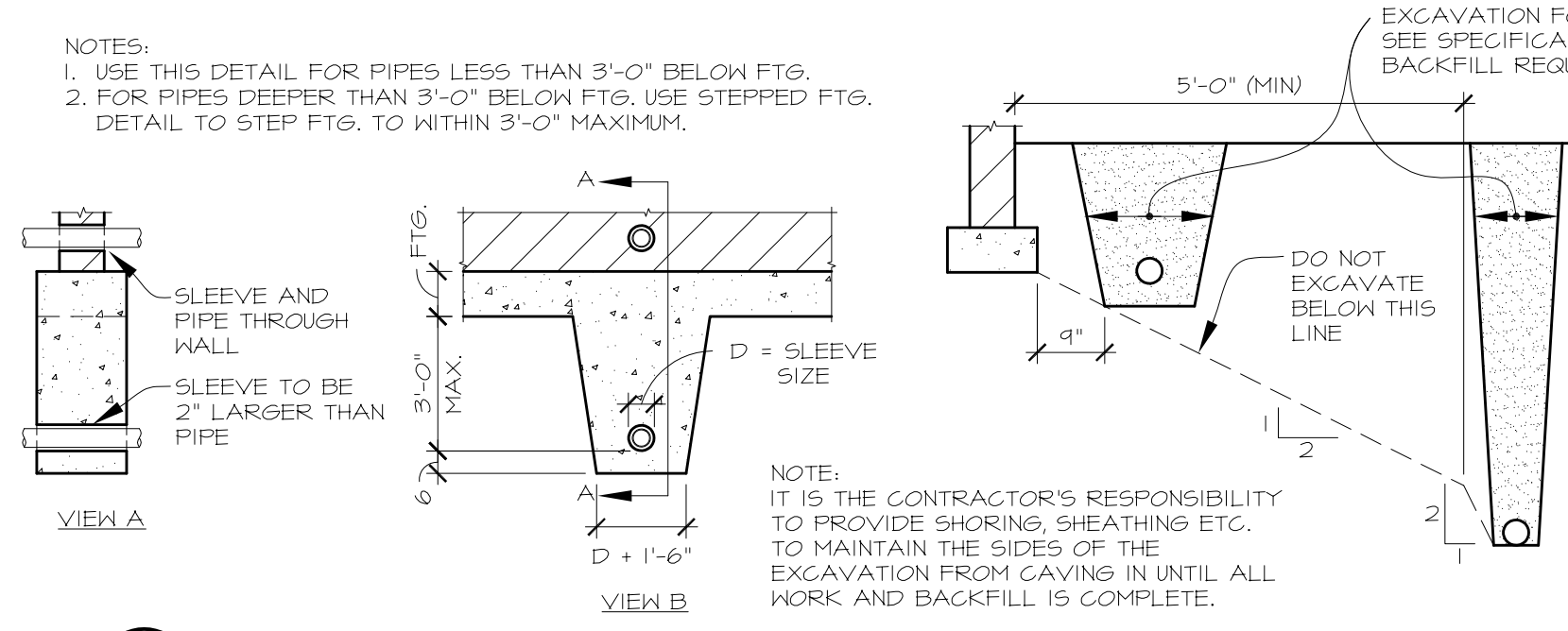
Drawing 2015 Copyright © Mattson Macdonald Young, a Division of MSR, Inc. All Rights Reserved. 3/22/2017 10:36:48 AM P:\CURRENT\17060\17060-00\17060-00-02017_02_37_TOWNHOMES.DWG 2017/03/22 10:36:48 AM



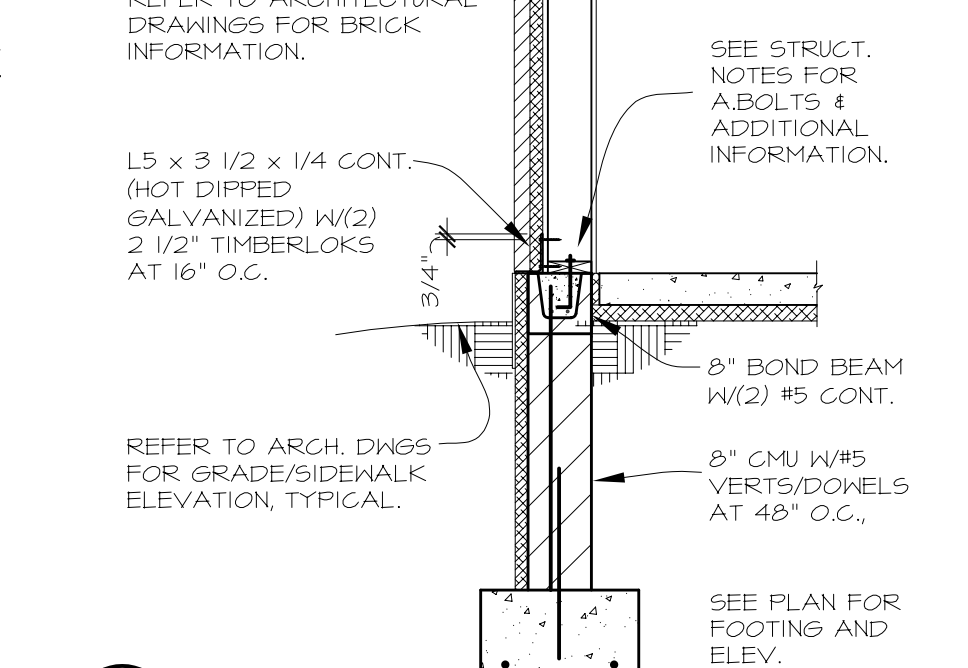
1 TYPICAL STEPPED FOOTING
 NTS
 5400 1/2" = 1'-0"



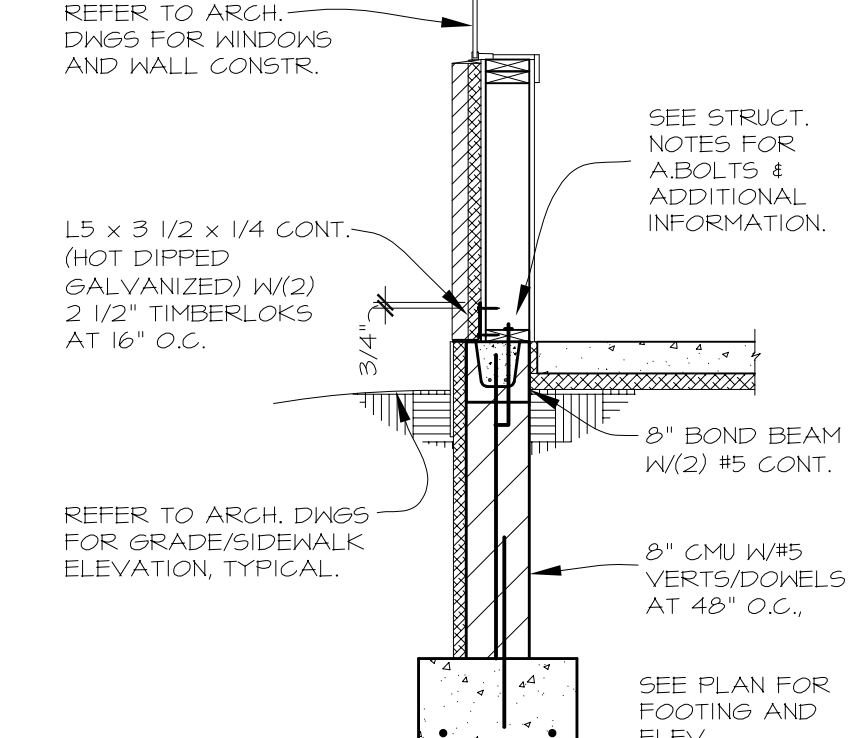
2 TYPICAL SLAB ON GRADE JOINTS
 NTS
 5400 1/2" = 1'-0"



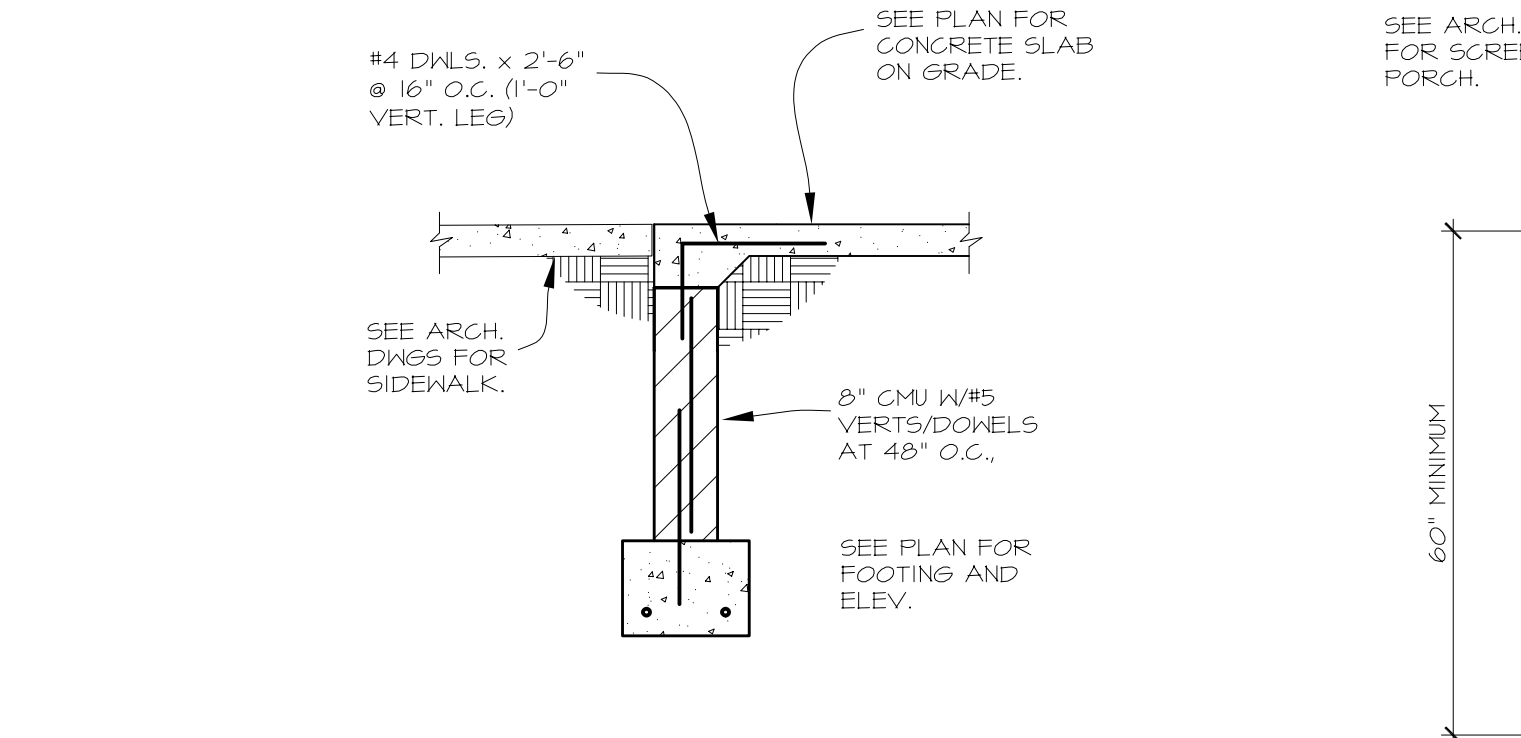
3 TYPICAL UNDERGROUND PIPING EXCAVATION
 NTS
 5400 1/2" = 1'-0"



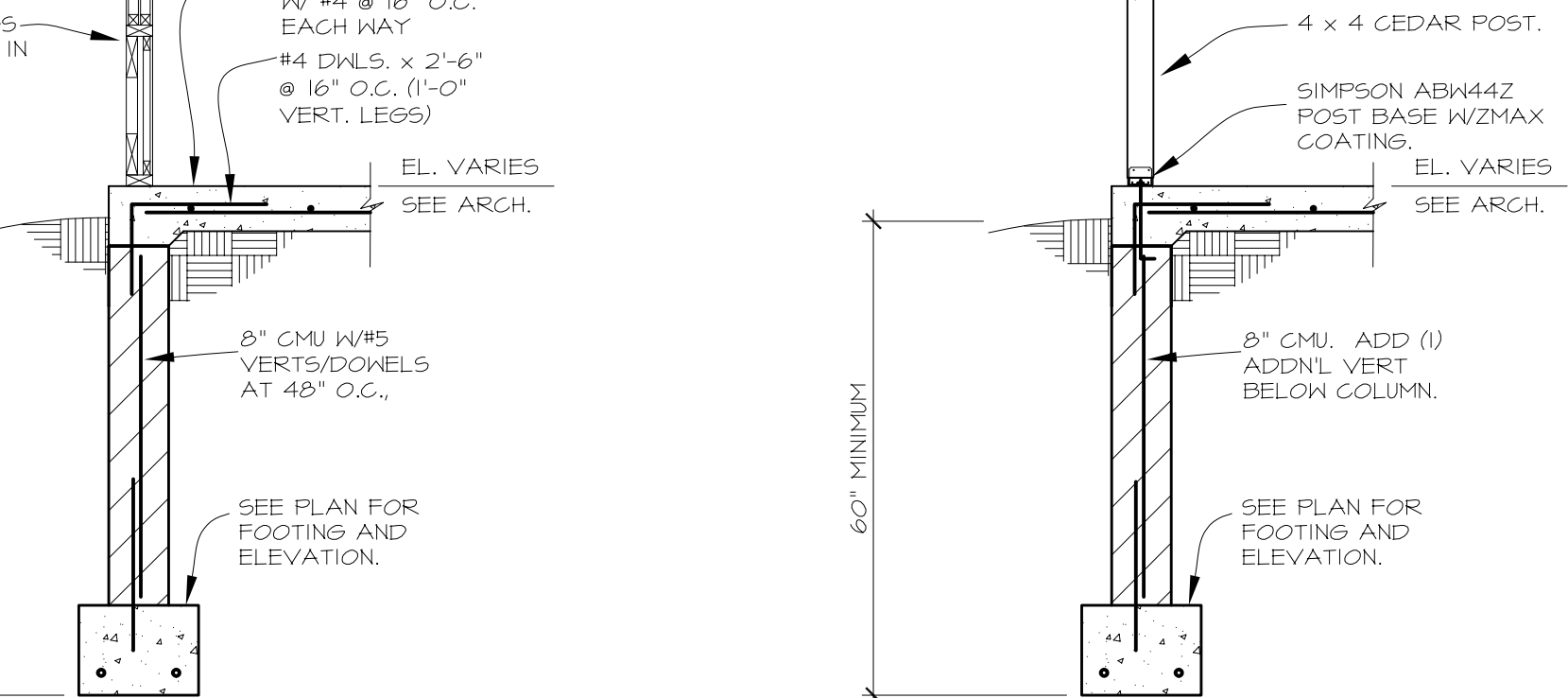
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 5400 1/2" = 1'-0"



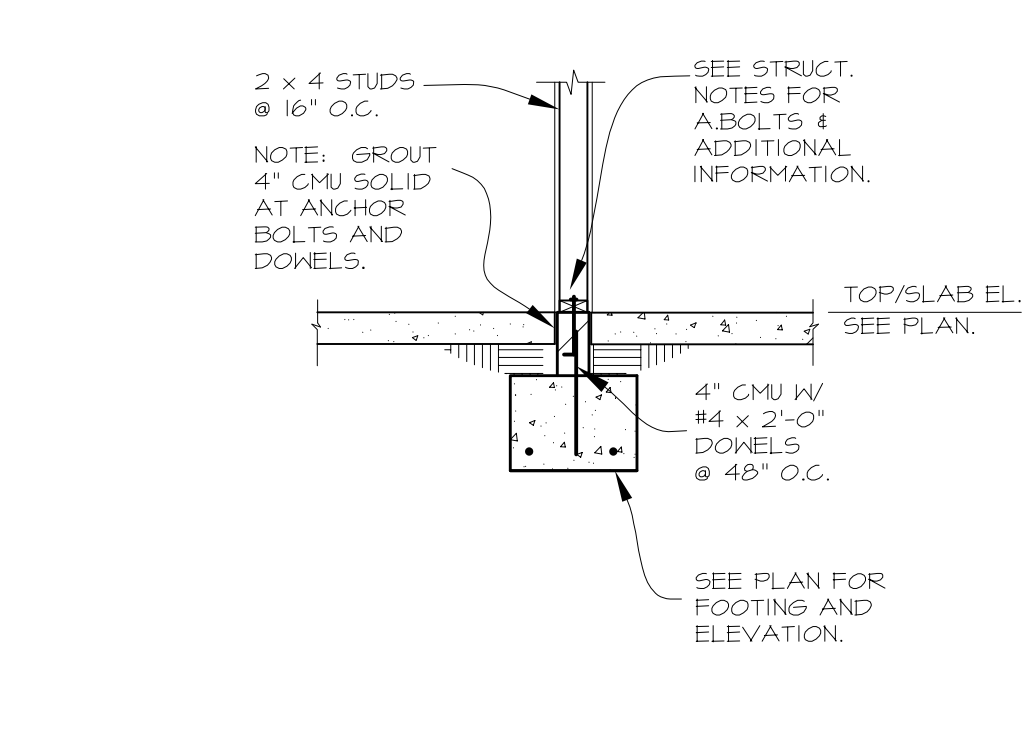
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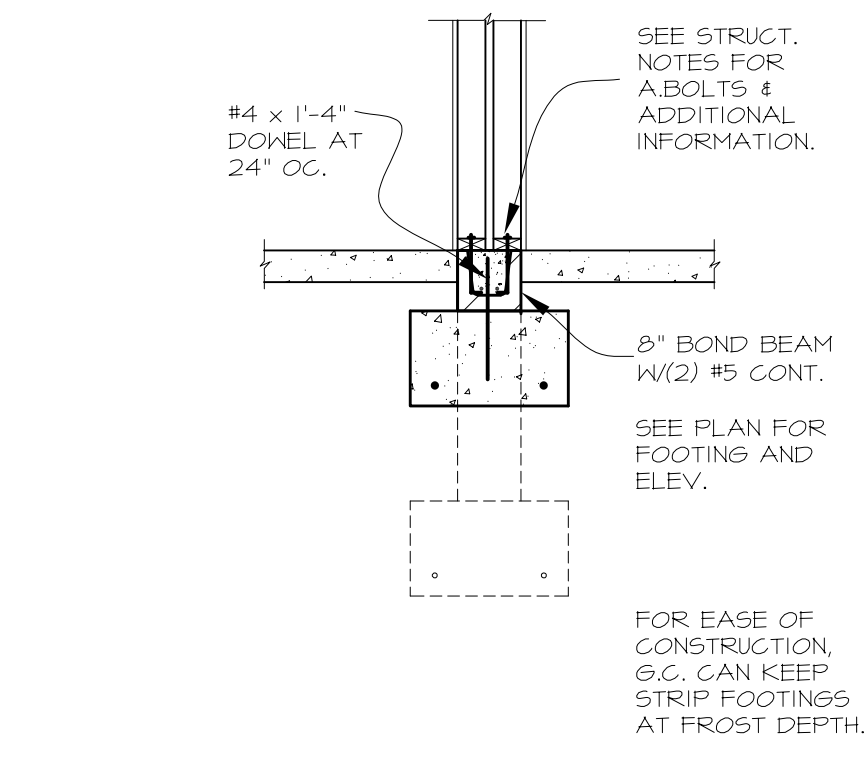
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 5400 1/2" = 1'-0"



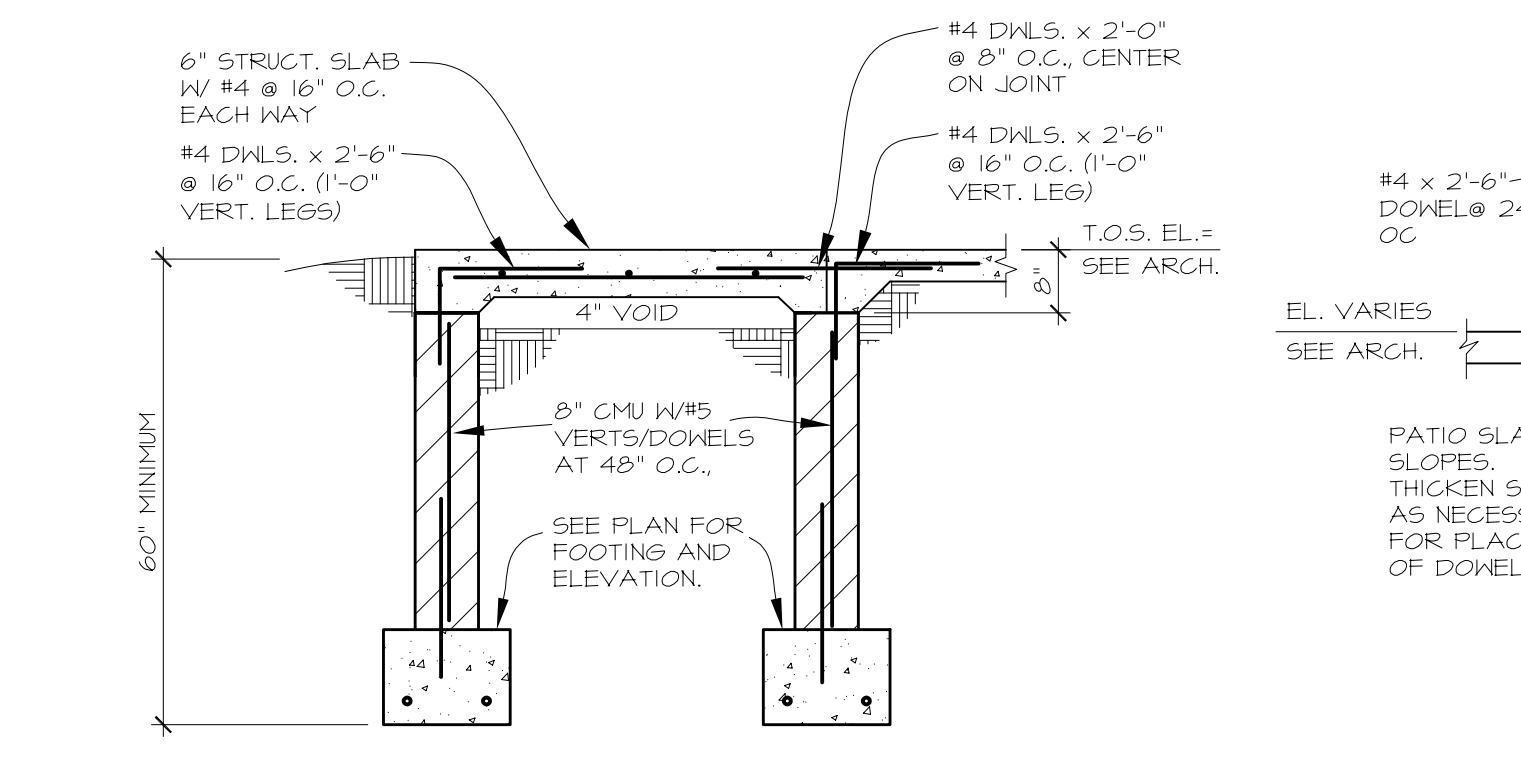
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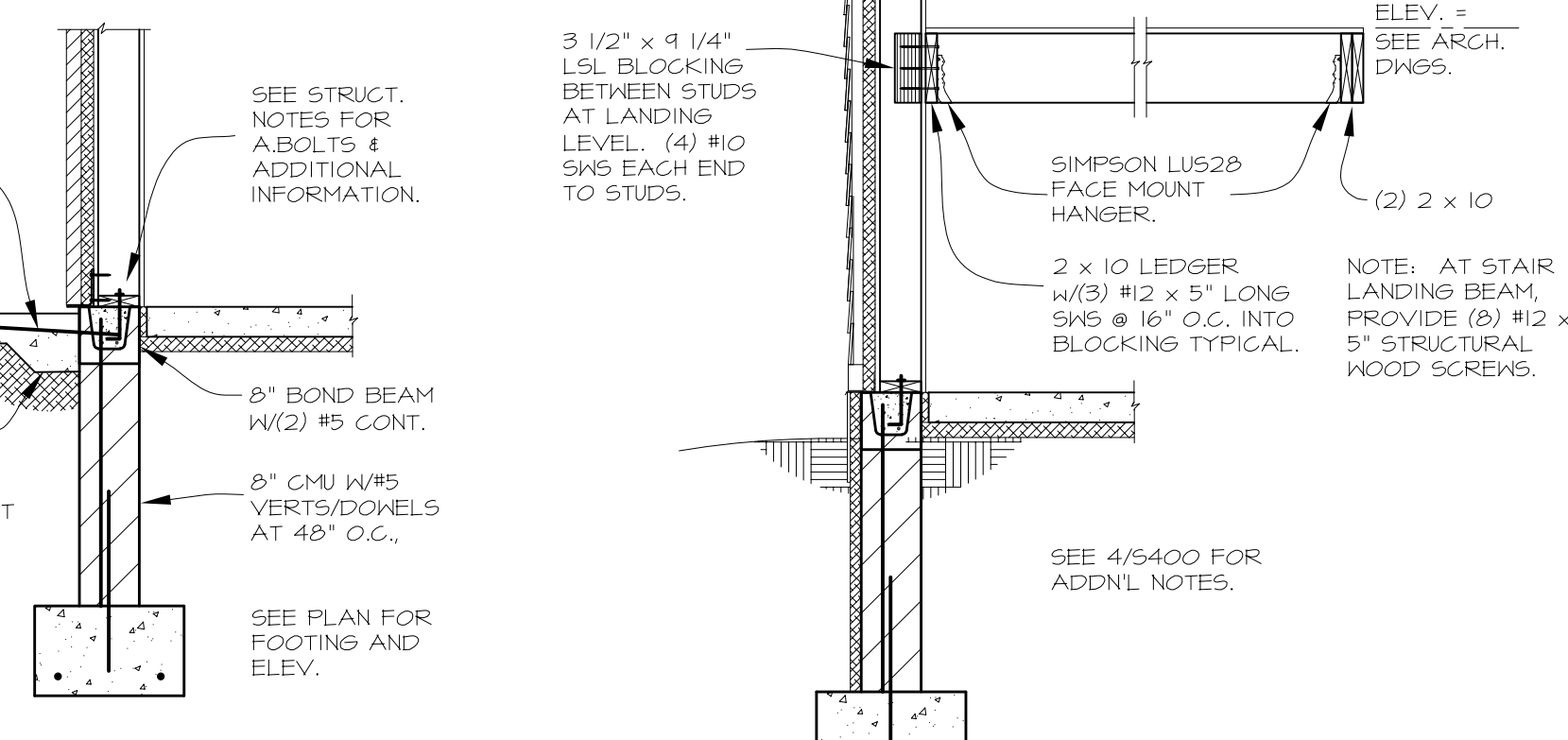
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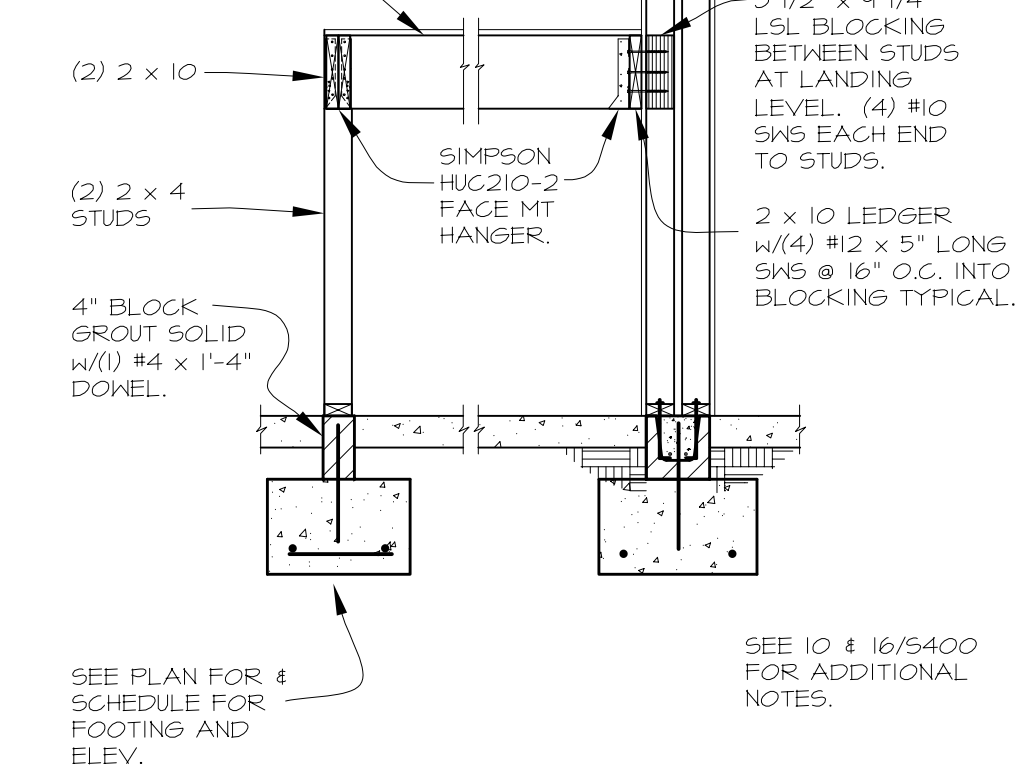
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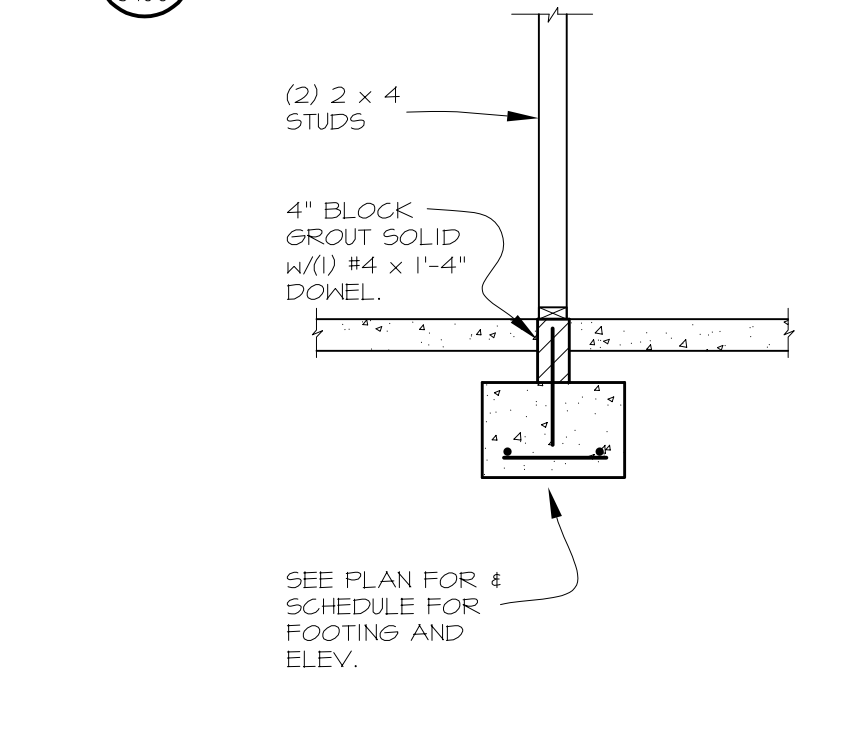
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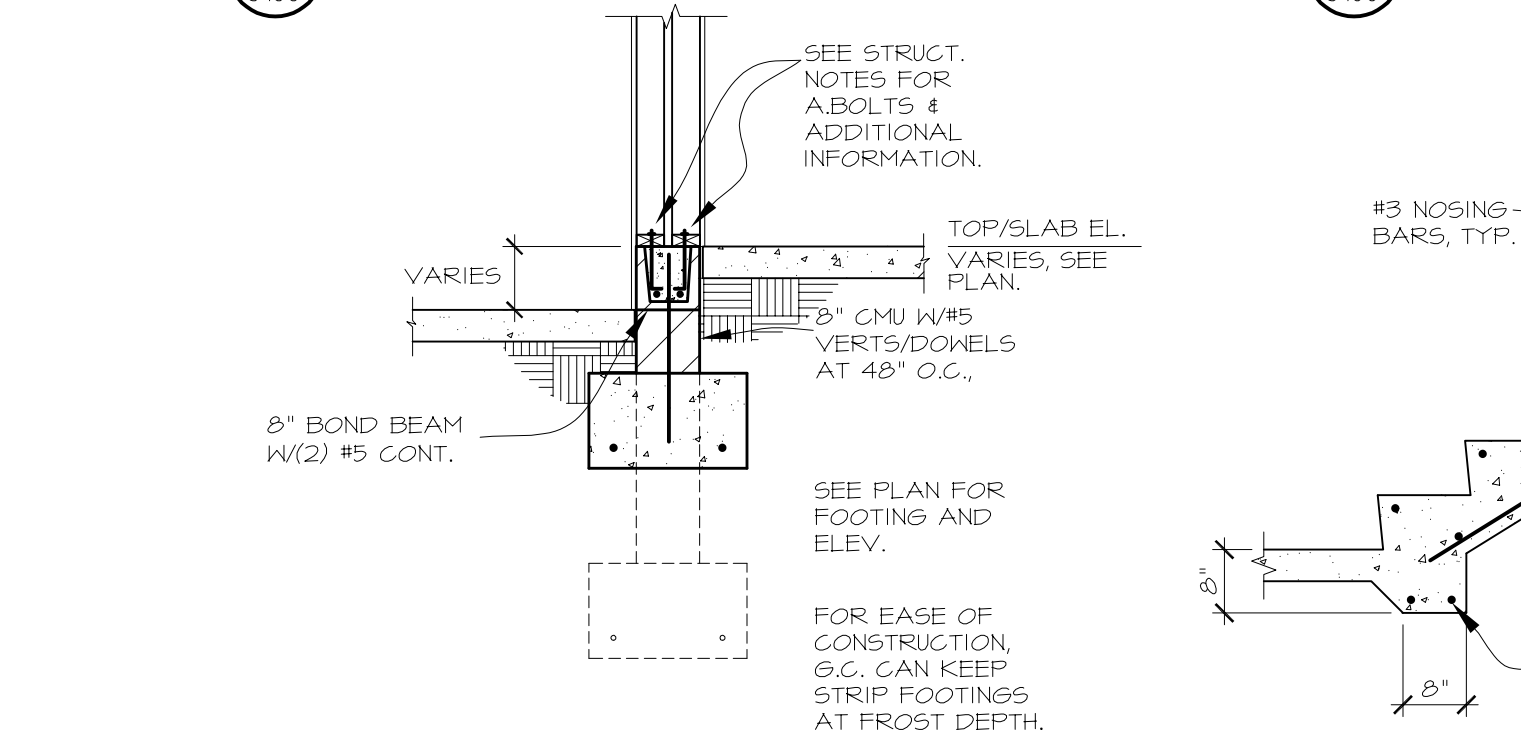
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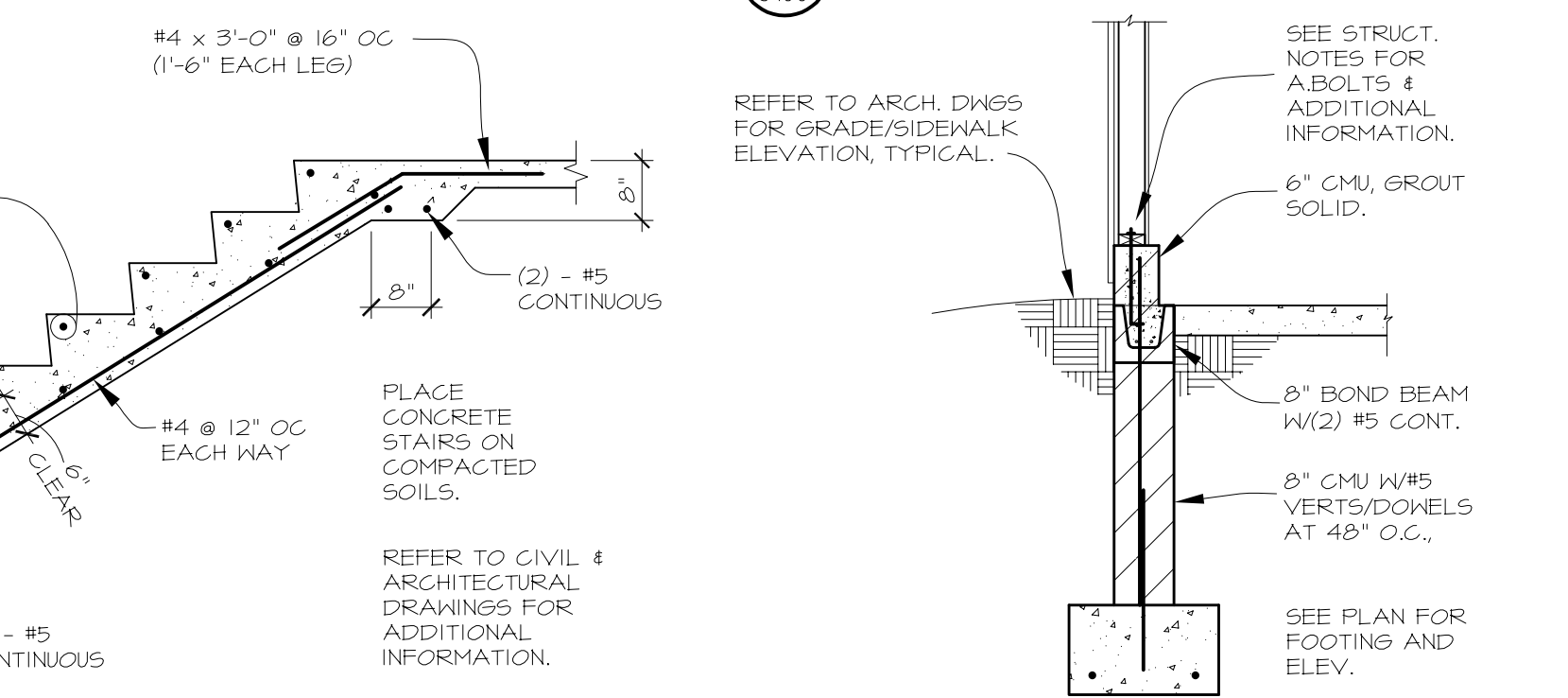
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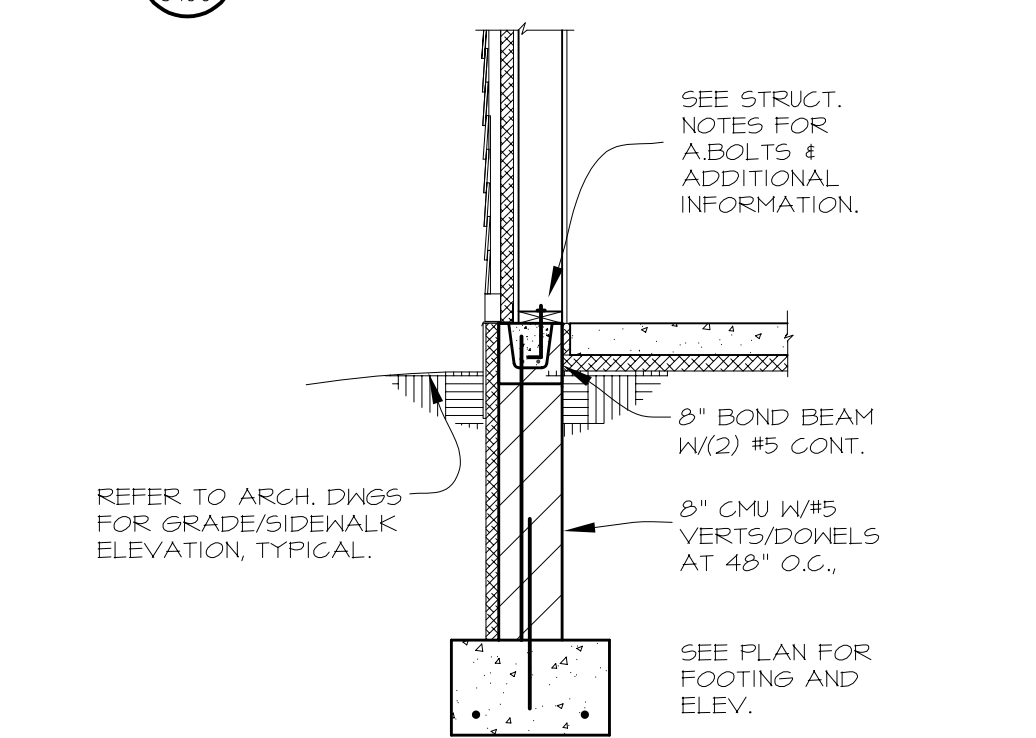
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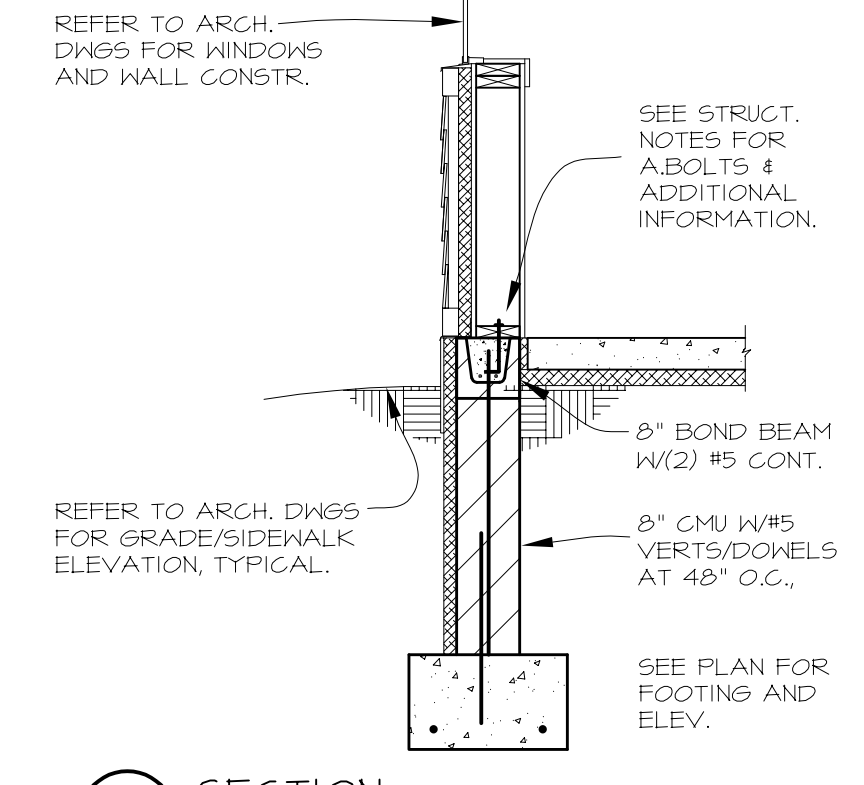
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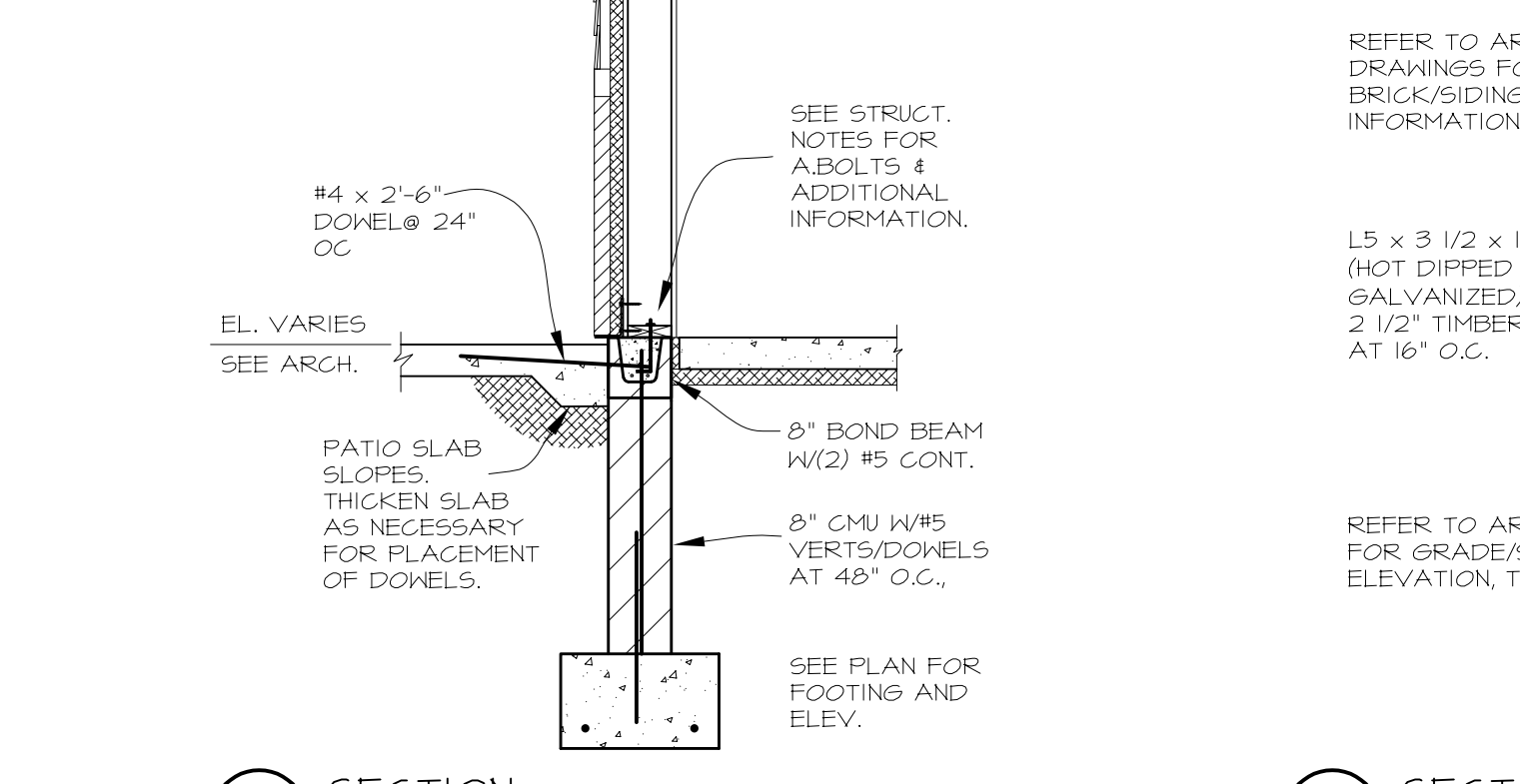
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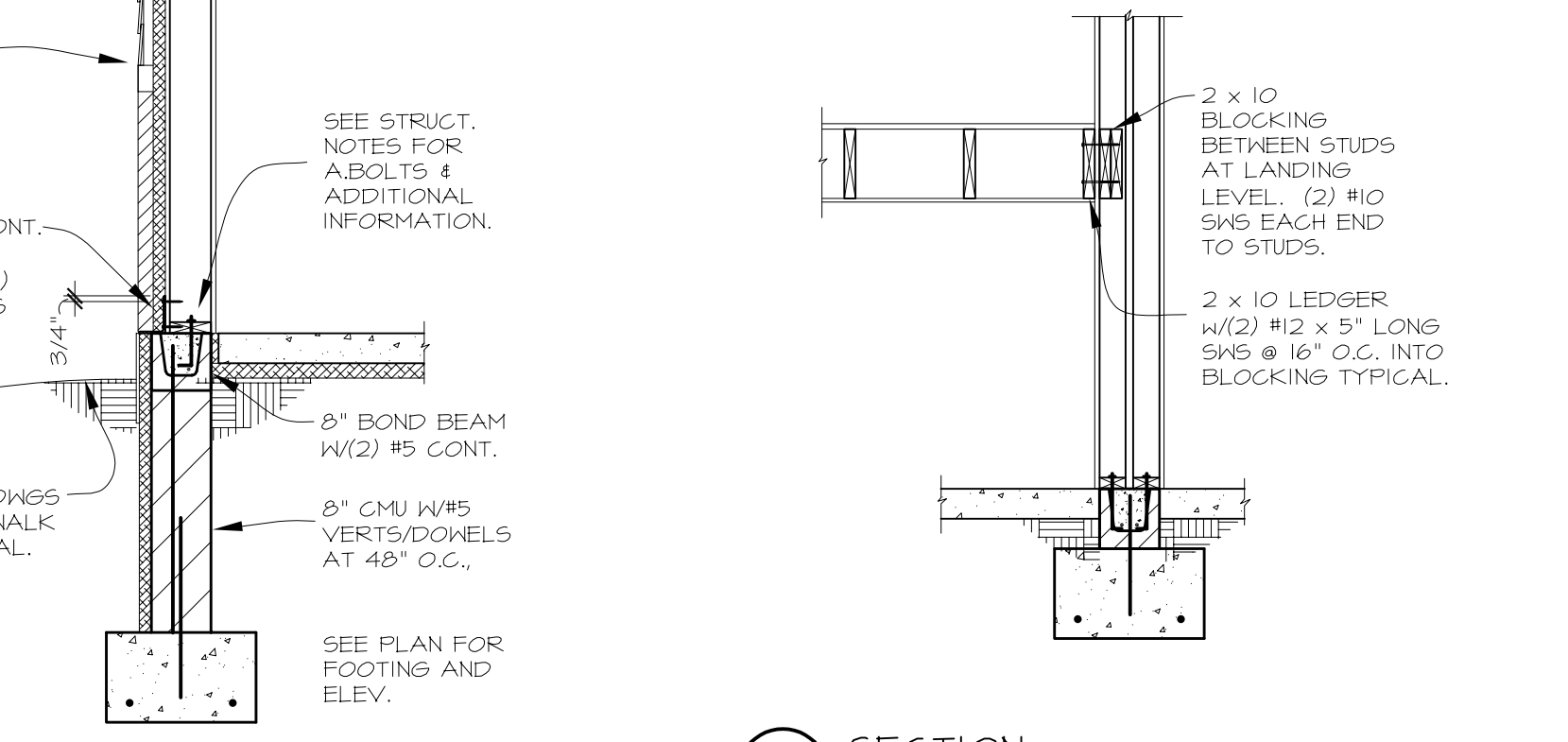
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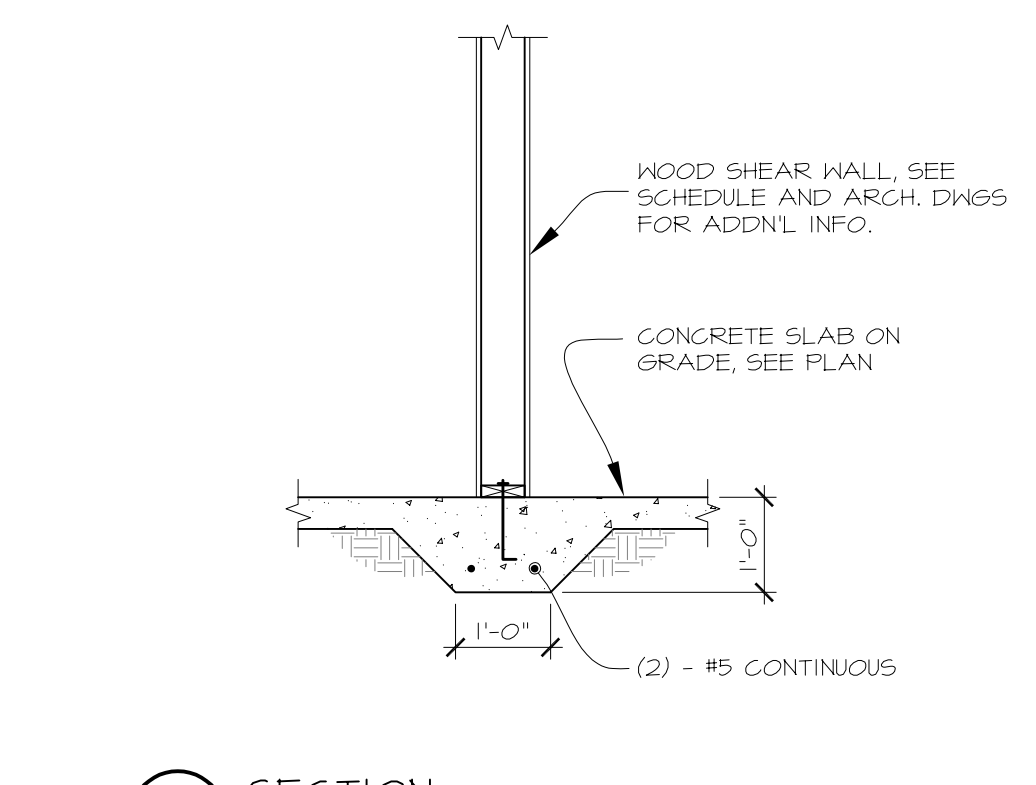
17 SECTION
 5400 1/2" = 1'-0"



18 SECTION
 5400 1/2" = 1'-0"



19 SECTION
 5400 1/2" = 1'-0"



20 SECTION
 5400 1/2" = 1'-0"

MINNEHAHA
TOWNHOMES
 5364 RIVERVIEW ROAD
 5368 RIVERVIEW ROAD
 5118 54TH STREET EAST
 MINNEAPOLIS, MN 55417

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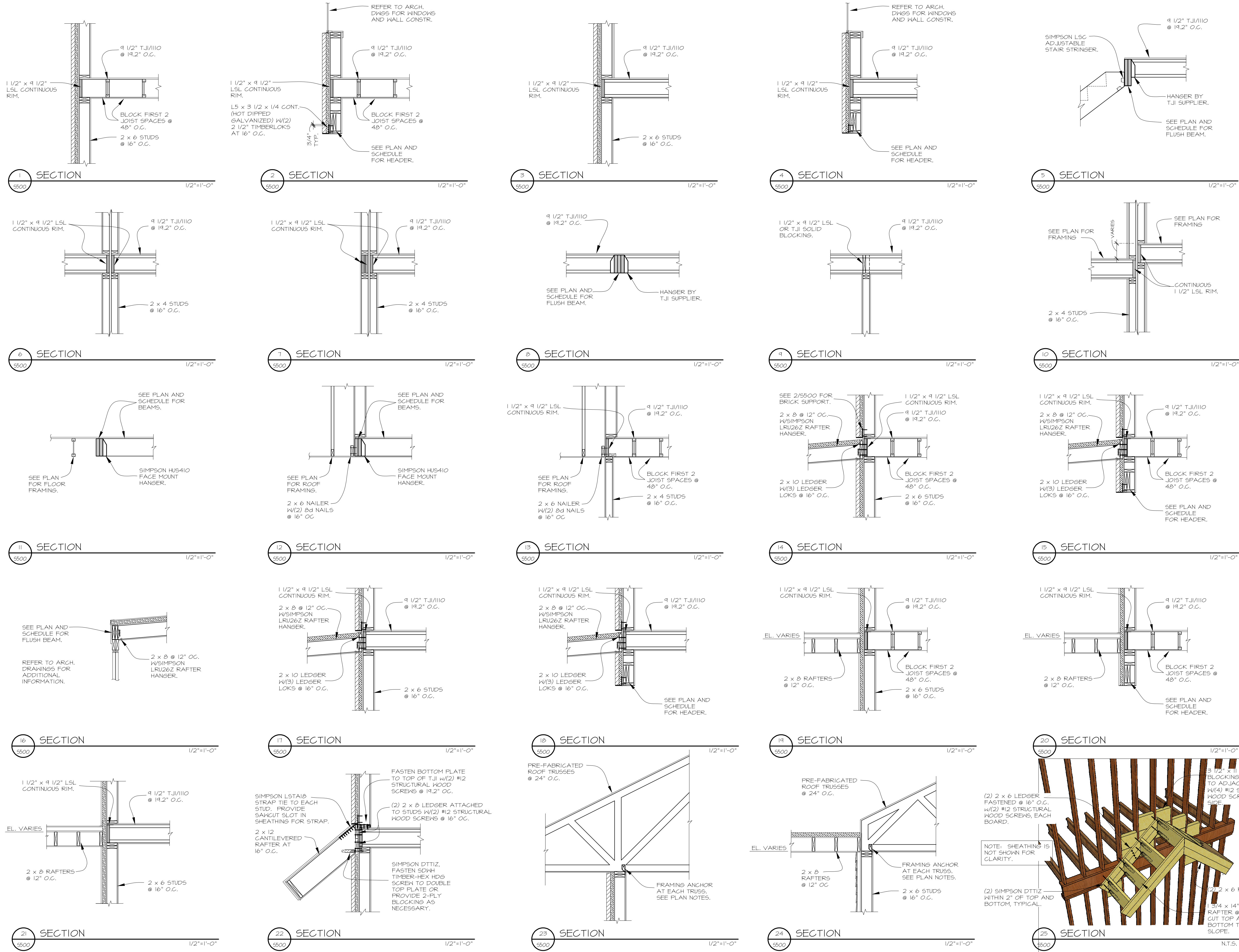
Signature: ADAM JESSE NEIBERBAUER
 Print Name: ADAM JESSE NEIBERBAUER
 Date: License No: 47778

ISSUE	DATE	DESCRIPTION
1	4/21/2017	100% DESIGN DEVELOPMENT ISSUE
2	5/26/2017	50% CONSTRUCTION DOCUMENTS ISSUE
3	5/26/2017	GC 90% REVIEW SET

PROJECT NO: 17060
 PROJECT PHASE: CD
 DRAWN BY: DLH
 CHECKED BY: AN

FOUNDATION SECTIONS AND DETAILS

S400



MINNEHAHA
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 5368 RIVERVIEW ROAD
 5118 54TH STREET EAST
 MINNEAPOLIS, MN 55417

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 Date: _____ License No: 4773

ISSUE	DATE	DESCRIPTION
1	4/21/2017	100% DESIGN DEVELOPMENT ISSUE
2	5/26/2017	50% CONSTRUCTION DOCUMENTS ISSUE
3	5/26/2017	GC 90% REVIEW SET

PROJECT NO. 17060
 PROJECT PHASE CD
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SECOND FLOOR
FRAMING SECTIONS
AND DETAILS

**MINNEHAHA
TOWNHOMES**
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5368 RIVERVIEW ROAD
5118 54TH STREET EAST
MINNEAPOLIS, MN 55417

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Licensed Engineer under the Laws of the State of Minnesota.

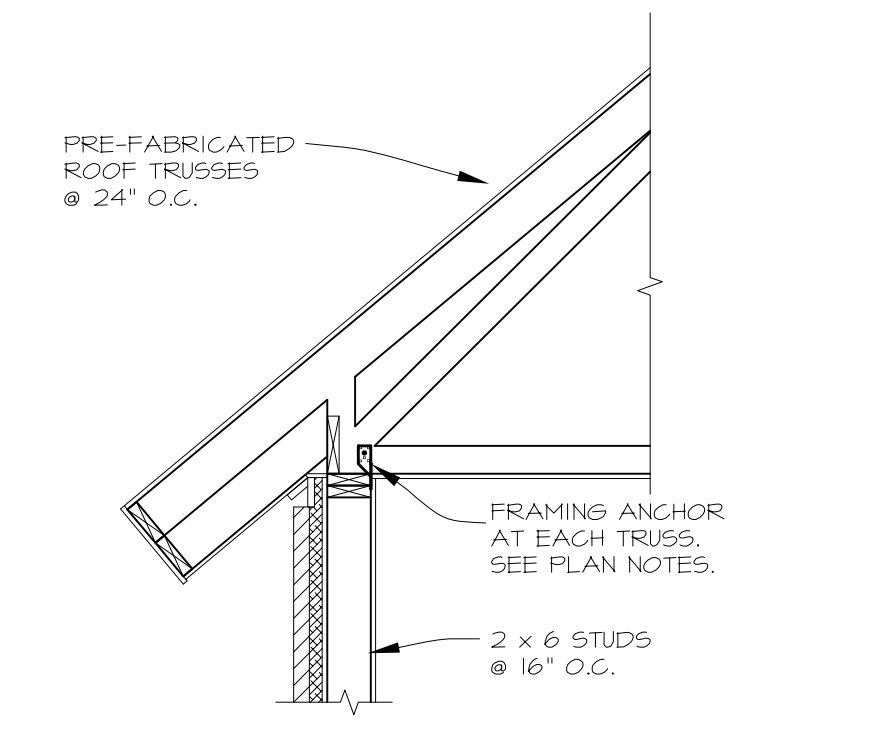
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Print Name: ADAM JESSE NEIGEBAUER
Date: _____ License No: 47773

ISSUE		
MAR	DATE	DESCRIPTION
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2	5/08/2017	50% CONSTRUCTION DOCUMENTS ISSUE
3	5/26/2017	GC 90% REVIEW SET

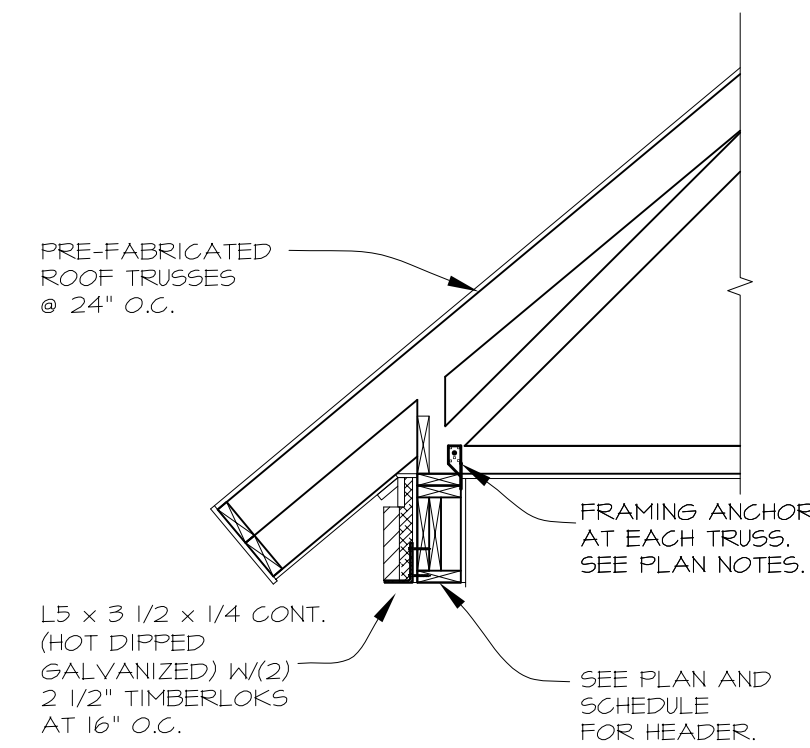
PROJECT NO. 17060
PROJECT PHASE CD
DRAWN BY: DLH CHECKED BY: AN
Drawing 2016 Copyright Meyer, Scherer & Rockcastle, Ltd.

**SECOND FLOOR
FRAMING SECTIONS
AND DETAILS**

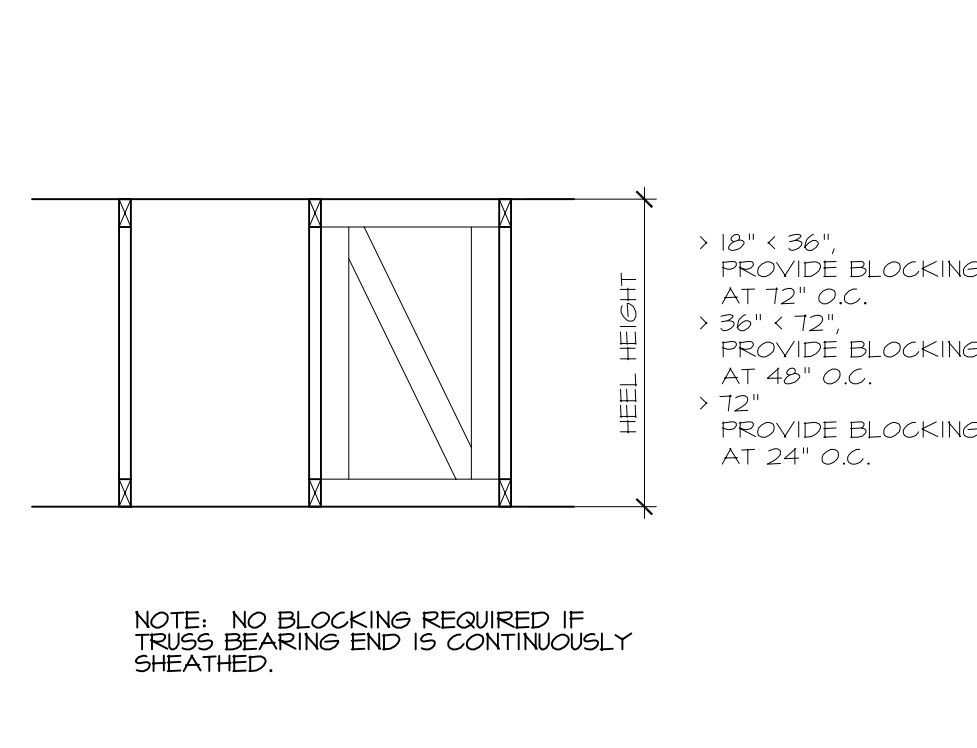
S600



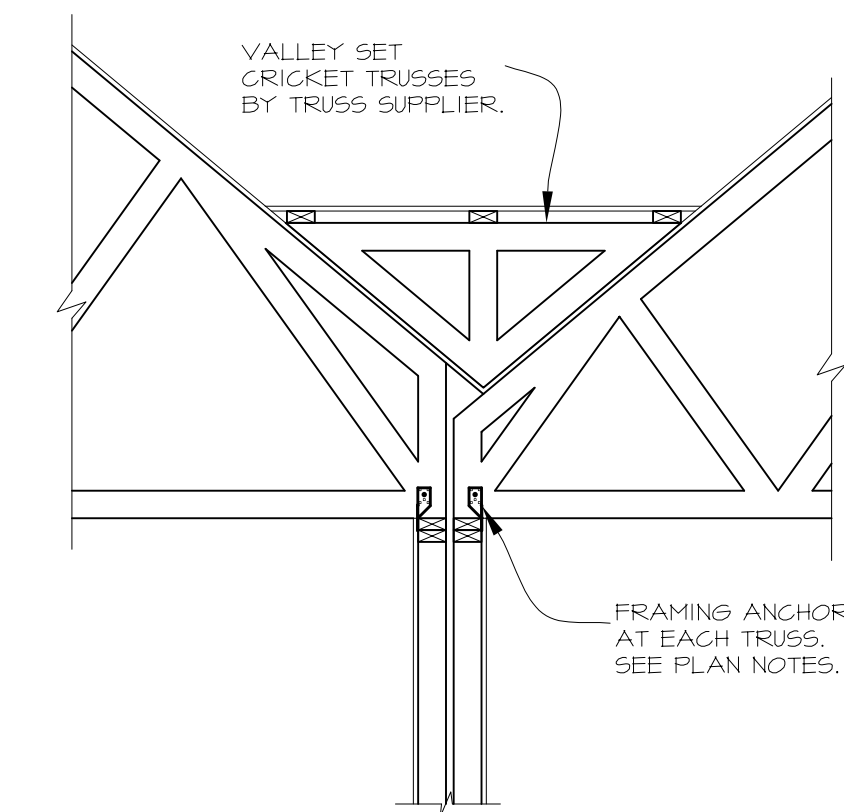
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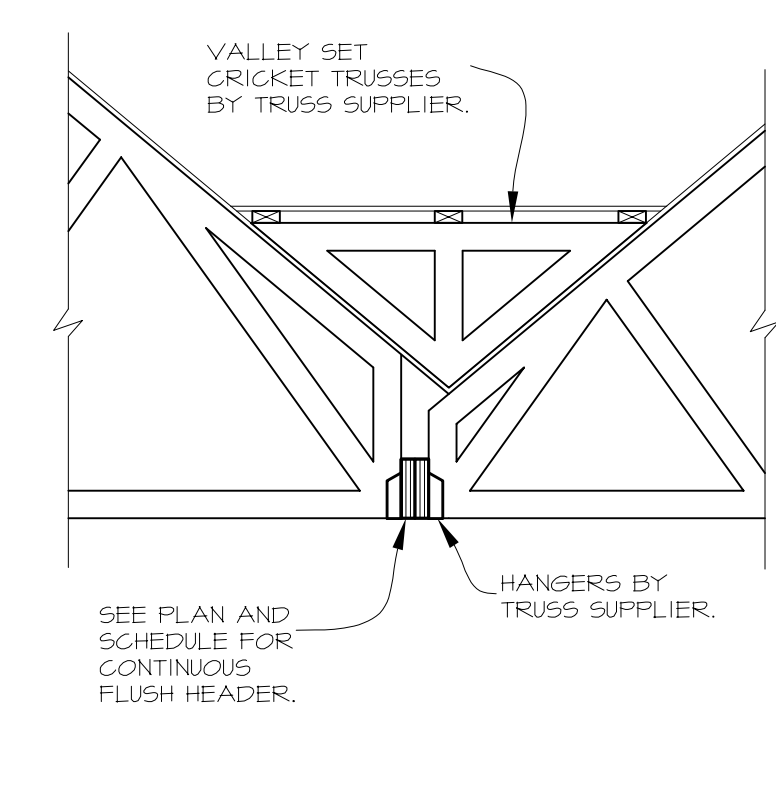
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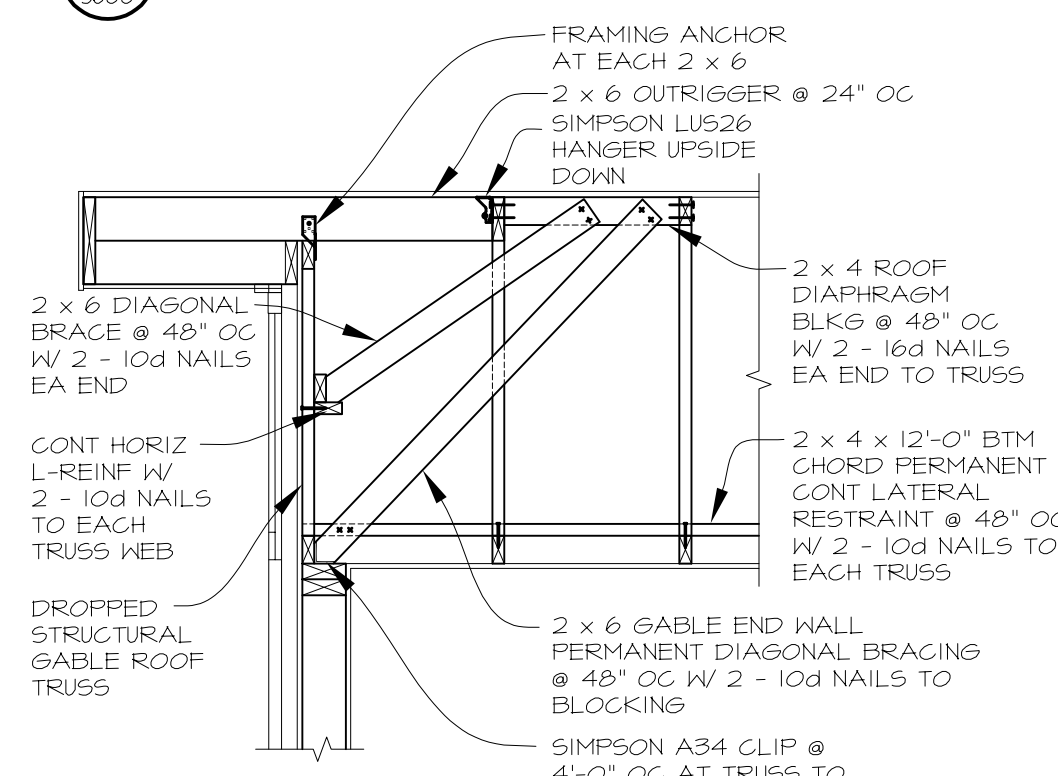
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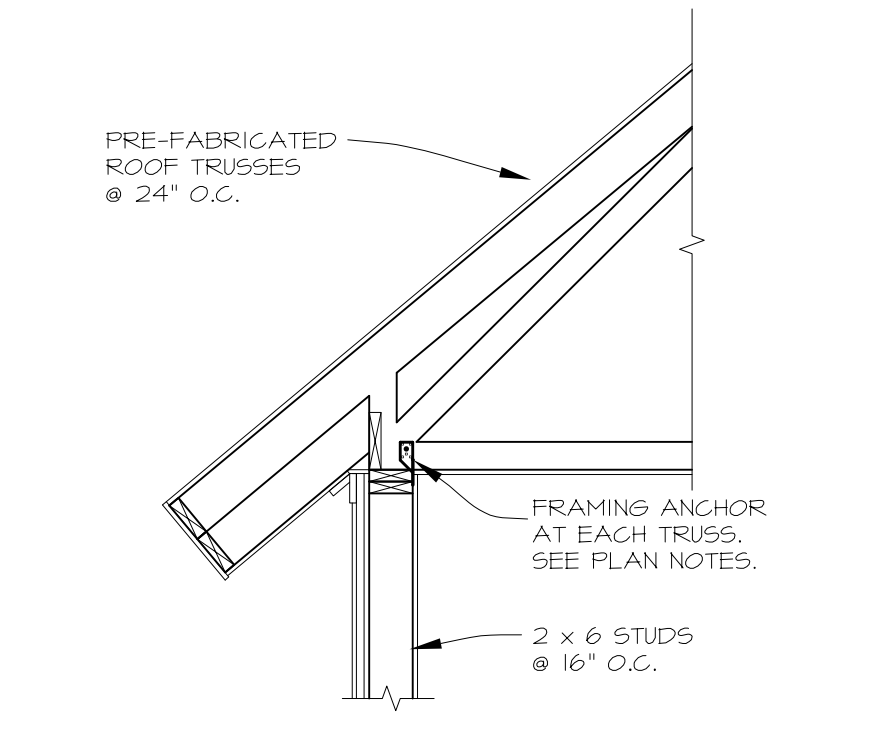
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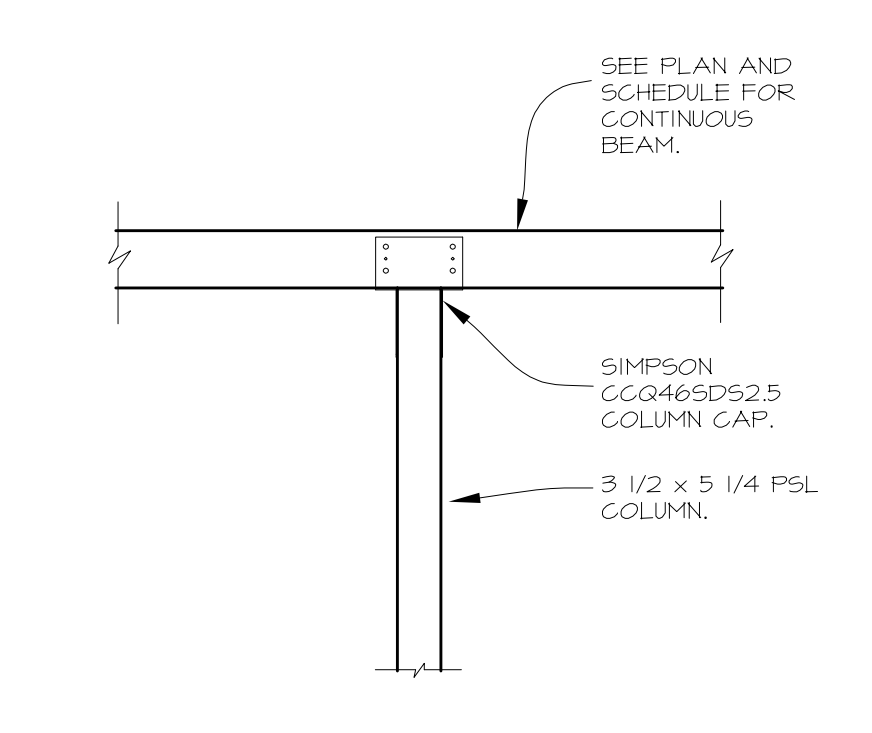
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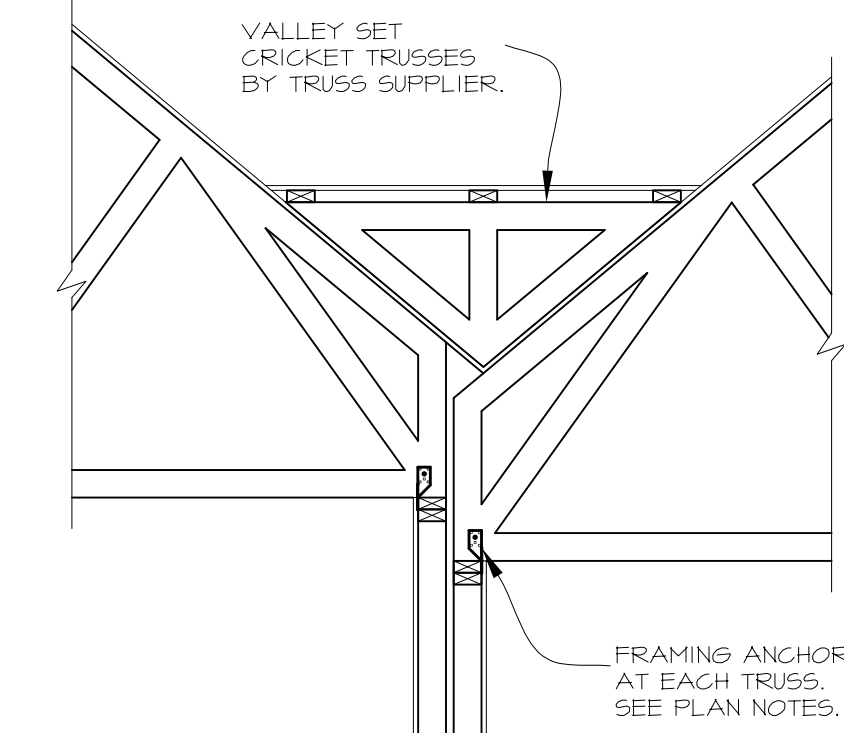
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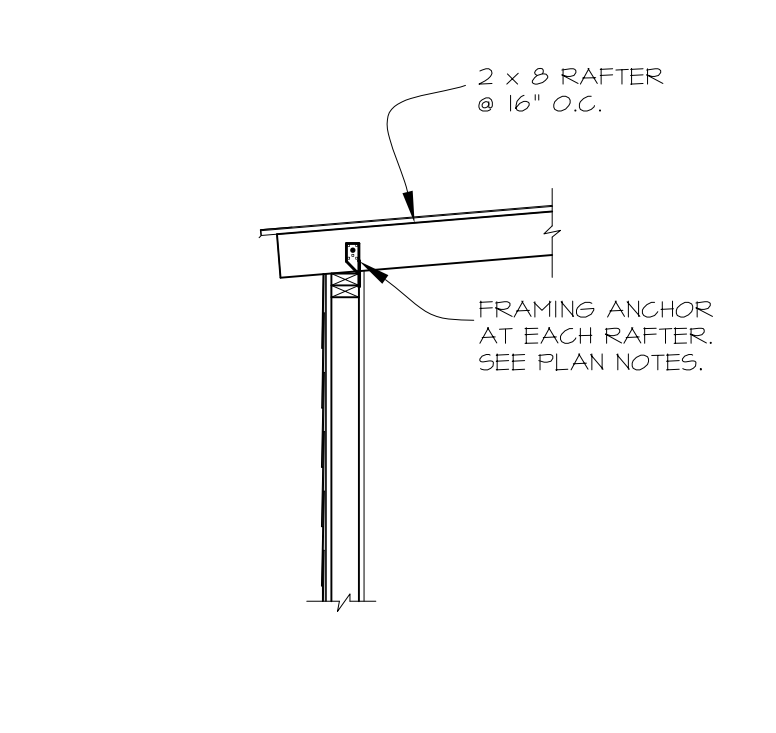
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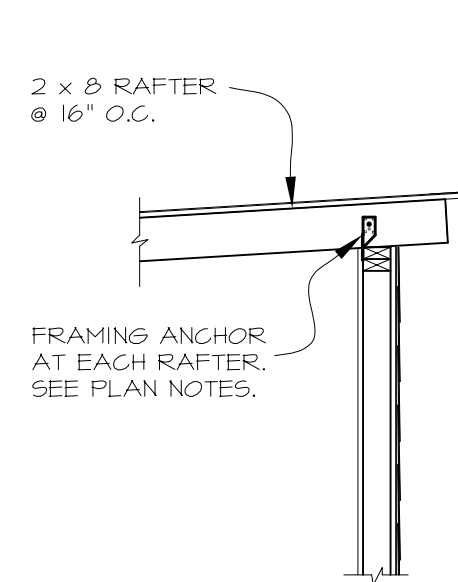
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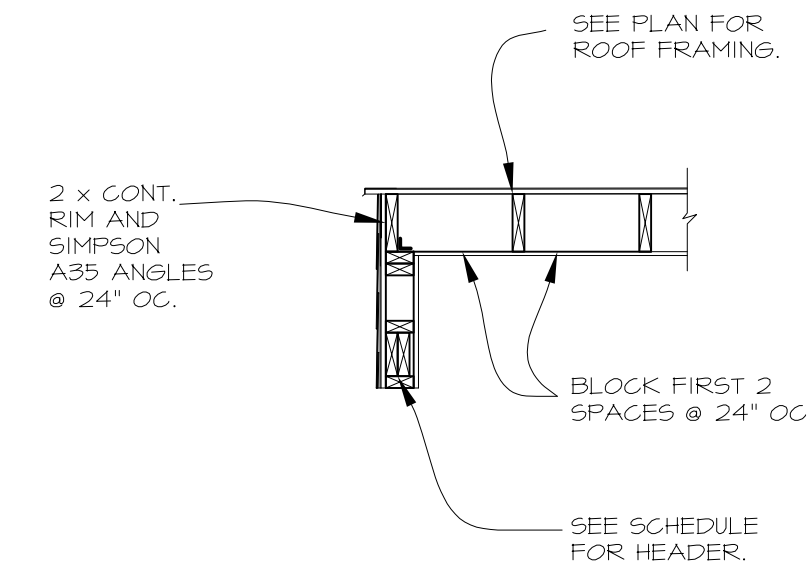
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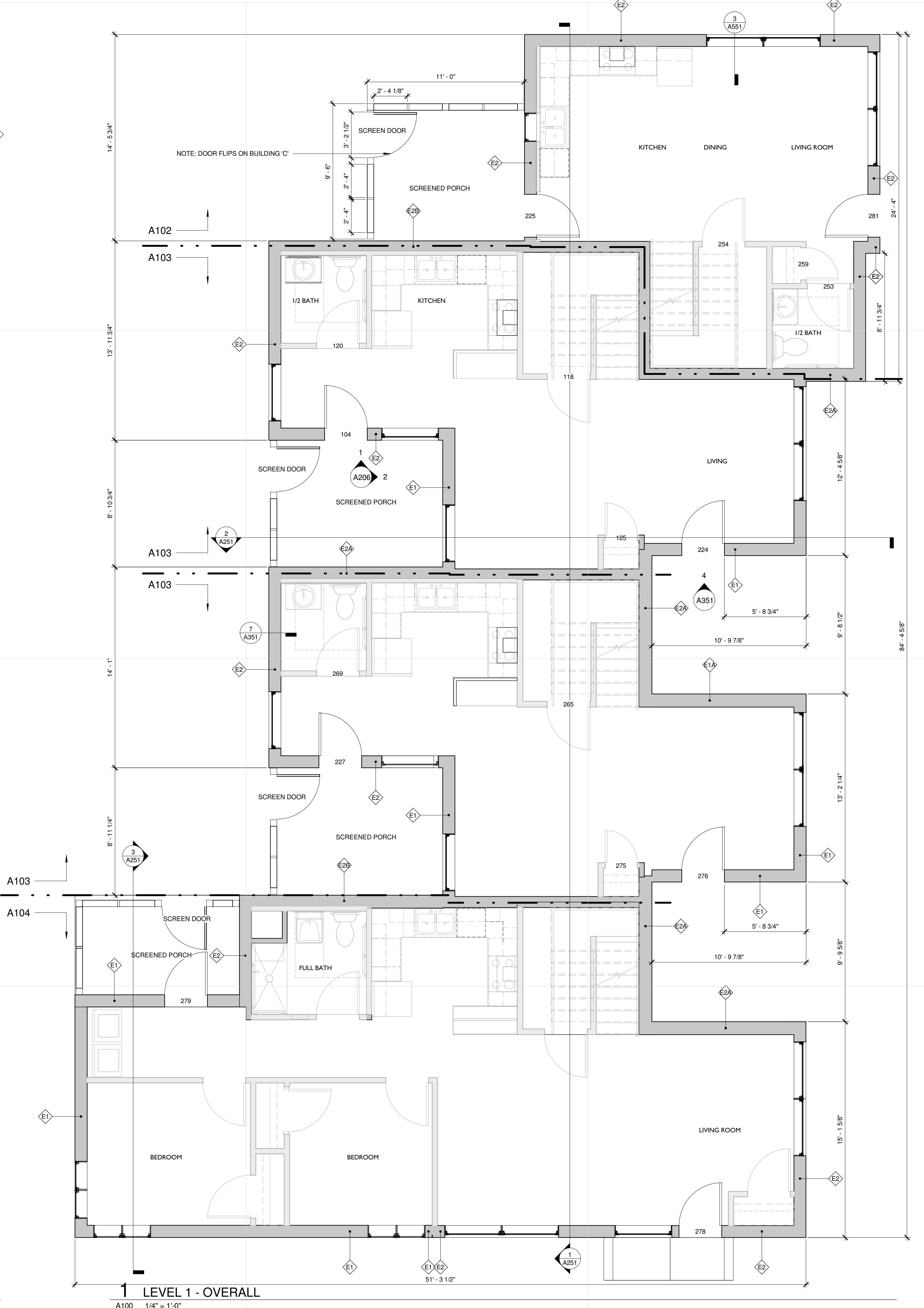
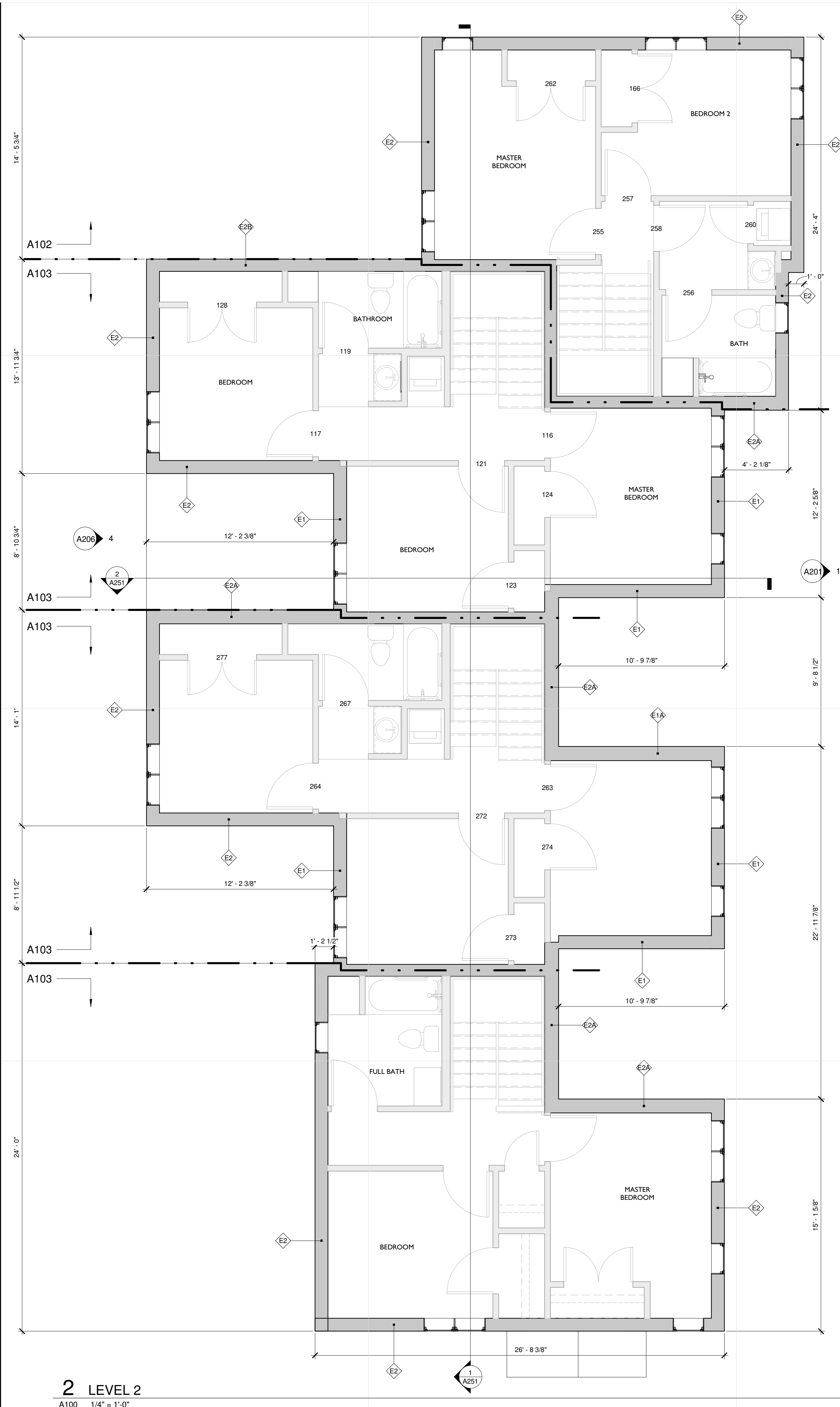
10 SECTION
5600 1/2"=1'-0"



11 SECTION
5600 1/2"=1'-0"



12 SECTION
5600 1/2"=1'-0"



MSR 710 South 2nd Street, 8th Floor
Minneapolis, Minnesota 55401-2282
Architecture 612.375.0336 tel
Interiors and 612.342.2216 fax
Urban Design www.msrdesign.com

**MINNEHAHA
TOWNHOMES**
5348, 5364, 5369 RIVERVIEW
ROAD, 5118 54TH ST EAST
MINNEAPOLIS, MN 55417

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Signature: _____
Print Names: _____
Date: _____ License No: _____

MARK	DATE	DESCRIPTION
	04.21.17	100% DD
	04.28.17	LAND USE APPLICATION
	05.05.17	50% GD
	05.26.17	GC 90% REVIEW SET

PROJECT NO. 2016015
PROJECT PHASE GC 90% REVIEW SET
DRAWN BY: Author CHECKED BY: Checker
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**OVERALL BUILDING
D PLAN - 2-3-3-4**

A100

**MINNEHAHA
 TOWNHOMES**
 5348, 5364, 5369 RIVERVIEW
 5118 54TH ST EAST
 MINNEAPOLIS, MN 55417

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 ARCHITECT SEAL

Signature: _____
 Print Names: _____
 Date: _____ License No: _____

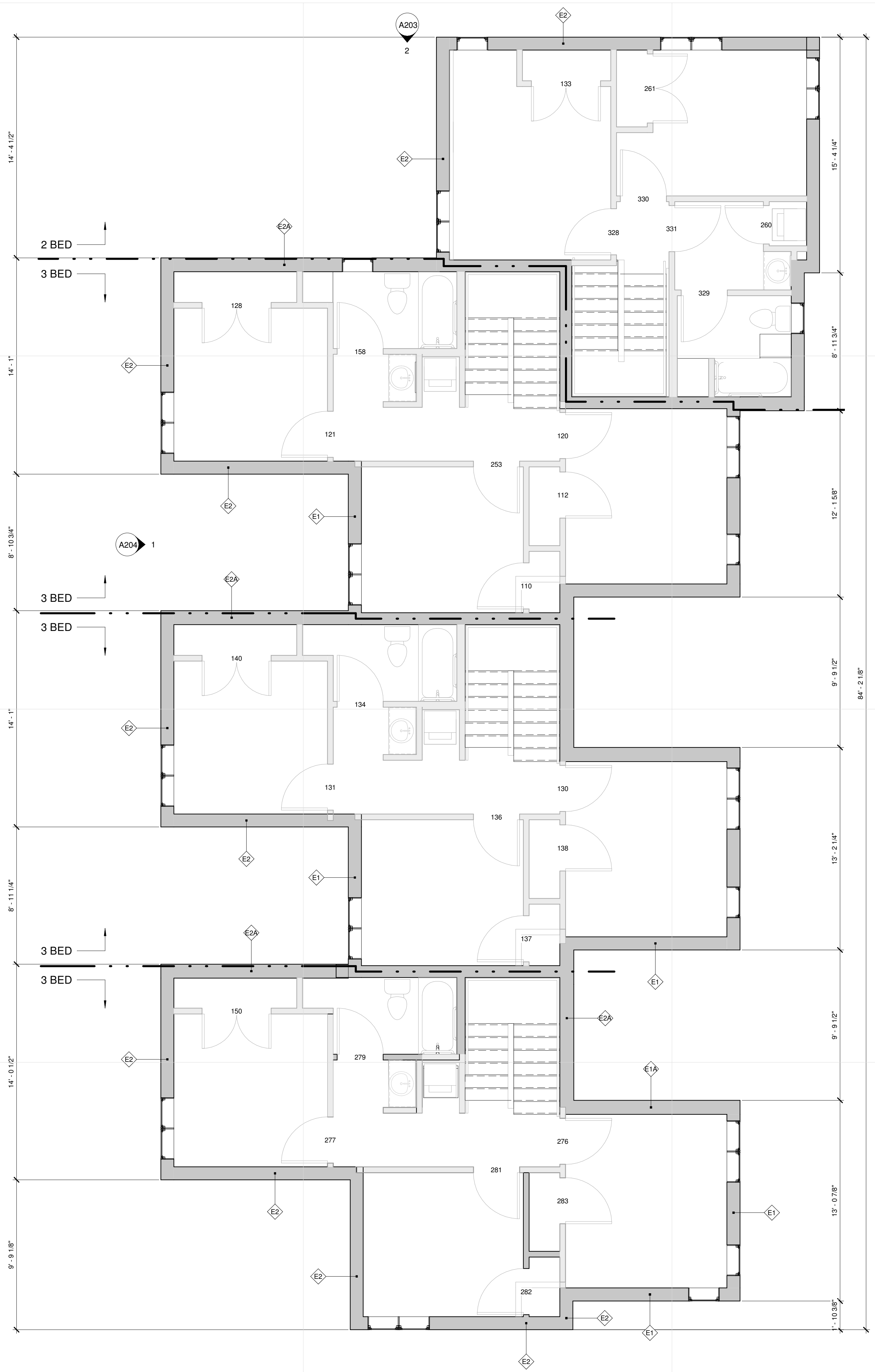
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	04.28.17	LAND USE APPLICATION
	05.08.17	50% GD
	05.26.17	GC 90% REVIEW SET

PROJECT NO.	2016015
PROJECT PHASE	GC 90% REVIEW SET
DRAWN BY:	CHECKED BY:
Author	Checker

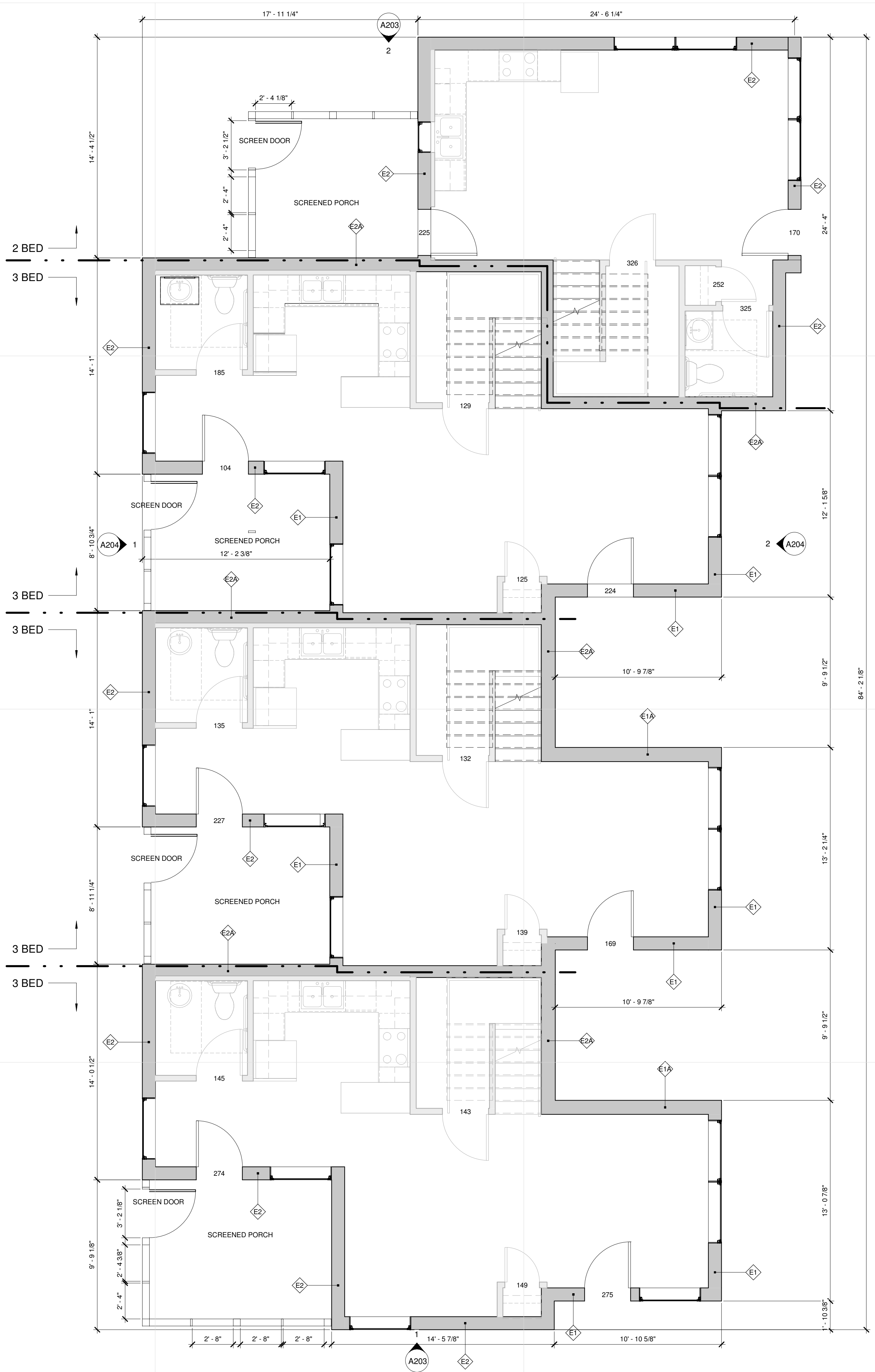
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**OVERALL A,B,C
 BUILDING PLAN
 2-3-3-3**

A101



2 LEVEL 2
 A101 1/4" = 1'-0"



1 LEVEL 1 - OVERALL
 A101 1/4" = 1'-0"

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**MINNEHAHA
 TOWNHOMES**
 5348, 5364, 5369 RIVERVIEW
 ROAD, 5118 54TH ST EAST
 MINNEAPOLIS, MN 55417

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 ARCHITECT SEAL

Signature: _____

Print Names: _____

Date: _____ License No.: _____

MARK	DATE	DESCRIPTION
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	04.28.17	LAND USE APPLICATION
	05.05.17	50% CD
	05.26.17	GC 90% REVIEW SET

PROJECT NO. 2016015

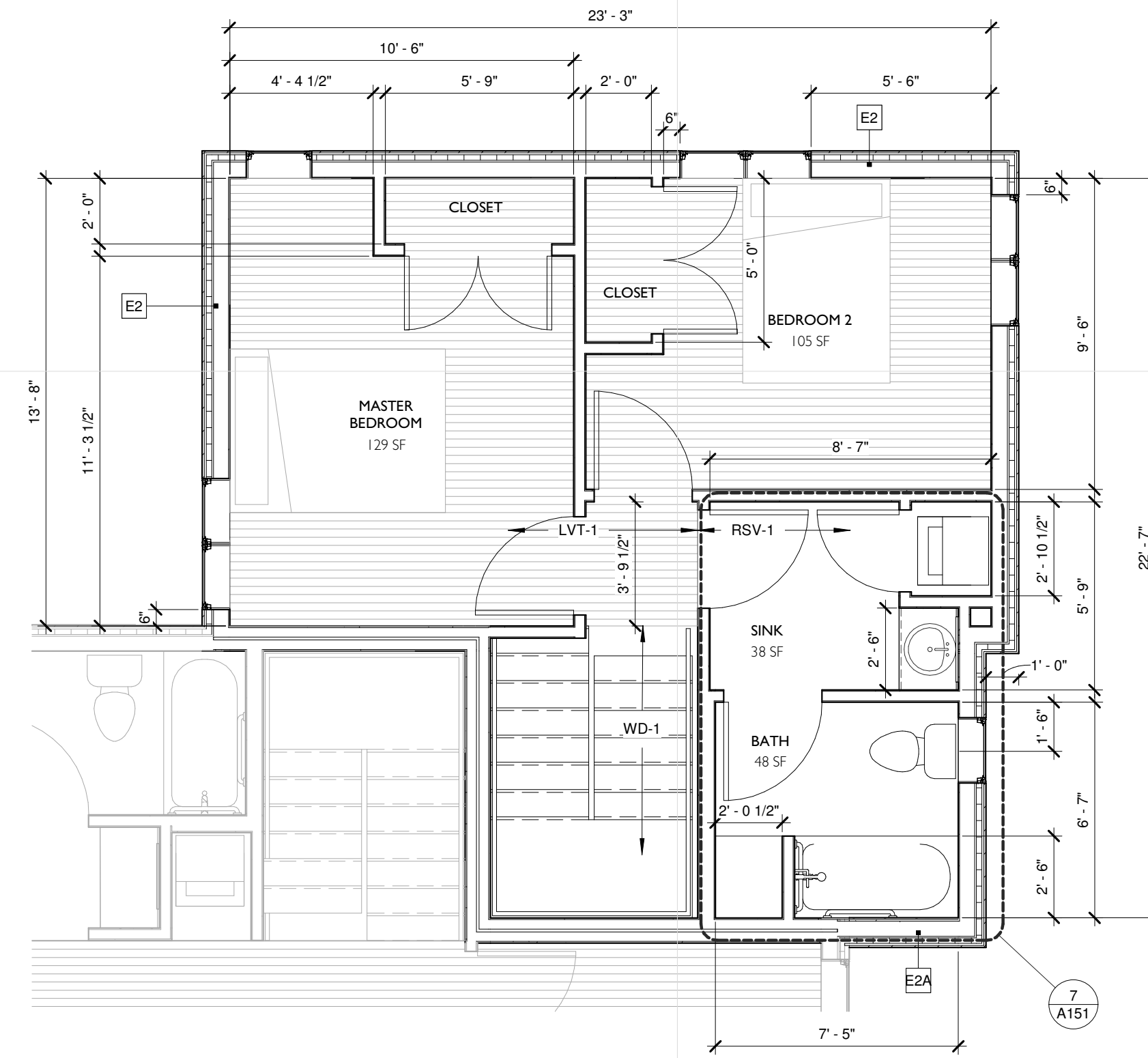
PROJECT PHASE GC 90% REVIEW SET

DRAWN BY: Author CHECKED BY: Checker

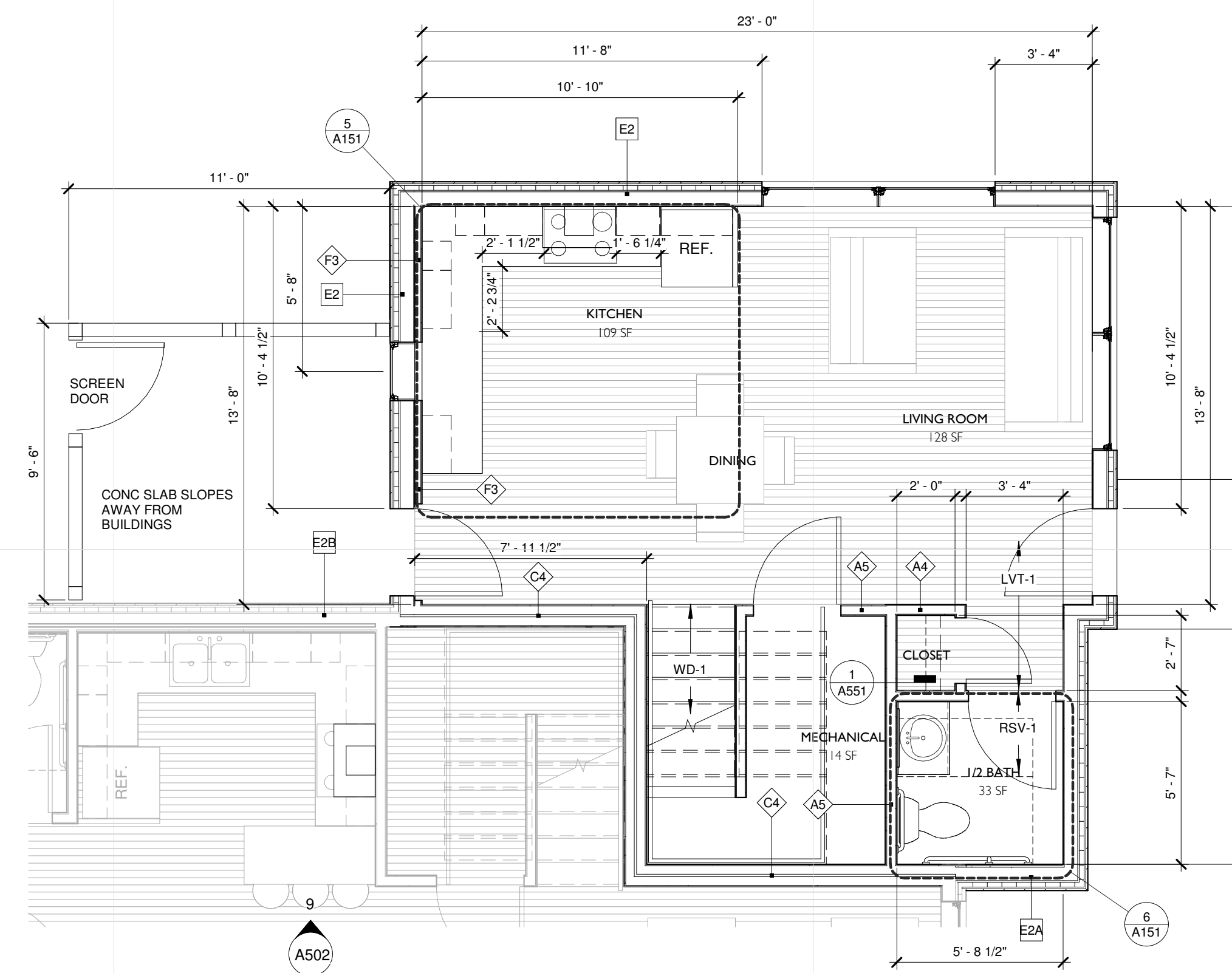
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TWO BEDROOM

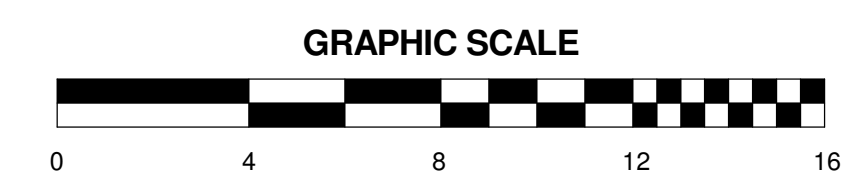
A102

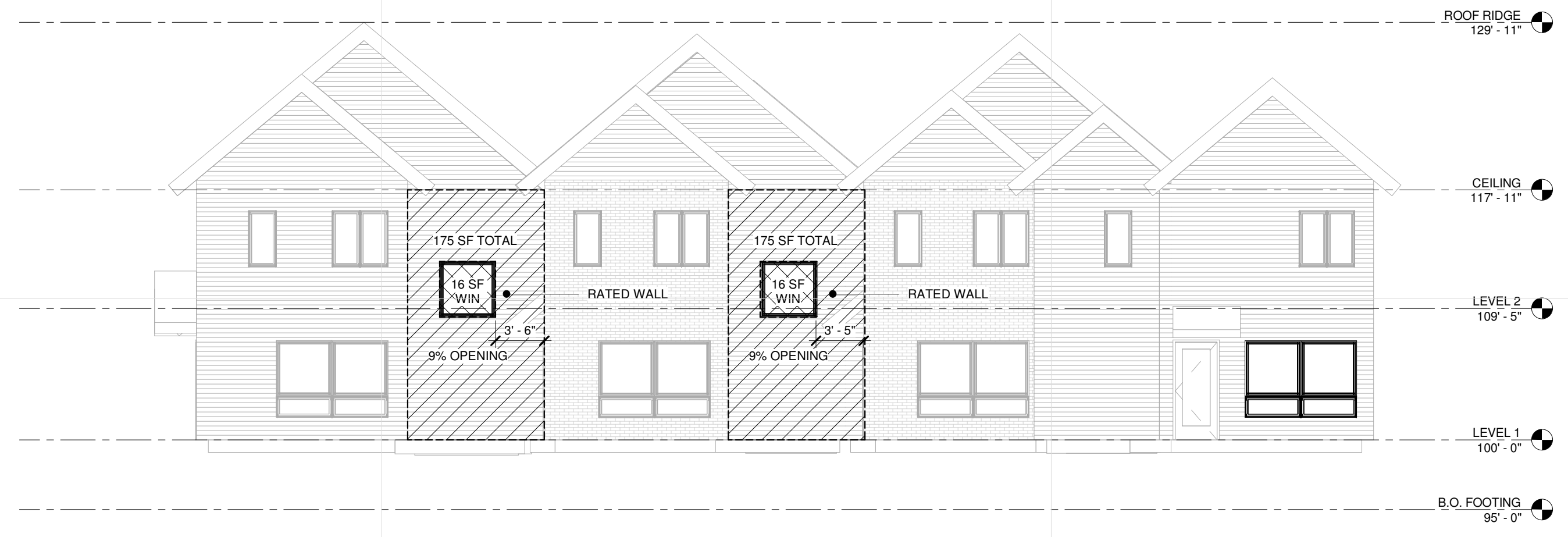


2 LEVEL 2 - TWO BEDROOM
 A102 1/4" = 1'-0"

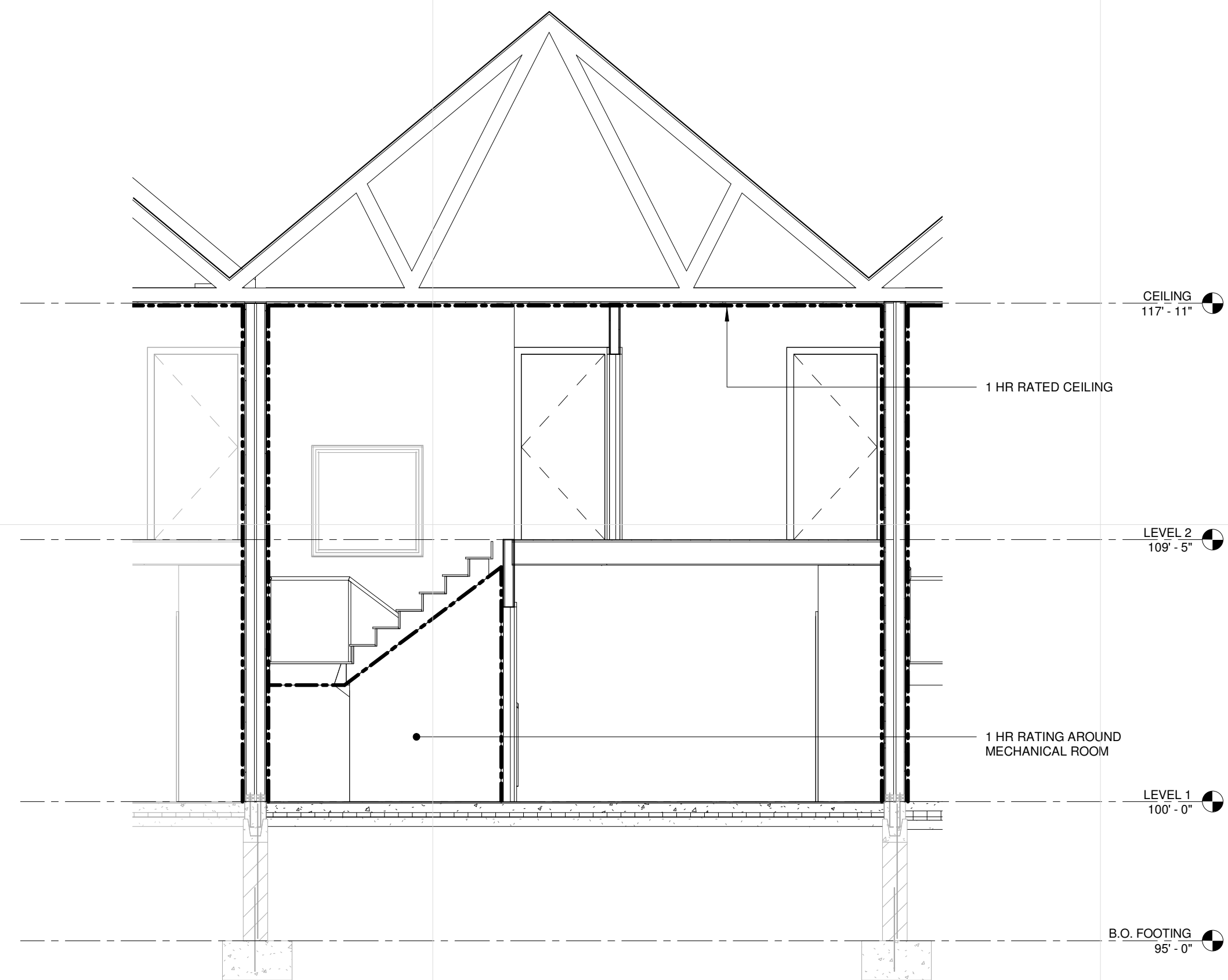


1 LEVEL 1
 A102 1/4" = 1'-0"

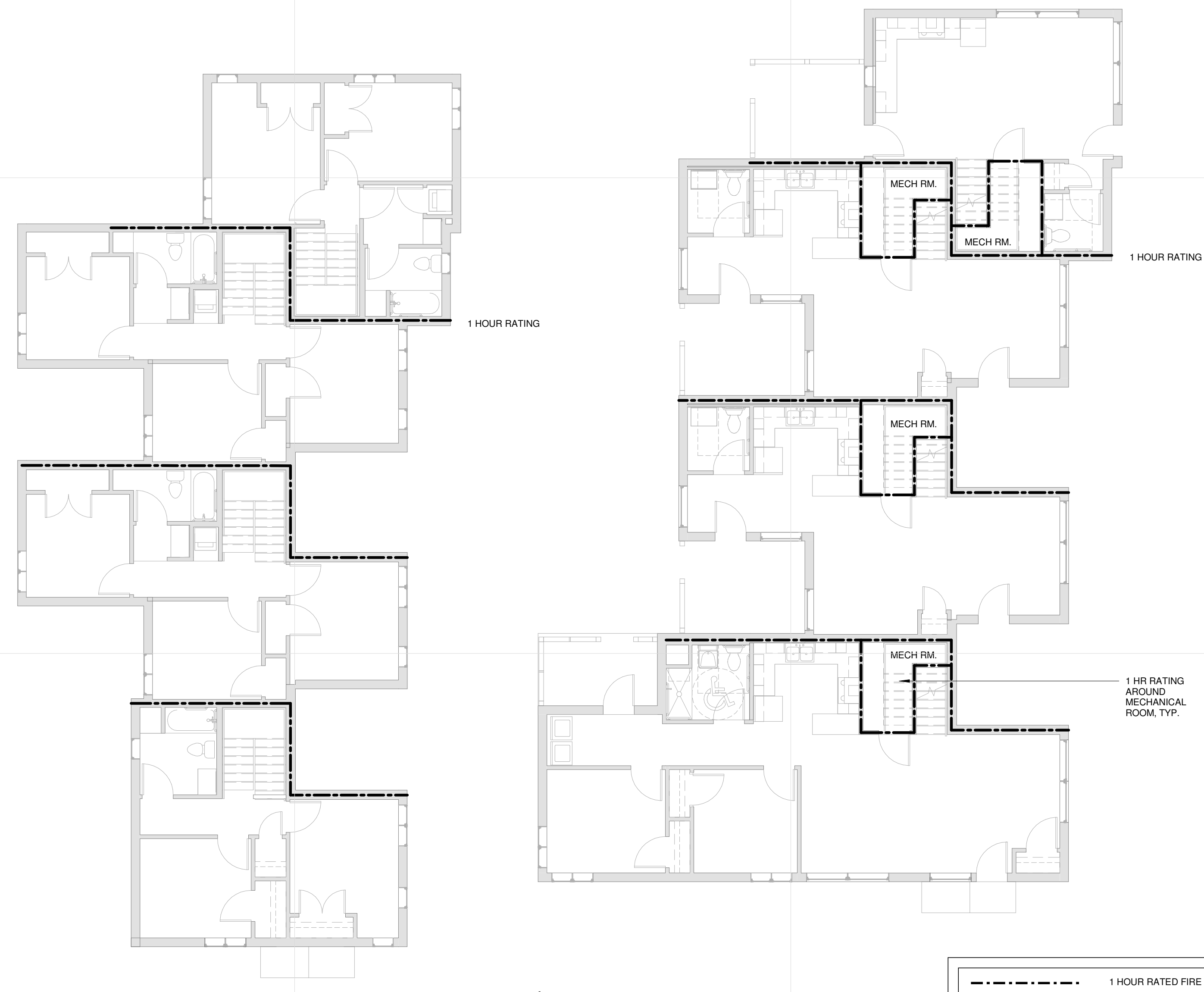




4 BUILDING EAST ELEVATION FIRE SEPARATION
 G051 1/8" = 1'-0"



3 FIRE SEPARATION SECTION TYPICAL UNIT
 G051 1/4" = 1'-0"



2 LEVEL 2 FIRE SEP PLAN
 G051 1/8" = 1'-0"

1 LEVEL 1 FIRE SEP PLAN
 G051 1/8" = 1'-0"

**MINNEHAHA
 TOWNHOMES**
 5348, 5364, 5369 RIVERVIEW
 ROAD, 5118 54TH ST EAST
 MINNEAPOLIS, MN 55417

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	04.21.17	100% DD
	04.28.17	LAND USE APPLICATION
	05.05.17	50% CD
	05.26.17	GC 90% REVIEW SET

PROJECT NO.	2016015
PROJECT PHASE	GC 90% REVIEW SET
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CODE

G051

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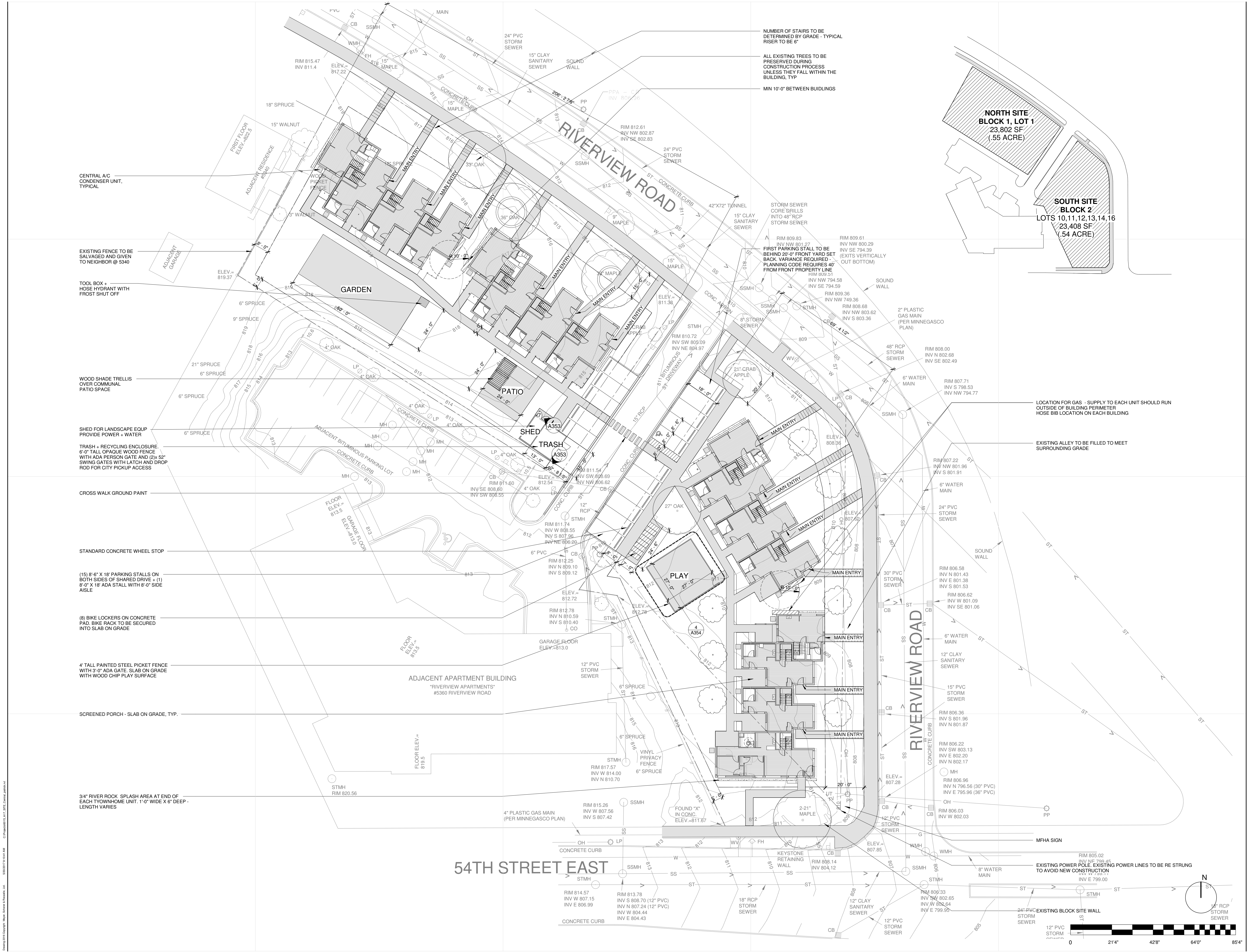
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ISSUE	DATE	DESCRIPTION
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	04.28.17	LAND USE APPLICATION
	05.08.17	50% CD
	05.26.17	GC 50% REVIEW SET

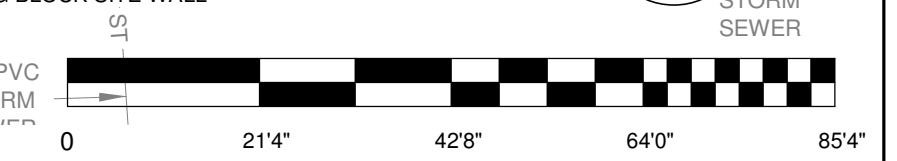
PROJECT NO. 2016.015
 PROJECT PHASE 50%CD
 DRAWN BY: P.LYNCH CHECKED BY: Checker

SITE PLAN

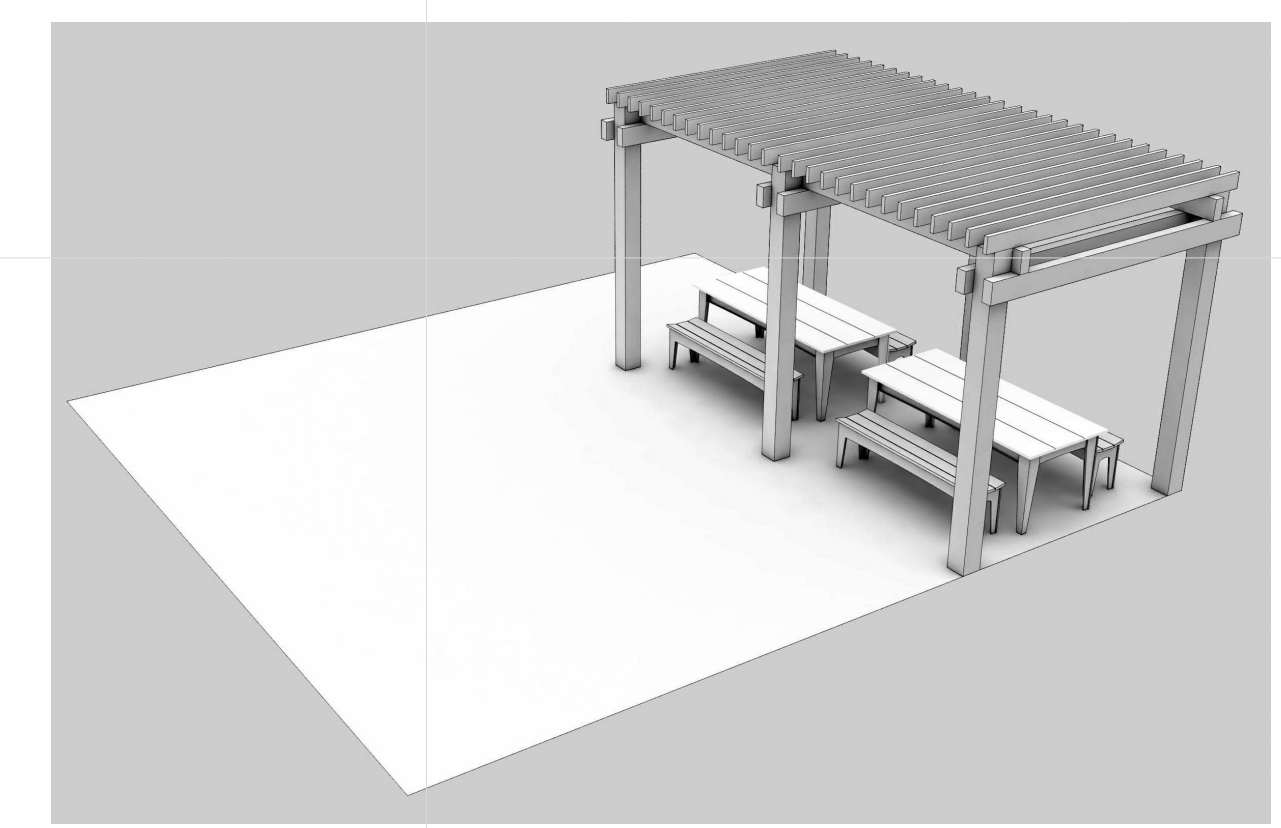
A001



54TH STREET EAST



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PATIO - CONCRETE SLAB ON GRADE
 CEDAR TRELLIS
 DULUTH BASED LULL PATIO TABLE + BENCHES



PLAY - BROOKINGS SD RAINBOW PLAY SYSTEMS
 RAINBOW PLAY VILLAGE DESIGN 5A

NORTH PROPERTY

NON BLDG SF- 18,876 SF
 20% 3,776 SF
 REQ- 8 TREES
 REQ- 38 SHRUBS

LANDSCAPE SCHEDULE

TAG	QUANTITY	TYPE
1	5	SUGAR MAPLE
2	15	FIRE DANCE DOGWOOD
3	3	JAPANESE LILAC
4	23	BLUE SHADOW FROTHERGILLA
	3	EXISTING SHADE TREES

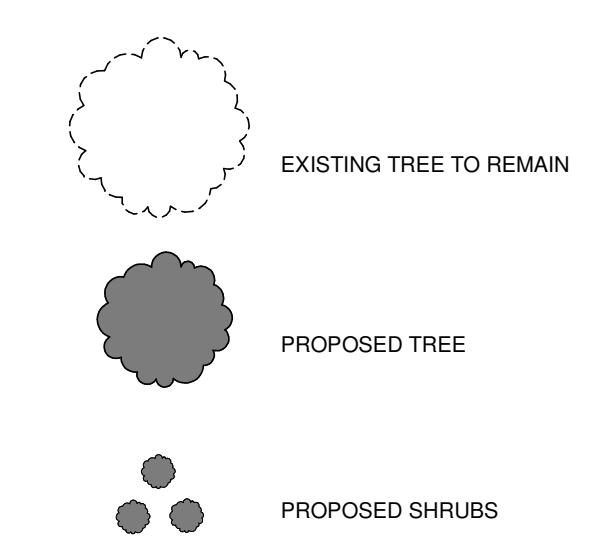
SOUTH PROPERTY

NON BLDG SF- 18,112 SF
 20% 3,623 SF
 REQ- 8 TREES
 REQ- 37 SHRUBS

LANDSCAPE SCHEDULE

TAG	QUANTITY	TYPE
1	6	SUGAR MAPLE
2	15	FIRE DANCE DOGWOOD
3	2	JAPANESE LILAC
4	22	BLUE SHADOW FROTHERGILLA
	2	EXISTING SHADE TREES

- SWEET WOODRUFF GROUND COVER
- TURF GRASS

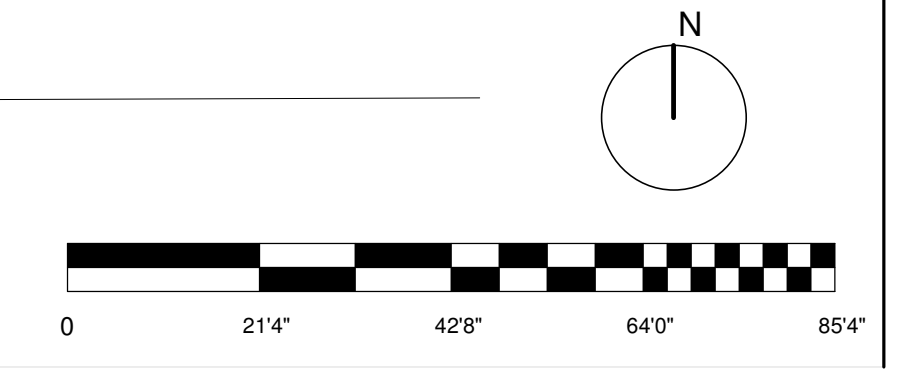


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 Print Names: _____
 Date: _____ License No: _____

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LANDSCAPE PLAN



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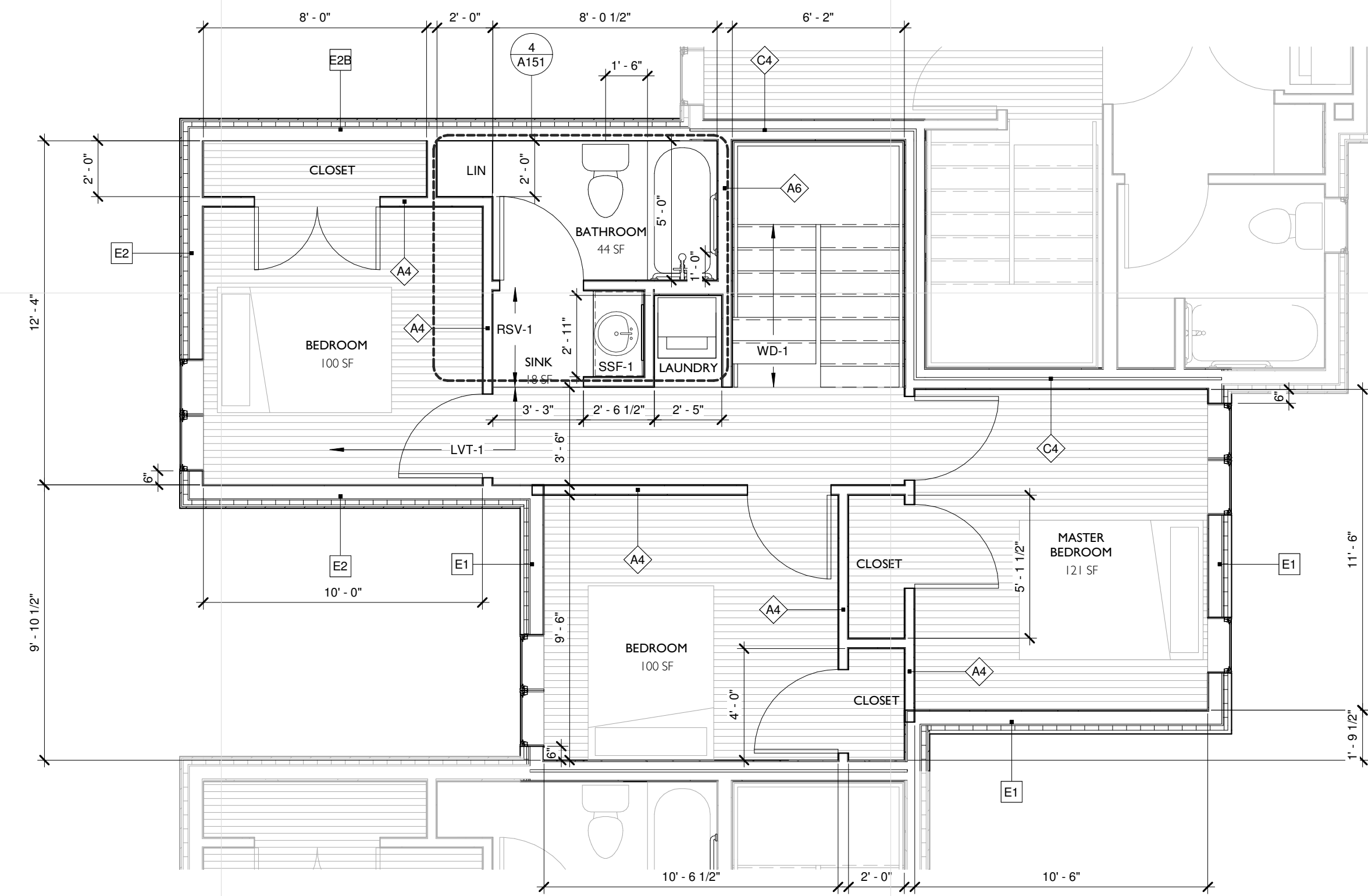
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 Date: _____ License No: _____

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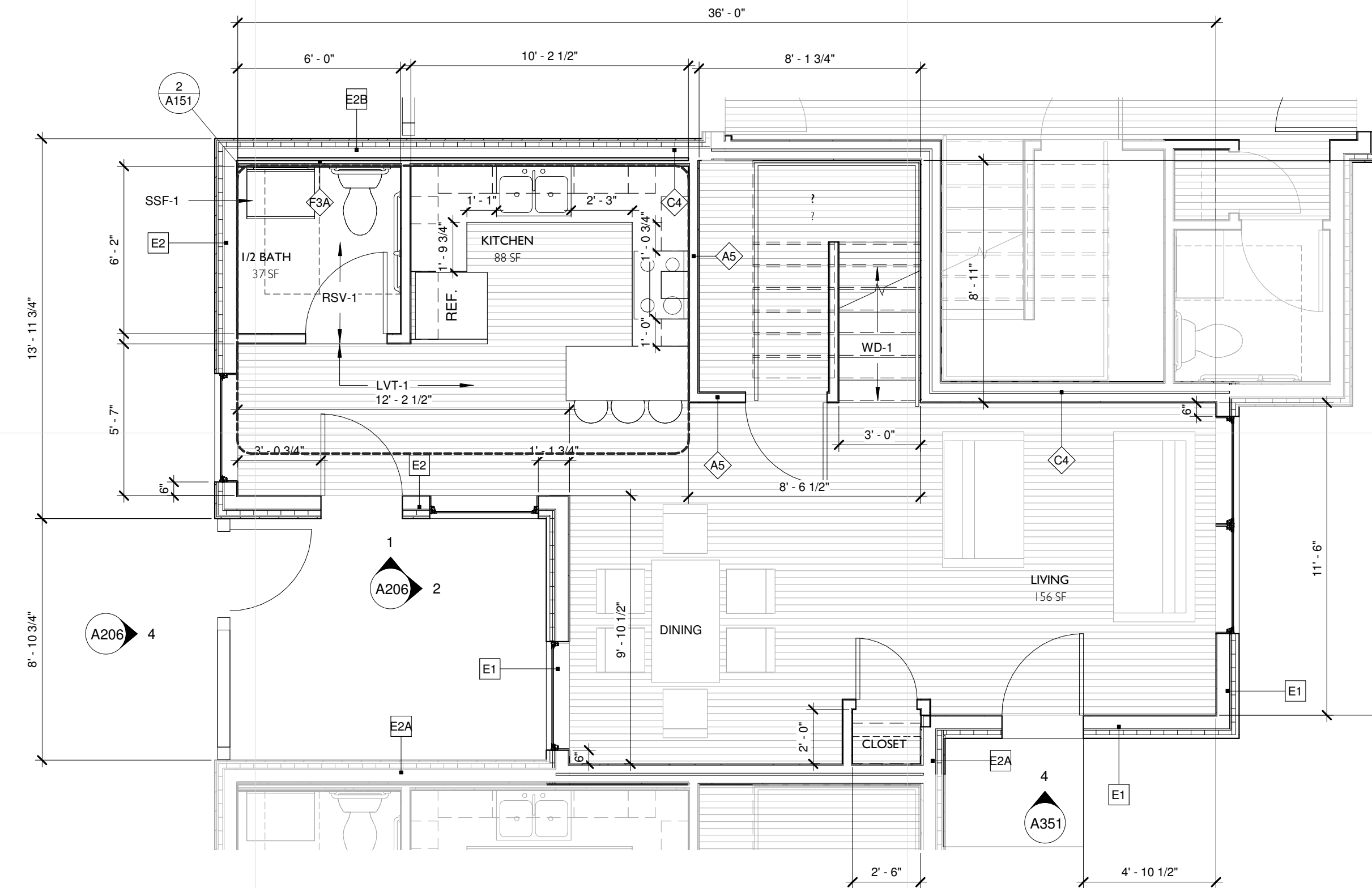
PROJECT NO.	2016015
PROJECT PHASE	GC 90% REVIEW SET
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THREE BEDROOM

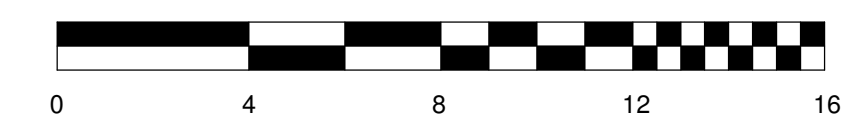
A103



2 LEVEL 2 - THREE BEDROOM
 A103 1/4" = 1'-0"



1 LEVEL 1 - THREE BEDROOM
 A103 1/4" = 1'-0"



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Print Names: _____

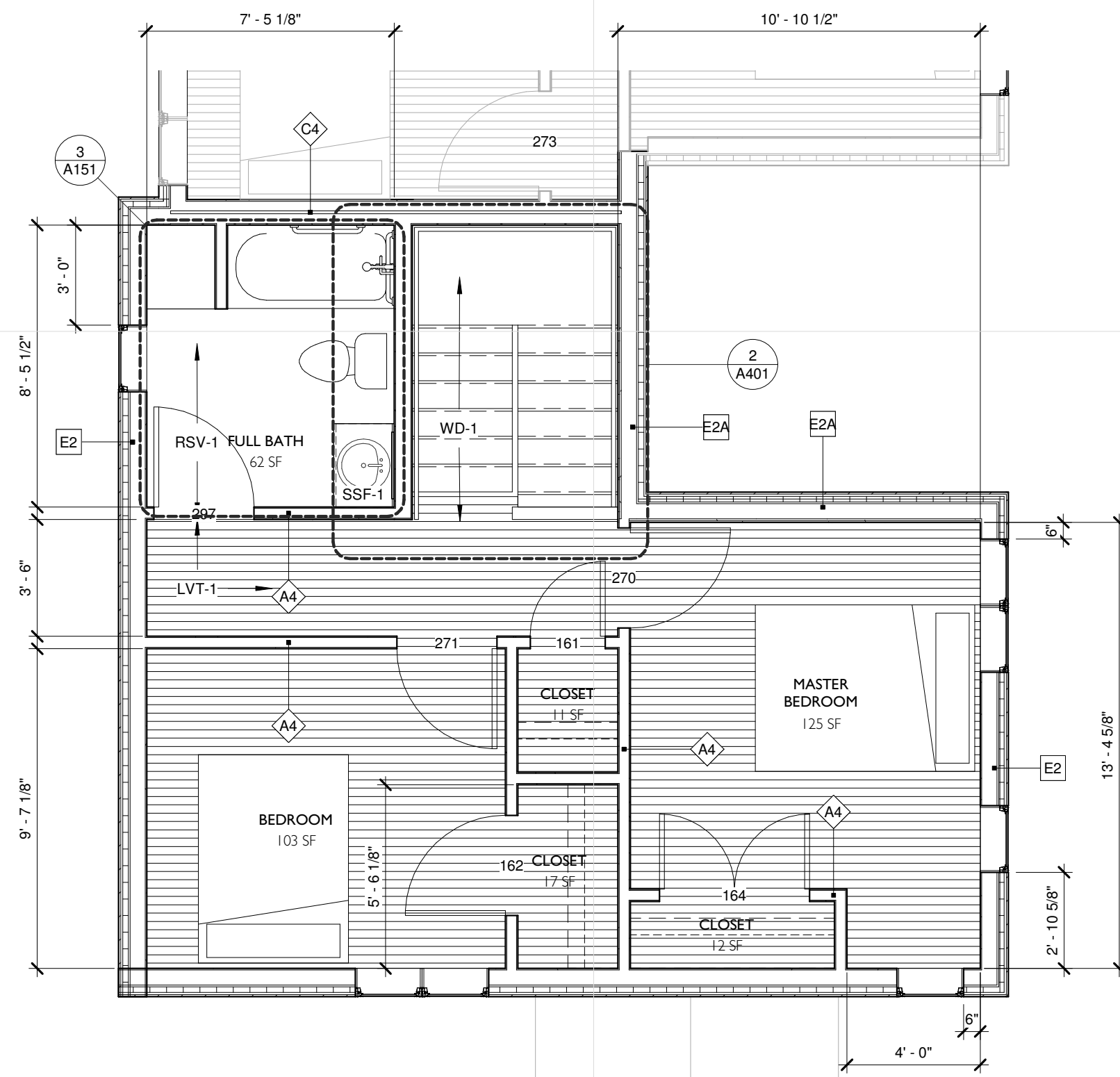
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PROJECT PHASE	GC 90% REVIEW SET
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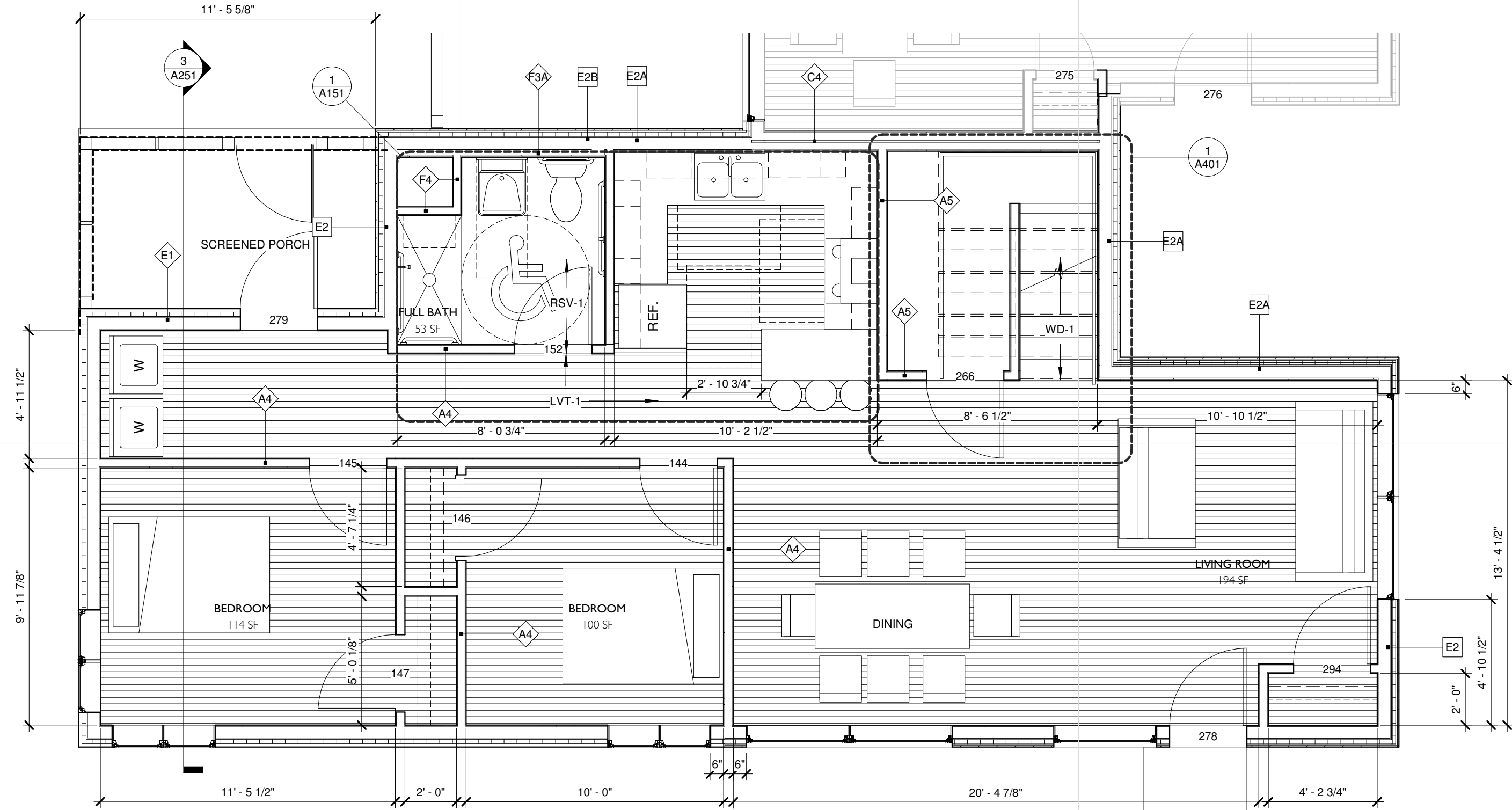
FOUR BEDROOM

A104



2 LEVEL 2 - FOUR BEDROOM

A104 1/4" = 1'-0"

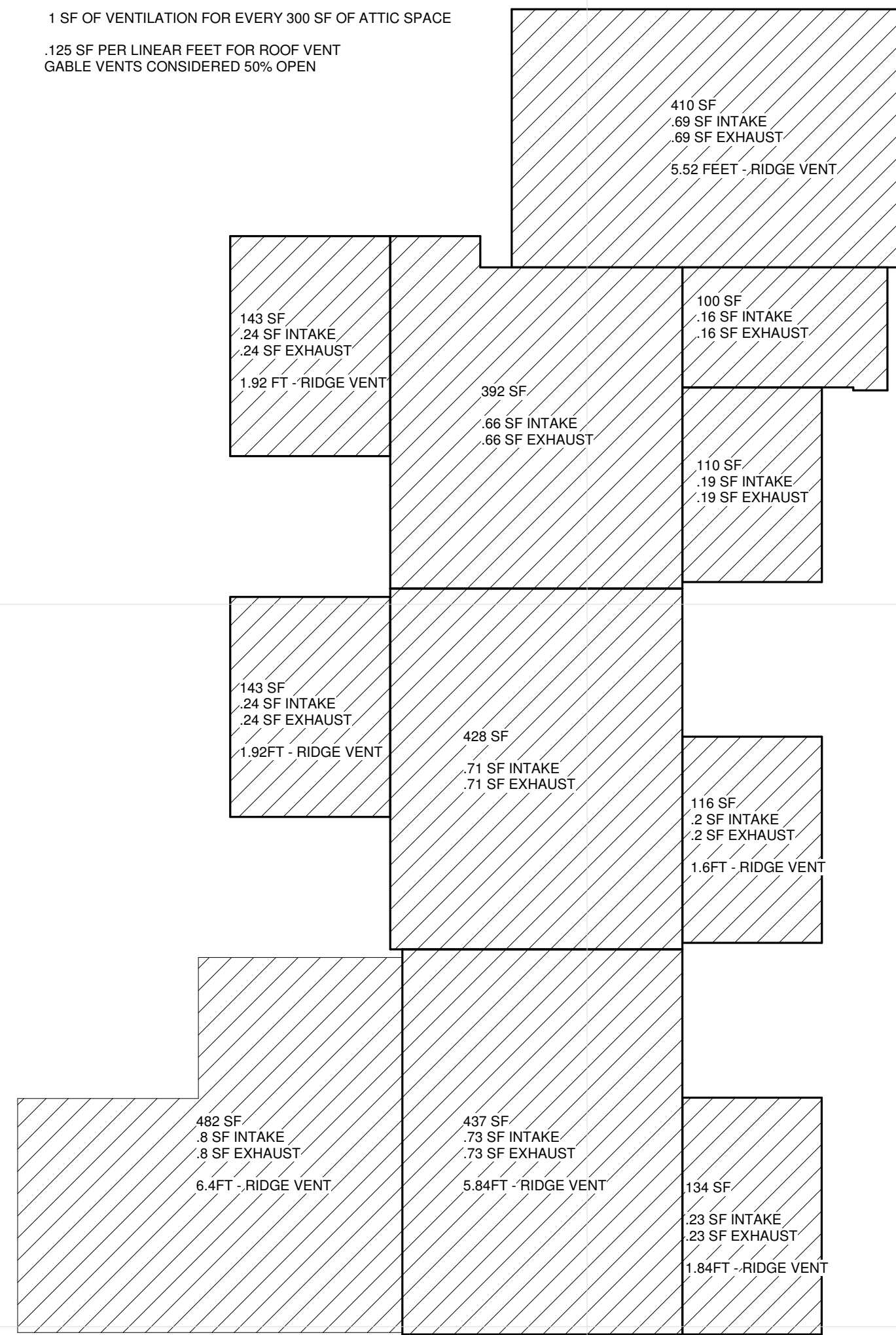


1 LEVEL 1 - FOUR BEDROOM

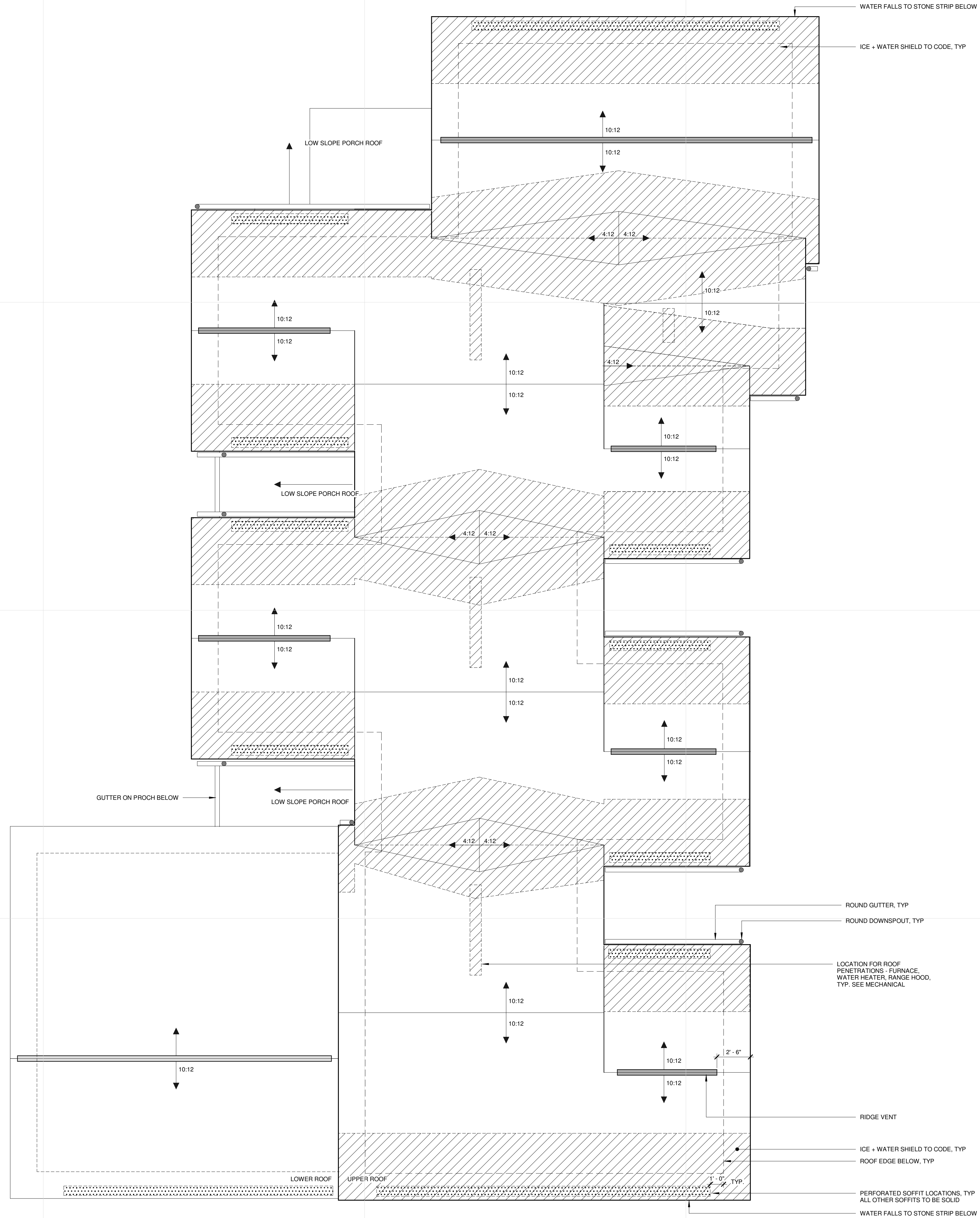
A104 1/4" = 1'-0"



1 SF OF VENTILATION FOR EVERY 300 SF OF ATTIC SPACE
 125 SF PER LINEAR FEET FOR ROOF VENT
 GABLE VENTS CONSIDERED 50% OPEN



2 ROOF VENTING
 A105 1/8" = 1'-0"



1 ROOF PLAN
 A105 1/4" = 1'-0"

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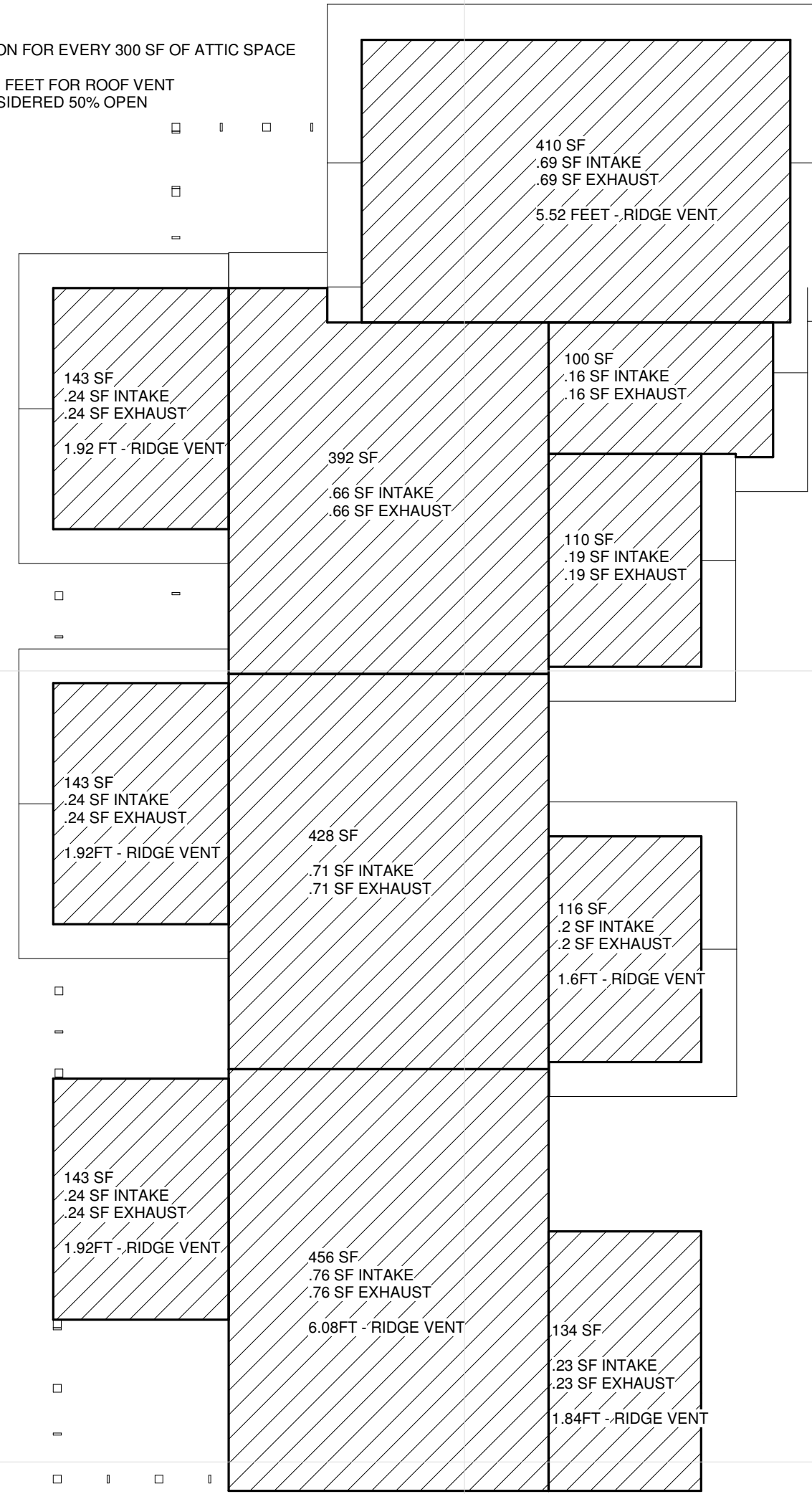
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	05.05.17	50% CD
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PROJECT NO.	2016015
PROJECT PHASE	GC 90% REVIEW SET
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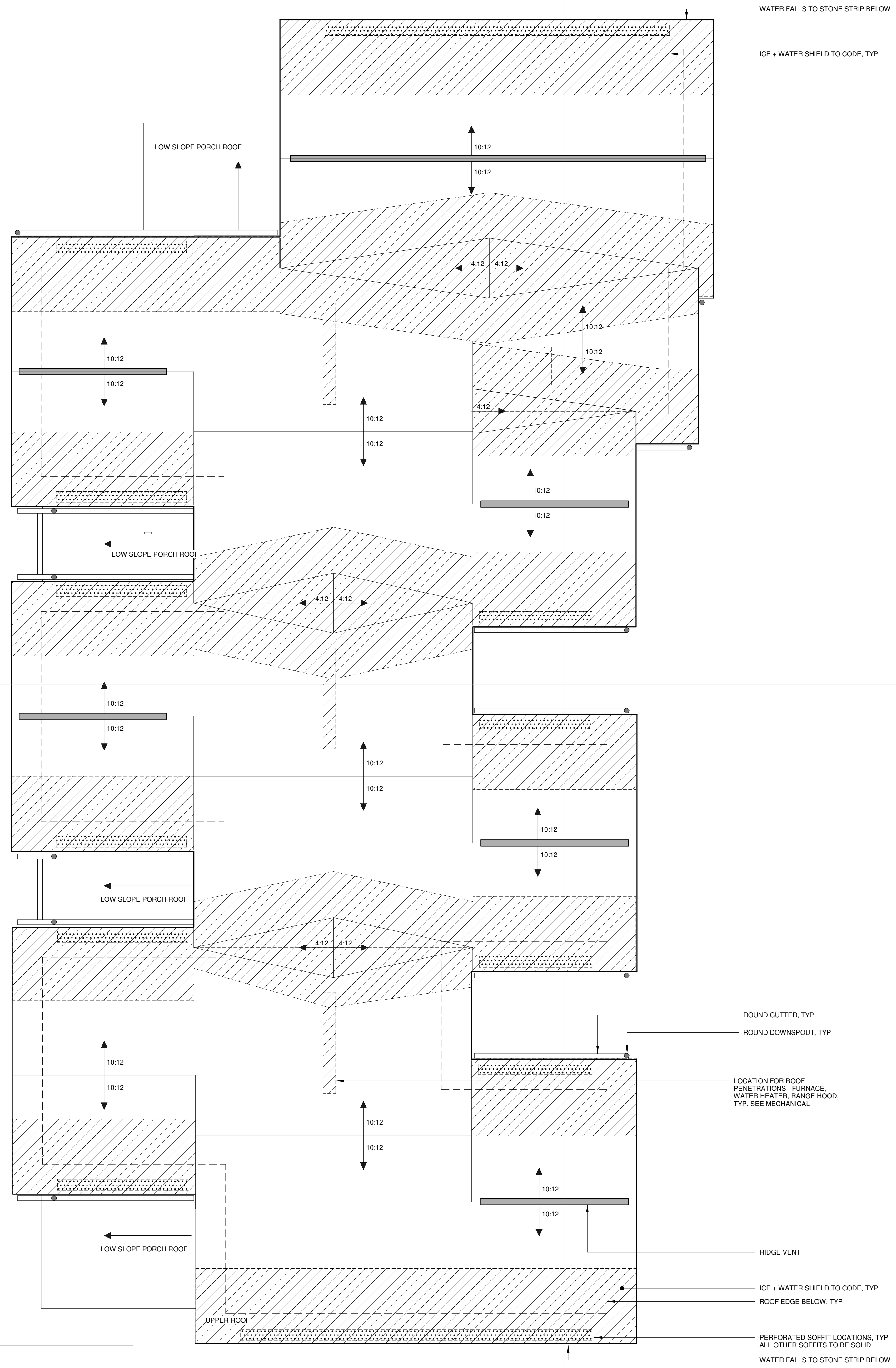
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BUILDING D ROOF PLAN 2-3-3-4

1 SF OF VENTILATION FOR EVERY 300 SF OF ATTIC SPACE
 .125 SF PER LINEAR FEET FOR ROOF VENT
 GABLE VENTS CONSIDERED 50% OPEN



2 ROOF VENTING
 A106 1/8" = 1'-0"



1 ROOF PLAN
 A106 1/4" = 1'-0"

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 Minneapolis, Minnesota 55401-2282
 Architecture 612.375.0336 tel
 Interiors and 612.342.2216 fax
 Urban Design www.msrdesign.com

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 Print Name: _____
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ISSUE	DATE	DESCRIPTION
K	04.21.17	100%DD
	04.28.17	LAND USE APPLICATION
	05.08.17	50% GD
	05.26.17	GC 90% REVIEW SET

PROJECT NO. 2016015
 PROJECT PHASE GC 90% REVIEW SET
 DRAWN BY: Author CHECKED BY: Checker

**BUILDING A,B,C
 ROOF PLAN 2-3-3-3**

A106

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 Print Names: _____
 Date: _____ License No: _____

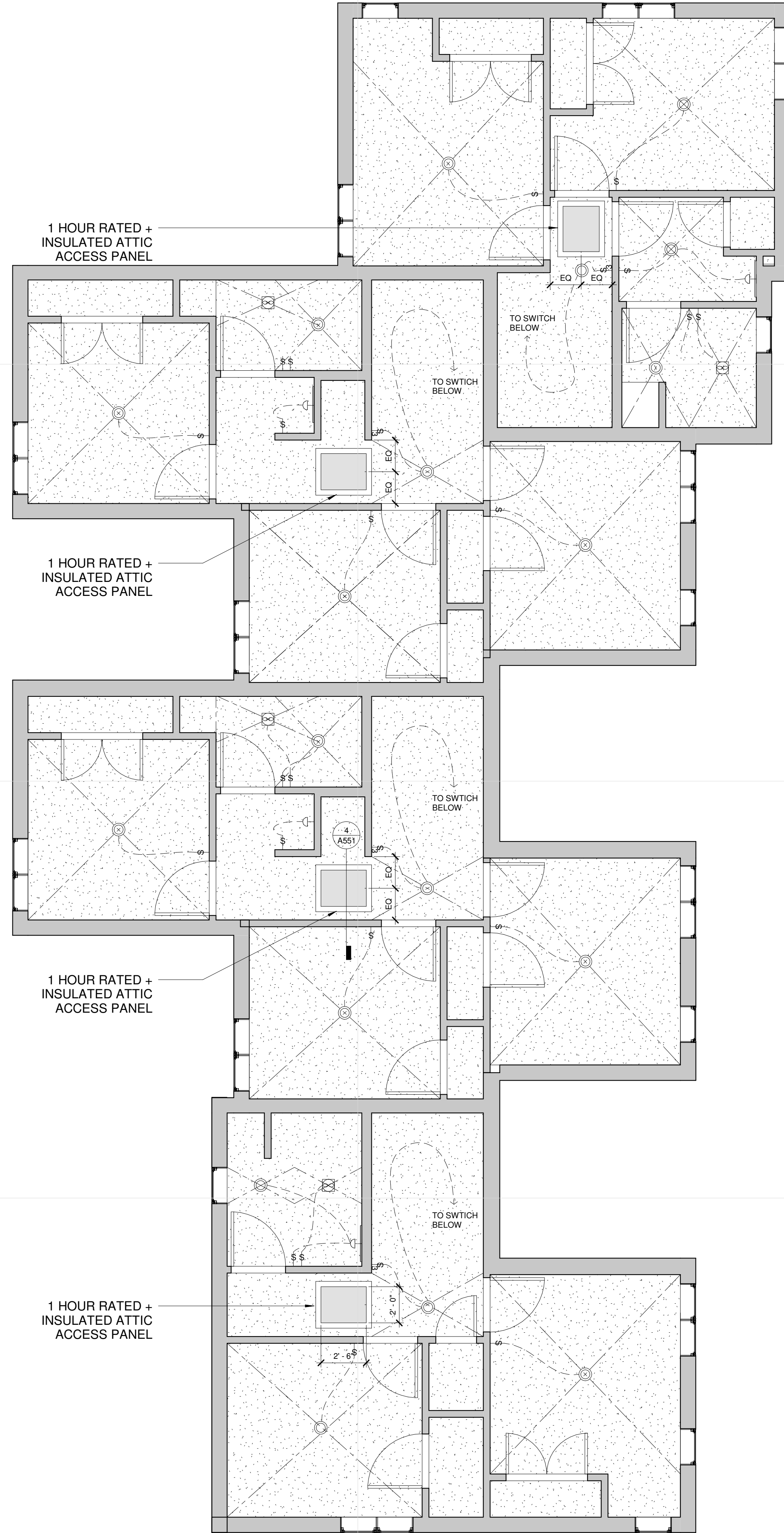
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	04.28.17	LAND USE APPLICATION
	05.05.17	50% GD
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PROJECT NO.	2016015
PROJECT PHASE	GC 90% REVIEW SET
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CHECKED BY:	Checker

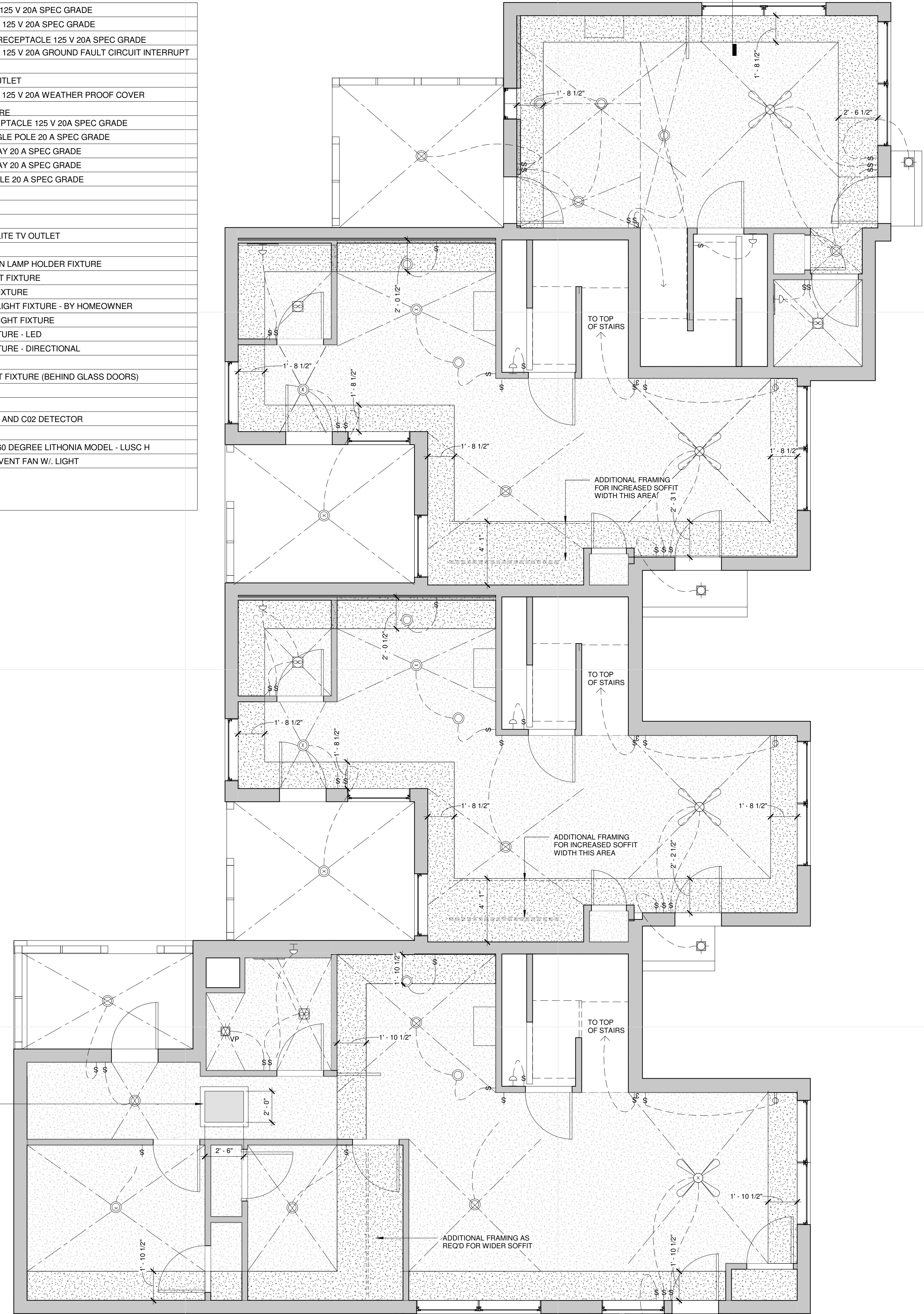
**REFLECTED
 CEILING PLANS**

A121

⊖	SINGLE RECEPTACLE 125 V 20A SPEC GRADE
⊖	DUPLEX RECEPTACLE 125 V 20A SPEC GRADE
⊖	SWITCHED DUPLEX RECEPTACLE 125 V 20A SPEC GRADE
⊖	DUPLEX RECEPTACLE 125 V 20A GROUND FAULT CIRCUIT INTERRUPT
⊖	RANGE OUTLET
⊖	SPECIAL PURPOSE OUTLET
⊖	DUPLEX RECEPTACLE 125 V 20A WEATHER PROOF COVER
⊖	208 VOLT RECEPT 4-WIRE
⊖	DUPLEX FLOOR RECEPTACLE 125 V 20A SPEC GRADE
⊖	ROCKER SWITCH SINGLE POLE 20 A SPEC GRADE
⊖	ROCKER SWITCH 3 WAY 20 A SPEC GRADE
⊖	ROCKER SWITCH 4 WAY 20 A SPEC GRADE
⊖	TOGGLE SWITCH 2 POLE 20 A SPEC GRADE
⊖	DIMMER SWITCH
⊖	TELEPHONE OUTLET
⊖	DATA OUTLET
⊖	CABLE / CATV / SATELLITE TV OUTLET
⊖	DOOR BELL
⊖	STANDARD PORCELINE LAMP HOLDER FIXTURE
⊖	SURFACE MNTD. LIGHT FIXTURE
⊖	WALL MOUNT LIGHT FIXTURE
⊖	HANGING / PENDANT LIGHT FIXTURE - BY HOMEOWNER
⊖	VAPOR PROTECTED LIGHT FIXTURE
⊖	RECESSED LIGHT FIXTURE - LED
⊖	RECESSED LIGHT FIXTURE - DIRECTIONAL
⊖	PLUG MOLD
⊖	UPPER CABINET LIGHT FIXTURE (BEHIND GLASS DOORS)
⊖	LOW VOLTAGE TRACK
⊖	CEILING SPEAKER
⊖	COMBINATION SMOKE AND CO2 DETECTOR
⊖	SMOKE DETECTOR
⊖	MOTION DETECTOR 360 DEGREE LITHONIA MODEL - LUSC H
⊖	RECESSED EXHAUST VENT FAN W/ LIGHT
⊖	CEILING FAN OUTLET
⊖	L-LIGHTING KIT
⊖	F-FAN SWITCH

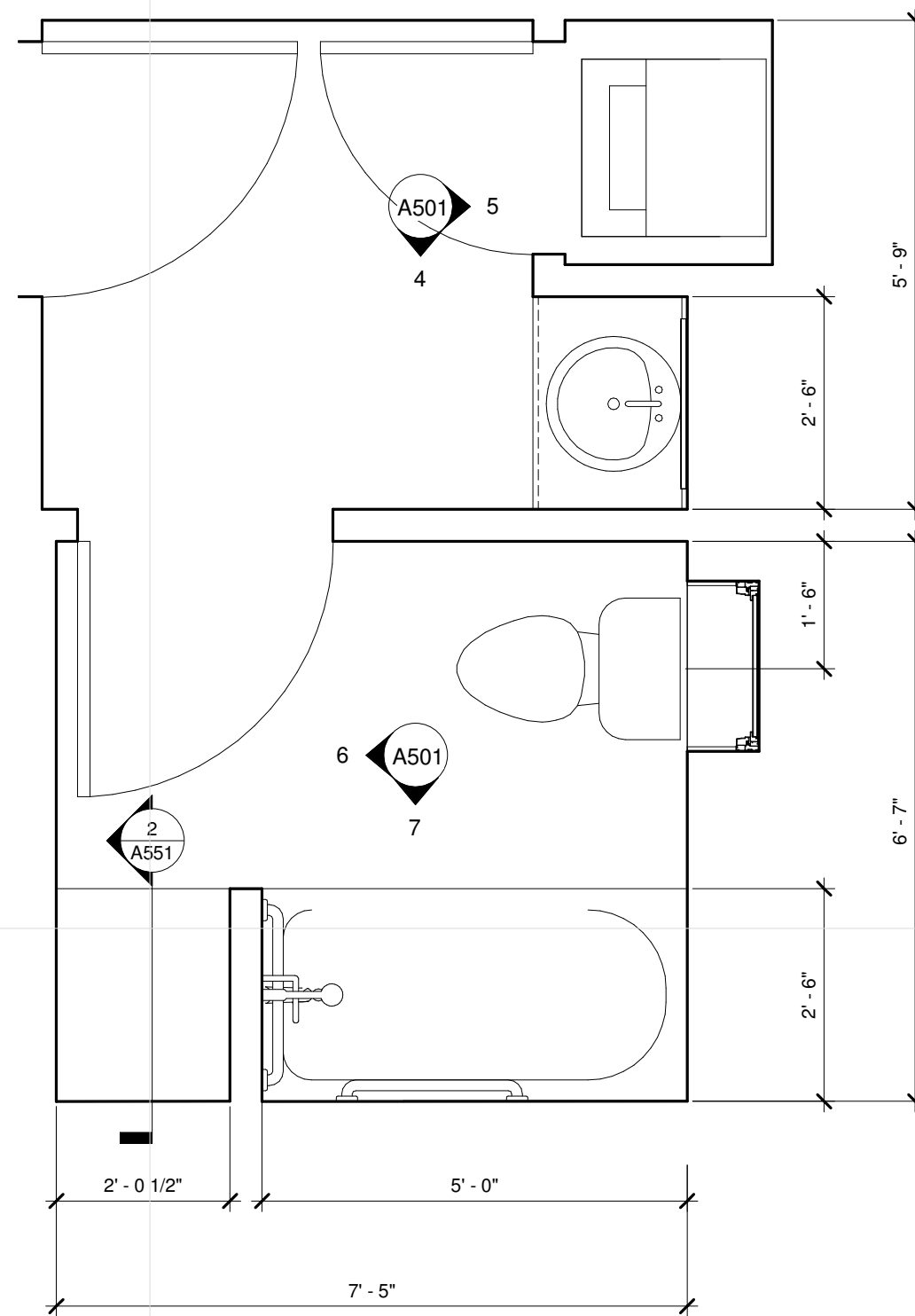


2 LEVEL 2 REFLECTED CEILING PLAN
 A121 1/4" = 1'-0"

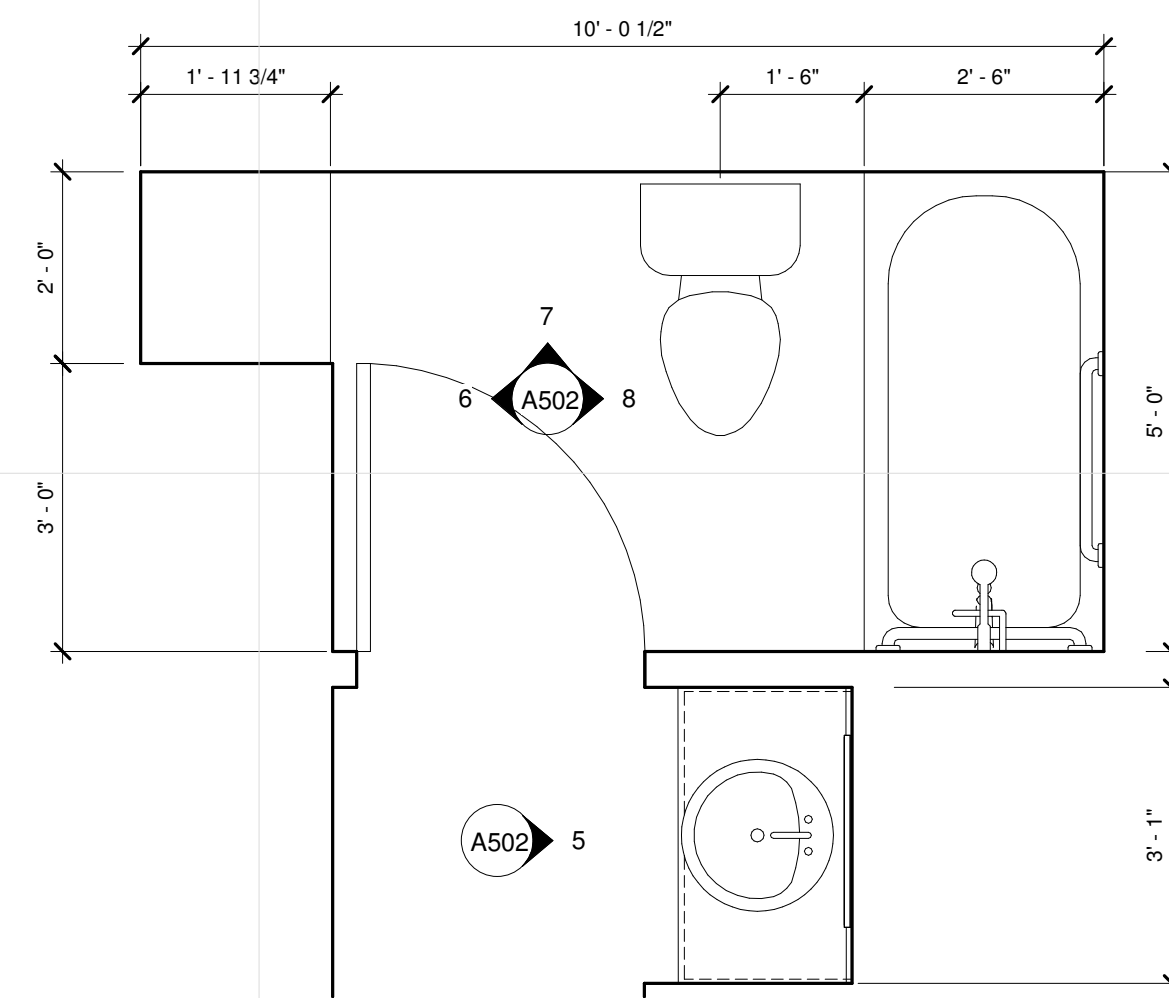


1 LEVEL 1 REFLECTED CEILING PLAN
 A121 1/4" = 1'-0"

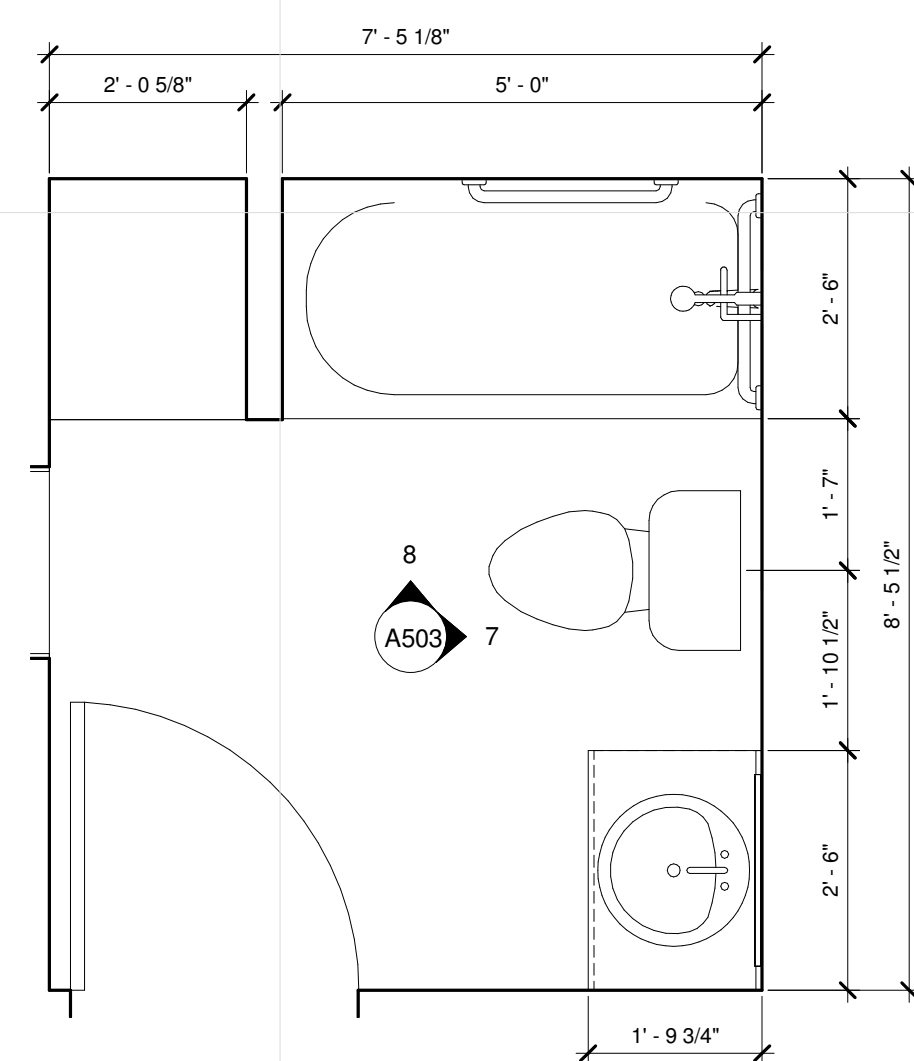
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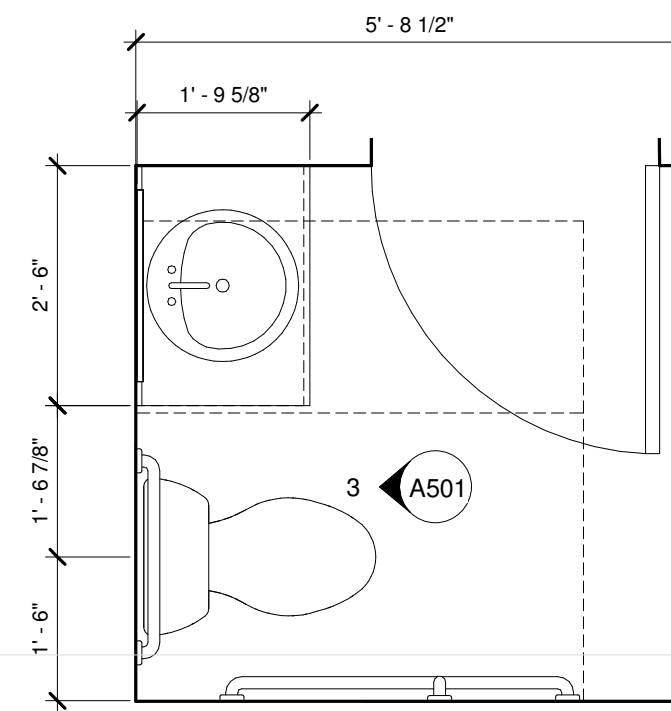
7 2 BEDROOM FULL BATHROOM
 A151 1/2" = 1'-0"



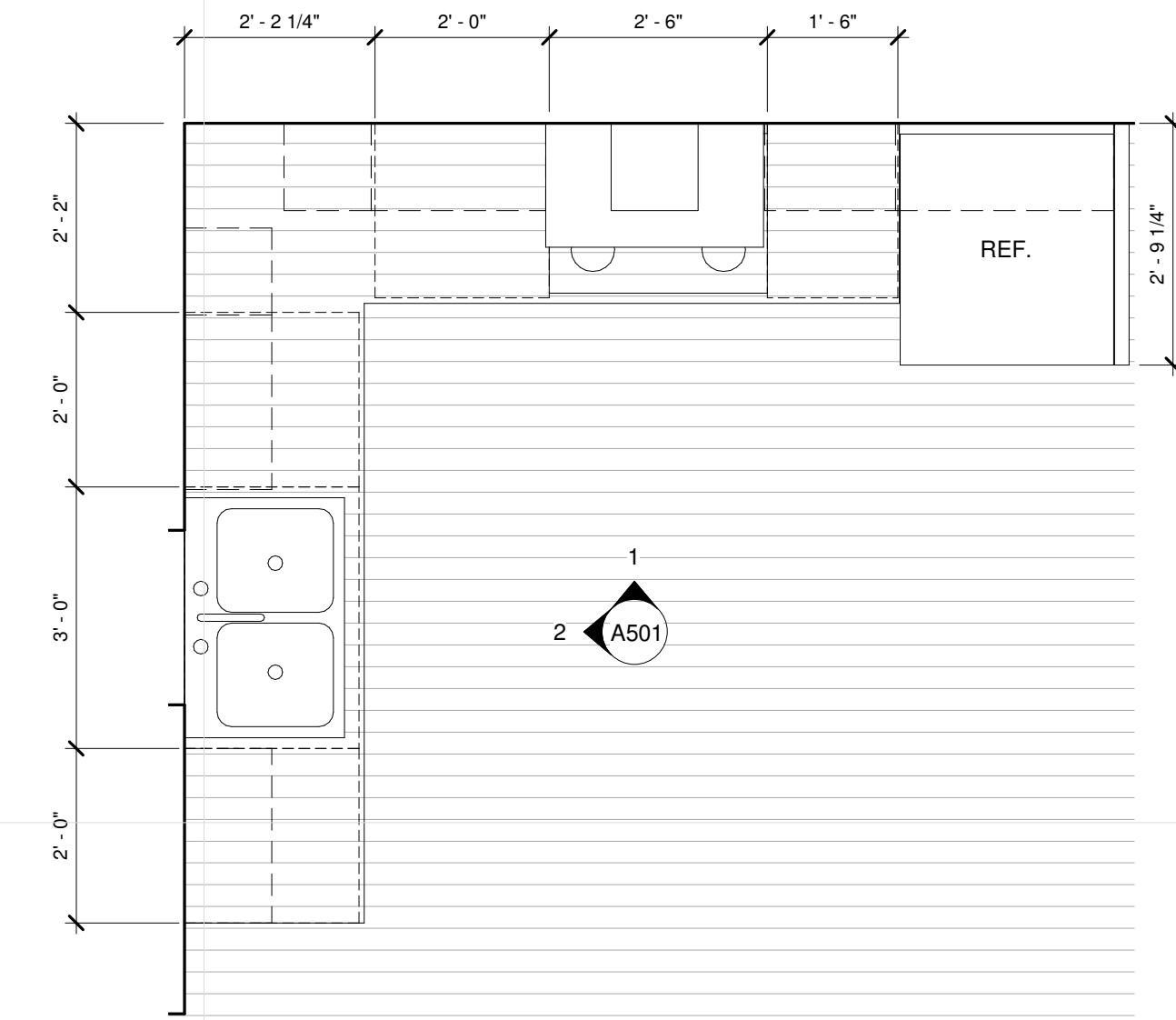
4 3 BEDROOM FULL BATHROOM
 A151 1/2" = 1'-0"



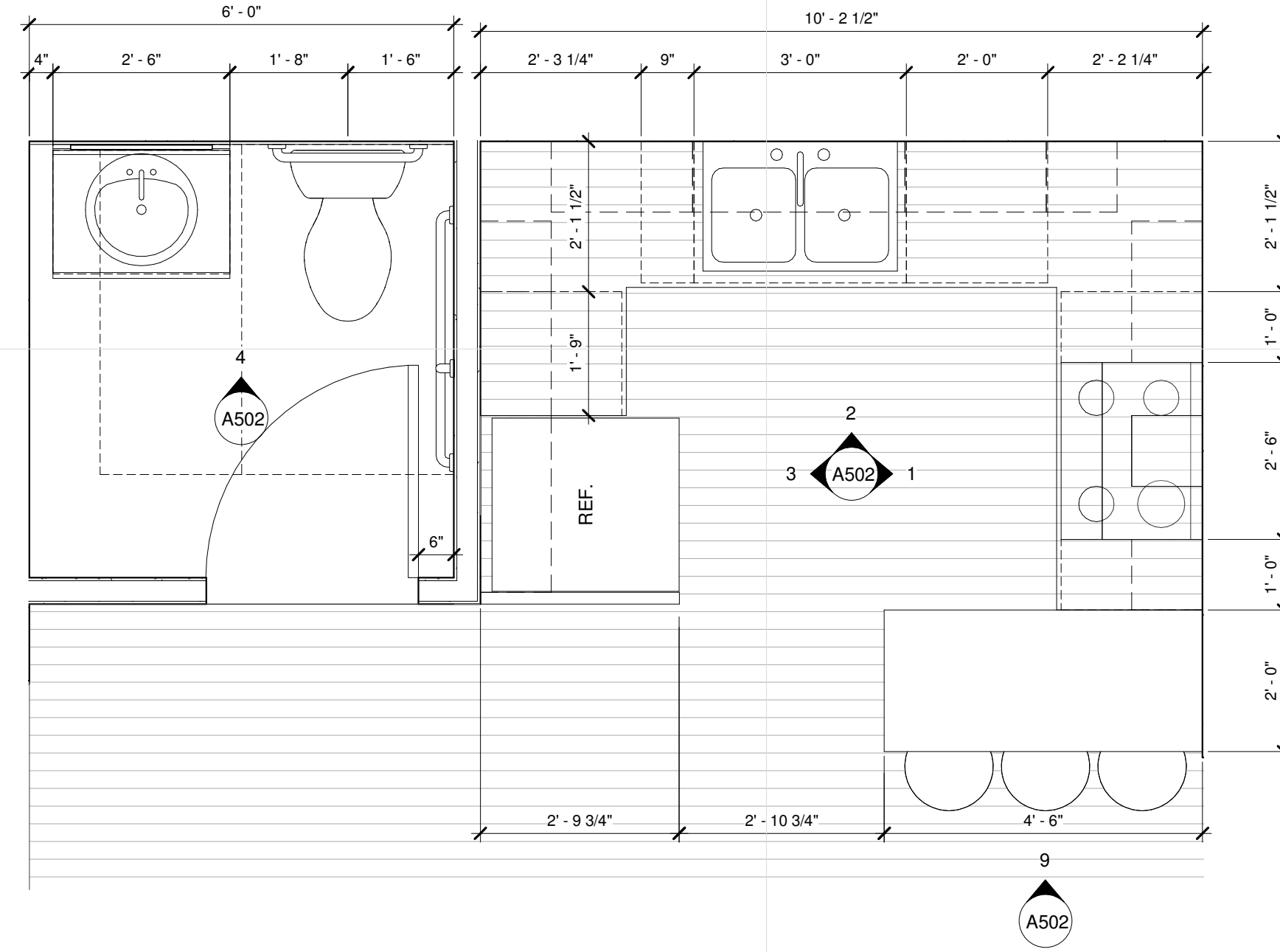
3 4 BEDROOM FULL BATHROOM
 A151 1/2" = 1'-0"



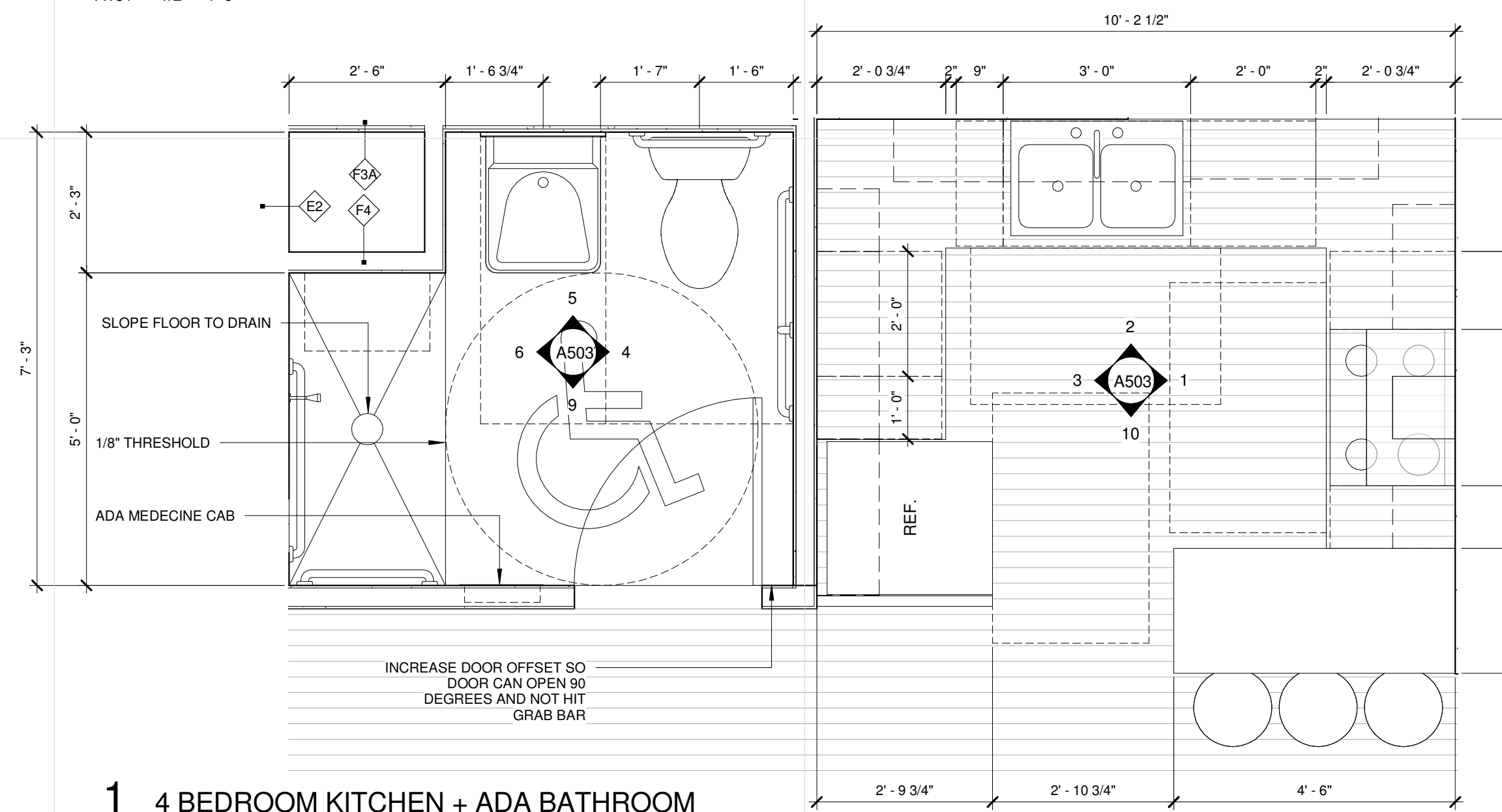
6 2 BEDROOM 1/2 BATH
 A151 1/2" = 1'-0"



5 2 BEDROOM KITCHEN
 A151 1/2" = 1'-0"



2 3 BEDROOM KITCHEN + 1/2 BATH
 A151 1/2" = 1'-0"



1 4 BEDROOM KITCHEN + ADA BATHROOM
 A151 1/2" = 1'-0"

**MINNEHAHA
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 5348, 5364, 5369 RIVERVIEW
 ROAD, 5118 54TH ST EAST
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 Print Names: _____
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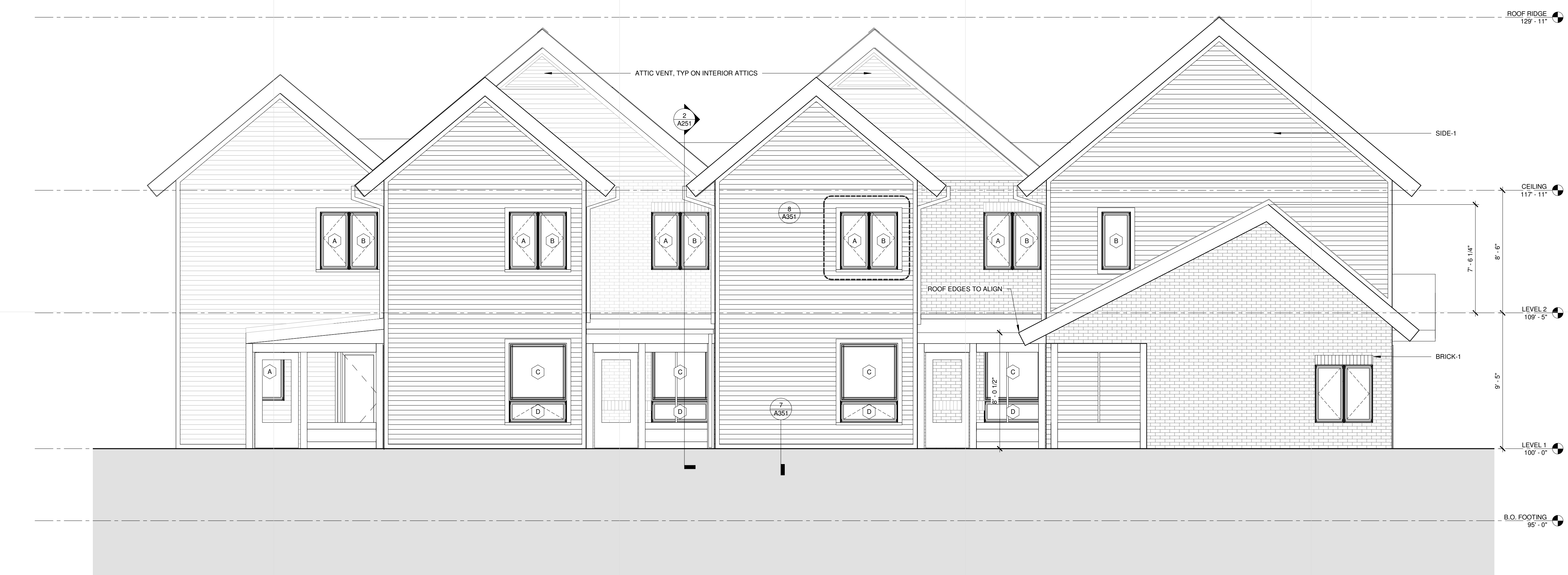
PROJECT NO. 2016015
 PROJECT PHASE GC 90% REVIEW SET
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ENLARGED PLANS

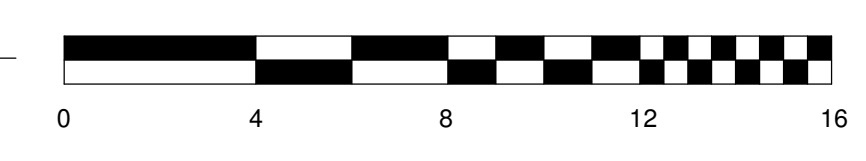
A151



2 BUILDING EAST ELEVATION - FRONT
 A201 1/4" = 1'-0"



1 BUILDING WEST ELEVATION - BACK
 A201 1/4" = 1'-0"



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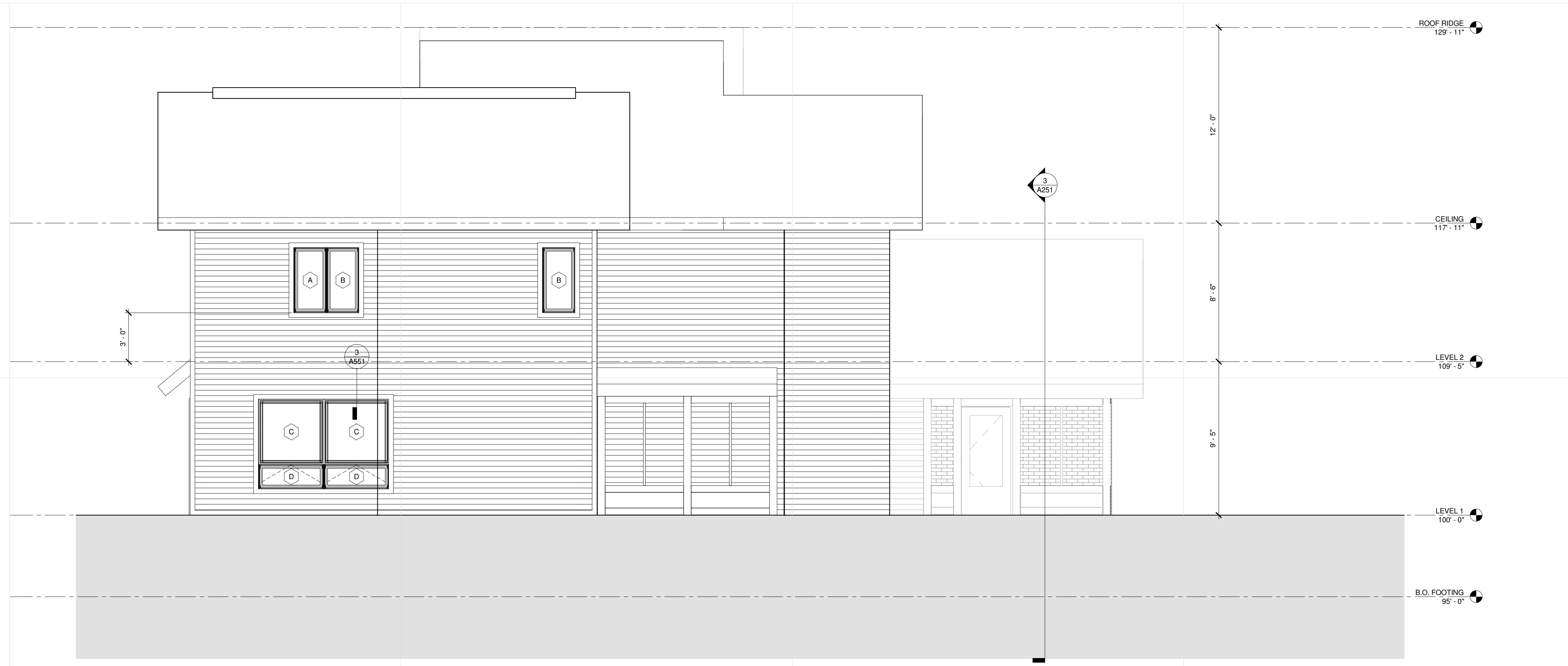
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	05.26.17	GC 90% REVIEW SET

PROJECT NO. 2016015
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**BUILDING D
 ELEVATIONS 2-3-3-4**

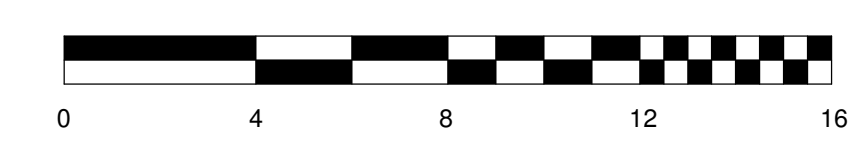
A201



2 BUILDING NORTH ELEVATION
 A202 1/4" = 1'-0"



1 BUILDING SOUTH ELEVATION
 A202 1/4" = 1'-0"



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	05.26.17	GC 90% REVIEW SET

PROJECT NO.	2016015
PROJECT PHASE	GC 90% REVIEW SET
DRAWN BY:	PL
CHECKED BY:	Checker

**BUILDING D
 ELEVATIONS 2-3-3-4**

A202

**MINNEHAHA
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	05.26.17	GC 90% REVIEW SET

PROJECT NO.	2016015
PROJECT PHASE	GC 90% REVIEW SET
DRAWN BY:	PL
CHECKED BY:	Checker

**BUILDING A,B,C
 ELEVATIONS 2-3-3-3**

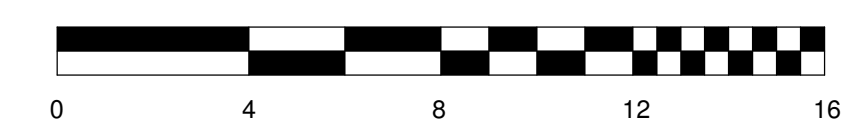
A203



2 BUILDING NORTH ELEVATION
 A203 1/4" = 1'-0"



1 BUILDING SOUTH ELEVATION
 A203 1/4" = 1'-0"





2 BUILDING EAST ELEVATION - FRONT
 A204 1/4" = 1'-0"



1 BUILDING WEST ELEVATION - BACK
 A204 1/4" = 1'-0"

**MINNEHAHA
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 5348, 5364, 5369 RIVERVIEW
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	05.26.17	GC 90% REVIEW SET

PROJECT NO.	2016015
PROJECT PHASE	GC 90% REVIEW SET
DRAWN BY:	Author
CHECKED BY:	Checker

**BUILDING A,B,C
 ELEVATIONS 2-3-3-3**

A204

**MINNEHAHA
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	05.26.17	GC 90% CHECK SET

PROJECT NO. 2016015

PROJECT PHASE 50% CD

DRAWN BY: Author CHECKED BY: Checker

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**BUILDING A, B
 ELEVATIONS**

A205



2 BUILDING WEST ELEVATION
 A205 1/4" = 1'-0"



1 BUILDING EAST ELEVATION
 A205 1/4" = 1'-0"

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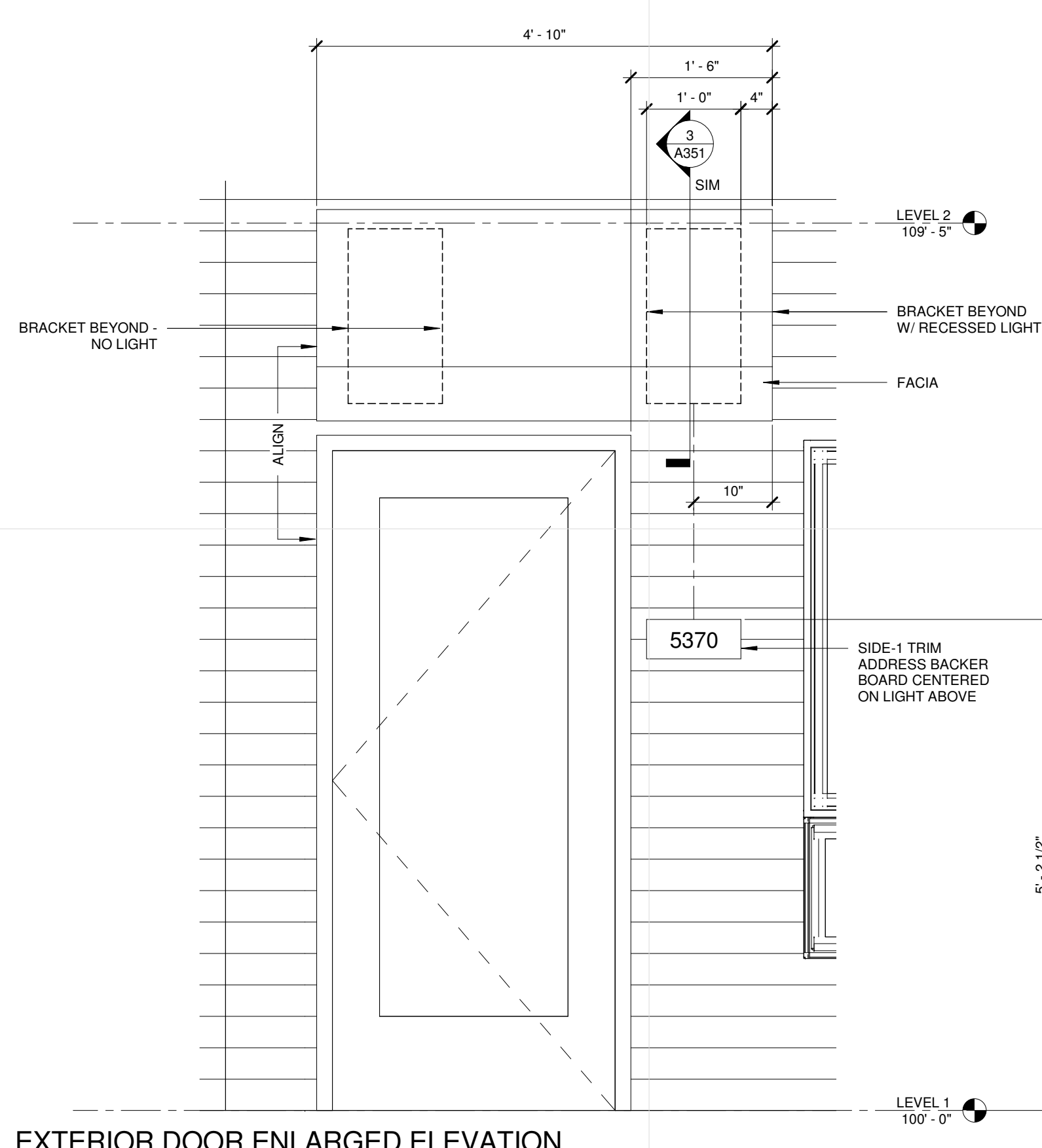
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MARK	DATE	DESCRIPTION
	04.21.17	100% DD
	04.28.17	LAND USE APPLICATION
	05.05.17	50% CD
	05.26.17	GC 90% REVIEW SET

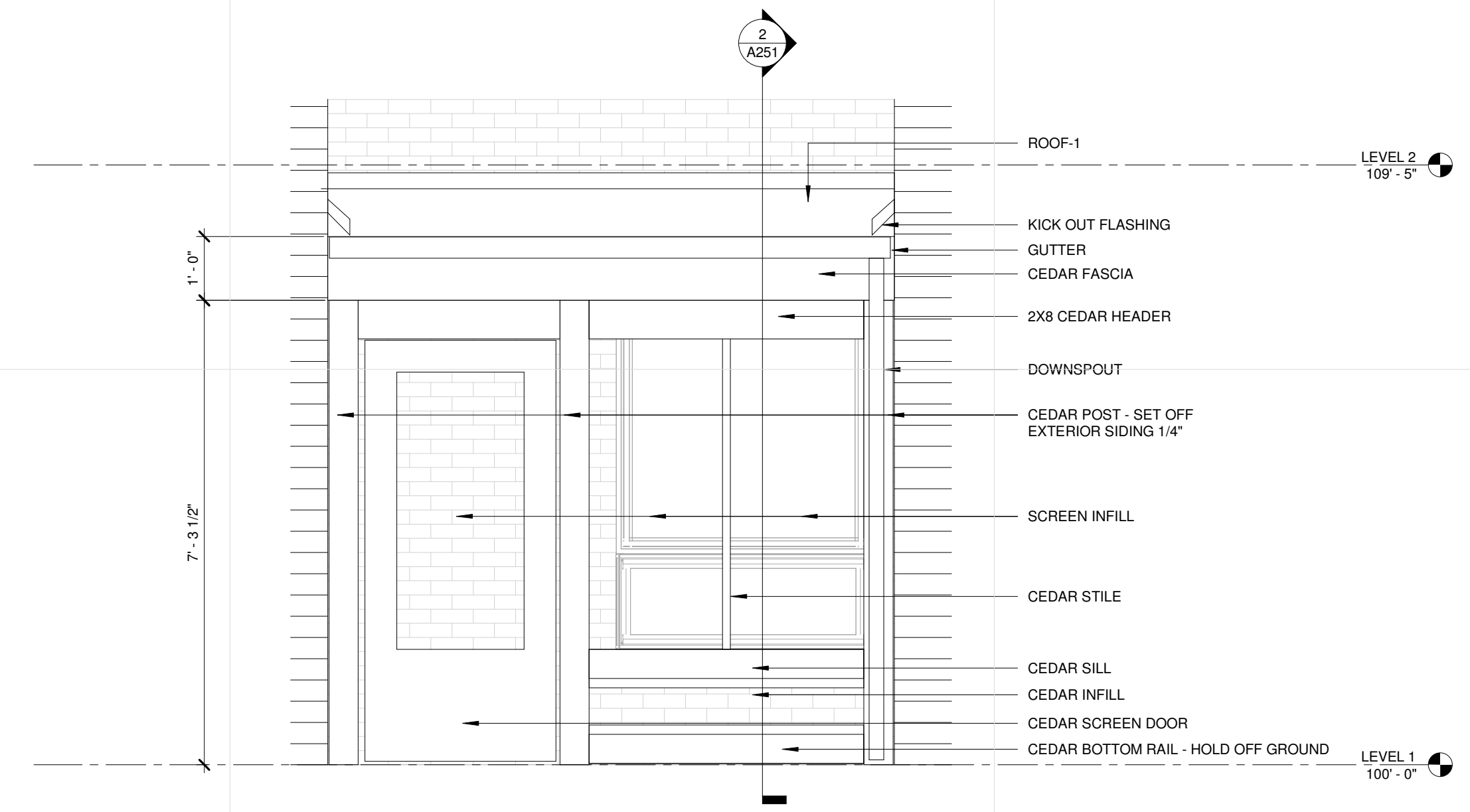
PROJECT NO.	2016015
PROJECT PHASE	GC 90% REVIEW SET
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Author	Checker

**BUILDING
 ELEVATIONS**

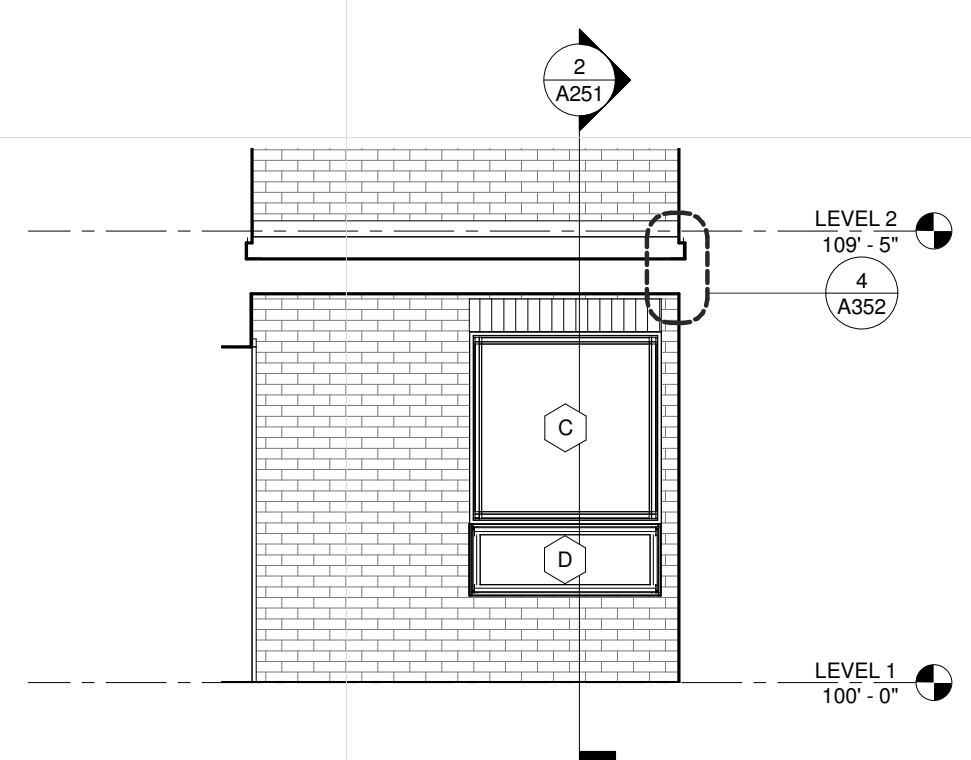
A206



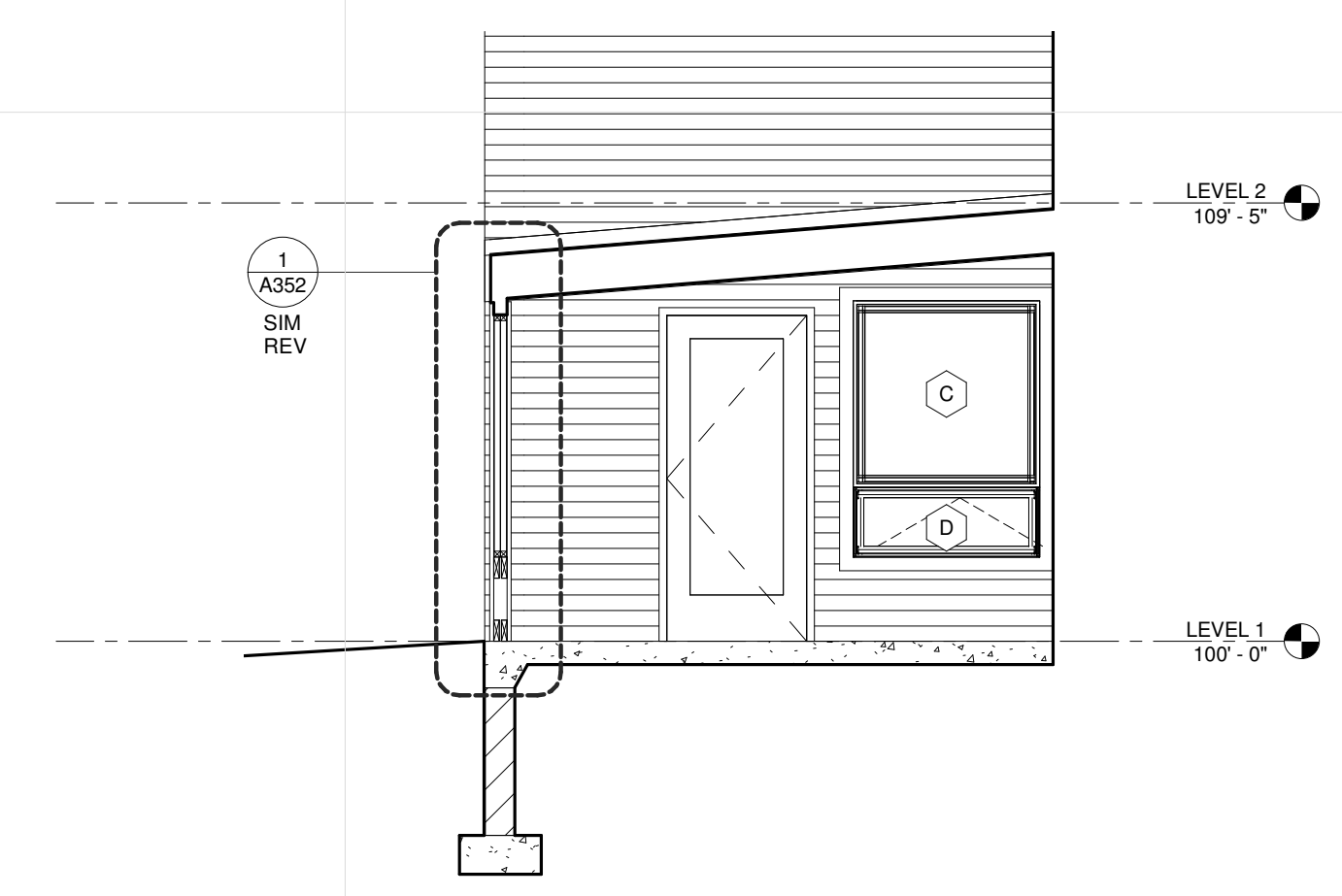
3 EXTERIOR DOOR ENLARGED ELEVATION
 A206 3/4" = 1'-0"



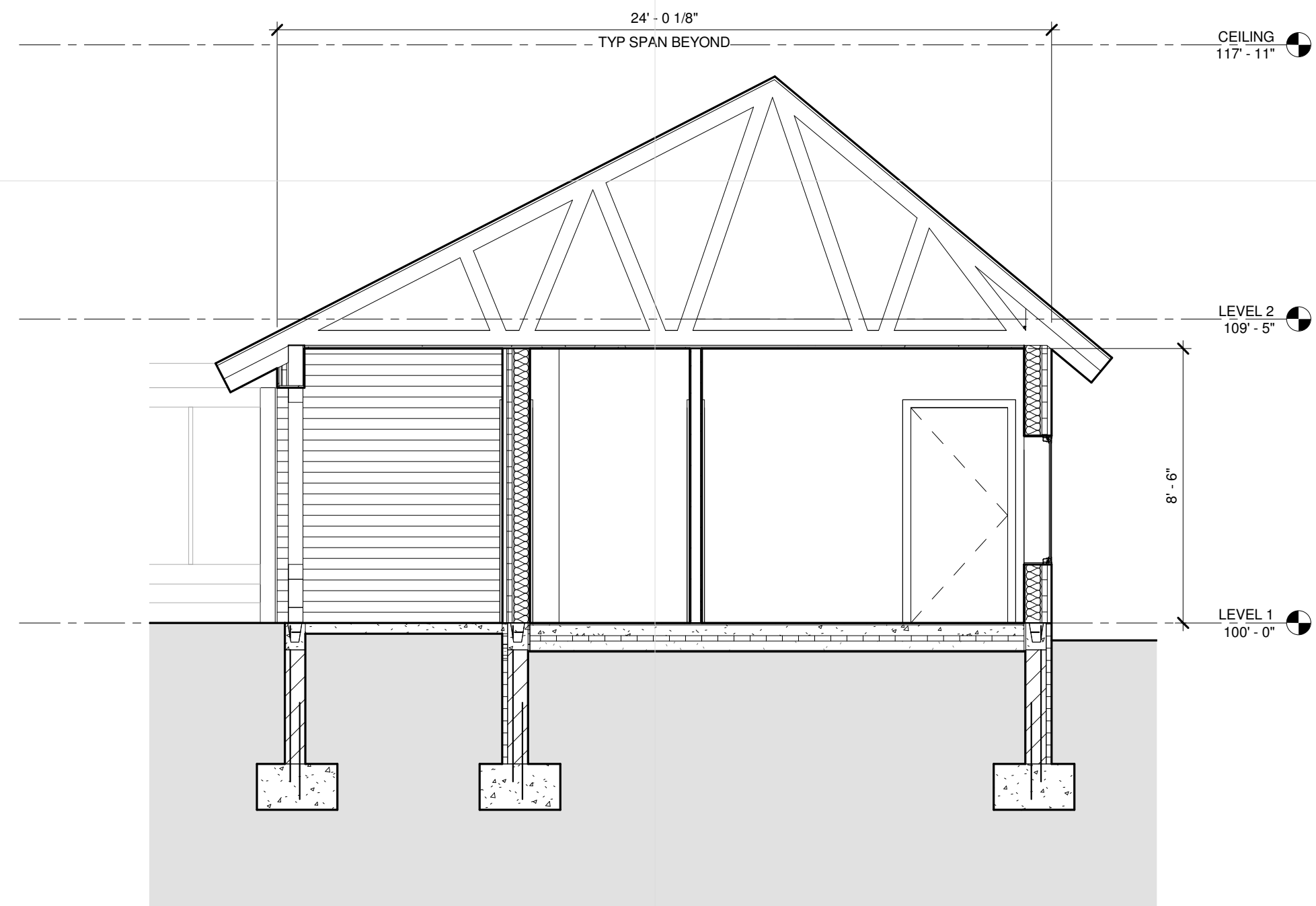
4 SCREEN PORCH ELEVATION
 A206 1/2" = 1'-0"



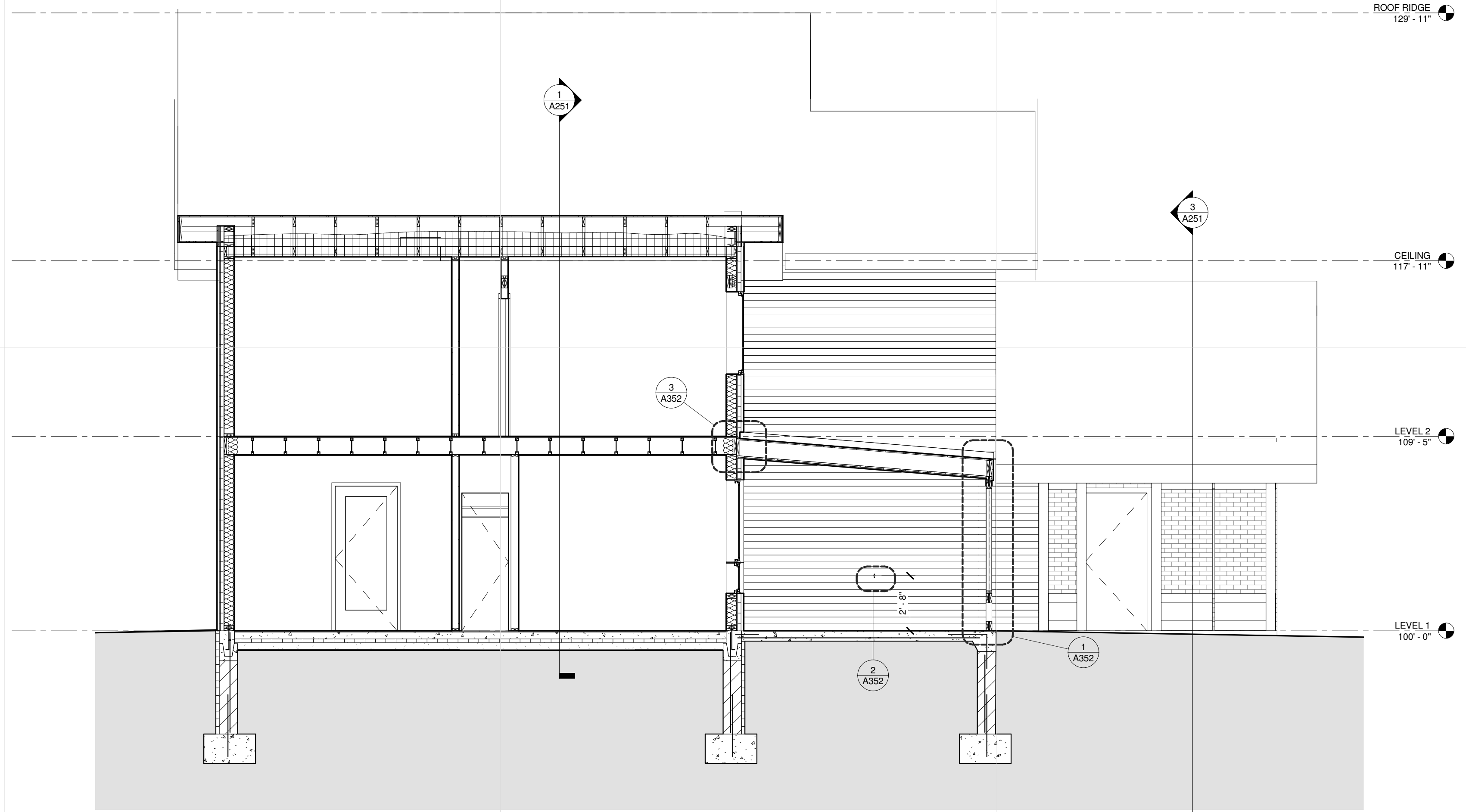
2 SCREEN PORCH EAST ELEVATION
 A206 1/4" = 1'-0"



1 SCREEN PORCH NORTH ELEVATION
 A206 1/4" = 1'-0"



3 SECTION @ 4 BEDROOM LOW ROOF
 A251 1/4" = 1'-0"



2 SECTION THROUGH UNIT
 A251 1/4" = 1'-0"



1 2334 LONG SECTION
 A251 1/4" = 1'-0"

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MARK	DATE	DESCRIPTION
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	04.28.17	LAND USE APPLICATION
	05.05.17	50% GD
	05.26.17	GC 90% REVIEW SET

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**BUILDING
 SECTIONS**

A251

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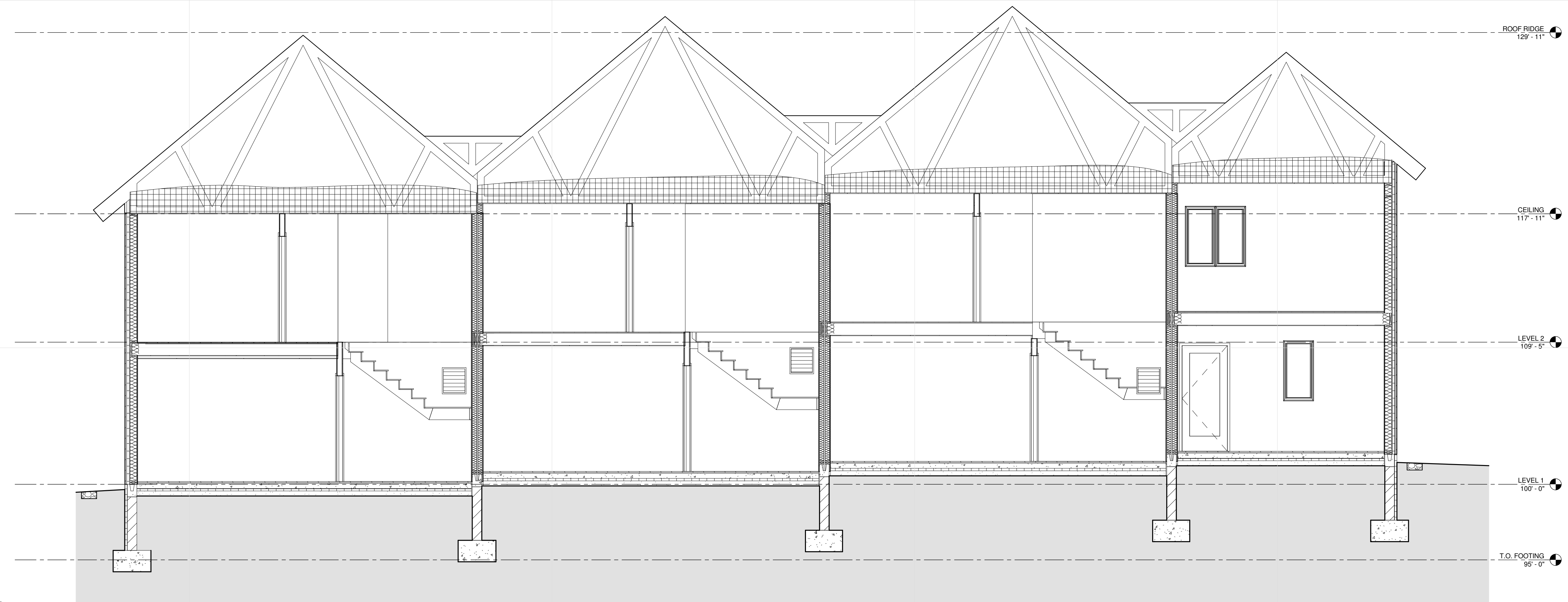
ISSUE	DATE	DESCRIPTION
K	04.21.17	100%DD
	04.28.17	LAND USE APPLICATION
	05.08.17	50% CD
	05.26.17	GC 90% CHECK SET

PROJECT NO.	2016015
PROJECT PHASE	50% CD
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**BUILDING A, B
 BUILDING SECTION**

A252



1 STEPPED BUILDING SECTION
 A252 1/4" = 1'-0"

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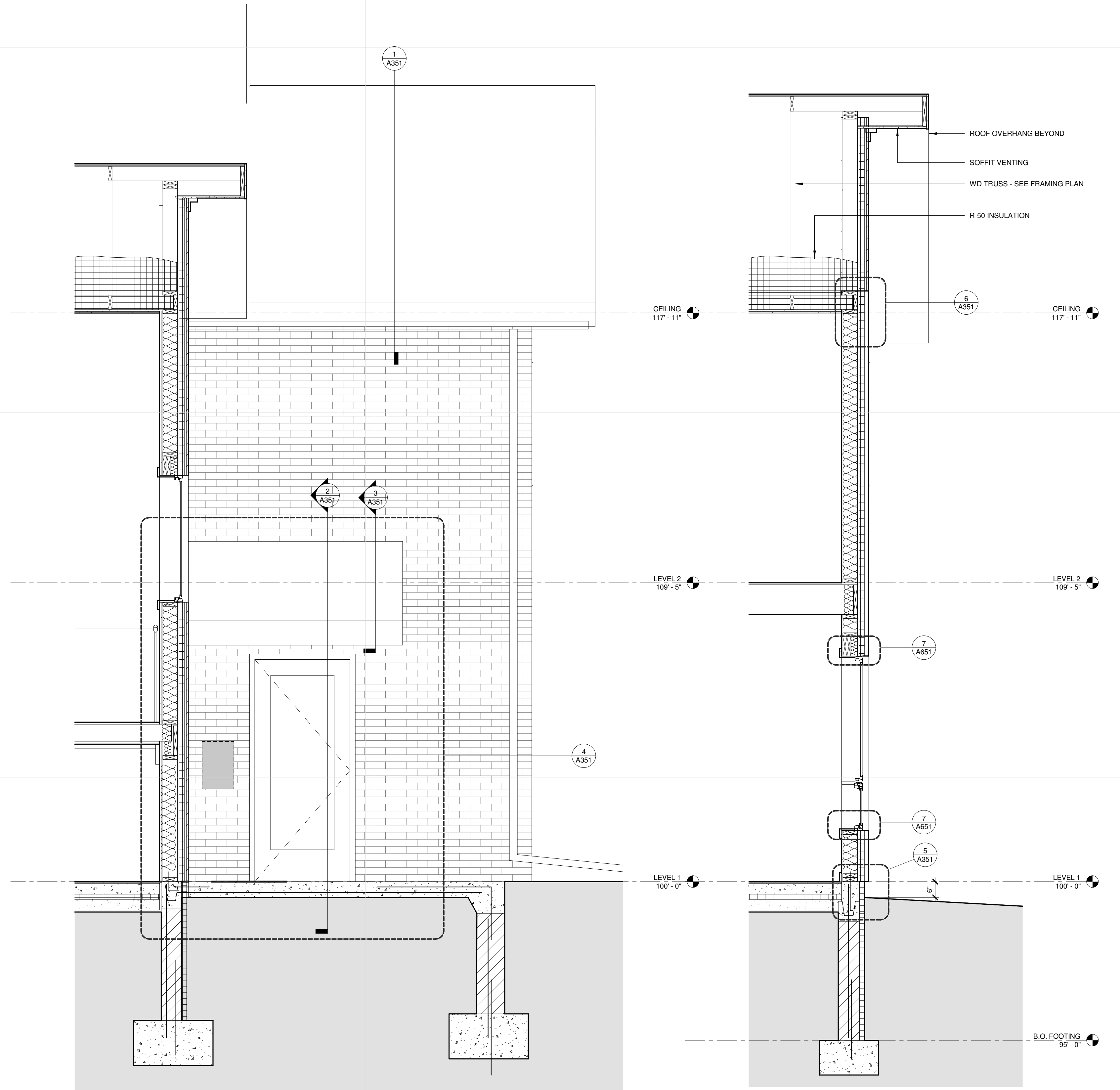
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 Print Names: _____
 Date: _____ License No: _____

MARK	DATE	DESCRIPTION
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	05.05.17	50% GD
	05.26.17	GC 90% REVIEW SET

PROJECT NO.	2016015
PROJECT PHASE	GC 90% REVIEW SET
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CHECKED BY:	Checker

WALL SECTIONS

A301



2 WALL SECTION @ CONCRETE WALK
 A301 1/2" = 1'-0"

1 WALL SECTION @ GRADE
 A301 1/2" = 1'-0"

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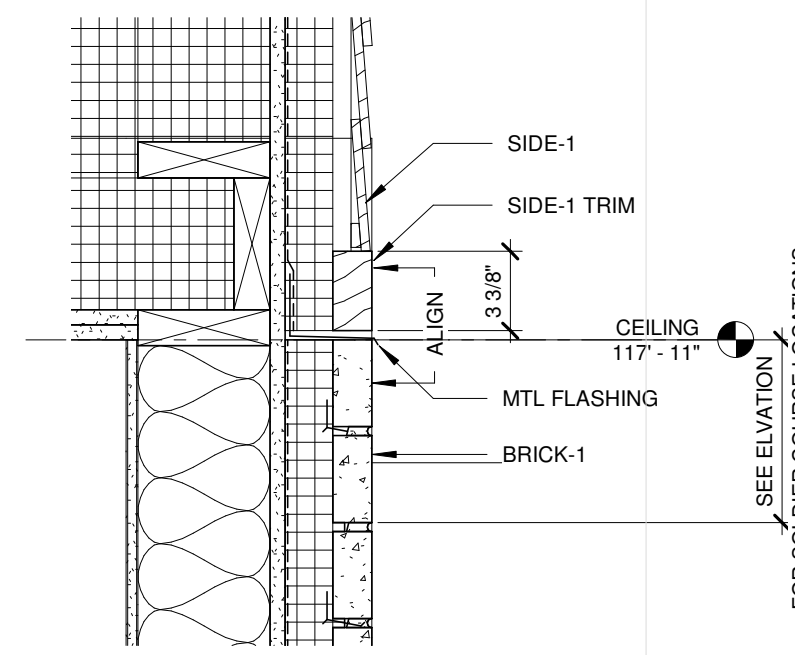
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MARK	DATE	DESCRIPTION
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	04.28.17	LAND USE APPLICATION
	05.05.17	50% GD
	05.26.17	GC 90% REVIEW SET

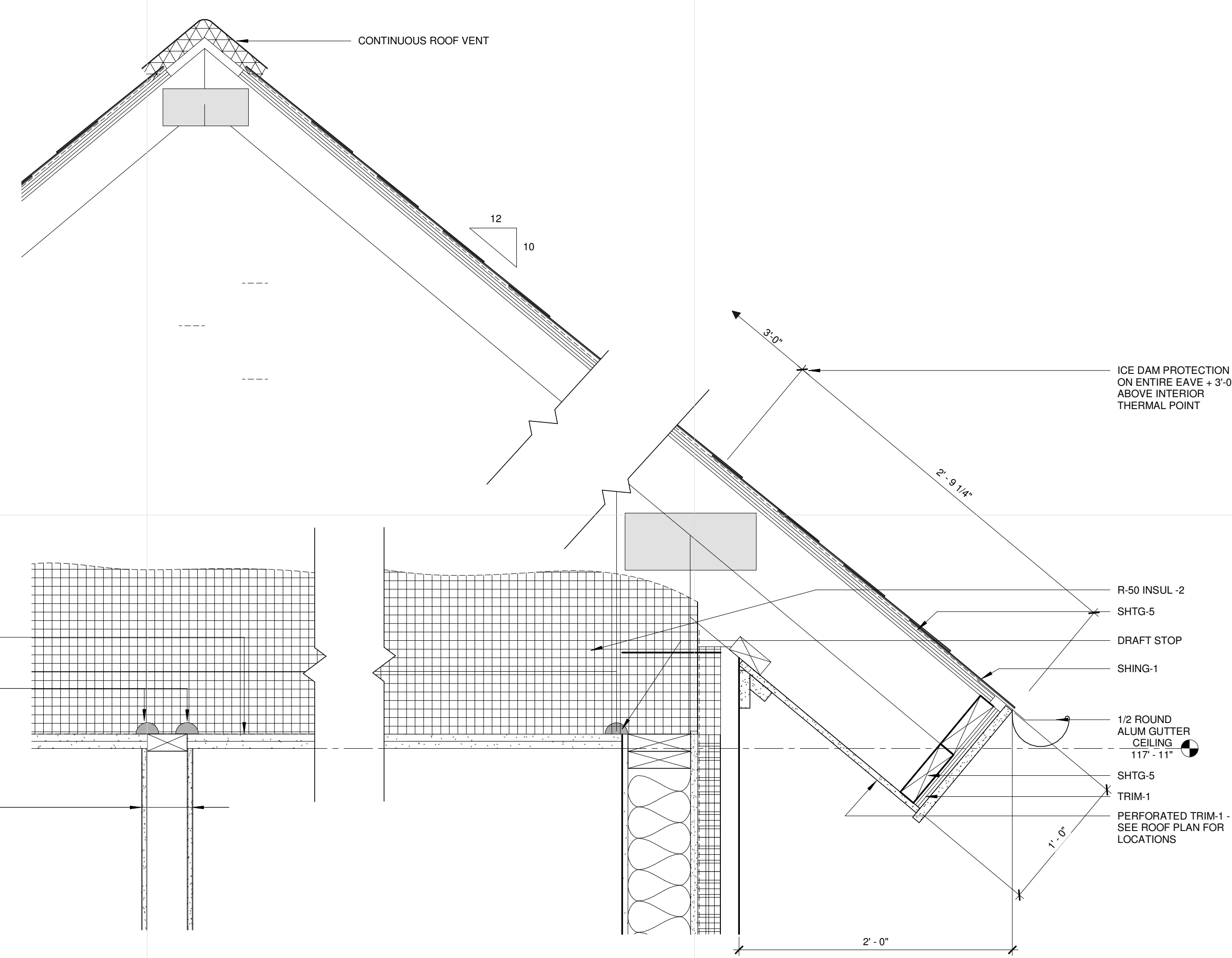
PROJECT NO.	2016015
PROJECT PHASE	GC 90% REVIEW SET
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Author	Checker

EXTERIOR DETAILS

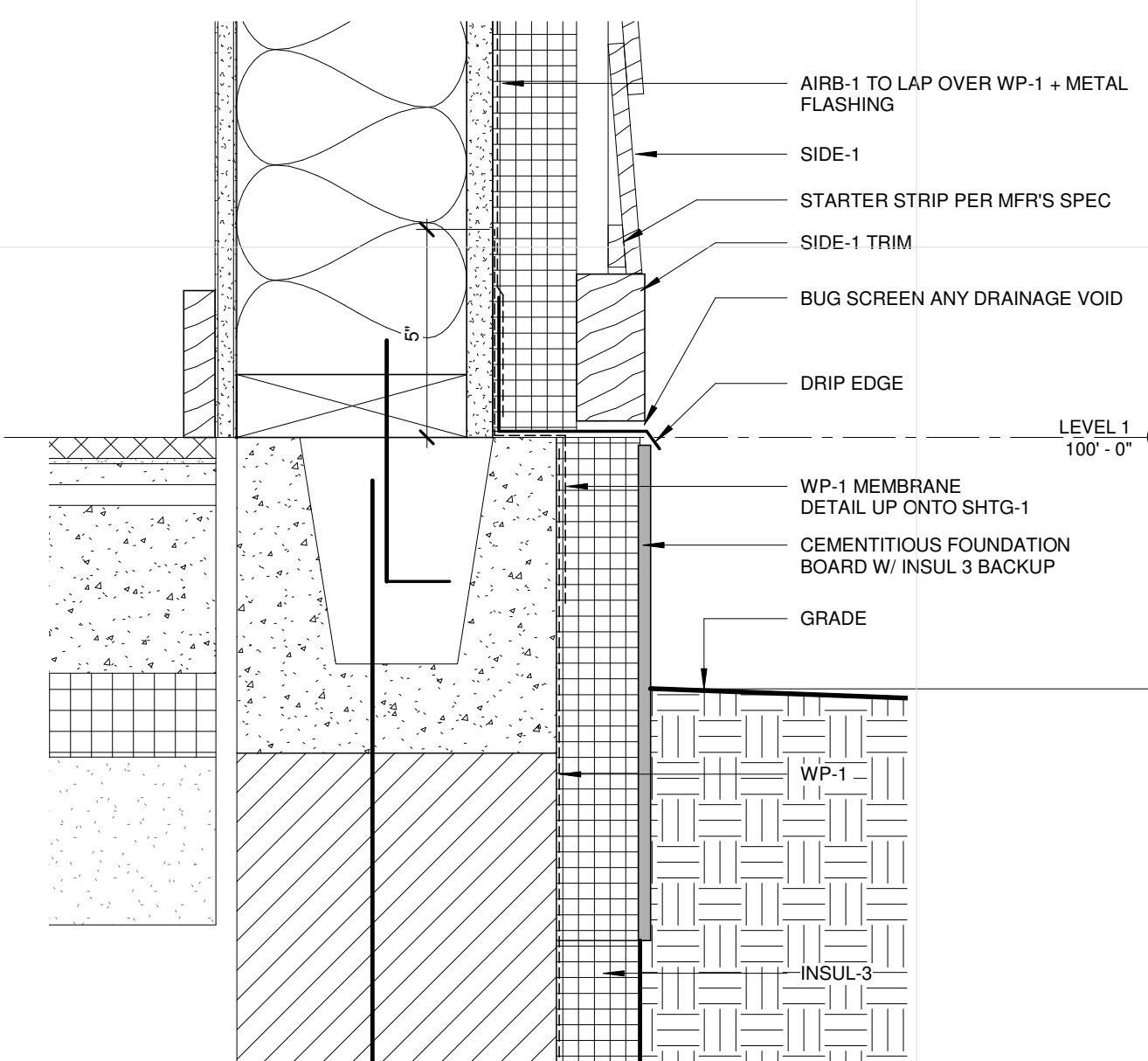
A351



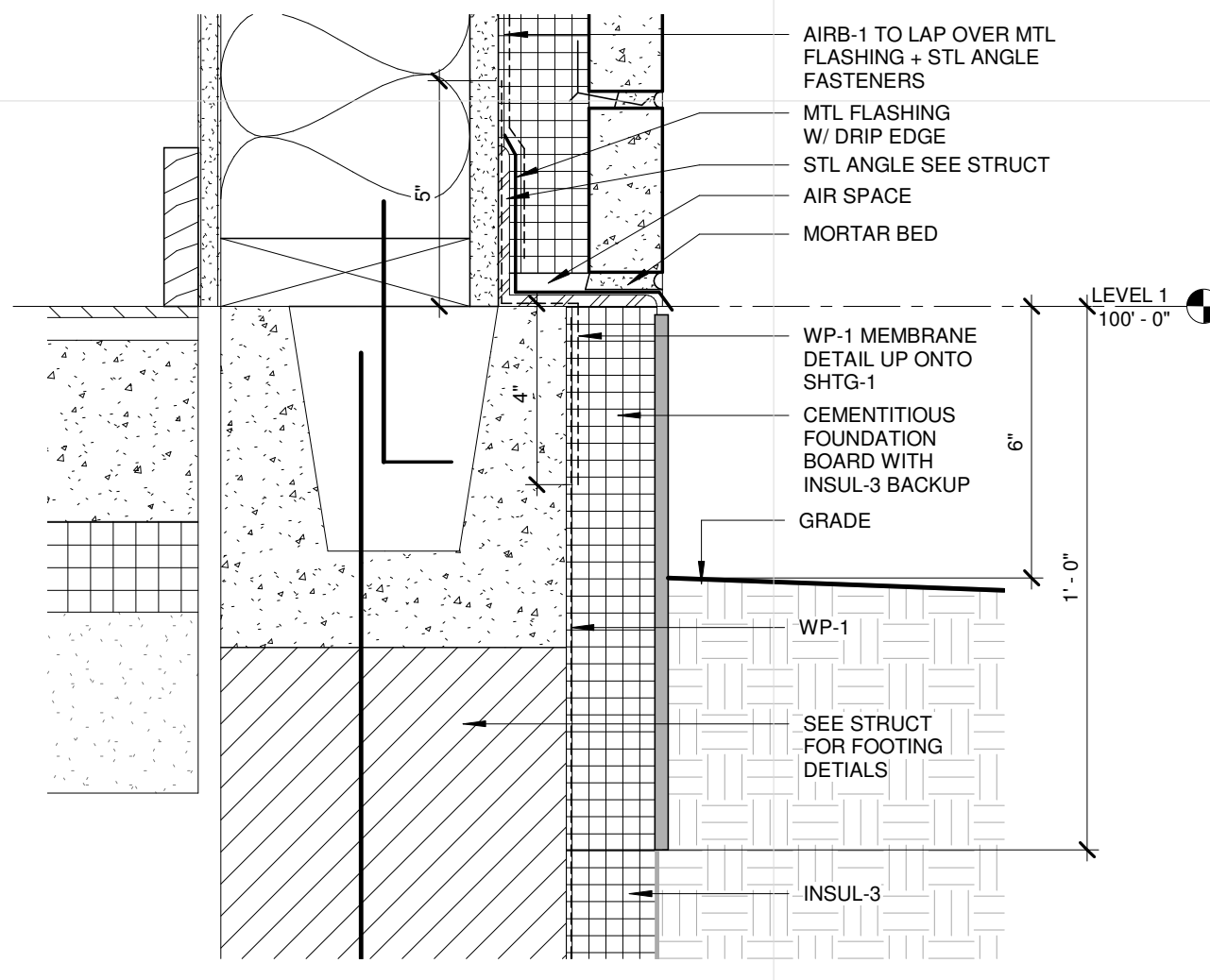
6 HARDBOARD TO BRICK TRANSITION
 A351 1 1/2" = 1'-0"



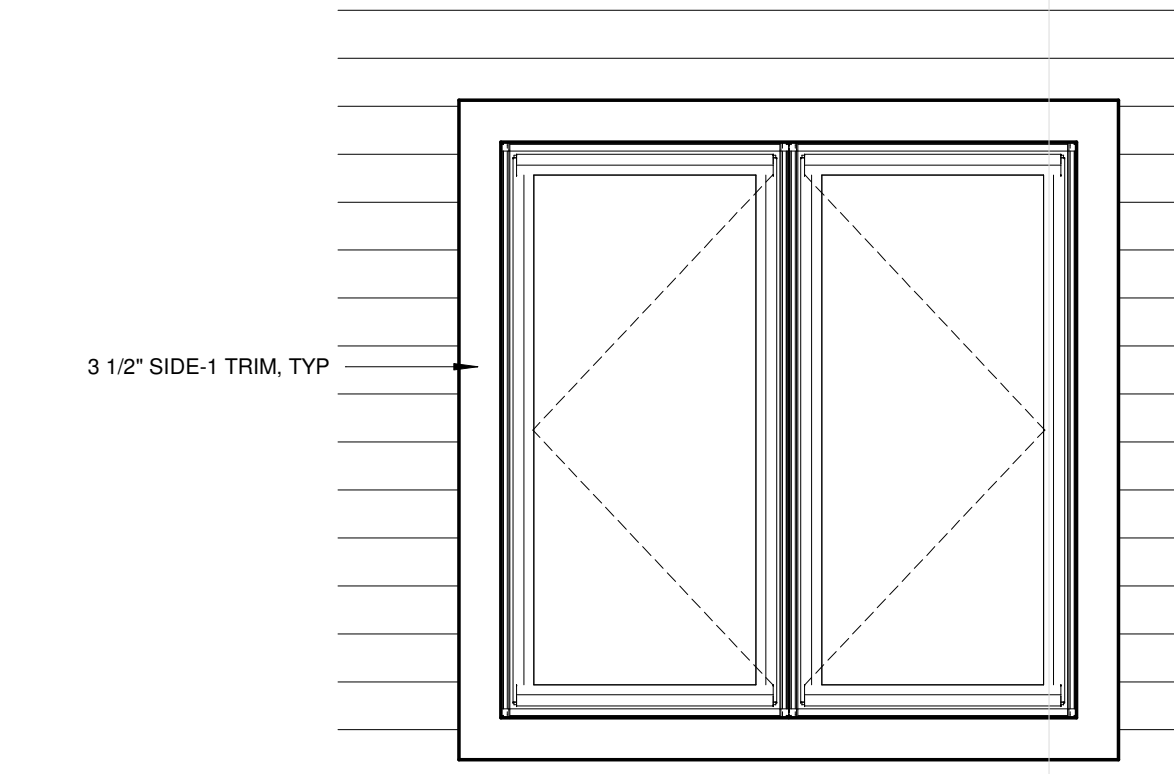
1 DETAIL @ ROOF SOFFIT
 A351 1 1/2" = 1'-0"



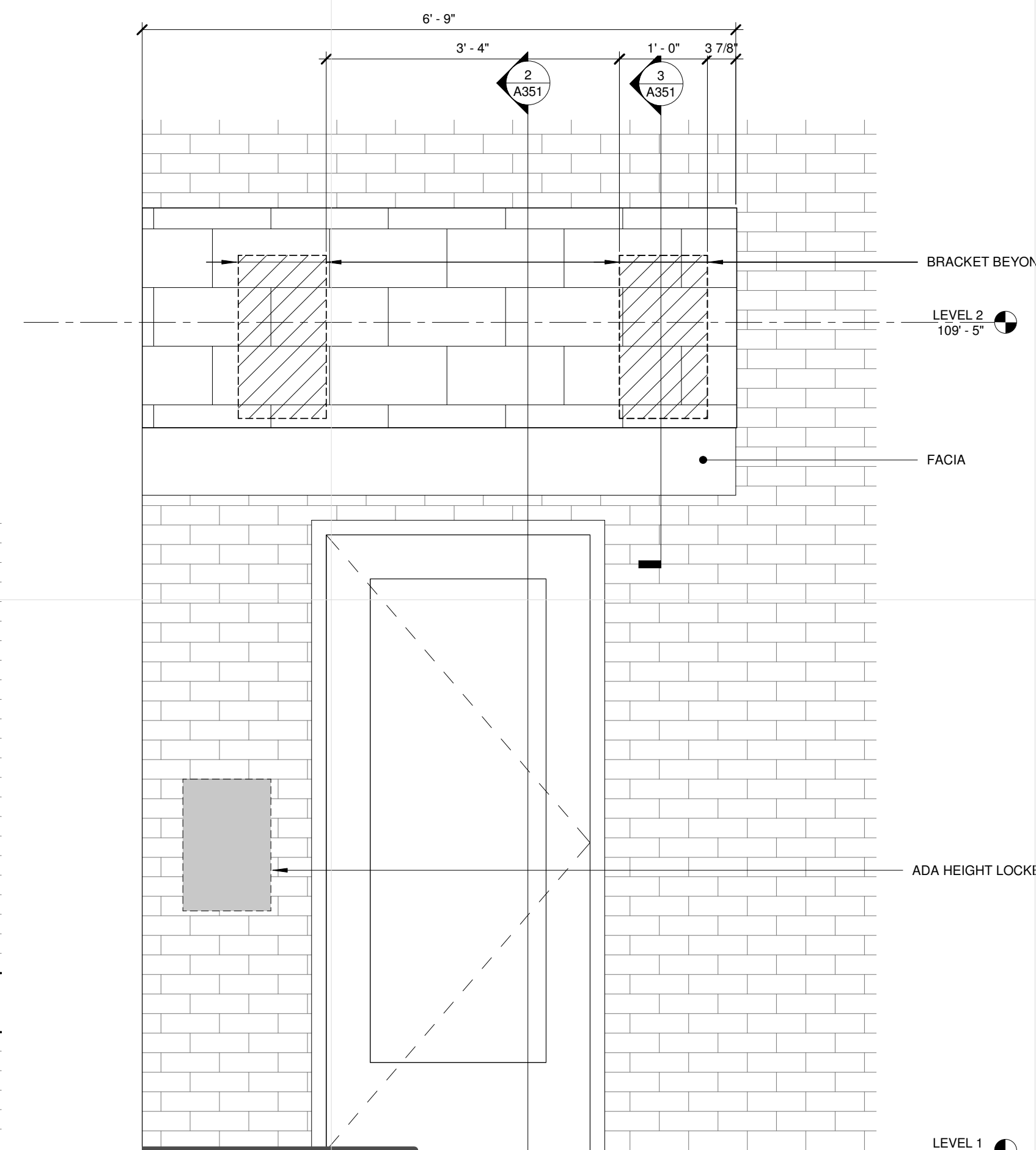
7 SIDE-1 DETAIL @ GRADE
 A351 3" = 1'-0"



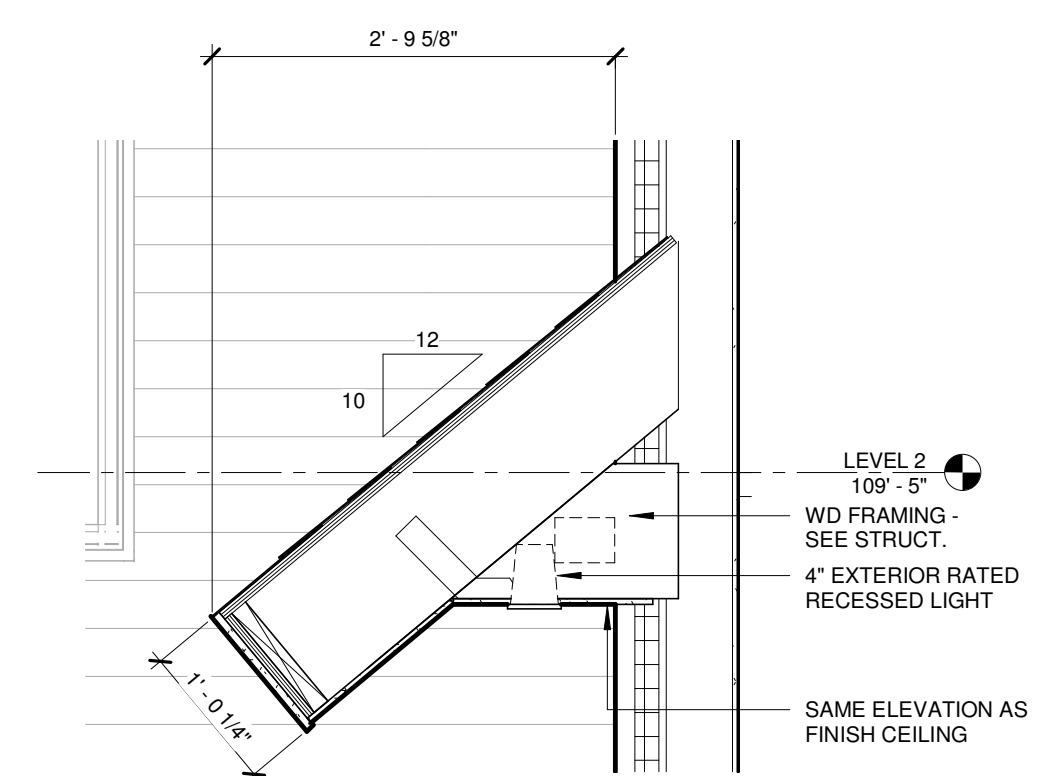
5 BRICK DETAIL @ GRADE
 A351 3" = 1'-0"



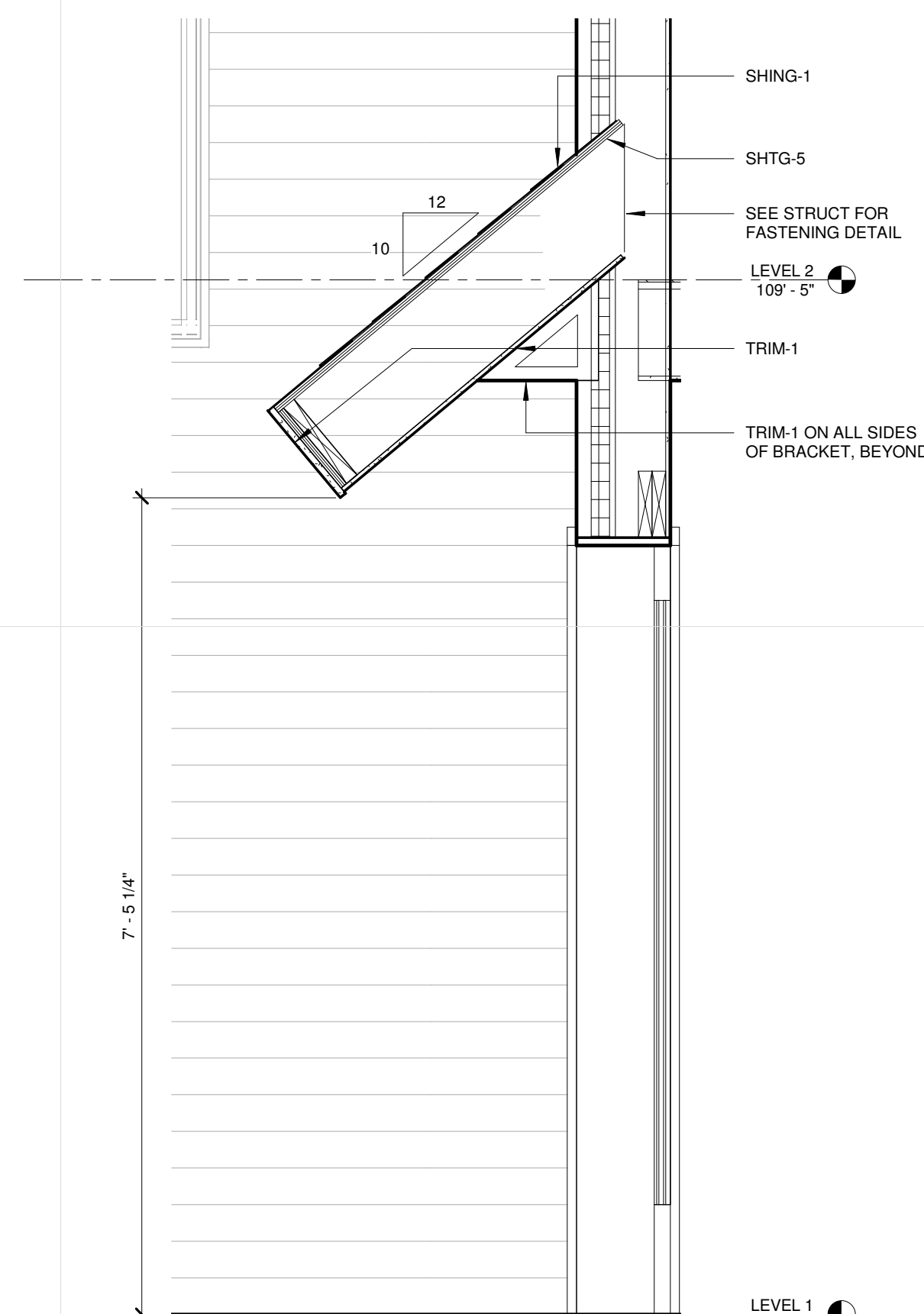
8 TYP WINDOW ELEVATION IN SIDE-1
 A351 3/4" = 1'-0"



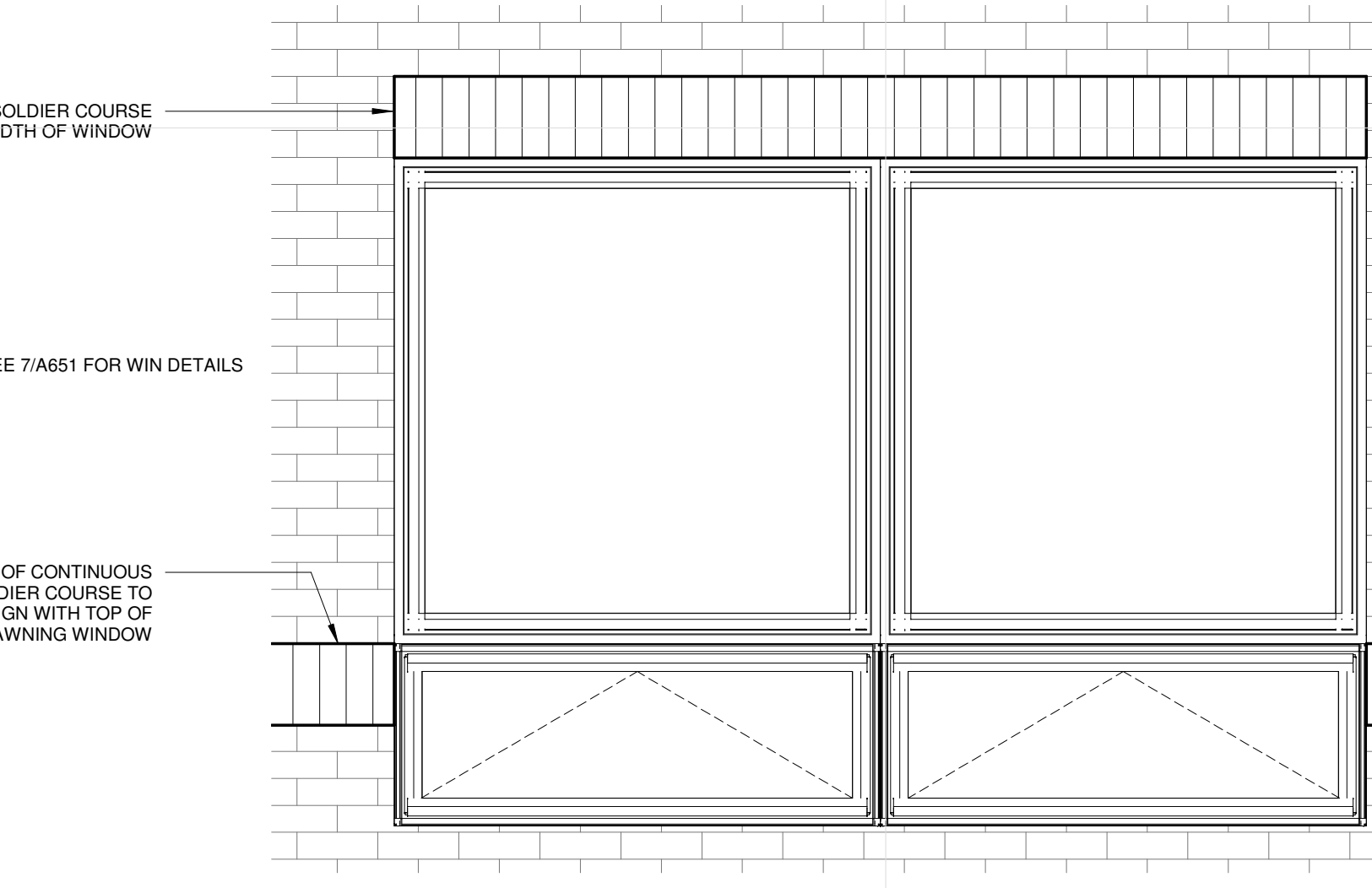
4 ELEVATION @ ENTRY CANOPY
 A351 3/4" = 1'-0"



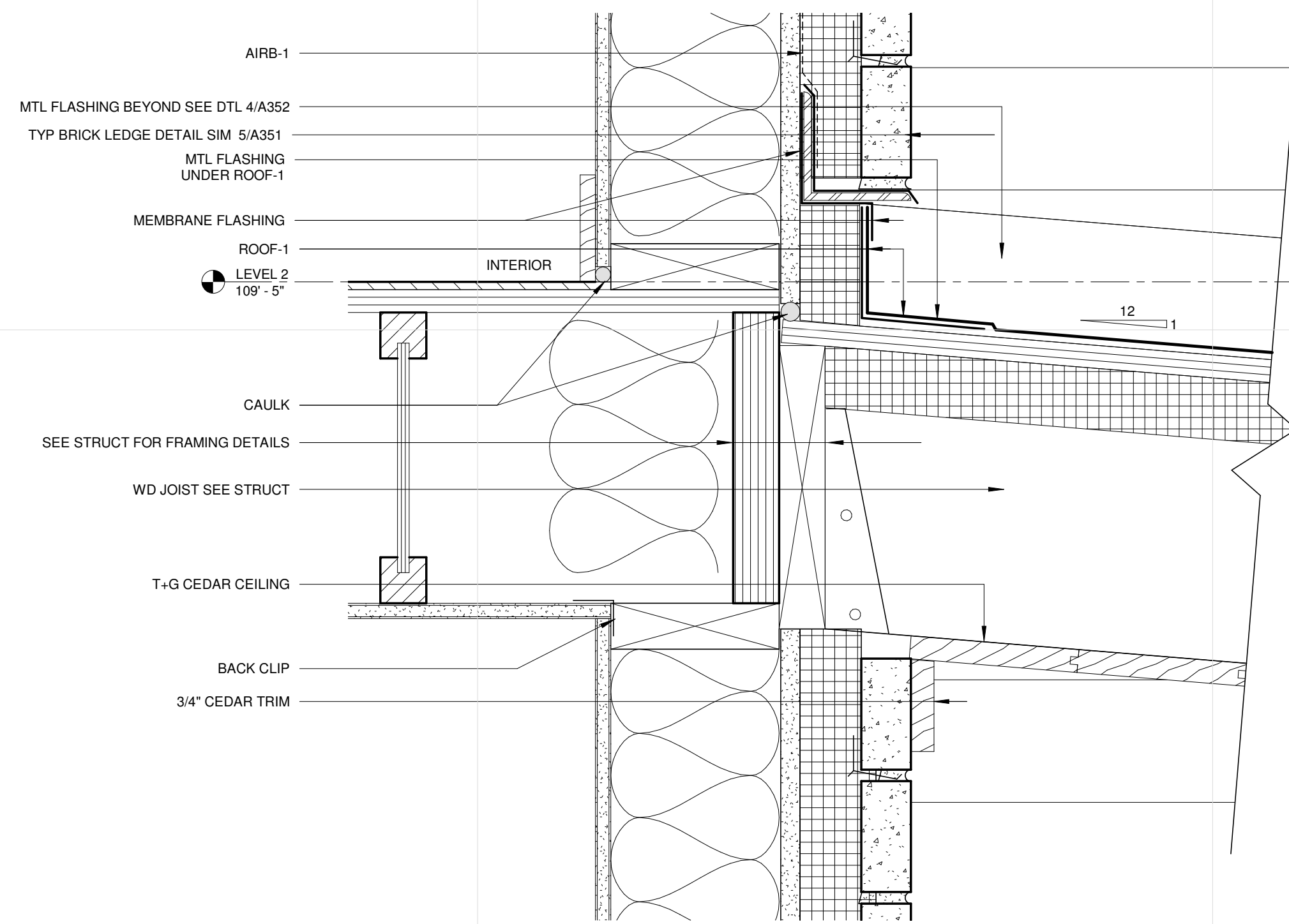
3 DETAIL @ ENTRY CANOPY BRACKET
 A351 3/4" = 1'-0"



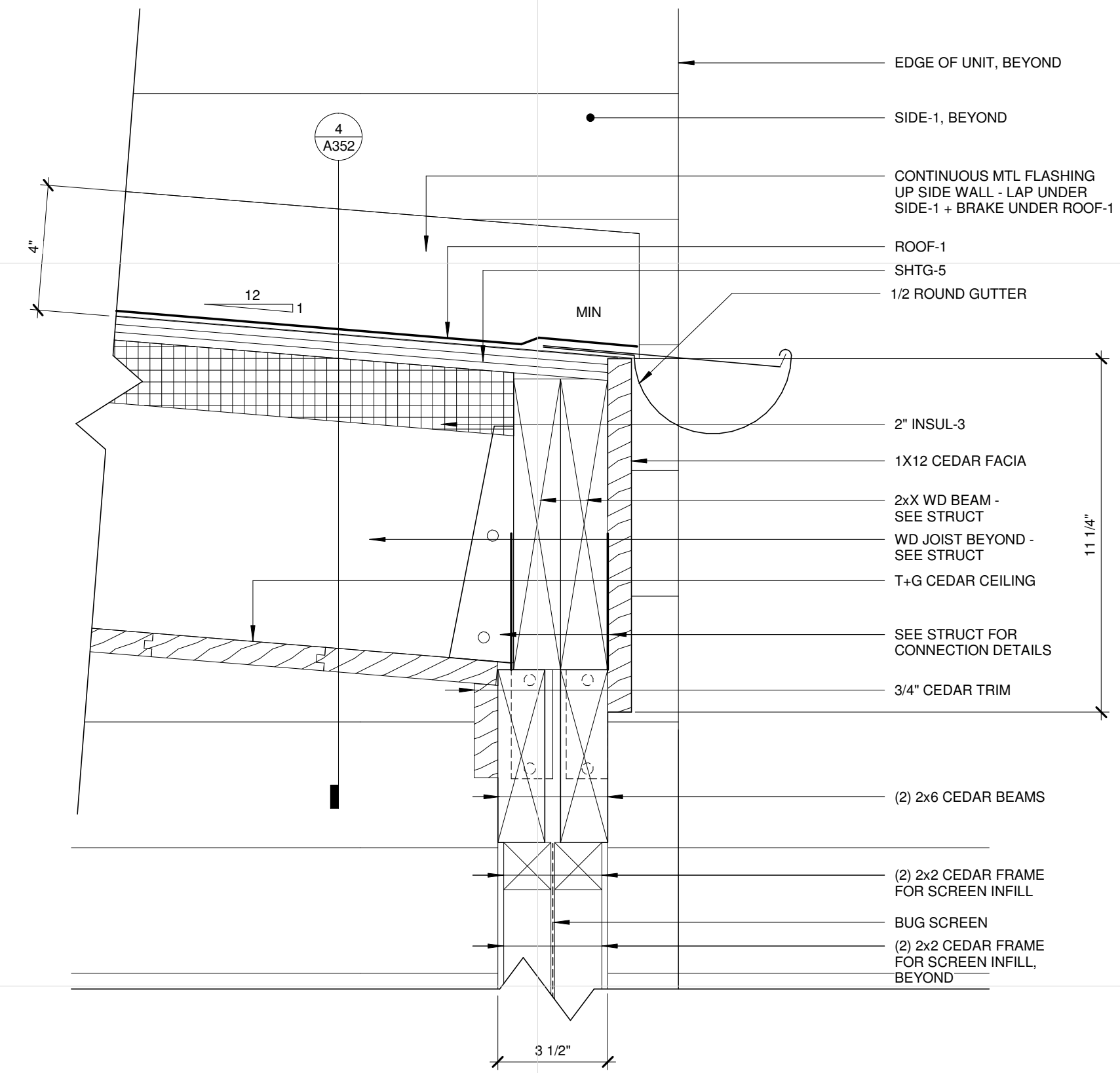
2 SECTION THROUGH ENTRY CANOPY
 A351 3/4" = 1'-0"



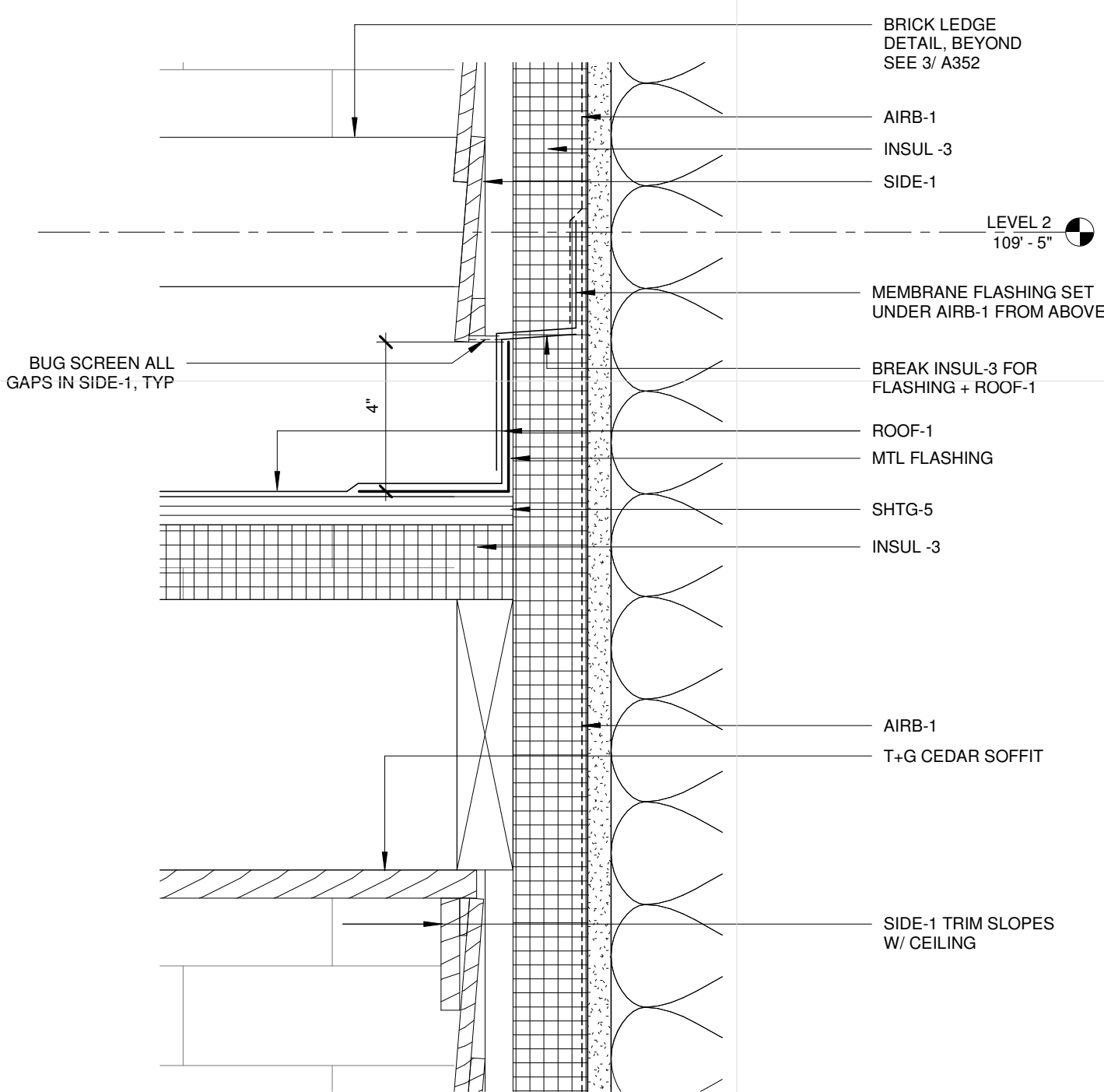
9 TYP WINDOW ELEVATION IN BRICK
 A351 3/4" = 1'-0"



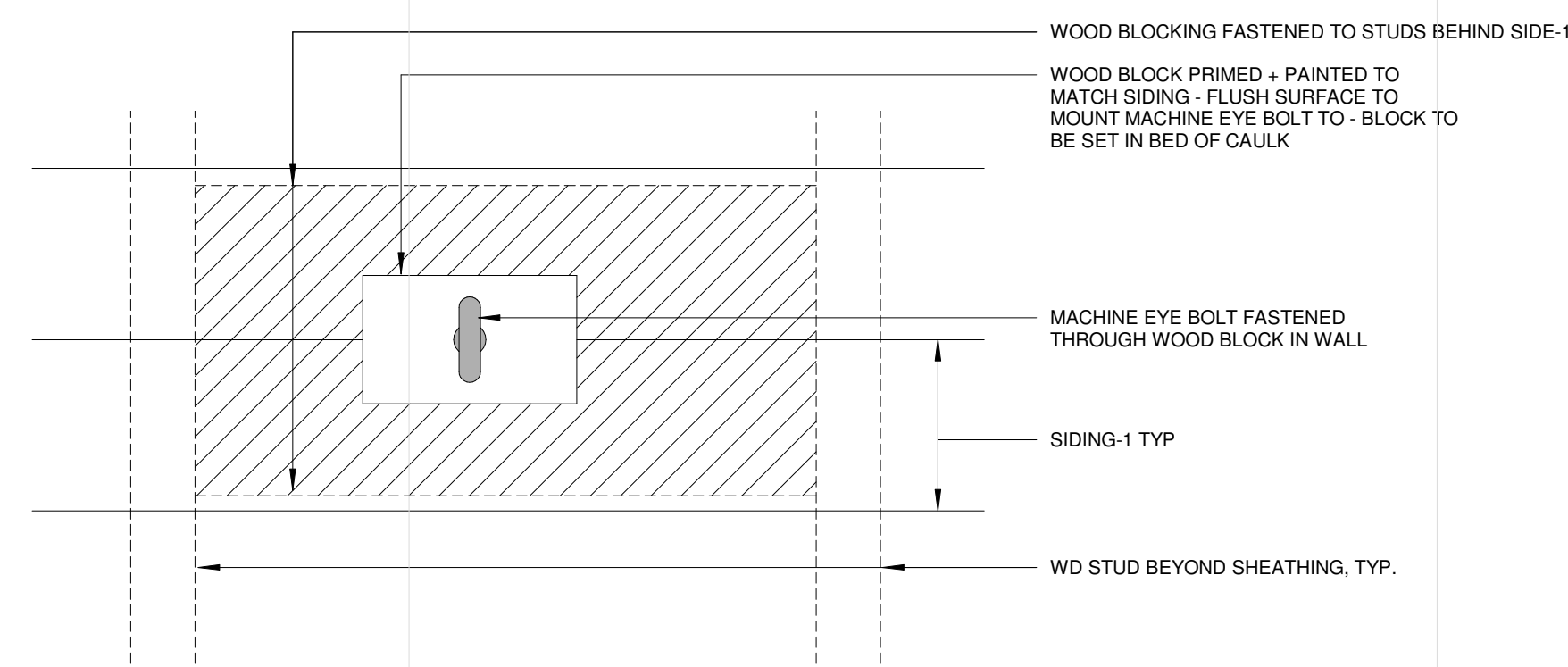
3 SCREEN PORCH ROOF AT UNIT EXTERIOR
 A352 3" = 1'-0"



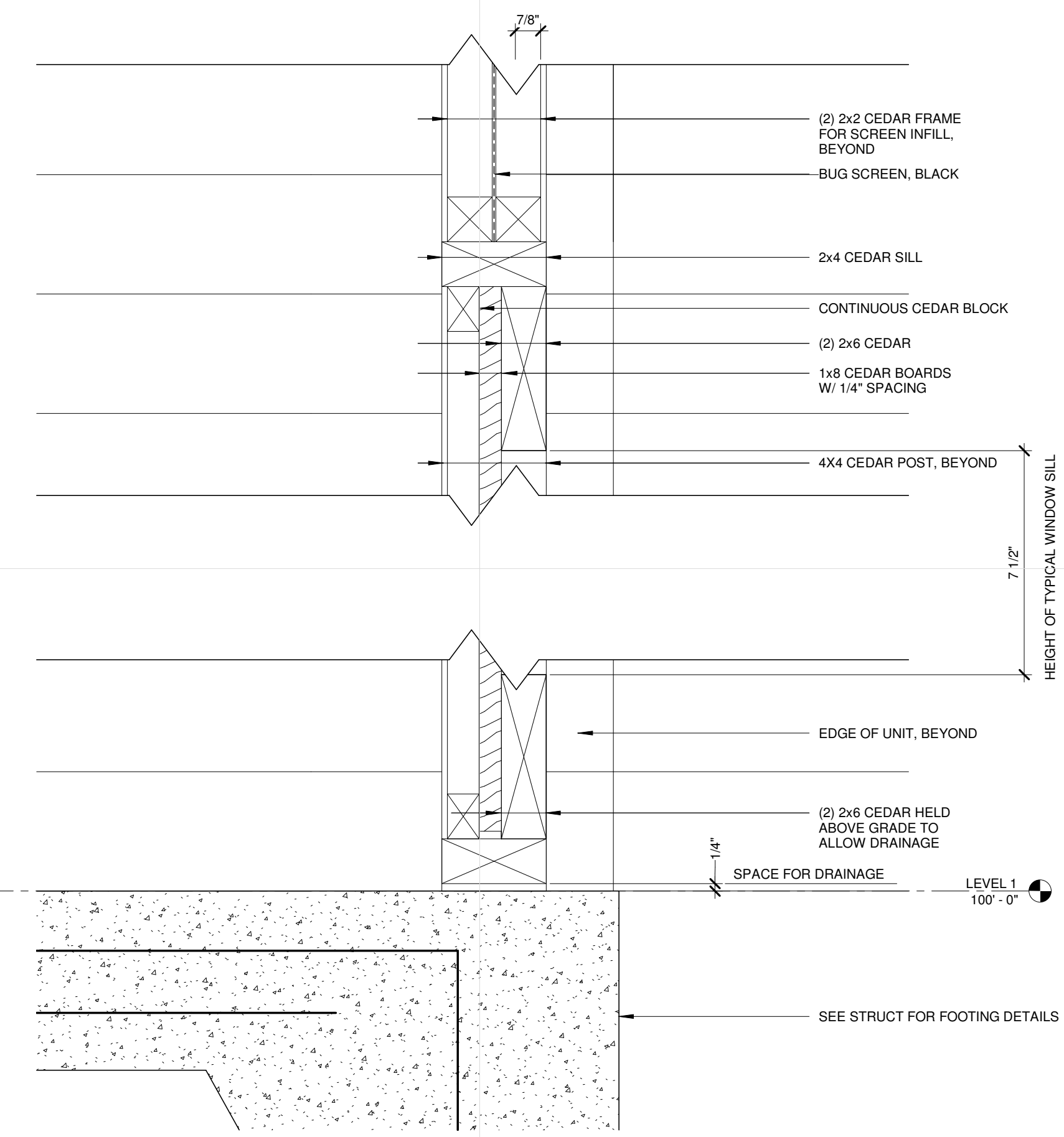
1 SCREEN PORCH DETAILS
 A352 3" = 1'-0"



4 SCREEN PORCH SIDE DETAIL
 A352 3" = 1'-0"



2 BIKE LOCK MOUNT
 A352 3" = 1'-0"



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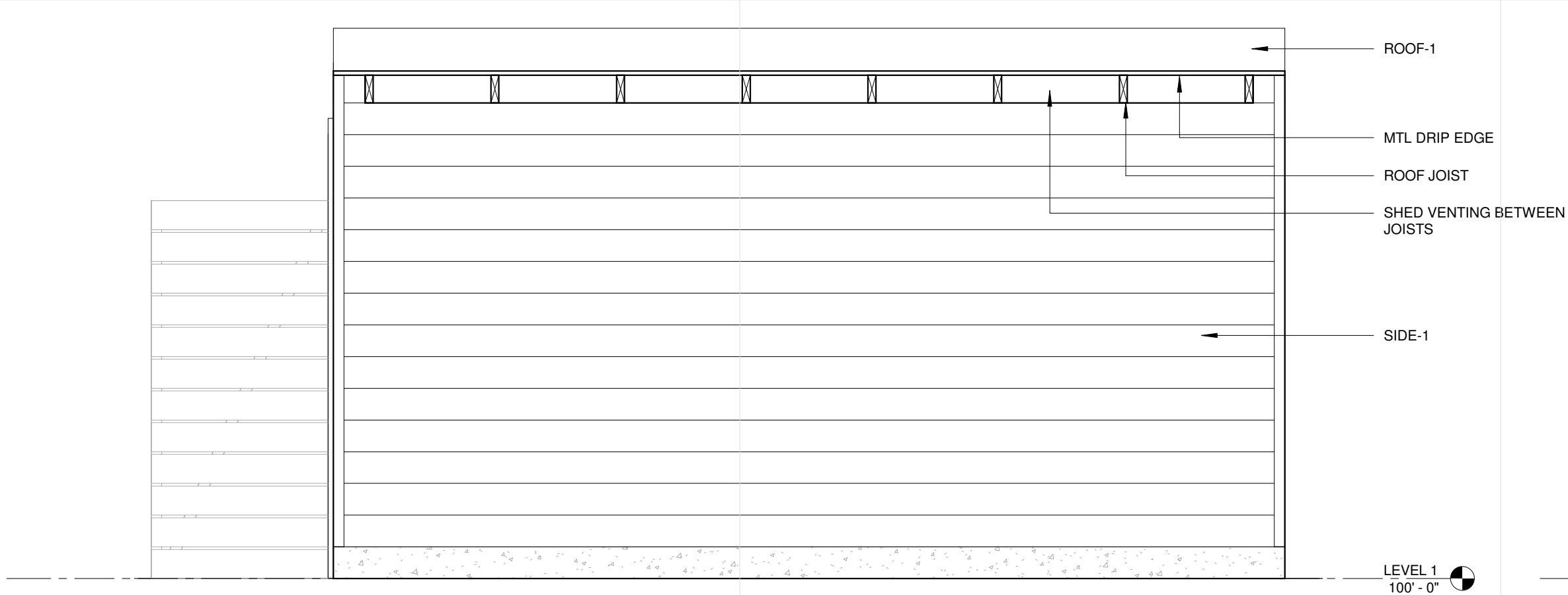
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	04.21.17	100% DD
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	05.26.17	GC 90% REVIEW SET

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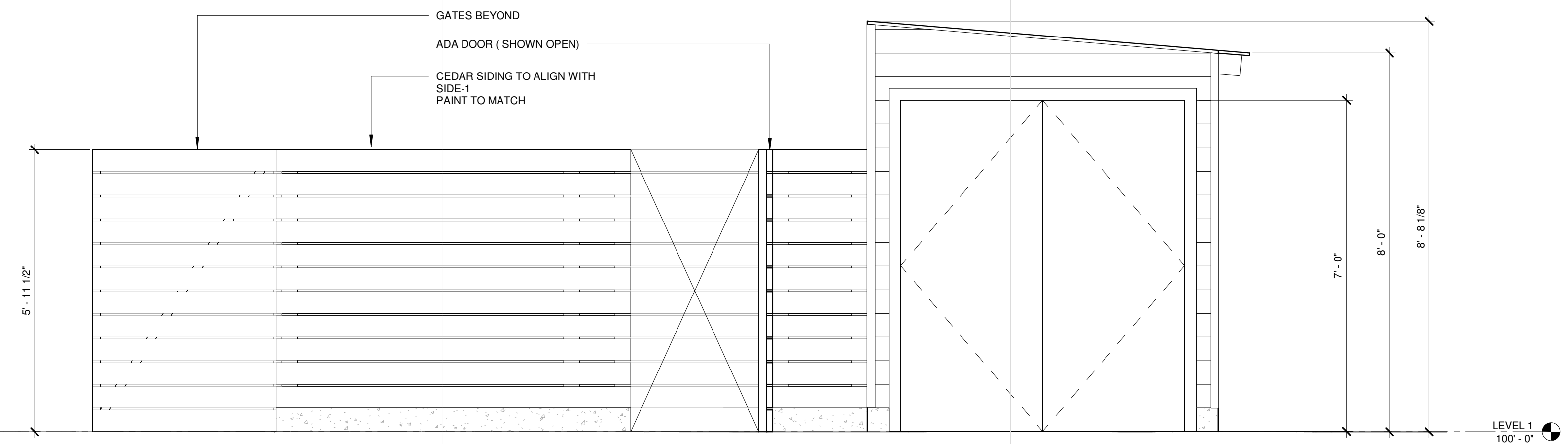
EXTERIOR DETAILS

A352



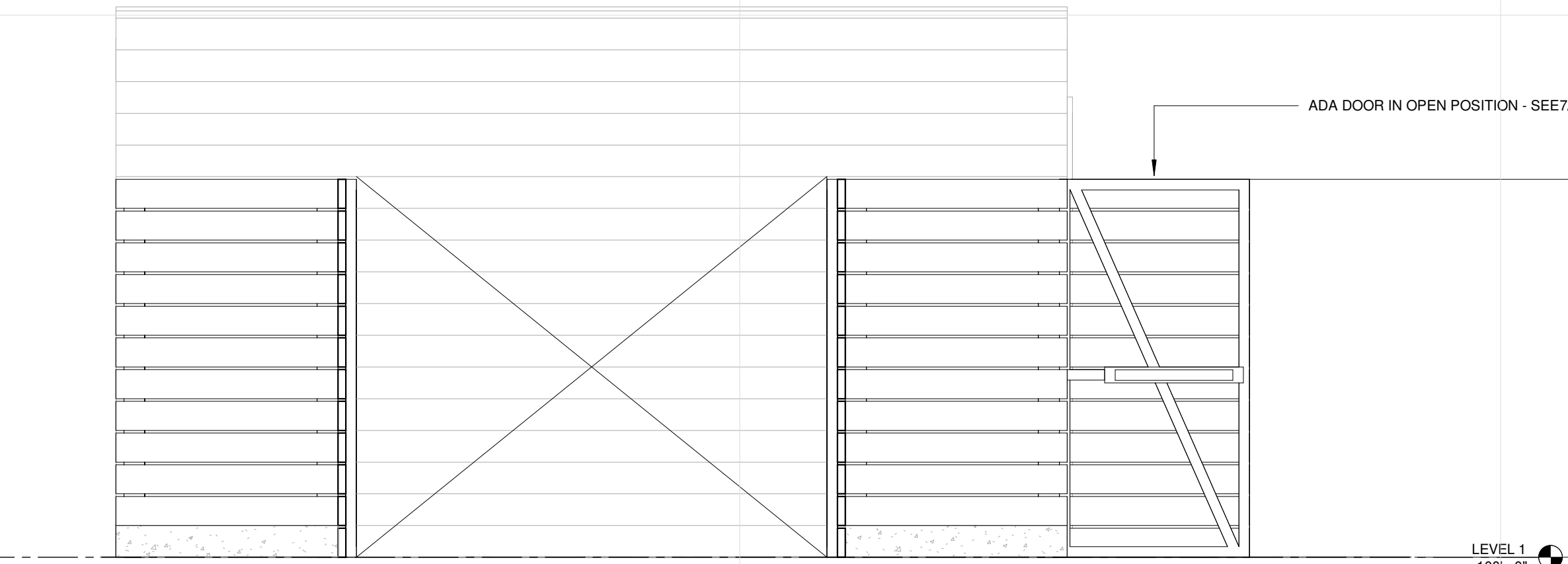
5 SHED WEST ELEVATION

A353 1/2" = 1'-0"



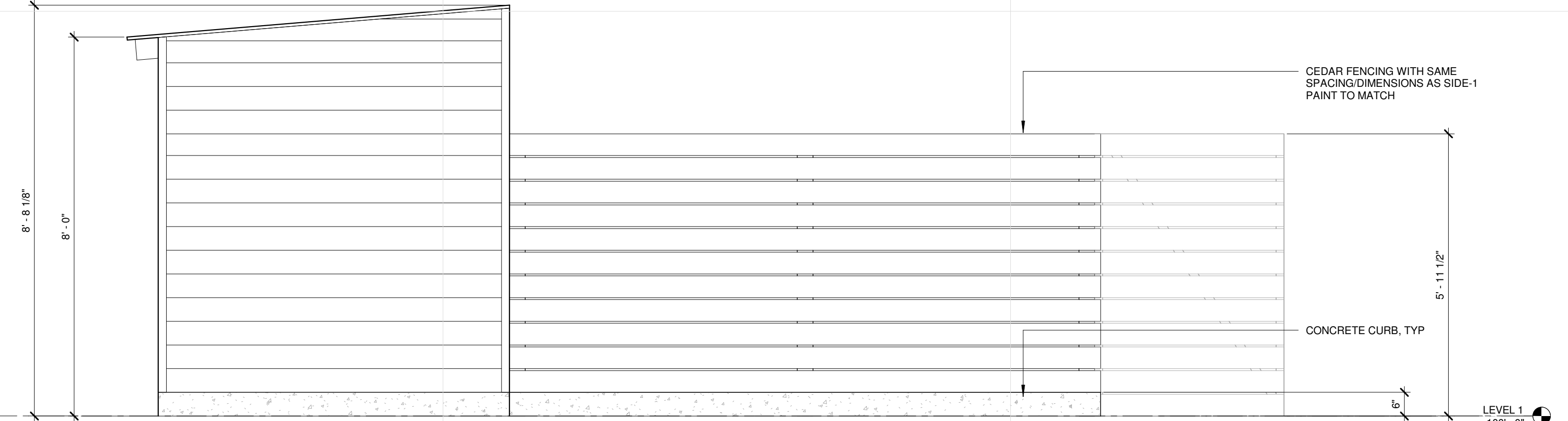
3 SHED NORTH ELEVATION

A353 1/2" = 1'-0"



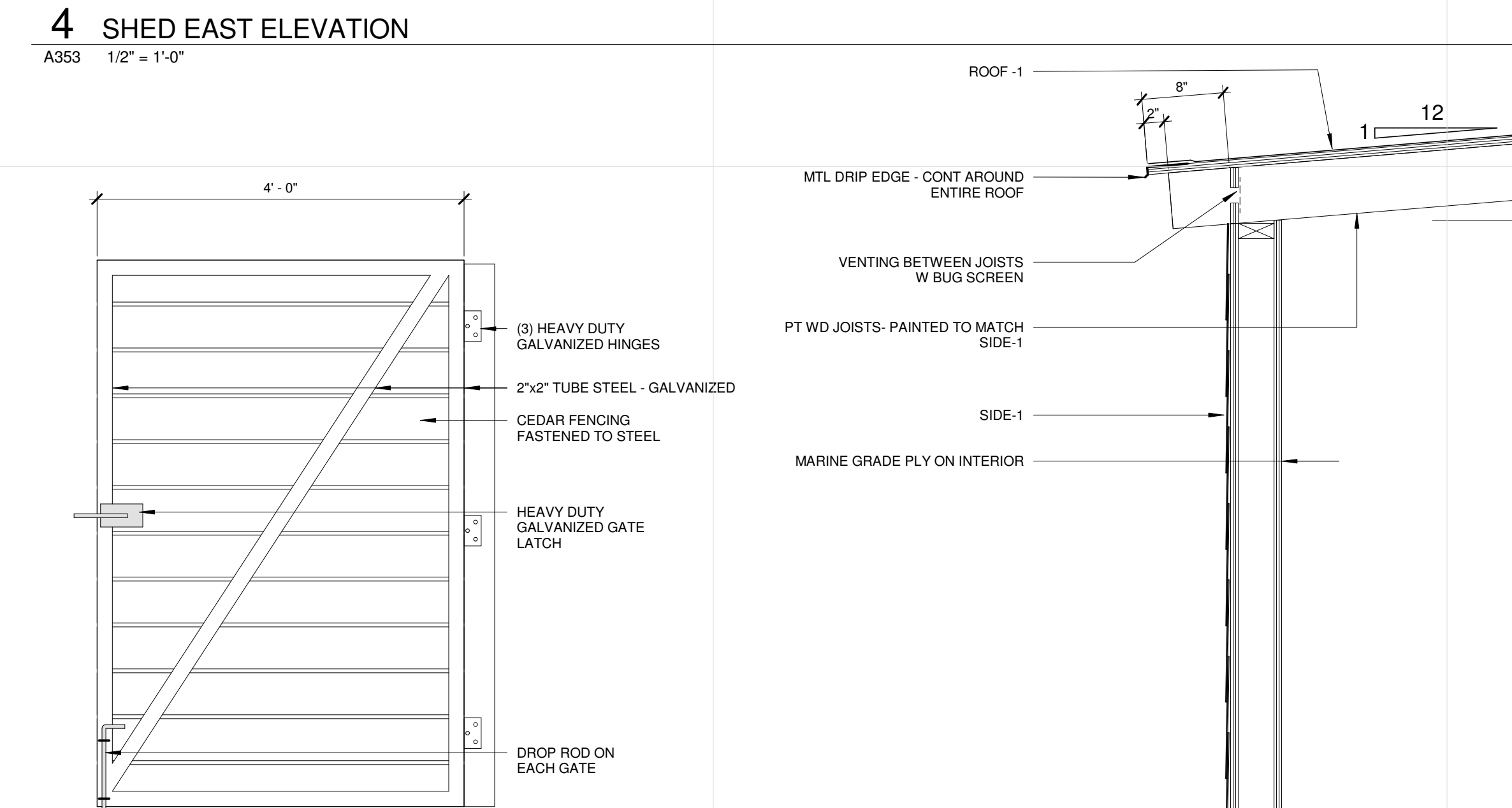
4 SHED EAST ELEVATION

A353 1/2" = 1'-0"



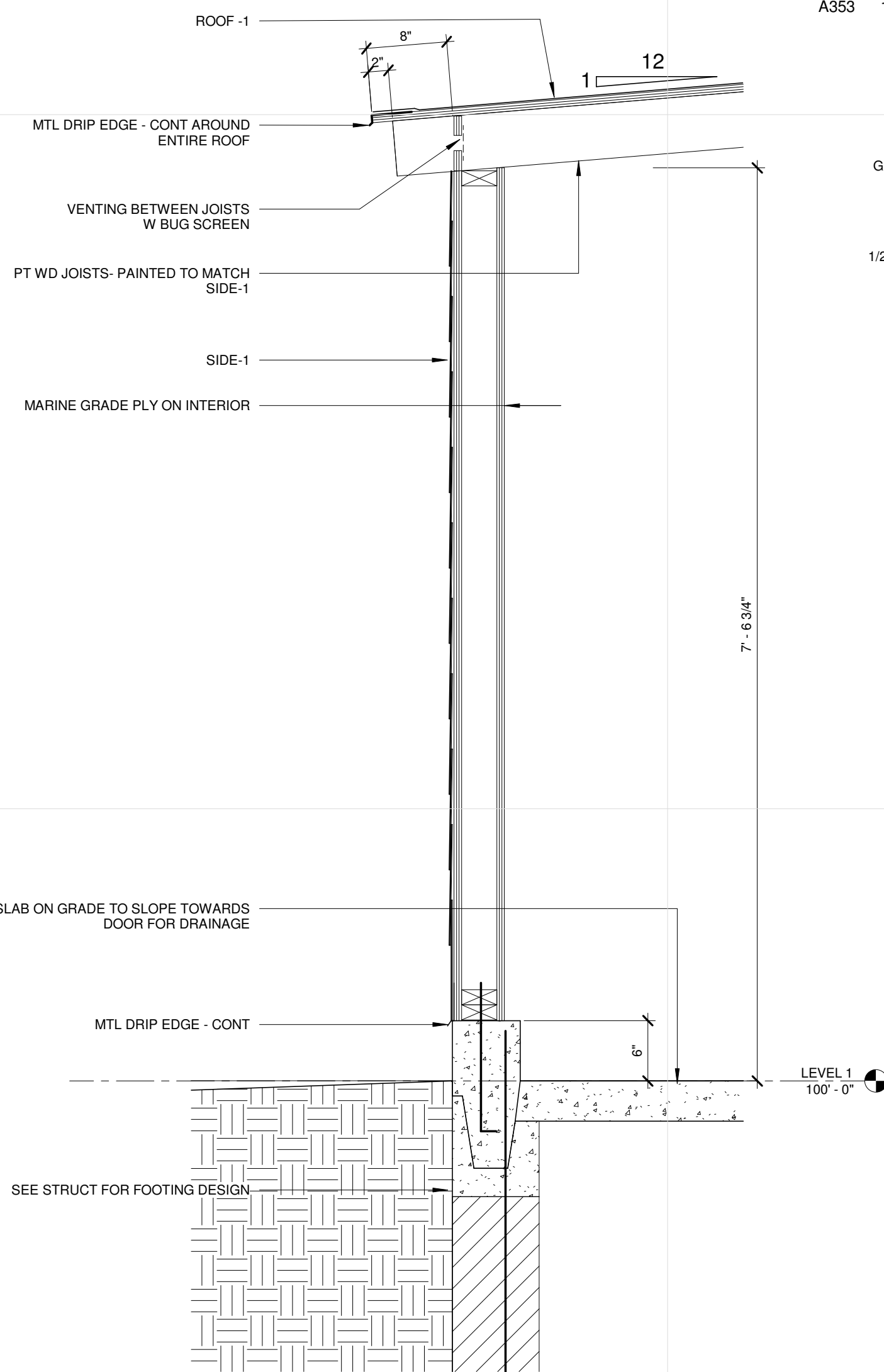
2 SHED SOUTH ELEVATION

A353 1/2" = 1'-0"



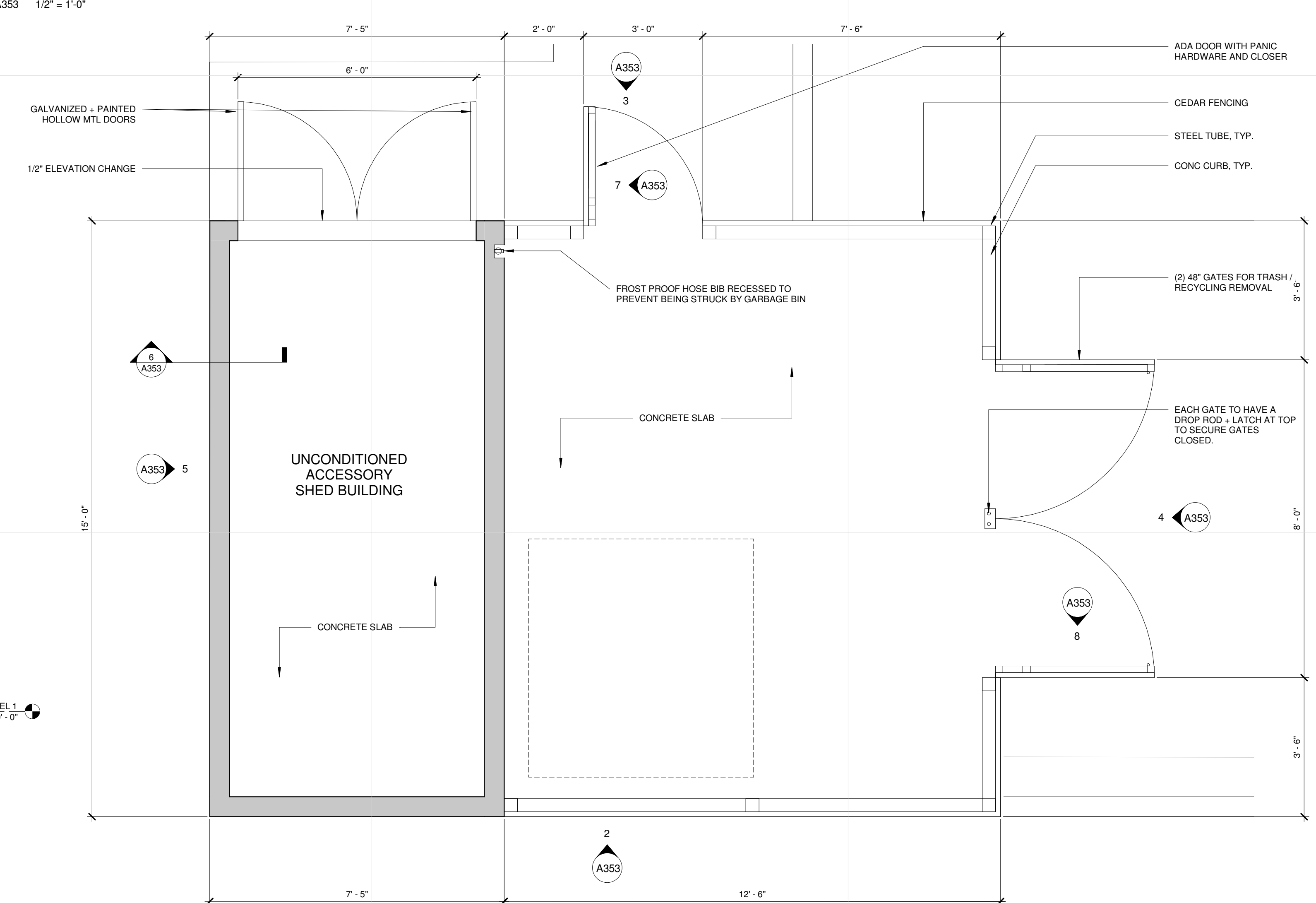
8 TRASH GATE ELEVATION

A353 3/4" = 1'-0"



6 SHED SECTION

A353 1" = 1'-0"



1 SHED PLAN

A353 1/2" = 1'-0"

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K	04.21.17	100% DD
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SHED + RECYLCING AREA

A353

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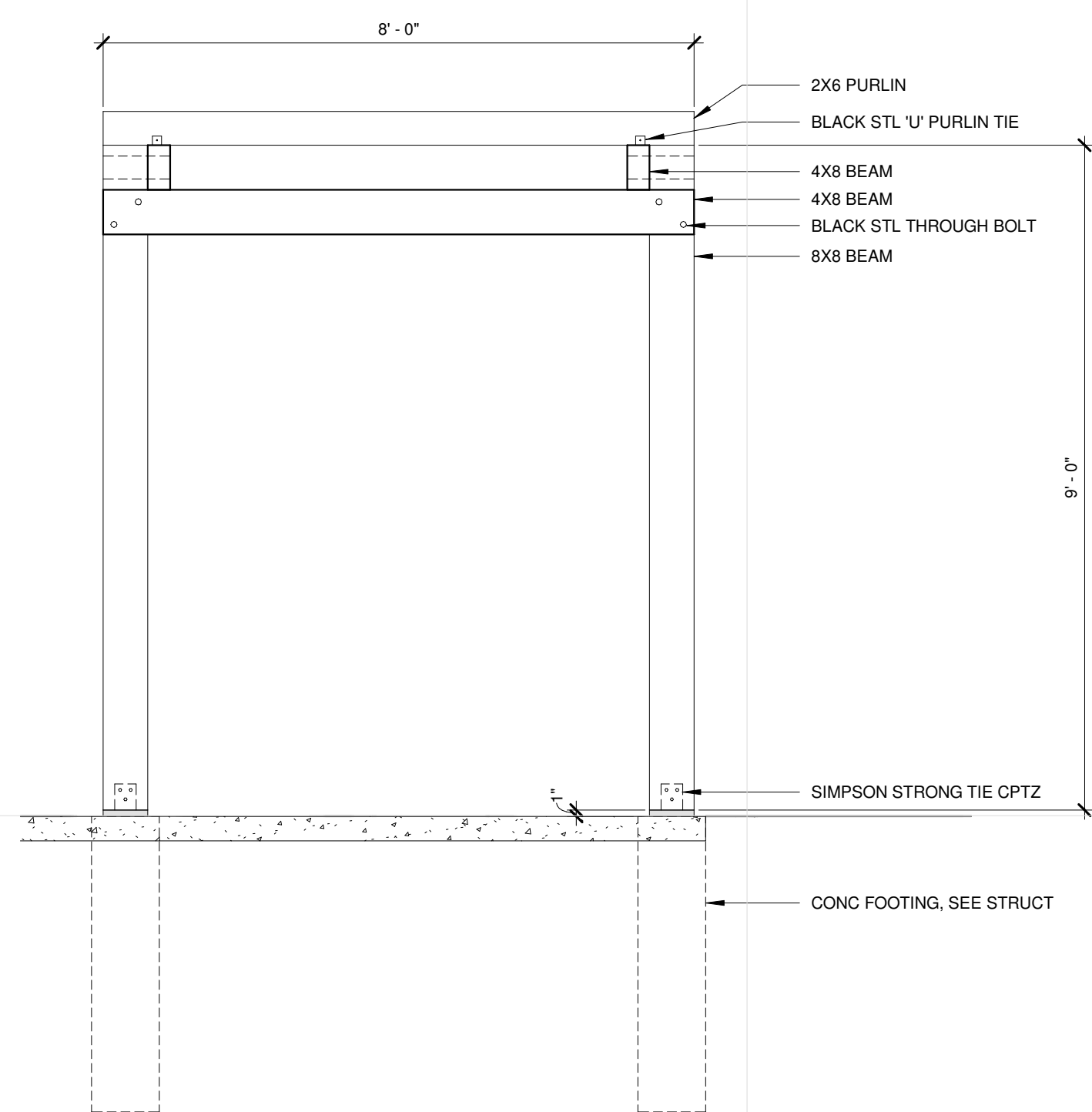
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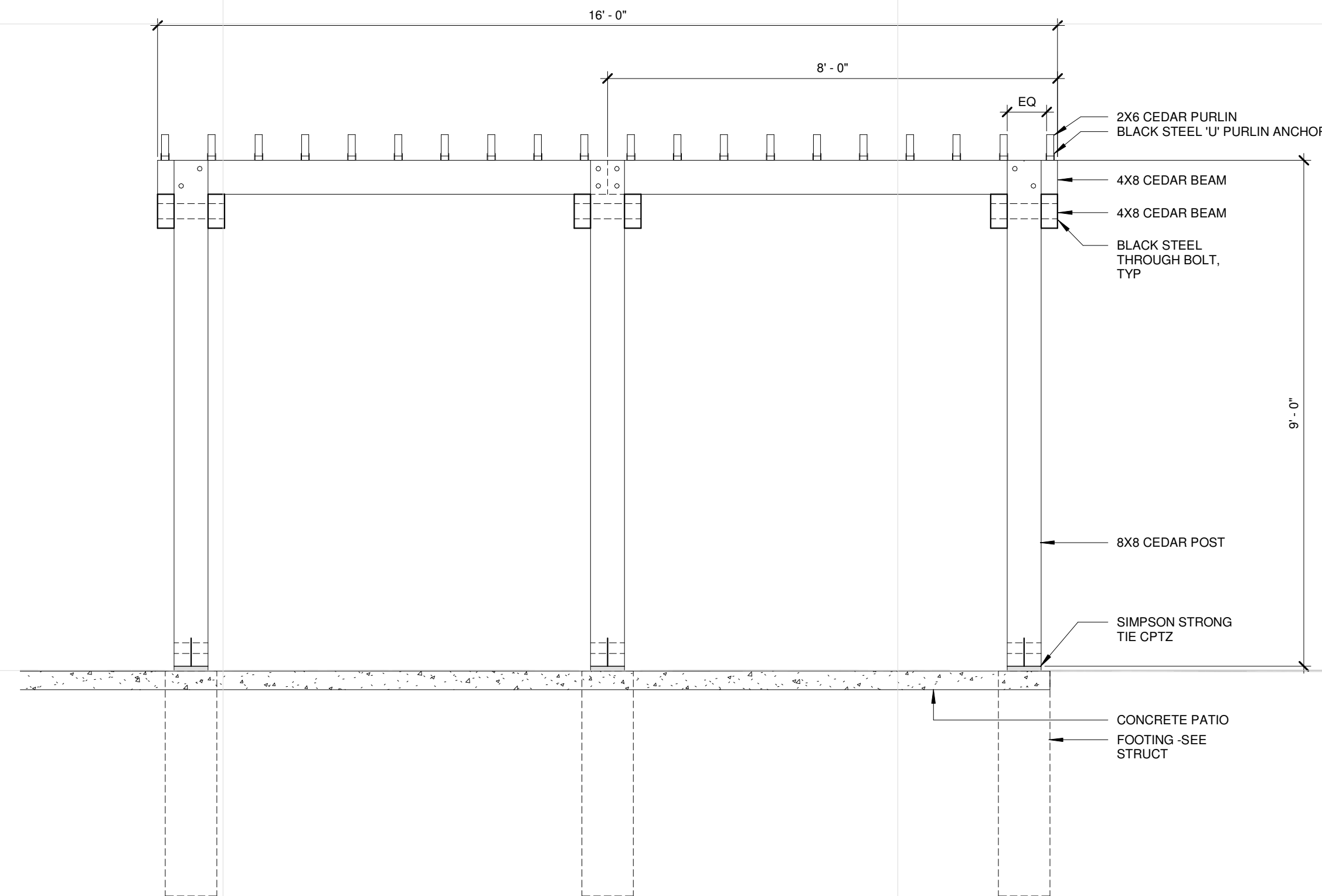
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EXTERIOR DETAILS

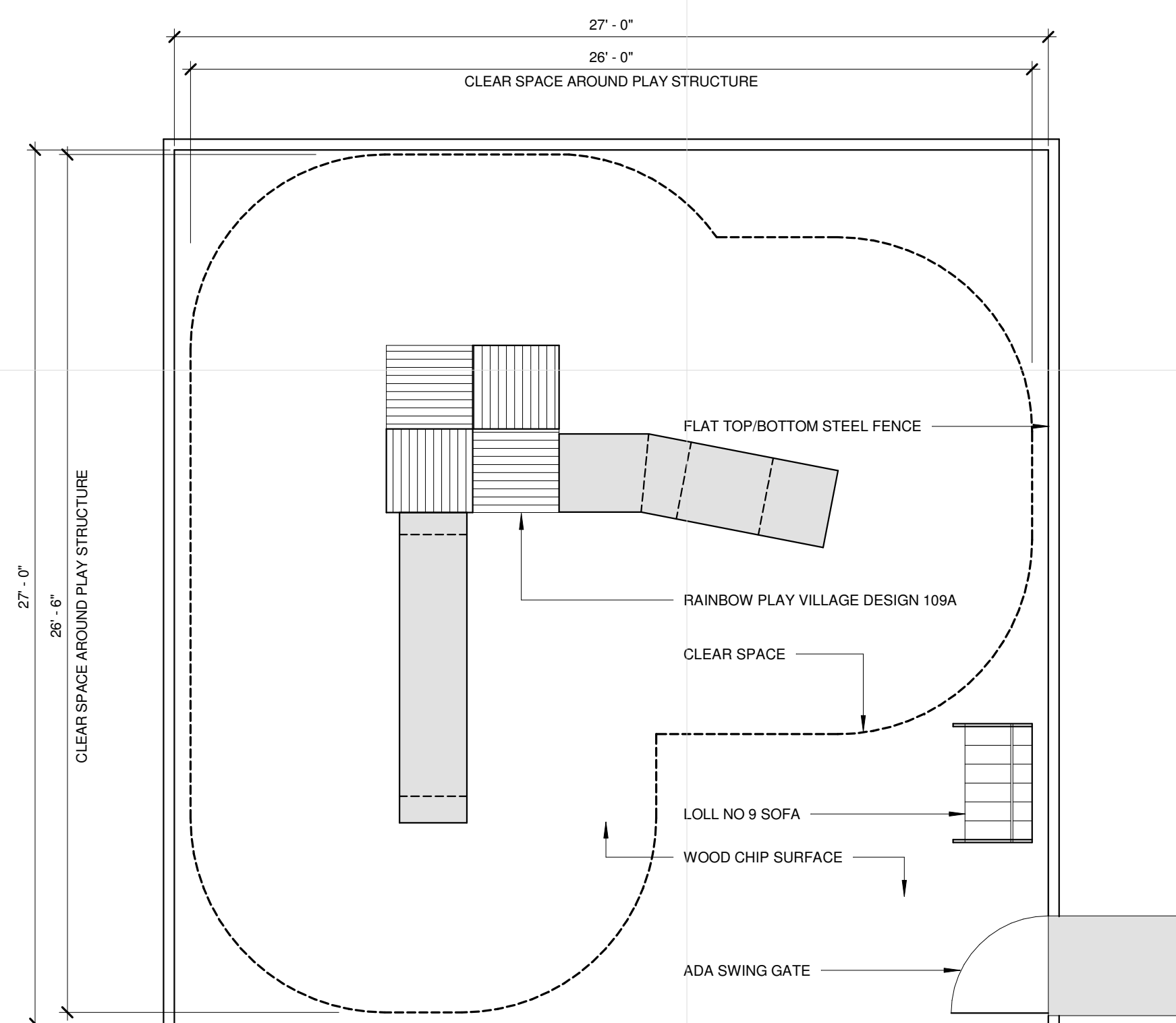
A354



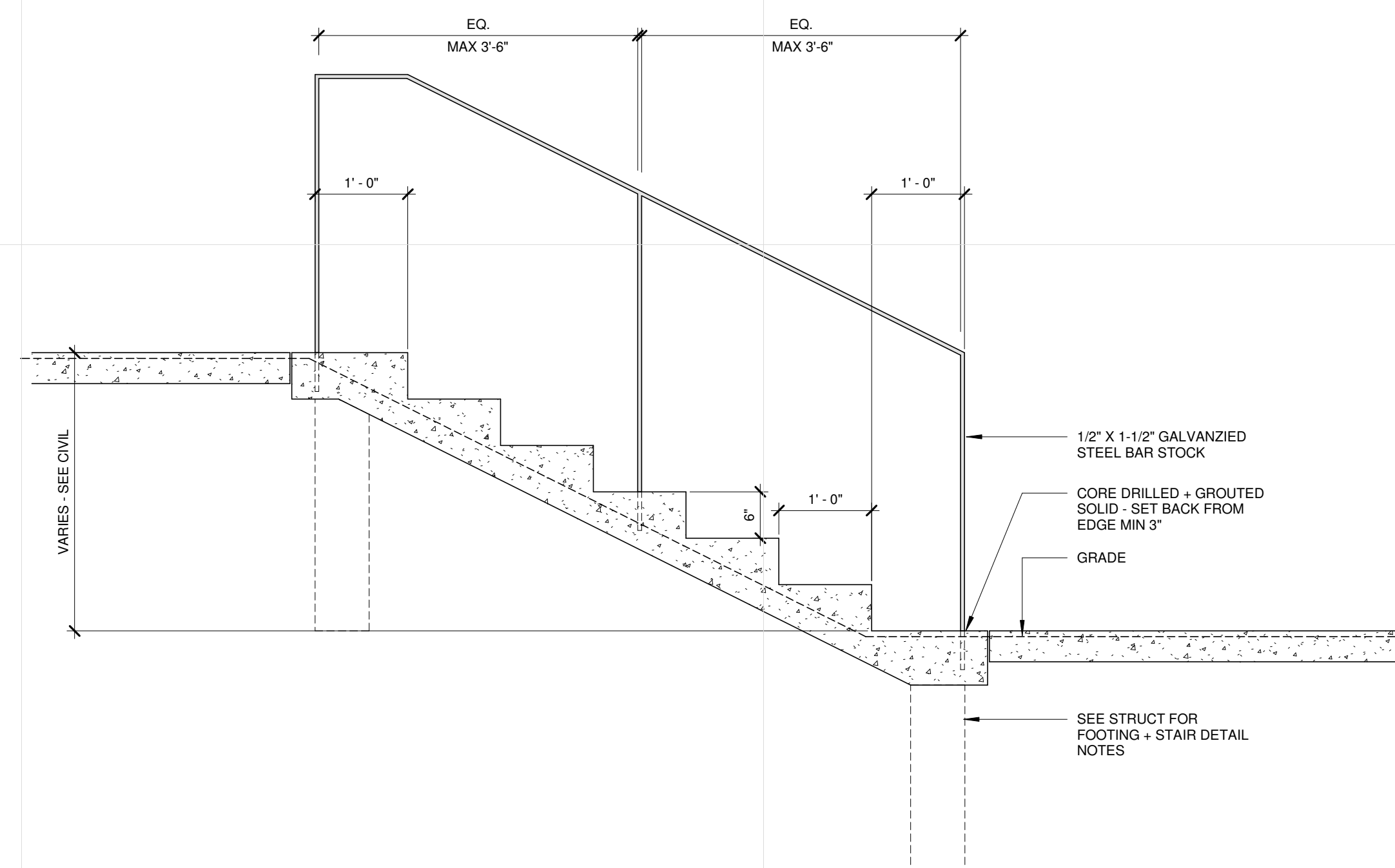
3 TRELLIS SHORT ELEVATION
 A354 1/2" = 1'-0"



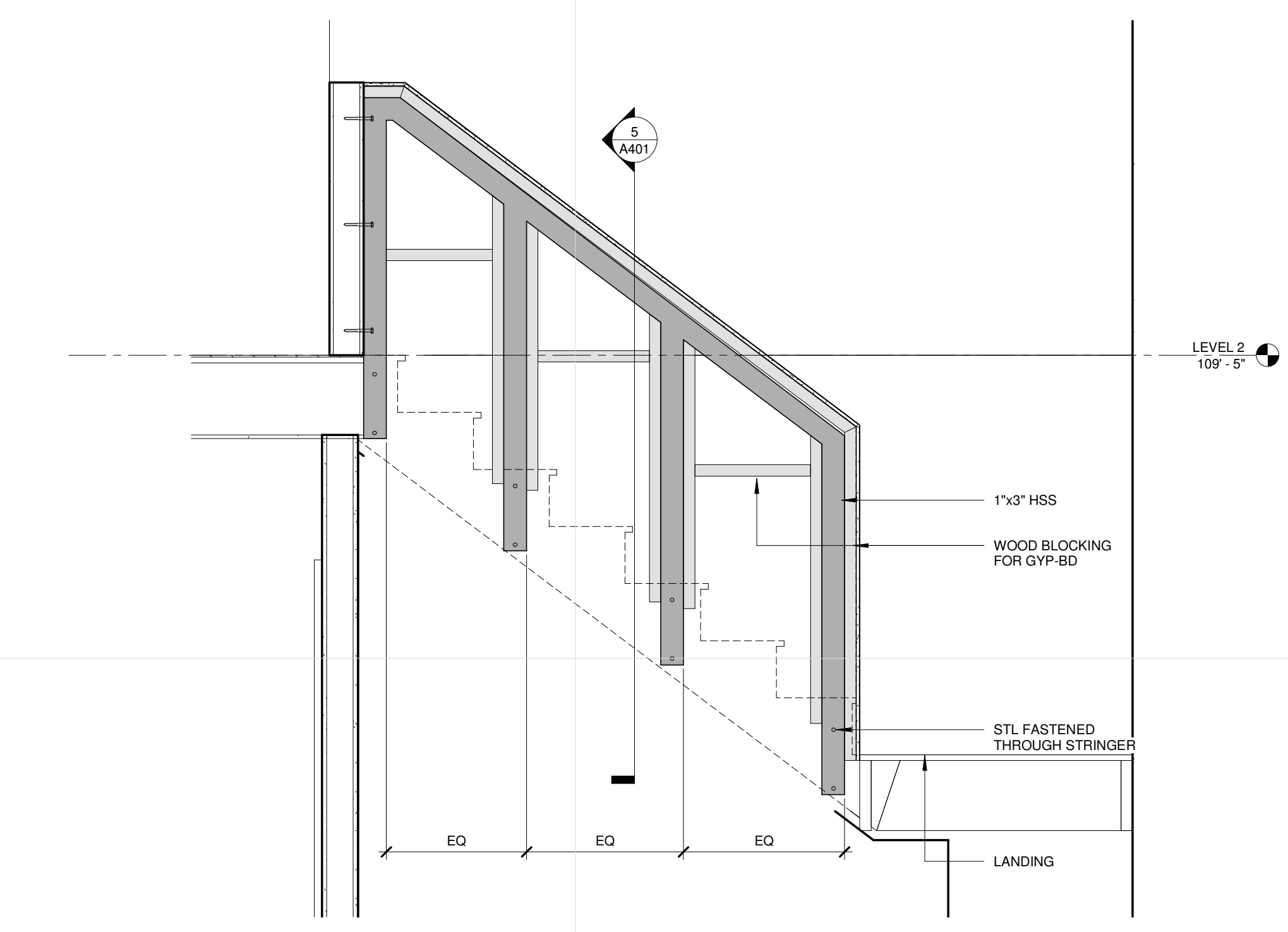
2 TRELLIS LONG ELEVATION
 A354 1/2" = 1'-0"



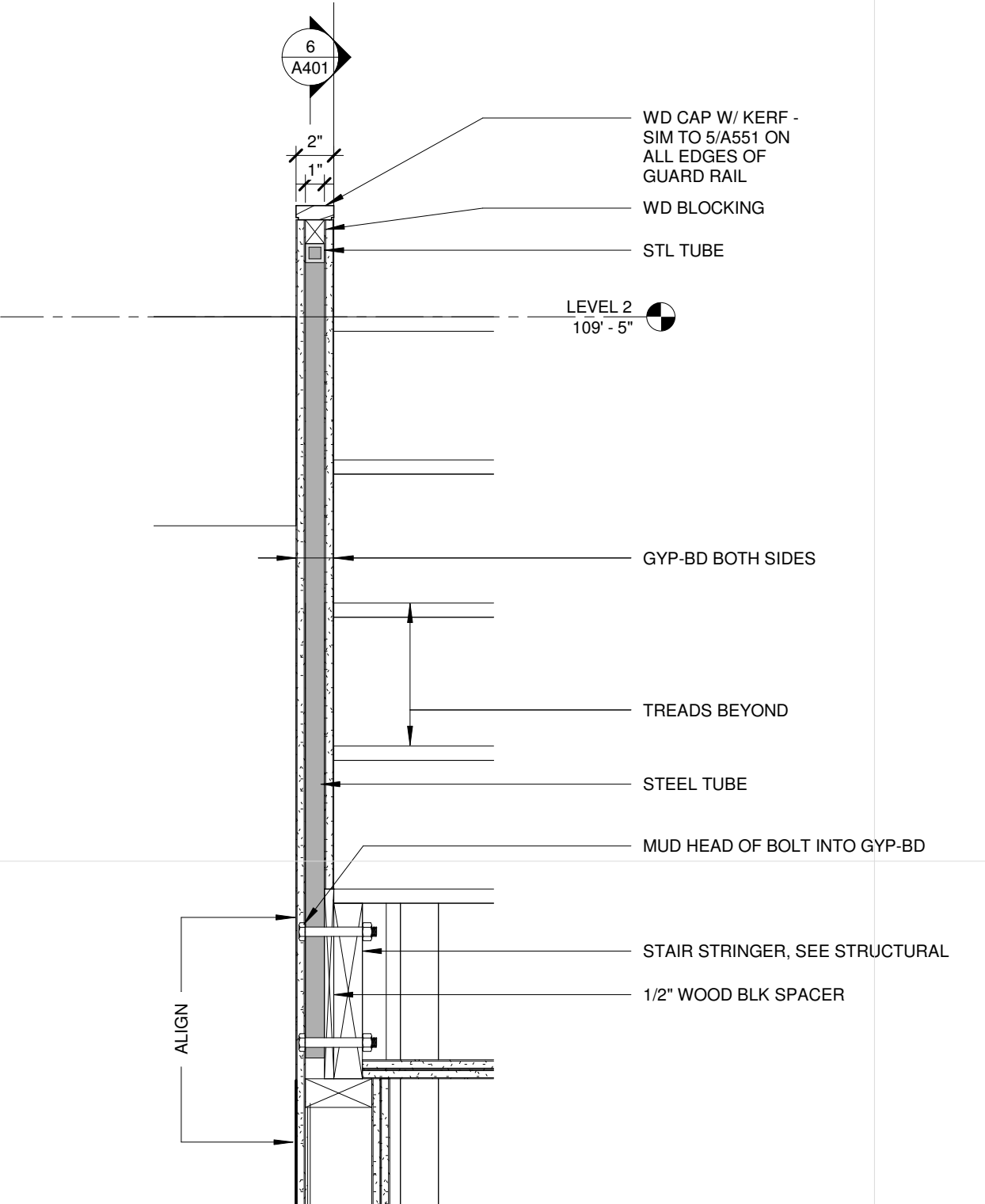
4 PLAY AREA
 A354 1/4" = 1'-0"



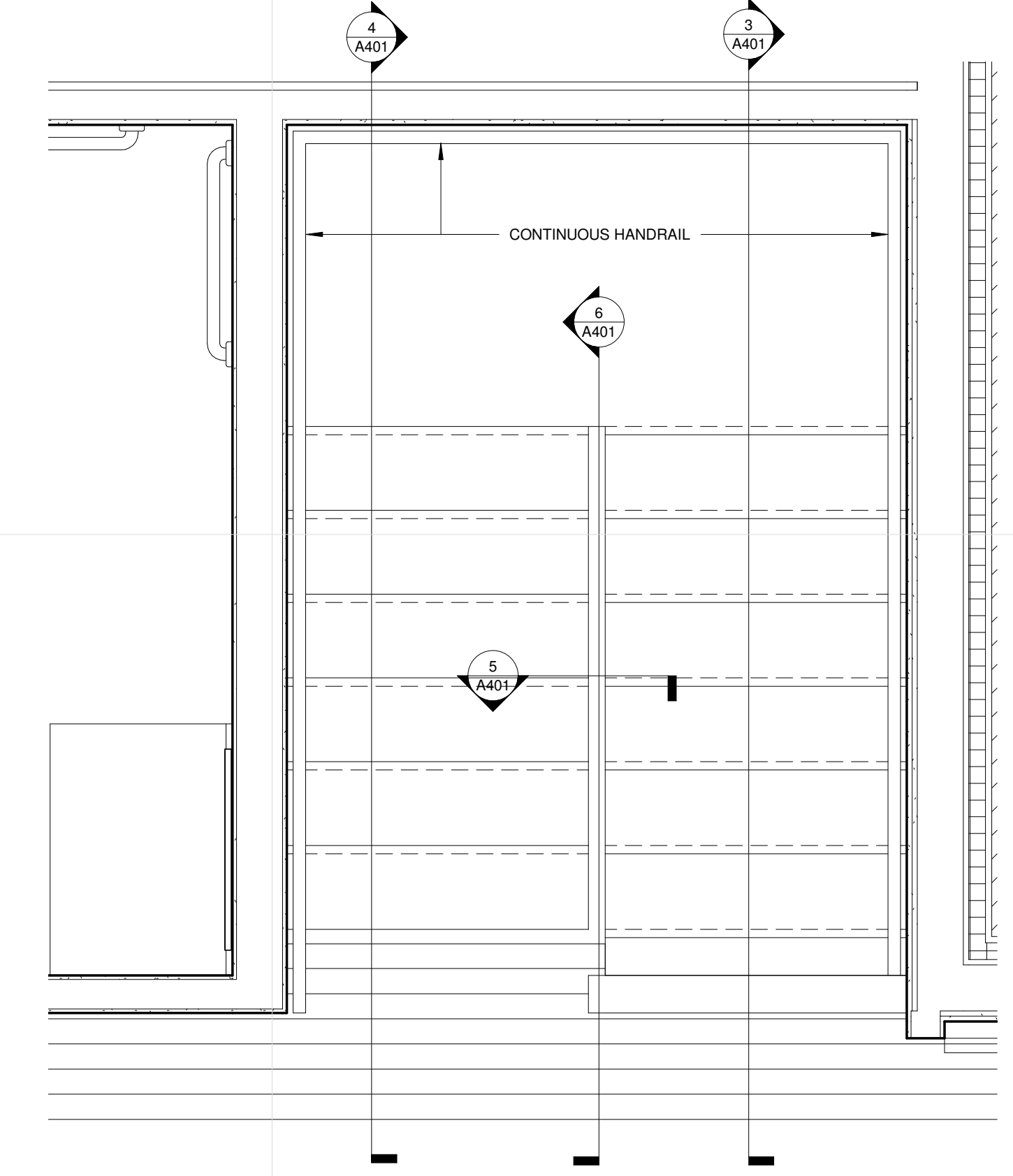
1 TYPICAL EXTERIOR STAIR RAILING
 A354 3/4" = 1'-0"



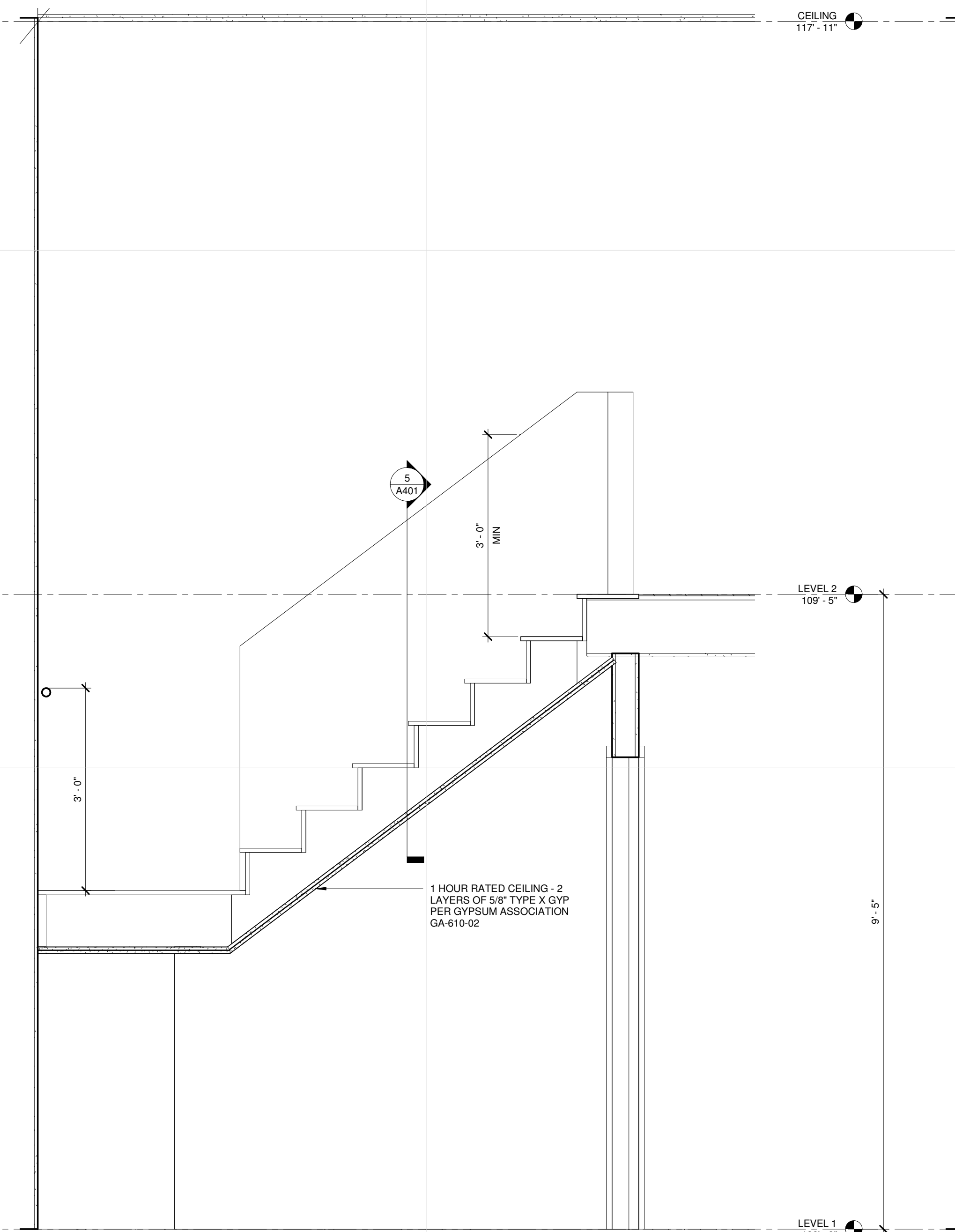
6 SECTION @ CENTER GUARD RAIL
 A401 3/4" = 1'-0"



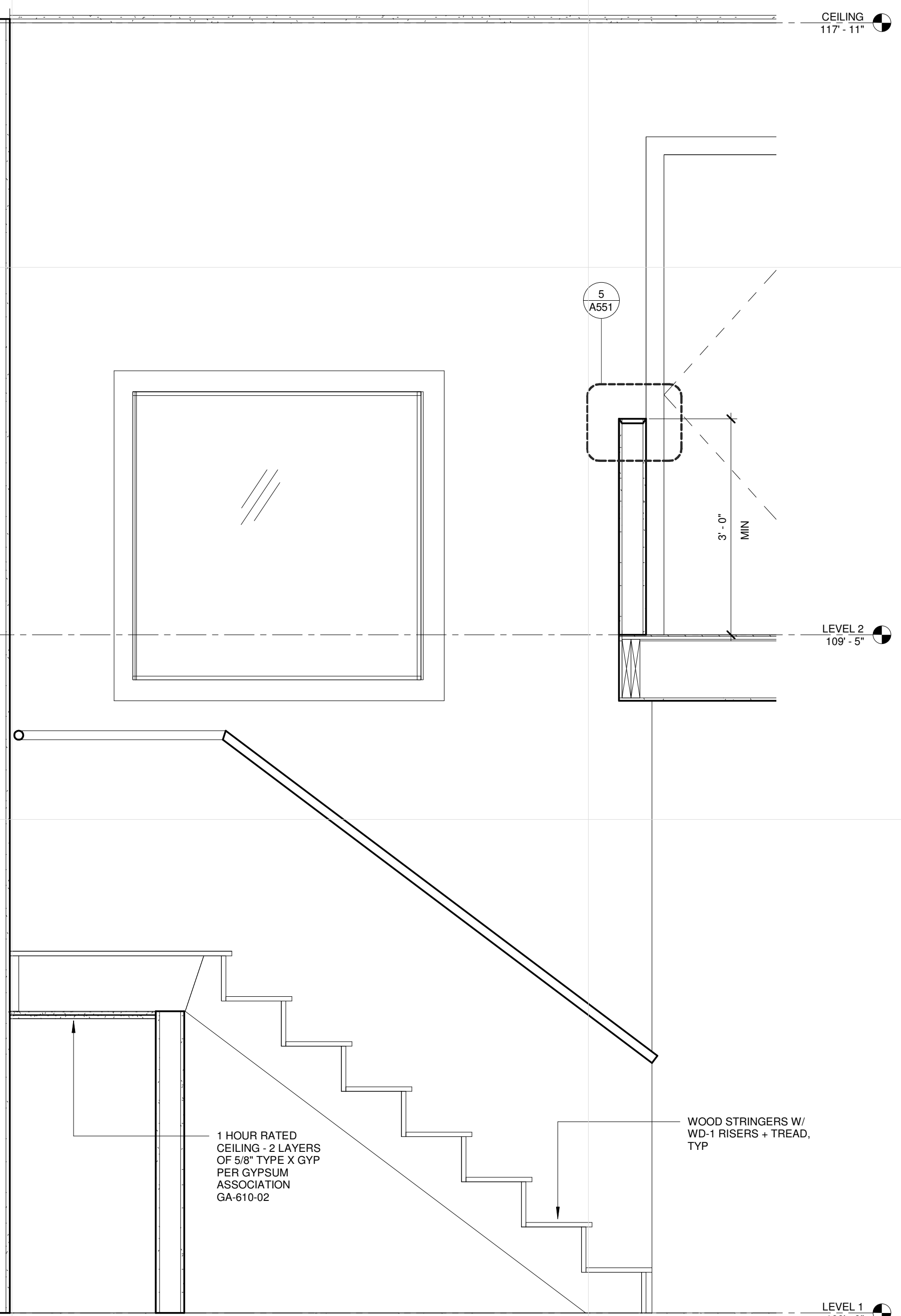
5 SECTION @ CENTER STAIR GUARD
 A401 1 1/2" = 1'-0"



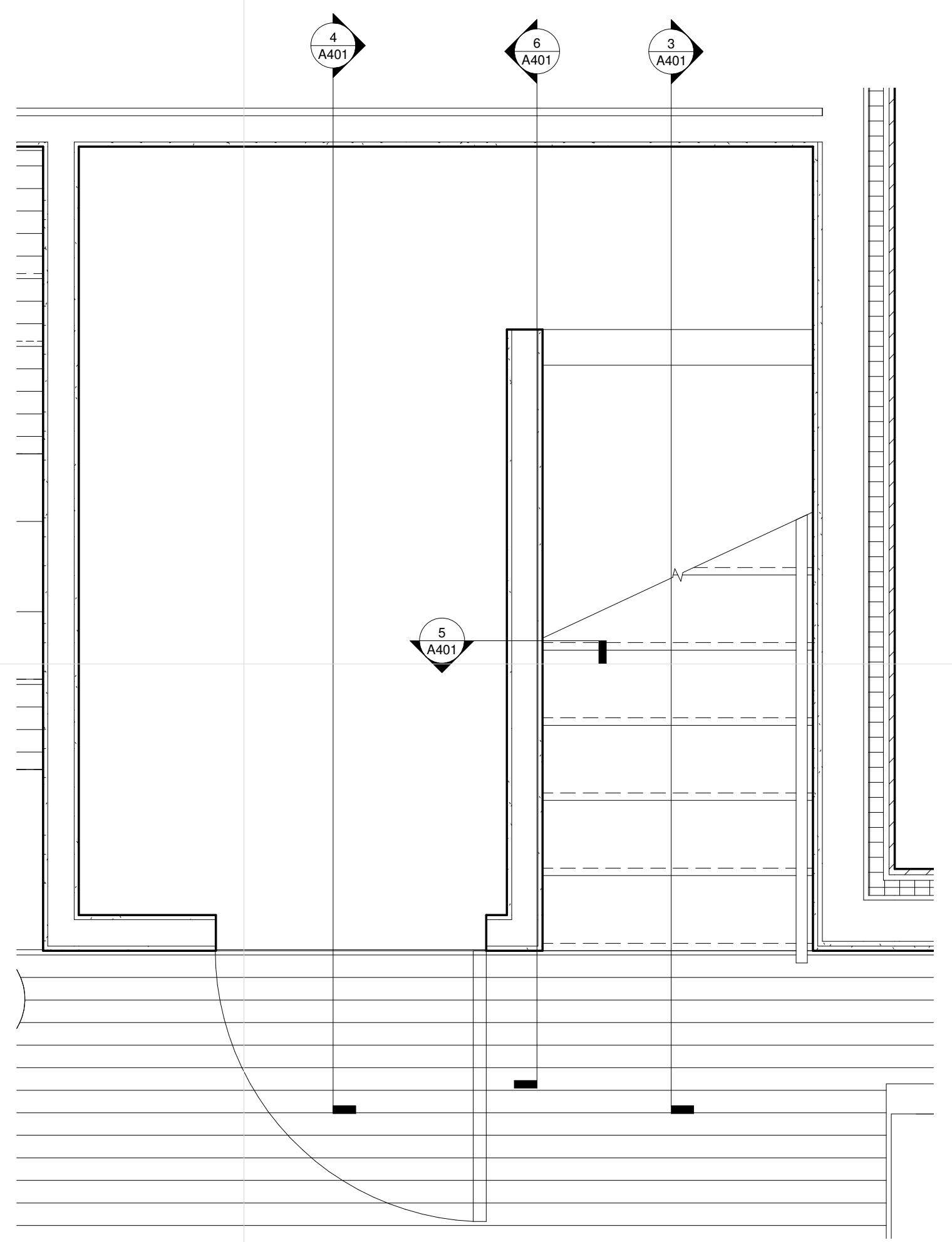
2 LEVEL 2 ENLARGED STAIR PLAN
 A401 3/4" = 1'-0"



4 SECTION @ MECHANICAL ROOM / STAIR
 A401 3/4" = 1'-0"



3 SECTION @ STAIR
 A401 3/4" = 1'-0"



1 LEVEL 1 ENLARGED STAIR PLAN
 A401 3/4" = 1'-0"

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VERTICAL CIRCULATION

A401

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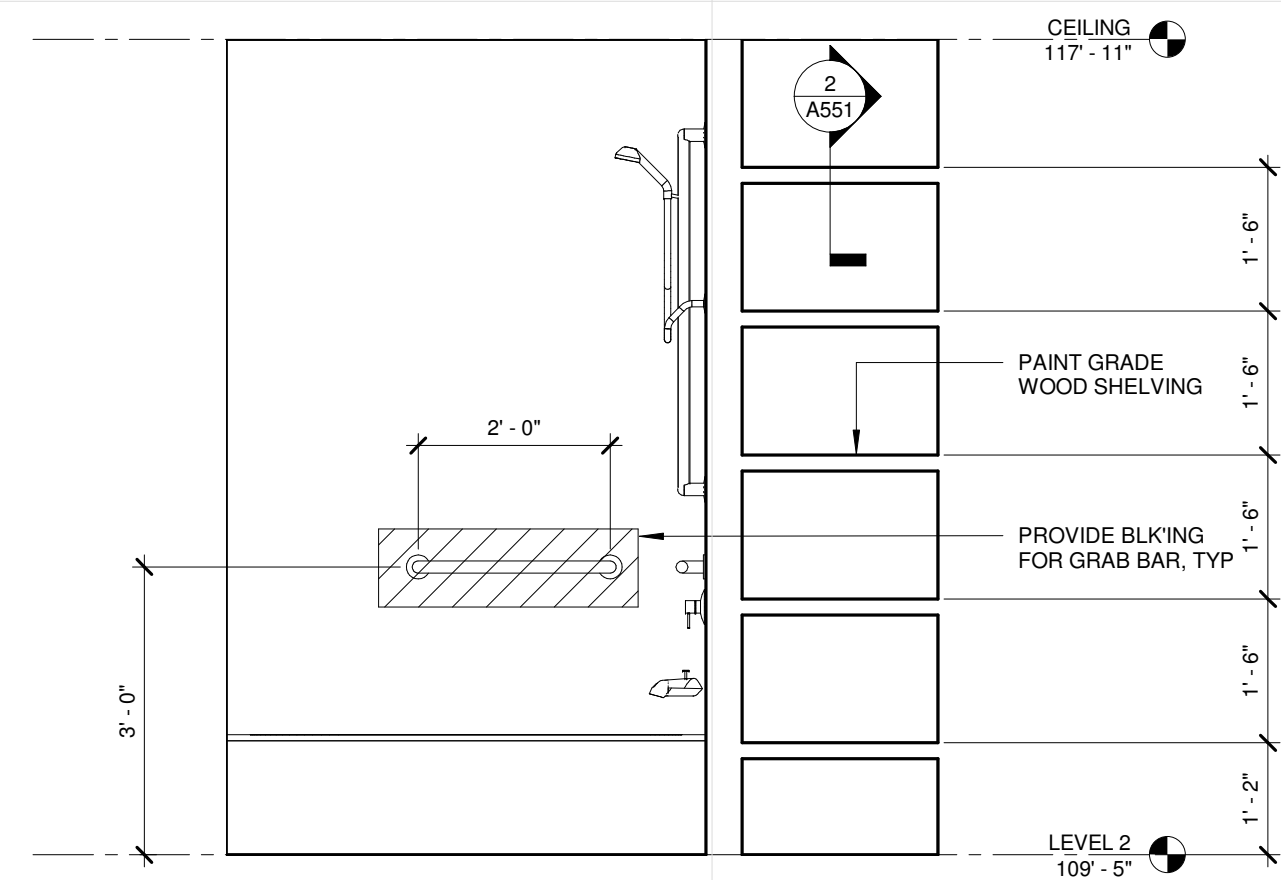
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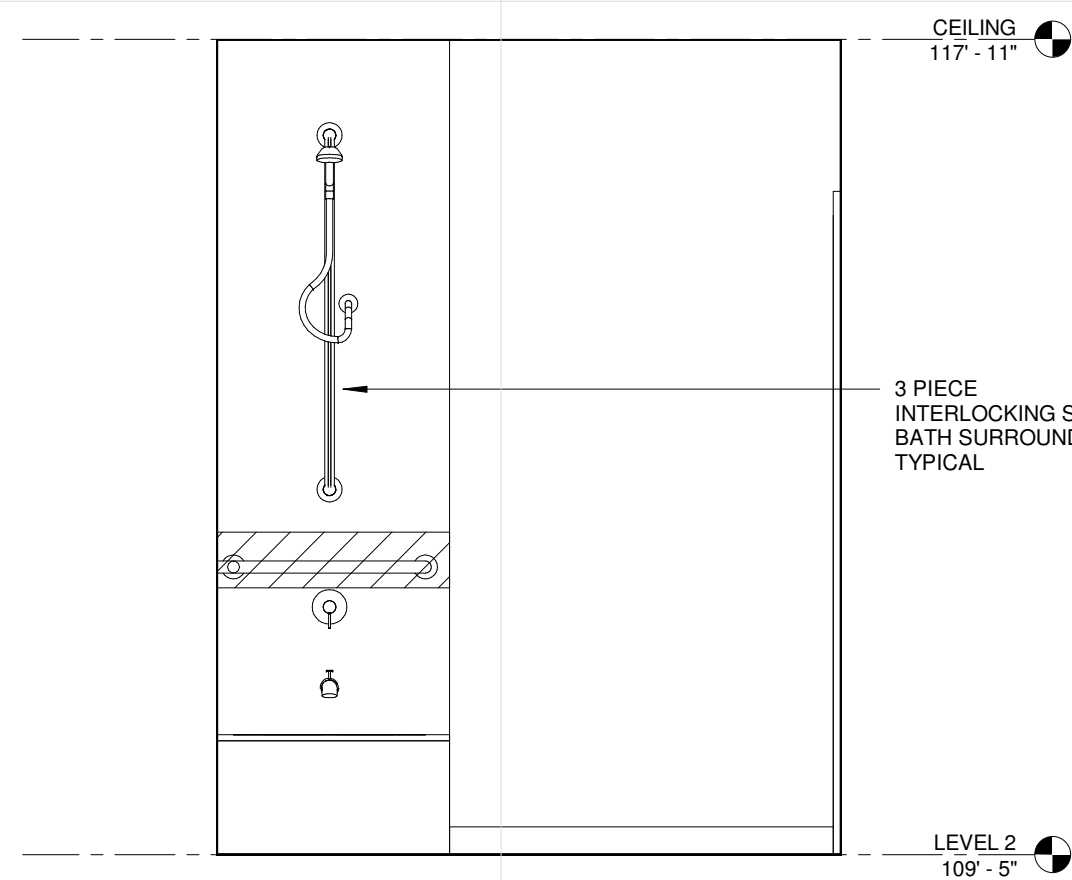
PROJECT NO.	2016015
PROJECT PHASE	GC 90% REVIEW SET
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**2 BEDROOM
 INTERIOR
 ELEVATIONS**

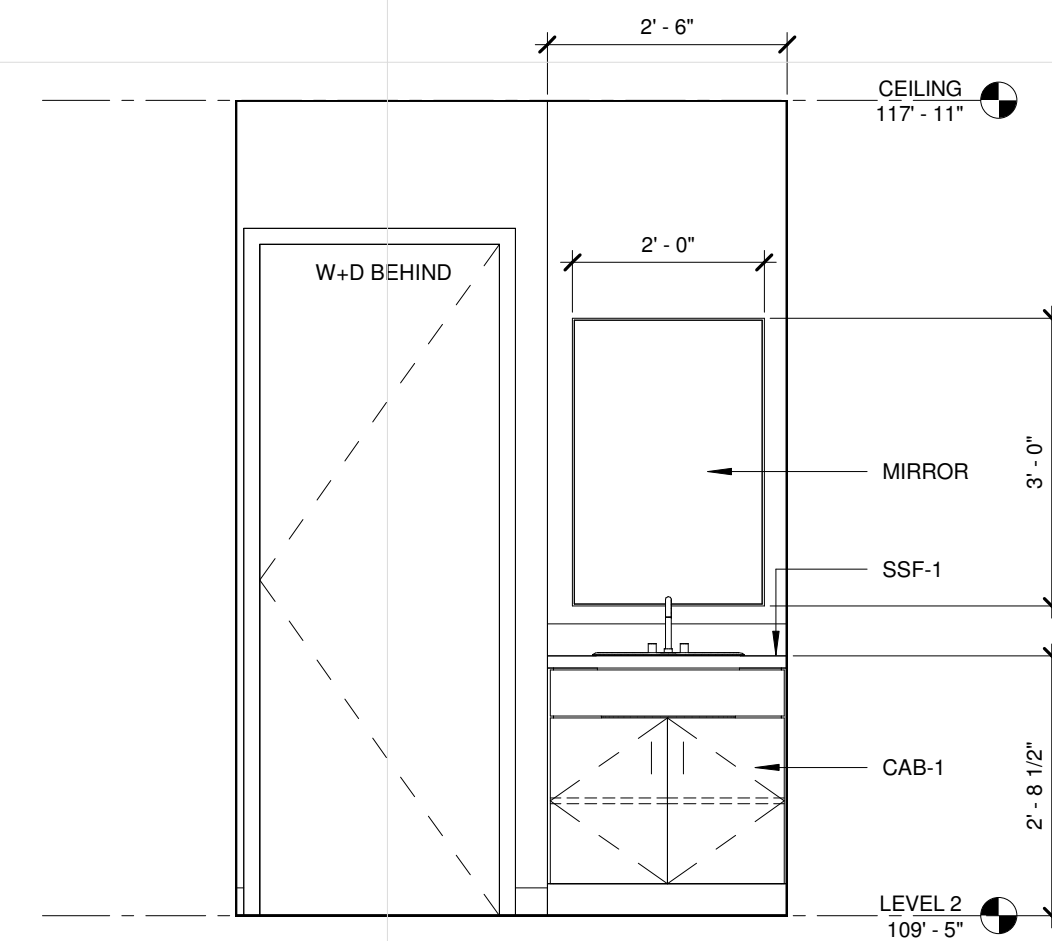
A501



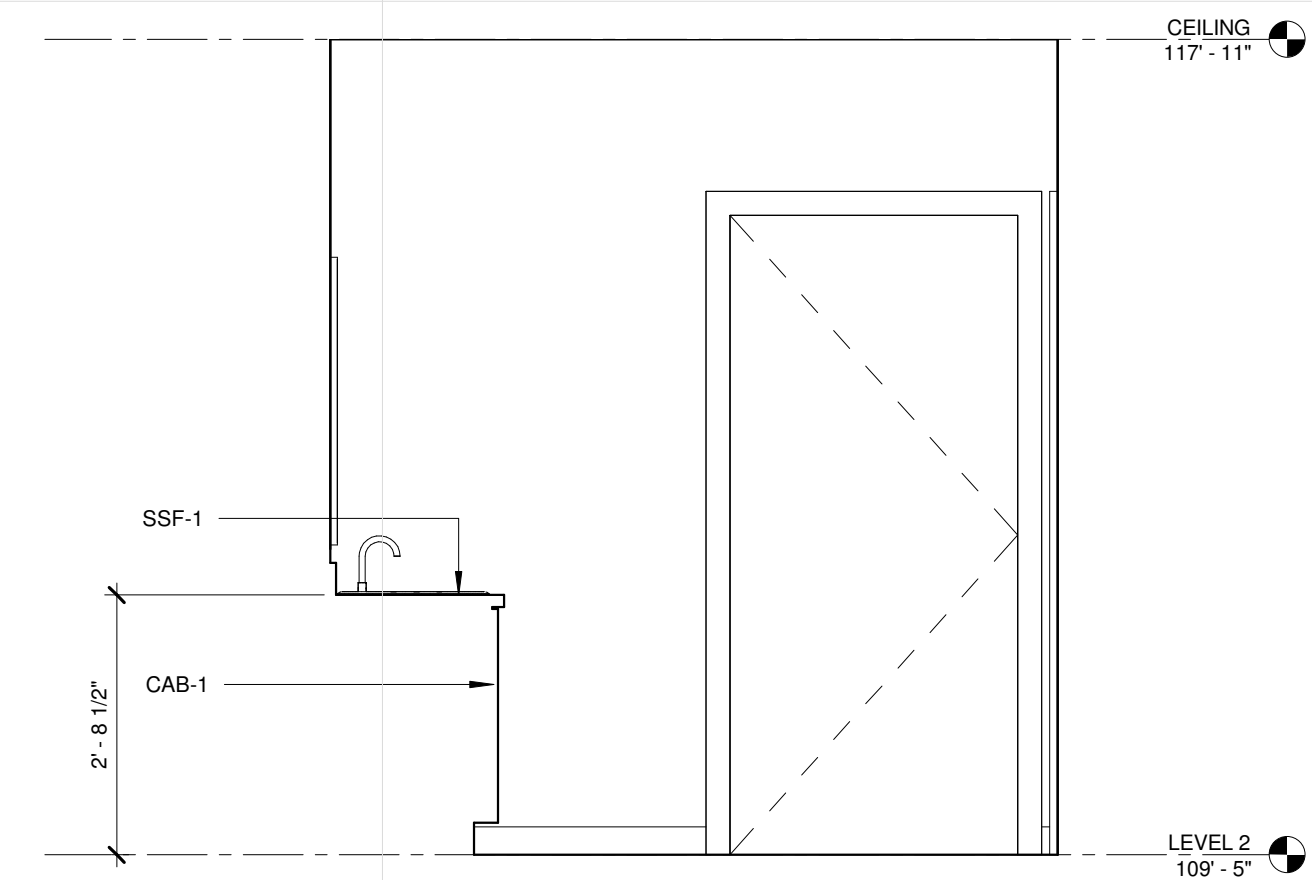
7 2 BEDROOM FULL BATH TUB WALL
 A501 1/2" = 1'-0"



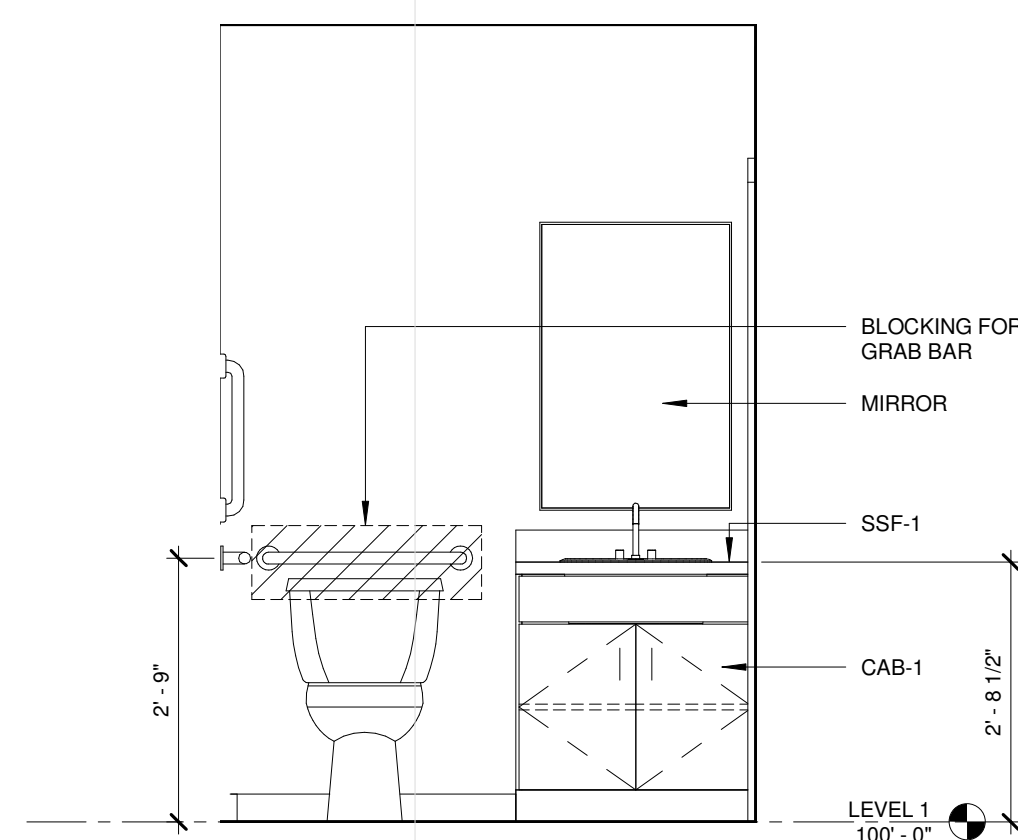
6 2 BEDROOM FULL BATH TOILET WALL
 A501 1/2" = 1'-0"



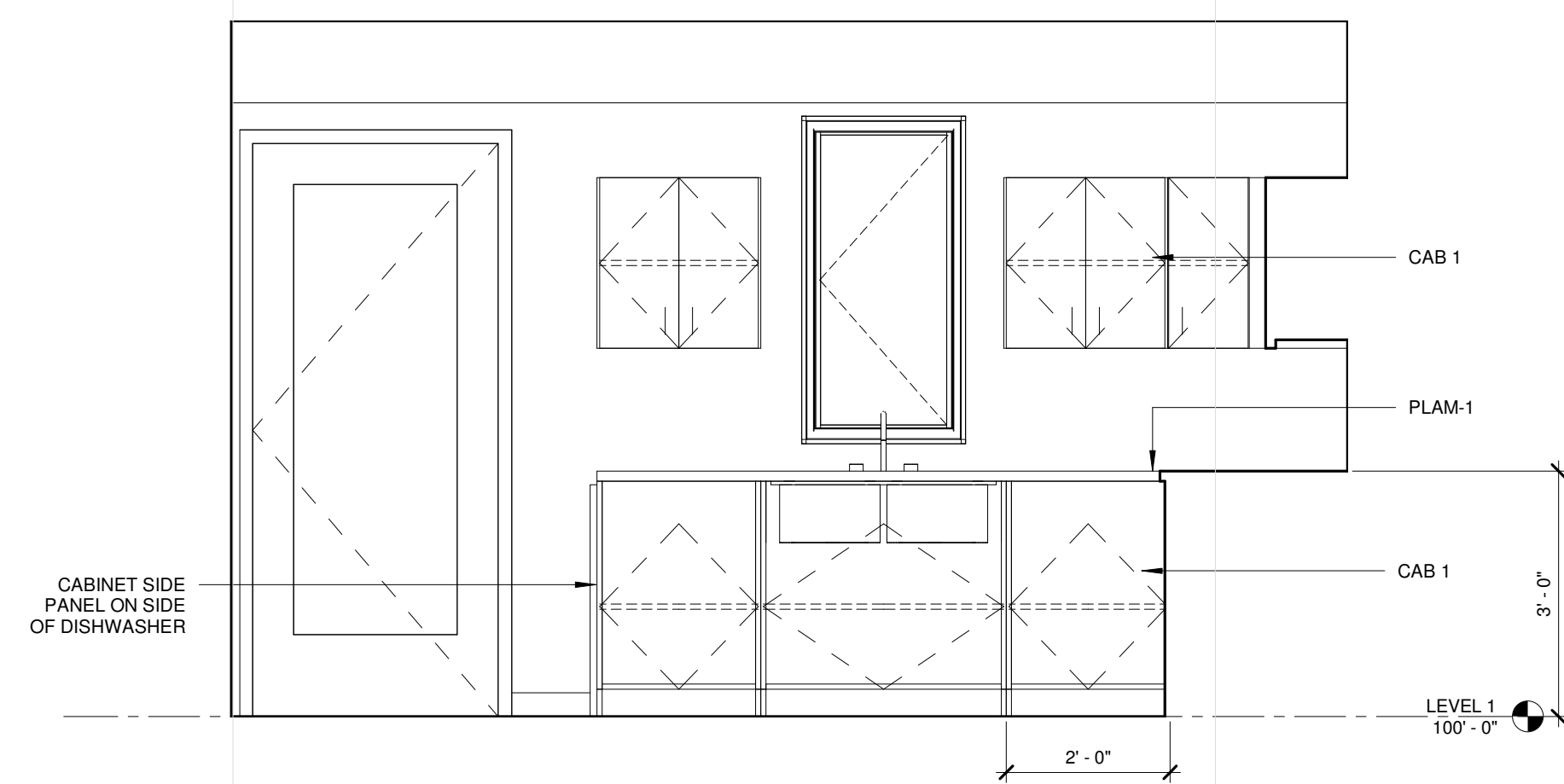
5 2 BEDROOM SINK ELEVATION
 A501 1/2" = 1'-0"



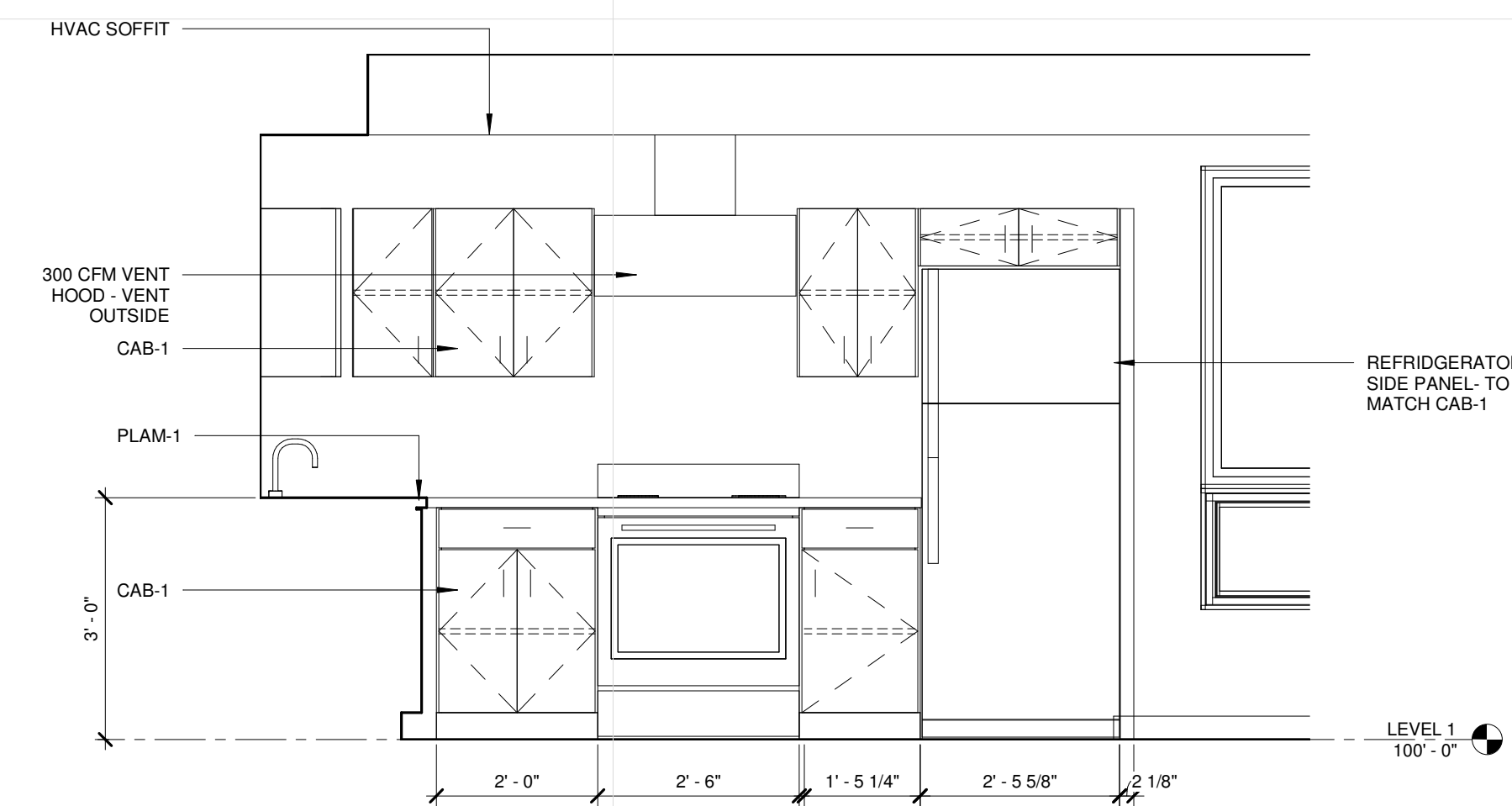
4 2 BEDROOM SINK
 A501 1/2" = 1'-0"



3 2 BEDROOM 1/2 BATH
 A501 1/2" = 1'-0"



2 2 BEDROOM KITCHEN ELEVATION
 A501 1/2" = 1'-0"



1 2 BEDROOM KITCHEN
 A501 1/2" = 1'-0"

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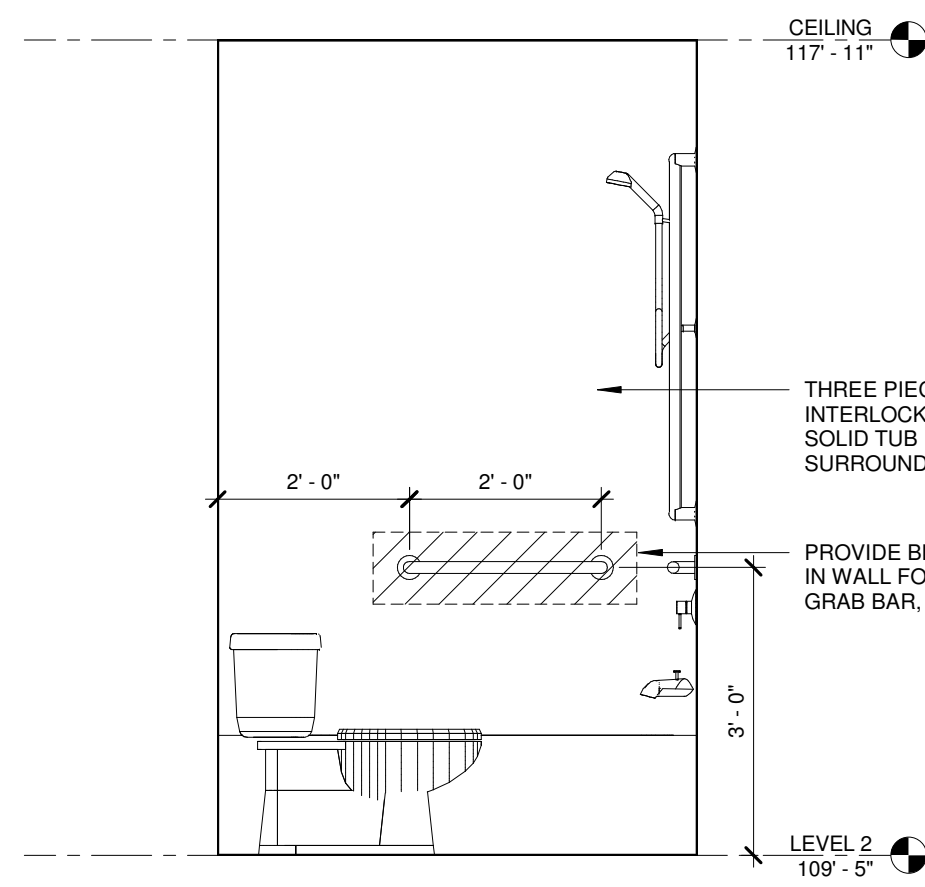
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	05.05.17	50% CD
	05.26.17	GC 90% REVIEW SET

PROJECT NO. 2016015
 PROJECT PHASE GC 90% REVIEW SET
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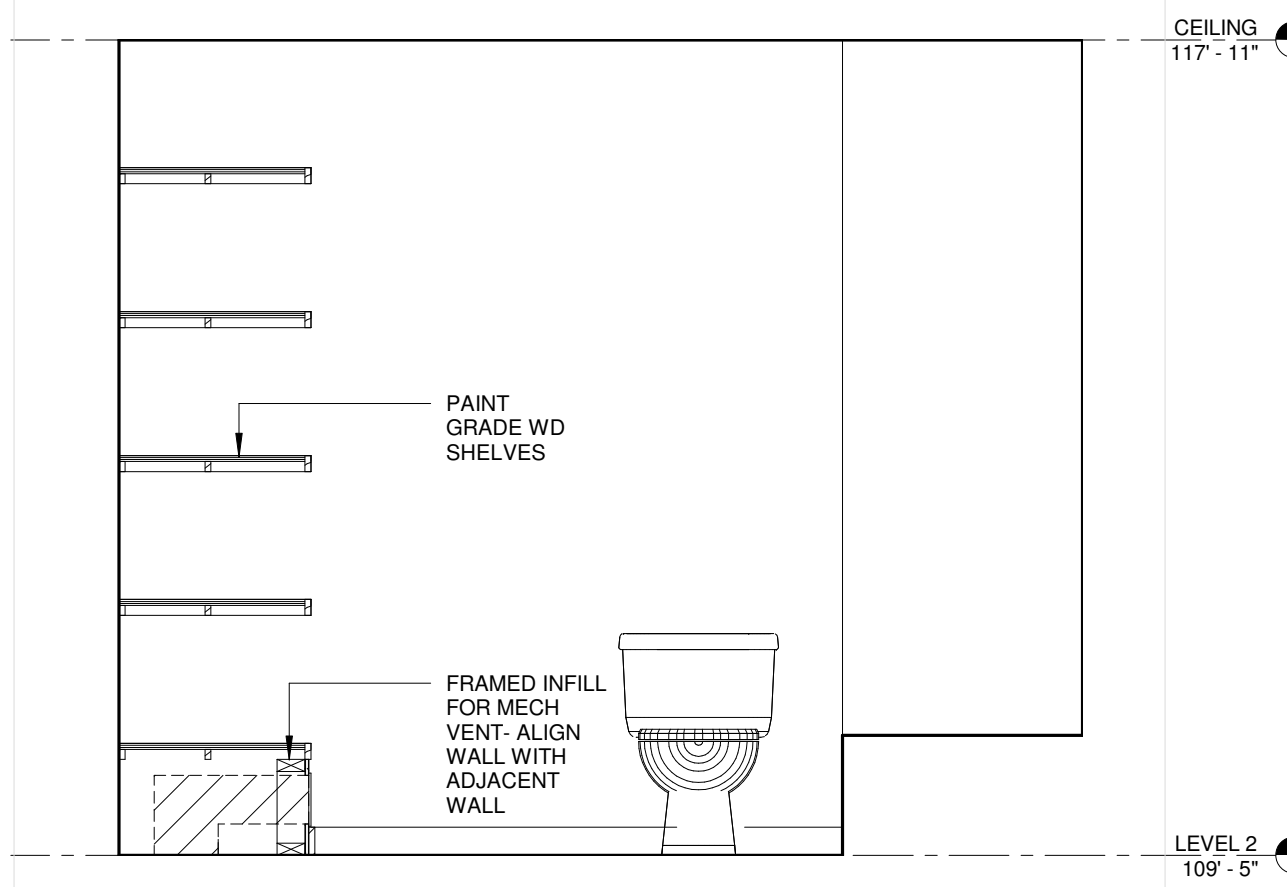
**3 BEDROOM
 INTERIOR
 ELEVATIONS**

A502



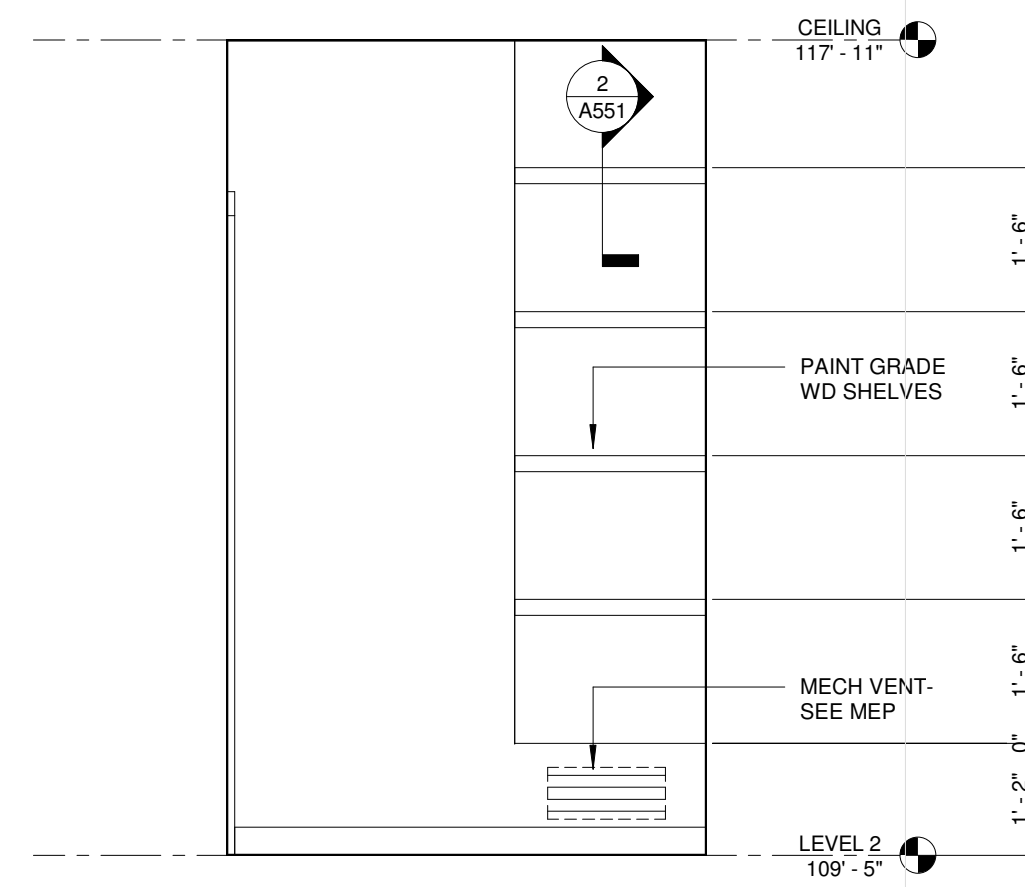
8 3 BEDROOM FULL BATH TUB WALL

A502 1/2" = 1'-0"



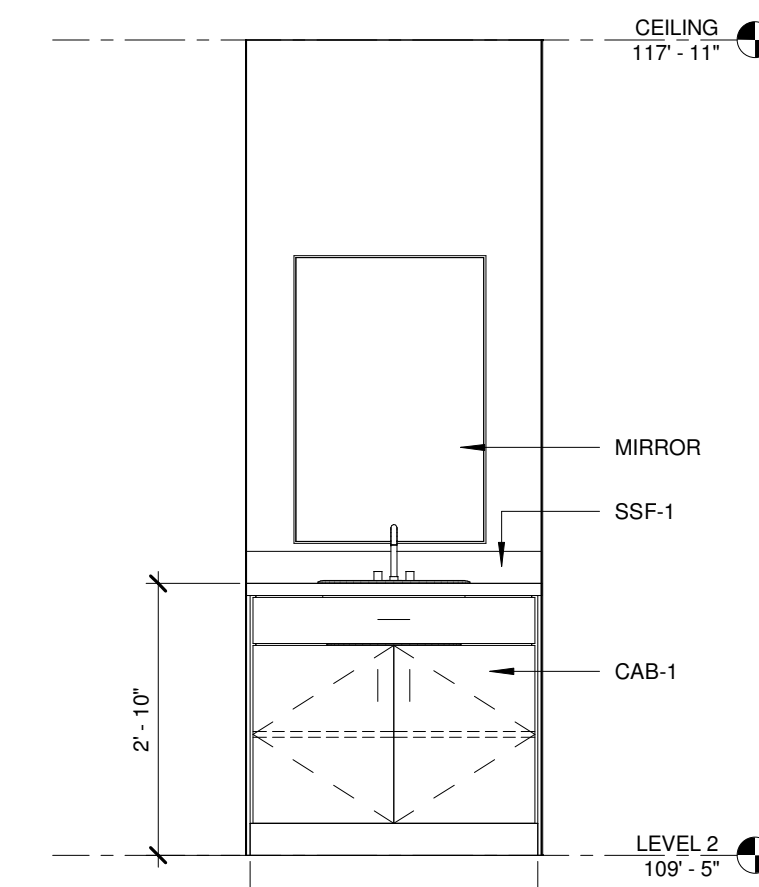
7 3 BEDROOM FULL BATH TOILET WALL

A502 1/2" = 1'-0"



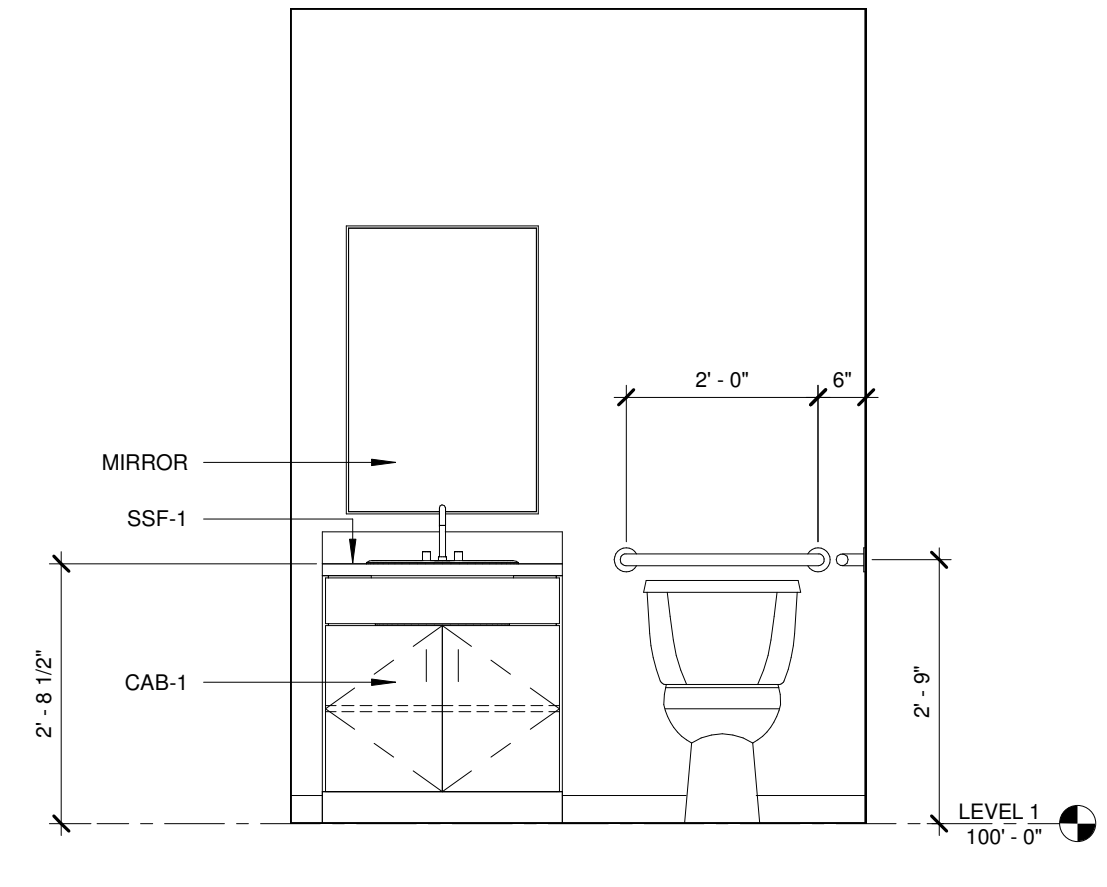
6 3 BEDROOM FULL BATH CLOSET

A502 1/2" = 1'-0"



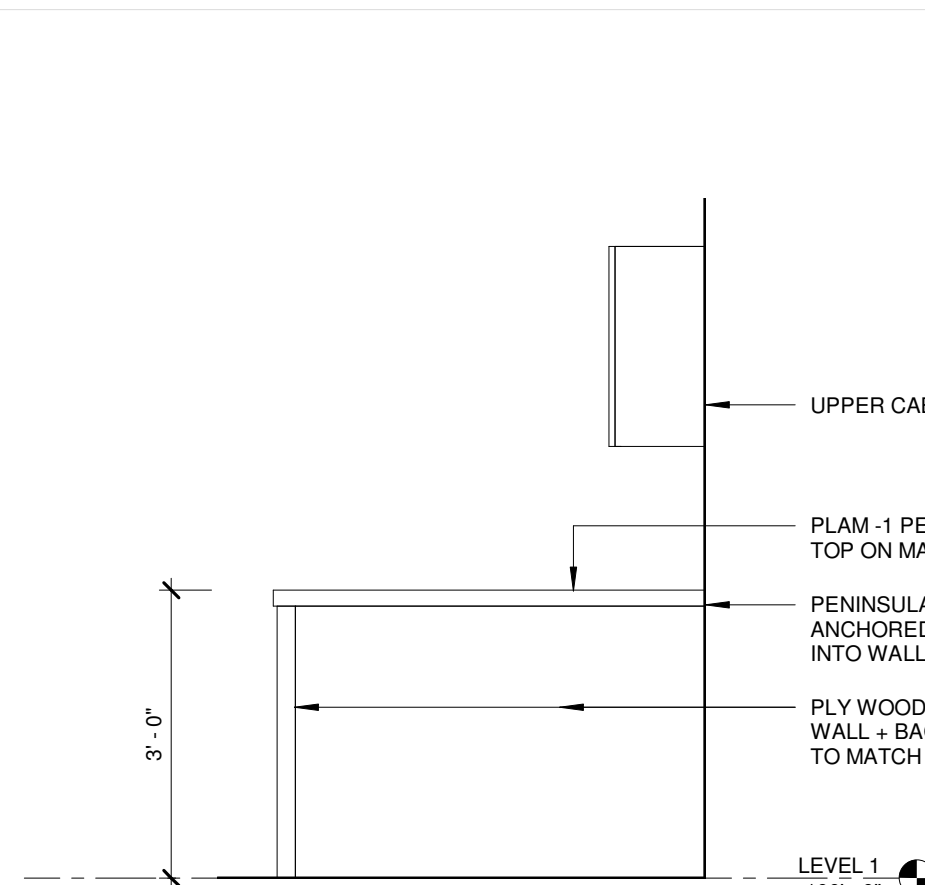
5 3 BEDROOM FULL BATH SINK

A502 1/2" = 1'-0"



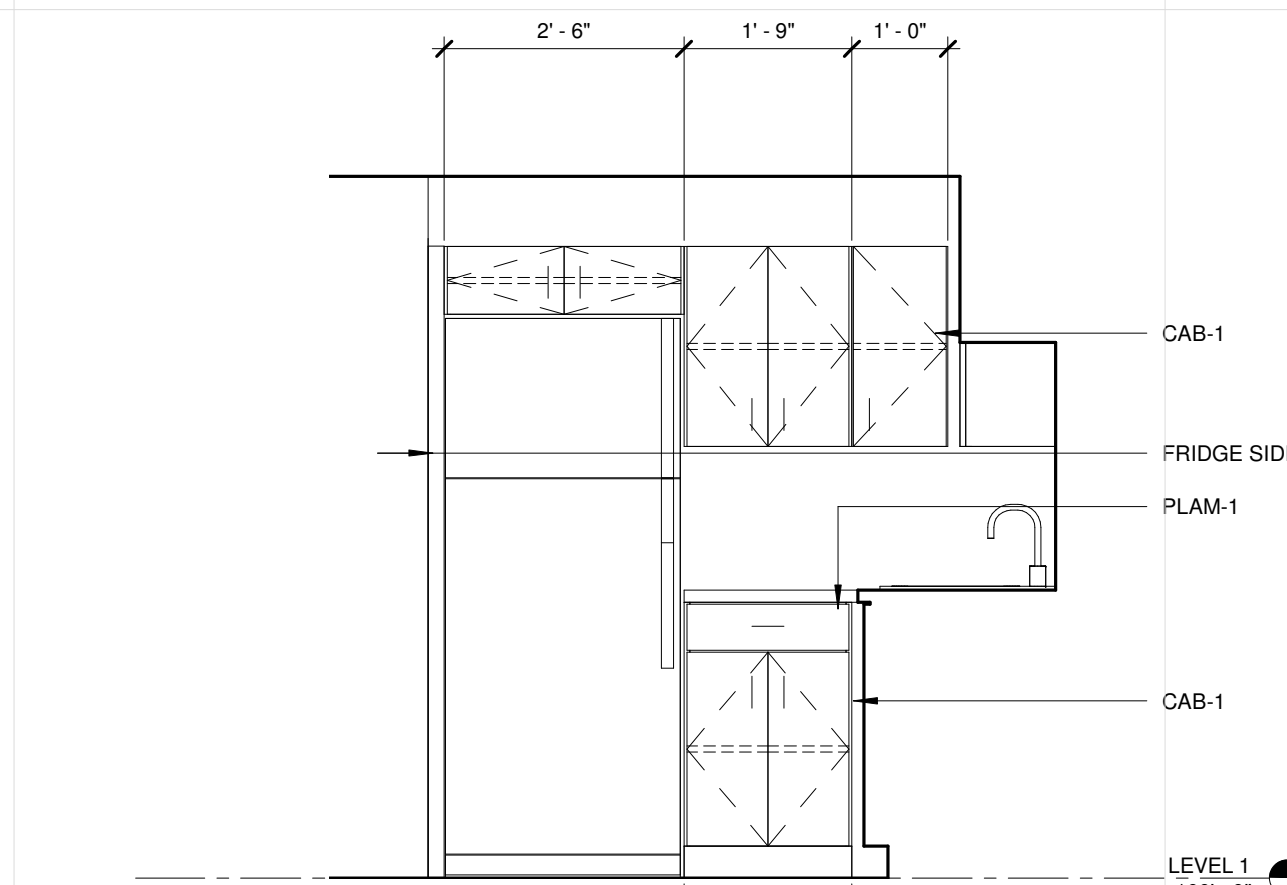
4 3 BEDROOM 1/2 BATH

A502 1/2" = 1'-0"



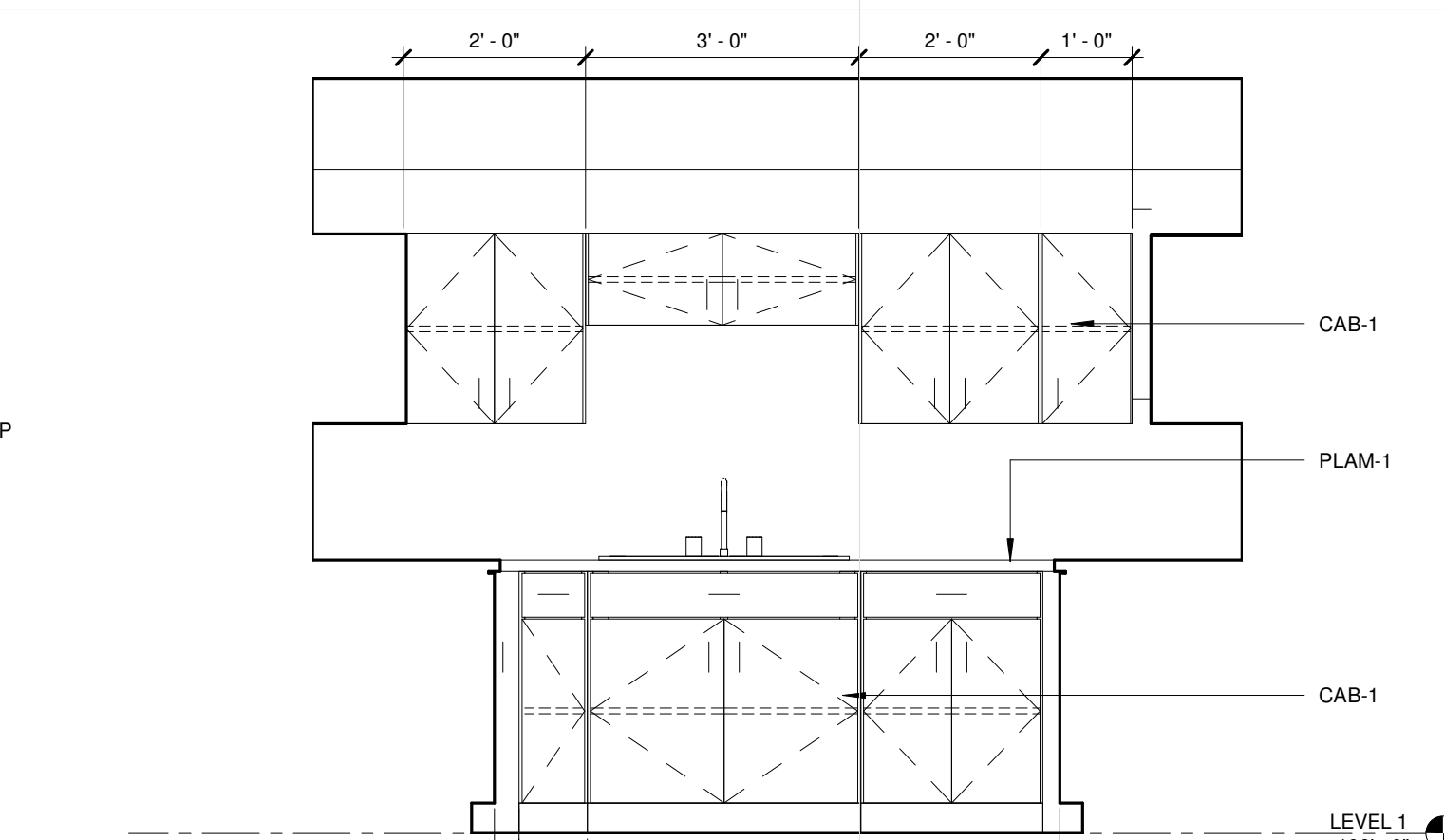
9 3 BEDROOM KITCHEN PENINSULA

A502 1/2" = 1'-0"



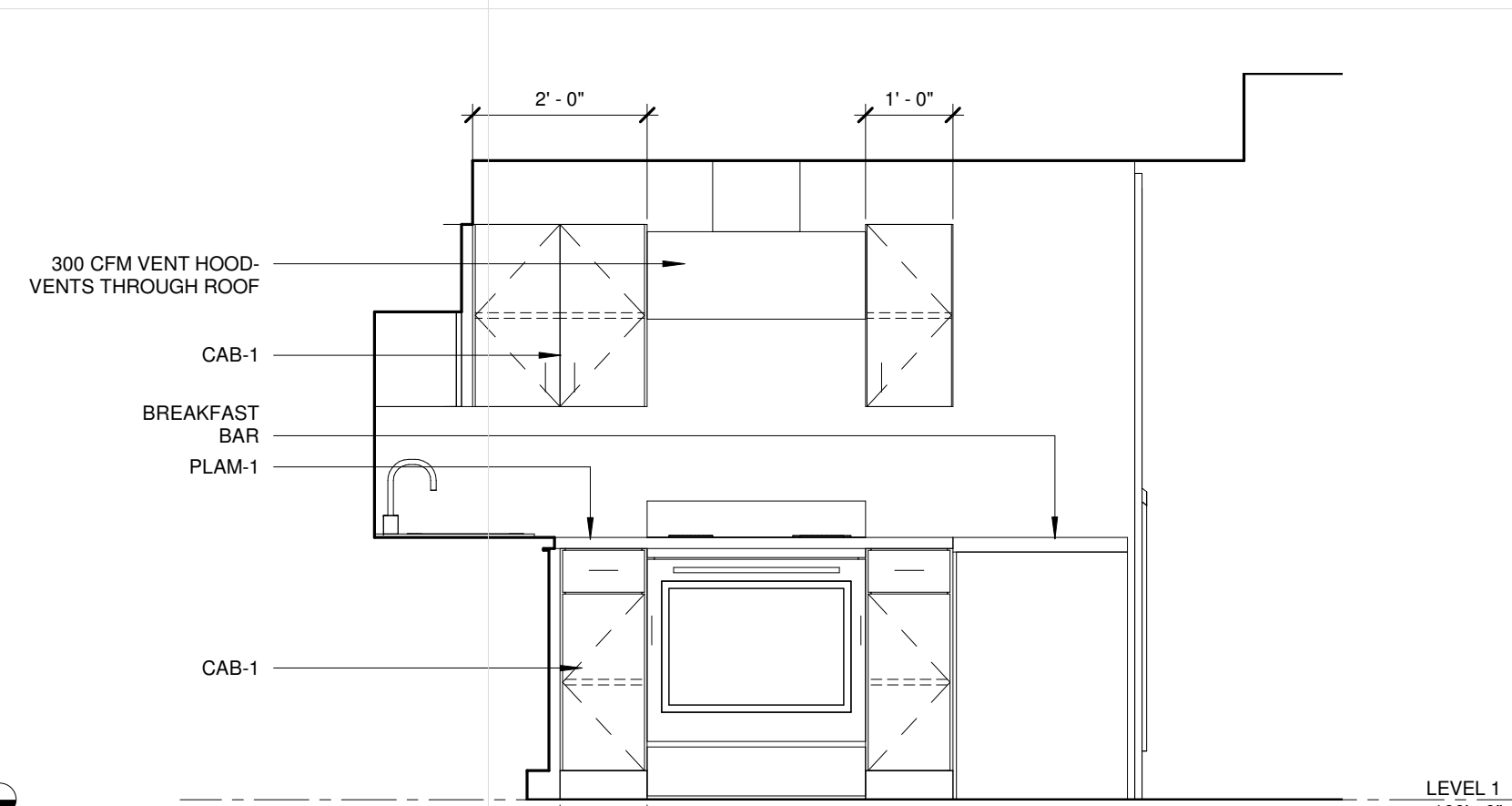
3 3 BEDROOM KITCHEN 3

A502 1/2" = 1'-0"



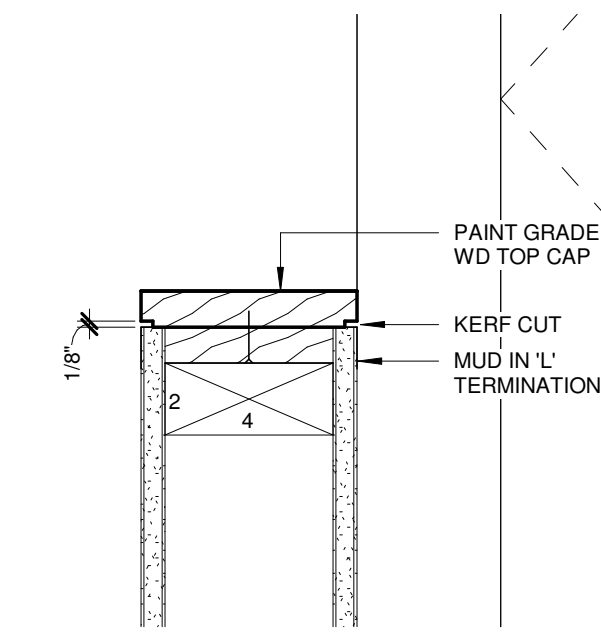
2 3 BEDROOM KITCHEN 2

A502 1/2" = 1'-0"

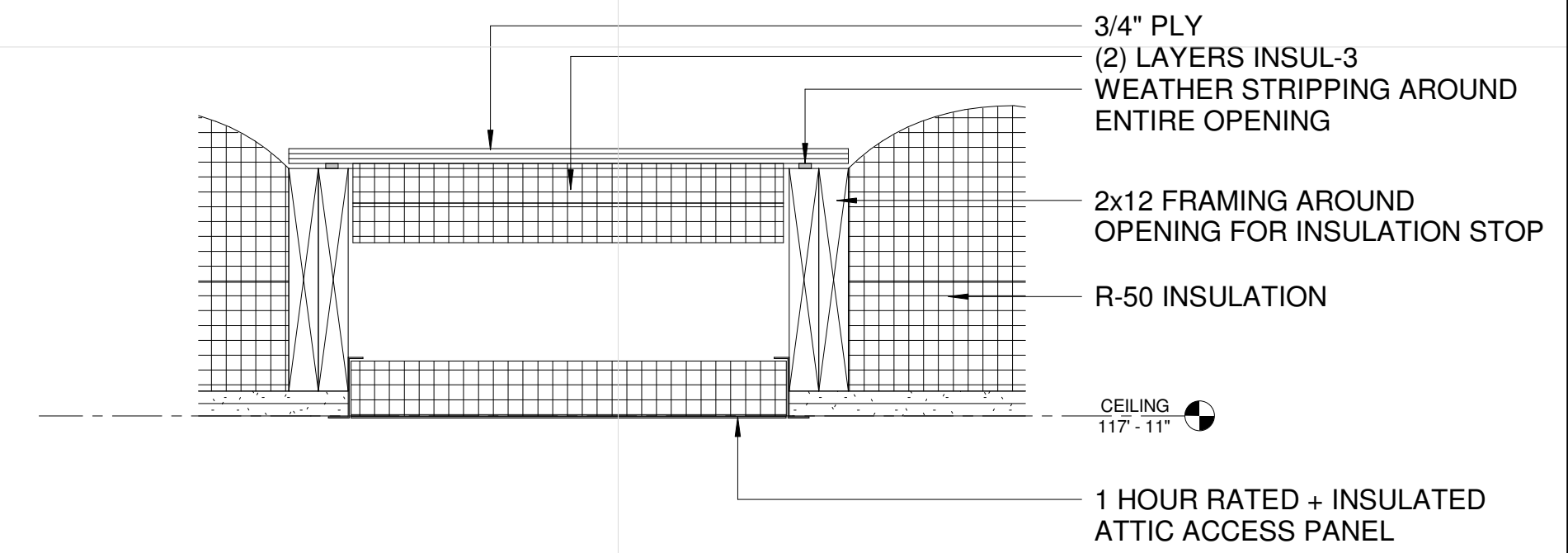


1 3 BEDROOM KITCHEN 1

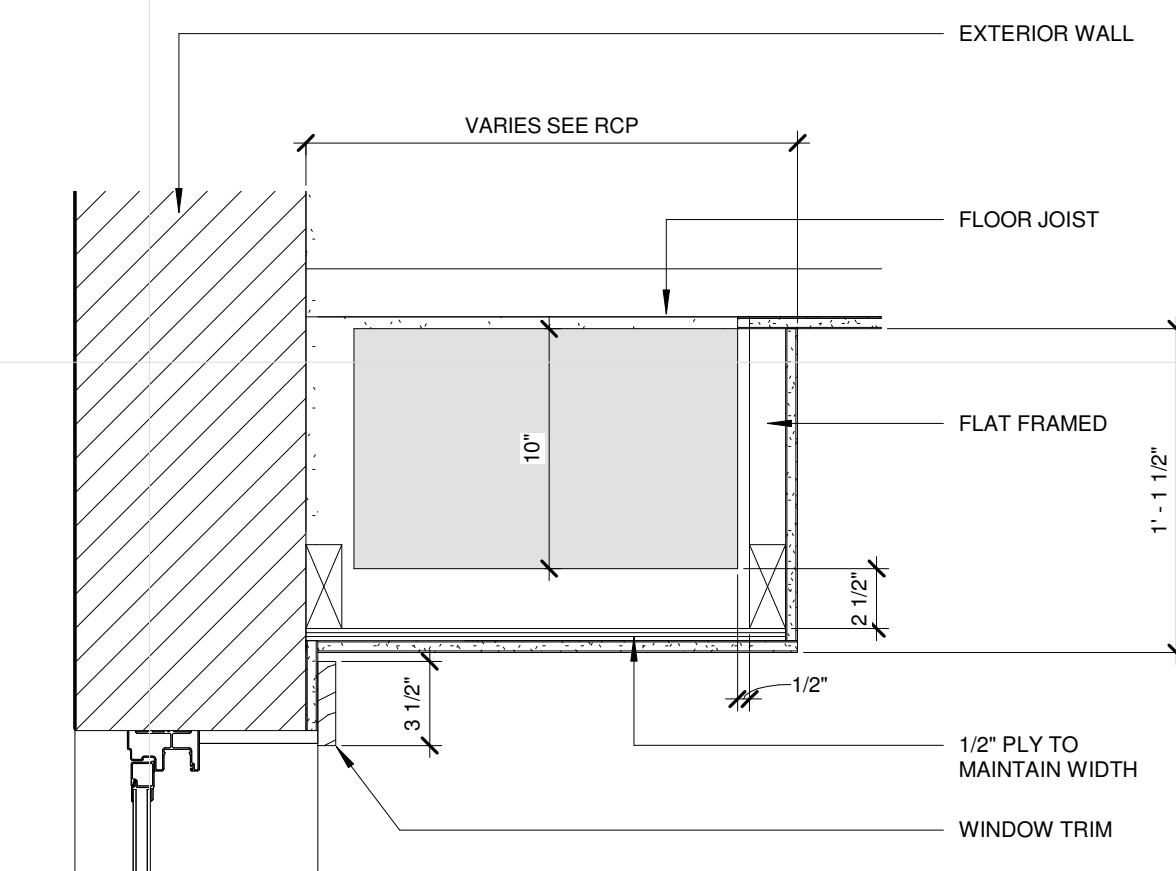
A502 1/2" = 1'-0"



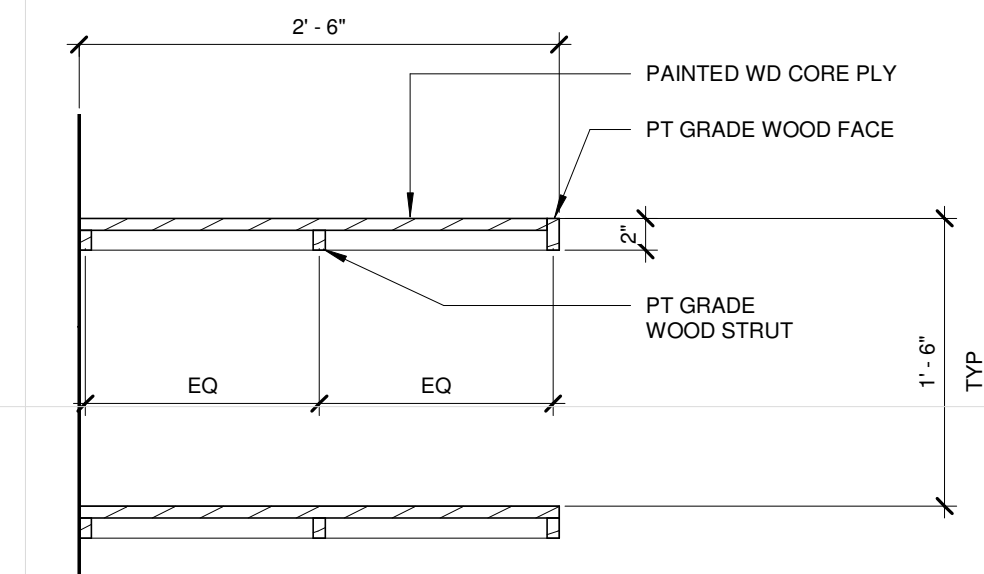
5 TOP OF GUARD RAIL
 A551 3" = 1'-0"



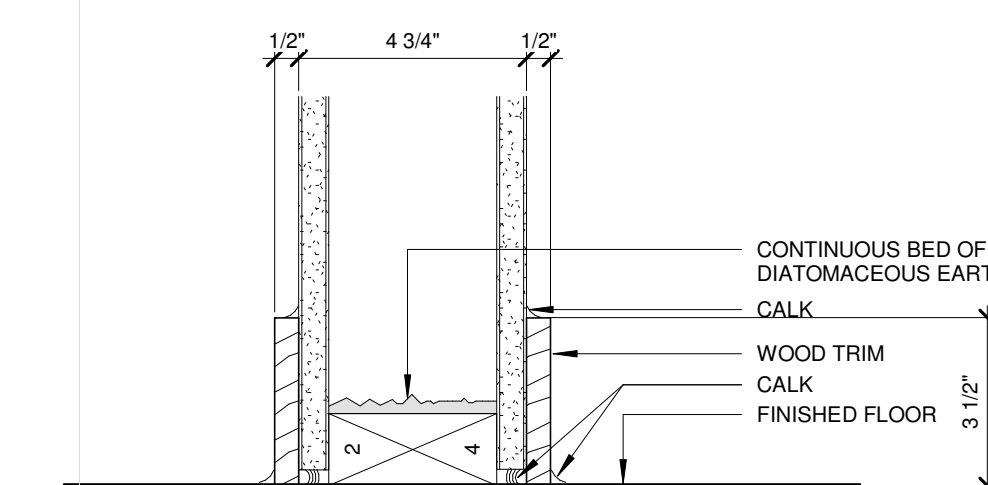
4 ATTIC ACCESS PANEL
 A551 1 1/2" = 1'-0"



3 SOFFIT SECTION
 A551 1 1/2" = 1'-0"



2 SECTION @ BATHROOM SHELVING
 A551 1" = 1'-0"



1 TYPICAL INTERIOR WALL DETAIL
 A551 3" = 1'-0"

**MINNEHAHA
 TOWNHOMES**
 5348, 5364, 5369 RIVERVIEW
 ROAD, 5118 54TH ST EAST
 MINNEAPOLIS, MN 55417

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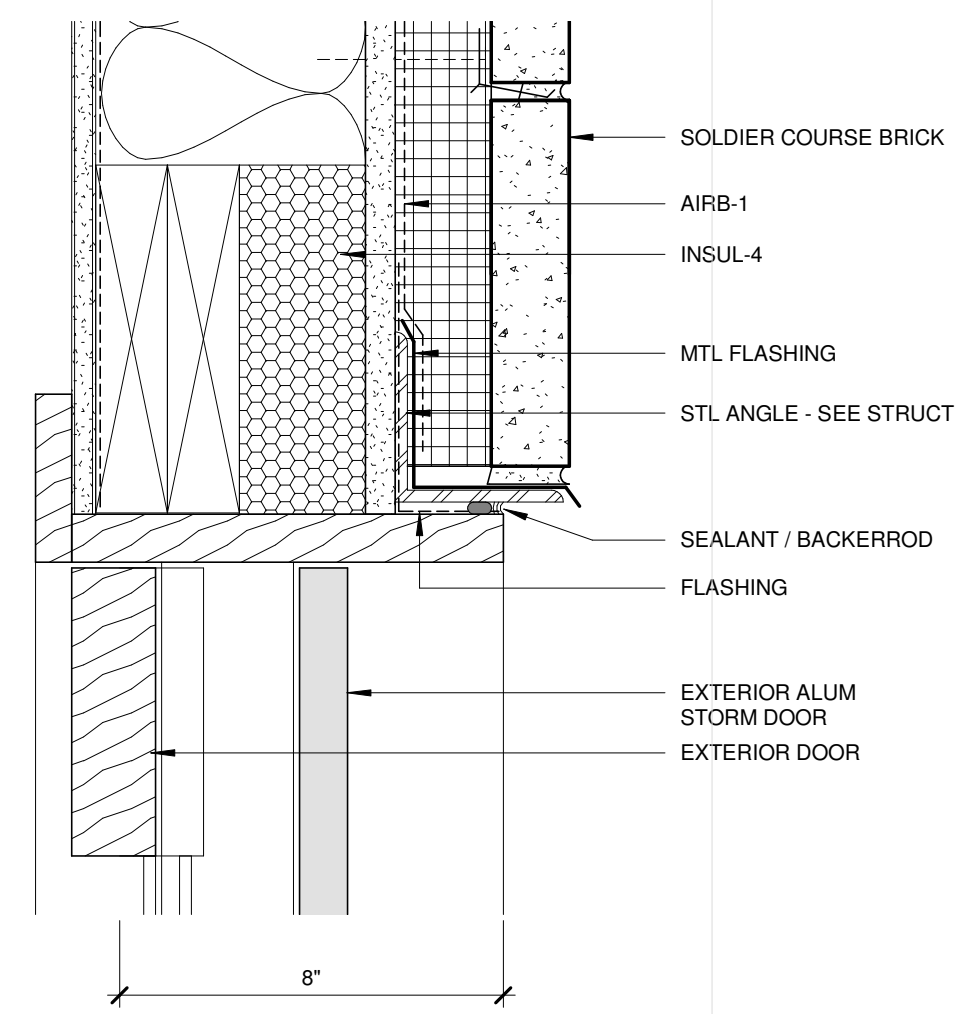
Signature: _____
 Print Names: _____
 Date: _____ License No: _____

MARK	DATE	DESCRIPTION
	04.21.17	100% DD
	04.28.17	LAND USE APPLICATION
	05.05.17	50% CD
	05.26.17	GC 90% REVIEW SET

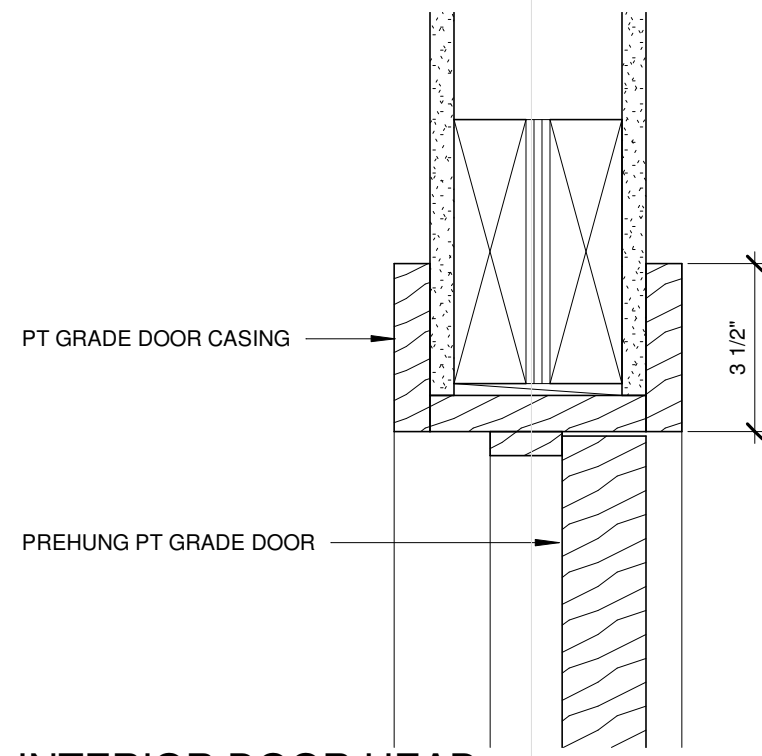
PROJECT NO.	2016015
PROJECT PHASE	GC 90% REVIEW SET
DRAWN BY:	Author
CHECKED BY:	Checker

INTERIOR DETAILS

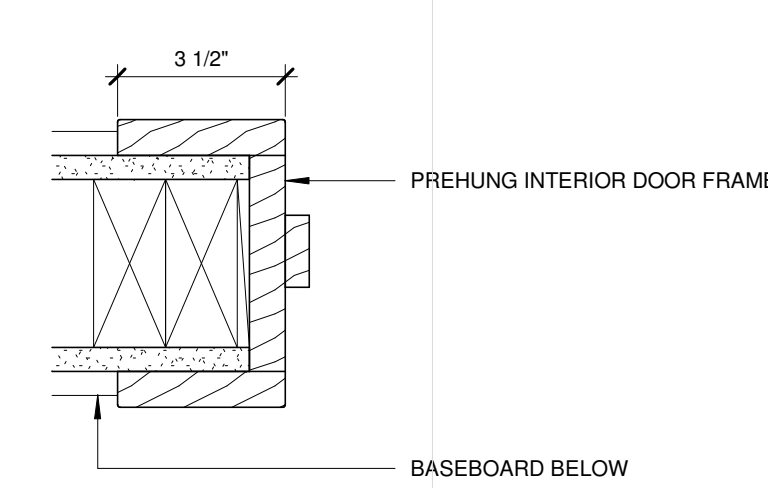
A551



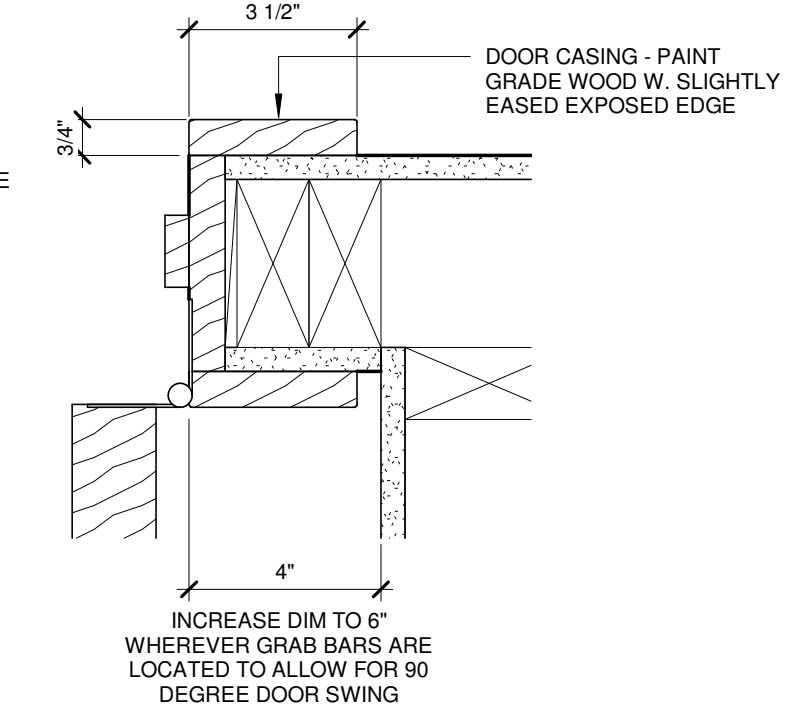
9 EXTERIOR DOOR HEAD DETAIL
 A601 3" = 1'-0"



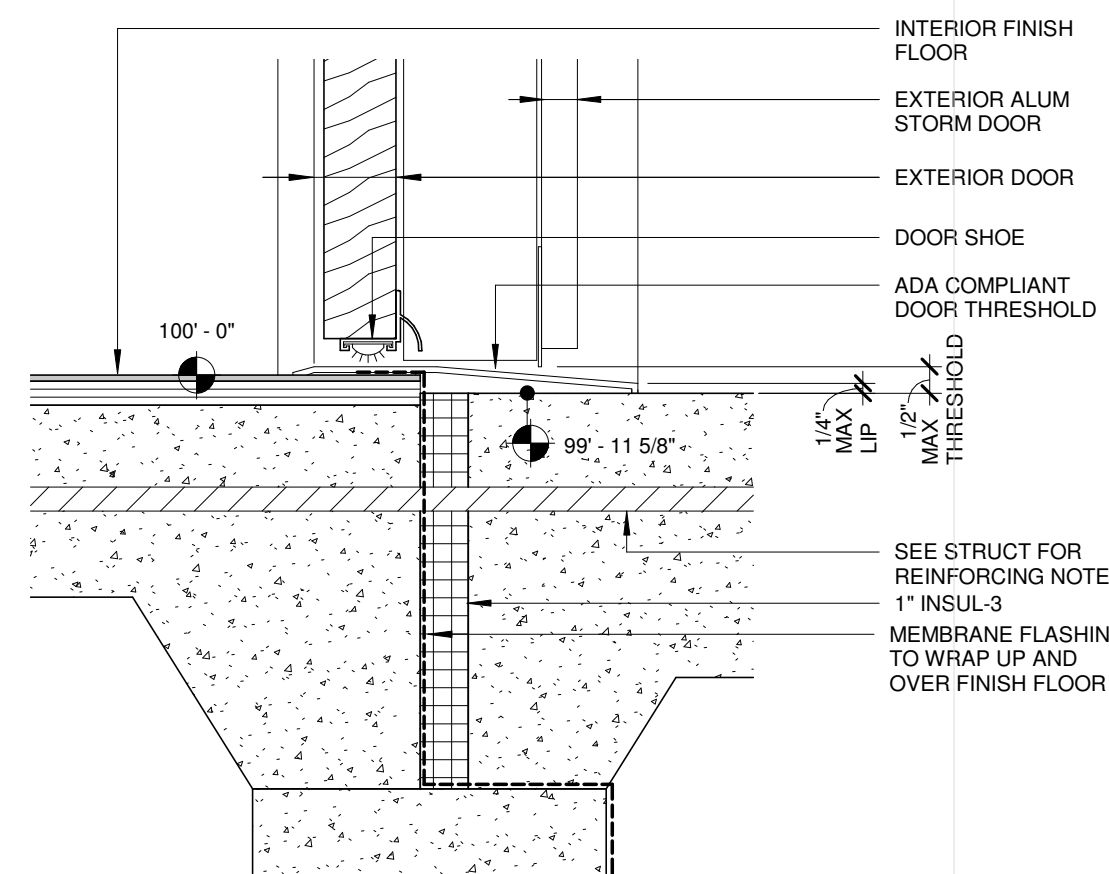
6 INTERIOR DOOR HEAD
 A601 3" = 1'-0"



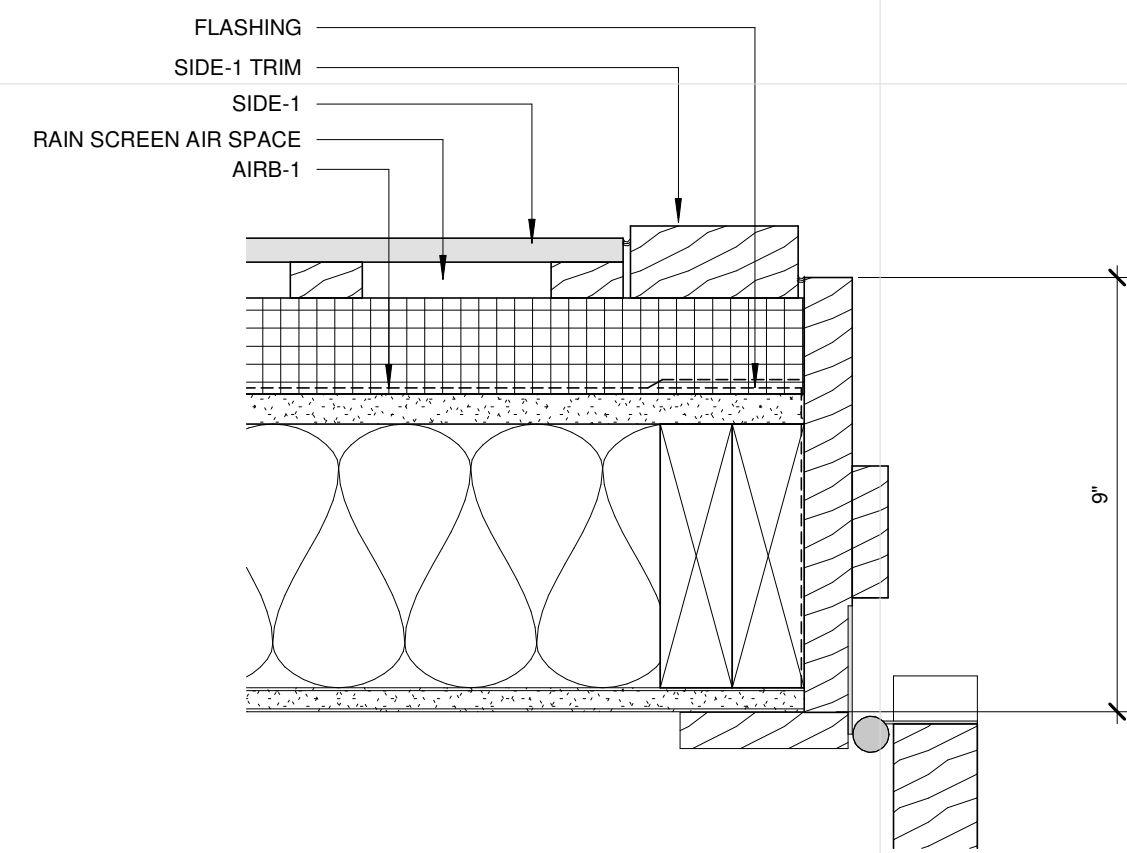
3 INTERIOR DOOR LATCH SIDE
 A601 3" = 1'-0"



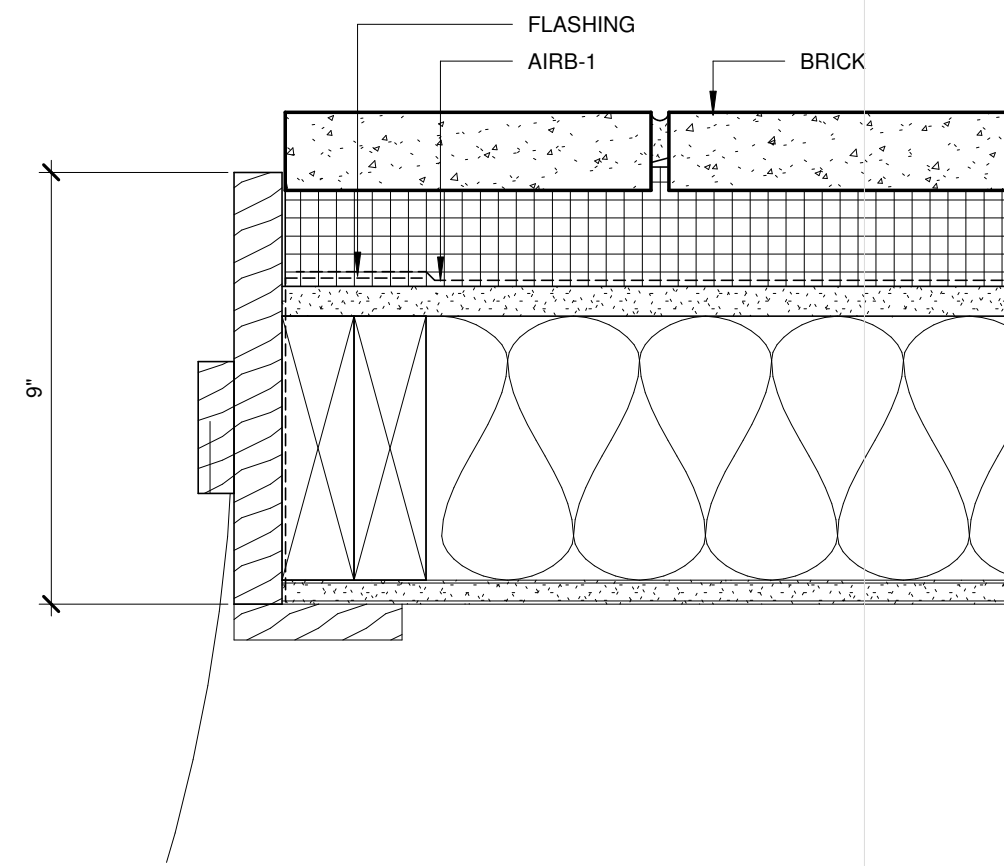
4 INTERIOR DOOR HINGE JAM
 A601 3" = 1'-0"



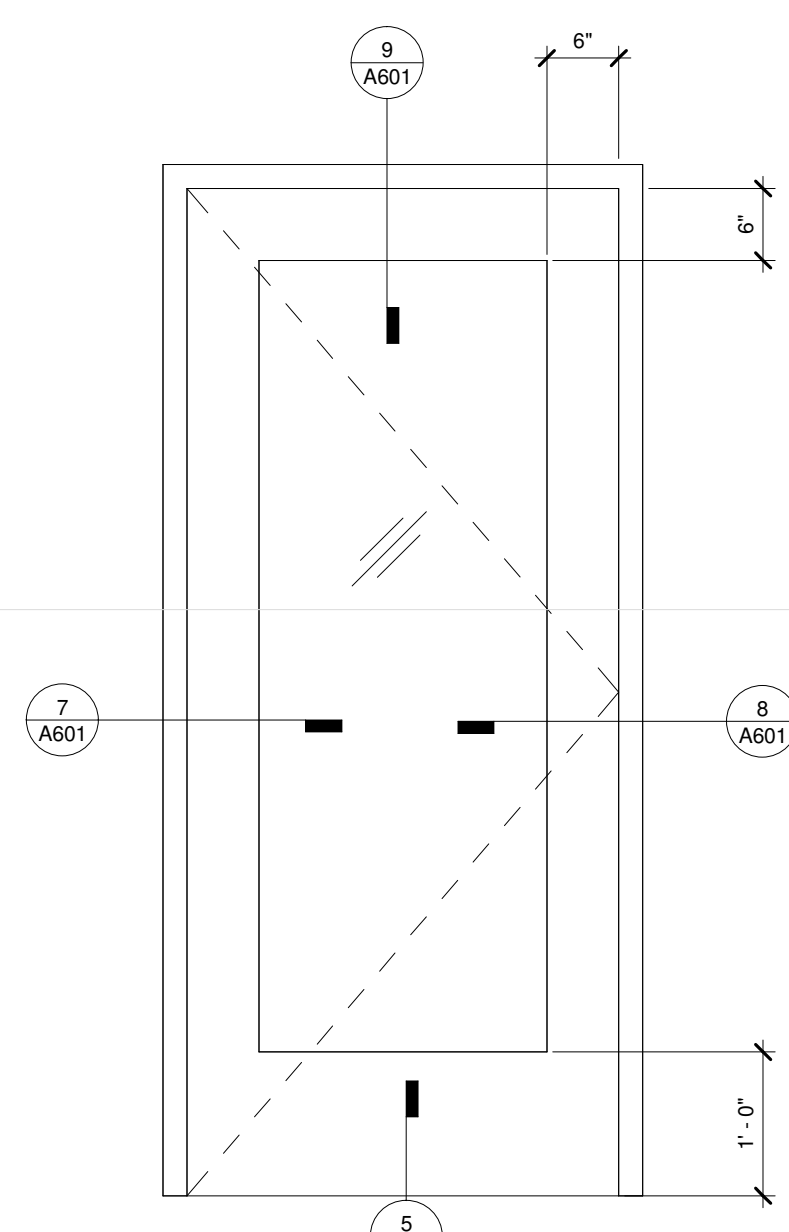
5 EXTERIOR DOOR THRESHOLD
 A601 3" = 1'-0"



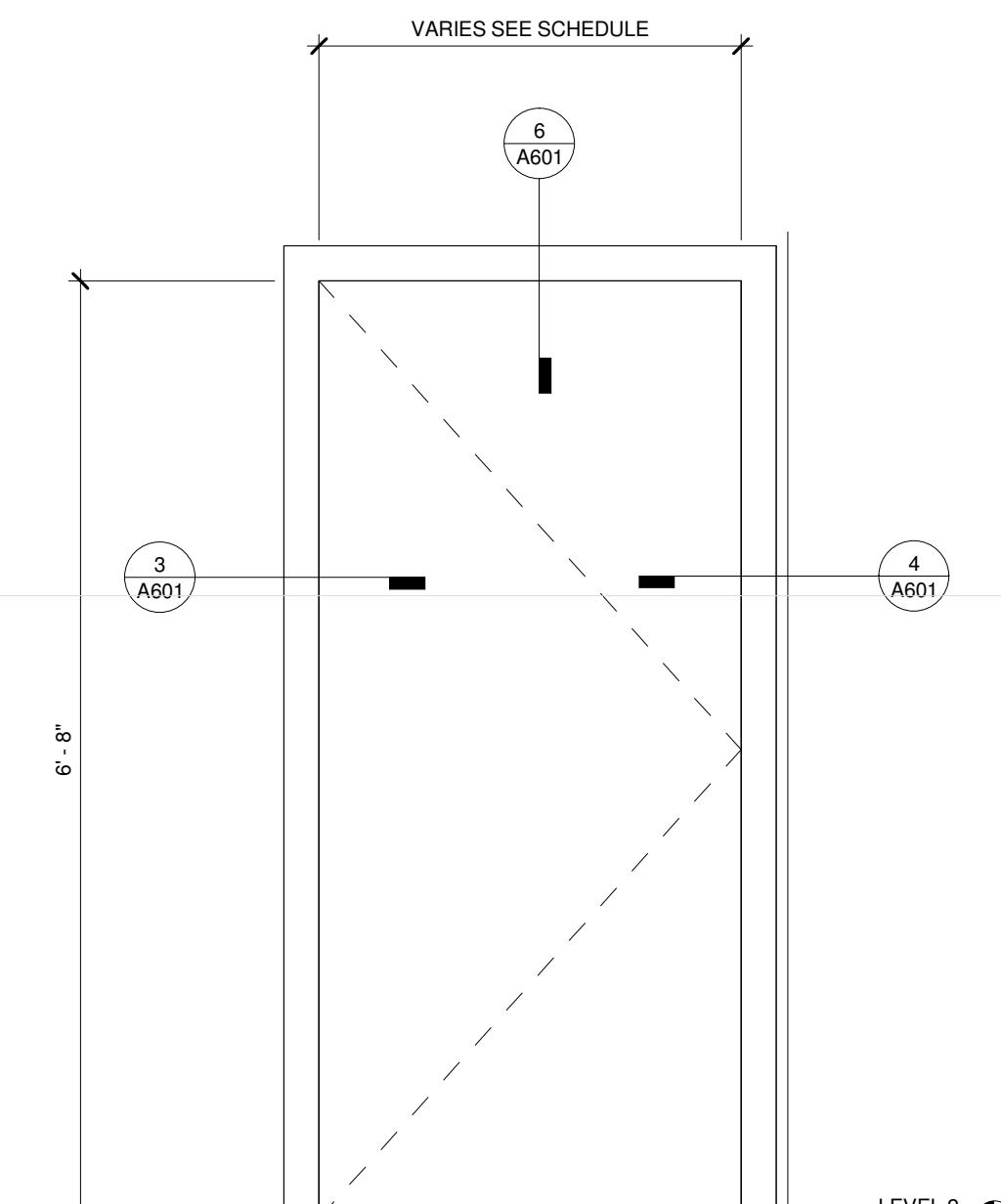
8 EXTERIOR DOOR HINGE DETAIL
 A601 3" = 1'-0"



7 EXTERIOR DOOR JAM DETAIL
 A601 3" = 1'-0"



1 ENTRY DOOR
 A601 3/4" = 1'-0"



2 INTERIOR DOOR
 A601 3/4" = 1'-0"

BUILDING D DOOR SCHEDULE

DOOR NO	WIDTH	HEIGHT	DOOR		MAT'L	HEAD	SILL	FRAME		MAT'L	FIRE	HDWR	COMMENTS
			THICKNESS	TYPE				TYPE	TYPE				
104	3'-0"	7'-0"	1 3/4"		WOOD								
116	3'-0"	6'-8"	1 3/4"		WOOD								
117	3'-0"	6'-8"	1 3/4"		WOOD								
118	3'-0"	7'-0"	1 3/4"		WOOD						45 MIN		
119	3'-0"	6'-8"	1 3/4"		WOOD								
120	3'-0"	6'-8"	1 3/4"		WOOD								
121	3'-0"	6'-8"	1 3/4"		WOOD								
123	3'-0"	6'-8"	1 3/4"		WOOD								
124	3'-0"	6'-8"	1 3/4"		WOOD								
125	2'-3"	6'-8"	1 3/4"		WOOD								
128	4'-6"	6'-8"	1 3/4"		WOOD								
144	3'-0"	6'-8"	1 3/4"		WOOD								
145	3'-0"	6'-8"	1 3/4"		WOOD								
146	3'-0"	6'-8"	1 3/4"		WOOD								
147	3'-0"	6'-8"	1 3/4"		WOOD								
152	3'-0"	6'-8"	1 3/4"		WOOD								
161	2'-3"	6'-8"	1 3/4"		WOOD								
162	3'-0"	6'-8"	1 3/4"		WOOD								
164	4'-6"	6'-8"	1 3/4"		WOOD								
166	4'-6"	6'-8"	1 3/4"		WOOD								
224	3'-0"	7'-0"	1 3/4"		WOOD								
225	3'-0"	7'-0"	1 3/4"		WOOD								
227	3'-0"	7'-0"	1 3/4"		WOOD								
253	3'-0"	6'-8"	1 3/4"		WOOD						45 MIN		
254	3'-0"	7'-0"	1 3/4"		WOOD								
255	3'-0"	6'-8"	1 3/4"		WOOD								
256	3'-0"	6'-8"	1 3/4"		WOOD								
257	3'-0"	6'-8"	1 3/4"		WOOD								
258	3'-0"	6'-8"	1 3/4"		WOOD								
259	2'-3"	6'-8"	1 3/4"		WOOD								
260	2'-6"	7'-0"	1 3/4"		WOOD								
262	4'-6"	6'-8"	1 3/4"		WOOD								
263	3'-0"	6'-8"	1 3/4"		WOOD								
264	3'-0"	6'-8"	1 3/4"		WOOD								
265	3'-0"	7'-0"	1 3/4"		WOOD						45 MIN		
266	3'-0"	7'-0"	1 3/4"		WOOD						45 MIN		
267	3'-0"	6'-8"	1 3/4"		WOOD								
269	3'-0"	6'-8"	1 3/4"		WOOD								
270	3'-0"	6'-8"	1 3/4"		WOOD								
271	3'-0"	6'-8"	1 3/4"		WOOD								
272	3'-0"	6'-8"	1 3/4"		WOOD								
273	3'-0"	6'-8"	1 3/4"		WOOD								
274	3'-0"	6'-8"	1 3/4"		WOOD								
275	2'-3"	6'-8"	1 3/4"		WOOD								
276	3'-0"	7'-0"	1 3/4"		WOOD								
277	4'-6"	6'-8"	1 3/4"		WOOD								
278	3'-0"	7'-0"	1 3/4"		WOOD								
279	3'-0"	6'-8"	1 3/4"		WOOD								
281	3'-0"	7'-0"	1 3/4"		WOOD								
284	3'-0"	6'-8"	1 3/4"		WOOD								
297	3'-0"	6'-8"	1 3/4"		WOOD								

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Signature: _____
 Print Names: _____
 Date: _____ License No: _____

MARK	DATE	DESCRIPTION
	04.21.17	100% DD
	04.28.17	LAND USE APPLICATION
	05.05.17	50% GD
	05.26.17	GC 90% REVIEW SET

PROJECT NO. 2016015
 PROJECT PHASE GC 90% REVIEW SET
 DRAWN BY: Author CHECKED BY: Checker

DOOR SCHEDULE, TYPES AND DETAILS

A601

**MINNEHAHA
 TOWNHOMES**
 5348, 5364, 5369 RIVERVIEW
 5118 54TH ST EAST
 MINNEAPOLIS, MN 55417

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Date: _____ License No.: _____

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K	04.21.17	100%DD	
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	05.08.17	50% GD	
	05.26.17	GC 90% REVIEW SET	

PROJECT NO. 2016015

PROJECT PHASE GC 90% REVIEW SET

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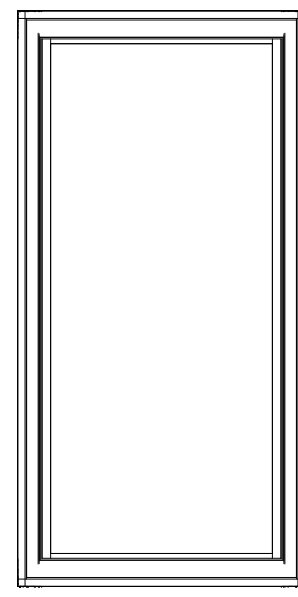
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**BUILDING A,B,C
 DOOR SCHEDULE
 2-3-3-3**

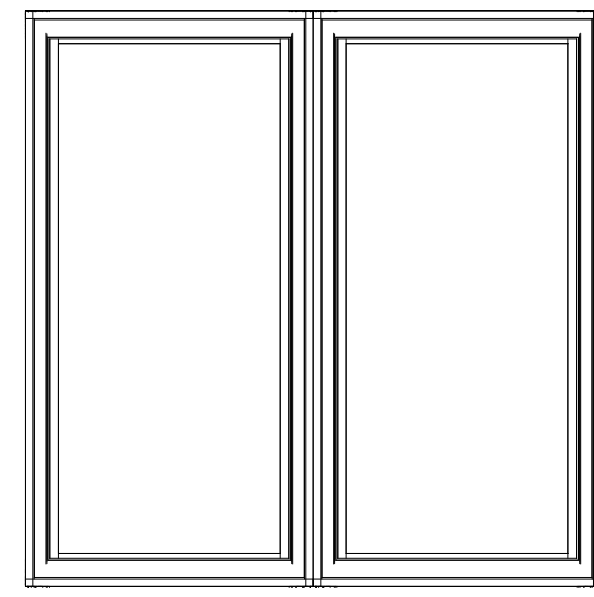
A602

NOTE: DOOR SCHEDULE IS FOR ONE BUILDING. COUNT MUST BE EXTRAPOLATED OVER BUILDINGS A, B, + C

DOOR NO	DOOR			TYPE	MAT'L	FRAME				FIRE	HDWR	COMMENTS	
	WIDTH	HEIGHT	THICKNESS			HEAD	SILL	JAMB	TYPE				MAT'L
104	3'-0"	7'-0"	1 3/4"		WOOD								
110	3'-0"	6'-8"	1 3/4"		WOOD								
112	3'-0"	6'-8"	1 3/4"		WOOD								
120	3'-0"	6'-8"	1 3/4"		WOOD								
121	3'-0"	6'-8"	1 3/4"		WOOD								
125	2'-3"	6'-8"	1 3/4"		WOOD								
128	4'-6"	6'-8"	1 3/4"		WOOD								
129	3'-0"	6'-8"	1 3/4"		WOOD					45 MIN			
130	3'-0"	6'-8"	1 3/4"		WOOD								
131	3'-0"	6'-8"	1 3/4"		WOOD								
132	3'-0"	6'-8"	1 3/4"		WOOD					45 MIN			
133	4'-6"	6'-8"	1 3/4"		WOOD								
134	3'-0"	6'-8"	1 3/4"		WOOD								
135	3'-0"	6'-8"	1 3/4"		WOOD								
136	3'-0"	6'-8"	1 3/4"		WOOD								
137	3'-0"	6'-8"	1 3/4"		WOOD								
138	3'-0"	6'-8"	1 3/4"		WOOD								
139	2'-3"	6'-8"	1 3/4"		WOOD								
140	4'-6"	6'-8"	1 3/4"		WOOD								
141	3'-0"	6'-8"	1 3/4"		WOOD								
142	3'-0"	6'-8"	1 3/4"		WOOD								
143	3'-0"	6'-8"	1 3/4"		WOOD					45 MIN			
144	3'-0"	6'-8"	1 3/4"		WOOD								
145	3'-0"	6'-8"	1 3/4"		WOOD								
146	3'-0"	6'-8"	1 3/4"		WOOD								
147	3'-0"	6'-8"	1 3/4"		WOOD								
148	3'-0"	6'-8"	1 3/4"		WOOD								
149	2'-3"	6'-8"	1 3/4"		WOOD								
150	4'-6"	6'-8"	1 3/4"		WOOD								
158	3'-0"	6'-8"	1 3/4"		WOOD								
169	3'-0"	7'-0"	1 3/4"		WD/GL								
170	3'-0"	7'-0"	1 3/4"		WD/GL								
185	3'-0"	6'-8"	1 3/4"		WOOD								
224	3'-0"	7'-0"	1 3/4"		WD/GL								
225	3'-0"	7'-0"	1 3/4"		WD/GL								
227	3'-0"	7'-0"	1 3/4"		WD/GL								
252	2'-3"	6'-8"	1 3/4"		WOOD								
253	3'-0"	6'-8"	1 3/4"		WOOD								
260	2'-6"	7'-0"	1 3/4"		WOOD								
261	4'-6"	6'-8"	1 3/4"		WOOD								
274	3'-0"	7'-0"	1 3/4"		WD/GL								
275	3'-0"	7'-0"	1 3/4"		WD/GL								
276	3'-0"	6'-8"	1 3/4"		WOOD								
277	3'-0"	6'-8"	1 3/4"		WOOD								
279	3'-0"	6'-8"	1 3/4"		WOOD								
281	3'-0"	6'-8"	1 3/4"		WOOD								
282	3'-0"	6'-8"	1 3/4"		WOOD								
283	3'-0"	6'-8"	1 3/4"		WOOD								
325	3'-0"	6'-8"	1 3/4"		WOOD								
326	3'-0"	6'-8"	1 3/4"		WOOD								
328	3'-0"	6'-8"	1 3/4"		WOOD					45 MIN			
329	3'-0"	6'-8"	1 3/4"		WOOD								
330	3'-0"	6'-8"	1 3/4"		WOOD								
331	3'-0"	6'-8"	1 3/4"		WOOD								

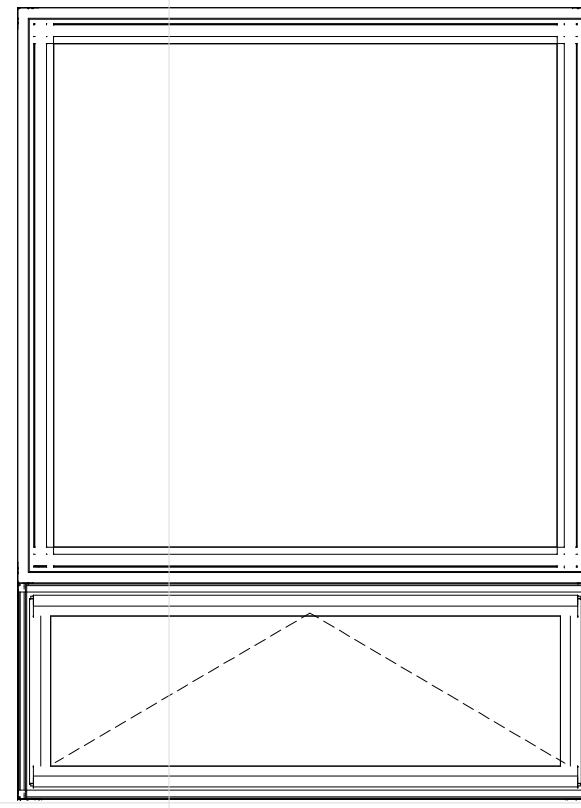


1 Elevation Left
 A651 3/4" = 1'-0"

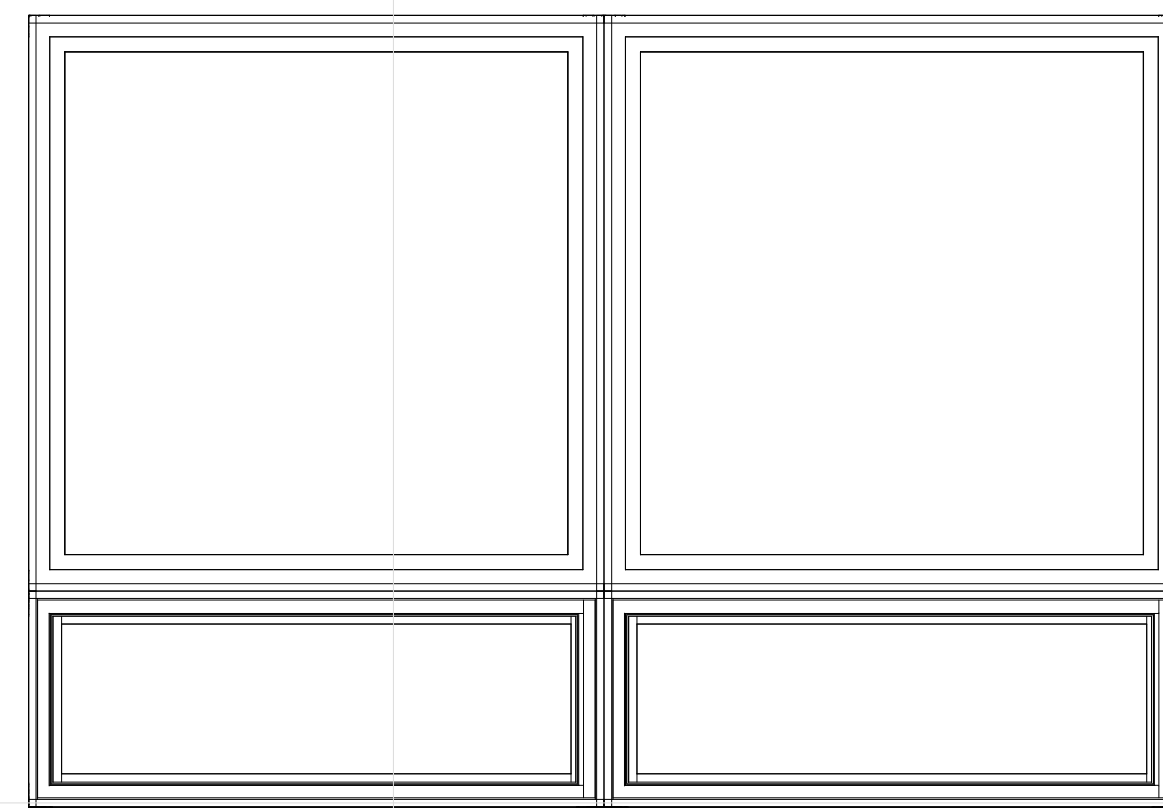


2 Elevation Left
 A651 3/4" = 1'-0"

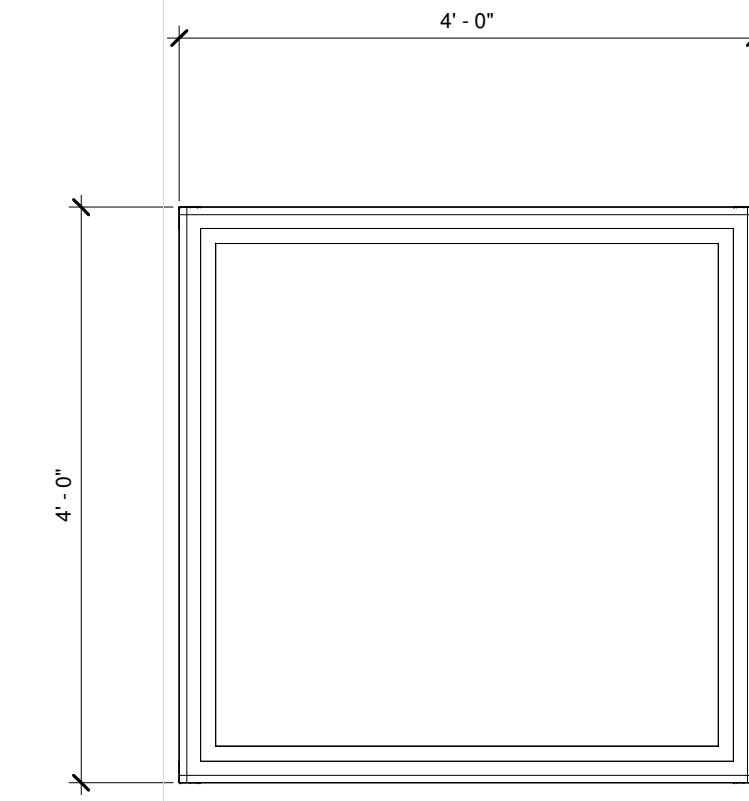
NOTE: DOUBLE CASEMENTS IN BEDROOMS TO BE EGRESS WINDOWS



3 FIXED OVER AWNING
 A651 3/4" = 1'-0"

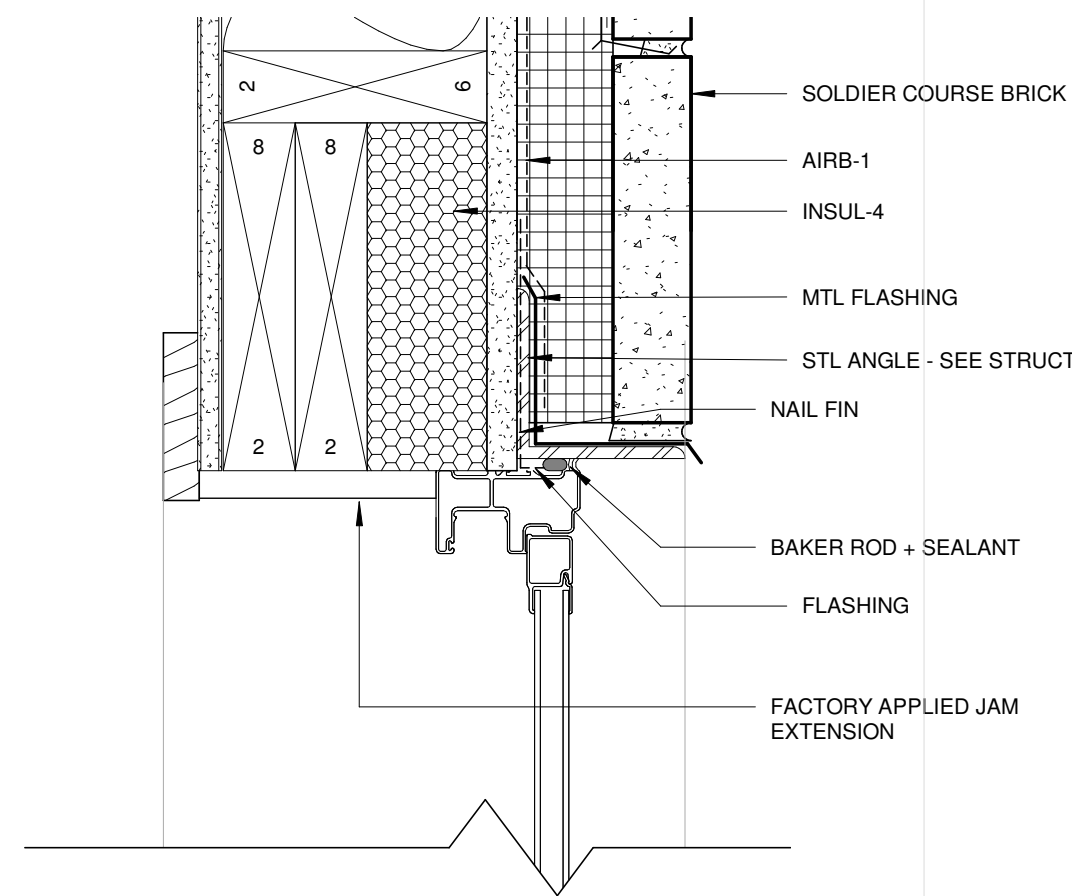


4 Elevation Left
 A651 3/4" = 1'-0"

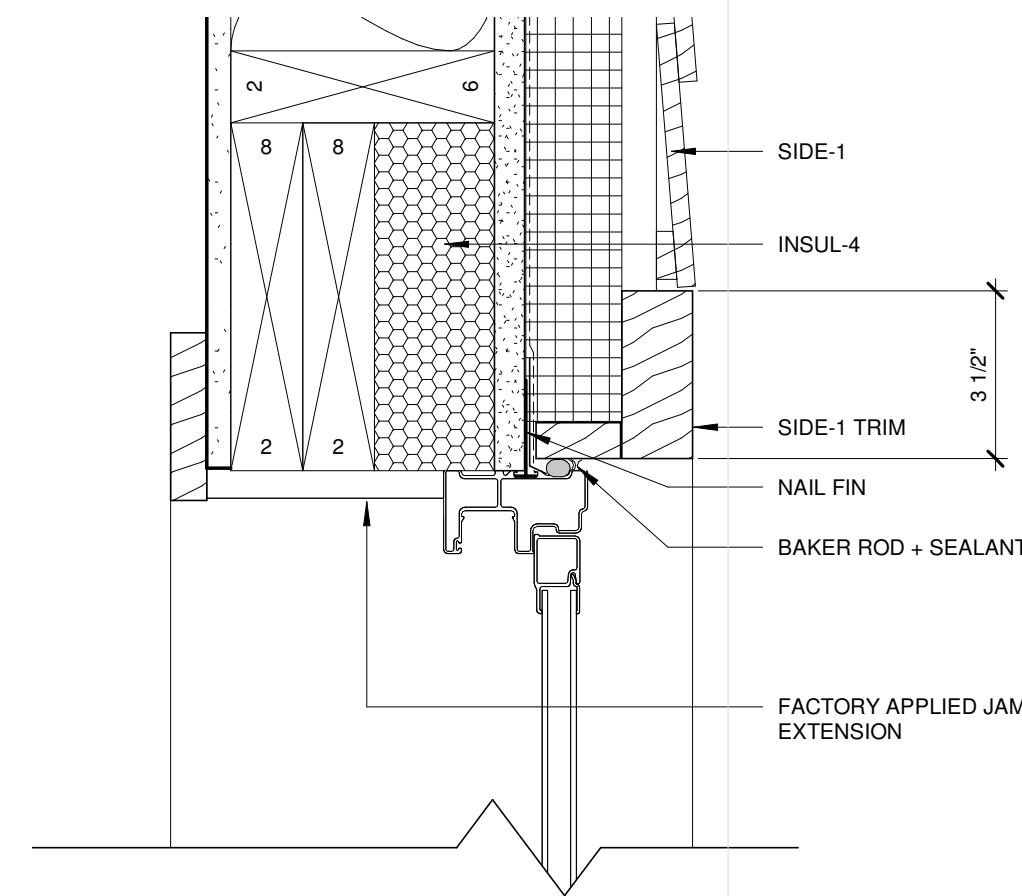


5 FIXED
 A651 3/4" = 1'-0"

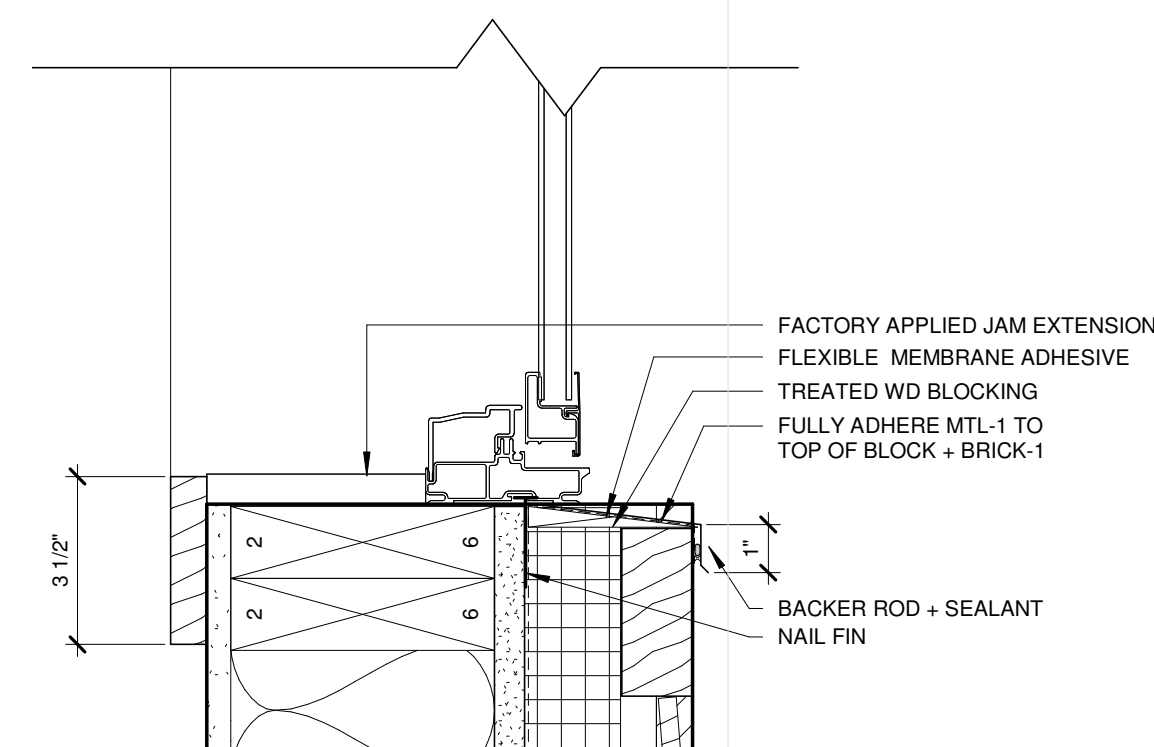
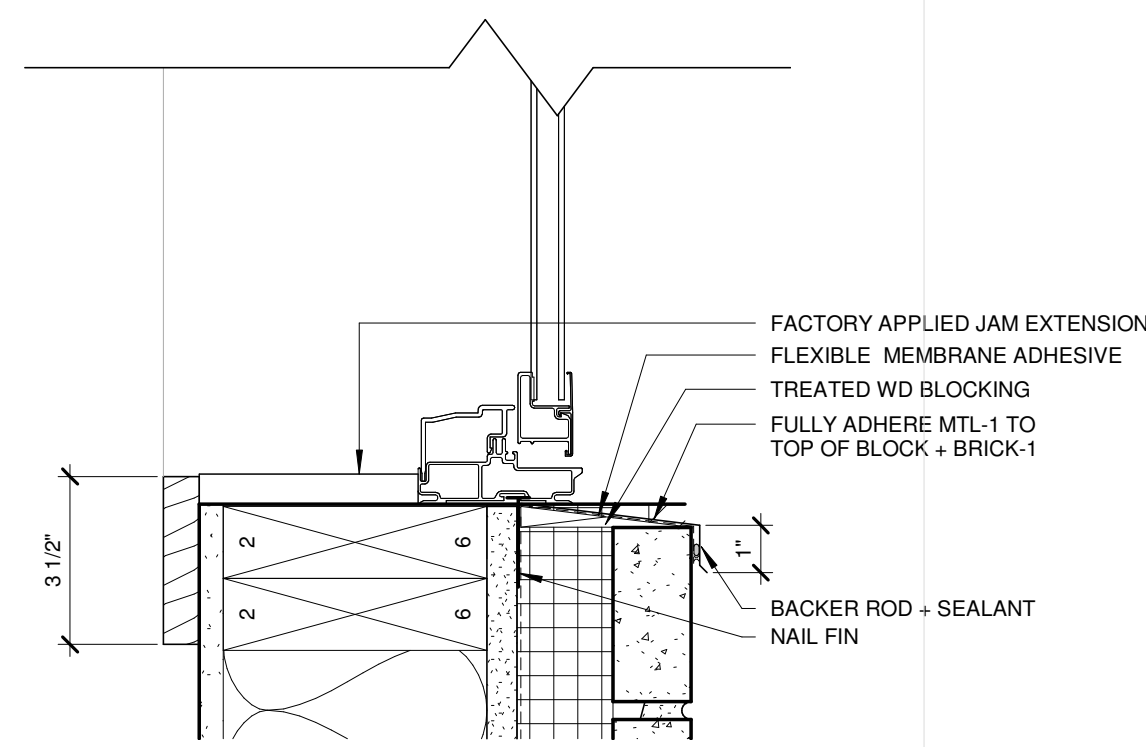
BUILDING D WINDOW SCHEDULE										
Mark	Type Mark	Count	Rough Width	Rough Height	Width	Height	Manufacturer	Model	Comments	
1 SINGLE CASEMENT										
1	SINGLE CASEMENT	A	4	2' - 0 1/2"	4' - 0 1/2"	2' - 0"	4' - 0"	Pella Windows & Doors	2856	
1	SINGLE CASEMENT	B	4	2' - 0 1/2"	4' - 0 1/2"	2' - 0"	4' - 0"	Pella Windows & Doors	2856	
2 DOUBLE CASEMENT										
2	DOUBLE CASEMENT	A	13	2' - 0 1/2"	4' - 0 1/2"	2' - 0"	4' - 0"	Pella Windows & Doors	2856	FACTORY MULLED
2	DOUBLE CASEMENT	B	13	2' - 0 1/2"	4' - 0 1/2"	2' - 0"	4' - 0"	Pella Windows & Doors	2856	FACTORY MULLED
3 FIXED OVER AWNING										
3	FIXED OVER AWNING	C	7	4' - 0 1/2"	4' - 0 1/2"	4' - 0"	4' - 0"	Pella Windows & Doors		FACTORY MULLED
3	FIXED OVER AWNING	D	7				1' - 6"			FACTORY MULLED
4 DOUBLE FIXED OVER DOUBLE AWNING										
4	DOUBLE FIXED OVER DOUBLE AWNING	C	12	4' - 0 1/2"	4' - 0 1/2"	4' - 0"	4' - 0"	Pella Windows & Doors		FACTORY MULLED
4	DOUBLE FIXED OVER DOUBLE AWNING	D	12	4' - 0 1/2"	1' - 6 1/2"	4' - 0"	1' - 6"	Pella Windows & Doors	2856	FACTORY MULLED
5 FIXED										
5	FIXED	C	2	4' - 0 1/2"	4' - 0 1/2"	4' - 0"	4' - 0"	Pella Windows & Doors		
16		B	1	2' - 0 1/2"	4' - 0 1/2"	2' - 0"	4' - 0"	Pella Windows & Doors	2856	FACTORY MULLED
17										
17		A	1	2' - 0 1/2"	4' - 0 1/2"	2' - 0"	4' - 0"	Pella Windows & Doors	2856	FACTORY MULLED



7 WINDOW HEAD + SILL DETAIL
 A651 3" = 1'-0"



6 WINDOW HEAD + SILL DETAIL SIDE-1
 A651 3" = 1'-0"



MINNEHAHA
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 ROAD, 5118 54TH ST EAST
 MINNEAPOLIS, MN 55417

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 Print Names: _____
 Date: _____ License No: _____

MARK	DATE	DESCRIPTION
	04.21.17	100% DD
	04.28.17	LAND USE APPLICATION
	05.05.17	50% CD
	05.26.17	GC 90% REVIEW SET

PROJECT NO. 2016015
 PROJECT PHASE GC 90% REVIEW SET
 DRAWN BY: P.LYNCH CHECKED BY: Checker

WINDOW SCHEDULE, TYPES AND DETAILS

A651

NOTE: WINDOW SCHEDULE IS FOR ONE BUILDING. COUNT MUST BE EXTRAPOLATED OVER BUILDINGS A, B, + C										
WINDOW SCHEDULE										
Mark	Type Mark	Count	Rough Width	Rough Height	Width	Height	Manufacturer	Model	Comments	
1 SINGLE CASEMENT										
1	SINGLE CASEMENT	A	4	2' - 0 1/2"	4' - 0 1/2"	2' - 0"	4' - 0"	Pella Windows & Doors	2856	
1	SINGLE CASEMENT	B	4	2' - 0 1/2"	4' - 0 1/2"	2' - 0"	4' - 0"	Pella Windows & Doors	2856	
2 DOUBLE CASEMENT										
2	DOUBLE CASEMENT	A	12	2' - 0 1/2"	4' - 0 1/2"	2' - 0"	4' - 0"	Pella Windows & Doors	2856	FACTORY MULLED
2	DOUBLE CASEMENT	B	12	2' - 0 1/2"	4' - 0 1/2"	2' - 0"	4' - 0"	Pella Windows & Doors	2856	FACTORY MULLED
3 FIXED OVER AWNING										
3	FIXED OVER AWNING	C	10	4' - 0 1/2"	4' - 0 1/2"	4' - 0"	4' - 0"	Pella Windows & Doors		FACTORY MULLED
3	FIXED OVER AWNING	D	10				1' - 6"			FACTORY MULLED
4 DOUBLE FIXED OVER DOUBLE AWNING										
4	DOUBLE FIXED OVER DOUBLE AWNING	C	10	4' - 0 1/2"	4' - 0 1/2"	4' - 0"	4' - 0"	Pella Windows & Doors		FACTORY MULLED
4	DOUBLE FIXED OVER DOUBLE AWNING	D	10	4' - 0 1/2"	1' - 6 1/2"	4' - 0"	1' - 6"	Pella Windows & Doors	2856	FACTORY MULLED
5 FIXED										
5	FIXED	C	2	4' - 0 1/2"	4' - 0 1/2"	4' - 0"	4' - 0"	Pella Windows & Doors		

MINNEHAHA TOWNHOMES
 5348, 5364, 5369 RIVERVIEW
 5118 54TH ST EAST
 MINNEAPOLIS, MN 55417

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ISSUE	MAR	DATE	DESCRIPTION
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	05.08.17	50% CD	
	05.26.17	GC 90% REVIEW SET	

PROJECT NO.	2016015
PROJECT PHASE	GC 90% REVIEW SET
DRAWN BY:	CHECKED BY:
Author	Checker

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**BUILDING A,B,C
 WINDOW
 SCHEDULE 2-3-3-3**

A652



GENERAL NOTES

- REFER TO P000 FOR ADDITIONAL NOTES, SYMBOLS, AND ABBREVIATIONS.
- COORDINATE CW PIPING WITH CIVIL.

KEYED NOTES

- PROVIDE LOCKABLE FREEZELESS YARD HYDRANT YH-1. ROUTE 3/4" CW PIPING BELOW GRADE FROM IRRIGATION METER. METER WILL BE LOCATED IN SOUTH TOWNHOME MECHANICAL ROOM IN BUILDING A.
- PROVIDE LOCKABLE FREEZELESS WALL HYDRANT WH-1. IRRIGATION METER SHALL BE LOCATED IN ADJACENT TOWNHOME MECHANICAL ROOM WITH LOCK OPEN SHUT OFF VALVE.
- BUILDING GAS METER BANK LOCATION.



1 PLUMBING SITE PLAN
 1" = 30'-0"



**MINNEHAHA
 TOWNHOMES**
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 MINNEAPOLIS, MN 55417

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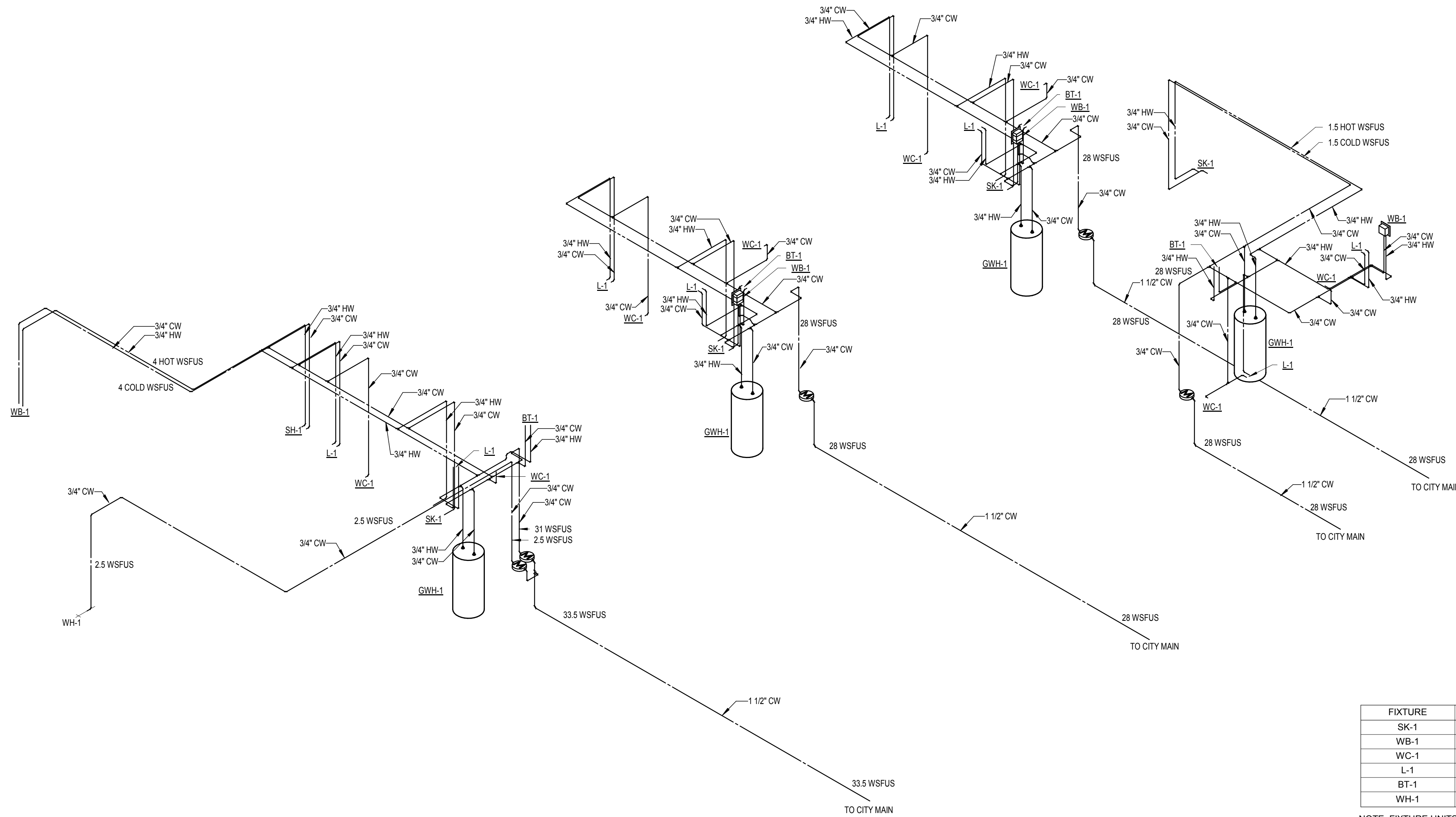
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PLUMBING SITE PLAN

P001



**MINNEHAHA
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FIXTURE	COLD WSFUS	HOT WSFUS
SK-1	1.5	1.5
WB-1	4.0	4.0
WC-1	2.5	0.0
L-1	1.0	1.0
BT-1	4.0	4.0
WH-1	2.5	0.0

NOTE: FIXTURE UNITS SHOWN APPLY TO ALL FIXTURES AND IMMEDIATE BRANCHES. COMBINED BRANCHES AND MAINS SHOWN WITH FIXTURE UNITS ON ISOMETRIC.

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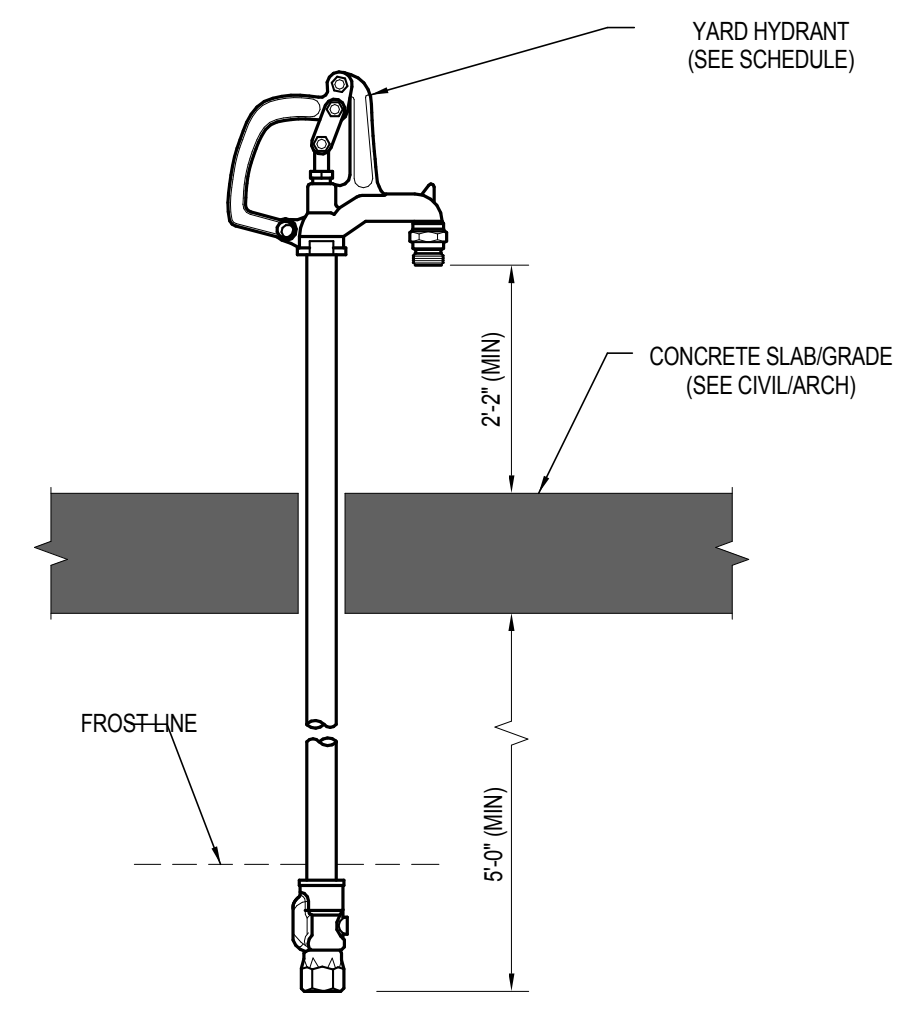
**PLUMBING
 DOMESTIC WATER
 RISER - BUILDING
 D**

P300B

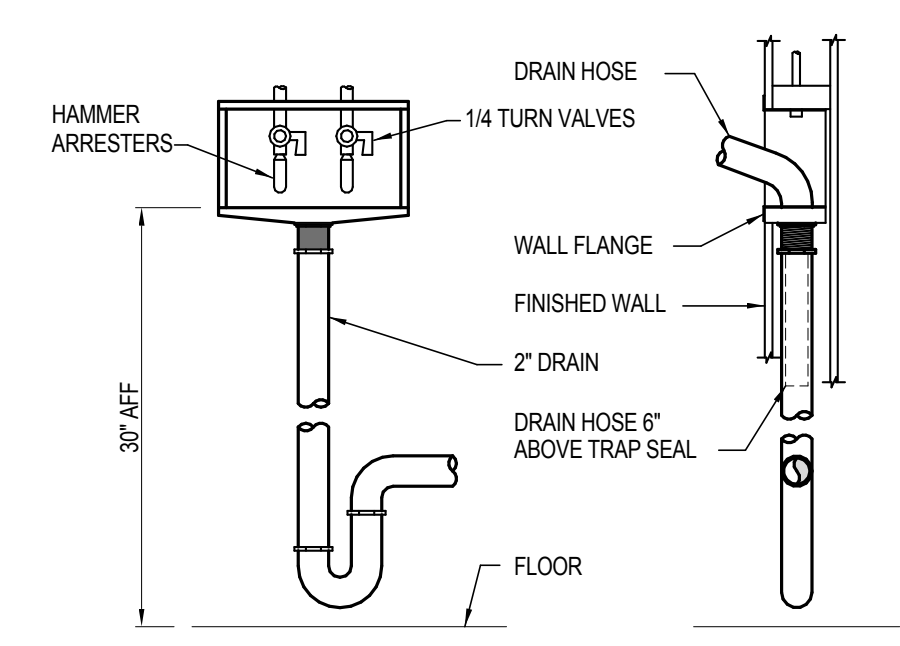
1 PLUMBING DOMESTIC WATER RISER - BUILDING D



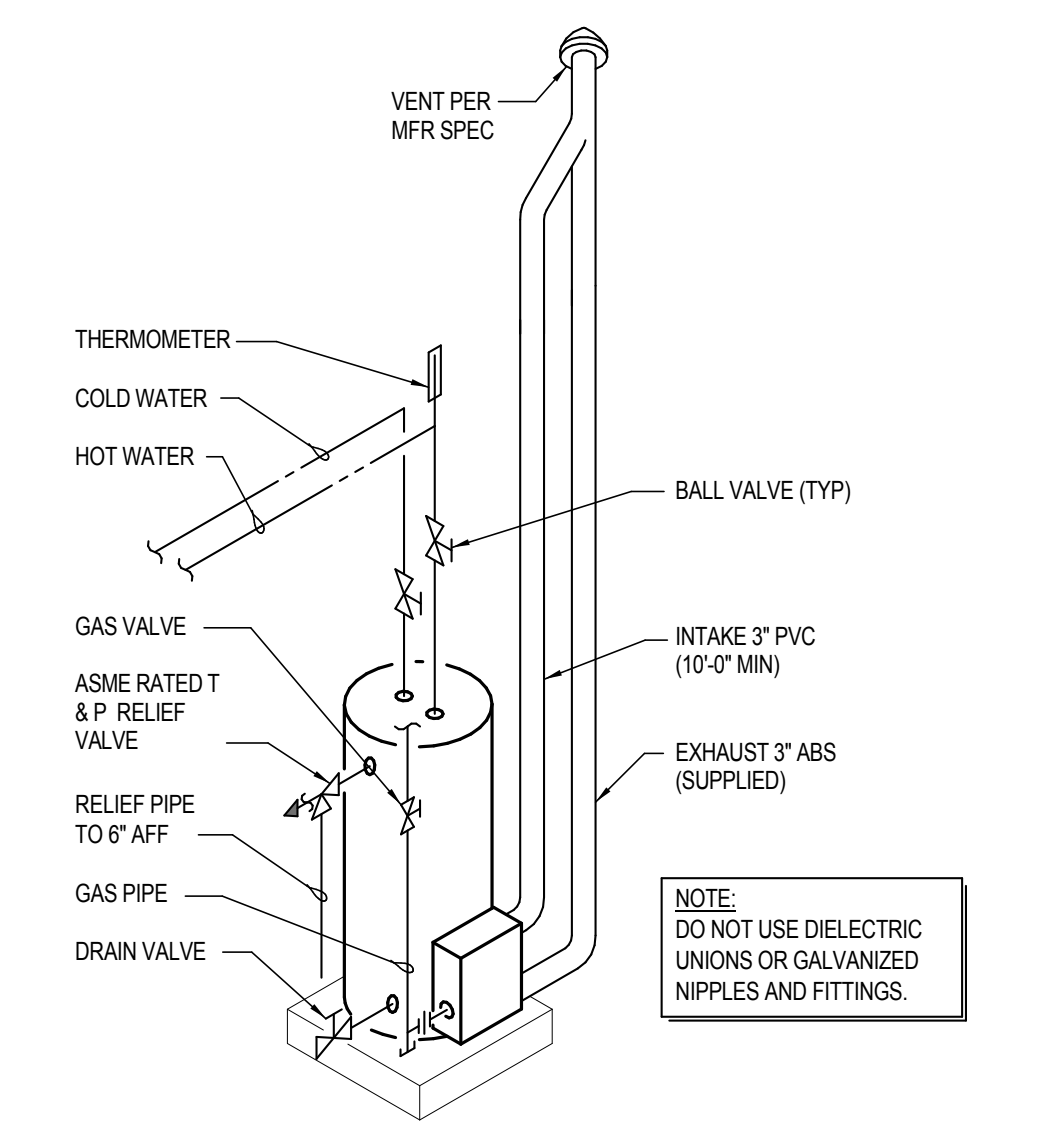
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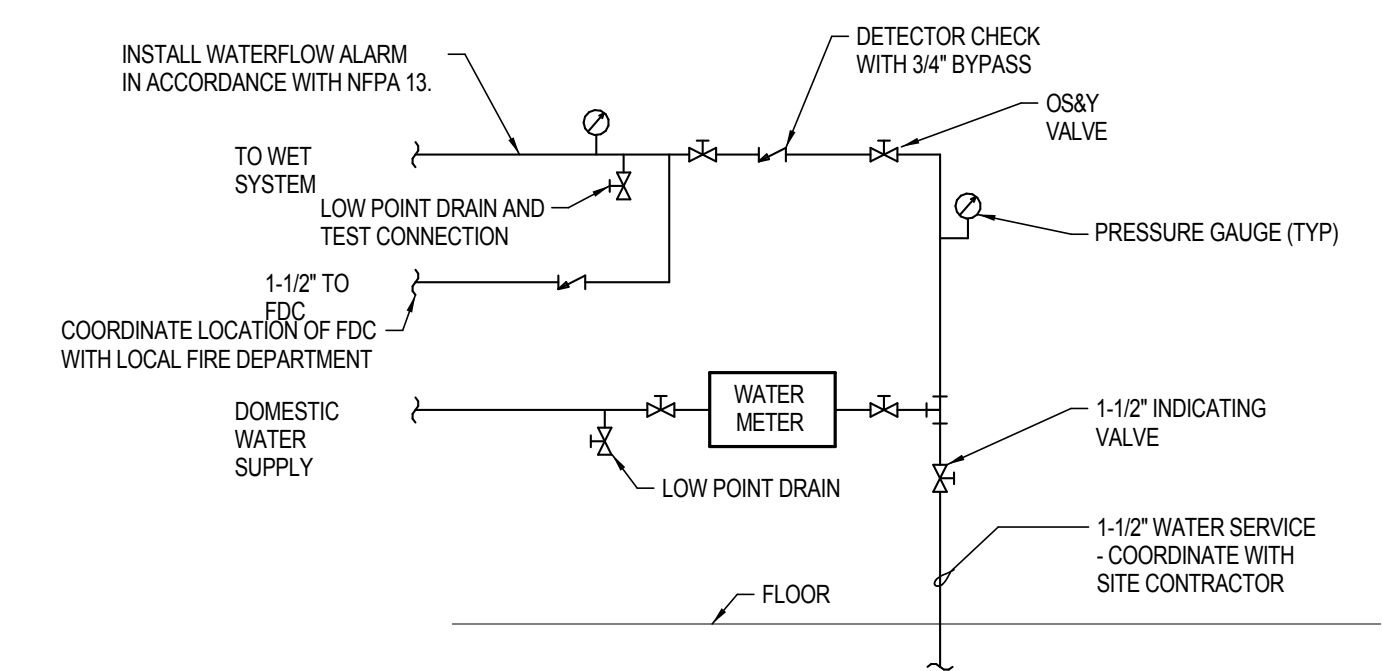
4 YARD HYDRANT DETAIL
 NOT TO SCALE



3 CLOTHES WASHER BOX DETAIL
 NOT TO SCALE

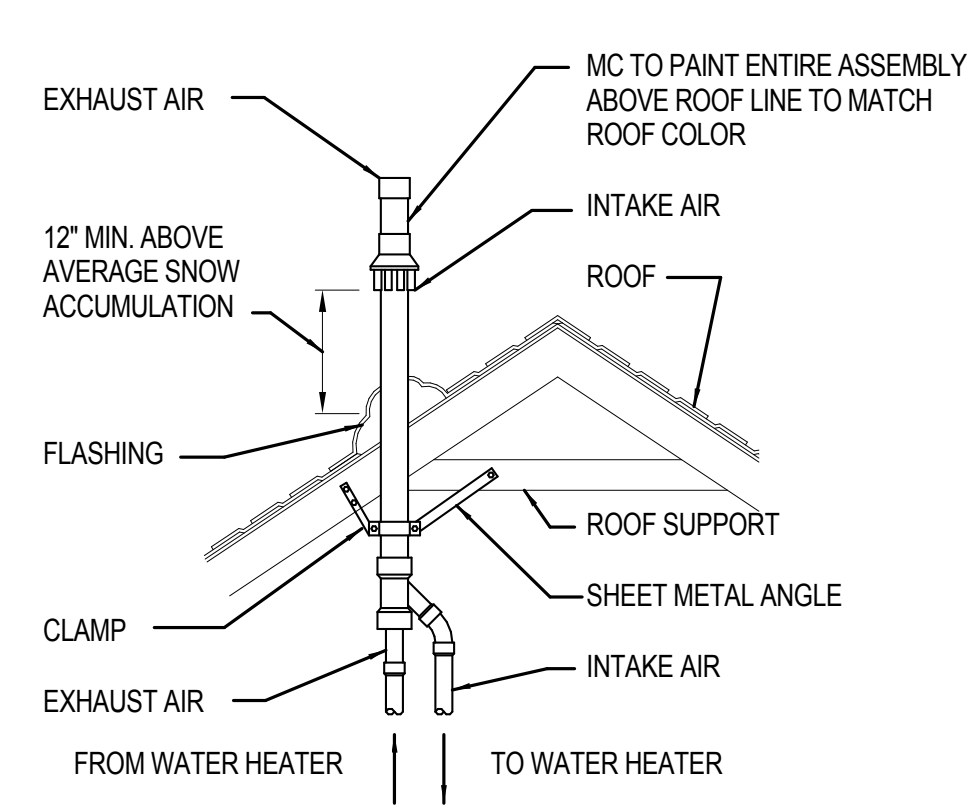


2 GAS WATER HEATER DETAIL
 NOT TO SCALE

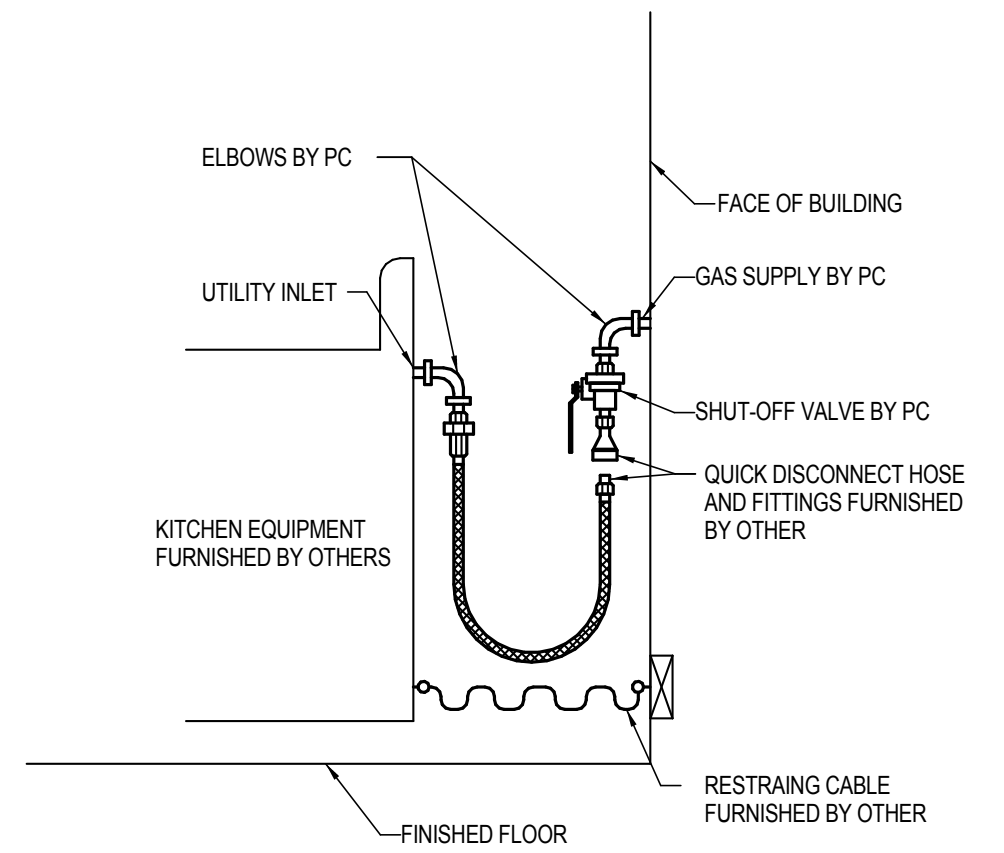


1 COMBINED WATER/FP SERVICE DETAIL
 NOT TO SCALE

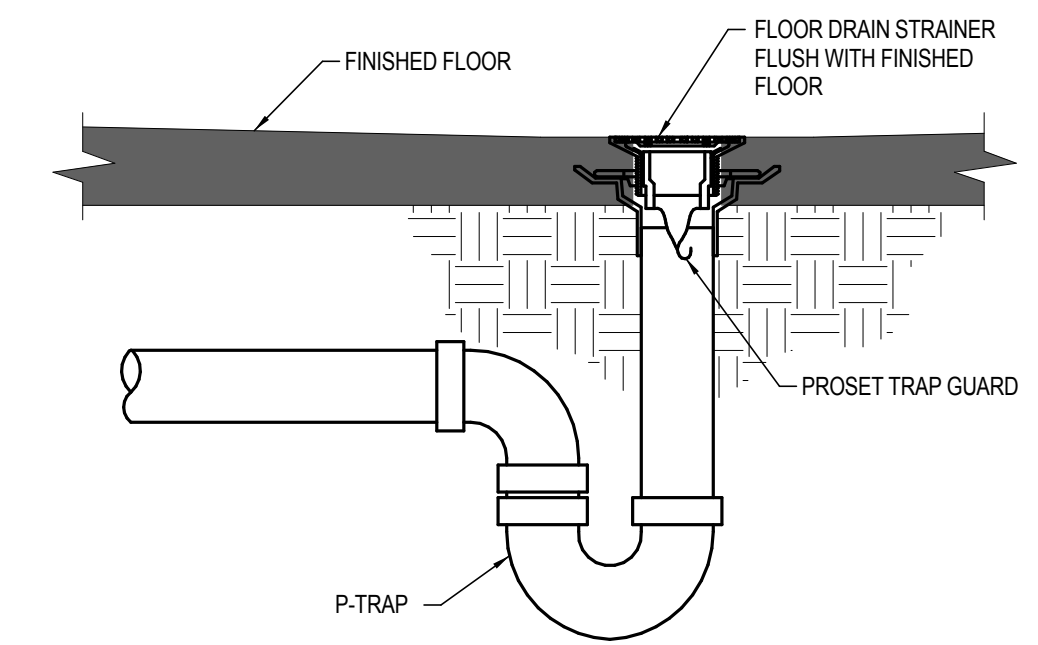
NOTE:
 ALL SPRINKLER MATERIALS & INSTALLATION SHALL COMPLY WITH NFPA 13R, STATE, & LOCAL CODES. FIRE SPRINKLER CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING HIS OWN FLOW READINGS FOR PURPOSE OF DESIGN. CONTRACTOR TO VERIFY FLOW, SIZE & SPACING REQUIREMENTS TO DETERMINE ADEQUATE SERVICE. SUBMIT DRAWINGS FOR APPROVAL PRIOR TO STARTING CONSTRUCTION.



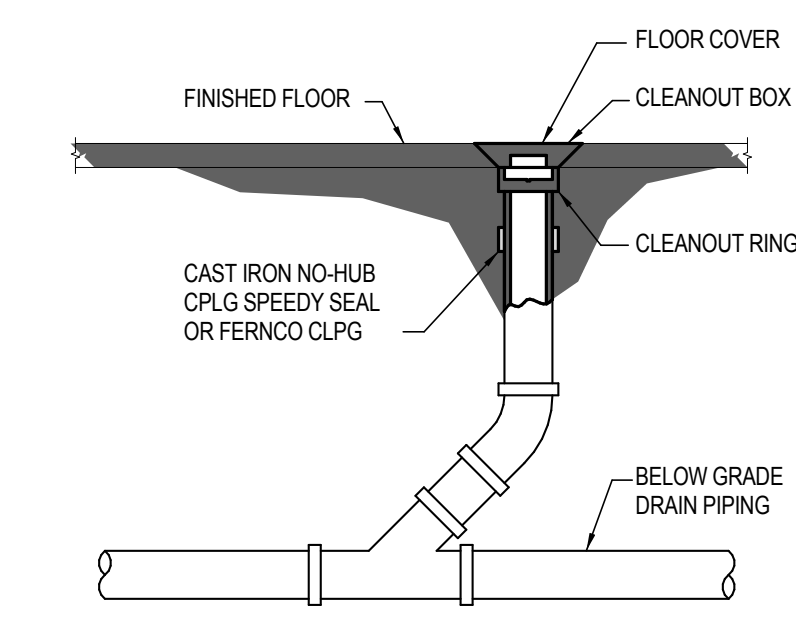
8 WATER HEATER VENT TERMINATION DETAIL
 NOT TO SCALE



7 GAS QUICK CONNECT DETAIL
 NOT TO SCALE



6 FLOOR DRAIN DETAIL
 NOT TO SCALE



5 INTERIOR CLEANOUT DETAIL
 NOT TO SCALE

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PLUMBING DETAILS

P400

PLUMBING FIXTURE SCHEDULE								
TAG	MANUFACTURER	SERIES	DESCRIPTION	COLD WATER CONN (INCH)	HOT WATER CONN (INCH)	SANITARY CONN (INCH)	VENT CONN (INCH)	NOTES
SK-1	-	-	-	3/4"	3/4"	1-1/2"	1-1/2"	PROVIDE TAMPER RESISTANT AERATOR ON FAUCET.
L-1	-	-	-	3/4"	3/4"	1-1/2"	1-1/2"	PROVIDE TAMPER RESISTANT AERATOR ON FAUCET.
WC-1	NIAGARA	STEALTH	FLOOR MOUNTED, TANK TYPE	3/4"	-	3"	2"	-
FD-1	ZURN	Z415B	ROUND FLOOR DRAIN	-	-	2"	1-1/2"	INCLUDE POLISHED NICKEL BRONZE TOP
WB-1	GUY GRAY	MWB	WASHING MACHINE OUTLET BOX	3/4"	3/4"	2"	1-1/2"	WHITE POWDER COATED METAL OUTLET BOX. SUPPLY WITH 1/2" QUARTER TURN VALVES AND 2" DRAIN KIT.
BT-1	-	-	-	-	-	-	-	-
GWH-1	BRADFORD WHITE	RG2PDV40SN	POWER DIRECT VENT GAS WATER HEATER	3/4"	3/4"	-	-	1/2" NPT NATURAL GAS CONNECTION. 3" VENT PIPE. PROVIDE 3" CONCENTRIC VENT TERMINATION KIT.
WH-1	WOODFORD	65	ANTI-SIPHON FREEZELESS WALL HYDRANT	3/4"	-	-	-	STANDARD CHROME FINISH. INSTALL 18" ABOVE FINISHED GRADE. LOOSE KEY OPERATION.
YH-1	WOODFORD	Y34	FREEZELESS YARD HYDRANT	3/4"	-	-	-	MIN 5' BURY DEPTH.
FCC-1	ZURN	Z1400	INTERIOR FLOOR CLEANOUT	-	-	-	-	INSTALL AS PER FINISHED FLOOR REQUIREMENTS WITH NO-HUB COUPLING, VANDAL PROOF SCREWS, AND POLISHED NICKEL BRONZE TOP

NOTES:
1. CONNECTION SIZES NOTED ARE NOT FINAL EQUIPMENT FIXTURE SIZE, BUT RATHER SIZE OF PIPE TO BE BROUGHT TO FIXTURE IMMEDIATELY PRIOR TO FINAL CONNECTION.
2. FLOOR DRAIN VENT SHALL BE 2" IF BELOW GRADE.

2 OR 3 BEDROOM GAS LOAD TABLE			
EQUIPMENT	INPUT (BTU)	REQUIRED PRESSURE	SYSTEM PRESSURE
GWH-1	40,000	4" W.C.	2 PSI
F-1	30,000	4.5" - 10" W.C.	2 PSI
RANGE	52,000	6" - 13" W.C.	2 PSI
DRYER	20,000	-	2 PSI
TOTAL LOAD PER UNIT	142,000 BTUS		

4 BEDROOM GAS LOAD TABLE			
EQUIPMENT	INPUT (BTU)	REQUIRED PRESSURE	SYSTEM PRESSURE
GWH-1	40,000	4" W.C.	2 PSI
F-2	40,000	4.5" - 10" W.C.	2 PSI
RANGE	52,000	6" - 13" W.C.	2 PSI
DRYER	20,000	-	2 PSI
TOTAL LOAD PER UNIT	152,000 BTUS		

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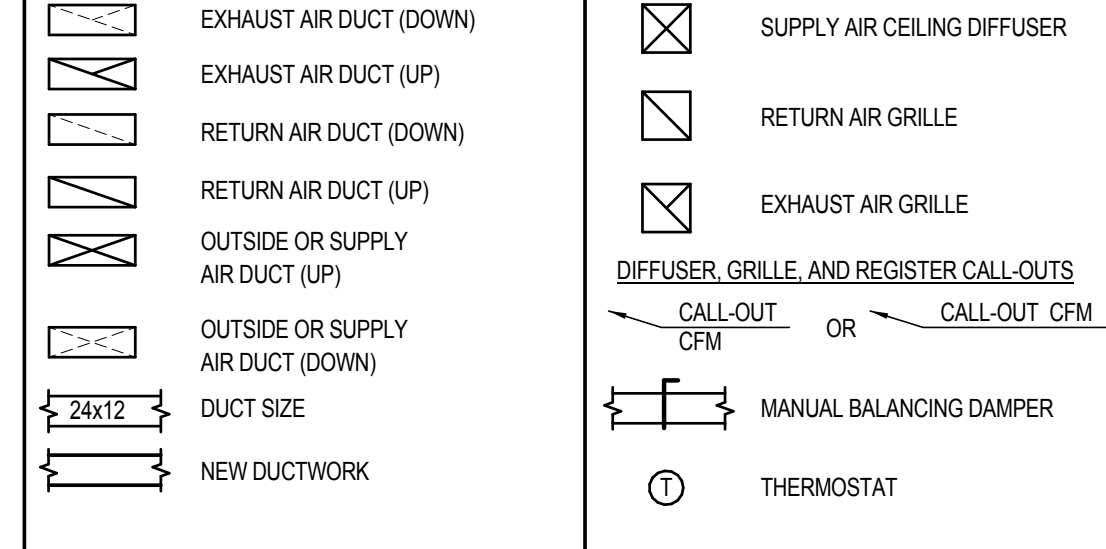
**PLUMBING
SCHEDULES**

P500

GENERAL MECHANICAL NOTES

- ALL WORK SHALL BE IN COMPLIANCE WITH STATE AND LOCAL CODES.
- THE CONTRACTOR SHALL PAY FOR ALL FEES, PERMITS, LICENSES, ETC., NECESSARY FOR PROPER COMPLETION OF THE WORK.
- INSTALL ALL EQUIPMENT IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- VERIFY ALL EXISTING CONDITIONS. NOTIFY ENGINEER OF ANY CONFLICTS BETWEEN CONTRACT DRAWINGS AND ACTUAL CONDITIONS.
- THESE DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. ADDITIONAL DATA SHALL BE FROM THE ENGINEER THROUGH WRITTEN CLARIFICATION ONLY. VERIFY ALL EXISTING CONDITIONS, ELEVATIONS, AND DIMENSIONS BEFORE PROCEEDING WITH ANY PORTION OF ANY WORK. THE CONTRACTOR SHALL PROVIDE ALL OFFSETS AND TRANSITIONS REQUIRED TO MEET EXISTING CONDITIONS.
- THE CONTRACTOR SHALL PERFORM WORK IN A SKILLED AND PROFESSIONAL MANNER.
- ALL CONTRACTORS ARE RESPONSIBLE TO FIELD COORDINATE WORK SCHEDULE WITH OWNER REPRESENTATIVE.
- THE CONTRACTOR SHALL WORK AND COORDINATE WITH THE OTHER TRADES.
- ALL EQUIPMENT SHALL BE NEW AND IN UNDAMAGED CONDITION. ANY EQUIPMENT FOUND DEFECTIVE SHALL BE IMMEDIATELY REMOVED FROM THE PROJECT AND REPLACED AT CONTRACTORS EXPENSE.
- DUCT MATERIAL SHALL BE GALVANIZED OR ALUMINUM CONSTRUCTED IN ACCORDANCE WITH SMACNA HVAC DUCT CONSTRUCTION STANDARD 2005 AND SMACNA HVAC AIR DUCT LEAKAGE MANUAL 2012 FOR THE PRESSURE AND SEAL CLASS LISTED IN THE PROJECT DUCTWORK/INSULATION SCHEDULE.
- DUCT SIZES LISTED ON PLANS ARE THE REQUIRED CLEAR INTERIOR DIMENSIONS.
- PROVIDE VOLUME CONTROL DAMPERS WHERE INDICATED AND AT ALL TAKEOFFS. BOTH SUPPLY AND RETURN SYSTEMS, AND MAJOR DUCT RUNS. DAMPERS SHALL BE FACTORY-FABRICATED WITH ZINC-PLATED, DIE-CAST CONTROL HARDWARE. CONTROL HARDWARE SHALL INCLUDE HEAVY GAUGE DIAL AND HANDLE WITH ELEVATED PLATFORM FOR INSULATED DUCT MOUNTING.
- ALL RECTANGULAR MAIN TO RECTANGULAR BRANCH CONNECTIONS, BOTH CONVERGING AND DIVERGING CONFIGURATIONS, SHALL HAVE A 45 DEG. ENTRY TAP CONSTRUCTED IN ACCORDANCE WITH SMACNA HVAC DUCT CONSTRUCTION STANDARD 2005 FIG. 4-6.
- MECHANICAL CONTRACTOR TO REPAIR ANY DAMAGE DONE TO THE FIRE PROOFING WHILE INSTALLING THE MECHANICAL TRADES. SEAL ALL PENETRATIONS THROUGH RATED STRUCTURES WITH UL LISTED FIRE SEAL DESIGNED FOR THE SPECIFIED APPLICATION.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OR AS OTHERWISE REQUIRED IN THE SPECIFICATIONS.
- MECHANICAL CONTRACTOR TO INCLUDE THE TEST AND BALANCE, AND ANY PERMIT FEES IN THEIR BID.
- UPON PROJECT COMPLETION, RECORD (AS-BUILT) DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR TO THE OWNER AND ENGINEER. ALL CHANGES IN PIPING AND DUCTWORK ARRANGEMENTS SHALL BE NOTED ON THE RECORD DRAWINGS.

MECHANICAL HVAC LEGEND



MECHANICAL SHEET INDEX

M000	MECHANICAL TITLE SHEET
M101A	MECHANICAL PLANS - BUILDINGS A, B, & C
M101B	MECHANICAL PLANS - BUILDING D
M400	MECHANICAL DETAILS AND SECTIONS
M500	MECHANICAL SCHEDULES

ABBREVIATIONS

A AMP	IN INCH	INSUL INSULATION
ADD ADDENDUM	J-BOX JUNCTION BOX	LAT LEAVING AIR TEMPERATURE
ADOL ADDITIONAL	LB POUND	LOC LOCATION
ADJ ADJUSTABLE	LV LOW VOLTAGE	MAX MAXIMUM
AFF ABOVE FINISH FLOOR	MBH 1000 BTU PER HOUR	MC MECHANICAL CONTRACTOR
AFG ABOVE FINISH GRADE	MCA MINIMUM CIRCUIT AMPS	MECH MECHANICAL
AI ANALOG INPUT	MIN MINIMUM	MFR MANUFACTURER
ALT ALTERNATE	BSMT BASEMENT	NFC NOT FOR CONSTRUCTION
AO ANALOG OUTPUT	BTUH BRITISH THERMAL UNIT PER HOUR	NIC NOT IN CONTRACT
APPRX APPROXIMATE	BTWN BETWEEN	NTS NOT TO SCALE
ARCH ARCHITECT, ARCHITECTURAL	C CENTER	OA OUTSIDE AIR
BDD BACK DRAFT DAMPER	CD CEILING DIFFUSER	OC ON CENTER
BLDG BUILDING	CFM CUBIC FEET PER MINUTE	OPNG OPENING
BI BLACK IRON	CHAR CHARACTERISTICS	OPP OPPOSITE
BOD BOTTOM OF DUCTWORK	CI CAST IRON	P PUMP
BOP BOTTOM OF PIPE	CIRC CIRCUIT	PC PLUMBING CONTRACTOR
BOT BOTTOM	CL OR TM CENTERLINE	PERP PERPENDICULAR
BSMT BASEMENT	CLR CLEAR	PLBG PLUMBING
BTUH BRITISH THERMAL UNIT PER HOUR	CO CLEAN OUT	PNL PANEL
BTWN BETWEEN	CONC CONCRETE	PPH POUNDS PER HOUR
C CENTER	CONT CONTINUOUS	PRES PRESSURE
CD CEILING DIFFUSER	CW COLD WATER	PSF POUNDS PER SQUARE FOOT
CFM CUBIC FEET PER MINUTE	DB DRY BULB	PSI POUNDS PER SQUARE INCH
CHAR CHARACTERISTICS	DEG DEGREE	PSIG POUNDS PER SQUARE INCH GAUGE
CI CAST IRON	DEPT DEPARTMENT	PWR POWER
CIRC CIRCUIT	DET DETAIL	QTY QUANTITY
CL OR TM CENTERLINE	DI DIGITAL INPUT	R RADIUS
CLR CLEAR	DIA DIAMETER	RA RETURN AIR
CO CLEAN OUT	DIM DIMENSION	REL RELIEF
CONC CONCRETE	DN DOWN	REQD REQUIRED
CONT CONTINUOUS	DO DIGITAL OUTPUT	REV REVERSE OR REVISION
CW COLD WATER	DWG DRAWING	RG RETURN AIR GRILLE
DB DRY BULB	EA EXHAUST AIR	RPM REVOLUTIONS PER MINUTE
DEG DEGREE	EAT ENTERING AIR TEMPERATURE	SA SUPPLY AIR
DEPT DEPARTMENT	EC ELECTRICAL CONTRACTOR	SAN SANITARY
DET DETAIL	EF EXHAUST FAN	SCH SCHEDULE
DI DIGITAL INPUT	EG EXHAUST GRILLE	SECT SECTION
DIA DIAMETER	EL ELEVATION	SEP SEPARATOR
DIM DIMENSION	ELEC ELECTRICAL	SF SQUARE FEET
DN DOWN	EQ EQUAL	SG SUPPLY GRILLE
DO DIGITAL OUTPUT	EQUIP EQUIPMENT	SHT SHEET
DWG DRAWING	ESP EXTERNAL STATIC PRESSURE	SHWR SHOWER
EA EXHAUST AIR	EST ESTIMATE OR ESTIMATED	SM SIMILAR
EAT ENTERING AIR TEMPERATURE	FA FRESH AIR	SP STATIC PRESSURE
EC ELECTRICAL CONTRACTOR	FOO FLOOR CLEANOUT	SPEC SPECIFICATIONS
EF EXHAUST FAN	FD FLOOR DRAIN	SQ SQUARE
EG EXHAUST GRILLE	FLR FLOOR	T&B TEST AND BALANCE
EL ELEVATION	FPM FEET PER MINUTE	T&P TEMPERATURE AND PRESSURE
ELEC ELECTRICAL	FT FOOT (FEET)	RELIEF VALVE
EQ EQUAL	FURN FURNACE	TEMP TEMPERATURE OR TEMPORARY
EQUIP EQUIPMENT	GA GAUGE/GAGE	TYP TYPICAL
ESP EXTERNAL STATIC PRESSURE	GAL GALLON	UNO UNLESS NOTED OTHERWISE
EST ESTIMATE OR ESTIMATED	GALV GALVANIZED	V VOLT
FA FRESH AIR	GC GENERAL CONTRACTOR	VAR VARIABLE OR VARIES
FOO FLOOR CLEANOUT	GPM GALLONS PER MINUTE	VEL VELOCITY
FD FLOOR DRAIN	GYP GYPSUM	VERT VERTICAL
FLR FLOOR	HB HOSE BIB	VFD VARIABLE FREQUENCY DRIVE
FPM FEET PER MINUTE	HORIZ HORIZONTAL	VOL VOLUME
FT FOOT (FEET)	HP HORSEPOWER	VTR VENT THRU ROOF
FURN FURNACE	HT HEIGHT	W WITH
GA GAUGE/GAGE	HW HOT WATER	WIN WITHIN
GAL GALLON	IO INPUT/OUTPUT	WIO WITH OUT
GALV GALVANIZED	IE INVERT ELEVATION	WB WET BULB
GC GENERAL CONTRACTOR		WC WATER COLUMN (INCHES OF)
GPM GALLONS PER MINUTE		WG WATER GAUGE
GYP GYPSUM		WP WEATHER PROOF
HB HOSE BIB		WP WORKING PRESSURE
HORIZ HORIZONTAL		WT WEIGHT
HP HORSEPOWER		
HT HEIGHT		
HW HOT WATER		
IO INPUT/OUTPUT		
IE INVERT ELEVATION		

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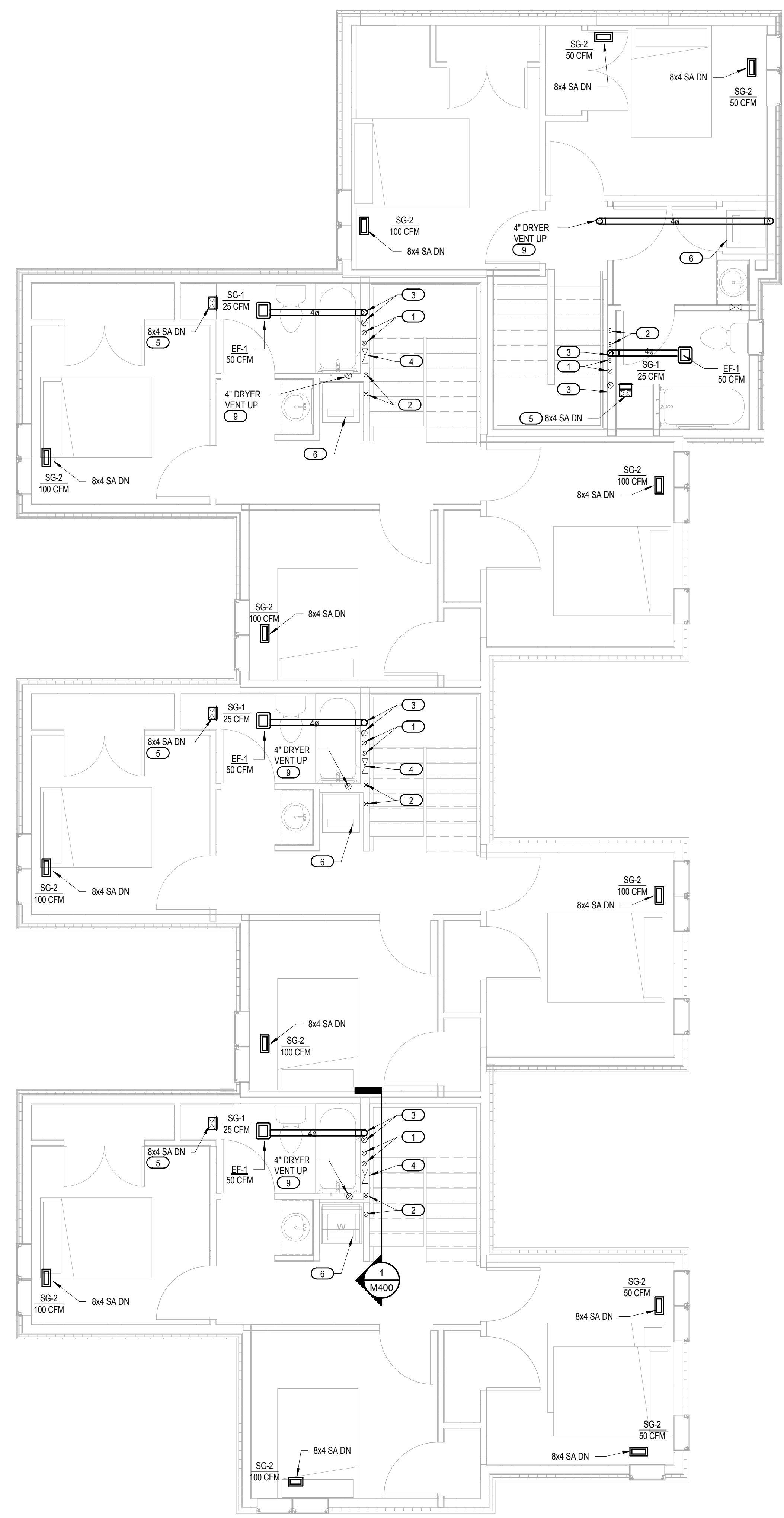
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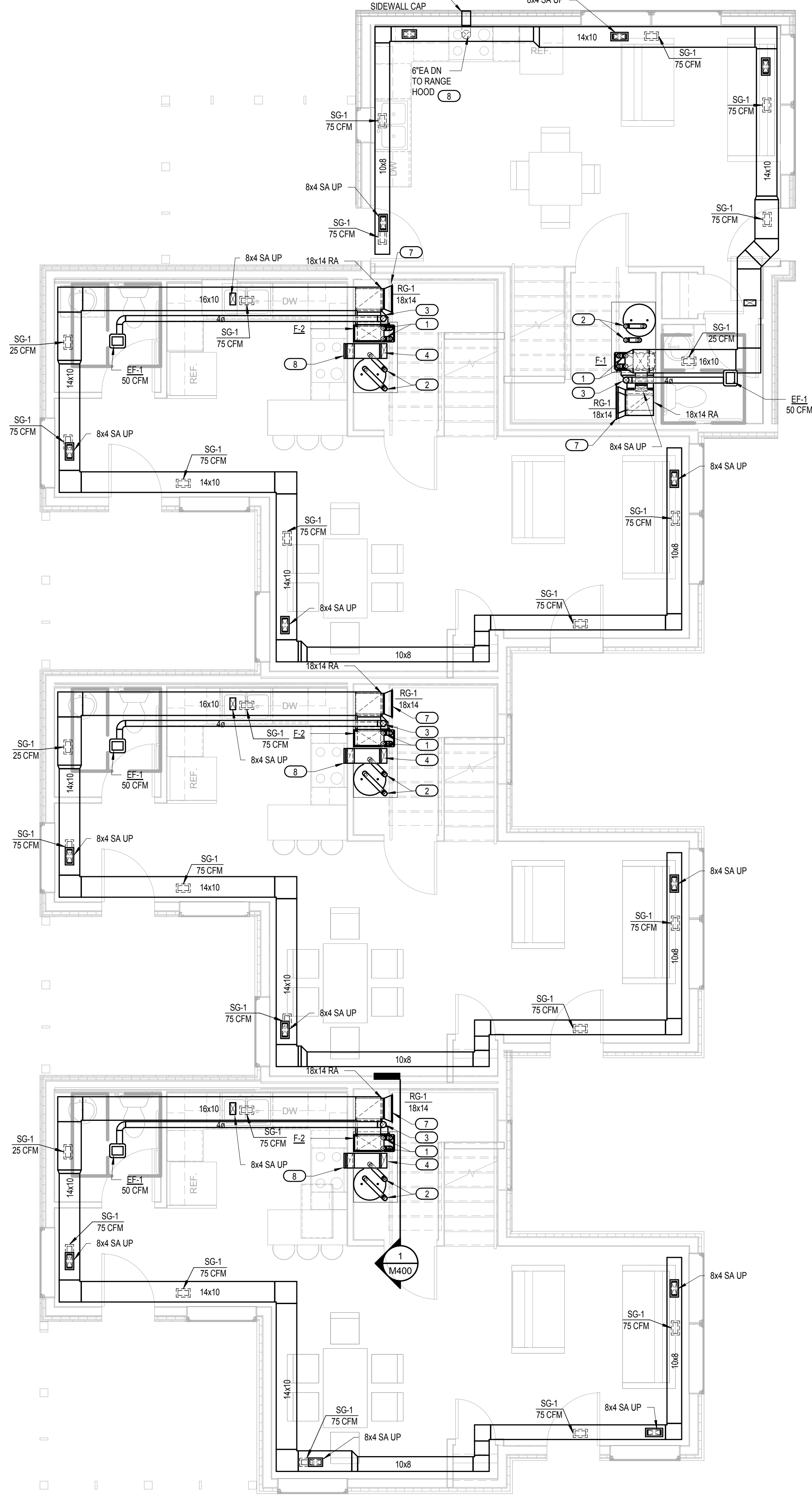
MECHANICAL TITLE SHEET

M000

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2 MECHANICAL PLAN - LEVEL TWO - BUILDINGS A, B, & C
 1/4" = 1'-0"



1 MECHANICAL PLAN - LEVEL ONE - BUILDINGS A, B, & C
 1/4" = 1'-0"

GENERAL NOTES

- REFER TO M000 FOR ADDITIONAL NOTES, SYMBOLS, AND ABBREVIATIONS.

- KEYED NOTES**
- 1 FURNACE 3" COMBUSTION AIR AND FLUE UP. COMBUSTION AIR AND FLUE DUCTS TO CONNECT IN ATTIC SPACE FOR INSTALLATION OF CONCENTRIC VENT ADAPTER.
 - 2 WATER HEATER 3" COMBUSTION AIR AND FLUE UP. COMBUSTION AIR AND FLUE DUCTS TO CONNECT IN ATTIC SPACE FOR INSTALLATION OF CONCENTRIC VENT ADAPTER.
 - 3 4" BATHROOM EXHAUST UP. BATHROOM EXHAUST SHALL TERMINATE VIA ROOF CAP WITH BACK DRAFT DAMPER.
 - 4 10x3-1/4" RANGE HOOD EXHAUST DUCT UP. INSTALL MANUFACTURER PROVIDED 10x3-1/4" TO 6" DIAMETER ADAPTER IN ATTIC AND TERMINATE VIA ROOF CAP.
 - 5 DUCT TO RISE UP THROUGH FLOOR INTO SOFFIT ABOVE. GRILLE SHALL BE INSTALLED AT SOFFIT FACE 6" AFF.
 - 6 DRYER PROVIDED BY OTHERS. CONNECT DUCTWORK TO DRYER AS REQUIRED. COORDINATE WITH OTHER TRADES.
 - 7 RETURN GRILLE SHALL BE INSTALLED ON STAIR LANDING A MINIMUM OF 4" ABOVE STAIR LANDING.
 - 8 RANGE HOOD PROVIDED BY OTHERS. CONNECT DUCTWORK TO HOOD AS REQUIRED. COORDINATE WITH OTHER TRADES.
 - 9 DRYER VENT SHALL TERMINATE VIA ROOF CAP.

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MECHANICAL PLANS - BUILDINGS A, B, & C

M101A



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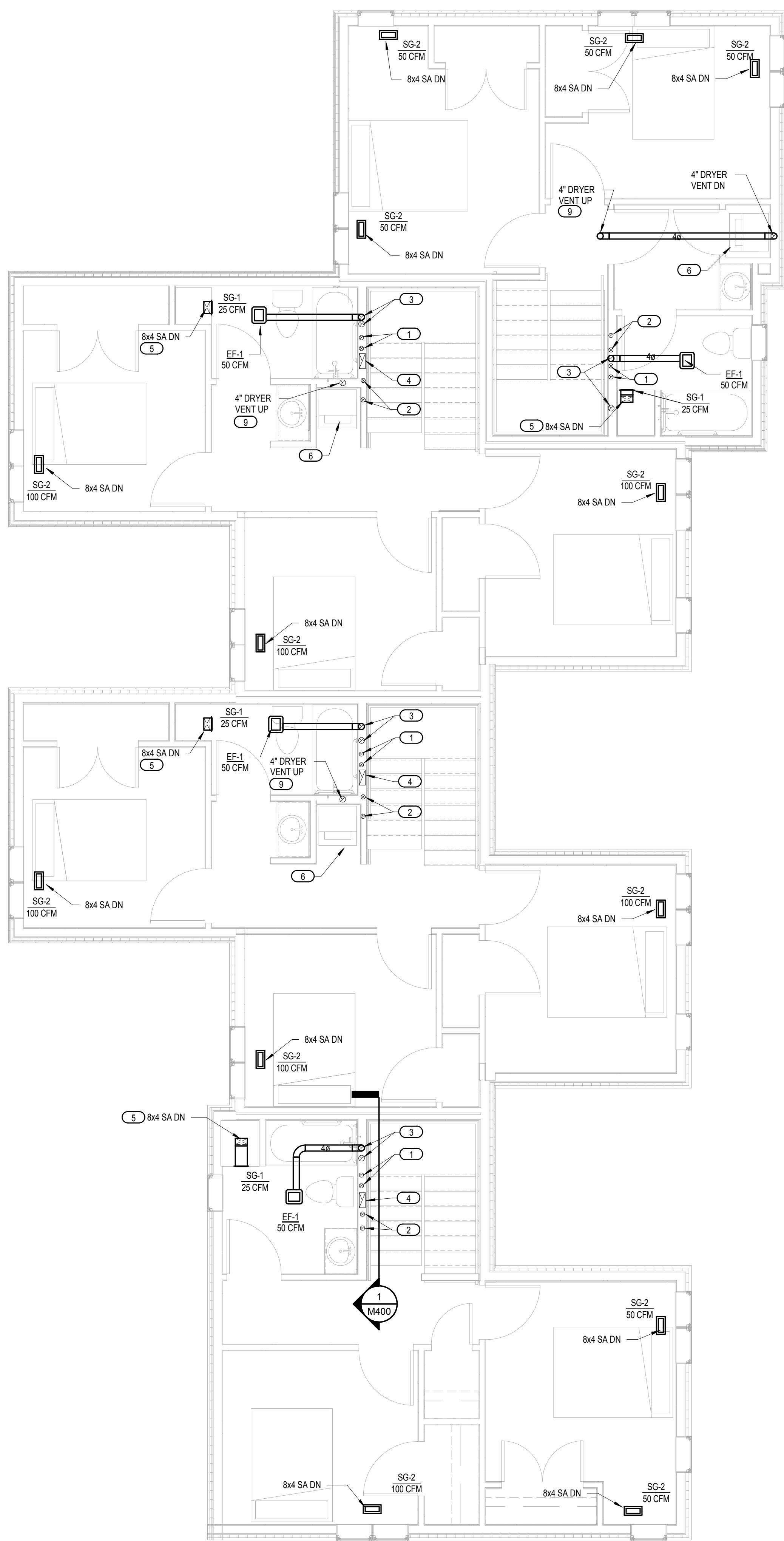
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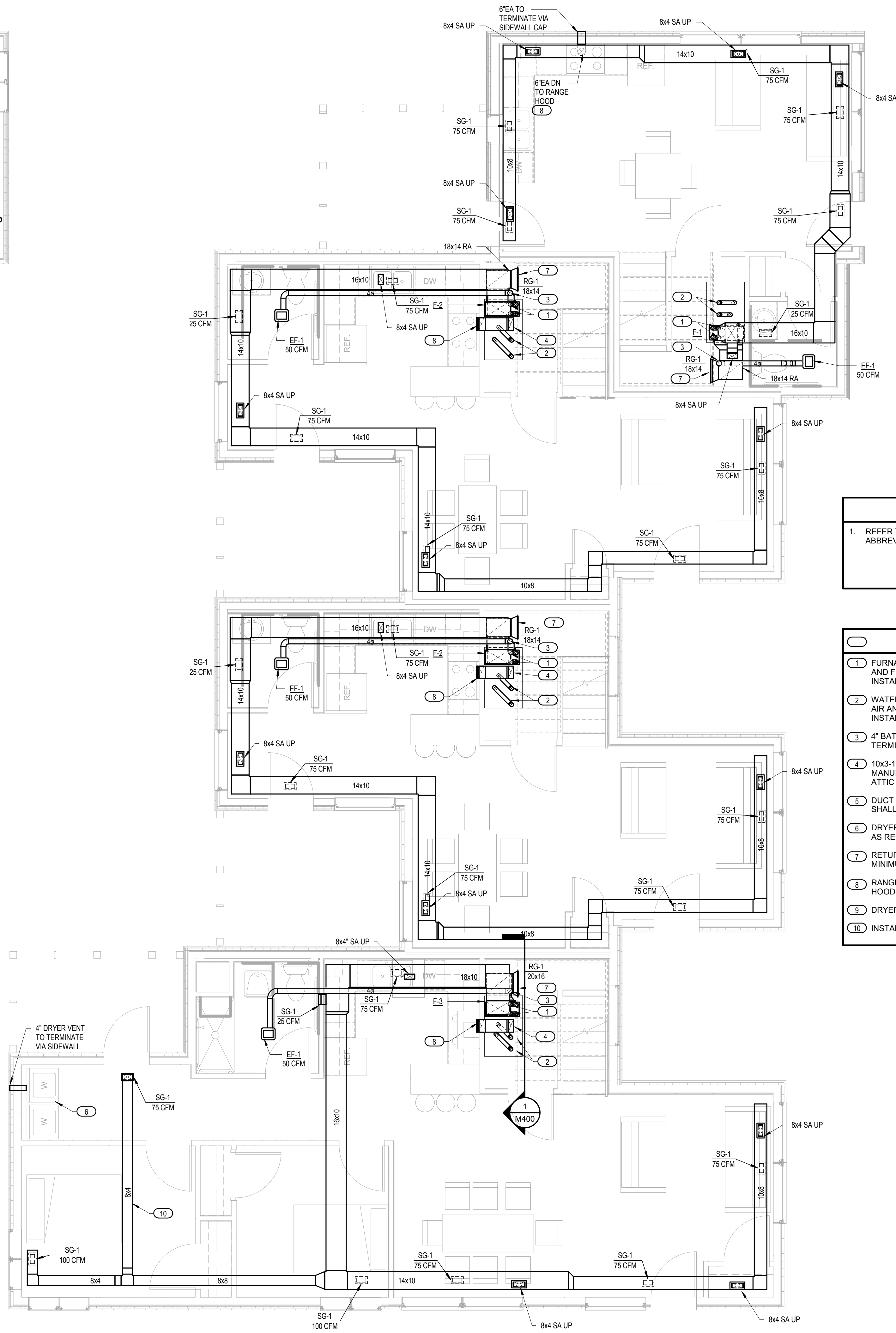
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MECHANICAL
PLANS - BUILDING
D

M101B



2 MECHANICAL PLAN - LEVEL TWO - BUILDING D
1/4" = 1'-0"



1 MECHANICAL PLAN - LEVEL ONE - BUILDING D
1/4" = 1'-0"

GENERAL NOTES
1. REFER TO M000 FOR ADDITIONAL NOTES, SYMBOLS, AND ABBREVIATIONS.

- KEYED NOTES**
- 1 FURNACE 3" COMBUSTION AIR AND FLUE UP. COMBUSTION AIR AND FLUE DUCTS TO CONNECT IN ATTIC SPACE FOR INSTALLATION OF CONCENTRIC VENT ADAPTER.
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 - 4 10x3-1/4" RANGE HOOD EXHAUST DUCT UP. INSTALL MANUFACTURER PROVIDED 10x3-1/4" TO 6" DIAMETER ADAPTER IN ATTIC AND TERMINATE VIA ROOF CAP.
 - 5 DUCT TO RISE UP THROUGH FLOOR INTO SOFFIT ABOVE. GRILLE SHALL BE INSTALLED AT SOFFIT FACE 6" AFF.
 - 6 DRYER PROVIDED BY OTHERS. CONNECT DUCTWORK TO DRYER AS REQUIRED. COORDINATE WITH OTHER TRADES.
 - 7 RETURN GRILLE SHALL BE INSTALLED ON STAIR LANDING WALL A MINIMUM OF 4" ABOVE STAIR LANDING.
 - 8 RANGE HOOD PROVIDED BY OTHERS. CONNECT DUCTWORK TO HOOD AS REQUIRED. COORDINATE WITH OTHER TRADES.
 - 9 DRYER VENT SHALL TERMINATE VIA ROOF CAP.
 - 10 INSTALL SUPPLY DUCT WITHIN JOIST SPACE.

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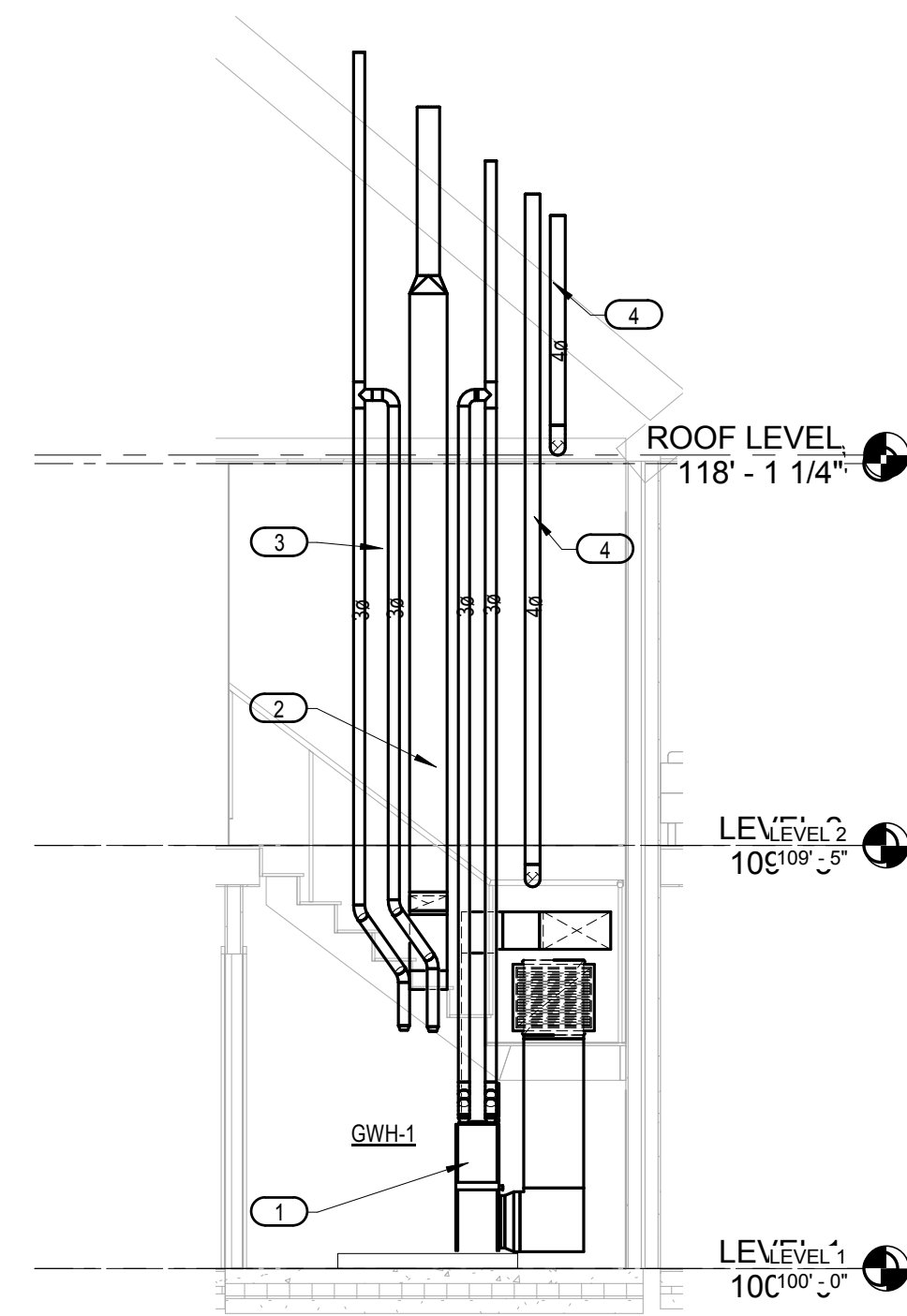
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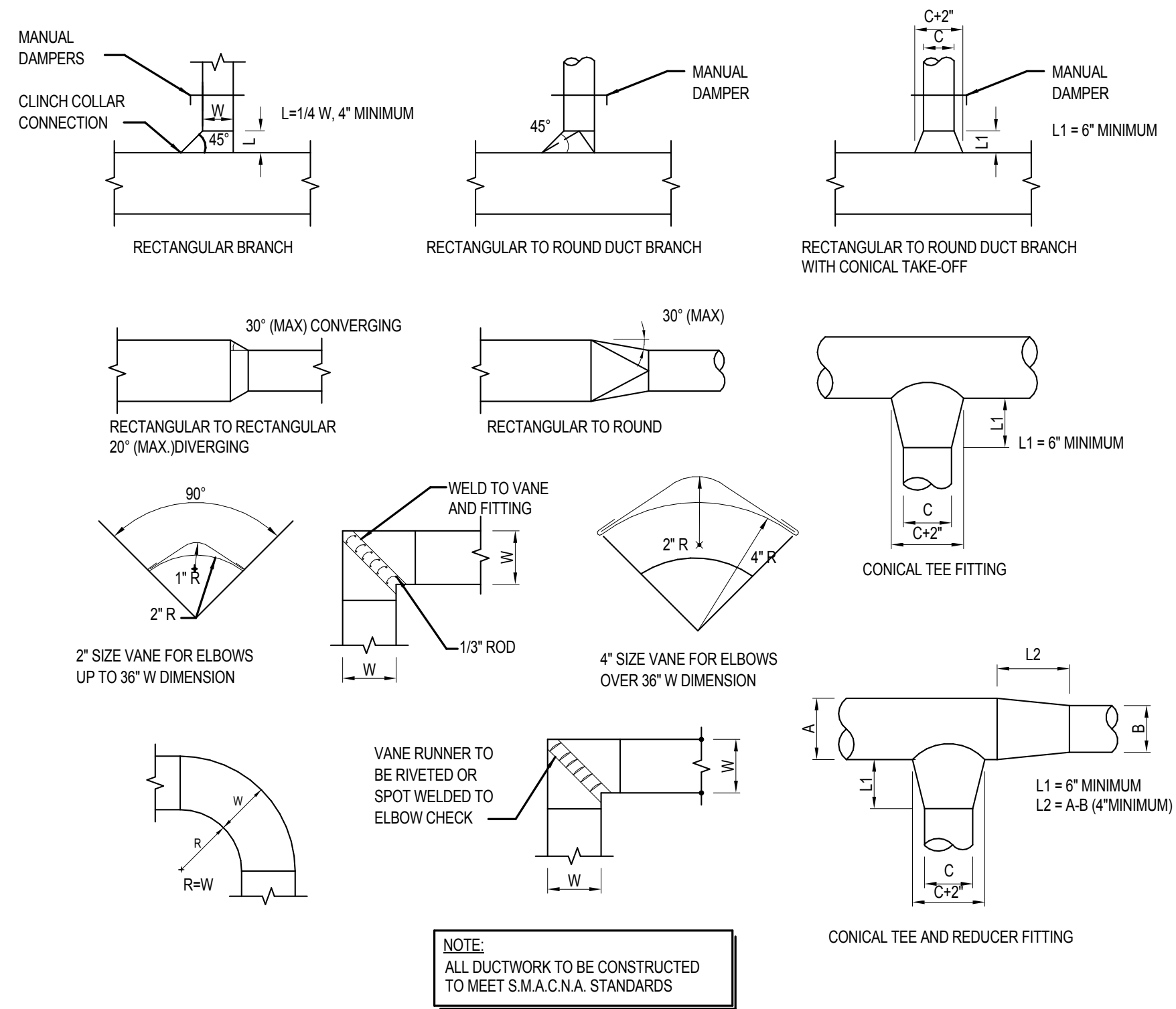
MECHANICAL DETAILS AND SECTIONS

M400

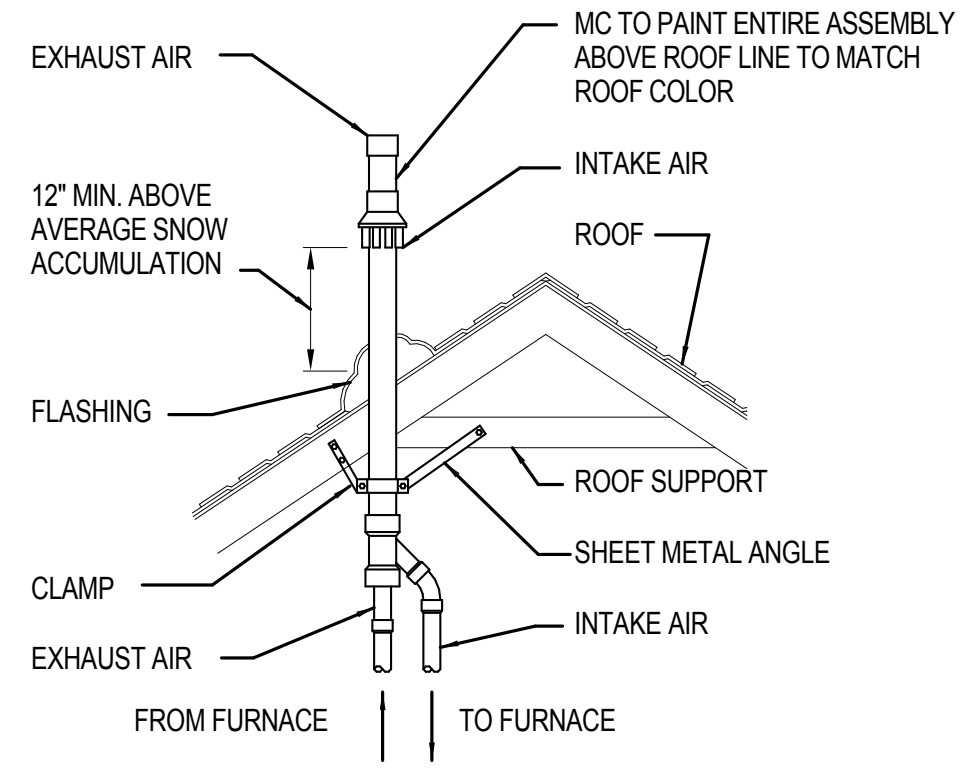


- | KEY | KEYED NOTES |
|-----|------------------------------|
| 1 | F-1, F-2, OR F-3. SEE PLANS. |
| 2 | 10x3-1/4" RANGE HOOD DUCT. |
| 3 | 4"Ø DRYER VENT. |
| 4 | 4"Ø BATHROOM EXHAUST DUCT. |

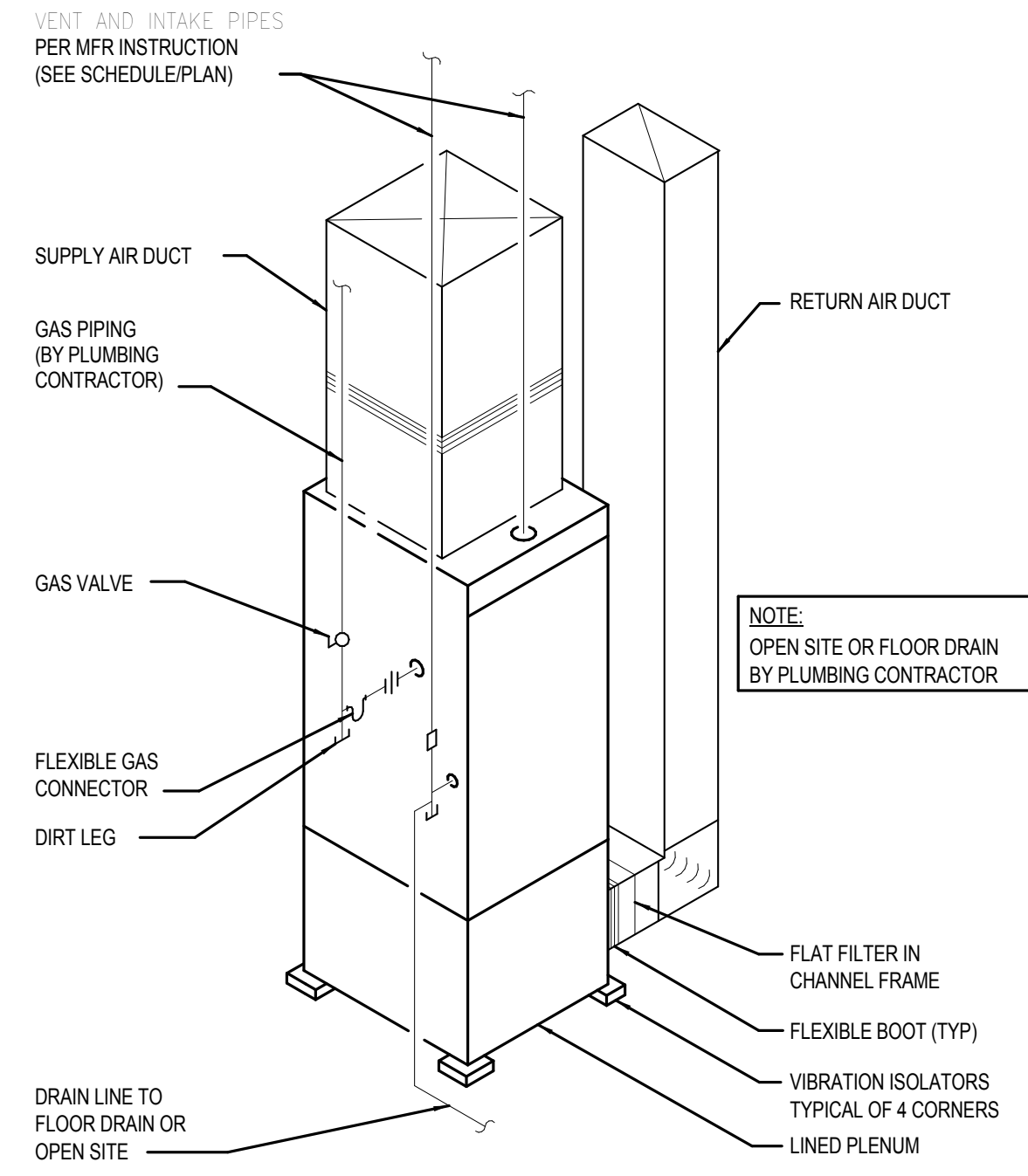
1 MECHANICAL ROOM SECTION
 1/4" = 1'-0"



4 TYPICAL DUCTWORK DETAILS
 NOT TO SCALE



3 FURNACE VENT TERMINATION DETAIL
 NOT TO SCALE



2 GAS FURNACE DETAIL
 NOT TO SCALE

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GAS FURNACE SCHEDULE																	
F #	HEATING						BLOWER						MANUFACTURER & MODEL NO.	NOTES			
	TYPE	LOW-FIRE INPUT (MBH)	LOW-FIRE OUTPUT MBH	HIGH-FIRE INPUT MBH	HIGH-FIRE OUTPUT MBH	AFUE	C.F.M.	EXT. S.P.	RPM	H.P.	ELEC. CHAR	UNIT AMPS			MOP	VENT	FILTER
1	GAS-FIRED	21	20.2	30	28.8	96	625	0.5	1075	1/2	120/160	8	15	3"	25x16	GOODMAN GMEC960302BN	1
2	GAS-FIRED	21	20.2	30	28.8	96	725	0.5	1075	1/2	120/160	8	15	3"	25x16	GOODMAN GMEC960302BN	1
3	GAS-FIRED	28	26.9	40	38.4	96	825	0.5	1075	1/2	120/160	8	15	3"	25x16	GOODMAN GMEC960402BN	1

NOTES:
1. PROVIDE CONCENTRIC VENT. INSTALL PER MANUFACTURER INSTRUCTIONS.
2. PROVIDE ISOLATION PADS PER MANUFACTURER'S RECOMMENDATIONS.

GRILLE, REGISTER, AND DIFFUSER SCHEDULE					
PLAN SYMBOL	DESCRIPTION	MANUFACTURER & MODEL NO.	MATERIAL	FINISH	NOTES
SG-1	8x4 FACE, TWO-WAY DEFLECTION BLADES, 40° FIXED DEFLECTION, 1/2" BLADE SPACING, MULTI-SHUTTER DAMPER	HART AND COOLEY 682	ALUMINUM	-	1
SG-2	8x6 FACE, SINGLE DEFLECTION BLADES, 1/2" BLADE SPACING, TOE OPERATED DAMPER	HART AND COOLEY 210	ALUMINUM	-	1
RG-1	SEE PLANS FOR SIZE, SINGLE DEFLECTION BLADES, 45° FIXED DEFLECTION, 1/2" BLADE SPACING, HORIZONTAL BLADES	PRICE 536S	ALUMINUM	-	1

NOTES:
1. ARCHITECT TO SELECT FINISH.

EXHAUST FAN SCHEDULE											
EF #	LOCATION	SYSTEM	LOW CFM	HIGH CFM	SP (IN)	RPM	ELECTRICAL CHAR	FAN TYPE	INTERLOCK/CONTROL	MANUFACTURER & MODEL NO.	NOTES
1	SEE PLAN	BATHROOM EXHAUST	30	50	0.25	1072	120/60/1	CEILING MOUNTED	MULTI-SPEED WITH TIME DELAY	PANASONIC FV-05-11VK1	1-4

NOTES:
1. PROVIDE 4" DUCT ADAPTER.
2. PROVIDE FV-VS15VK1 MULTI-SPEED WITH TIME DELAY. PRE-SET LOWER LEVEL OF 30 CFM. MAX LEVEL OPERATION OF 50 CFM WHEN WALL SWITCH IS TURNED ON.
3. USER TO PRESET HIGH/LOW DELAY TIMER TO RETURN TO LOWER CFM LEVEL.
4. PROVIDE BACK DRAFT DAMPER AT ROOF CAP.
5. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

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Print Names: _____

Date: _____ License No: _____

ISSUE	MARK	DATE	DESCRIPTION

PROJECT NO: **M10.17.02**

PROJECT PHASE: **GC 90% REVIEW SET**

DRAWN BY: **BTB** CHECKED BY: **LJN**

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**MECHANICAL
SCHEDULES**

M500

GENERAL ELECTRICAL NOTES

- ALL WORK SHALL BE IN CONFORMANCE WITH NATIONAL, STATE, AND LOCAL CODES AND/OR ORDINANCES.
- ELECTRICAL CONTRACTOR SHALL COORDINATE WORK WITH ALL OTHER CONTRACTORS & LOCAL UTILITY. E.C. SHALL CONTACT LOCAL UTILITY FOR EXACT SERVICE REQUIREMENTS TO INCLUDE BUT NOT LIMITED TO TRANSFORMER, METERING AND CABLING. LOCAL UTILITY REQUIREMENTS SUPERSEDE DRAWINGS AND SPECIFICATIONS.
- SEE ARCHITECTURAL, MECHANICAL, & PLUMBING DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- ELECTRICAL DRAWINGS ARE DIAGRAMMATIC ONLY. THEY ARE INTENDED TO GIVE APPROXIMATE LOCATIONS AND OVERALL DESIGN INTENT. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PRODUCTS, MATERIALS, AND ELECTRICAL METHODS WHICH HAVE NOT BEEN SHOWN OR INDICATED BUT ARE REQUIRED FOR A COMPLETE SYSTEM TO THE STANDARDS OF THE INDUSTRY.
- INSTALL LIGHTING FIXTURES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. PROVIDE SUPPORTING DEVICES FOR ADEQUATE SUPPORT OF FIXTURES FROM STRUCTURE.
- UPON COMPLETION OF THE ELECTRICAL WORK, THE INSTALLATION SHALL BE TESTED FOR CONTINUITY, GROUNDS, AND SHORT CIRCUITS. THE ELECTRICAL CONTRACTOR SHALL DEMONSTRATE PROPER PERFORMANCE OF ALL SYSTEMS. ALL DEFECTIVE WORK OR MATERIALS SHALL BE REPLACED OR REPAIRED AS NECESSARY AND RETESTED.
- ELECTRICAL RACEWAYS THAT PENETRATE FIRE RATED ASSEMBLIES SHALL BE SLEEVED AND SEALED AS PER THE LOCAL BUILDING CODE.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE A TEMPORARY ELECTRICAL SYSTEM FOR THE PROJECT. AT LEAST ONE 120 VOLT SINGLE PHASE RECEPTACLE SHALL BE PROVIDED FOR EACH 500 SQUARE FEET OF FLOOR SPACE. SUFFICIENT TEMPORARY LIGHTING SHALL BE PROVIDED TO ALLOW ALL CONTRACTORS TO COMPLETE THEIR WORK. TEMPORARY ELECTRICAL CIRCUITS SHALL BE EQUIPPED WITH COMBINATION GROUND FAULT INTERRUPTER AND CIRCUIT BREAKER PER NEC. TEMPORARY ELECTRICAL SYSTEM SHALL BE INCLUDED IN THIS BID. USAGE CHARGES SHALL BE PAID FOR BY THE GENERAL CONTRACTOR.
- ELECTRICAL DEVICES/EQUIPMENT SHOWN AS DASHED AND BOLD ARE EXISTING TO BE REMOVED. ELECTRICAL DEVICES/EQUIPMENT SHOWN AS LIGHT AND SOLID ARE EXISTING TO REMAIN. AND ELECTRICAL DEVICES/EQUIPMENT SHOWN AS BOLD AND SOLID SHALL BE NEW.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASSOCIATED COSTS AND SCHEDULING OF REQUIRED ELECTRICAL INSPECTIONS.

ELECTRICAL SYMBOLS LEGEND	
RECEPTACLES	LIGHTING
20A 120V 2P 3W GROUNDING DUPLEX RECEPTACLE DUPLEX RECEPTACLE - (1 SWITCHED & 1 UNSWITCHED) SINGLE-PLEX RECEPTACLE QUADPLEX RECEPTACLE GFCI RECEPTACLE RECEPTACLE MTD. 6" ABOVE COUNTER OR HGT SHOWN TAMPER RESISTANT RECEPTACLE WEATHER-PROOF GFCI RECEPTACLE QUADPLEX FLOORBOX 120V, 15A CLOCK OUTLET	FIXTURE TYPE PER SCHEDULE TROFFER STYLE FIXTURE, TYPE AS NOTED SWITCH LEGS FIXTURE ON EMERGENCY POWER STRIP LIGHT / SUSPENDED DIRECT/INDIRECT SURFACE MTD FIXTURE TRACK LIGHTING PENDANT/SURFACE MTD UP/DOWN LIGHT RECESSED/DOWNLIGHT FIXTURE ACCENT FIXTURE WALL MOUNTED FIXTURE EXIT SIGN (ARROWS INDICATED AS SHOWN) - (SHADING INDICATES # OF FACES) CLG MTD EMERGENCY FIXTURE EMERGENCY FIXTURE COMBO EMERGENCY/EXIT LIGHT - (ARROW INDICATES DIRECTION) - (SHADING INDICATES # OF FACES) BOLLARDS/SIDEWALK LIGHT FLOOD LIGHT SINGLE HEAD FIXTURE/POLE TWIN HEAD FIXTURE/POLE
COMMUNICATIONS	SWITCHING
SURFACE MOUNTED RACEWAY WITH DEVICES AS NOTED TELEPHONE TELEPHONE/DATA DATA ONLY COMMUNICATION DEVICE MTD. 6" ABOVE COUNTER OR HGT SHOWN WIRELESS ACCESS POINT CEILING MOUNTED SPEAKER WALL MOUNTED SPEAKER SPEAKER VOLUME CONTROL TELEVISION OUTLET	20A, 120/277V SPST SWITCH 20A, 120/277V 3-WAY SWITCH 20A, 120/277V 4-WAY SWITCH DIMMER SWITCH KEY OPERATED SWITCH MOMENTARY CONTACT SWITCH LOW VOLTAGE SWITCH THERMAL OVERLOAD SWITCH PILOT LIGHT CEILING MTD OCC. SENSOR PHOTOCELL
POWER	FIRE ALARM
PANEL BOARD DISTRIBUTION PANEL BOARD SEPARATE CIRCUIT BREAKER UTILITY METER DISCONNECT FUSED DISCONNECT SWITCH EMERGENCY FUSED DISCONNECT SWITCH TRANSFORMER MOTOR STARTER/CONTACTOR COMBINATION MOTOR STARTER PUSH BUTTON STATION AS NOTED J-BOX FLOOR BOX OVERHEAD BOX PULL BOX, SIZE AS NOTED OR AS REQUIRED BY CODE ELECTRICAL EQUIPMENT CONNECTION MOTOR CONNECTION CEILING FAN CABLE TRAY RUN HOME RUN TO PANEL BOARD	MANUAL PULL STATION 46" A.F.F. CENTER STROBE ONLY 84" A.F.F. TO CENTER 15CD, 30CD, 75CD, 110CD HORN/STROBE 84" A.F.F. TO CENTER 15CD, 30CD, 75CD, 110CD SMOKE DETECTOR INDICATES ELEVATOR RECALL HEAT DETECTOR DUCT DETECTOR FIRE BARRIER CONNECTION SPRINKLER FLOW SWITCH TAMPERS FLOW SWITCH MAGNETIC DOOR HOLD FIRE ALARM CONTROL PANEL FIRE ALARM ANNUNCIATOR PANEL

ELECTRICAL ABBREVIATIONS	
AC ABOVE COUNTERTOP	MC MECHANICAL CONTRACTOR
AFF ABOVE FINISH FLOOR	MCA MINIMUM CIRCUIT AMPS
AFG ABOVE FINISH GRADE	MDP MAIN DISTRIBUTION PANEL
ANNC ANNUNCIATOR	MTD MOUNTED
CC CONTROLS CONTRACTOR	OCC OCCUPANCY
EC ELECTRICAL CONTRACTOR	PC PLUMBING CONTRACTOR
EX EXISTING	PNL PANEL
EXR EXISTING RELOCATED	SPST SINGLE POLE SINGLE THROW
GC GENERAL CONTRACTOR	WP WEATHER PROOF
GFCI GROUND FAULT CIRCUIT INTERRUPT	20A 20 AMP
IBC INTERNATIONAL BUILDING CODE	3W 3 WIRE
IG ISOLATED GROUND	20/1 20 AMP, SINGLE PHASE
HP HORSEPOWER	
LV LOW VOLTAGE	

ELECTRICAL SHEET INDEX	
E000	ELECTRICAL TITLE SHEET
E001	ELECTRICAL SITE PLAN
E100A	ELECTRICAL POWER PLANS - BUILDINGS A, B, & C
E100B	ELECTRICAL POWER PLANS - BUILDING D
E101A	ELECTRICAL LIGHTING PLANS - BUILDINGS A, B, & C
E101B	ELECTRICAL LIGHTING PLANS - BUILDING D
E400	ONE-LINE DIAGRAM & DETAILS
E500	ELECTRICAL SCHEDULES



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Date: _____ License No: _____

ISSUE	MARK	DATE	DESCRIPTION

PROJECT NO: M10.17.02

PROJECT PHASE GC 90% REVIEW SET

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ELECTRICAL TITLE SHEET

E000



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- KEYED NOTES**
- ① PROPOSED LOCATION OF ELECTRICITY METERS FOR THE FOUR UNITS.
 - ② PROVIDE UNDERGROUND PVC CONDUIT FROM THIS LOCATION TO PULL BOX BY THE PROPERTY LINE FOR TELECOMMUNICATION AND CABLE UTILITY SERVICES.
 - ③ PROVIDE GFCI RECEPTACLES AND LIGHT FIXTURE TYPE F.
 - ④ PROPOSED LOCATION OF 50KVA UTILITY TRANSFORMER.
 - ⑤ PROVIDE UNDERGROUND 4" PVC CONDUIT FROM UTILITY TRANSFORMER TO ELECTRICITY METERS.
 - ⑥ LOCATION OF HOUSE PANELBOARD.
 - ⑦ EXISTING LIGHT POLE TO REMAIN.
 - ⑧ EXISTING LIGHT POLE TO BE RELOCATED. REMOVE AND SALVAGE FOR NEW LOCATION
 - ⑨ PROPOSED LOCATION FOR SALVAGED LIGHT POLE.
 - ⑩ EXISTING XCEL ENERGY POWER POLE TO REMAIN. IF OWNER DECIDES TO MOVE POLE, THIS WORK HAS TO BE DONE BY XCEL ENERGY AT THE COST OF THE OWNER.

1 ELECTRICAL SITE PLAN
 1" = 30'-0"

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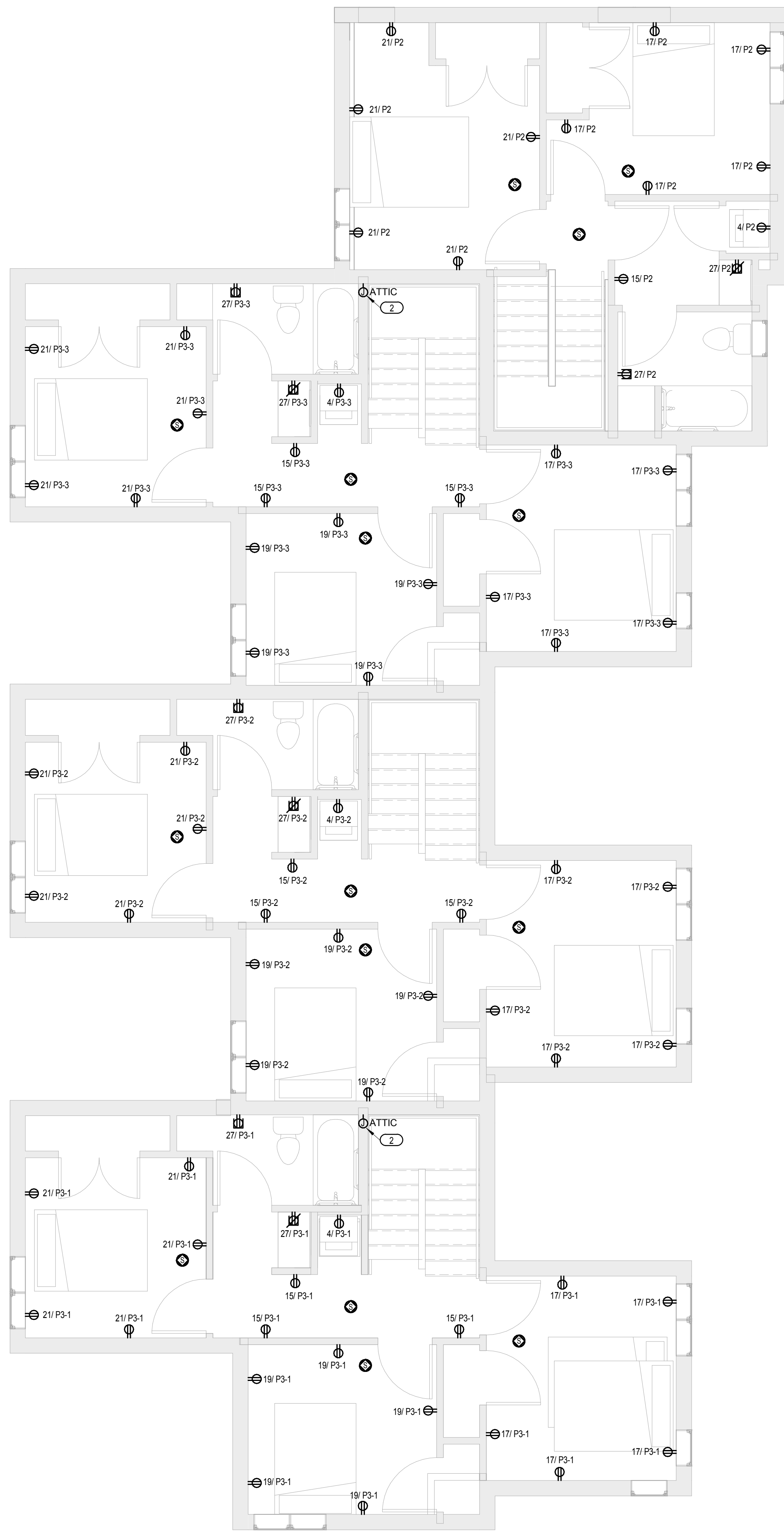
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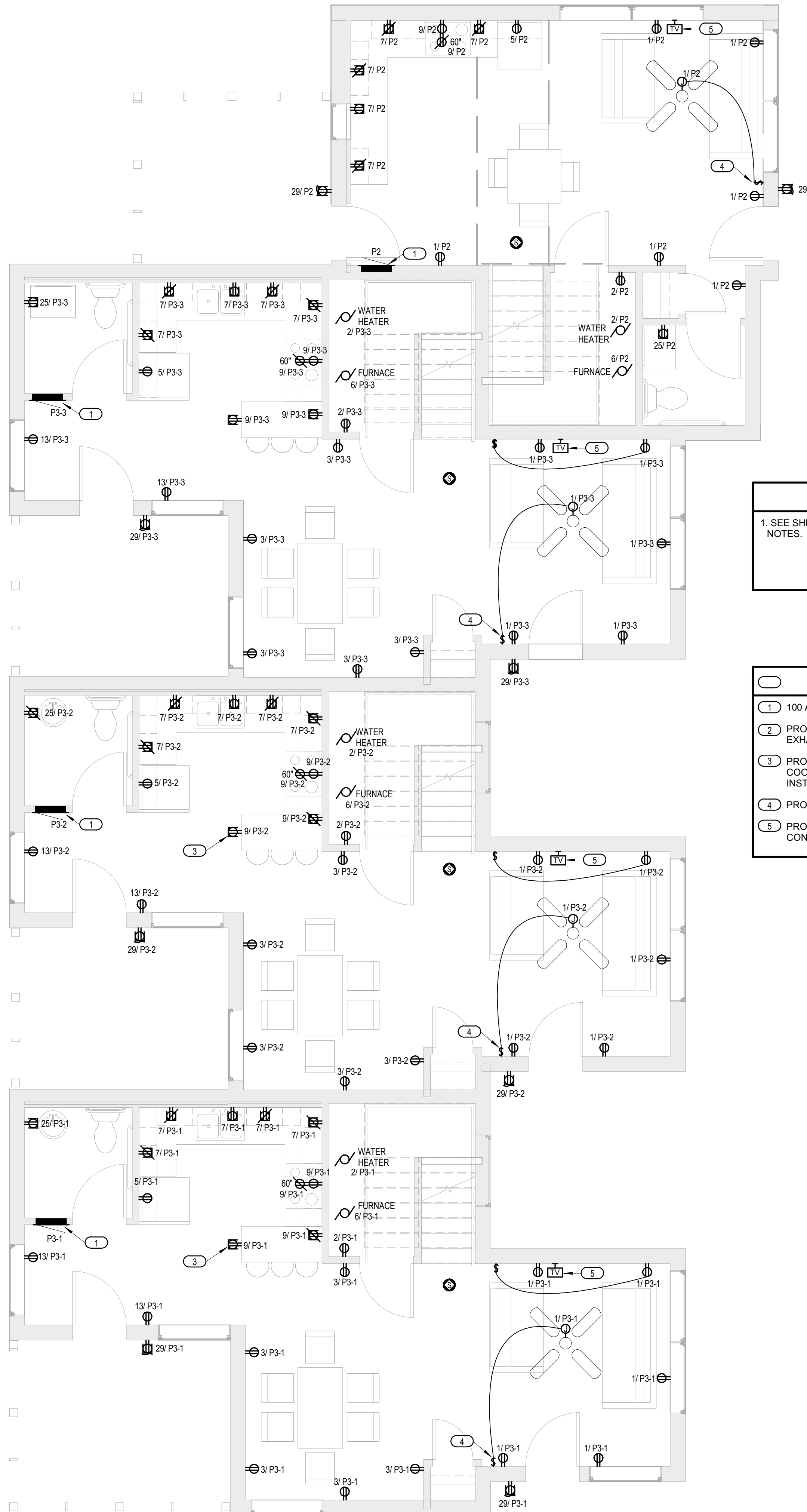
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ELECTRICAL SITE PLAN

E001



2 LEVEL 2 - OVERALL POWER
1/4" = 1'-0"



1 LEVEL 1 - OVERALL POWER
1/4" = 1'-0"

GENERAL NOTES

1. SEE SHEET E000 FOR SYMBOLS AND ABBREVIATIONS AND GENERAL NOTES.

KEYED NOTES

- 1 100 AMP MCB PANELBOARD LOCATION.
- 2 PROVIDE JBOX IN ATTIC SPACE FOR RADON MITIGATION SYSTEM EXHAUST FAN.
- 3 PROVIDE GFCI RECEPTACLE IN PENINSULAR COUNTERTOP SPACE. COORDINATE LOCATION OF RECEPTACLE WITH COUNTERTOP INSTALLER.
- 4 PROVIDE SWITCHED CONNECTION FOR POWERED CEILING FAN.
- 5 PROVIDE 'LEGRAND TPELTVW' COMBINATION COAXIAL CONNECTOR AND RJ11 TELEPHONE JACK.



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MARK	DATE	DESCRIPTION

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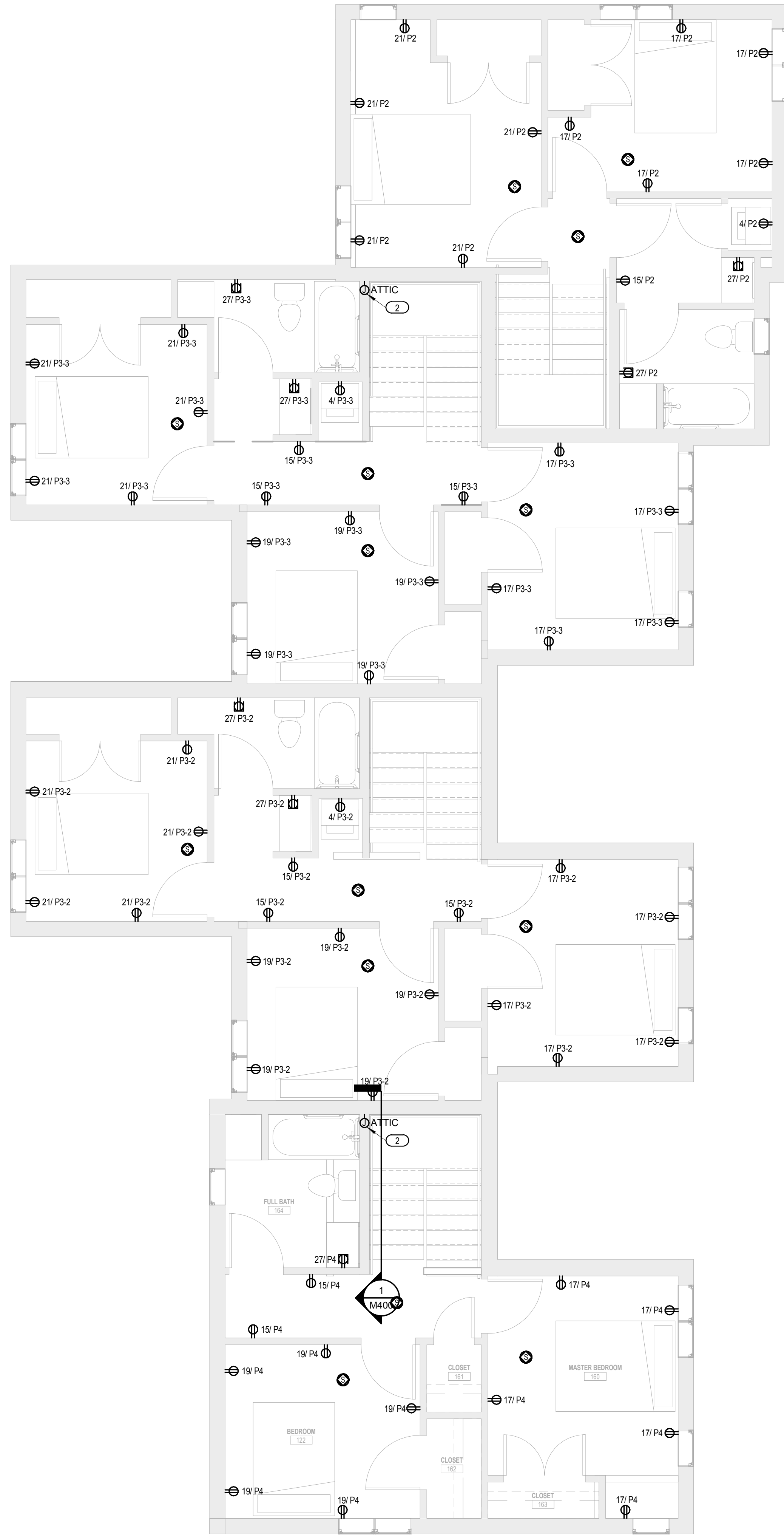
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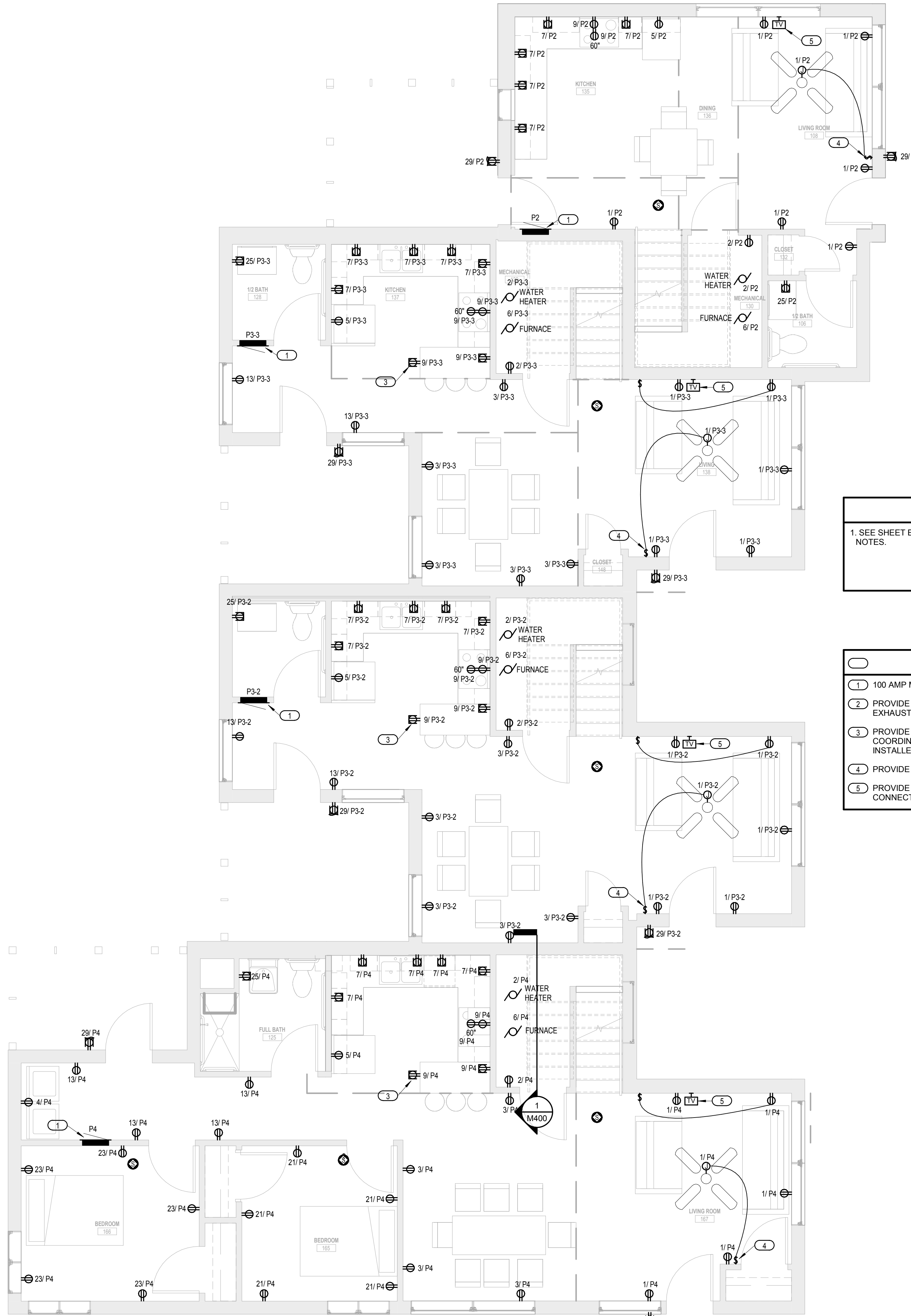
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**ELECTRICAL
POWER PLANS -
BUILDINGS A, B, & C**

E100A



2 LEVEL 2 - OVERALL POWER
1/4" = 1'-0"



1 LEVEL 1 - OVERALL POWER
1/4" = 1'-0"

GENERAL NOTES
1. SEE SHEET E000 FOR SYMBOLS AND ABBREVIATIONS AND GENERAL NOTES.

KEYED NOTES

- ① 100 AMP MCB PANELBOARD LOCATION.
- ② PROVIDE JBOX IN ATTIC SPACE FOR RADON MITIGATION SYSTEM EXHAUST FAN.
- ③ PROVIDE GFCI RECEPTACLE IN PENINSULAR COUNTERTOP SPACE. COORDINATE LOCATION OF RECEPTACLE WITH COUNTERTOP INSTALLER.
- ④ PROVIDE SWITCHED CONNECTION FOR POWERED CEILING FAN.
- ⑤ PROVIDE 'LEGRAND TPTELT'W' COMBINATION COAXIAL CONNECTOR AND RJ11 TELEPHONE JACK.



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Print Names: _____
Date: _____ License No: _____

MARK	DATE	DESCRIPTION

PROJECT NO: M10.17.02
PROJECT PHASE: GC 90% REVIEW SET
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ELECTRICAL POWER PLANS - BUILDING D

E100B

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MARK	DATE	DESCRIPTION

PROJECT NO: M10.17.02

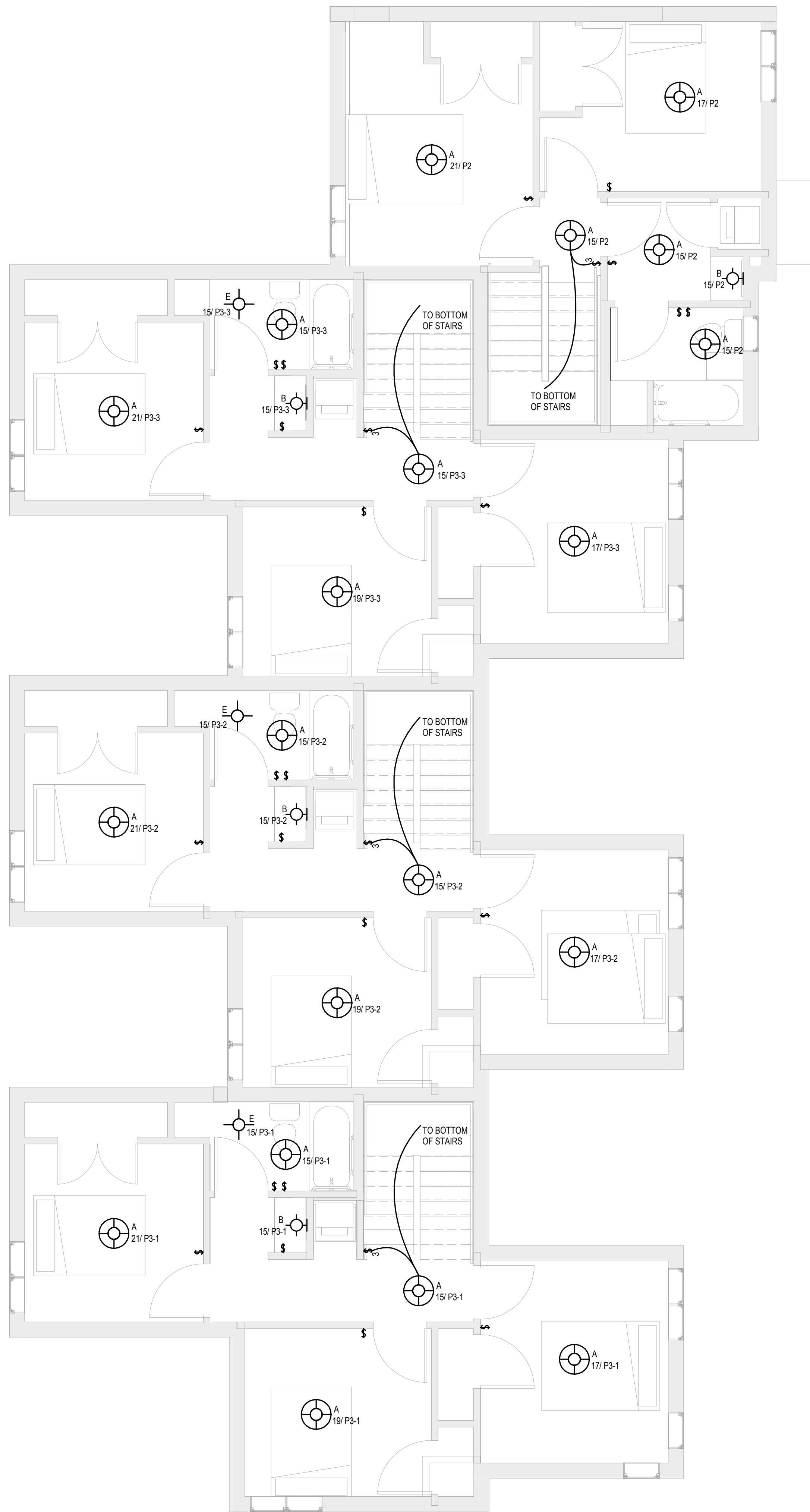
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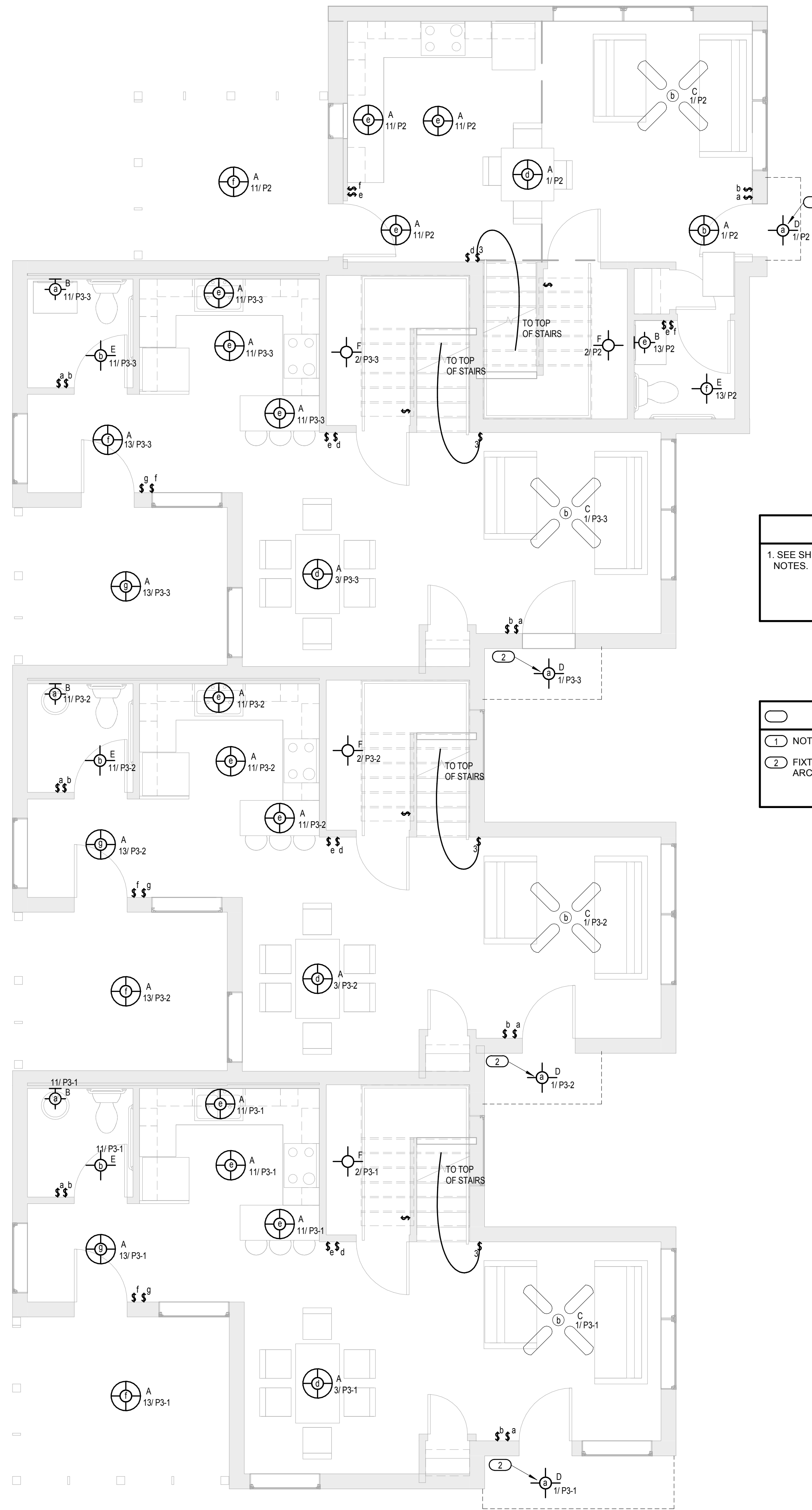
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**ELECTRICAL
LIGHTING PLANS -
BUILDINGS A, B, & C**

E101A



2 LEVEL 2 - OVERALL LIGHTING
1/4" = 1'-0"



1 LEVEL 1 - OVERALL LIGHTING
1/4" = 1'-0"

GENERAL NOTES
1. SEE SHEET E000 FOR SYMBOLS AND ABBREVIATIONS AND GENERAL NOTES.

KEYED NOTES
1 NOT USED
2 FIXTURE LOCATED UNDER ENTRY CANOPY. REFER TO ARCHITECTURAL EXTERIOR DETAILS - A351.

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PROJECT NO: M10.17.02

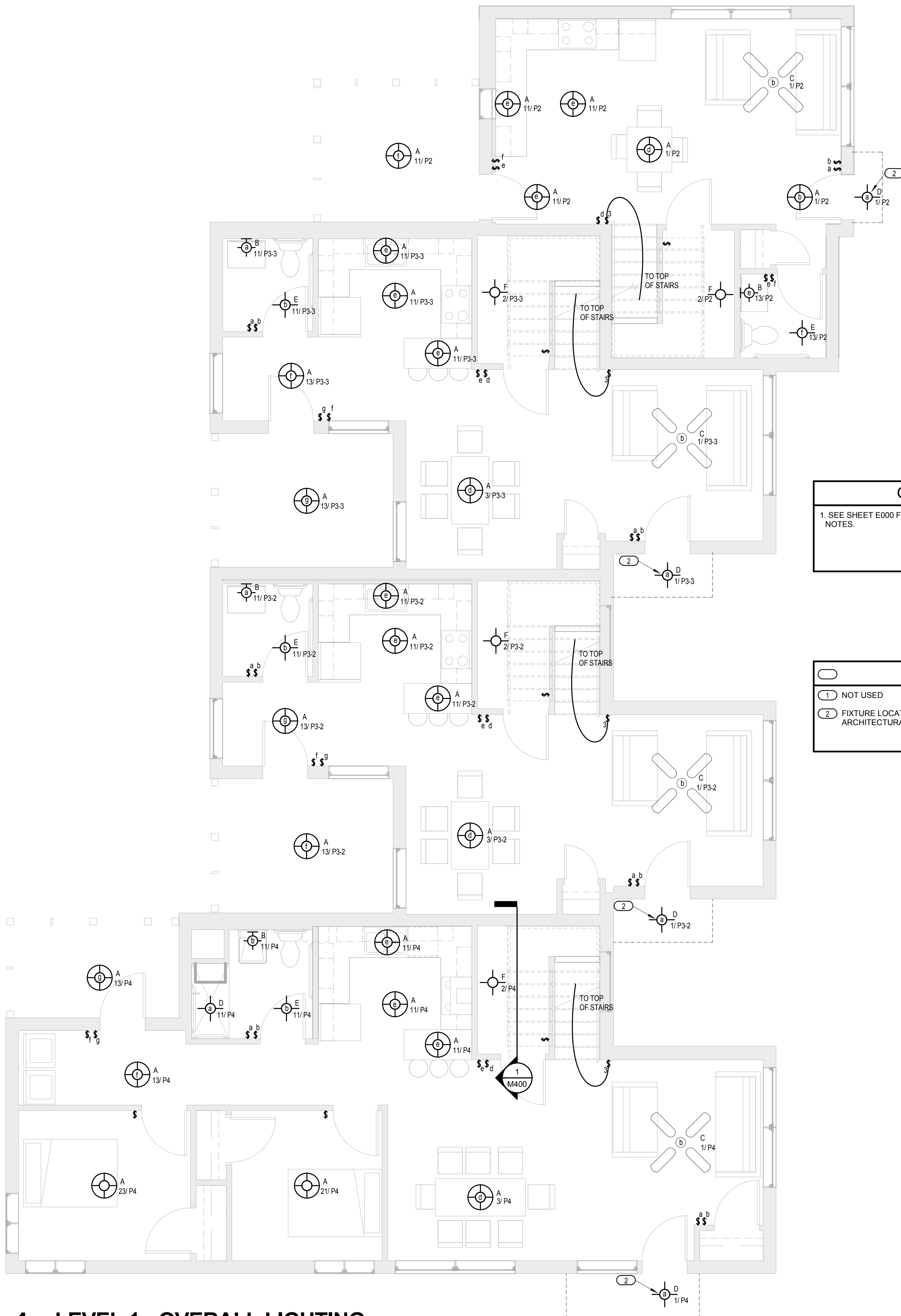
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**ELECTRICAL
 LIGHTING PLANS -
 BUILDING D**

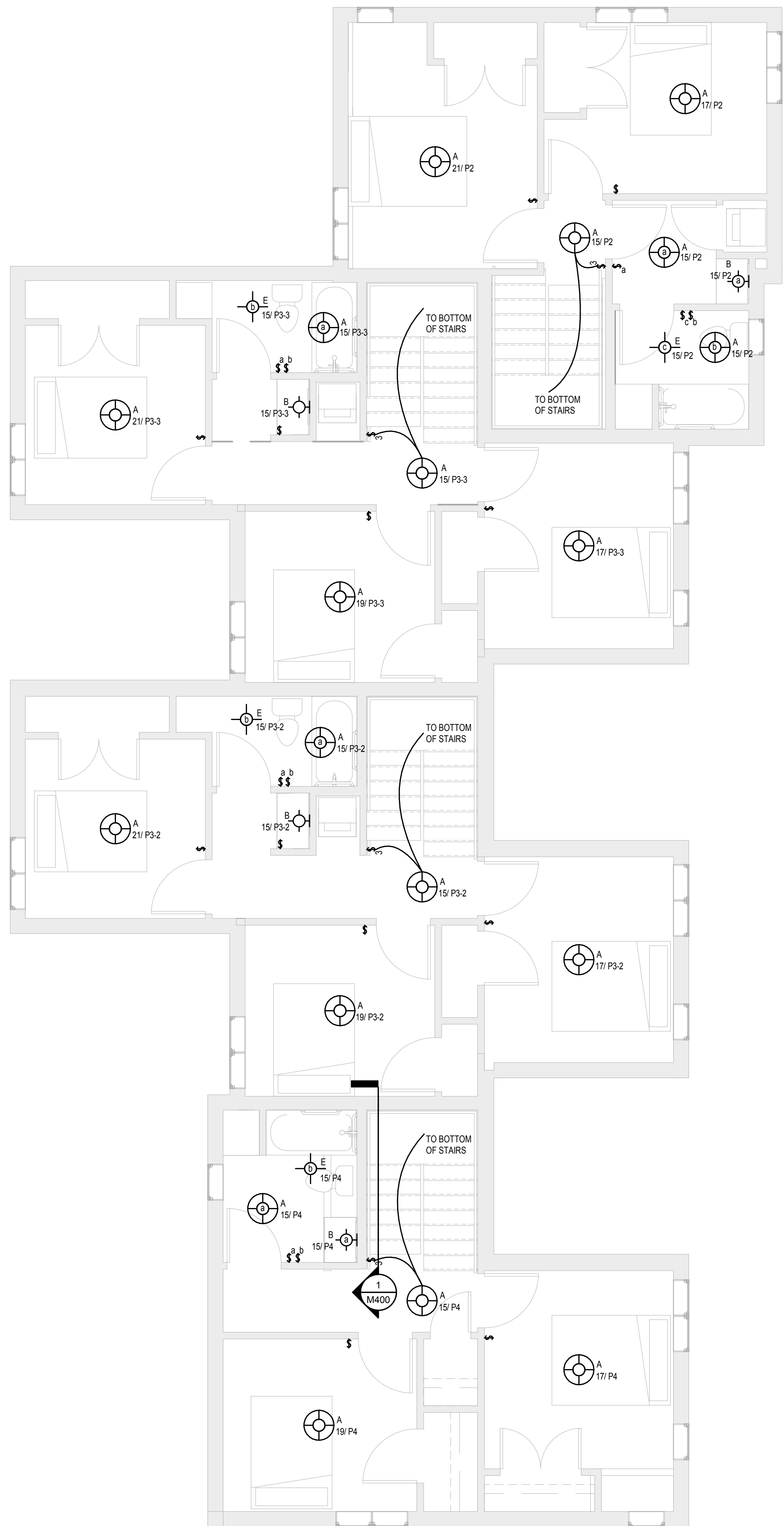
E101B



1 LEVEL 1 - OVERALL LIGHTING
 1/4" = 1'-0"

GENERAL NOTES
 1. SEE SHEET E000 FOR SYMBOLS AND ABBREVIATIONS AND GENERAL NOTES.

KEYED NOTES
 ① NOT USED
 ② FIXTURE LOCATED UNDER ENTRY CANOPY. REFER TO ARCHITECTURAL EXTERIOR DETAILS - A351.



2 LEVEL 2 - OVERALL LIGHTING
 1/4" = 1'-0"



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Date: _____ License No: _____

ISSUE MARK	DATE	DESCRIPTION

PROJECT NO: M10.17.02

PROJECT PHASE: GC 90% REVIEW SET

DRAWN BY: CAJ CHECKED BY: LL

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**ONE-LINE DIAGRAM
& DETAILS**

E400

GENERAL NOTES

- COORDINATE UTILITY TRANSFORMER FINAL LOCATION AND AND METER REQUIREMENTS WITH LOCAL UTILITY COMPANY * XCEL ENERGY, KEVIN JONES 612-630-4549*

KEYED NOTES

- METER SOCKETS SHALL BE PROVIDED BY ELECTRICAL CONTRACTOR.
- ELECTRICAL CONTRACTOR TO SIZE WIREWAY PER NEC.

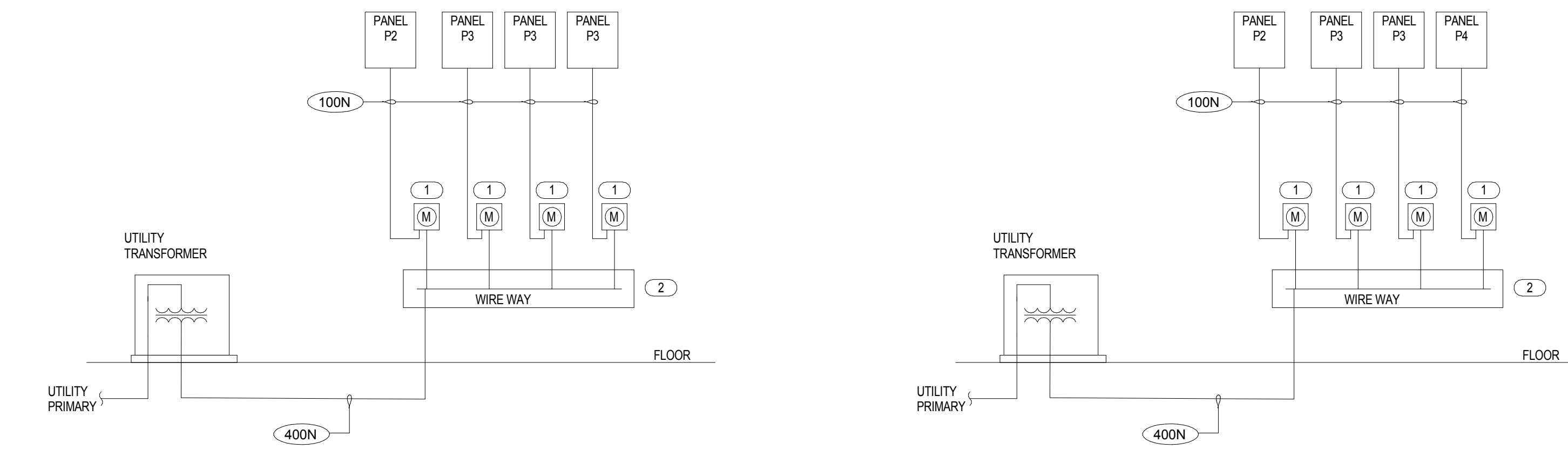
FEEDER SCHEDULE

#	CONDUIT SIZE 4W	CONDUIT SIZE 3W	PHASE CONDUCTORS	NEUTRAL CONDUCTOR	EQUIPMENT GROUND CONDUCTOR
30	3/4"	3/4"	#10	#10	#10
35	1"	3/4"	#8	#8	#10
40	1"	3/4"	#8	#8	#10
45	1"	1"	#6	#6	#10
50	1"	1"	#6	#6	#10
60	1 1/4"	1 1/4"	#4	#4	#10
70	1 1/4"	1 1/4"	#4	#4	#8
80	1 1/4"	1 1/4"	#3	#3	#8
90	1 1/2"	1 1/4"	#2	#2	#8
100	2"	1 1/2"	#1	#1	#8
110	1 1/2"	1 1/4"	#2	#2	#6
125	2"	1 1/2"	#1	#1	#6
150	2"	1 1/2"	#1/0	#1/0	#6
175	2"	2"	#2/0	#2/0	#6
200	2"	2"	#3/0	#3/0	#6
225	2 1/2"	2"	#4/0	#4/0	#4
250	3"	2 1/2"	250 kcmil	250 kcmil	#4
300	3"	3"	350 kcmil	350 kcmil	#4
350	3 1/2"	3"	500 kcmil	500 kcmil	#3
400	(2) 2"	(2) 2"	2 SETS OF #3/0	2 SETS OF #3/0	#3

- NOTES:**
- FEEDER SIZES ARE ON THE PLAN WHERE 60 REFERS TO A 60A FEEDER WITHOUT NEUTRAL AND 60N REFERS TO A 60A FEEDER WITH NEUTRAL.
 - SOME FEEDER SIZES DO NOT MATCH BREAKER SIZE DUE TO UP-SIZING OF THE FEEDER FOR VOLTAGE DROP.
 - CONDUITS ARE SIZED PER NEC TABLES FOR THHN/THWN AND MAY BE UPSIZED FOR EASE OF PULLING OR DOWNSIZED AS ALLOWED PER NEC FOR CONDUIT TYPE(S) BEING INSTALLED.
 - ALL CONDUCTORS 100A AND LESS ARE SIZED PER 60 DEGREE LUGS, EC MAY SIZE CONDUCTORS FOR ACTUAL RATING OF LUGS PER NEC.

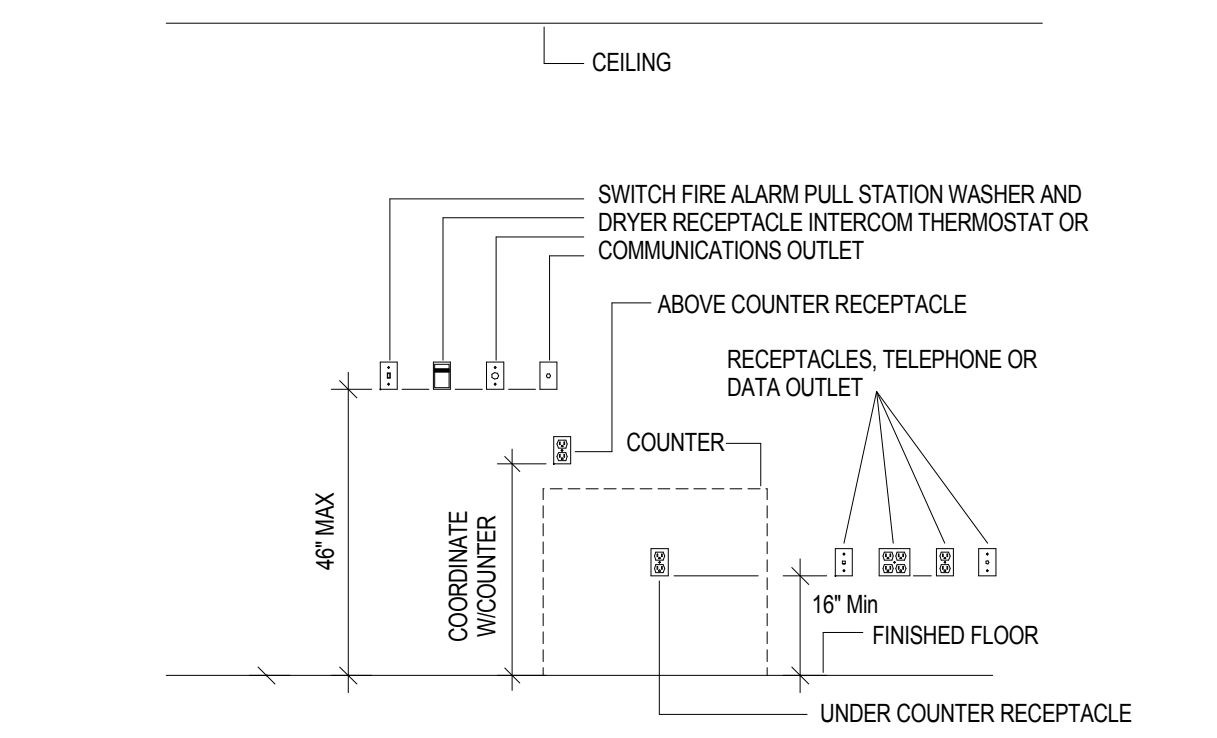
1 ONE LINE DIAGRAM

1/8" = 1'-0"



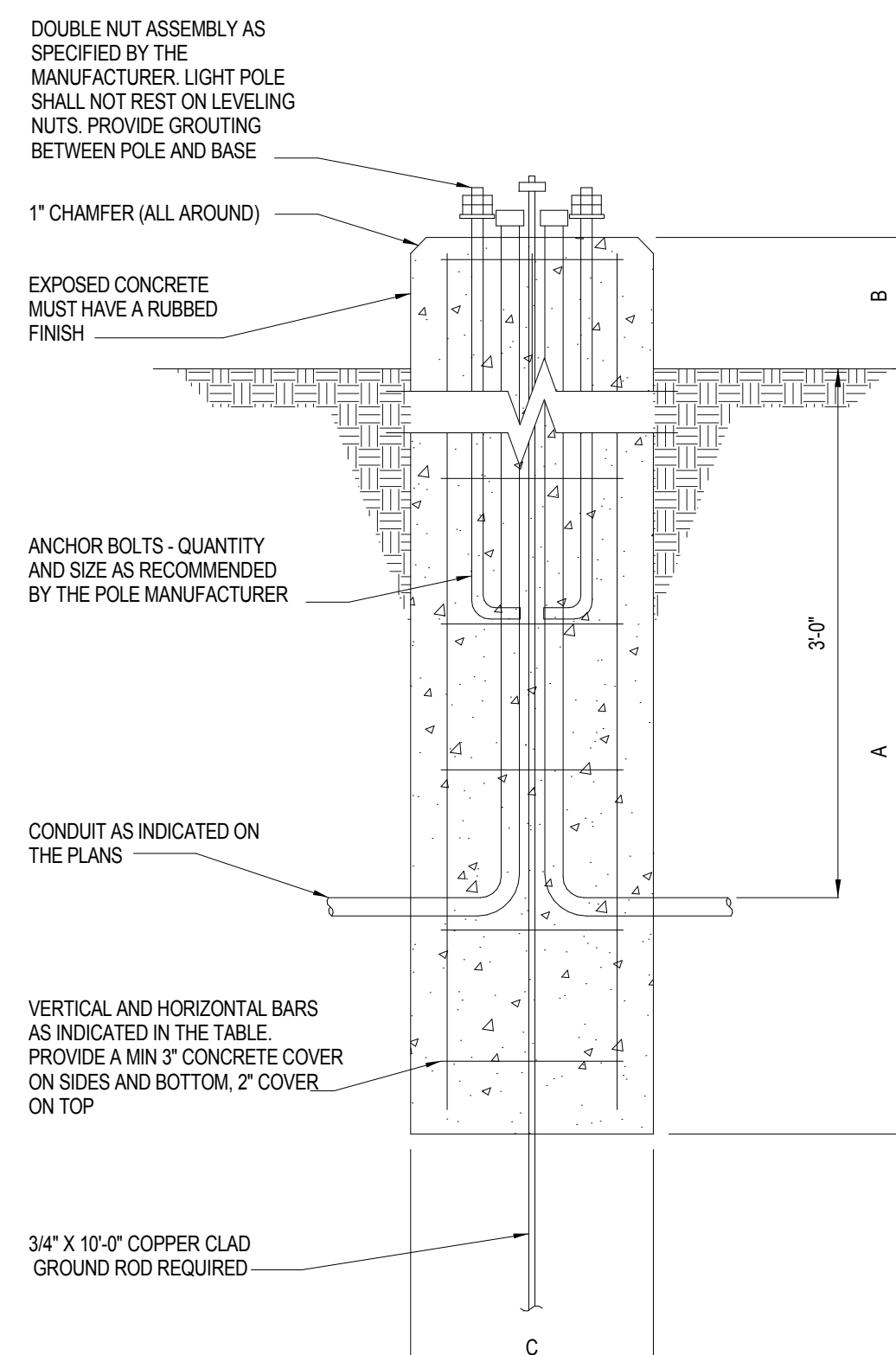
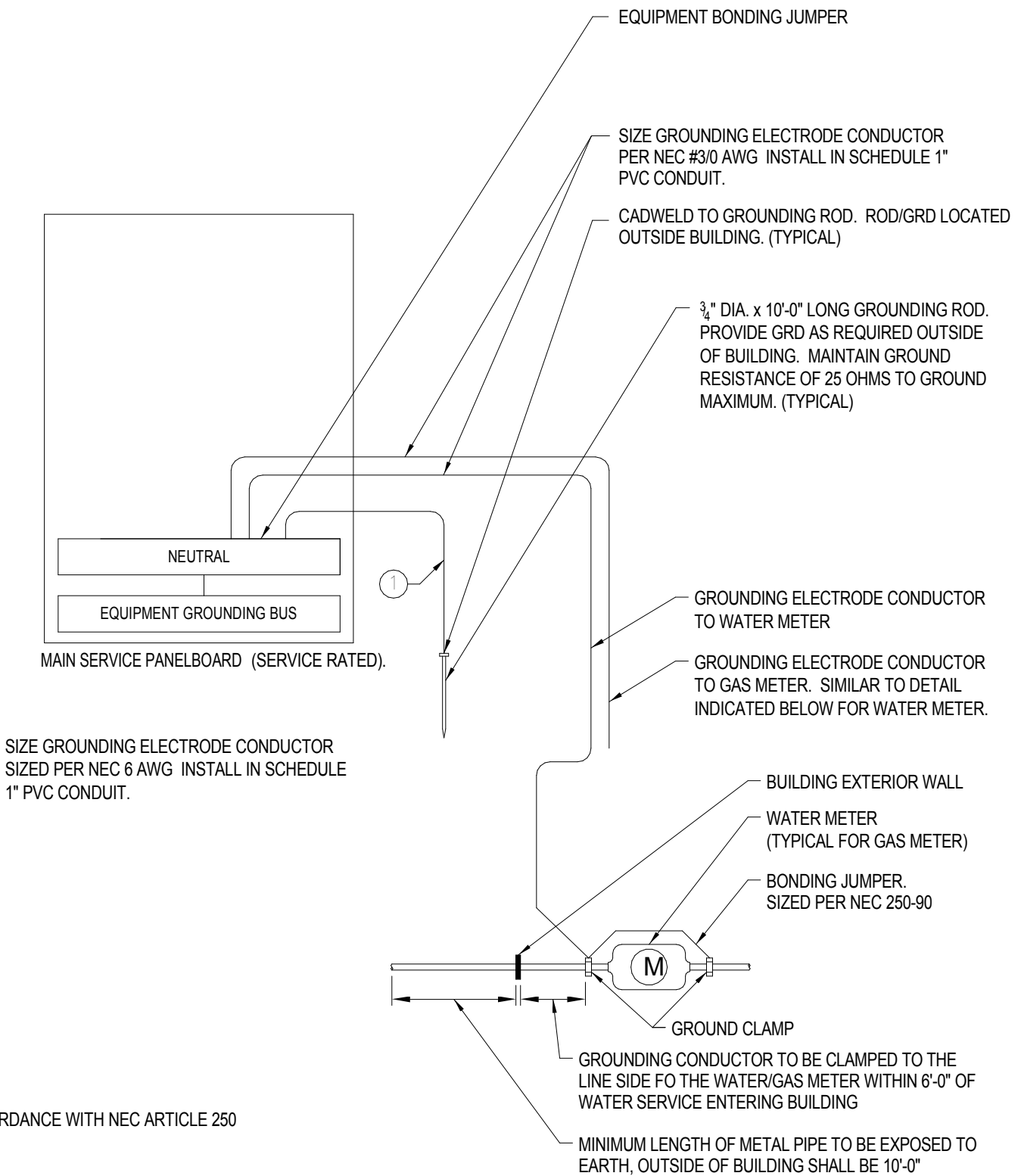
3 TYP OUTLET MOUNTING DETAIL

12" = 1'-0"



4 ELECTRICAL GROUNDING DETAIL

12" = 1'-0"



FIXT. TYPE	DIMENSIONS			VERT. BARS		HORIZ. BARS	
	A	B	C	QTY	SIZE	O.C.	SIZE
EXISTING LIGHT POLE	7'-0"	4"	24"	6	#6	12"	#6

2 LIGHT POLE BASE DETAIL

1/8" = 1'-0"

