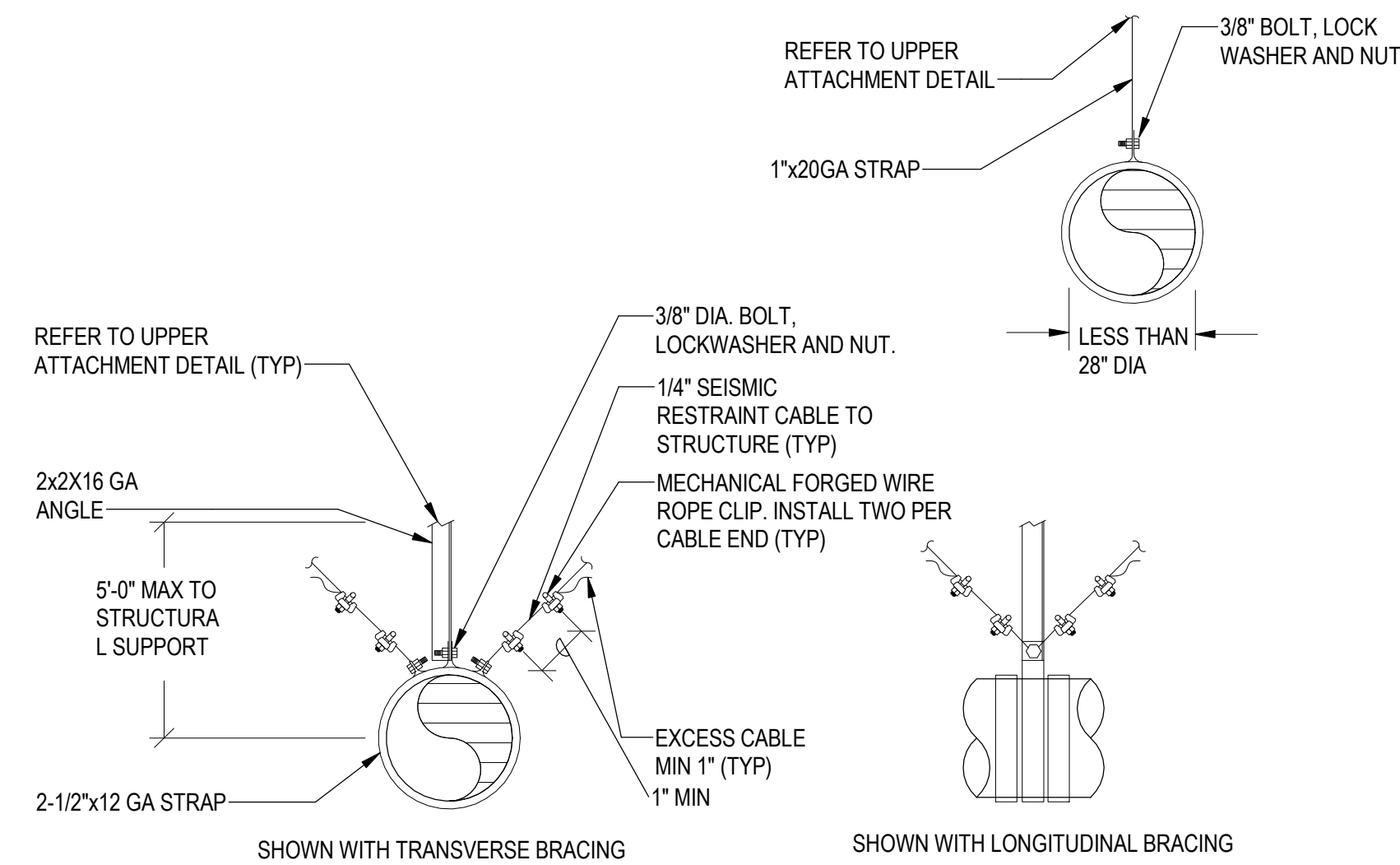


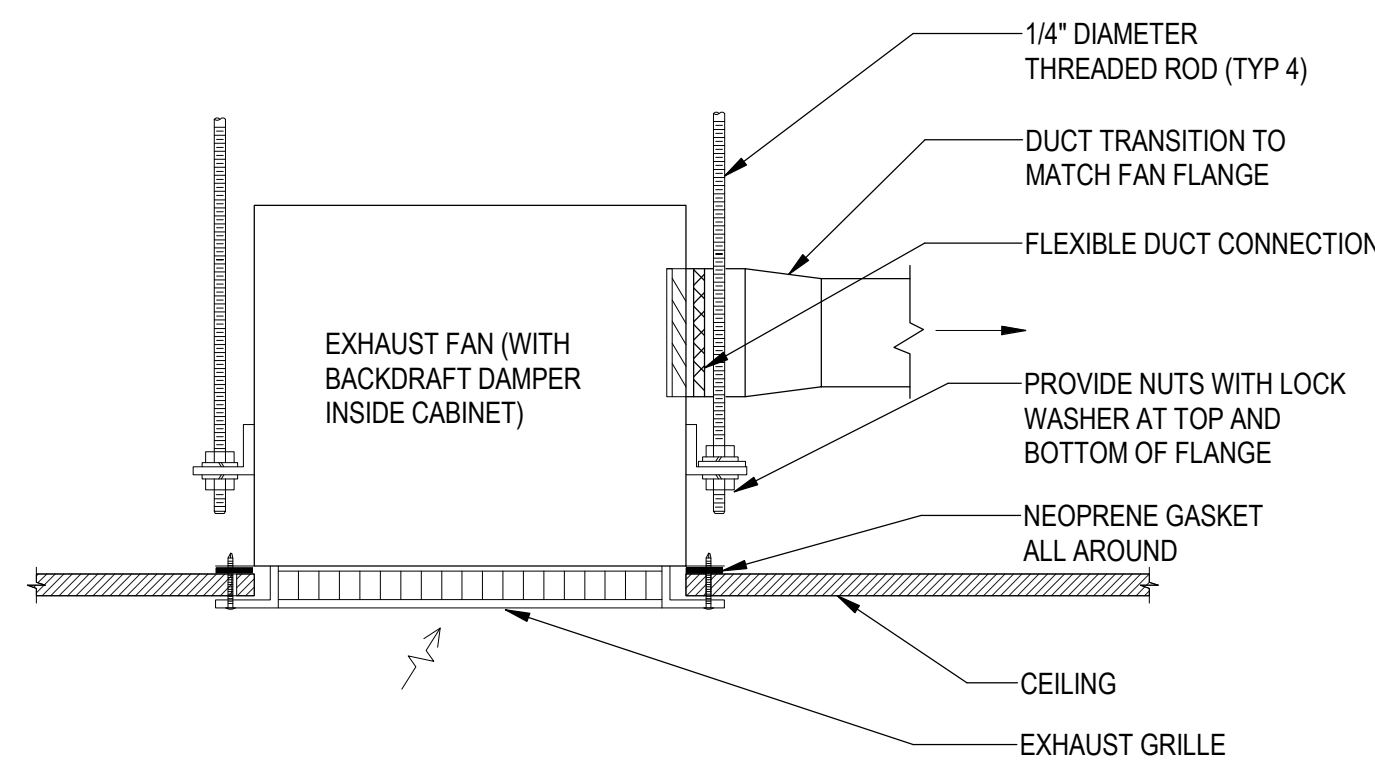
- NOTES:
- TRANSFER DUCT SHALL BE SHEET METAL CONSTRUCTION.
 - SIZE TRANSFER DUCT FOR MAXIMUM 500 FPM VELOCITY:
 - A = 14", 500 CFM
 - A = 20", 1125 CFM
 - A = 26", 2000 CFM

7 TRANSFER DUCT
SCALE: NONE



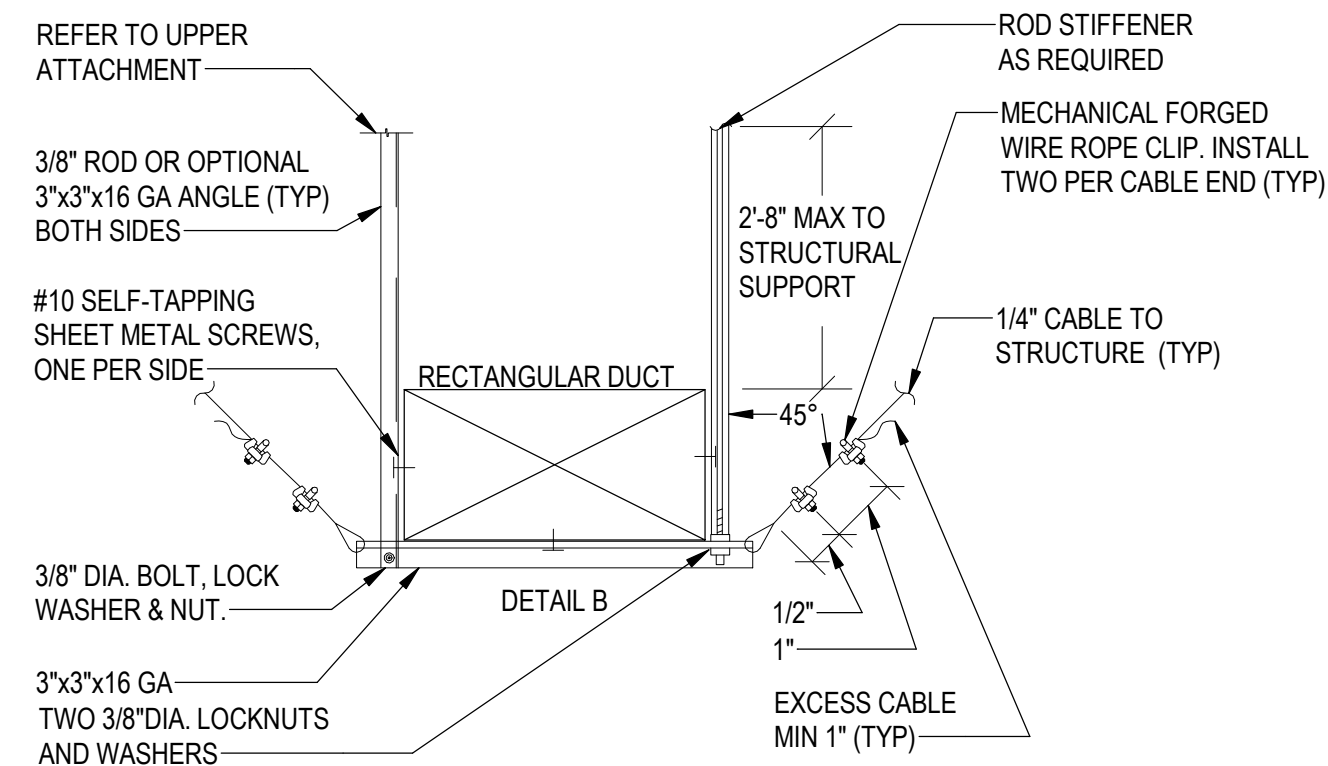
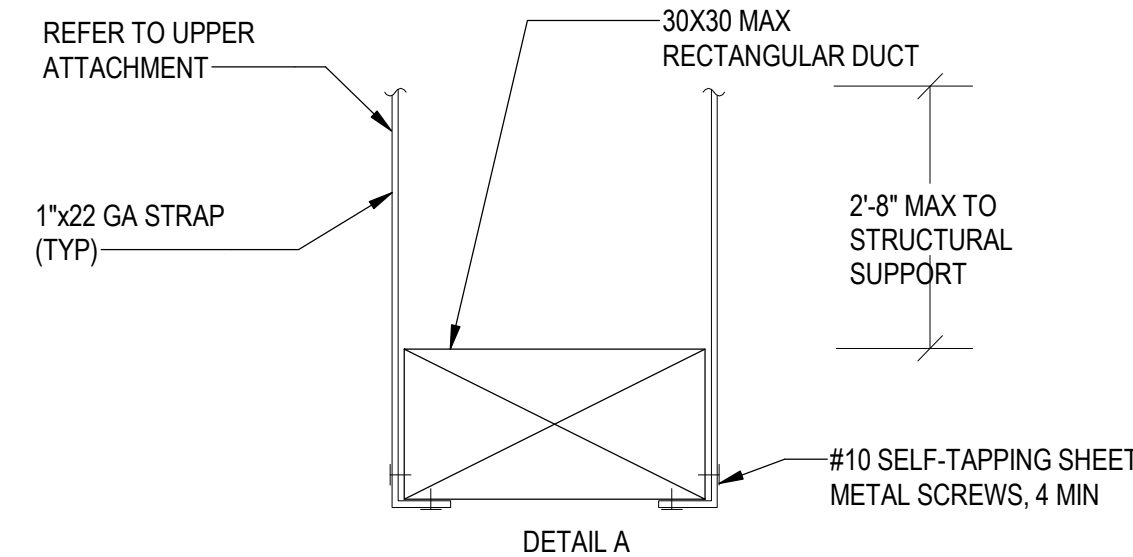
- NOTES:
- HANGERS SHALL BE INSTALLED AT EVERY CHANGE OF DIRECTION AND NO MORE THAN 10'-0" APART.
 - PROVIDE A FLEXIBLE CONNECTION BETWEEN MECHANICAL EQUIPMENT AND DUCT.
 - STRAP MAY BE REDUCED TO 1"x22 GA FOR DUCT 24" DIA. AND LESS IN DIAMETER.
 - SEISMIC RESTRAINT CABLES MAY BE OMITTED WHERE DUCT IS SUPPORTED WITHIN 12" OF STRUCTURE AS MEASURED FROM THE TOP OF DUCT TO THE BOTTOM OF STRUCTURE.
 - VERTICAL HANGERS, DIAGONAL AND HORIZONTAL BRACES TO BE SIZED IN ACCORDANCE WITH SMACNA SEISMIC RESTRAINT MANUAL.
 - COORDINATE WITH STRUCTURAL ENGINEER FOR UPPER ATTACHMENTS.
 - WHERE SEISMIC CABLE RESTRAINTS ARE REQUIRED:
 - A. PROVIDE SEISMIC CABLE TRANSVERSE BRACING AT 30 FT AND
 - B. SEISMIC CABLE LONGITUDINAL BRACING AT 60 FT.
 - C. SEISMIC CABLE RESTRAINTS ARE NOT REQUIRED AT EVERY HANGER LOCATION.

4 ROUND DUCT SUPPORT
SCALE: NONE



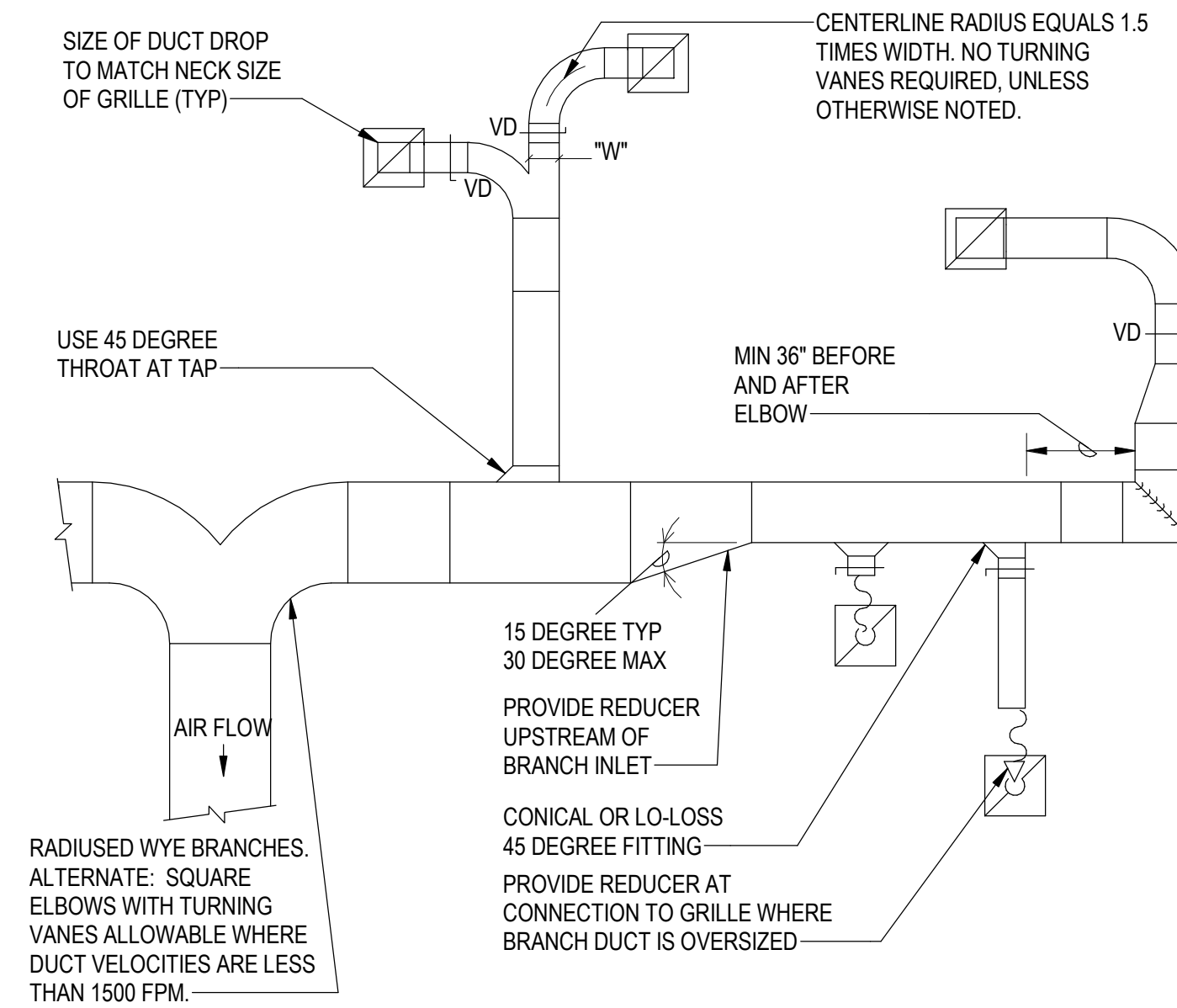
- NOTES:
- COORDINATE ANCHORAGE REQUIREMENTS WITH STRUCTURAL DESIGN.
 - REFER TO EQUIPMENT SCHEDULE FOR ADDITIONAL FEATURES.

6 EXHAUST FAN-CEILING MOUNTED
SCALE: NONE



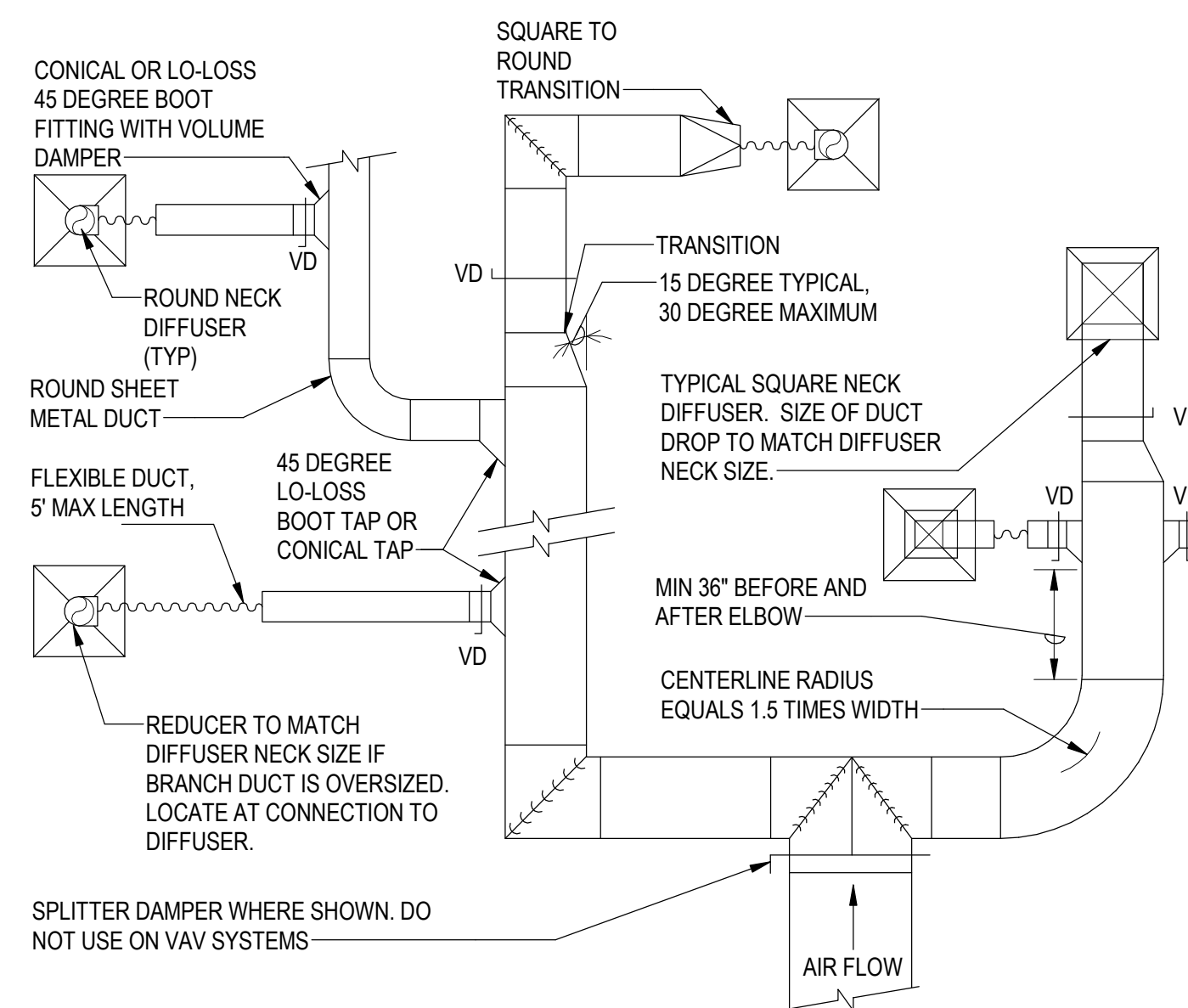
- NOTES:
- MAXIMUM SPACING OF HANGERS SHALL BE 5'-0".
 - IF A FLEXIBLE CONNECTION IS INSTALLED BETWEEN THE MECHANICAL EQUIPMENT AND THE DUCT, THEN THIS DETAIL MAY BE USED. OTHERWISE, USE DETAIL B BELOW.
 - SEISMIC RESTRAINT CABLES MAY BE OMITTED WHERE:
 - A. THERE IS A FLEXIBLE CONNECTION BETWEEN THE MECHANICAL EQUIPMENT AND
 - B. RECTANGULAR DUCT IS LESS THAN 6 SQUARE FEET IN AREA OR
 - C. DUCT OF ANY SIZE IS SUPPORTED WITHIN 12" OF STRUCTURE AS MEASURED FROM THE TOP OF DUCT TO THE BOTTOM OF STRUCTURE.
 - WHERE SEISMIC RESTRAINTS ARE REQUIRED:
 - A. PROVIDE TRANSVERSE BRACING AT 30 FT AND
 - B. LONGITUDINAL BRACING AT 60 FT.
 - VERTICAL HANGERS, DIAGONAL AND HORIZONTAL BRACES TO BE SIZED IN ACCORDANCE WITH SMACNA SEISMIC RESTRAINT MANUAL TABLE 5-1 AND 5-2.
 - REFER TO STRUCTURAL DETAILS FOR ADDITIONAL INFORMATION NOT SHOWN HERE.
 - INSTALL ROD STIFFENER AS REQUIRED. REFER TO STRUCTURAL DESIGN FOR ADDITIONAL ATTACHMENT REQUIREMENTS. REFER TO HILTI ICC-ES ESR-1917 PRE-APPROVAL DUCT HANGERS AND SUPPORTS SHALL COMPLY WITH PRE-APPROVED B-LINE "SEISMIC RESTRAINT SYSTEM".

3 RECTANGULAR DUCT SUPPORT
SCALE: NONE



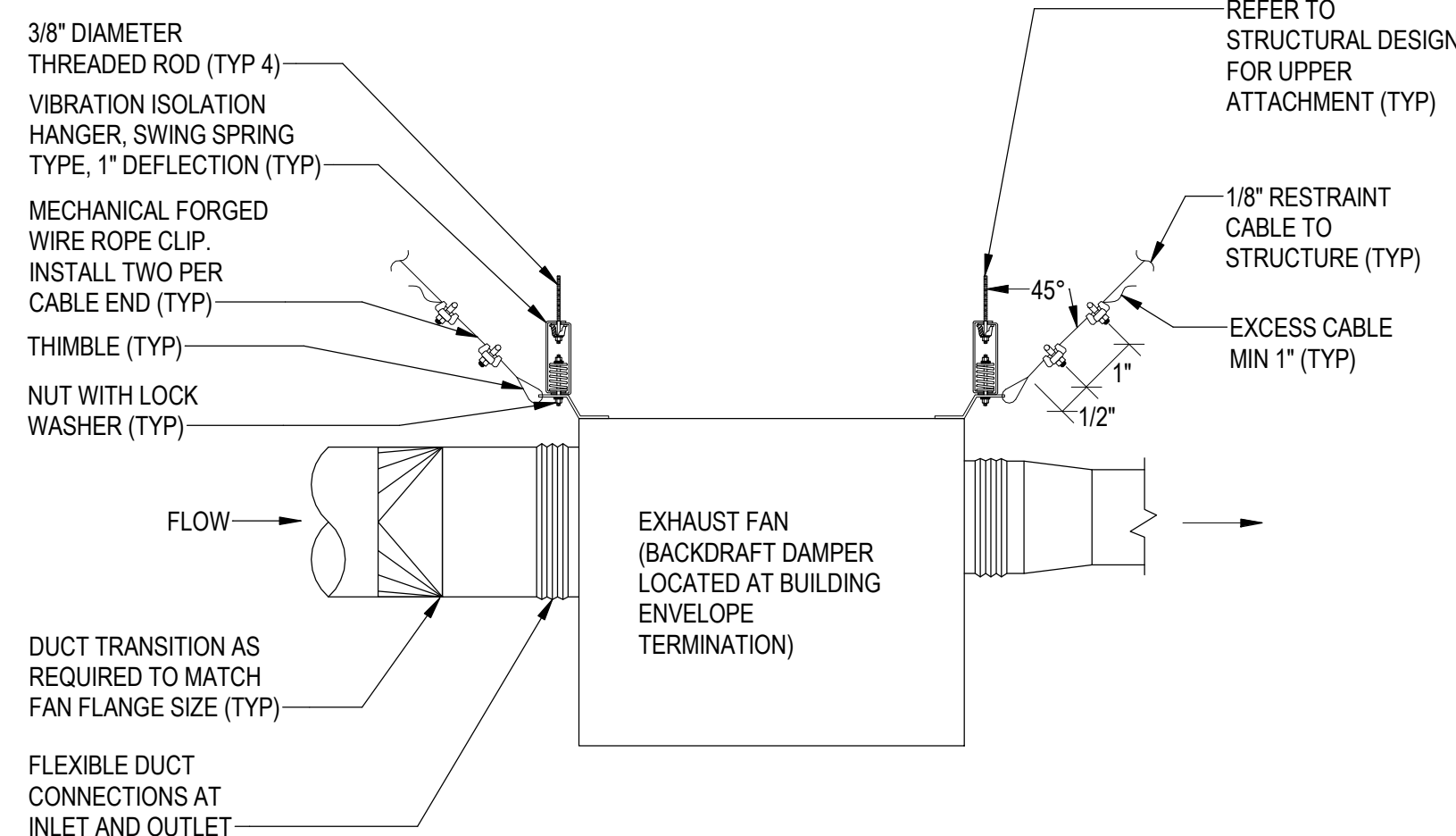
- NOTES:
- PROVIDE DUCT LINER AND/OR EXTERNAL DUCT INSULATION AS NOTED ON PLANS OR IN SPECIFICATIONS.
 - PROVIDE HANGERS AND SEISMIC BRACING PER SMACNA AND BUILDING CODE.
 - LOCATE MANUAL BALANCING DAMPERS IMMEDIATELY DOWNSTREAM OF EACH DUCT TAP.
 - MAINTAIN MINIMUM 36" CLEARANCE BETWEEN LEADING OR TRAILING ELBOW JOINT AND DUCT TAP FITTINGS.
 - TURNING VANES REQUIRED ON RECTANGULAR DUCT SYSTEM ELBOWS. SINGLE THICKNESS VANES UP TO 25" HEIGHT AND DOUBLE THICKNESS VANES IN DUCTS GREATER THAN 25" HEIGHT. RADIUSSED ELBOWS MAY BE USED AS AN ALTERNATE.
 - NO TURNING VANES REQUIRED ON DUCT SIZES LESS THAN 180 SQ. IN. IF DUCT VELOCITY IS LESS THAN 1500 FPM.

2 RETURN EXHAUST DUCT FITTINGS
SCALE: NONE



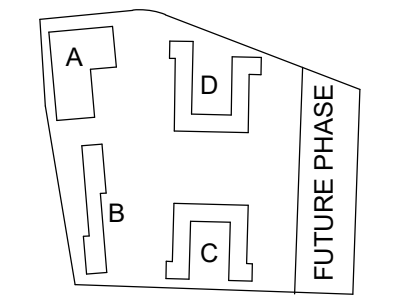
- NOTES:
- PROVIDE DUCT LINER AND/OR EXTERNAL DUCT INSULATION AS NOTED ON PLANS OR IN SPECIFICATIONS.
 - PROVIDE HANGERS AND SEISMIC BRACING PER SMACNA AND BUILDING CODE REQUIREMENTS.
 - LOCATE MANUAL BALANCING DAMPERS IMMEDIATELY DOWNSTREAM OF EACH DUCT TAP.
 - CUSHION HEADS OR BULLHEAD TEES ARE NOT ALLOWED.
 - MAINTAIN MINIMUM 36" CLEARANCE BETWEEN LEADING OR TRAILING ELBOW JOINT AND DUCT TAP FITTINGS.
 - RADIUSSED ELBOWS OR TURNING VANES REQUIRED ON RECTANGULAR DUCT SYSTEM ELBOWS. SINGLE THICKNESS VANES UP TO 25" HEIGHT AND DOUBLE THICKNESS VANES IN DUCTS GREATER THAN 25" HEIGHT.

1 SUPPLY DUCT FITTINGS
SCALE: NONE



- NOTES:
- PROVIDE BACKDRAFT DAMPER IN DUCTWORK AT BUILDING ENVELOPE TERMINATION.
 - TRANSITION DUCT CONNECTION AS REQUIRED TO MATCH FAN COLLARS.
 - REFER TO STRUCTURAL DESIGN FOR ATTACHMENT REQUIREMENTS AND ADDITIONAL SUPPORT OPTIONS.

5 EXHAUST FAN INLINE
SCALE: NONE



MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

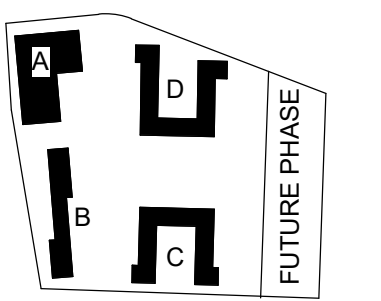
PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: Jon Hall
PROJECT MANAGER: Scott Schreffler
OWNER APPROVAL:

SHEET TITLE:
MECHANICAL DETAILS

SHEET NO.:
M-901

BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL





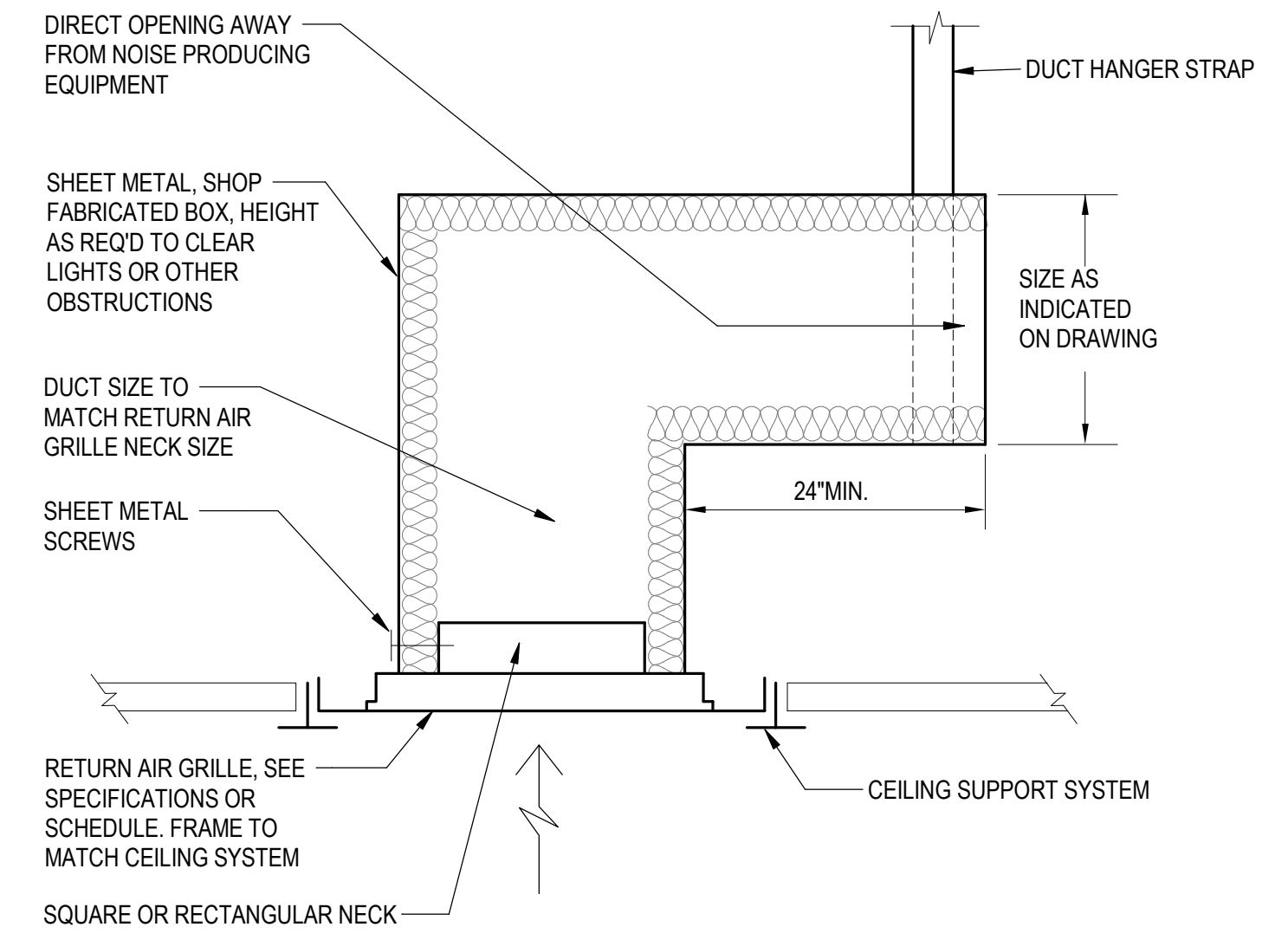
MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
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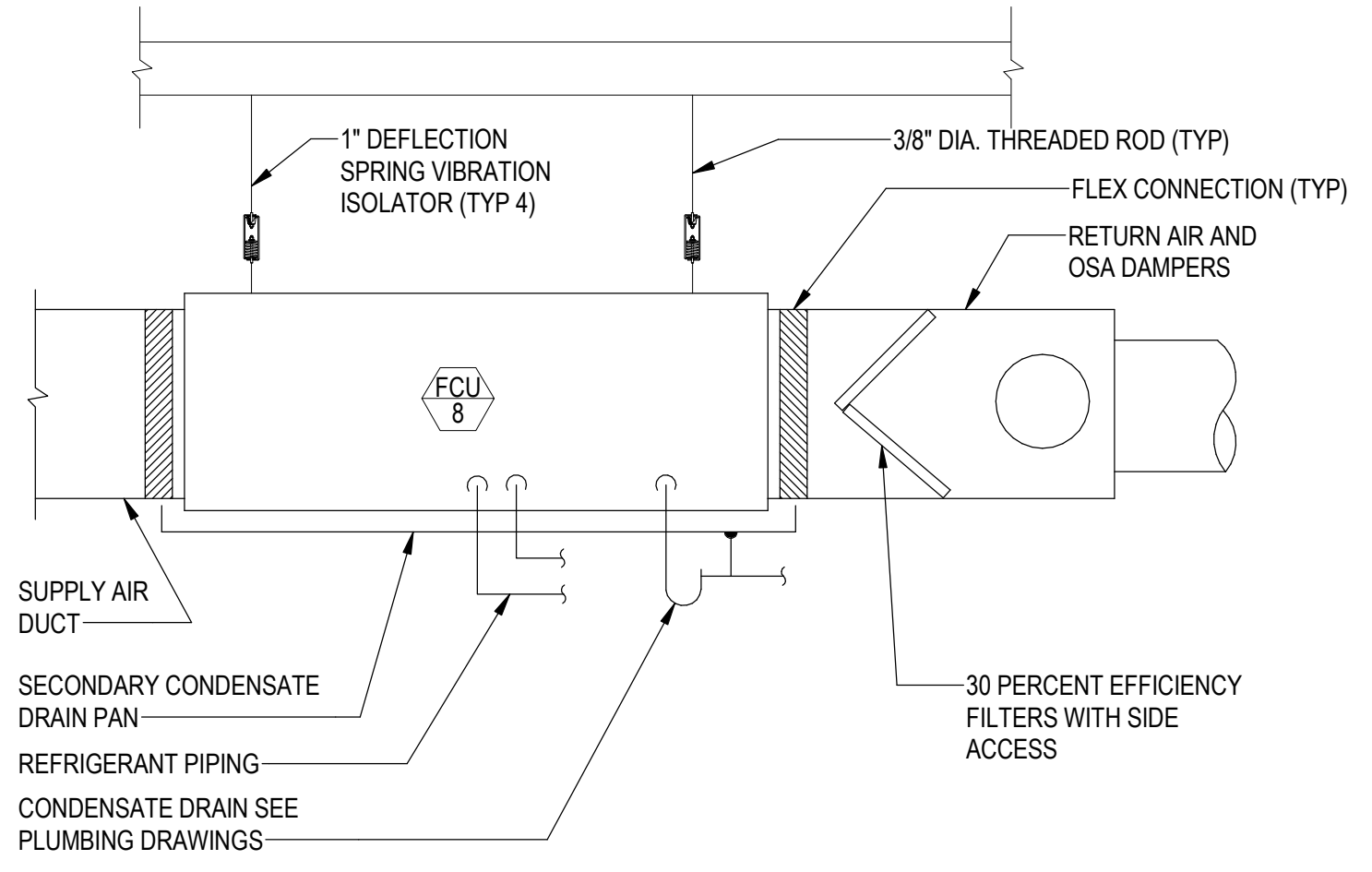
MARK	DATE	DESCRIPTION
ISSUE INFORMATION		
PROJECT NO.:	2017033	
PRINCIPAL IN CHARGE:	Jon Hall	
PROJECT MANAGER:	Scott Schreffler	
OWNER APPROVAL:		

SHEET TITLE
MECHANICAL DETAILS

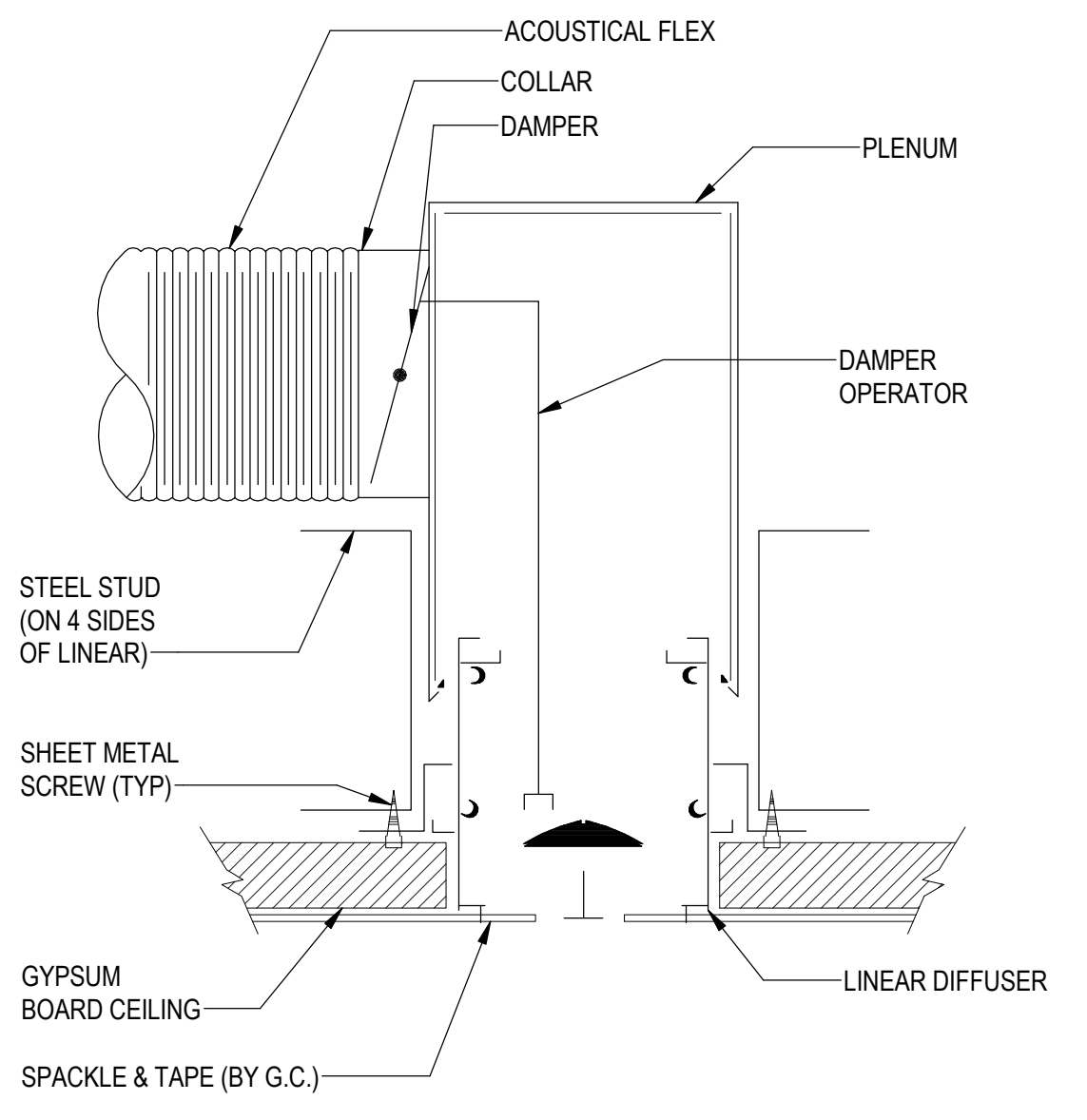
SHEET NO.
M-902



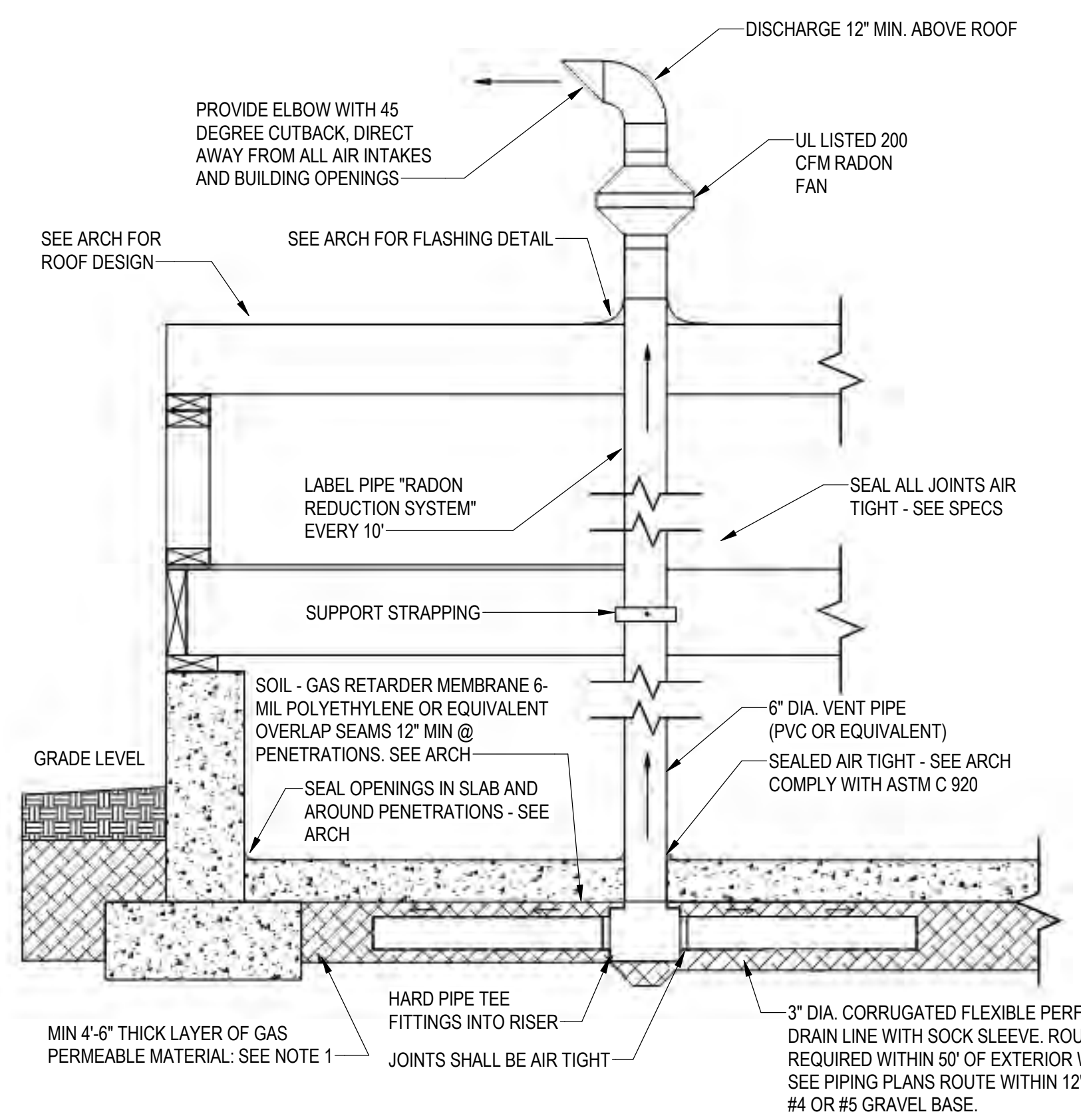
3 RETURN ACOUSTIC BOOT DETAIL
SCALE: 1/8" = 1'-0"



2 FAN COIL-SUSPENDED
SCALE: NONE



1 LINEAR DIFFUSER
SCALE: NONE

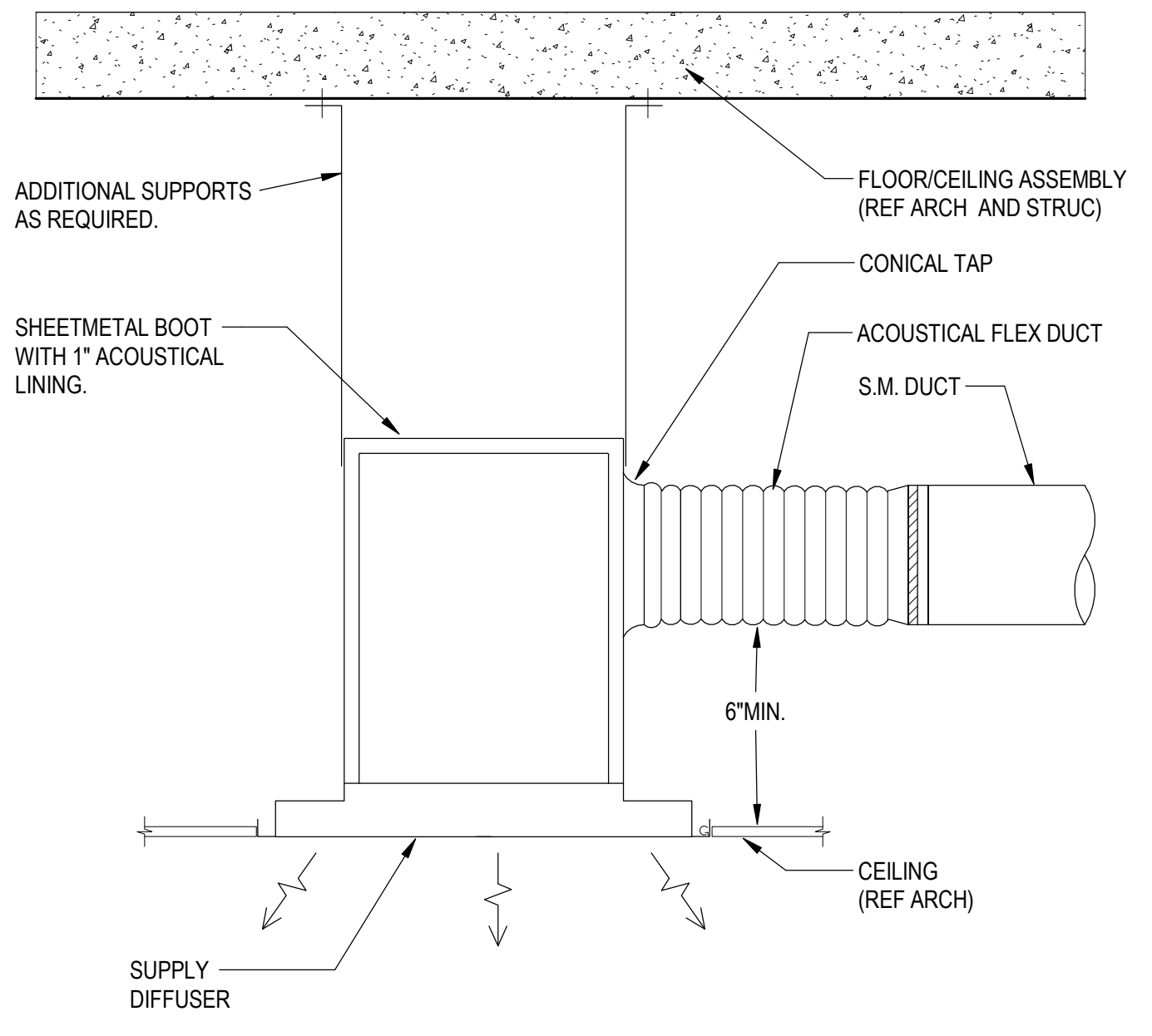


- NOTES:
1. ALL CONCRETE FLOOR SLABS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH LOCAL BUILDING CODES.
 2. ALL OPENINGS, GAPS AND JOINTS IN FLOOR AND WALL ASSEMBLIES IN CONTACT WITH SOIL OR GAPS AROUND PIPES, TOILETS OR DRAINS PENETRATING THESE ASSEMBLIES SHALL BE FILLED OR CLOSED WITH MATERIALS THAT PROVIDE A PERMANENT AIR-TIGHT SEAL. SEAL LARGE OPENINGS WITH NON-SHRINK MORTAR, GROUT OR EXPANDING FOAM MATERIALS AND SMALLER GAPS WITH AN ELASTOMERIC JOINT SEALANT, AS DEFINED IN ASTM C920-87.
 3. VENT PIPES SHALL BE INSTALLED SO THAT ANY RAINWATER OR CONDENSATION DRAINS DOWNWARD INTO THE GROUND BENEATH THE SLAB OR SOIL-GAS-RETARDER MEMBRANE. TO ACCOMPLISH THIS, SLOPE ALL PIPES AT 1% DOWN TOWARD THE SLAB PENETRATION.
 4. HARD PIPING MATERIAL SHALL BE SCHEDULE 40 PVC - SEE SPECIFICATION.
 5. FAN SHALL HAVE A CURRENT TRANSFORMER, TO ALARM TO THE BAS UPON FAN FAILURE.
 6. ROUTE CORRUGATED UNDERSLAB PIPING IN A TRENCH NO LESS THAN 12" WIDE X 8" DEEP. FILL WITH A GAS PERMEABLE GRAVEL (#4 OR #5).

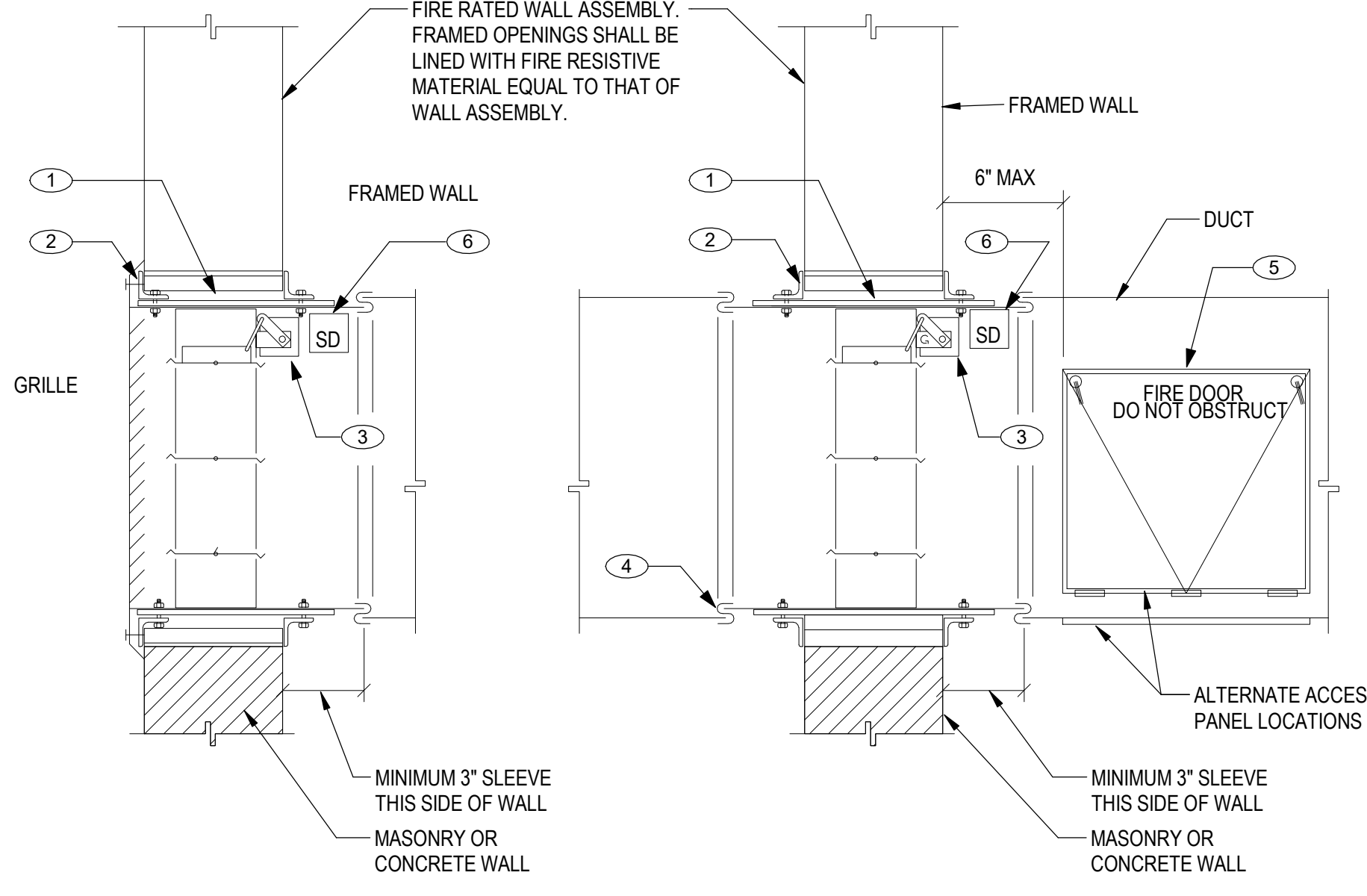
5 SUBSLAB EXHAUST SYSTEM DUCT (SSED)
SCALE: NONE

- NOTES:
1. ALLOWABLE CLEARANCE ON TOP OF FIRE DAMPER TO TOP OF OPENING SHALL BE 1/4" PER FOOT OF FIRE DAMPER HEIGHT. FIRE DAMPER SHALL REST ON BOTTOM OF WALL OPENING AND SHALL BE CENTERED SIDE TO SIDE IN OPENING WITH CLEARANCE OF 1/4" PER FOOT OF FIRE DAMPER ON EACH SIDE.
 2. SLEEVE RETAINING ANGLES FASTENED TO FIRE DAMPER SLEEVE. ANGLES SHALL BE INSTALLED ON ALL FOUR SIDES OF DAMPER AND ON EACH SIDE OF THE WALL. ANGLE GAGE AND FASTENING METHOD AS PERMITTED AS A CONDITION OF DAMPER LISTING. REFER TO MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS. MINIMUM 1" ANGLE OVERLAP ON ALL FOUR SIDES.
 3. ACTUATOR MOTOR SHALL BE INTERLOCKED WITH SMOKE DETECTOR. COORDINATE WITH ELECTRICAL INSTALLER FOR POWER AND CONTROL WIRING.
 4. DUCT CONNECTION AS PERMITTED AS A CONDITION OF DAMPER LISTING ("S" SLIP CONNECTION SHOWN)
 5. GRID IN THE AREA OF THE DAMPER ACCESS PANEL. ATTACH TO CEILING WITH EPOXY ADHESIVE. ACCESS PANEL SHALL BE HINGED WITH A TIGHT FITTING SEAL. ACCESS SIZE SHALL BE A MINIMUM OF 18" LONG IN DIRECTION OF AIRFLOW BY HEIGHT OR WIDTH OF DUCT (PERPENDICULAR TO AIRFLOW) WITH A 12" MINIMUM. WHERE 12" CANNOT BE ACHIEVED CONTRACTOR SHALL INSTALL EASILY REMOVABLE AND REPLACEABLE TIGHTLY GASKETED DUCT SECTIONS. ACCESS PANEL SHALL BE LABELED WITH THE WORDS "FIRE DOOR - DO NOT OBSTRUCT" IN LETTER NO LESS THAN 1" IN HEIGHT. EXTERNAL INSULATION SHALL NOT CONCEAL ACCESS UNLESS A LABEL IS ATTACHED TO THE INSULATION WHICH INDICATES THE EXACT LOCATION OF THE OPENING.
 6. DUCT SMOKE DETECTOR TO BE FURNISHED BY DIV 26 AND INSTALLED BY DIV 23. COORDINATE WITH ELECTRICAL INSTALLER FOR POWER AND WIRING.
 7. LOCATE 3/4" HIGH WHITE PLASTIC LAMINATE SIGNS WITH 3/8" HIGH BLACK LETTERING WITH THE INITIALS "FSD" AND UNIQUE NUMBER ON THE CEILING ACCESS DOOR OR T-BAR CEILING
 8. FIRE/SMOKE DAMPER DETAIL FOR REFERENCE ONLY. FIRE DAMPERS SHALL BE STATE FIRE MARSHAL APPROVED AND COMPLETE INSTALLATION SHALL BE PER MANUFACTURER'S PRINTED INSTRUCTIONS WHICH SHALL BE MADE AVAILABLE TO INSPECTION AUTHORITIES.

5 SUBSLAB EXHAUST SYSTEM DUCT (SSED)
SCALE: NONE

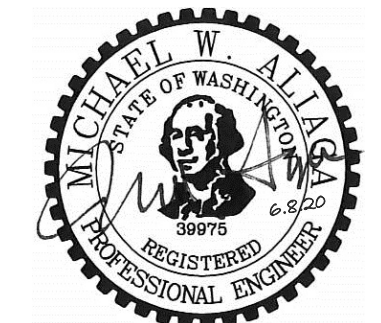


6 SUPPLY AIR ACOUSTICAL BOOT DETAIL
SCALE: NONE



4 FIRE SMOKE DAMPER
SCALE: NONE

BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL



ELECTRICAL - GENERAL NOTES

1. GENERAL PROVISIONS
A. THE REQUIREMENTS OF THE SPECIFICATIONS, THE FOREGOING ARCHITECTURAL GENERAL NOTES AND MECHANICAL NOTES SHALL APPLY TO ALL WORK HEREUNDER.
B. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE W/ ANY LOCAL AMENDMENTS...

5. COORDINATION
A. COORDINATE ALL WORK WITH ARCHITECTURAL, MECHANICAL AND STRUCTURAL DRAWINGS. INSTALL ALL WORK TO CLEAR NEW AND EXISTING ARCHITECTURAL AND STRUCTURAL MEMBERS...
9. CONDUIT AND RACEWAYS
A. PROVIDE COMPLETE CONDUIT OR RACEWAY SYSTEM FOR ALL CIRCUITS AND WIRING OVER 100 VOLTS AND AS DESIGNATED FOR LOW VOLTAGE AND SIGNAL SYSTEMS...

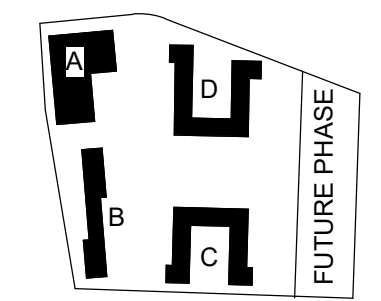
12. LIGHTING
A. PROVIDE LIGHTING FIXTURES OF SIZES, TYPES AND RATING INDICATED; COMPLETE WITH, BUT NOT LIMITED TO HOUSINGS, LAMPS, LAMP HOLDERS, BALLASTS, STARTERS, WIRING, AND MOUNTING HARDWARE...
11. DEVICES
A. TYPES OF ALL SWITCHES, RECEPTACLES AND WALL PLATES SHALL BE AS APPROVED BY ARCHITECT...

ABBREVIATIONS

Table with 3 columns: Abbreviation, Full Name, and Notes. Includes entries like (E) EXISTING TO REMAIN, (R) EXISTING TO BE REMOVED, IMC INTERMEDIATE METAL CONDUIT, etc.



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1601 Fifth Ave., Suite 2210
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PROJECT: EHA BAKER HEIGHTS



PROJECT ADDRESS:
BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

Table with 3 columns: MARK, DATE, DESCRIPTION

Table with 3 columns: MARK, DATE, DESCRIPTION (Revisions section)

Table with 3 columns: MARK, DATE, DESCRIPTION (Issue Information section)

PROJECT NO.: 2017033
PRINCIPAL IN CHARGE: Jon Hall
PROJECT MANAGER: Scott Schreffler

ELECTRICAL ABBREVIATIONS & GENERAL NOTE

SHEET NO. E-001

ALUMINUM FEEDER SCHEDULE

Table with columns: FEEDER TAG, CONDUITS (MET, SETS, RNC), CONDUCTORS PER SET (PHASE/NEUTRAL, GROUND), NOTES. Rows include feeders like 4000.4, 4000.3, 3500.4, etc.

NOTES: 1. CONDUCTORS AND CONDUITS SHOWN IN THIS SCHEDULE ARE BASED ON "STABILOY" (AL. ALLOY) CONDUCTORS WITH XHHW-2 INSULATION. 2. THIS SCHEDULE SHALL BE USED ON ALL FEEDERS SERVING LOADS WHERE THE CIRCUIT BREAKER SIZE MATCHES THE AMPACITY OF ITS FEEDER...

BRANCH CIRCUIT SCHEDULE

Table with columns: CIRCUIT TAG, CONDUITS (MET, SETS, RNC), CONDUCTORS PER SET (PHASE/NEUTRAL, GROUND), WIRING CONFIG., NOTES. Rows include circuits like 60.2N, 60.2, 60.1, etc.

NOTES: 1. CONDUCTORS AND CONDUITS SHOWN IN THIS SCHEDULE ARE BASED ON COPPER CONDUCTORS WITH THHN/THWN INSULATION. 2. THIS SCHEDULE SHALL BE USED ON ALL BRANCH CIRCUITS SERVING LOADS WHERE THE CIRCUIT BREAKER SIZE MATCHES THE AMPACITY OF ITS FEEDER...

MOTOR CIRCUIT SCHEDULE

Table with columns: FEEDER TAG, CONDUITS (MET, SETS, RNC), CONDUCTORS PER SET (PHASE/NEUTRAL, GROUND), NOTES. Rows include motors like 400.3M, 350.3M, 300.3M, etc.

GENERAL NOTES: 1. THE NUMBER PORTION BEFORE THE PERIOD IS THE AMPACITY OF THE BREAKER SERVING THE MOTOR LOAD, NOT THE AMPACITY OF THE FEEDER. 2. CONDUCTORS AND CONDUITS SHOWN IN THIS SCHEDULE ARE BASED ON COPPER CONDUCTORS WITH THHN/THWN INSULATION...

KEYED NOTES: (X) 1. "MET"= EMT, IMC, GRC, RAC, OR PVC COATED GRC TYPE CONDUITS. "RNC"= PVC 40, PVC 80 OR FIBERGLASS TYPE CONDUITS ROUTED UNDERGROUND...

COPPER FEEDER SCHEDULE

Table with columns: FEEDER TAG, CONDUITS (MET, SETS, RNC), CONDUCTORS PER SET (PHASE/NEUTRAL, GROUND), NOTES. Rows include feeders like 4000.4, 4000.3, 3500.4, etc.

NOTES: 1. CONDUCTORS AND CONDUITS SHOWN IN THIS SCHEDULE ARE BASED ON COPPER CONDUCTORS WITH THHN/THWN INSULATION. 2. THIS SCHEDULE SHALL BE USED ON ALL FEEDERS SERVING LOADS WHERE THE CIRCUIT BREAKER SIZE MATCHES THE AMPACITY OF ITS FEEDER...

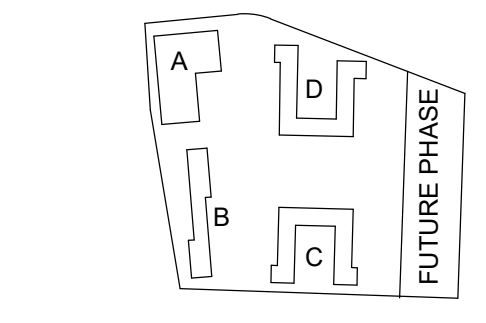
VOLTAGE DROP TABLE

Table with columns: VOLT, AMP, MAXIMUM ALLOWED RUN LENGTH (FT) for #12, #10, #8, #6, #4. Rows include voltage levels like 120V, 277V.

NOTES: 1. THIS SCHEDULE APPLIES TO ALL BRANCH CIRCUITS. CONTRACTOR SHALL PROVIDE UPSIZED CONDUCTORS AND CONDUIT/RACEWAYS AS REQUIRED FOR EACH SITUATION. 2. THIS SCHEDULE IS FOR 3% VOLTAGE DROP USING COPPER CONDUCTORS...



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EHA BAKER HEIGHTS



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BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201

REVISIONS

Table with columns: MARK, DATE, DESCRIPTION. Revision 1: 06/08/2020 BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL.

MARK DATE DESCRIPTION
ISSUE INFORMATION

PROJECT NO.: 2017033
PRINCIPAL IN CHARGE: Jon Hall
PROJECT MANAGER: Scott Schreffler
OWNER APPROVAL:

ELECTRICAL FEEDER & CIRCUIT SCHEDULES

E-002

D

C

B

A

BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

LIGHTING CONTROL INTENT SUMMARY

NEW LIGHTING CONTROLS SHALL BE A DESIGN BUILD EFFORT (PROVIDED BY THE ELECTRICAL CONTRACTOR AND LIGHTING CONTROL VENDOR/MANUFACTURER) THAT MEETS THE CONTROL INTENT SPECIFIED IN THIS DRAWING PACKAGE...

GENERAL

- 1. LIGHTING CONTROLS VENDOR/MANUFACTURER SHALL PROVIDE A COMPLETE AND FUNCTIONAL LIGHTING CONTROL SYSTEM AS DESCRIBED IN BASIS OF DESIGN DOCUMENTATION.
2. OCCUPANCY SENSORS TO BE SET TO VACANCY, MANUAL ON/AUTOMATIC OFF. OCCUPANCY SENSOR TIME DELAY FUNCTIONS TO BE SET AS FOLLOWS...

FUNCTIONAL REQUIREMENTS

PROVIDE CONTROLS THAT MEET THE FUNCTIONAL REQUIREMENTS LISTED BELOW UNLESS NOTED OTHERWISE. IT IS THE RESPONSIBILITY OF THE LIGHTING CONTROLS CONTRACTOR TO PROVIDE ALL EQUIPMENT, DEVICES, INTERCONNECTS, AND PROGRAMMING NECESSARY TO PROVIDE THE FUNCTIONAL REQUIREMENTS LISTED...

- 1. CIRCULATION SPACES (E.G. CORRIDORS, ELEVATOR LOBBIES, VESTIBULES)
AUTOMATIC-ON/AUTOMATIC-OFF DIMMING CONTROL VIA CEILING-MOUNTED OCCUPANCY SENSOR(S). WHILE SPACE IS OCCUPIED, LOCAL LIGHTING SHALL PROVIDE 15FC AVERAGE OF ILLUMINATION...
2. ELECTRICAL AND MECHANICAL ROOMS (INCLUDES ELEVATOR CONTROLS ROOM AND WATER SPRINKLER ROOMS)
MANUAL-ON/MANUAL-OFF LINE-VOLTAGE TOGGLE SWITCH CONTROL FOR SAFETY OF MAINTENANCE PERSONNEL.

LUMINAIRE SCHEDULE

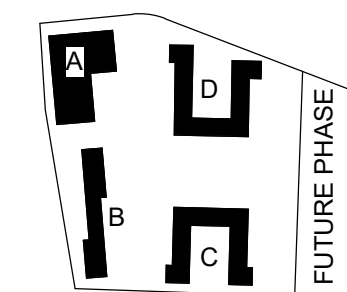
Table with columns: TAG, DESCRIPTION, LAMP, COLOR TEMP, MANUFACTURER, MODEL, POWER SUPPLY, VOLTAGE, LOAD, MOUNTING, COMMENTS. Contains 40 rows of luminaire specifications.

- A. FURNISH ALL LIGHTING FIXTURES COMPLETE WITH MOUNTING ACCESSORIES TO MEET JOB REQUIREMENTS. VERIFY FIXTURE MOUNTING AND LOCATION AGAINST ARCHITECTS PLANS, ELEVATIONS AND DETAIL DRAWINGS. EXACT LOCATION OF ALL FIXTURES SHALL BE CONFIRMED WITH THE ARCHITECT PRIOR TO ROUGHING IN.
B. SERIES FIXTURES SHALL SATISFY LENGTHS AS SHOWN ON THE DRAWINGS. FIXTURE LETTERS SHOWN ONCE ON A CONTINUOUS ROW OF FIXTURES SHALL BE TYPICAL FOR THAT ROW UNLESS OTHERWISE NOTED.



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T: 206.262.1010
Project Manager: DeNayne Glenn
Job No.: 20U500169

PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

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EVERETT HOUSING AUTHORITY
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EVERETT, WA 98201

Table with columns: MARK, DATE, DESCRIPTION. Row 1: REVISIONS

Table with columns: C, DATE, DESCRIPTION. Row 1: 06/08/2020 BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

Table with columns: PROJECT NO., PRINCIPAL IN CHARGE, PROJECT MANAGER, OWNER APPROVAL. Values: 2017033, Jon Hall, Scott Schreffler

SHEET TITLE
LUMINAIRE SCHEDULE

SHEET NO.

E-003

BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

D

C

B

A

PL01 DATE/TIME: 06/08/2020 11:20:49 AM

BUILDING A,B,C,D RESIDENTIAL LOAD CALCULATION

Table with 15 columns: Unit Number, Unit Type, Unit Quantity, Avg. sqare feet / per unit, General Lighting Loads (3VA/sf): (VA) - 220-82(B)(1), Small Appliance circuits (3)-1500VA - 220-82(B)(2), Appliances Load Nameplate rating- (VA) - 220-82(B)(3), Gross General Load- (VA) - 220-82(B), FUTURE AC UNIT IN LIVING ROOM: (VA)- 220-82(C)(1), Electric heat load: (VA)- 220-82(C)(4), Largest Electric Heat and AC Load (VA) - 220-82(C), EACH Dwelling Unit Load, Per 220-82: (VA), EACH Dwelling Unit Load center @ (208V-1Ph): (A), Multifamily Dwelling Service MS-RS Calculated - 220-84(C) (KVA), DIVERSITY FACTOR (T220.84), Residential Switchboard MS-RS NEC load (KVA). Rows include BLDG A,B,C,D SUMMARY and individual building details.

Table with 15 columns: Unit Number, Unit Type, Unit Quantity, Avg. sqare feet / per unit, General Lighting Loads (3VA/sf): (VA) - 220-82(B)(1), Small Appliance circuits (3)-1500VA - 220-82(B)(2), Appliances Load Nameplate rating- (VA) - 220-82(B)(3), Gross General Load- (VA) - 220-82(B), FUTURE AC UNIT IN LIVING ROOM: (VA)- 220-82(C)(1), Electric heat load: (VA)- 220-82(C)(4), Largest Electric Heat and AC Load (VA) - 220-82(C), EACH Dwelling Unit Load, Per 220-82: (VA), EACH Dwelling Unit Load center @ (208V-1Ph): (A), Multifamily Dwelling Service MS-RS Calculated - 220-84(C) (KVA), DIVERSITY FACTOR (T220.84), Residential Switchboard MS-RS NEC load (KVA). Rows include BLDG A SUMMARY and 1B1B details.

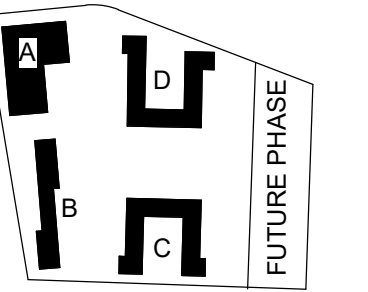
Table with 15 columns: Unit Number, Unit Type, Unit Quantity, Avg. sqare feet / per unit, General Lighting Loads (3VA/sf): (VA) - 220-82(B)(1), Small Appliance circuits (3)-1500VA - 220-82(B)(2), Appliances Load Nameplate rating- (VA) - 220-82(B)(3), Gross General Load- (VA) - 220-82(B), FUTURE AC UNIT IN LIVING ROOM: (VA)- 220-82(C)(1), Electric heat load: (VA)- 220-82(C)(4), Largest Electric Heat and AC Load (VA) - 220-82(C), EACH Dwelling Unit Load, Per 220-82: (VA), EACH Dwelling Unit Load center @ (208V-1Ph): (A), Multifamily Dwelling Service MS-RS Calculated - 220-84(C) (KVA), DIVERSITY FACTOR (T220.84), Residential Switchboard MS-RS NEC load (KVA). Rows include BLDG B SUMMARY and 0B1B, 1B1B details.

Table with 15 columns: Unit Number, Unit Type, Unit Quantity, Avg. sqare feet / per unit, General Lighting Loads (3VA/sf): (VA) - 220-82(B)(1), Small Appliance circuits (3)-1500VA - 220-82(B)(2), Appliances Load Nameplate rating- (VA) - 220-82(B)(3), Gross General Load- (VA) - 220-82(B), FUTURE AC UNIT IN LIVING ROOM: (VA)- 220-82(C)(1), Electric heat load: (VA)- 220-82(C)(4), Largest Electric Heat and AC Load (VA) - 220-82(C), EACH Dwelling Unit Load, Per 220-82: (VA), EACH Dwelling Unit Load center @ (208V-1Ph): (A), Multifamily Dwelling Service MS-RS Calculated - 220-84(C) (KVA), DIVERSITY FACTOR (T220.84), Residential Switchboard MS-RS NEC load (KVA). Rows include BLDG C SUMMARY and SUMMARY-C1, C2 details.

Table with 15 columns: Unit Number, Unit Type, Unit Quantity, Avg. sqare feet / per unit, General Lighting Loads (3VA/sf): (VA) - 220-82(B)(1), Small Appliance circuits (3)-1500VA - 220-82(B)(2), Appliances Load Nameplate rating- (VA) - 220-82(B)(3), Gross General Load- (VA) - 220-82(B), FUTURE AC UNIT IN LIVING ROOM: (VA)- 220-82(C)(1), Electric heat load: (VA)- 220-82(C)(4), Largest Electric Heat and AC Load (VA) - 220-82(C), EACH Dwelling Unit Load, Per 220-82: (VA), EACH Dwelling Unit Load center @ (208V-1Ph): (A), Multifamily Dwelling Service MS-RS Calculated - 220-84(C) (KVA), DIVERSITY FACTOR (T220.84), Residential Switchboard MS-RS NEC load (KVA). Rows include BLDG D SUMMARY and SUMMARY-D1, D2 details.



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T: 206.262.1010
Project Manager: DeNayne Glenn
Job No.: 20US00169

PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:

EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201

MARK DATE DESCRIPTION

REVISIONS

C 06/08/2020 BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

B 04/10/2020 DESIGN DEVELOPMENT

A 01/07/2020 SCHEMATIC DESIGN

MARK DATE DESCRIPTION

ISSUE INFORMATION

PROJECT NO.: 2017033

PRINCIPAL IN CHARGE: Jon Hall

PROJECT MANAGER: Scott Schreffler

OWNER APPROVAL:

SHEET TITLE

RESIDENTIAL UNIT
LOAD CALCULATION

SHEET NO.

E-005

BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

D

C

B

A

PLT DATE/TIME: 06/08/2020 10:45:49 AM

PANEL: L1A1

VOLTAGE: 208Y/120V, 3PH, 4W
 MOUNTING: SURFACE
 BUS RATING: 225 A
 MAIN AMPS: 225 A MLO
 AIC RATING: ?????

NEMA RATING: Type 1
 INTEGRAL SPD: No
 ISOL GROUND BAR: No
 FEED-THRU LUGS: No
 DOUBLE-LUGS: No

LOCATION: ELECTRICAL ROOM 104
 SUPPLY FROM:

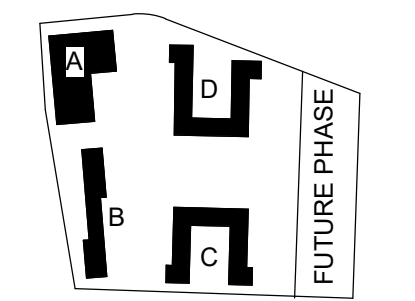
CKT	TRIP	POLE	DESCRIPTION	TYPE	A (kVA)	B (kVA)	C (kVA)	TYPE	DESCRIPTION	POLE	TRIP	CKT	
1	20 A	1	CONF 285 RECEP	R	0.72	0.19		L	LEVEL 1 EM LIGHTING	1	20 A	2	
3	20 A	1	CONF 285 RECEP	R; N		0.72	1.64		L	LEVEL 1 LIGHTING SOUTH	1	20 A	4
5	20 A	1	OFFICE 276 RECEP	R			1.08	1.46	L	LEVEL 1 LIGHTING NORTH	1	20 A	6
7	20 A	1	OFFICE 275 RECEP	R	0.9	0.15			L	LEVEL 2 EM LIGHTING	1	20 A	8
9	20 A	1	RESTROOM/CORRIDOR RECEP	R		0.9	1.09		L	LEVEL 2 LIGHTING	1	20 A	10
11	20 A	1	ECEAP/CLASSROOM RECEP	R			0.72	0.09	L	LEVEL 3 EM LIGHTING	1	20 A	12
13	20 A	1	CLASSROOM RECEP	R	1.08	0.62			L	LEVEL 3 LIGHTING	1	20 A	14
15	20 A	1	BREAK ROOM RECEP	R		0.9	0.08		L	LEVEL 4 EM LIGHTING	1	20 A	16
17	20 A	1	CLASSROOM RECEP	R			0.72	0.62	L	LEVEL 4 LIGHTING	1	20 A	18
19	20 A	1	ELEVATOR PIT RECEP	R	0.36	0.6			L	SITE LIGHTING SOUTH	1	20 A	20
21	20 A	1	ROOM 260 RECEP	R		1.08	0.68		L	SITE LIGHTING NORTH	1	20 A	22
23	20 A	1	ROOM 260 RECEP	R			0.72					24	
25	20 A	1	ROOM 260 RECEP	R	0.54							26	
27	20 A	1	ROOM 260 RECEP	R		1.08						28	
29	20 A	1	COMPUTER LAB RECEP	C			1.2					30	
31	20 A	1	COMPUTER LAB RECEP	C	1.2							32	
33	20 A	1	OFFICE 279 RECEP	R		0.9						34	
35	20 A	1	ELEC ROOM RECEP	R			0.54					36	
37	20 A	1	OFFICE 204 & LOBBY 398 RECEP	R	1.08							38	
39	20 A	1	MDF DED RECEP	C		1.2						40	
41	20 A	1	MDF DED RECEP	C			0.3					42	

SPECIAL PANEL FEATURES: 7.44 kVA | 10.26 kVA | 7.44 kVA | CIRCUIT NOTES

LOAD TYPE	CONNECTED	DEMAND FACTOR	DEMAND LOAD	LOAD TYPE KEY	PANEL TOTALS	
C	3.9 kVA	125%	4.88 kVA	C = CONTINUOUS	KVA	AMPS
L	7.2 kVA	125%	9 kVA	E = ELEVATOR	TOTAL CONNECTED LOAD:	25.14 kVA / 69.8 A
N	0.18 kVA	100%	0.18 kVA	K = KITCHEN	TOTAL DEMAND LOAD:	25.99 kVA / 72.1 A
R	13.86 kVA	86%	11.93 kVA	L = LIGHTING	SPARE CAPACITY:	25% / 25%
				M = MOTOR	DESIGNED CAPACITY:	32.48 kVA / 90 A
				MOTOR = LARGEST MOTOR		
				N = NON-CONTINUOUS		
				R = RECEPTACLE		



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 Project Manager: DeNayne Glenn
 Job No.: 20US00169

PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:

EVERETT HOUSING AUTHORITY
 3107 COLBY AVE
 EVERETT, WA 98201

MARK DATE DESCRIPTION

REVISIONS

MARK	DATE	DESCRIPTION
C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

ISSUE INFORMATION

PROJECT NO.: **2017033**
 PRINCIPAL IN CHARGE: Jon Hall
 PROJECT MANAGER: Scott Schreffler
 OWNER APPROVAL:

SHEET TITLE
BUILDING A - PANEL SCHEDULES

SHEET NO.

E-007

BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

PANEL: L1B

VOLTAGE: 208Y/120V, 3PH, 4W
MOUNTING: SURFACE
BUS RATING: 200 A
MAIN AMPS: 125 A MLO
AIC RATING: SEE ONE LINE DIAGRAM

NEMA RATING: Type 1
INTEGRAL SPD: No
ISOL GROUND BAR: No
FEED-THRU LUGS: No
DOUBLE-LUGS: No

LOCATION: STORAGE B-005
SUPPLY FROM:

CKT	TRIP	POLE	DESCRIPTION	TYPE	A (kVA)	B (kVA)	C (kVA)	TYPE	DESCRIPTION	POLE	TRIP	CKT
1	20 A	1	EM LIGHTING	L	0.23							2
3	20 A	1	EXTERIOR LIGHTING	L		0.93						4
5												6
7												8
9												10
11												12
13												14
15												16
17												18
19												20
21												22
23												24
25												26
27												28
29												30
31												32
33												34
35												36
37												38
39												40
41												42
SPECIAL PANEL FEATURES					0.23 kVA	0.93 kVA	0 kVA	CIRCUIT NOTES				

LOAD TYPE	CONNECTED	DEMAND FACTOR	DEMAND LOAD	LOAD TYPE KEY	PANEL TOTALS		
L	1.16 kVA	125%	1.45 kVA	C = CONTINUOUS	KVA	AMPS	
				E = ELEVATOR	TOTAL CONNECTED LOAD:	1.16 kVA	3.2 A
				K = KITCHEN	TOTAL DEMAND LOAD:	1.45 kVA	4 A
				L = LIGHTING	SPARE CAPACITY:	25%	25%
				M = MOTOR	DESIGNED CAPACITY:	1.81 kVA	5 A
				MOTOR = LARGEST MOTOR			
				N = NON-CONTINUOUS			
				R = RECEPTACLE			

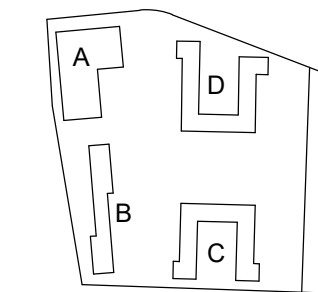
D

C

B

A

PLOT DATE/TIME: 06/08/2020 10:46:51 AM



PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:

EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

MARK	DATE	DESCRIPTION
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REVISIONS

C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
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B	04/10/2020	DESIGN DEVELOPMENT
---	------------	--------------------

A	01/07/2020	SCHEMATIC DESIGN
---	------------	------------------

MARK	DATE	DESCRIPTION
------	------	-------------

ISSUE INFORMATION

PROJECT NO.: **2018000.00**
 PRINCIPAL IN CHARGE: **Scott Vollmoeller**
 PROJECT MANAGER: **DeNayne Glenn**
 OWNER APPROVAL:

SHEET TITLE

BUILDING B - PANEL SCHEDULES

SHEET NO.

E-008

BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

PANEL: L1C1

VOLTAGE: 208Y/120V, 3PH, 4W
MOUNTING: SURFACE
BUS RATING: 100 A
MAIN AMPS: 100 A MCB
AIC RATING: ????

NEMA RATING: Type 1
INTEGRAL SPD: No
ISOL GROUND BAR: No
FEED-THRU LUGS: No
DOUBLE-LUGS: No

LOCATION: ELECTRICAL METERS C-003
SUPPLY FROM:

CKT	TRIP	POLE	DESCRIPTION	TYPE	A (kVA)	B (kVA)	C (kVA)	TYPE	DESCRIPTION	POLE	TRIP	CKT
1	20 A	1	EM LIGHTING WEST	L	0.18							2
3	20 A	1	EXTERIOR LIGHTING WEST	L		0.62						4
5												6
7												8
9												10
11												12
13												14
15												16
17												18
19												20
21												22
23												24
25												26
27												28
29												30
31												32
33												34
35												36
37												38
39												40
41												42

SPECIAL PANEL FEATURES: 0.18 kVA 0.62 kVA 0 kVA CIRCUIT NOTES

LOAD TYPE	CONNECTED	DEMAND FACTOR	DEMAND LOAD	LOAD TYPE KEY	PANEL TOTALS	
L	0.79 kVA	125%	0.99 kVA	C = CONTINUOUS E = ELEVATOR K = KITCHEN L = LIGHTING M = MOTOR N = NON-CONTINUOUS R = RECEPTACLE	KVA	AMPS
					TOTAL CONNECTED LOAD:	0.79 kVA 2.2 A
					TOTAL DEMAND LOAD:	0.99 kVA 2.8 A
					SPARE CAPACITY:	25% 25%
					DESIGNED CAPACITY:	1.24 kVA 3 A

PANEL: L1C2

VOLTAGE: 208Y/120V, 3PH, 4W
MOUNTING: SURFACE
BUS RATING: 100 A
MAIN AMPS: 100 A MCB
AIC RATING: ????

NEMA RATING: Type 1
INTEGRAL SPD: No
ISOL GROUND BAR: No
FEED-THRU LUGS: No
DOUBLE-LUGS: No

LOCATION: ELECTRICAL METERS C-008
SUPPLY FROM:

CKT	TRIP	POLE	DESCRIPTION	TYPE	A (kVA)	B (kVA)	C (kVA)	TYPE	DESCRIPTION	POLE	TRIP	CKT
1	20 A	1	EM LIGHTING EAST	L	0.09							2
3	20 A	1	EXTERIOR LIGHTING EAST	L		0.33						4
5												6
7												8
9												10
11												12
13												14
15												16
17												18
19												20
21												22
23												24
25												26
27												28
29												30
31												32
33												34
35												36
37												38
39												40
41												42

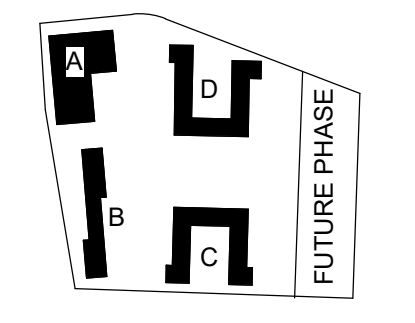
SPECIAL PANEL FEATURES: 0.09 kVA 0.33 kVA 0 kVA CIRCUIT NOTES

LOAD TYPE	CONNECTED	DEMAND FACTOR	DEMAND LOAD	LOAD TYPE KEY	PANEL TOTALS	
L	0.42 kVA	125%	0.52 kVA	C = CONTINUOUS E = ELEVATOR K = KITCHEN L = LIGHTING M = MOTOR N = NON-CONTINUOUS R = RECEPTACLE	KVA	AMPS
					TOTAL CONNECTED LOAD:	0.42 kVA 1.2 A
					TOTAL DEMAND LOAD:	0.52 kVA 1.5 A
					SPARE CAPACITY:	25% 25%
					DESIGNED CAPACITY:	0.65 kVA 2 A

GGLO DESIGN

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Project Manager: DeNayne Glenn
Job No.: 20US00169

PROJECT:
EHA BAKER HEIGHTS



PROJECT ADDRESS:
BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

MARK	DATE	DESCRIPTION
REVISIONS		

C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

MARK DATE DESCRIPTION
ISSUE INFORMATION

PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: **Scott Vollmoeller**
PROJECT MANAGER: **DeNayne Glenn**
OWNER APPROVAL:

SHEET TITLE
BUILDING C - PANEL SCHEDULES

SHEET NO.
E-009

BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

PANEL: L1D1

VOLTAGE: 208Y/120V, 3PH, 4W
MOUNTING: SURFACE
BUS RATING: 100 A
MAIN AMPS: 100 A MCB
AIC RATING: ????

NEMA RATING: Type 1
INTEGRAL SPD: No
ISOL GROUND BAR: No
FEED-THRU LUGS: No
DOUBLE-LUGS: No

LOCATION: ELECTRICAL METERS D-004
SUPPLY FROM:

CKT	TRIP	POLE	DESCRIPTION	TYPE	A (kVA)	B (kVA)	C (kVA)	TYPE	DESCRIPTION	POLE	TRIP	CKT
1	20 A	1	EM LIGHTING WEST	L	0.16							2
3	20 A	1	EXTERIOR LIGHTING WEST	L		0.69						4
5												6
7												8
9												10
11												12
13												14
15												16
17												18
19												20
21												22
23												24
25												26
27												28
29												30
31												32
33												34
35												36
37												38
39												40
41												42

SPECIAL PANEL FEATURES: 0.16 kVA, 0.69 kVA, 0 kVA, CIRCUIT NOTES

LOAD TYPE	CONNECTED	DEMAND FACTOR	DEMAND LOAD	LOAD TYPE KEY	PANEL TOTALS	
L	0.85 kVA	125%	1.06 kVA	C = CONTINUOUS E = ELEVATOR K = KITCHEN L = LIGHTING M = MOTOR MOTOR = LARGEST MOTOR N = NON-CONTINUOUS R = RECEPTACLE	KVA	AMPS
					TOTAL CONNECTED LOAD:	0.85 kVA, 2.4 A
					TOTAL DEMAND LOAD:	1.06 kVA, 2.9 A
					SPARE CAPACITY:	25%, 25%
					DESIGNED CAPACITY:	1.33 kVA, 4 A

PANEL: L1D2

VOLTAGE: 208Y/120V, 3PH, 4W
MOUNTING: SURFACE
BUS RATING: 100 A
MAIN AMPS: 100 A MCB
AIC RATING: ????

NEMA RATING: Type 1
INTEGRAL SPD: No
ISOL GROUND BAR: No
FEED-THRU LUGS: No
DOUBLE-LUGS: No

LOCATION: ELECTRICAL METERS D-003
SUPPLY FROM:

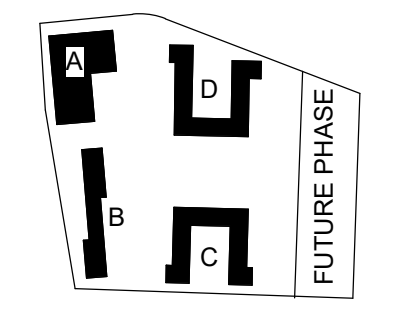
CKT	TRIP	POLE	DESCRIPTION	TYPE	A (kVA)	B (kVA)	C (kVA)	TYPE	DESCRIPTION	POLE	TRIP	CKT
1	20 A	1	EM LIGHTING EAST	L	0.11							2
3	20 A	1	EXTERIOR LIGHTING EAST	L		0.33						4
5												6
7												8
9												10
11												12
13												14
15												16
17												18
19												20
21												22
23												24
25												26
27												28
29												30
31												32
33												34
35												36
37												38
39												40
41												42

SPECIAL PANEL FEATURES: 0.11 kVA, 0.33 kVA, 0 kVA, CIRCUIT NOTES

LOAD TYPE	CONNECTED	DEMAND FACTOR	DEMAND LOAD	LOAD TYPE KEY	PANEL TOTALS	
L	0.44 kVA	125%	0.54 kVA	C = CONTINUOUS E = ELEVATOR K = KITCHEN L = LIGHTING M = MOTOR MOTOR = LARGEST MOTOR N = NON-CONTINUOUS R = RECEPTACLE	KVA	AMPS
					TOTAL CONNECTED LOAD:	0.44 kVA, 1.2 A
					TOTAL DEMAND LOAD:	0.54 kVA, 1.5 A
					SPARE CAPACITY:	25%, 25%
					DESIGNED CAPACITY:	0.68 kVA, 2 A



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Project Manager: DeNayne Glenn
Job No.: 20US00169

PROJECT:
EHA BAKER HEIGHTS



PROJECT ADDRESS:
BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

MARK	DATE	DESCRIPTION

C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: **Scott Vollmoeller**
PROJECT MANAGER: **DeNayne Glenn**
OWNER APPROVAL:

SHEET TITLE
BUILDING D - PANEL SCHEDULES

SHEET NO.
E-010

BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

D

C

B

A

PLOT DATE/TIME: 06/08/2020 10:53:04 AM

Exterior Lighting LTG-EXT

Project Title: EHA BAKER HEIGHTS Date: 6/8/2020
Zone 1 Zone 2 Zone 3 Zone 4
For Building Department Use:

Calculation Area
New construction Addition - stand Addition + existing
Alteration with < 50% ext. wattage replaced Alteration with >= 50% ext. wattage replaced

Building Grounds
Efficacy > 80 lumens/watt Exemptio
Controlled by motion sensor

Tradable Maximum Allowed Lighting Wattage
Base Site Allowance: 1300
Table with columns: Tradable Surfaces, Surface Description, Area, Allowed Watts, Allowed Watts

Total Allowed Tradable + Site Allowance Watts: 28932

Tradable Proposed Lighting Wattage
Table with columns: Tradable Surface, Fixture Description, Number of Fixtures, Watts per Fixture, Watts Proposed

Total Proposed Tradable Watts: 5268

Non-Tradable Maximum Allowed Lighting Wattage
Site Allowance Remaining: 1300
Table with columns: Non-Tradable Surfaces, Surface Description, Area, Allowed Watts, Allowed Watts

Non-Tradable Proposed Lighting Wattage
Table with columns: Non-Tradable Surface, Fixture Description, Number of Fixtures, Watts per Fixture, Watts Proposed

Non-tradable proposed watts may not exceed allowed watts for any individual surface unless the total excess watts for all non-tradable surfaces are less than the remaining site allowance.

Exterior Lighting COMPLIES WITH MAX. ALLOWANCE

- Note 1 - List all exterior surfaces per Table C405.5.2(2) that occur in the project scope. Select exterior surface categories from drop down menu.
Note 2 - Unit Message - Enter lighting fixture information for this surface in Proposed Lighting Wattage table to generate Lighting Power Allowance.
Note 3 - List all proposed lighting fixtures including existing-to-remain fixtures.
Note 4 - For proposed Fixture Description, indicate fixture type, lamp type, number of lamps in the fixture, and ballast type (if applicable).
Note 5 - Existing-to-remain fixtures shall be included in the Tradable and Non-Tradable Proposed Lighting Wattage tables in the same manner as new fixtures. Identify as existing in fixture description.
Note 6 - For proposed Watts/Fixture enter the luminaire wattage for installed lamp and ballast using manufacturer or other approved source. For luminaires with screw-in lamps, enter the manufacturer's listed maximum input wattage of the fixture (not the lamp wattage). For low voltage lighting, enter the wattage of the transformer.
Note 7 - Automated Teller and Night Depositories - For each location, enter the number of ATM machines or depositories within that location. If there are multiple locations in the project, enter each location individually in the Non-Tradable Maximum Allowed Lighting Wattage table and identify the location in the Surface Description section.

Interior Lighting - Space-By-Space Method LTG-INT-SPACE

Project Title: EHA BAKER HEIGHTS Date: 6/8/2020
New Construction Addition - stand alone Addition + existing
Spaces where < 50% of luminaires are replaced Spaces where >= 50% of luminaires are replaced Spaces where the Use is changing (C505)

LPA Calculation Type
Standard Additional Efficiency Package Option C406.3 Reduced Interior Lighting
To comply with C406.3, the Proposed LPD shall be 25% lower than the Target LPA. Refer to C406.3 for additional requirements.

Maximum Allowed Lighting Wattage

Table with columns: Location, Space Type, Ceiling Height, Gross Interior Area, Allowed Watts, Watts Allowed

Total Area: 11346
Retail Display Allowance from LTG-INT-DISPLAY: 3469
Lobby Art/Exhibit Display Allowance from LTG-INT-DISPLAY: 227
Allowed Watts: 7887

Proposed Lighting Wattage

Table with columns: Location, Fixture Description, Number of Fixtures, Watts/Fixture, Watts Proposed

Proposed Retail Display Lighting from LTG-INT-DISPLAY: 3469
Total Proposed Watts may not exceed Total Allowed Watts for interior Lighting: 5365

Interior Lighting Power Allowance COMPLIES WITH C406.3

- Note 1 - List all unique space types per Table C405.4.2(2) that occur in the project scope. Select space type category from drop down menu.
Note 2 - Indicate ceiling height for atriums and spaces utilizing the ceiling height adjustment per Table C405.4.2(2). Footnotes d thru f.
Note 3 - List all proposed lighting fixtures including exempt lighting equipment and existing-to-remain fixtures.
Note 4 - For proposed Fixture Description, indicate fixture type, lamp type (e.g. T-8), number of lamps in the fixture, and ballast type (if included). For track lighting, list the length of the track (in feet) in addition to the fixture, lamp, and ballast information.
Note 5 - For lighting equipment eligible for exemption per C405.4.1, note exemption number and leave Watts/Fixture blank.
Note 6 - Existing-to-remain fixtures shall be included in the Proposed Lighting Wattage table in the same manner as new fixtures. Identify as existing in fixture description.
Note 7 - For proposed Watts/Fixture enter the luminaire wattage for installed lamp and ballast using manufacturer or other approved source. For luminaires with screw-in lamps, enter the manufacturer's listed maximum input wattage of the fixture (not the lamp wattage). For low voltage lighting, enter the wattage of the transformer. For line voltage track/busway systems, enter the larger of the attached luminaire wattage or 50 watts/linear foot, or enter the wattage limit of permanent current limiting device.
Note 8 - Lobby Art/Exhibit Display Allowance is independent of the Maximum Allowed Lighting Wattage. Enter all proposed lobby art/exhibit display fixtures in LTG-INT-DISPLAY form only.
Note 9 - Calculation Area Details:
a. Lighting fixtures in a building addition may comply as a stand alone project, or they may be combined with the overall existing building lighting systems to demonstrate compliance. Refer to C502.1.
b. For alterations and building additions, provide Space Types and gross interior areas in the Maximum Allowed Lighting Wattage table. If building addition will comply as combined with the overall existing building lighting systems, include all applicable existing Space Types and gross interior areas.
c. If less than 50% of existing lighting fixtures will be replaced, provide total existing lighting wattage (prior to alteration) in the space provided.

Lighting Summary LTG-SUM

Project Info
Compliance forms do not require a password to use. Instructional and calculating cells are write-protected.
Project Title: EHA BAKER HEIGHTS Date: 6/8/2020
Company Name: GLUMAC
Company Address: 1601 5TH AVE, SEATTLE, WA 98122
Applicant Name:
Applicant Phone: 206-262-1010
Applicant Email:

Project Description
New Building Addition Alteration No Lighting Scope

Interior Lighting System Description
Interior Lighting Plans Included

Interior Lighting Power Allowance Method
Building Area Method Space-by-space Method

Interior Lighting Controls
All C405.2.1 - C405.2.8 Lighting Controls C405.2 Exception 5 Luminaire Level Lighting Controls (LLLC)
Additional Efficiency Package Option C406.4 Enhanced Digital Lighting Controls

Dwelling Unit Interior Lighting
Permanently installed interior lighting fixtures in dwelling units comply with: C405.2 thru C405.5 Commercial Lighting Controls and LPA C406.3 High Efficacy Lighting R404.1 Residential High Efficacy Lighting

Exterior Lighting System Description
Exterior Lighting Plans Included

Building Additions
Table with columns: Compliance Method, Interior lighting, Exterior lighting

Lighting Summary, cont. LTG-SUM

Project Title: EHA BAKER HEIGHTS Date: 6/8/2020

Change of Space Use
Existing interior lighting systems in areas under-going a change in space use are upgraded to comply with LPAs for the new space types per Tables C405.4.2(1) or C405.4.2(2).
Identify interior spaces requiring LPD upgrade to the current Code in Proposed Lighting Wattage table in LTG-INT-BLD or LTG-INT-SPACE form.

Interior and Exterior Lighting Alterations
Table with columns: Lighting Power, Interior lighting, Parking garage, Exterior lighting

Select all Lighting Power and Lighting Control elements that apply to the scope of the retrofit project. If project includes a combination of spaces where less than 50% of the existing fixtures are replaced in some spaces, and 50% or more of the fixtures are replaced in others, then provide separate lighting power compliance forms for the two retrofit conditions. Spaces undergoing the same type of retrofit may be combined into one lighting power compliance form. Refer to Section C503.6 for additional requirements.

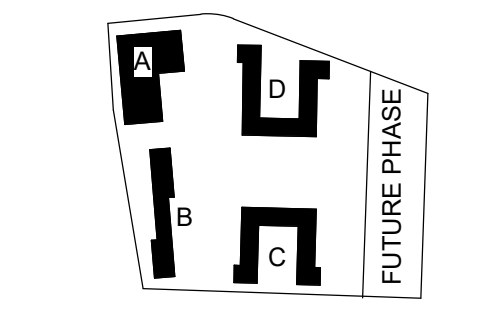
Lighting Controls
Table with columns: Lighting Controls, Interior lighting, Parking garage, Exterior lighting

No changes are being made to the interior or exterior lighting systems and existing space uses and configuration are not changed.



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www.glumac.com
T: 206.262.1010
Project Manager: DeWayne Glenn
Job No.: 20US00169

PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:
BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201

REVISIONS

Table with columns: MARK, DATE, DESCRIPTION

PROJECT NO.: 2017033
PRINCIPAL IN CHARGE: Jon Hall
PROJECT MANAGER: Scott Schreffler
OWNER APPROVAL:

SHEET TITLE
WSEC ENERGY COMPLIANCE FORMS

SHEET NO.

E-011

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BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

PLT DATE TIME: 2020 10:46:52 AM

D

C

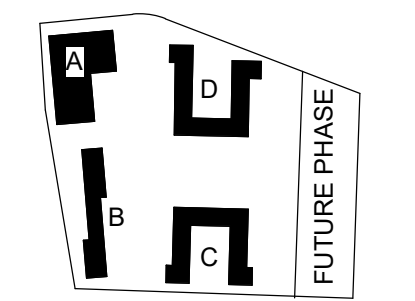
B

A

PLOT DATE/TIME: 2020-10-05 03:40 AM

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Project Manager: DeNayne Glenn
Job No.: 20US00169

PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

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EVERETT HOUSING AUTHORITY
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EVERETT, WA 98201

MARK DATE DESCRIPTION

REVISIONS

C 06/08/2020 BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

B 04/10/2020 DESIGN DEVELOPMENT

A 01/07/2020 SCHEMATIC DESIGN

MARK DATE DESCRIPTION

ISSUE INFORMATION

PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: Jon Hall
PROJECT MANAGER: Scott Schreffler
OWNER APPROVAL:

SHEET TITLE

WSEC ENERGY COMPLIANCE FORMS

SHEET NO.

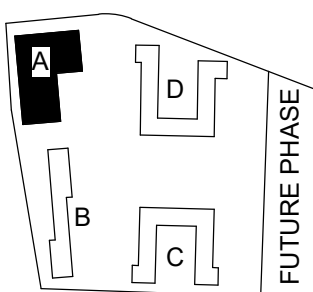
E-013

BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL



KEYED NOTES #

1. PROVIDE UNDERGROUND SERVICE FEEDERS IN PVC CONDUIT 24" BELOW THE GRADE, FEEDERS SIZE REFER TO ELECTRICAL SINGLE LINE DIAGRAM.
2. PROVIDE 1" EMPTY CONDUIT WITH PULL STRING TO FUTURE ELECTRIC VEHICLE CHARGER STATION LOCATION. STUB UP AT LEAST 12" ABOVE THE GRADE WITH CONDUIT CAPPED. REFER TO ARCHITECT DRAWINGS FOR EXACT FUTURE EV CHARGER STATION LOCATION.



PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

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EVERETT, WA 98201**

OWNER:

**EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201**

REVISIONS

MARK	DATE	DESCRIPTION

MARK	DATE	DESCRIPTION
C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

ISSUE INFORMATION

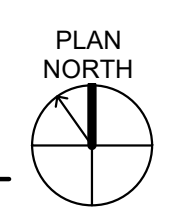
PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: **Jon Hall**
PROJECT MANAGER: **Scott Schreffler**
OWNER APPROVAL: _____

SHEET TITLE
SITE PLAN - ELECTRICAL

SHEET NO.
E-101

BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

1 SITE PLAN - ELECTRICAL
SCALE: 1" = 30'-0"



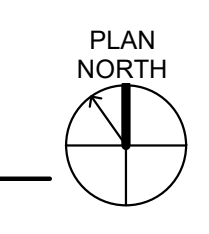
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SHEET NOTES

1. ALL FIXTURES ON THIS SHEET ARE CIRCUITED TO PANEL L1A1, UON.

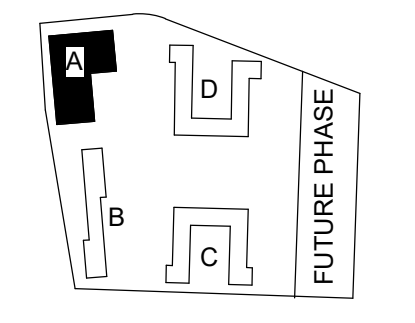


1 SITE PLAN - LIGHTING
SCALE: 1" = 30'-0"



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Project Manager: DeNayne Glenn
Job No.: 20US90169

PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14TH STREET
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EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201

MARK	DATE	DESCRIPTION
REVISIONS		

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C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
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PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: **Jon Hall**
PROJECT MANAGER: **Scott Schreffler**
OWNER APPROVAL: _____

SHEET TITLE
SITE PLAN - LIGHTING

SHEET NO.
E-102

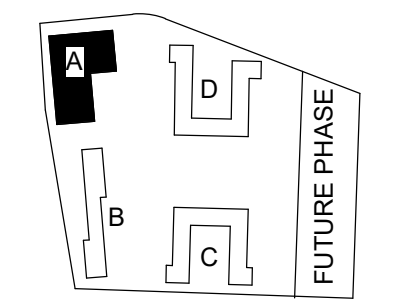
BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

SHEET NOTES

- A. ALL RACEWAYS AND CONDUCTORS SHALL BE INSTALLED CONCEALED.
- B. INSTALL ALL EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS. THESE DRAWINGS ARE DIAGRAMMATIC. THE CONTRACTOR SHALL TEST ALL EQUIPMENT PROVIDED BY OTHERS PRIOR TO INSTALLATION/CONNECTION AND IMMEDIATELY REPORT ANY DEFECTS TO THE ARCHITECT. ALL EQUIPMENT INSTALLED WILL BE ASSUMED TO HAVE BEEN TESTED AND FOUND TO BE IN WORKING ORDER BY THE CONTRACTOR.
- C. PROVIDE #10 AWG. NEUTRALS TO ALL 15A AND 20A RECEPTACLES THAT SHARE A COMMON NEUTRAL, UNLESS OTHERWISE NOTED. RESIDENTIAL UNITS BRANCH CIRCUITS SHALL BE 2#12AWG+12G-1/2"C, UNLESS OTHERWISE NOTED AS FOLLOWS:
 - a. RANGE CIRCUITS: 3#6AWG+10G-3/4"C,
 - b. STACKED WASHER/DRYER CIRCUITS: 3#10AWG+10G-3/4"C.
- D. PROVIDE ACCESS PANELS PER CODE AND AS REQUIRED FOR ALL JUNCTION BOXES. COORDINATE WITH ARCHITECT AND CEILING CONTRACTOR. REFER TO ARCHITECT ENLARGED PLANS FOR ACCESSIBILITY NOTES RELATED TO UNIT OUTLETS AND SWITCHES.
- E. ALL ELECTRICAL ITEMS SHALL BE INDEPENDENTLY SUPPORTED ACCORDING TO CODE REQUIREMENTS.
- F. COORDINATE CONDUIT ROUTING WITH ALL OTHER TRADES PRIOR TO INSTALLATION TO AVOID CONFLICTS. ROUTE CONDUIT AS TO MINIMIZE PENETRATIONS THROUGH PARTITIONS BETWEEN OCCUPIED SPACES.
- G. BACK-TO-BACK OUTLETS ARE NOT PERMITTED. INSTALL IN SEPARATE STUD CAVITIES.
- H. SEE MEP COORDINATION SCHEDULES FOR REQUIREMENTS FOR CONNECTIONS TO MECHANICAL EQUIPMENT, DISCONNECTS, STARTERS, ETC.
- I. PROVIDE GFCI TYPE RECEPTACLES FOR ALL ACCESSIBLE RECEPTACLES IN KITCHEN AND DISHWASHER. SEE ARCHITECT PLANS FOR MOUNTING HEIGHT AND ADDITIONAL INFORMATION.
- J. PROVIDE AFCI TYPE BREAKERS IN THE LOAD CENTER FOR CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, DENS, BEDROOMS, SUNROOMS, CLOSETS, HALLWAYS, LAUNDRY OR SIMILAR AREA.
- K. PROVIDE SMOKE ALARMS, COMBINATION SMOKE DETECTOR/CARBON MONOXIDE ALARM AS REQUIRED BY CODE.
- L. GANG ADJACENT LIGHT SWITCHES UNDER ONE FACEPLATE. TYPICAL UNLESS OTHERWISE NOTED OR DIRECTED BY ARCHITECT.
- M. PROVIDE TAMPER-RESISTANCE RECEPTACLES FOR ALL UNITS RECEPTACLES.
- N. REFER TO DRAWING EX-XX FOR EACH RESIDENTIAL UNIT LOAD CALCULATION. REFER TO DRAWING EX-XX FOR TYPICAL UNITS PANELBOARD CIRCUIT BREAKER INFORMATION.
- O. ALL RECEPTACLES CIRCUIT AT EXTERIOR WALL IN EACH UNIT SHALL BE INDIVIDUALLY DROP FROM CEILING.
- P. UNIT LOAD CENTER PANEL SHALL BE MOUNTED SUCH THAT THE HIGHEST CIRCUIT BREAKER POSITION IS AT MAXIMUM 48" ABOVE FINISH FLOOR.
- Q. INSTALL ALL MDUs SUCH THAT THE TOP FRAME IS LOCATED AT 46" AFF.
- R. ALL RECEPTACLES IN THIS AREA TO BE CIRCUITED TO PANEL L1A1, UON.



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Job No.: 20U500169



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EVERETT, WA 98201
OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201

MARK	DATE	DESCRIPTION
REVISIONS		

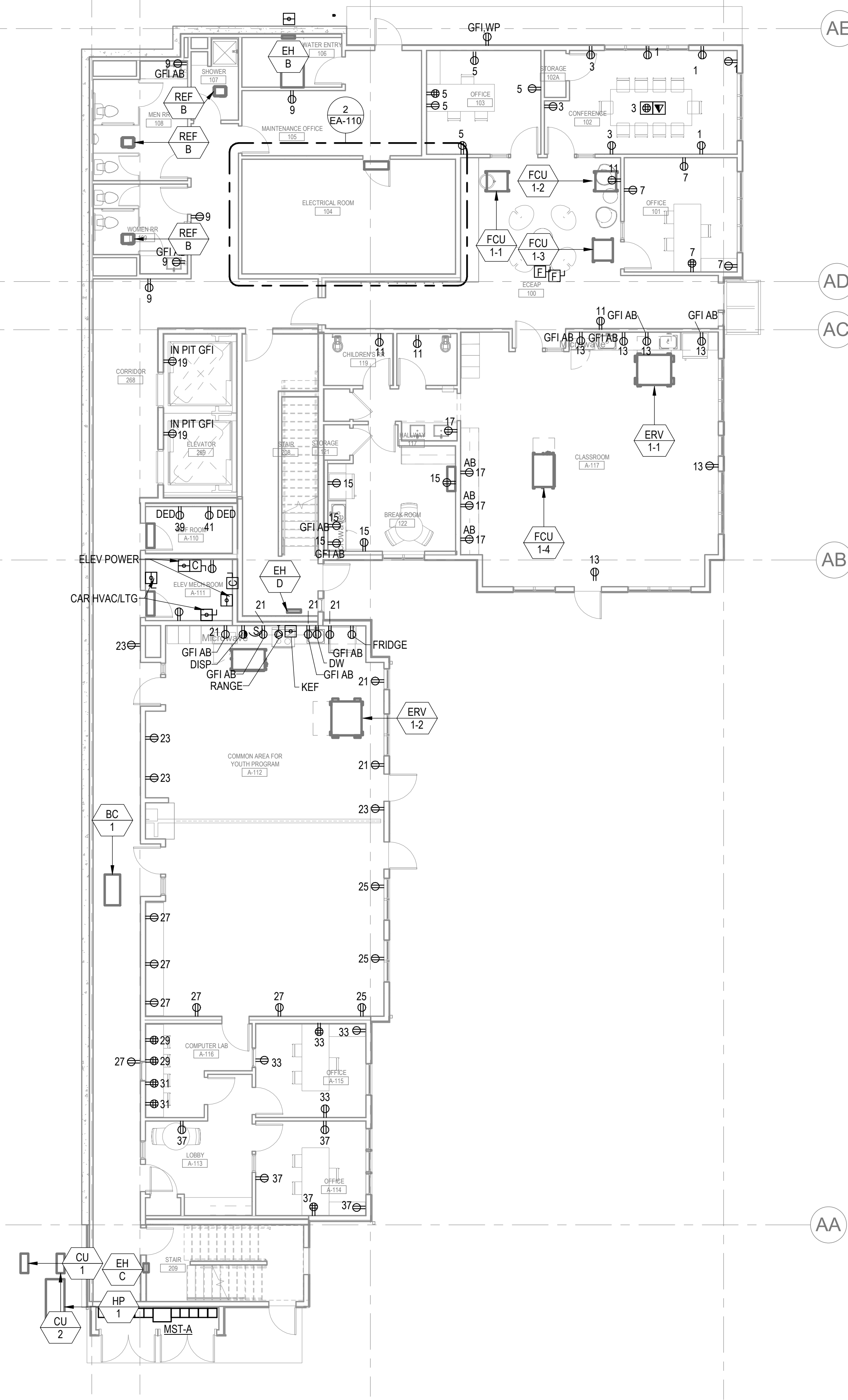
MARK	DATE	DESCRIPTION
C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: Jon Hall
PROJECT MANAGER: Scott Schreffler
OWNER APPROVAL:

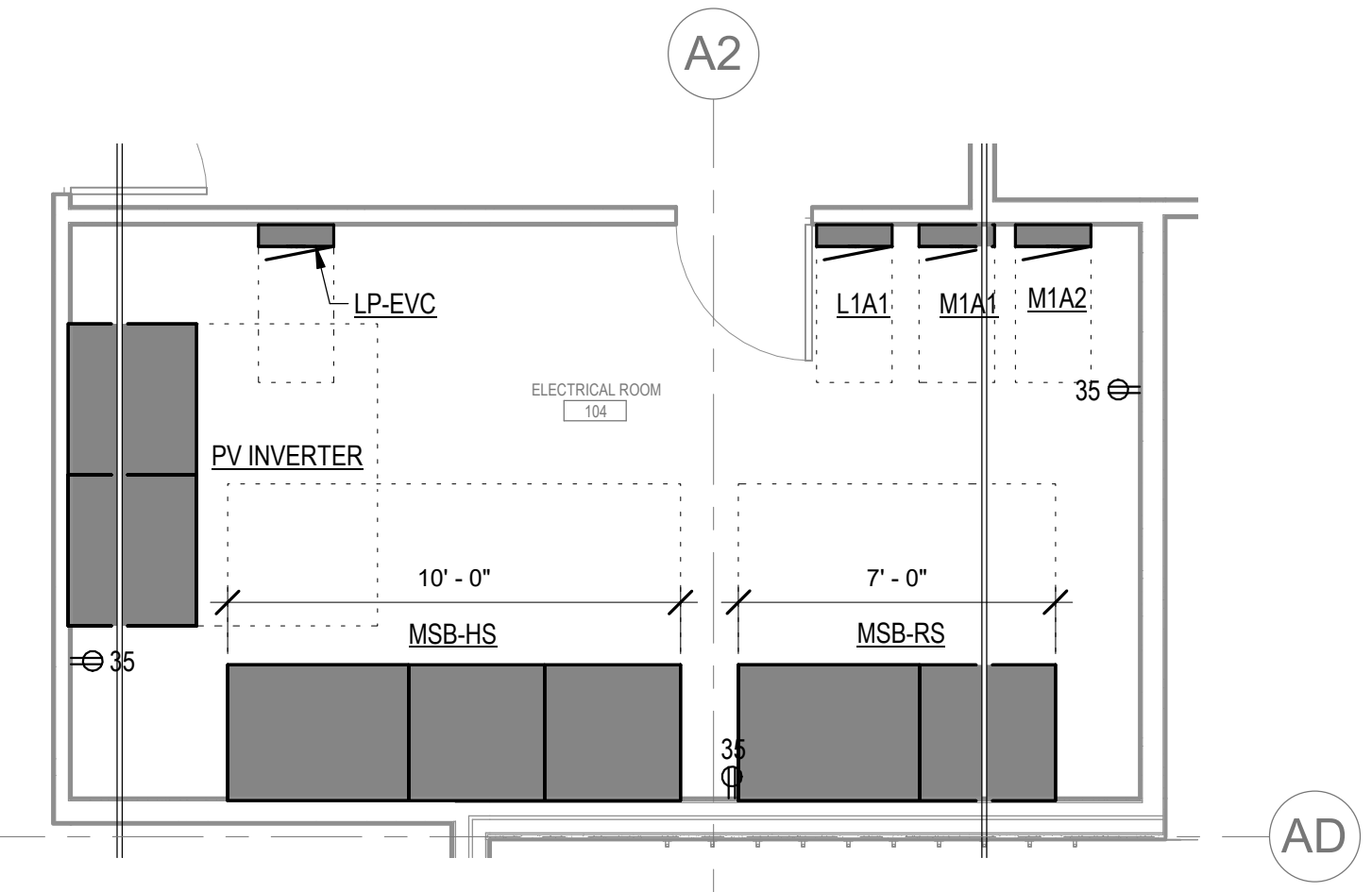
SHEET TITLE
BUILDING A - LEVEL 1 - POWER

SHEET NO.
EA-110

BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

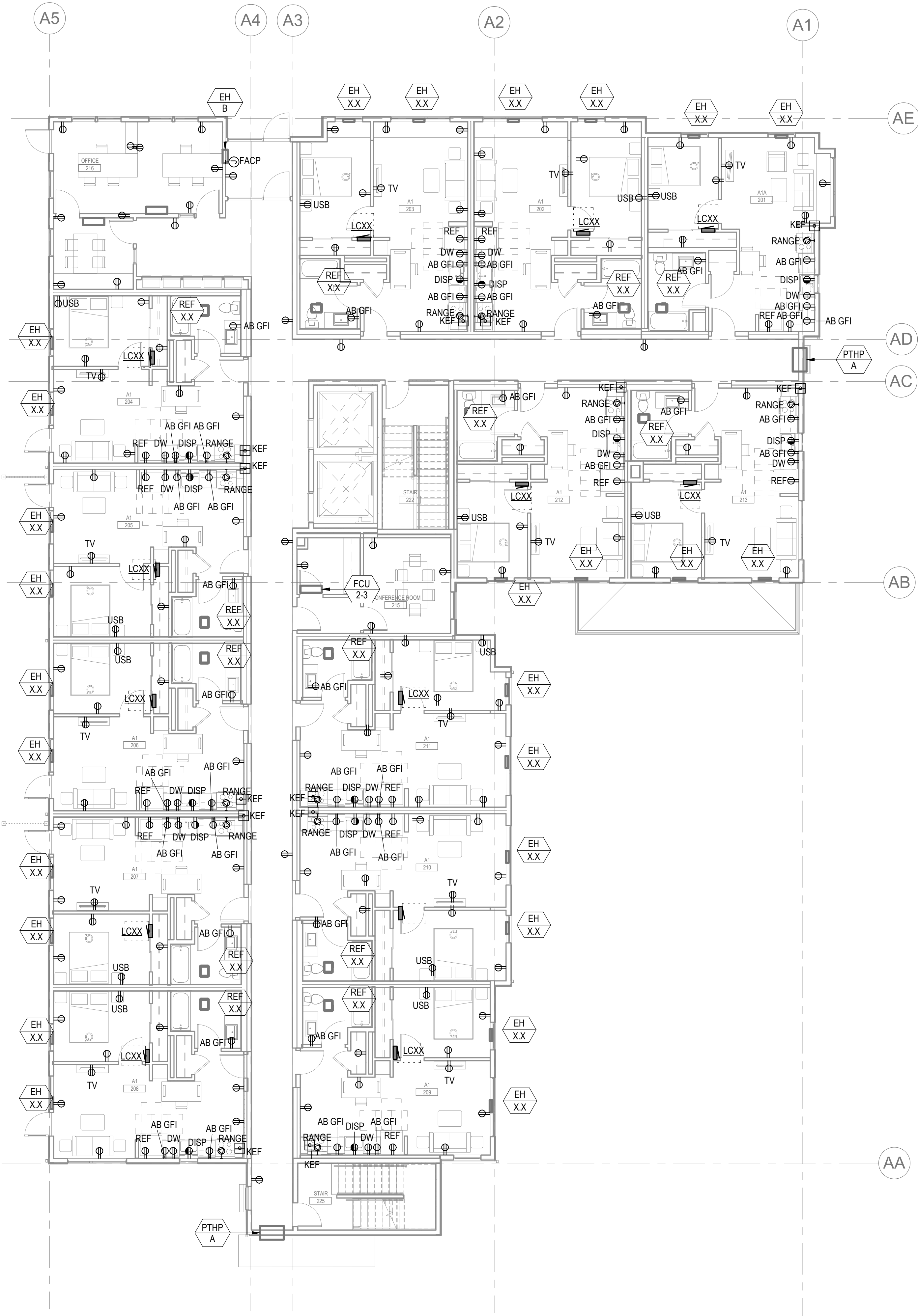


1 BUILDING A - LEVEL 1 FLOOR PLAN - POWER
SCALE: 1/8" = 1'-0"



2 LEVEL 1 - ENLARGED MAIN ELEC ROOM
SCALE: 1/4" = 1'-0"



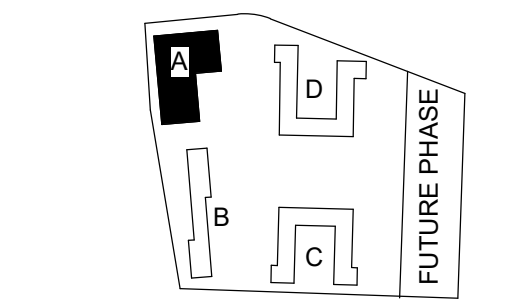


SHEET NOTES

- A. ALL RACEWAYS AND CONDUCTORS SHALL BE INSTALLED CONCEALED.
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- C. PROVIDE #10 AWG. NEUTRALS TO ALL 15A AND 20A RECEPTACLES THAT SHARE A COMMON NEUTRAL, UNLESS OTHERWISE NOTED. RESIDENTIAL UNITS BRANCH CIRCUITS SHALL BE 2#12AWG+12G-1/2", UNLESS OTHERWISE NOTED AS FOLLOWS:
 - a. RANGE CIRCUITS: 3#6AWG+10G-3/4"
 - b. STACKED WASHER/DRYER CIRCUITS: 3#10AWG+10G-3/4"
- D. PROVIDE ACCESS PANELS PER CODE AND AS REQUIRED FOR ALL JUNCTION BOXES. COORDINATE WITH ARCHITECT AND CEILING CONTRACTOR. REFER TO ARCHITECT ENLARGED PLANS FOR ACCESSIBILITY NOTES RELATED TO UNIT OUTLETS AND SWITCHES.
- E. ALL ELECTRICAL ITEMS SHALL BE INDEPENDENTLY SUPPORTED ACCORDING TO CODE REQUIREMENTS.
- F. COORDINATE CONDUIT ROUTING WITH ALL OTHER TRADES PRIOR TO INSTALLATION TO AVOID CONFLICTS. ROUTE CONDUIT AS TO MINIMIZE PENETRATIONS THROUGH PARTITIONS BETWEEN OCCUPIED SPACES.
- G. BACK-TO-BACK OUTLETS ARE NOT PERMITTED. INSTALL IN SEPARATE STUD CAVITIES.
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PROJECT:
EHA BAKER HEIGHTS



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MARK	DATE	DESCRIPTION
REVISIONS		

C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

MARK DATE DESCRIPTION
ISSUE INFORMATION

PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: **Jon Hall**
PROJECT MANAGER: **Scott Schreffler**
OWNER APPROVAL:

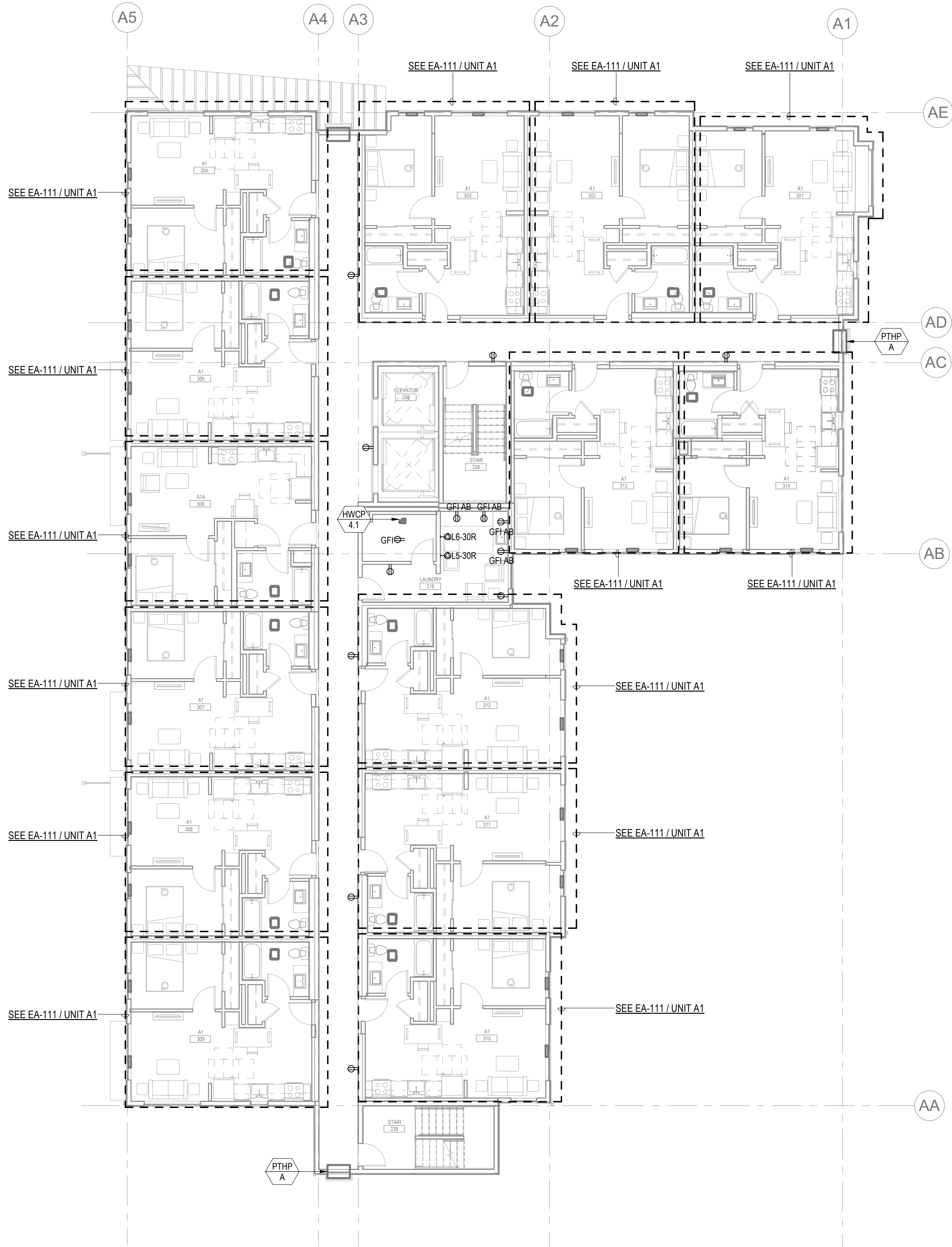
SHEET TITLE
BUILDING A - LEVEL 2 - POWER

SHEET NO.
EA-111

1 BUILDING A - LEVEL 2 FLOOR PLAN - POWER
SCALE: 1/8" = 1'-0"



BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

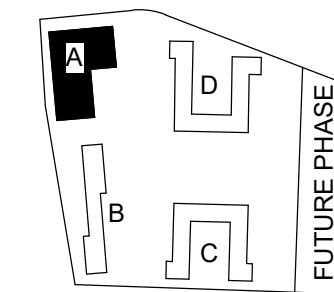


SHEET NOTES

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- Q. INSTALL ALL MDUs SUCH THAT THE TOP FRAME IS LOCATED AT 46" AFF.



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www.glumac.com
T: 206.262.1010
Project Manager: DeNayne Glenn
Job No.: 20US00169

PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:

EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201

MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: Jon Hall
PROJECT MANAGER: Scott Schreffler
OWNER APPROVAL:

SHEET TITLE
BUILDING A - LEVEL 3 - POWER

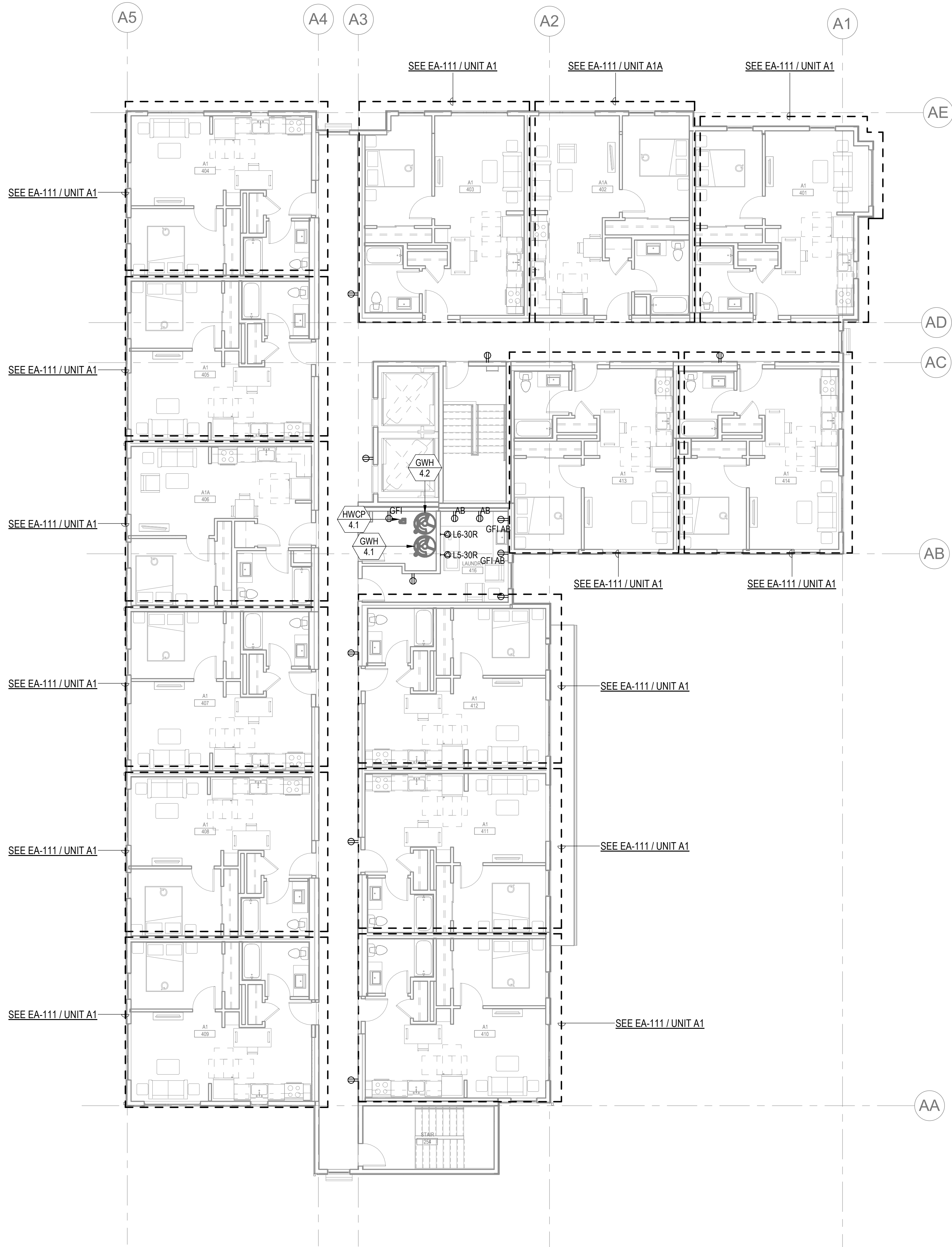
SHEET NO.

EA-112

1 BUILDING A - LEVEL 3 FLOOR PLAN - POWER
SCALE: 1/8" = 1'-0"



BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

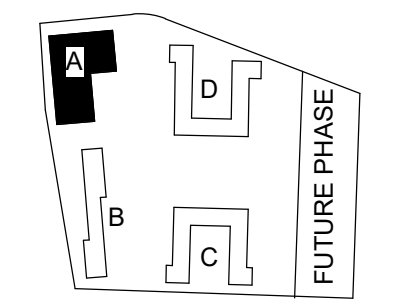


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- C. PROVIDE #10 AWG. NEUTRALS TO ALL 15A AND 20A RECEPTACLES THAT SHARE A COMMON NEUTRAL UNLESS OTHERWISE NOTED. RESIDENTIAL UNITS BRANCH CIRCUITS SHALL BE 2#12AWG+12G-1/2", UNLESS OTHERWISE NOTED AS FOLLOW:
 - a. RANGE CIRCUITS: 3#6AWG+10G-3/4"
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BUILDING A: 2710 14TH STREET
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EVERETT, WA 98201
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MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **2017033**
 PRINCIPAL IN CHARGE: Jon Hall
 PROJECT MANAGER: Scott Schreffler
 OWNER APPROVAL:

SHEET TITLE
BUILDING A - LEVEL 4 - POWER

SHEET NO.
EA-113

1 BUILDING A - LEVEL 4 FLOOR PLAN - POWER
 SCALE: 1/8" = 1'-0"



BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

KEYED NOTES

1. xxx.

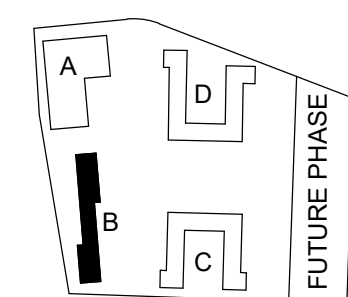
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Project Manager: DeNayne Glenn
Job No.: 20US900169

PROJECT:

EHA BAKER HEIGHTS



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EVERETT, WA 98201**

OWNER:

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EVERETT, WASHINGTON 98201**

MARK DATE DESCRIPTION

REVISIONS

C 06/08/2020 BUILDING PERMIT SUBMITTAL /

80% HUD SUBMITTAL

B 04/10/2020 DESIGN DEVELOPMENT

A 01/07/2020 SCHEMATIC DESIGN

MARK DATE DESCRIPTION

ISSUE INFORMATION

PROJECT NO.: **2018000.00**

PRINCIPAL IN CHARGE: **Scott Vollmoeller**

PROJECT MANAGER: **DeNayne Glenn**

OWNER APPROVAL:

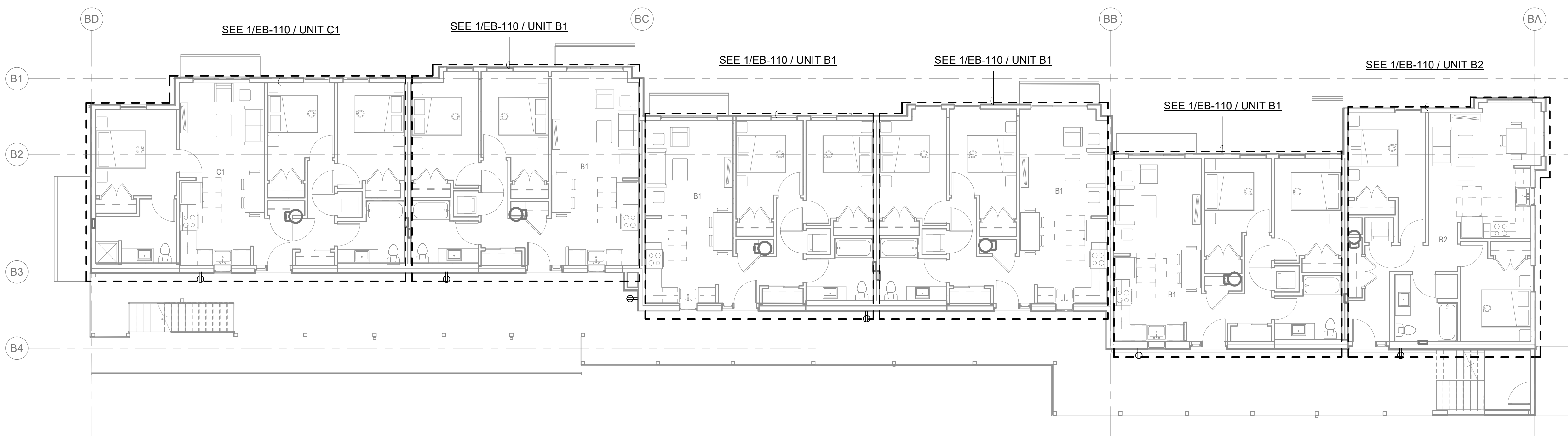
SHEET TITLE

**BUILDING B - LEVEL 1
AND 2 - POWER**

SHEET NO.

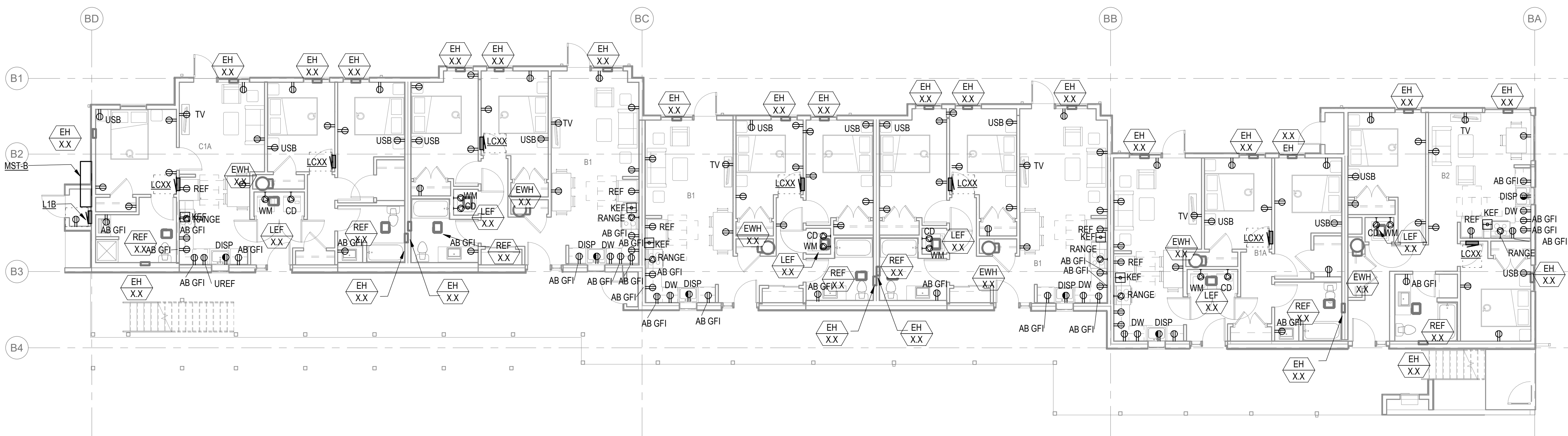
EB-110

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ORIGINAL SHEET SIZE IS 36"X48"



2 BUILDING B - LEVEL 2 FLOOR PLAN - POWER

SCALE: 1/8" = 1'-0"



1 BUILDING B - LEVEL 1 FLOOR PLAN - POWER

SCALE: 1/8" = 1'-0"



BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

KEYED NOTES

- 1. xxx.

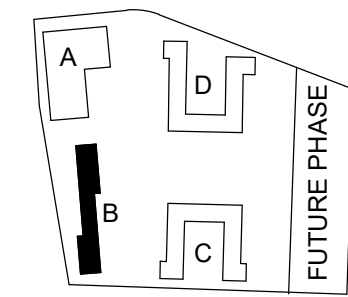
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GGLO DESIGN

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Project Manager: DeNayne Glenn
Job No.: 20US00169

PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
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BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:

EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

MARK	DATE	DESCRIPTION
REVISIONS		

C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

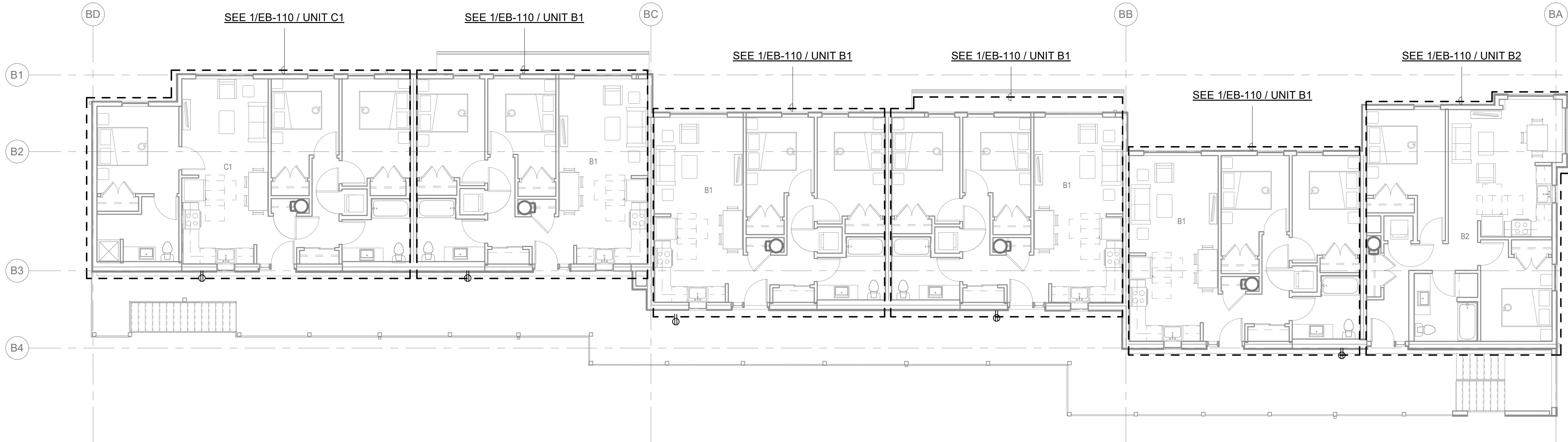
MARK	DATE	DESCRIPTION
ISSUE INFORMATION		

PROJECT NO.: **2018000.00**
PRINCIPAL IN CHARGE: **Scott Vollmoeller**
PROJECT MANAGER: **DeNayne Glenn**
OWNER APPROVAL:

SHEET TITLE
BUILDING B - LEVEL 3 - POWER

SHEET NO.

EB-111



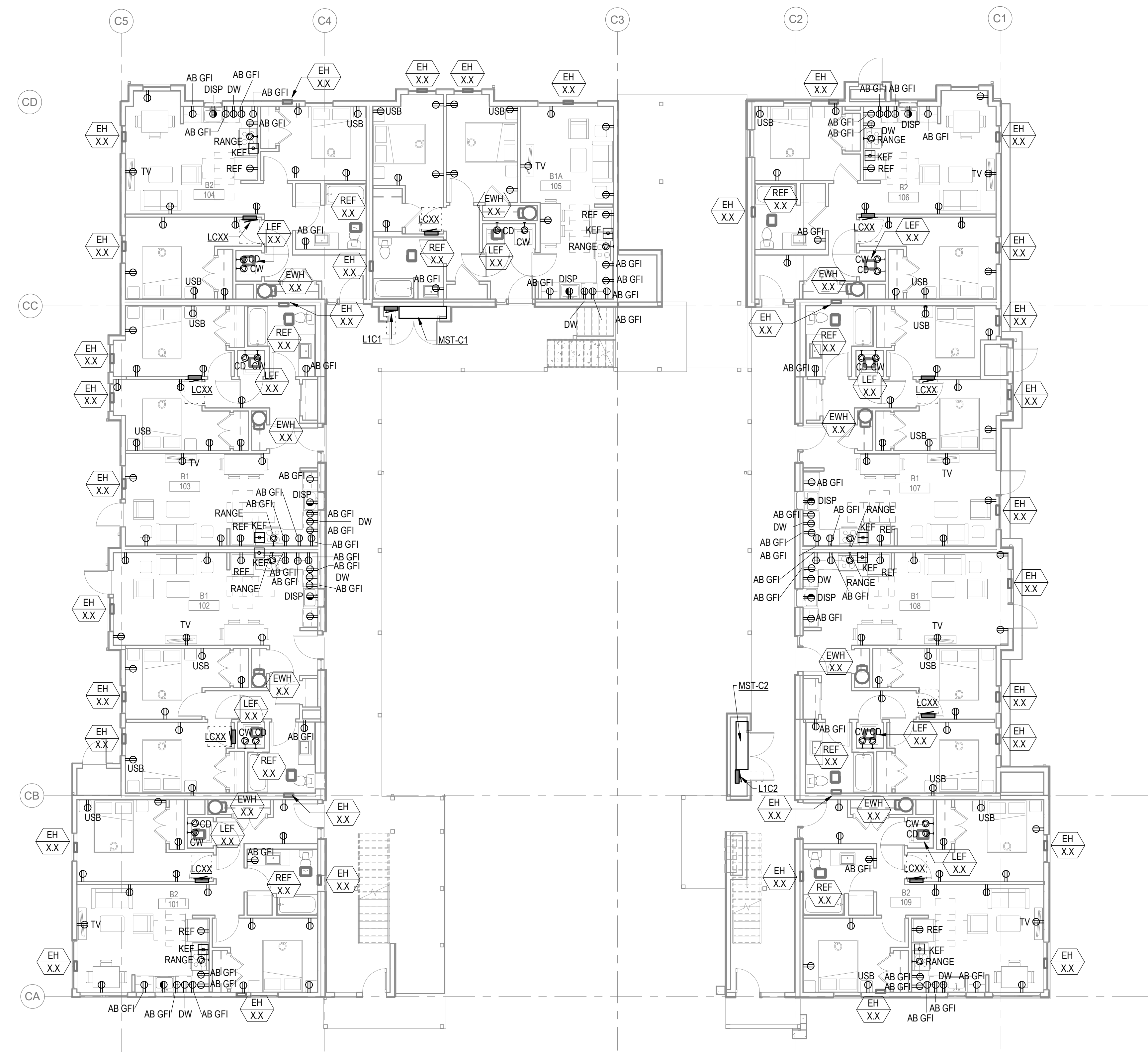
1 BUILDING B - LEVEL 3 FLOOR PLAN - POWER
SCALE: 1/8" = 1'-0"



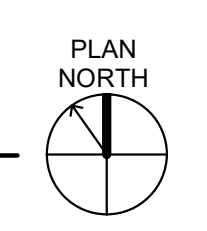
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SHEET NOTES

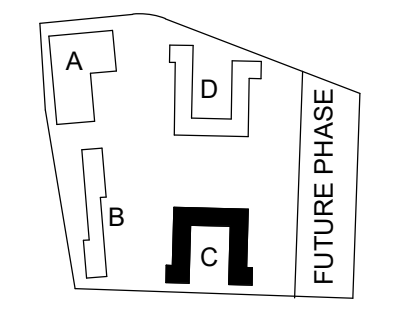
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1 BUILDING C - LEVEL 1 FLOOR PLAN - POWER
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Job No.: 20US90169

PROJECT:
EHA BAKER HEIGHTS



PROJECT ADDRESS:
BUILDING A: 2710 14TH STREET
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MARK	DATE	DESCRIPTION
B		REVISIONS

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PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: **Scott Vollmoeller**
PROJECT MANAGER: **DeNayne Glenn**
OWNER APPROVAL:

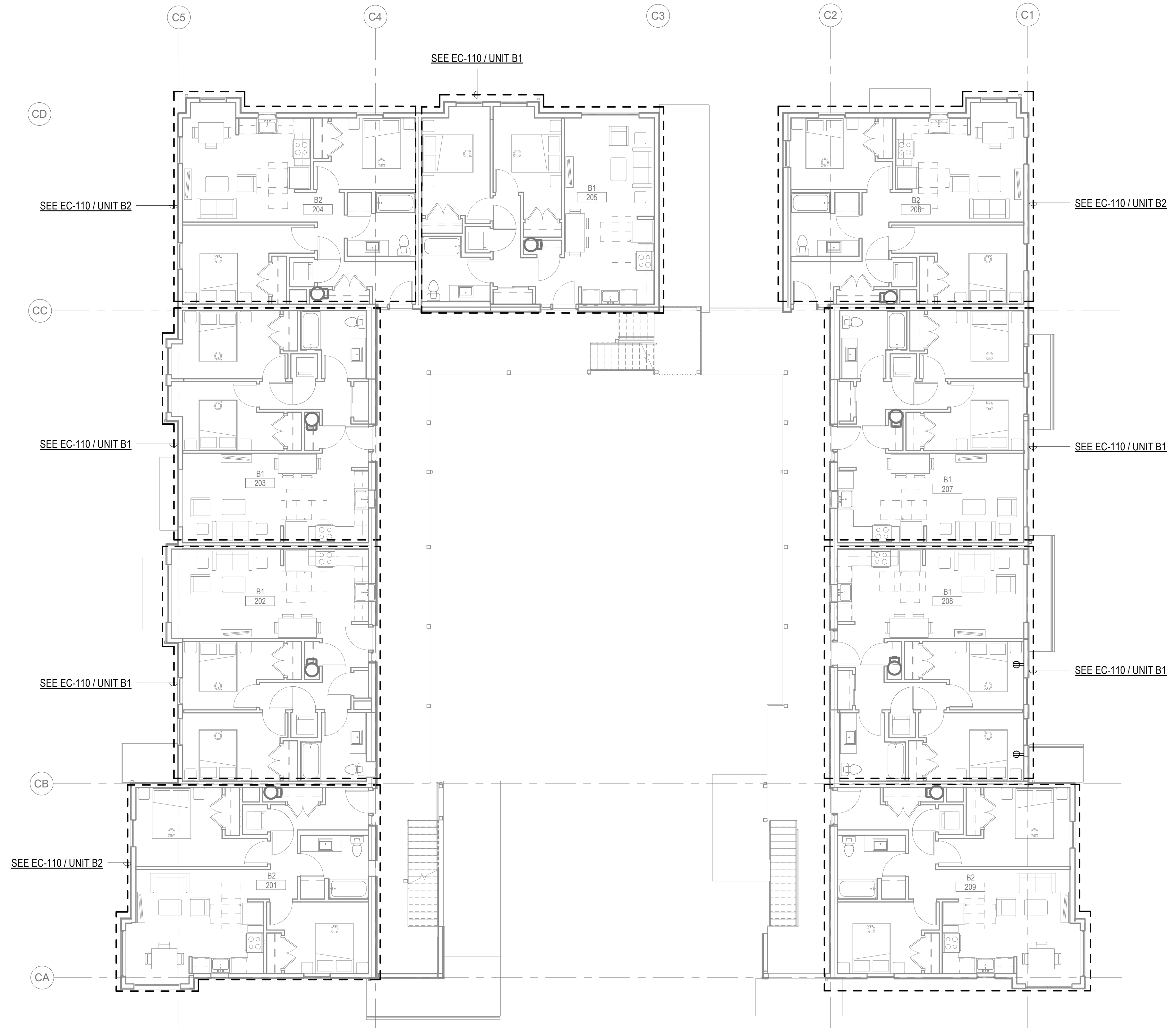
SHEET TITLE
BUILDING C - LEVEL 1 - POWER

SHEET NO.
EC-110

BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

SHEET NOTES

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- F. COORDINATE CONDUIT ROUTING WITH ALL OTHER TRADES PRIOR TO INSTALLATION TO AVOID CONFLICTS. ROUTE CONDUIT AS TO MINIMIZE PENETRATIONS THROUGH PARTITIONS BETWEEN OCCUPIED SPACES.
- G. BACK-TO-BACK OUTLETS ARE NOT PERMITTED. INSTALL IN SEPARATE STUD CAVITIES.
- H. SEE MEP COORDINATION SCHEDULES FOR REQUIREMENTS FOR CONNECTIONS TO MECHANICAL EQUIPMENT, DISCONNECTS, STARTERS, ETC.
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- K. PROVIDE SMOKE ALARMS, COMBINATION SMOKE DETECTOR/CARBON MONOXIDE ALARM AS REQUIRED BY CODE.
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- M. PROVIDE TAMPER-RESISTANCE RECEPTACLES FOR ALL UNITS RECEPTACLES.
- N. REFER TO DRAWING EX-XX FOR EACH RESIDENTIAL UNIT LOAD CALCULATION, REFER TO DRAWING EX-XX FOR TYPICAL UNITS PANELBOARD CIRCUIT BREAKER INFORMATION.
- O. ALL RECEPTACLES CIRCUIT AT EXTERIOR WALL IN EACH UNIT SHALL BE INDIVIDUALLY DROP FROM CEILING.
- P. UNIT LOAD CENTER PANEL SHALL BE MOUNTED SUCH THAT THE HIGHEST CIRCUIT BREAKER POSITION IS AT MAXIMUM 48" ABOVE FINISH FLOOR.
- Q. INSTALL ALL MDUs SUCH THAT THE TOP FRAME IS LOCATED AT 48" AFF.

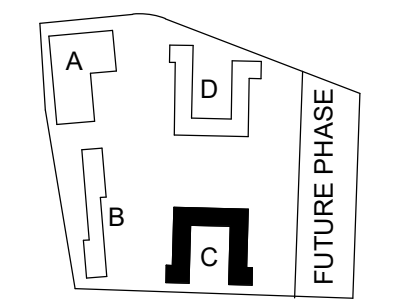


1 BUILDING C - LEVEL 2 FLOOR PLAN - POWER
SCALE: 1/8" = 1'-0"



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T: 206.262.1010
Project Manager: DeNayne Glenn
Job No.: 20U900169

PROJECT:
EHA BAKER HEIGHTS



PROJECT ADDRESS:
BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

MARK	DATE	DESCRIPTION
REVISIONS		

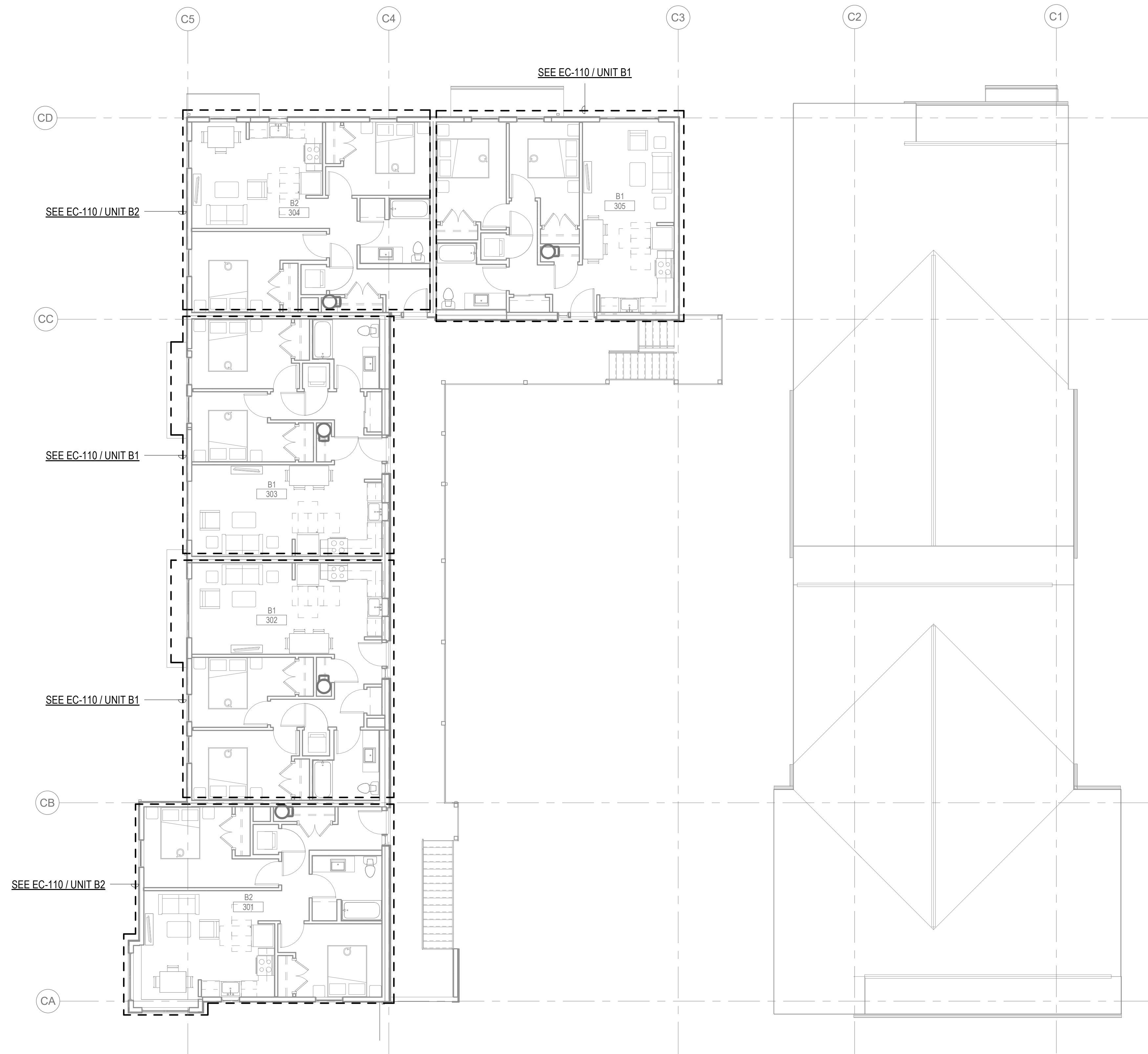
MARK	DATE	DESCRIPTION
C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: **Scott Vollmoeller**
PROJECT MANAGER: **DeNayne Glenn**
OWNER APPROVAL:

SHEET TITLE
BUILDING C - LEVEL 2 - POWER

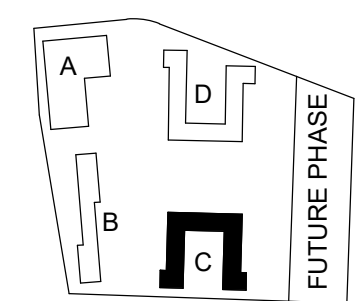
SHEET NO.
EC-111

BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL



SHEET NOTES

- A. ALL RACEWAYS AND CONDUCTORS SHALL BE INSTALLED CONCEALED.
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PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:

EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

MARK	DATE	DESCRIPTION
REVISIONS		

C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

MARK	DATE	DESCRIPTION
ISSUE INFORMATION		

PROJECT NO.: **2017033**
 PRINCIPAL IN CHARGE: **Scott Vollmoeller**
 PROJECT MANAGER: **DeNayne Glenn**
 OWNER APPROVAL: _____

SHEET TITLE

BUILDING C - LEVEL 3 - POWER

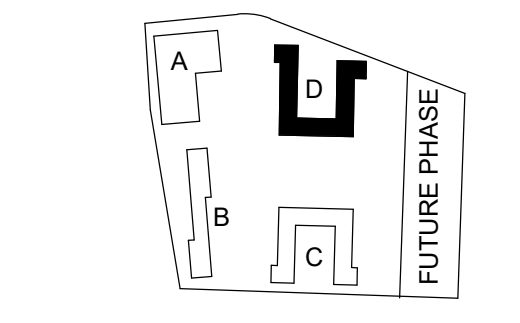
SHEET NO.

EC-112

1 BUILDING C - LEVEL 3 FLOOR PLAN - POWER
 SCALE: 1/8" = 1'-0"



BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL



MARK	DATE	DESCRIPTION
REVISIONS		

C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

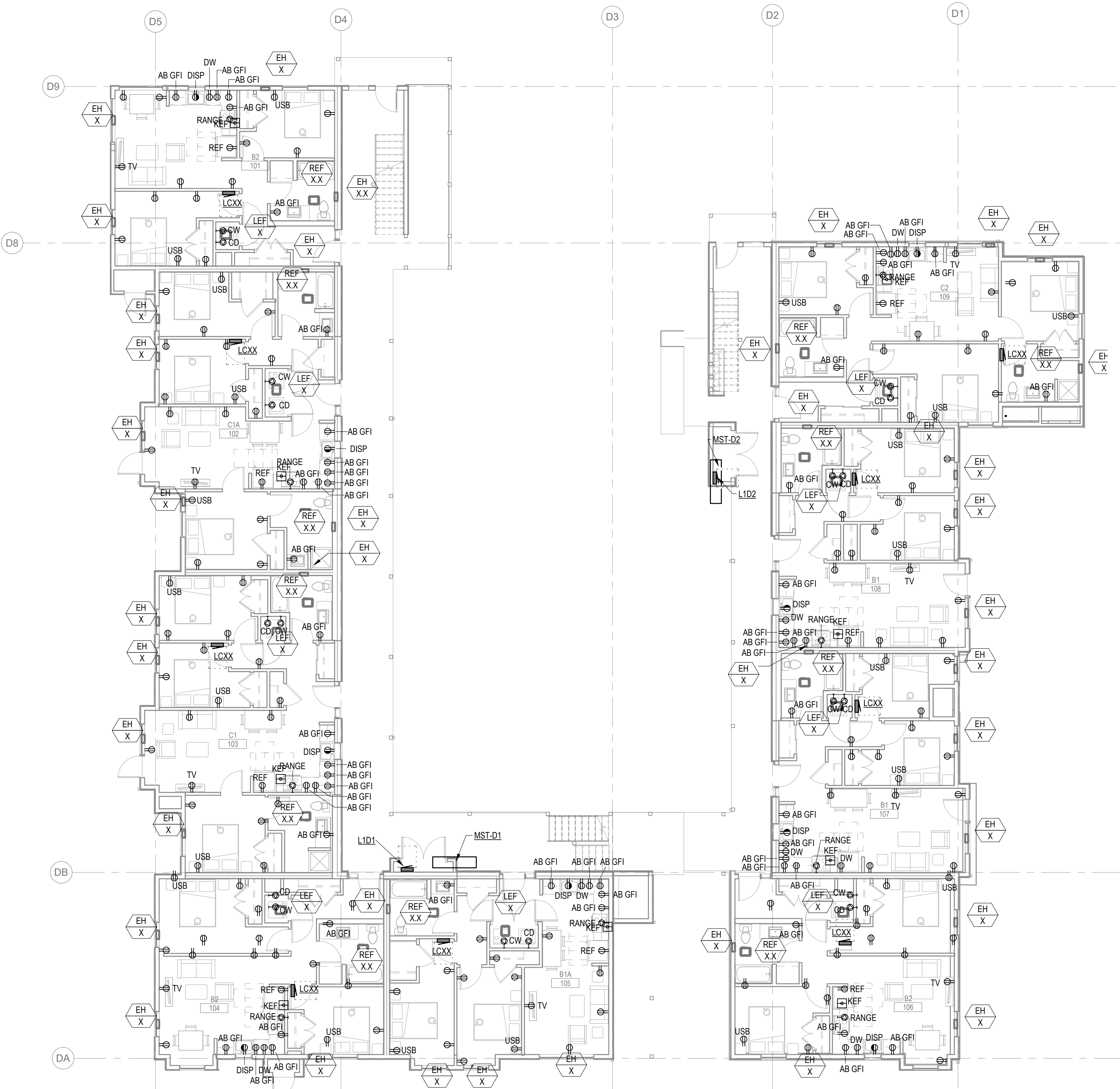
MARK	DATE	DESCRIPTION
ISSUE INFORMATION		
PROJECT NO.:	2017033	
PRINCIPAL IN CHARGE:	Scott Vollmoeller	
PROJECT MANAGER:	DeNayne Glenn	
OWNER APPROVAL:		

SHEET TITLE
BUILDING D - LEVEL 1 - POWER

SHEET NO.
ED-110

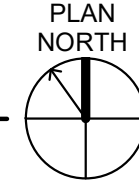
SHEET NOTES

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1 BUILDING D - LEVEL 1 FLOOR PLAN - POWER

SCALE: 1/8" = 1'-0"



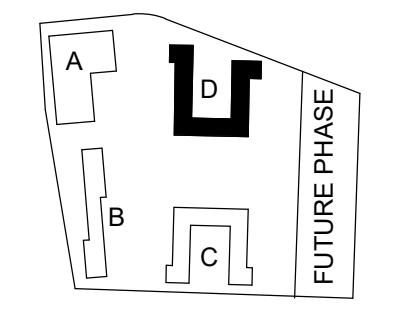
BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

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Project Manager: DeNayne Glenn
Job No.: 20US00169

PROJECT:
EHA BAKER HEIGHTS



PROJECT ADDRESS:
BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201
OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: **Scott Vollmoeller**
PROJECT MANAGER: **DeNayne Glenn**
OWNER APPROVAL:

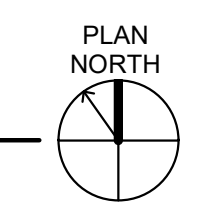
SHEET TITLE
BUILDING D - LEVEL 2 - POWER

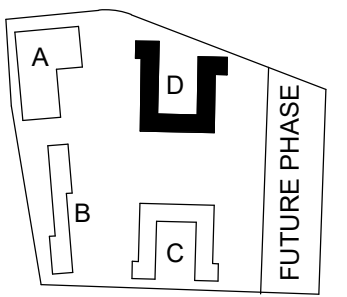
SHEET NO.
ED-111

BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL



1 BUILDING D - LEVEL 2 FLOOR PLAN - POWER
SCALE: 1/8" = 1'-0"





MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
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MARK DATE DESCRIPTION
ISSUE INFORMATION

PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: **Scott Vollmoeller**
PROJECT MANAGER: **DeNayne Glenn**
OWNER APPROVAL:

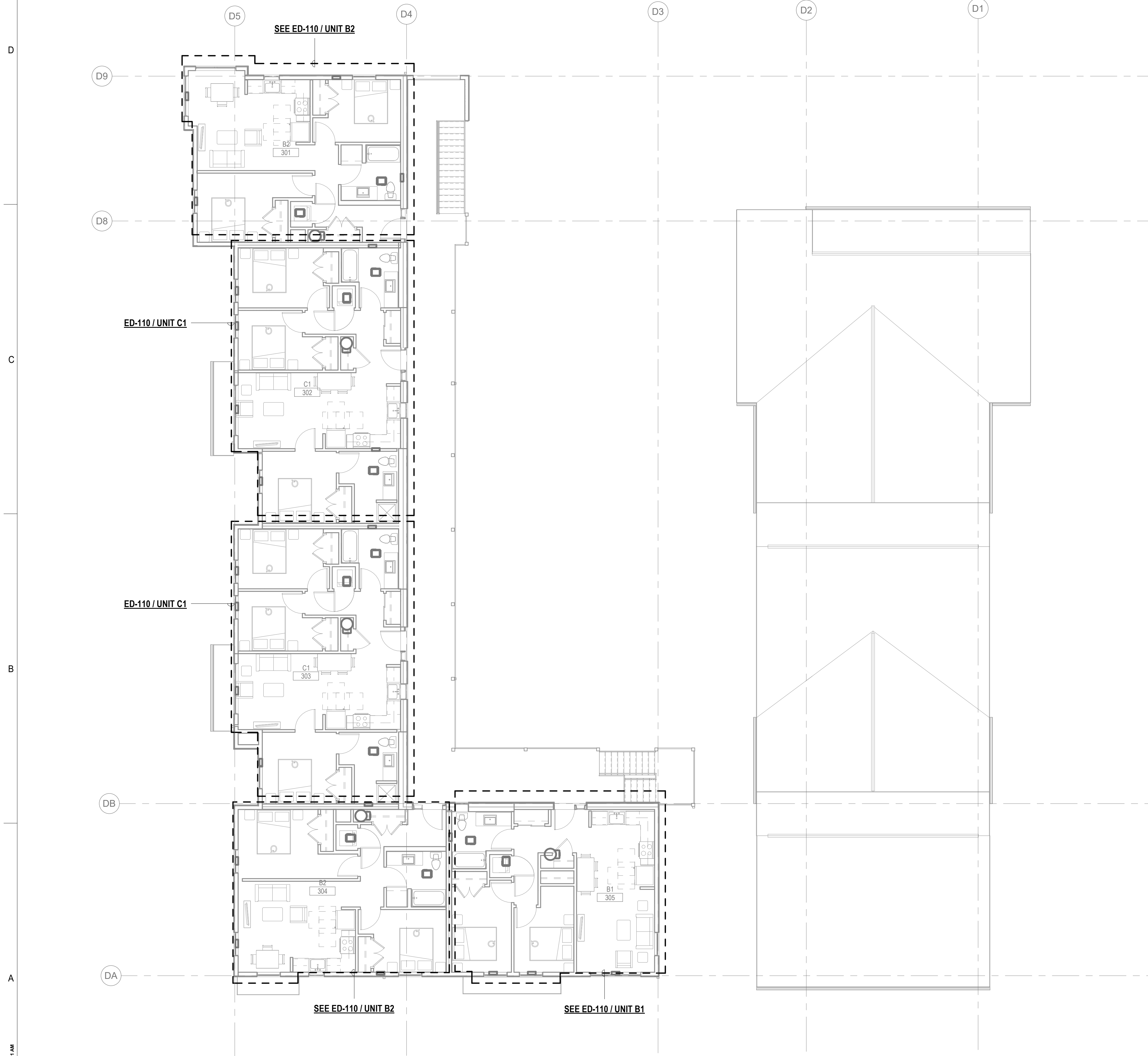
SHEET TITLE
**BUILDING D - LEVEL 3 -
POWER**

SHEET NO.

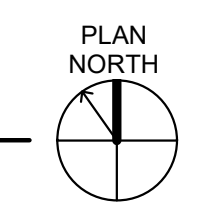
ED-112

SHEET NOTES

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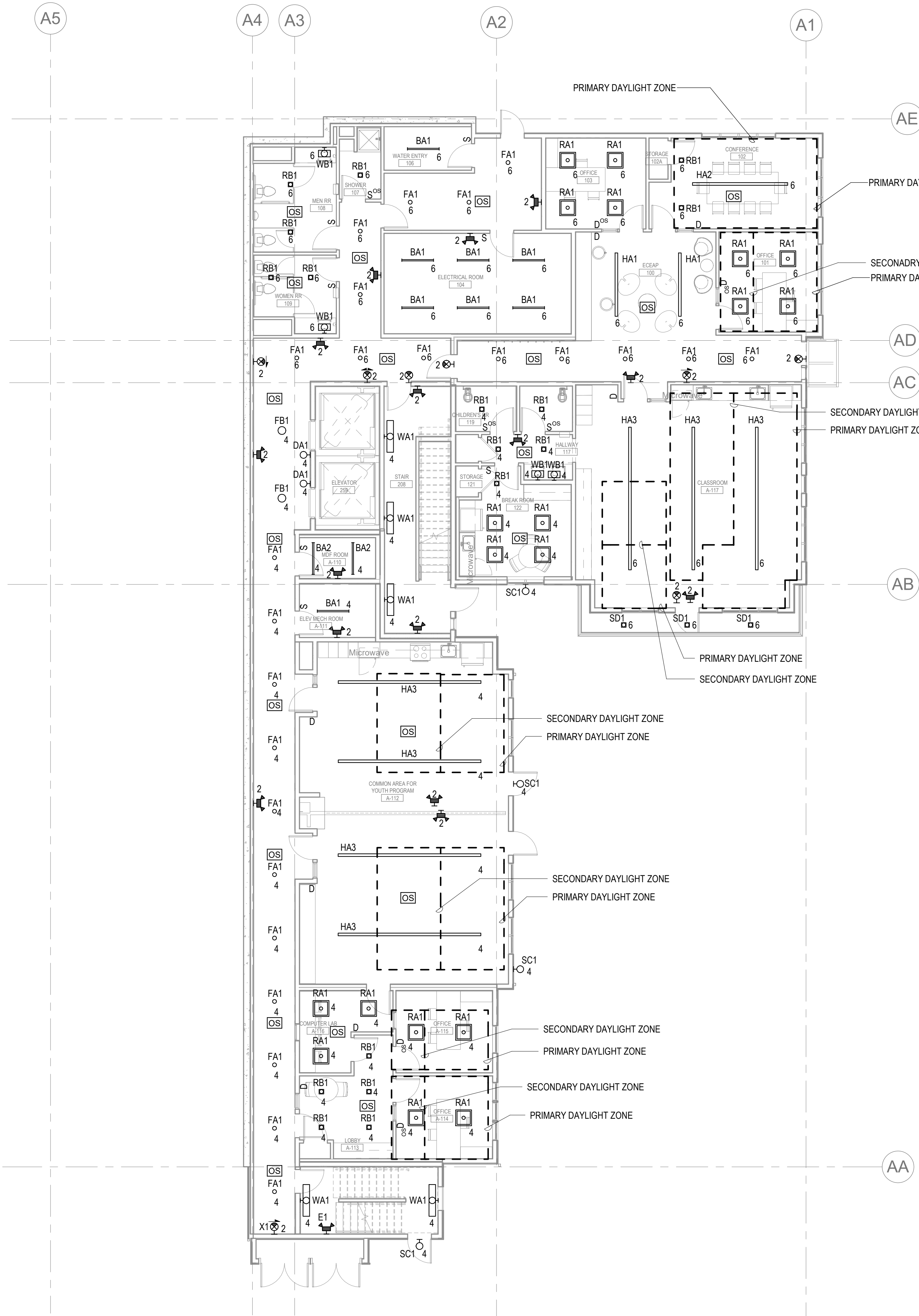


1 BUILDING D - LEVEL 3 FLOOR PLAN - POWER
SCALE: 1/8" = 1'-0"



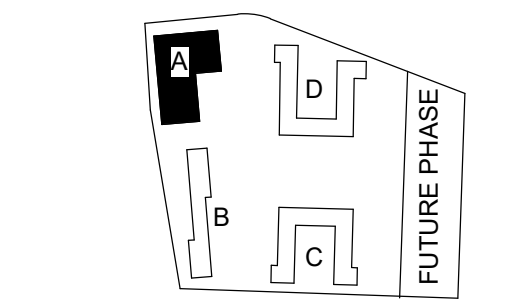
BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

PLT DATE TIME: 06/08/2020 10:53:11 AM



SHEET NOTES

1. ALL FIXTURES ON THIS SHEET ARE CIRCUITED TO PANEL L1A1, UON.



MARK	DATE	DESCRIPTION
REVISIONS		

C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

MARK	DATE	DESCRIPTION
ISSUE INFORMATION		
PROJECT NO.:	2017033	
PRINCIPAL IN CHARGE:	Jon Hall	
PROJECT MANAGER:	Scott Schreffler	
OWNER APPROVAL:		

SHEET TITLE
BUILDING A - LEVEL 1 - LIGHTING

SHEET NO.
EA-210

1 BUILDING A - LEVEL 1 FLOOR PLAN - LIGHTING
SCALE: 1/8" = 1'-0"

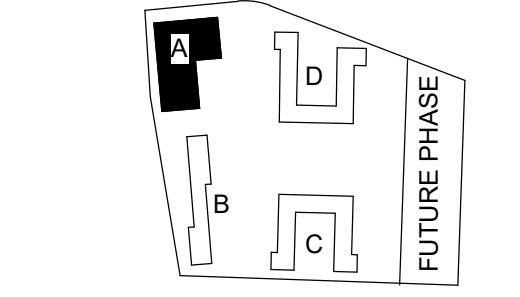


BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL



SHEET NOTES

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PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

**BUILDING A: 2710 14TH STREET
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EVERETT, WA 98201**

OWNER:

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EVERETT, WA 98201**

MARK DATE DESCRIPTION

REVISIONS

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B 04/10/2020 DESIGN DEVELOPMENT

A 01/07/2020 SCHEMATIC DESIGN

MARK DATE DESCRIPTION

ISSUE INFORMATION

PROJECT NO.: **2017033**

PRINCIPAL IN CHARGE: **Jon Hall**

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SHEET TITLE

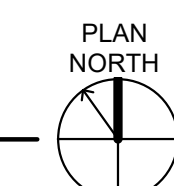
**BUILDING A - LEVEL 2 -
LIGHTING**

SHEET NO.

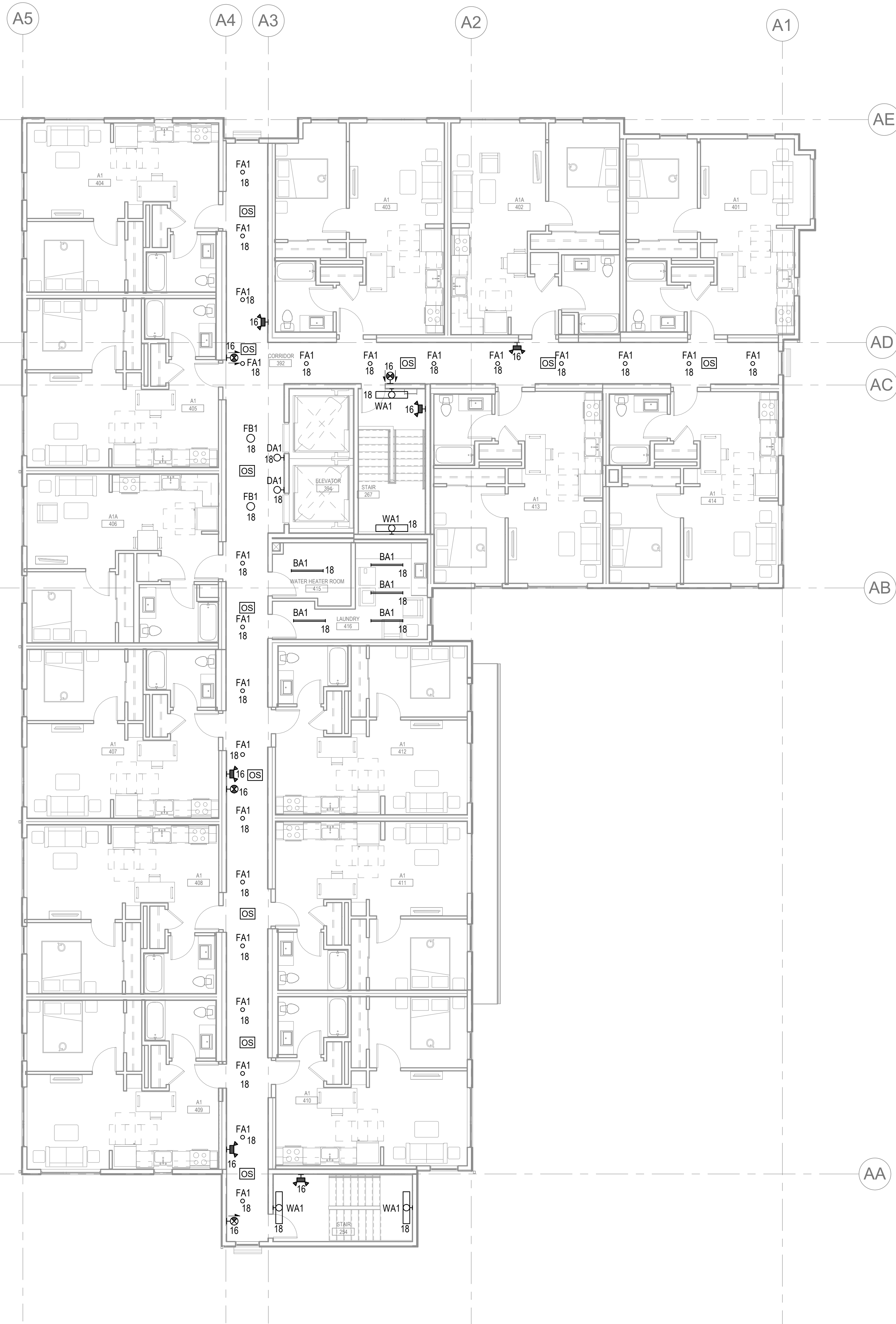
EA-211

1 BUILDING A - LEVEL 2 FLOOR PLAN - LIGHTING

SCALE: 1/8" = 1'-0"



BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL



SHEET NOTES

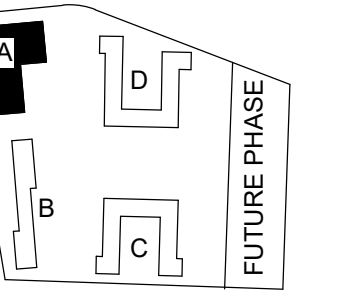
1. ALL FIXTURES ON THIS SHEET ARE CIRCUITED TO PANEL L1A1, UON.

GGLO

DESIGN

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<http://www.gglo.com>



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1601 Fifth Ave., Suite 2210
Seattle, WA 98101
www.glumac.com
T: 206.262.1010
Project Manager: DeWayne Glenn
Job No.: 20US00169

PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

BUILDING A: 2710 14TH STREET
BUILDING B: 2745 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:

EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201

MARK DATE DESCRIPTION

REVISIONS

C 06/08/2020 BUILDING PERMIT SUBMITTAL /

80% HUD SUBMITTAL

B 04/10/2020 DESIGN DEVELOPMENT

A 01/07/2020 SCHEMATIC DESIGN

MARK DATE DESCRIPTION

ISSUE INFORMATION

PROJECT NO.: **2017033**

PRINCIPAL IN CHARGE: Jon Hall

PROJECT MANAGER: Scott Schreffler

OWNER APPROVAL:

SHEET TITLE

**BUILDING A - LEVEL 4 -
LIGHTING**

SHEET NO.

EA-213

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ORIGINAL SHEET SIZE IS A1(9"X12")

1 BUILDING A - LEVEL 4 FLOOR PLAN - LIGHTING

SCALE: 1/8" = 1'-0"



BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

KEYED NOTES #

1. xxx.

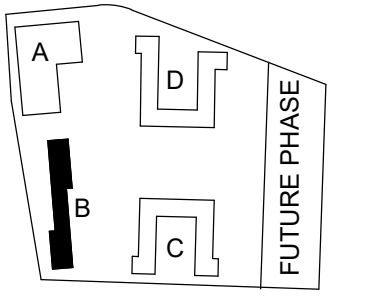
SHEET NOTES

A. ALL FIXTURES ON THIS SHEET ARE CIRCUITED TO PANEL L1B, UON.

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T: 206.262.1010
Project Manager: DeNayne Glenn
Job No.: 20US00169

PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

**BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201**

OWNER:

**EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201**

MARK	DATE	DESCRIPTION
REVISIONS		

C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

MARK	DATE	DESCRIPTION
ISSUE INFORMATION		

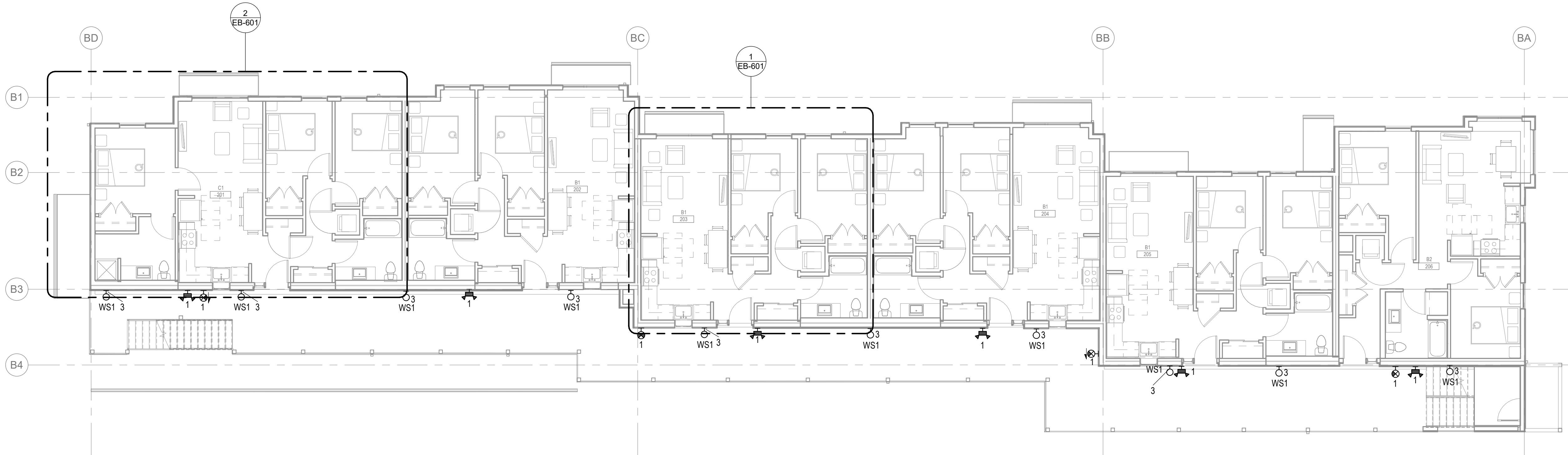
PROJECT NO.: **2018000.00**
PRINCIPAL IN CHARGE: **Scott Vollmoeller**
PROJECT MANAGER: **DeNayne Glenn**
OWNER APPROVAL:

SHEET TITLE
**BUILDING B - LEVEL 1
AND 2 - LIGHTING**

SHEET NO.

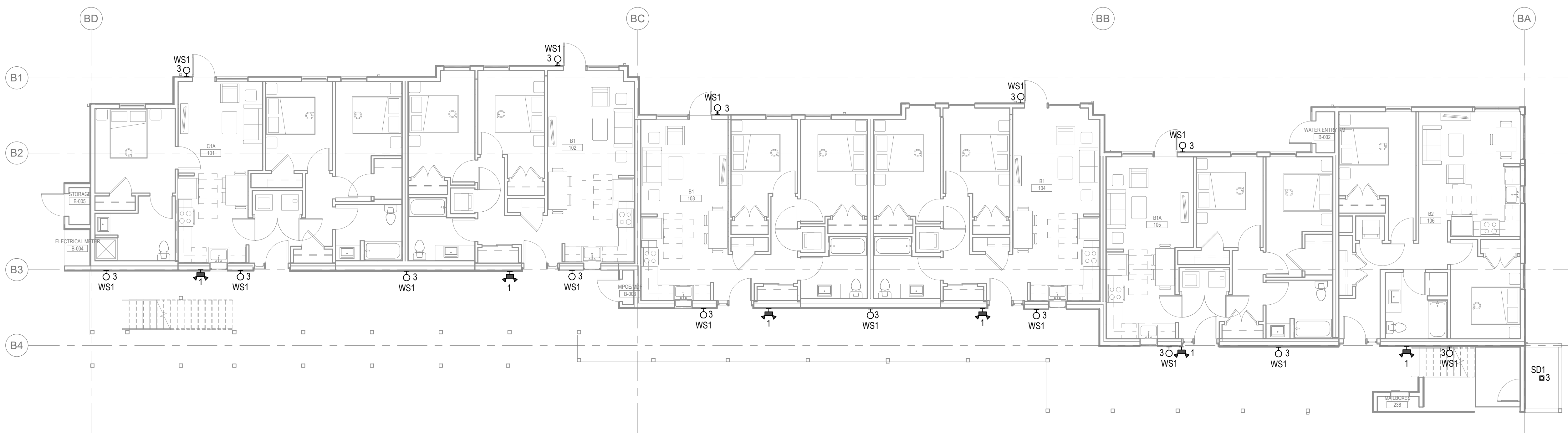
EB-210

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ORIGINAL SHEET SIZE IS 36"X48"



2 BUILDING B - LEVEL 2 FLOOR PLAN - LIGHTING

SCALE: 1/8" = 1'-0"



1 BUILDING B - LEVEL 1 FLOOR PLAN - LIGHTING

SCALE: 1/8" = 1'-0"



BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

SHEET NOTES

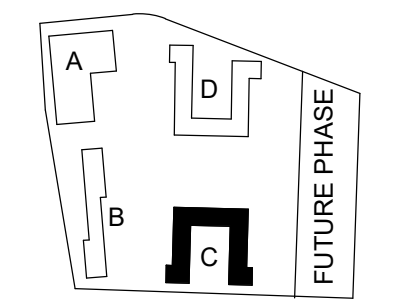
1. ALL FIXTURES ON THIS SHEET ARE CIRCUITED TO PANEL L1C1, UON.

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T: 206.252.1010
Project Manager: DeNayne Glenn
Job No.: 20US00169

PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:

EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

MARK DATE DESCRIPTION

REVISIONS

C 06/08/2020 BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

B 04/10/2020 DESIGN DEVELOPMENT

A 01/07/2020 SCHEMATIC DESIGN

MARK DATE DESCRIPTION

ISSUE INFORMATION

PROJECT NO.: **2017033**

PRINCIPAL IN CHARGE: **Scott Vollmoeller**

PROJECT MANAGER: **DeNayne Glenn**

OWNER APPROVAL:

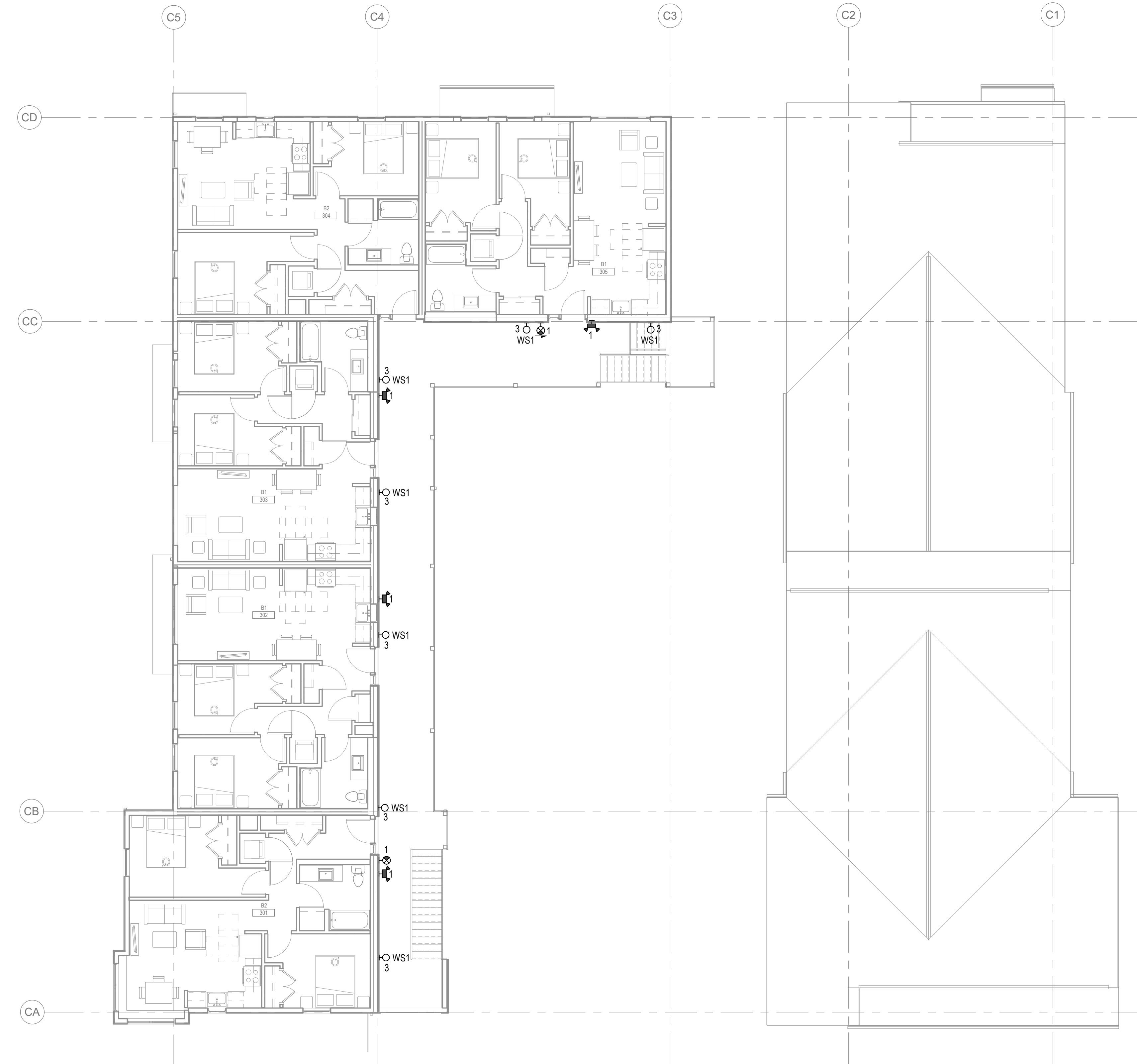
SHEET TITLE

BUILDING C - LEVEL 3 - LIGHTING

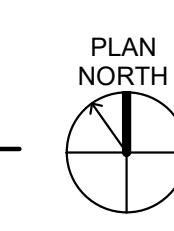
SHEET NO.

EC-212

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1 BUILDING C - LEVEL 3 FLOOR PLAN - LIGHTING
SCALE: 1/8" = 1'-0"



BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

PLOT DATE/TIME: 06/08/2020 10:51:25 AM

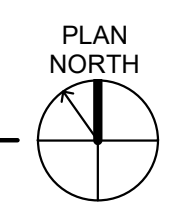
D
C
B
A



← ALL FIXTURES LEFT OF THIS LINE ARE CIRCUTED TO PANEL L1D1, UON.

ALL FIXTURES RIGHT OF THIS LINE ARE CIRCUTED TO PANEL L1D2, UON.

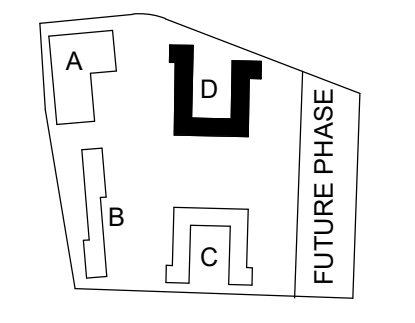
1 BUILDING D - LEVEL 2 FLOOR PLAN - LIGHTING
SCALE: 1/8" = 1'-0"



PLT DATE: 08/10/2020 10:53:15 AM



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Project Manager: DeNayne Glenn
Job No.: 20US00169

PROJECT:
EHA BAKER HEIGHTS



PROJECT ADDRESS:
BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

MARK	DATE	DESCRIPTION
REVISIONS		

C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: **Scott Vollmoeller**
PROJECT MANAGER: **DeNayne Glenn**
OWNER APPROVAL: _____

SHEET TITLE
BUILDING D - LEVEL 2 - LIGHTING

SHEET NO.
ED-211

BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

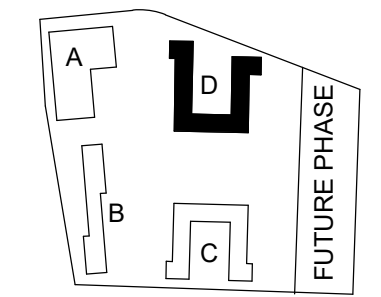
SHEET NOTES

1. ALL FIXTURES ON THIS SHEET ARE CIRCUITED TO PANEL L1D1, UQN.



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Project Manager: DeNayne Glenn
Job No.: 20US00169

PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

BUILDING A: 2710 14TH STREET
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BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:

EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **2017033**
 PRINCIPAL IN CHARGE: **Scott Vollmoeller**
 PROJECT MANAGER: **DeNayne Glenn**
 OWNER APPROVAL: _____

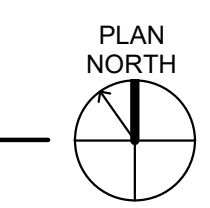
SHEET TITLE
BUILDING D - LEVEL 3 - LIGHTING

SHEET NO.
ED-212

BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL



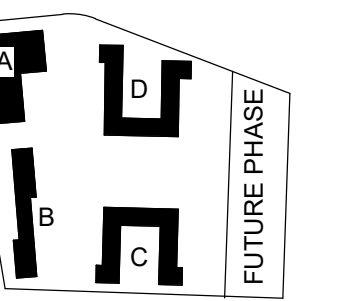
1 BUILDING D - LEVEL 3 FLOOR PLAN - LIGHTING
 SCALE: 1/8" = 1'-0"



PLT DATE: 10/20/20 10:33:17 AM

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Project Manager: DeNayne Glenn
Job No.: 20US00169

PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

BUILDING A: 2710 14TH STREET
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BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:

EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201

MARK DATE DESCRIPTION

REVISIONS

MARK	DATE	DESCRIPTION
C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

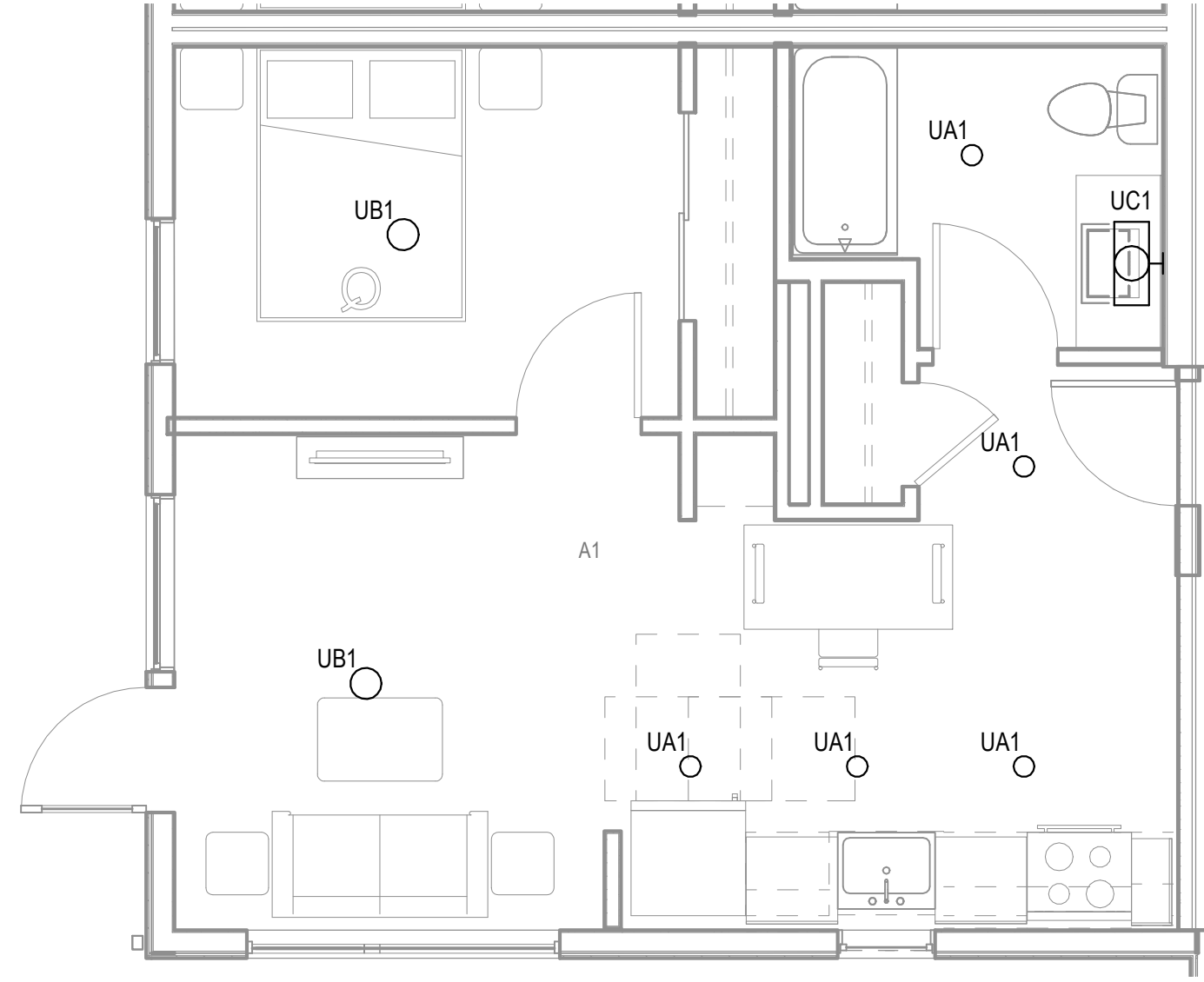
MARK DATE DESCRIPTION

ISSUE INFORMATION

PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: Jon Hall
PROJECT MANAGER: Scott Schreffler
OWNER APPROVAL:

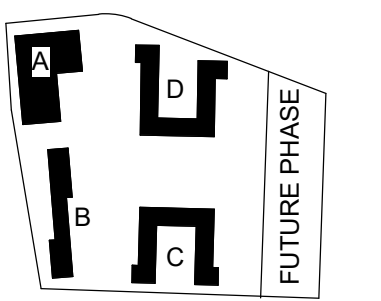
SHEET TITLE
UNIT PLANS - LIGHTING

SHEET NO.
EA-601



1 UNIT A1 - LIGHTING
SCALE: 1/4" = 1'-0"

BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL



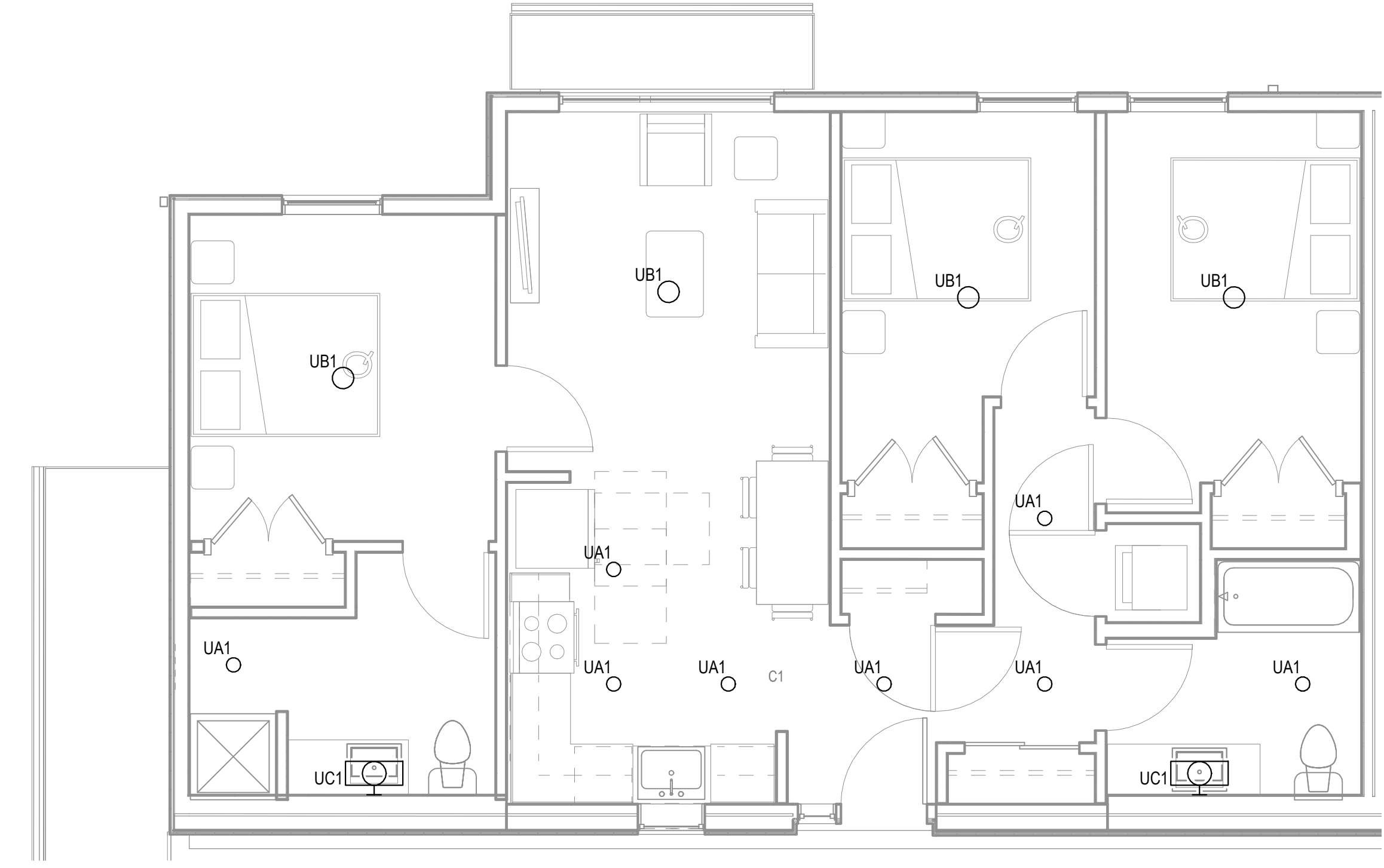
MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN
MARK	DATE	DESCRIPTION
ISSUE INFORMATION		

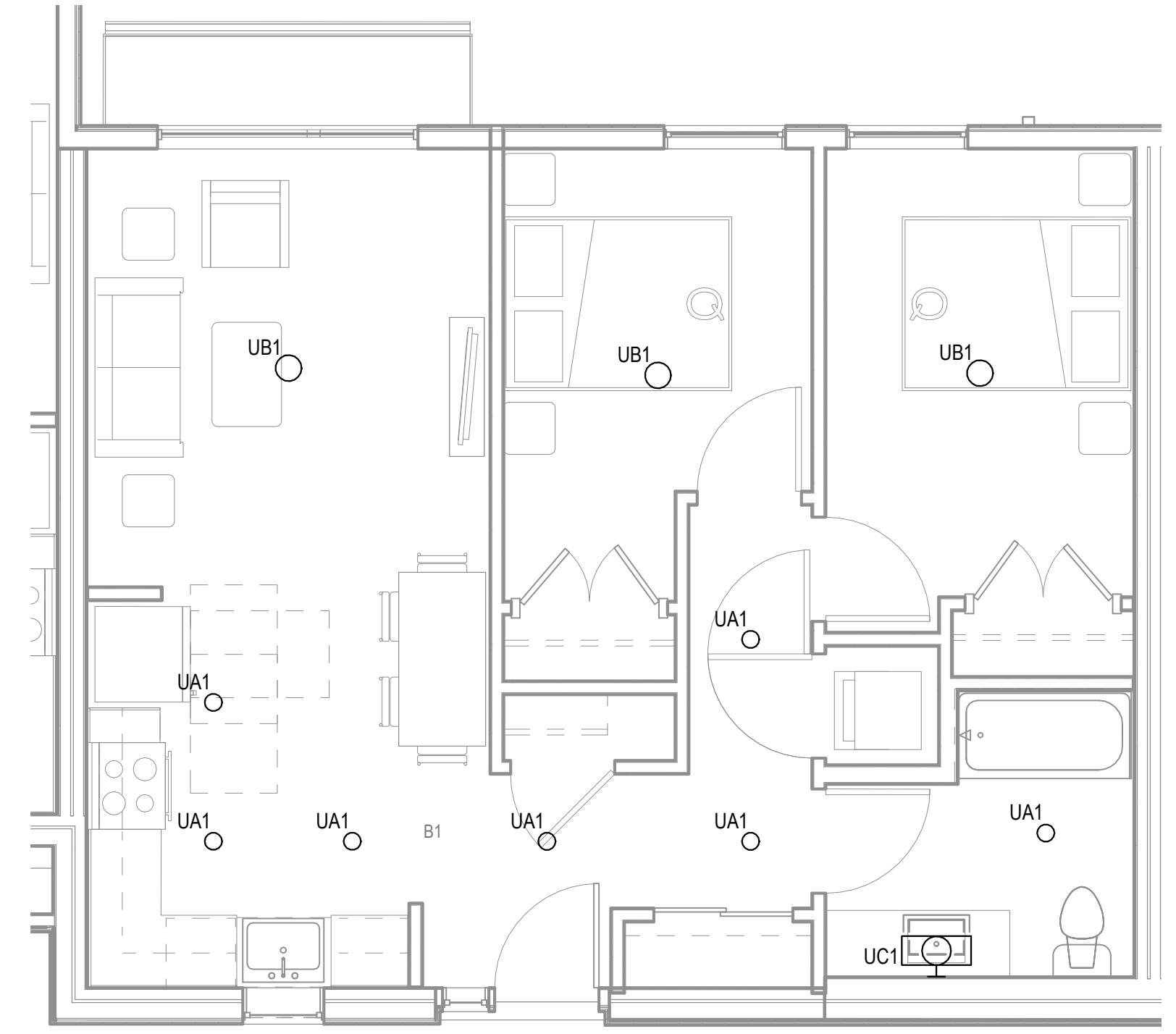
PROJECT NO.: **2018000.00**
 PRINCIPAL IN CHARGE: **Scott Vollmoeller**
 PROJECT MANAGER: **DeNayne Glenn**
 OWNER APPROVAL: _____

SHEET TITLE
UNIT PLANS - LIGHTING

SHEET NO.
EB-601



2 UNIT C1 - LIGHTING
SCALE: 1/4" = 1'-0"



1 UNIT B1 - LIGHTING
SCALE: 1/4" = 1'-0"

BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

D

C

B

A

PLOT DATE/TIME: 2020-11-06 11:46:22 AM

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A

PLOT DATE/TIME: 2020/10/01 10:51:26 AM

1

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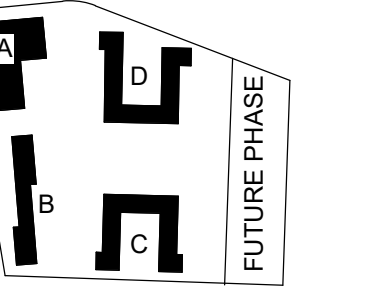
3

4

5

GGLO DESIGN

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T: 206.262.1010
Project Manager: DeNayne Glenn
Job No.: 20US00169

PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

**BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201**

OWNER:

**EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201**

MARK	DATE	DESCRIPTION
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REVISIONS

C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
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B	04/10/2020	DESIGN DEVELOPMENT
---	------------	--------------------

A	01/07/2020	SCHEMATIC DESIGN
---	------------	------------------

MARK	DATE	DESCRIPTION
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ISSUE INFORMATION

PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: **Scott Vollmoeller**
PROJECT MANAGER: **DeNayne Glenn**
OWNER APPROVAL:

SHEET TITLE
UNIT PLANS - LIGHTING

SHEET NO.
EC-601

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ORIGINAL SHEET SIZE IS A1(11'x17')

BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

1

2

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5

D

C

B

A

PLOT DATE/TIME: 2020/10/20 10:33:18 AM

1

2

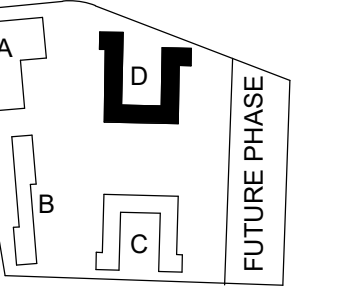
3

4

5

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Job No.: 20US00169

PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:

EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

MARK	DATE	DESCRIPTION
------	------	-------------

REVISIONS

C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
---	------------	---

B	04/10/2020	DESIGN DEVELOPMENT
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A	01/07/2020	SCHEMATIC DESIGN
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MARK	DATE	DESCRIPTION
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ISSUE INFORMATION

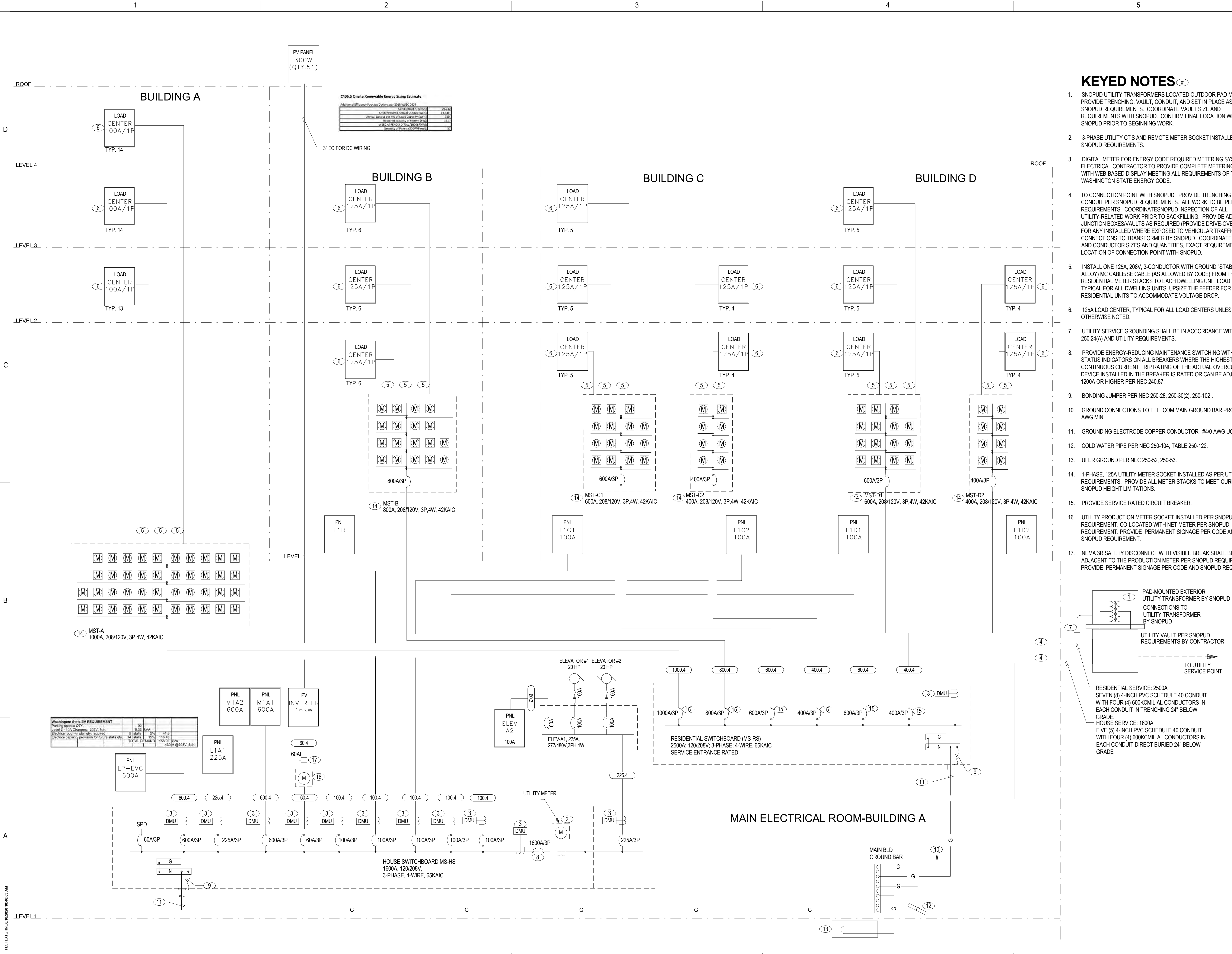
PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: **Scott Vollmoeller**
PROJECT MANAGER: **DeNayne Glenn**
OWNER APPROVAL: _____

SHEET TITLE
UNIT PLANS - LIGHTING

SHEET NO.
ED-601

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ORIGINAL SHEET SIZE IS A1(18"X24")

BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

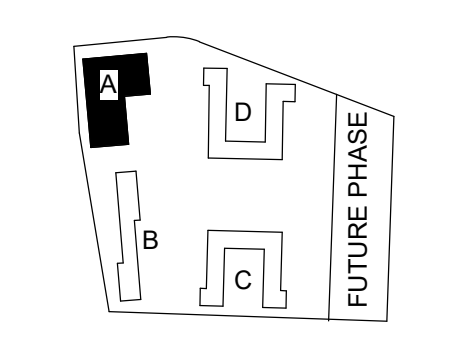


KEYED NOTES

1. SNOUPD UTILITY TRANSFORMERS LOCATED OUTDOOR PAD MOUNTED. PROVIDE TRENCHING, VAULT, CONDUIT, AND SET IN PLACE AS PER SNOUPD REQUIREMENTS. COORDINATE VAULT SIZE AND REQUIREMENTS WITH SNOUPD. CONFIRM FINAL LOCATION WITH SNOUPD PRIOR TO BEGINNING WORK.
2. 3-PHASE UTILITY CT'S AND REMOTE METER SOCKET INSTALLED AS PER SNOUPD REQUIREMENTS.
3. DIGITAL METER FOR ENERGY CODE REQUIRED METERING SYSTEM. ELECTRICAL CONTRACTOR TO PROVIDE COMPLETE METERING SYSTEM WITH WEB-BASED DISPLAY MEETING ALL REQUIREMENTS OF THE 2015 WASHINGTON STATE ENERGY CODE.
4. TO CONNECTION POINT WITH SNOUPD. PROVIDE TRENCHING AND CONDUIT PER SNOUPD REQUIREMENTS. ALL WORK TO BE PER UTILITY REQUIREMENTS. COORDINATE SNOUPD INSPECTION OF ALL UTILITY-RELATED WORK PRIOR TO BACKFILLING. PROVIDE ADDITIONAL JUNCTION BOXES/VAULTS AS REQUIRED (PROVIDE DRIVE-OVER VAULTS FOR ANY INSTALLED WHERE EXPOSED TO VEHICULAR TRAFFIC). FINAL CONNECTIONS TO TRANSFORMER BY SNOUPD. COORDINATE CONDUIT AND CONDUCTOR SIZES AND QUANTITIES. EXACT REQUIREMENTS AND LOCATION OF CONNECTION POINT WITH SNOUPD.
5. INSTALL ONE 125A, 208V, 3-CONDUCTOR WITH GROUND "STABILIZER" (AL ALLOY) MC CABLE/SE CABLE (AS ALLOWED BY CODE) FROM THE RESIDENTIAL METER STACKS TO EACH DWELLING UNIT LOAD CENTER. TYPICAL FOR ALL DWELLING UNITS. UPSIZE THE FEEDER FOR FARTHEST RESIDENTIAL UNITS TO ACCOMMODATE VOLTAGE DROP.
6. 125A LOAD CENTER, TYPICAL FOR ALL LOAD CENTERS UNLESS OTHERWISE NOTED.
7. UTILITY SERVICE GROUNDING SHALL BE IN ACCORDANCE WITH NEC 250.24(A) AND UTILITY REQUIREMENTS.
8. PROVIDE ENERGY-REDUCING MAINTENANCE SWITCHING WITH LOCAL STATUS INDICATORS ON ALL BREAKERS WHERE THE HIGHEST CONTINUOUS CURRENT TRIP RATING OF THE ACTUAL OVERCURRENT DEVICE INSTALLED IN THE BREAKER IS RATED OR CAN BE ADJUSTED TO 1200A OR HIGHER PER NEC 240.87.
9. BONDING JUMPER PER NEC 250-28, 250-30(2), 250-102.
10. GROUND CONNECTIONS TO TELECOM MAIN GROUND BAR PROVIDE #30 AWG MIN.
11. GROUNDING ELECTRODE COPPER CONDUCTOR: #4/0 AWG UON.
12. COLD WATER PIPE PER NEC 250-104, TABLE 250-122.
13. UFER GROUND PER NEC 250-52, 250-53.
14. 1-PHASE, 125A UTILITY METER SOCKET INSTALLED AS PER UTILITY REQUIREMENTS. PROVIDE ALL METER STACKS TO MEET CURRENT SNOUPD HEIGHT LIMITATIONS.
15. PROVIDE SERVICE RATED CIRCUIT BREAKER.
16. UTILITY PRODUCTION METER SOCKET INSTALLED PER SNOUPD REQUIREMENT. CO-LOCATED WITH NET METER PER SNOUPD REQUIREMENT. PROVIDE PERMANENT SIGNAGE PER CODE AND SNOUPD REQUIREMENT.
17. NEMA 3R SAFETY DISCONNECT WITH VISIBLE BREAK SHALL BE LOCATED ADJACENT TO THE PRODUCTION METER PER SNOUPD REQUIREMENT. PROVIDE PERMANENT SIGNAGE PER CODE AND SNOUPD REQUIREMENT.

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T: 206.262.1010
Project Manager: DeNayne Glenn
Job No.: 20U500169

PROJECT:
EHA BAKER HEIGHTS

EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14TH STREET
BUILDING B: 2710 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201

MARK	DATE	DESCRIPTION
REVISIONS		
C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

MARK	DATE	DESCRIPTION
ISSUE INFORMATION		
PROJECT NO.:		2017033
PRINCIPAL IN CHARGE:		Jon Hall
PROJECT MANAGER:		Scott Schreffler
OWNER APPROVAL:		

MARK	DATE	DESCRIPTION
ISSUE INFORMATION		
PROJECT NO.:		2017033
PRINCIPAL IN CHARGE:		Jon Hall
PROJECT MANAGER:		Scott Schreffler
OWNER APPROVAL:		

SHEET TITLE
ELECTRICAL SINGLE LINE DIAGRAM

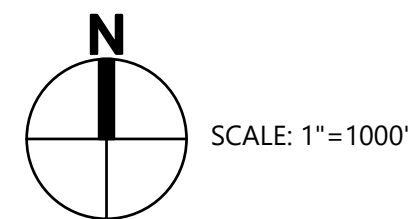
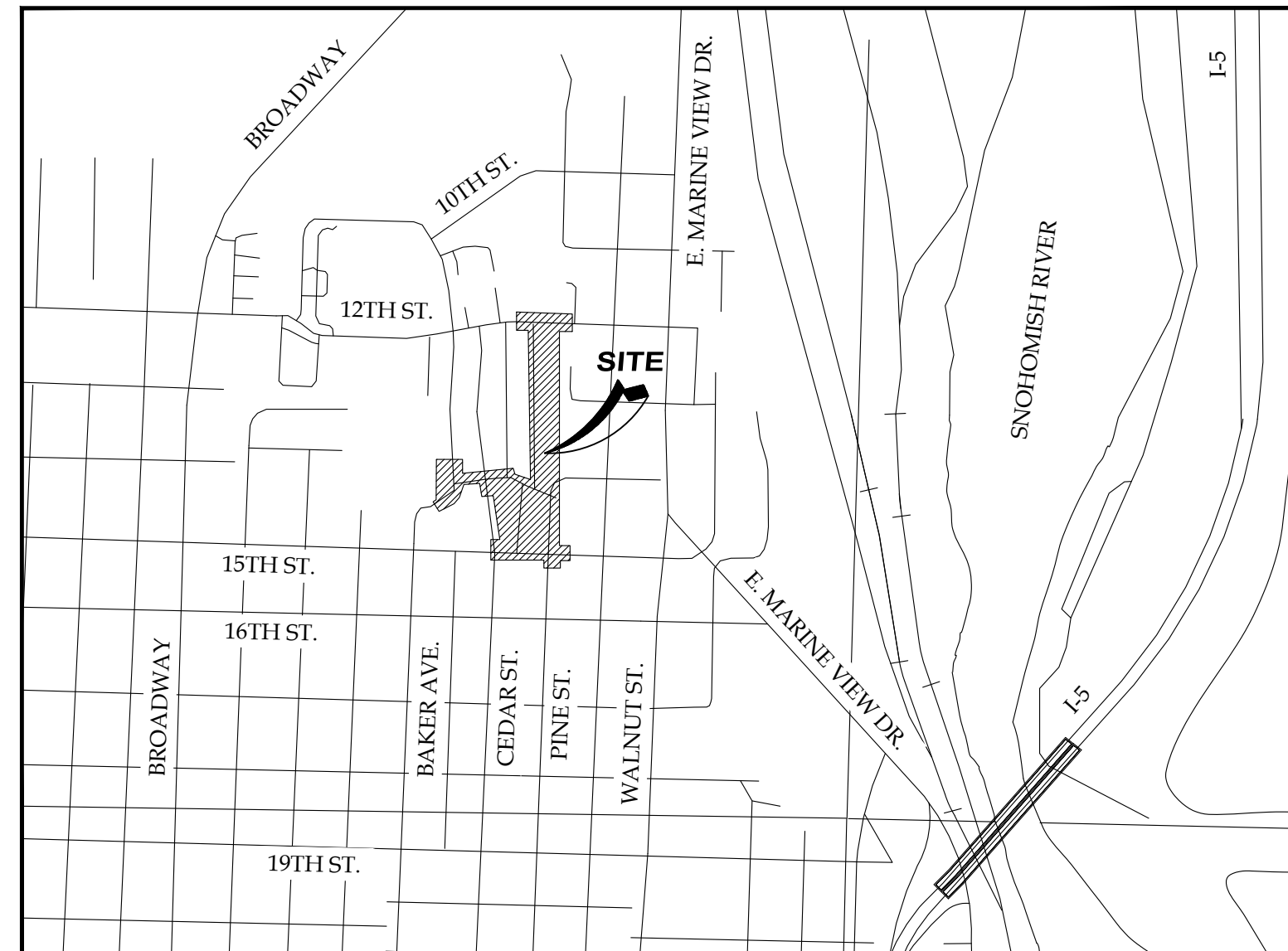
SHEET NO.
E-501

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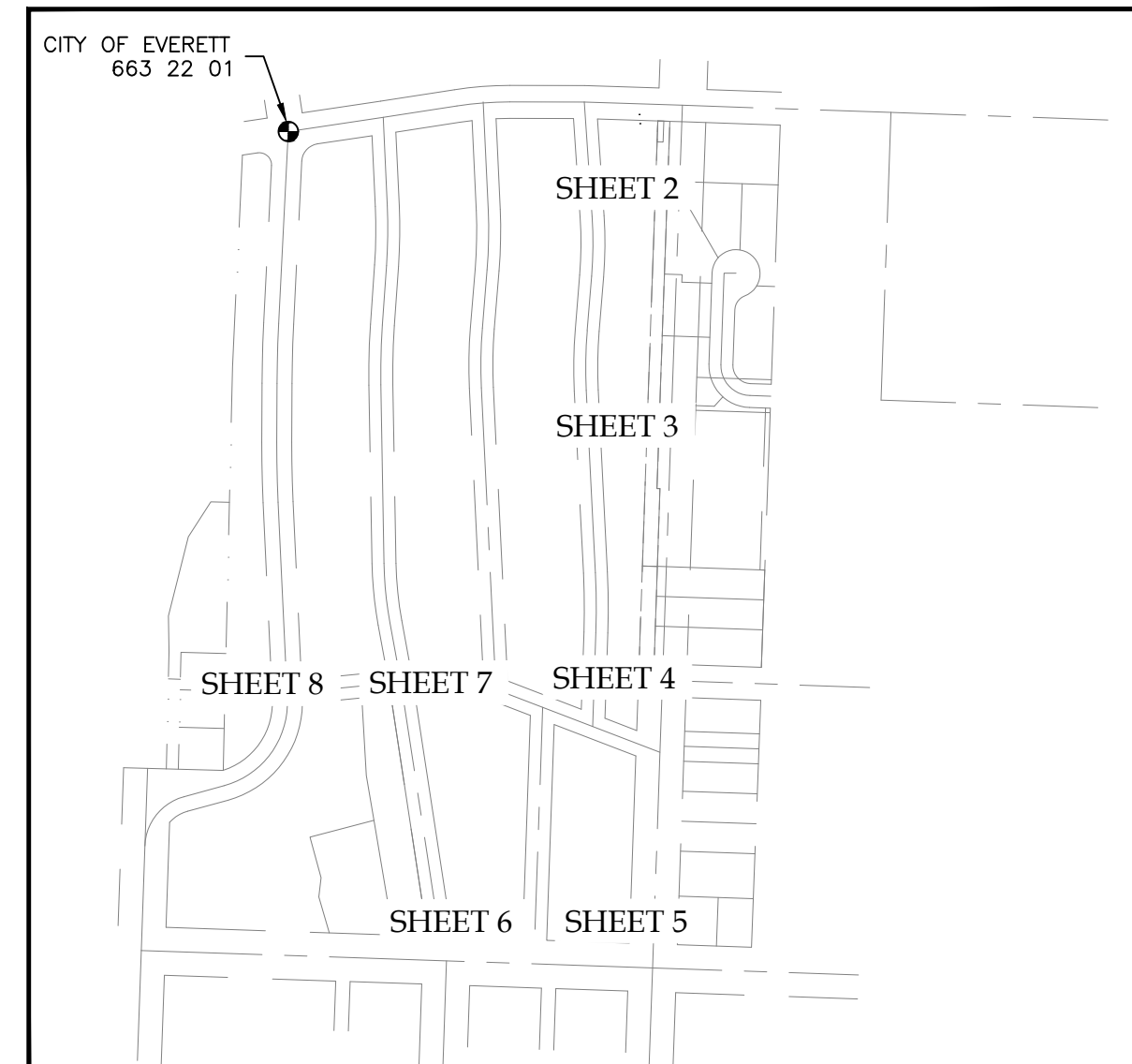
BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

EVERETT HOUSING AUTHORITY BAKER HEIGHTS

VICINITY MAP



SHEET LAYOUT



NOTES:

HORIZONTAL DATUM: NAD 83/91. CONSTRAINED TO CITY OF EVERETT CONTROL
 DESIGNATION: 663 22 01
 4" IRON PIPE SET UNDER A IRON MONUMENT CASE WITH
 A 2" LEAD PLUG AND BRASS PIN.
 N=368207.00
 E=1307197.17

VERTICAL DATUM: NAVD 88 BASED, CITY OF EVERETT
 DESIGNATION: BM 663 22 01
 ELEV.=115.30 FEET

ALL DISTANCES SHOWN ARE GROUND DISTANCES UNLESS OTHERWISE NOTED.

THE LOCATION AND DESCRIPTION OF ALL SURVEY MARKERS SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS TAKEN IN AUGUST 2019, UNLESS OTHERWISE INDICATED.

WORK PERFORMED IN CONJUNCTION WITH THIS SURVEY UTILIZED THE FOLLOWING EQUIPMENT AND PROCEDURES: (A) 1" TRIMBLE S7 SERIES ELECTRONIC TOTAL STATION, MAINTAINED TO THE MANUFACTURER'S SPECIFICATIONS PER W.A.C. 332-130-100. (B) FIELD TRAVERSE, EXCEEDING REQUIREMENTS SET FORTH IN W.A.C. 332-130-090.

THIS TOPOGRAPHIC SURVEY DRAWING ACCURATELY PRESENTS SURFACE FEATURES LOCATED DURING THE COURSE OF THIS SURVEY. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED SOLELY UPON INFORMATION PROVIDED BY OTHERS AND PACE ENGINEERS, INC. DOES NOT ACCEPT RESPONSIBILITY OR ASSUME LIABILITY FOR THEIR ACCURACY OR COMPLETENESS. CONTRACTOR/ENGINEERS SHALL VERIFY EXACT SIZE AND LOCATION PRIOR TO CONSTRUCTION.
 CALL FOR LOCATE: UTILITY LOCATION SERVICE: 811

LEGAL DESCRIPTION:

PER CHICAGO TITLE INSURANCE COMPANY CERTIFICATE NO. 500089740
 DATE: AUGUST 19, 2019 AT 8:00 AM

FOR APN/PARCEL ID(S): 003862-001-000-00 IOP

BLOCKS 1, 5, 7 AND 8, BAKER HEIGHTS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 14 OF PLATS, PAGE 111, RECORDS OF SNOHOMISH COUNTY, WASHINGTON.

TOGETHER WITH ANY PORTION OF VACATED PINE STREET THAT WOULD ATTACH BY LAW PER ORDINANCE 1080-84 RECORDED UNDER AUDITOR'S FILE NO. 8506210070 AND ORDINANCE 1034-84 RECORDED UNDER AUDITOR'S FILE NO. 861013077 RECORDS OF SNOHOMISH COUNTY, WASHINGTON.

SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

FOR APN/PARCEL ID(S): 003862-006-000-03

LOT 3 OF CITY OF EVERETT BINDING SITE PLAN NO. P.F.N. BSP 14-001 RECORDED UNDER AUDITOR'S FILE NO. 20140415501 BEING A PORTION OF BLOCK 6, BAKER HEIGHTS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 14 OF PLATS, PAGE 111, RECORDS OF SNOHOMISH COUNTY, WASHINGTON.

SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

FILE NAME: P:\19488-EVERETT HOUSING AUTHORITY\CAD\SURVEY\CAD\REFS\19488-SRV.DWG
 SAVE TIME: 4/6/2020 7:06 AM PLOT TIME: 4/6/2020 7:06 AM
 USER NAME: DANIEL BRILEY
 PLOT FILE: 19488-ENR.DWG 19488-CONTROL.dwg

CALC	JFS						
CAD	DAB						
PM	JFS						
SYM	REVISION	DATE	BY	APPD			

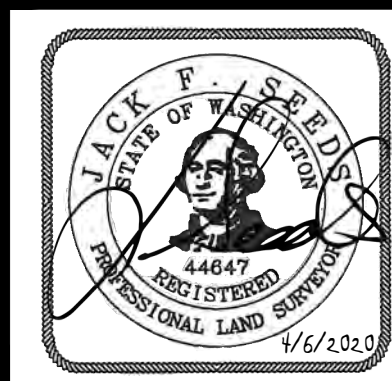
11255 Kirkland Way, Suite 300
 Kirkland, WA 98033
 p. 425.827.2014 | f. 425.827.5043
 Civil | Structural | Planning | Survey
 www.paceengrs.com

**EVHA-BAKER HEIGHTS
TAX PARCEL #00386200100000**

DATE	OCTOBER 1, 2019
SCALE	NTS
SURVEY TEAM	BL/NM/PC/SJF
FIELD BOOK	754 A,B,C & ELEC.
DWG:	V19488-SRV.DWG

PORTION OF: NE1/4, SECTION 17, T. 29N., R. 5E., W.M.
 PORTION OF: SE1/4, SECTION 17, T. 29N., R. 5E., W.M.

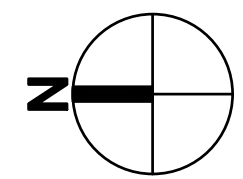
**TOPOGRAPHIC SURVEY
FOR
EVERETT HOUSING AUTHORITY**



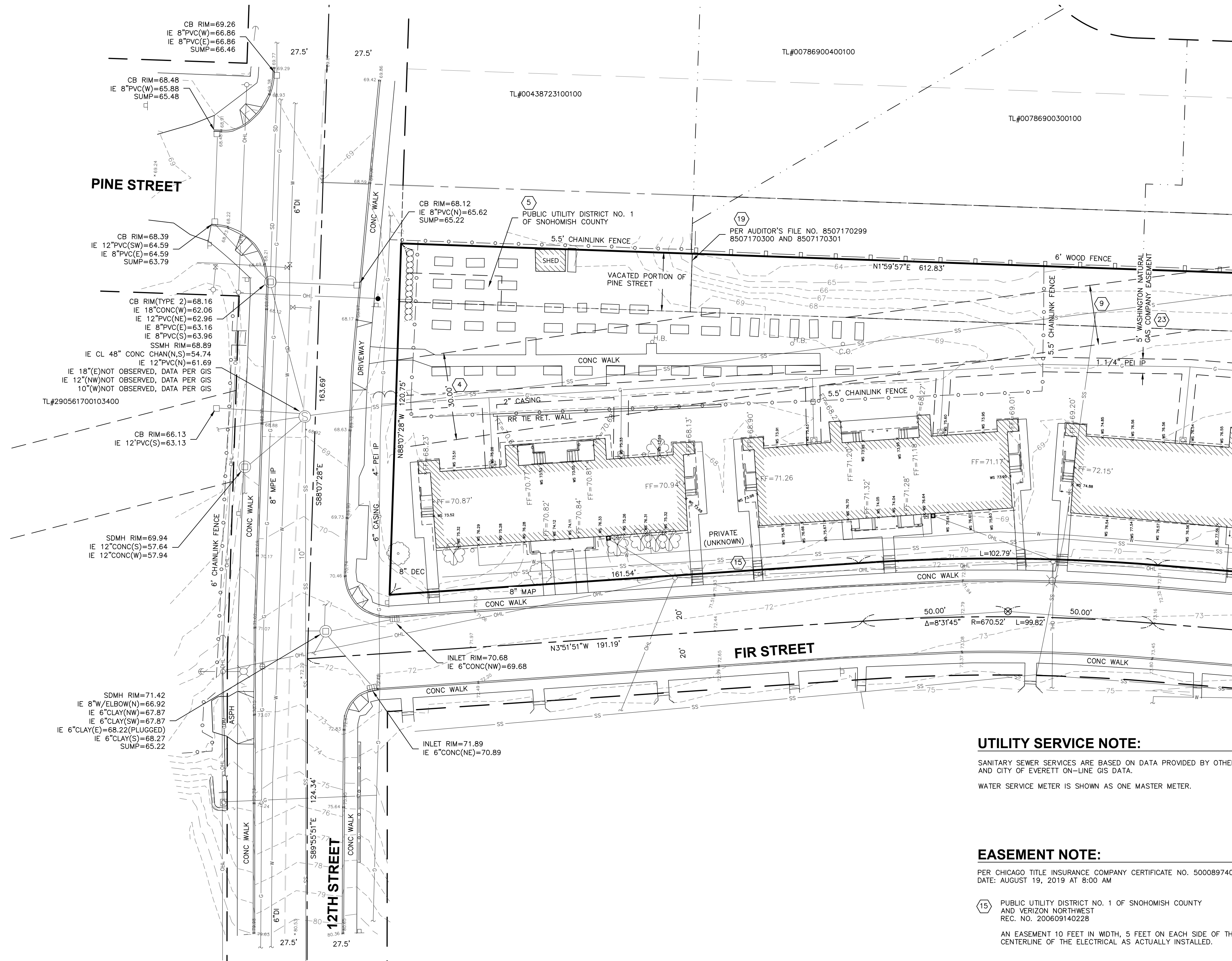
PROJECT NO.
19488

SHEET **1** OF **8**

EVERETT HOUSING AUTHORITY BAKER HEIGHTS



HORIZ. 0 10 20 40
Scale In Feet



SEE SHEET 3

LEGEND

- ⊗ WATER VALVE
 - ⊕ HYDRANT
 - ⊞ WATER METER
 - ⊞ IRRIGATION CONTROL VALVE
 - ⊕ HOSE BIB
 - ⊙ WATER MANHOLE
 - ⊙ MANHOLES (SS/SD)
 - ⊙ CB
 - ⊞ CURB INLET
 - ⊕ POWER/UTILITY POLE
 - ⊕ GUY ANCHOR
 - ⊕ ANCHOR POLE
 - ⊕ POWER TRANSFORMER
 - ⊕ POWER/TELEPHONE VAULT
 - ⊕ POWER METER
 - ⊕ COMMUNICATION BOX
 - ⊕ GAS VALVE
 - ⊕ JUNCTION BOX
 - ⊕ GAS METER
 - ⊕ STREET LIGHT
 - ⊕ LUMINAIRE
 - ⊕ SPOT ELEVATION
 - ⊕ SIGN
 - ⊕ MAILBOX
 - ⊕ ROCKERY
 - ⊕ SIZE & TYPE (CONIFEROUS TREE)
 - ⊕ SIZE & TYPE (DECIDUOUS TREE)
 - ⊕ SHRUB
 - ⊕ STUMP
 - X WS 0.00 WINDOW SILL ELEVATION
 - X FF 0.00 FINISH FLOOR ELEVATION
 - ⊕ CALCULATED POSITION
 - ⊕ CASED MONUMENT
 - ⊕ MAGNETIC NAIL W/ WASHER
 - ⊕ REBAR AND CAP
 - ⊕ CAST IRON PIPE (PER EVERETT GIS ONLINE DATA)
-
- CENTER LINES
 - PROPERTY LINES
 - RIGHT-OF-WAY LINES
 - LOT LINES
 - DITCH LINE
 - WATER LINE
 - SANITARY SEWER LINE
 - STORM DRAIN LINE
 - GAS LINE
 - UP UNDERGROUND POWER LINES
 - COM UNDERGROUND COMMUNICATION LINES
 - OHL OVERHEAD UTILITY LINES
 - WL WETLAND BOUNDARY LINE
 - CL CHAIN LINK FENCE
 - WF WIRE FENCE
 - WF WOOD FENCE
 - EV EDGE OF VEGETATION/HEDGE LINE

UTILITY SERVICE NOTE:

SANITARY SEWER SERVICES ARE BASED ON DATA PROVIDED BY OTHERS AND CITY OF EVERETT ON-LINE GIS DATA.
WATER SERVICE METER IS SHOWN AS ONE MASTER METER.

EASEMENT NOTE:

PER CHICAGO TITLE INSURANCE COMPANY CERTIFICATE NO. 500089740
DATE: AUGUST 19, 2019 AT 8:00 AM

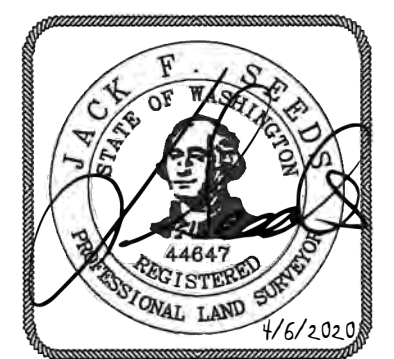
15 PUBLIC UTILITY DISTRICT NO. 1 OF SNOHOMISH COUNTY AND VERIZON NORTHWEST
REC. NO. 200609140228

AN EASEMENT 10 FEET IN WIDTH, 5 FEET ON EACH SIDE OF THE CENTERLINE OF THE ELECTRICAL AS ACTUALLY INSTALLED.

SURVEY NOTES:

- PER CHICAGO TITLE INSURANCE COMPANY CERTIFICATE NO. 500089740
DATE: AUGUST 19, 2019 AT 8:00 AM
- 4 CITY OF EVERETT, INGRESS, EGRESS AND SEWER LINES
RECORDING NO. 1300219
 - 5 PUBLIC UTILITY DISTRICT NO. 1 OF SNOHOMISH COUNTY
RECORDING NO. 8407240099(SEE EASEMENT NOTE)
 - 9 CITY OF EVERETT, SANITARY SEWER AND WATER MAINS
REC. NO. 8506210151
 - 15 PUBLIC UTILITY DISTRICT NO. 1 OF SNOHOMISH COUNTY AND VERIZON NORTHWEST
REC. NO. 200609140228
 - 19 AUDITOR'S FILE NO. 8507170299, 8507170300 AND 8507170301
 - 23 WASHINGTON NATURAL GAS COMPANY
RECORDING NO. 1242949

PORTION OF: NE1/4, SECTION 17, T. 29N., R. 5E., W.M.
PORTION OF: SE1/4, SECTION 17, T. 29N., R. 5E., W.M.



FILE NAME: P:\15\19488-EVERETT HOUSING AUTHORITY\CAD SURVEY\CAD\REFS\19488-SRV.DWG
SAVE TIME: 4/6/2020 7:07 AM PLOT TIME: 4/6/2020 7:07 AM
USER NAME: DAVID BRILEY
PLOT FILE: V:\19488-ENR\DWG\19488-CONTR.DWG

CALC	JFS								
CAD	DAB								
PM	JFS								
SYM	REVISION	DATE	BY	APPD					

PACE
An Engineering Services Company

11255 Kirkland Way, Suite 300
Kirkland, WA 98033
p. 425.827.2014 | f. 425.827.5043
Civil | Structural | Planning | Survey
www.paceengrs.com

DATE	OCTOBER 1, 2019
SCALE	1" = 20'
SURVEY TEAM	BL/NM/PC/SJF
FIELD BOOK	754 A,B,C & E
DWG:	V19488-SRV.DWG

**TOPOGRAPHIC SURVEY
FOR
EVERETT HOUSING AUTHORITY**

PROJECT NO.	19488
SHEET	2 OF 8