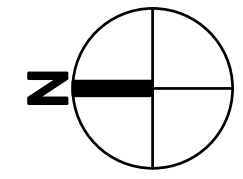


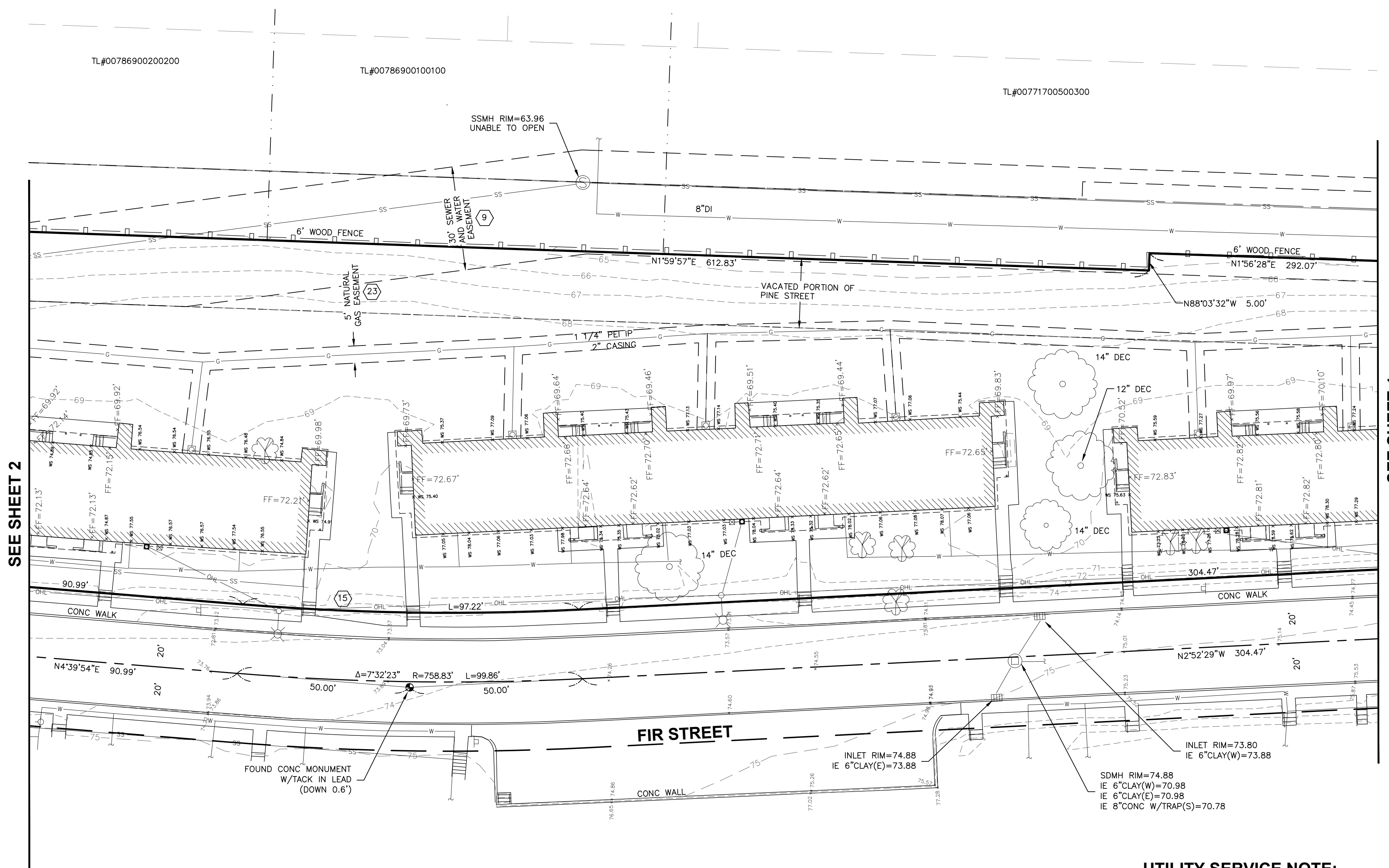
EVERETT HOUSING AUTHORITY BAKER HEIGHTS



HORIZ 0 10 20 40
Scale In Feet

LEGEND

- WATER VALVE
 - HYDRANT
 - WATER METER
 - IRRIGATION CONTROL VALVE
 - H.B. HOSE BIB
 - WATER MANHOLE
 - MANHOLES (SS/SD)
 - CB
 - CURB INLET
 - POWER/UTILITY POLE
 - GUY ANCHOR
 - ANCHOR POLE
 - POWER TRANSFORMER
 - POWER/TELEPHONE VAULT
 - POWER METER
 - COMMUNICATION BOX
 - GAS VALVE
 - JUNCTION BOX
 - GAS METER
 - STREET LIGHT
 - LUMINAIRE
 - SPOT ELEVATION
 - SIGN
 - MAILBOX
 - ROCKERY
 - SIZE & TYPE (CONIFEROUS TREE)
 - SIZE & TYPE (DECIDUOUS TREE)
 - SHRUB
 - STUMP
 - X WS 0.00 WINDOW SILL ELEVATION
 - X FF=0.00 FINISH FLOOR ELEVATION
 - CALCULATED POSITION
 - CASIED MONUMENT
 - MAGNETIC NAIL W/ WASHER
 - REBAR AND CAP
 - CAS CAST IRON PIPE(PER EVERETT GIS ONLINE DATA)
-
- CENTER LINES
 - PROPERTY LINES
 - RIGHT-OF-WAY LINES
 - LOT LINES
 - DITCH LINE
 - WATER LINE
 - SANITARY SEWER LINE
 - STORM DRAIN LINE
 - GAS LINE
 - UNDERGROUND POWER LINES
 - UNDERGROUND COMMUNICATION LINES
 - OVERHEAD UTILITY LINES
 - WETLAND BOUNDARY LINE
 - CHAIN LINK FENCE
 - WIRE FENCE
 - WOOD FENCE
 - EDGE OF VEGETATION/HEDGE LINE



SEE SHEET 2

SEE SHEET 4

SURVEY NOTES:

- PER CHICAGO TITLE INSURANCE COMPANY CERTIFICATE NO. 500089740
DATE: AUGUST 19, 2019 AT 8:00 AM
- CITY OF EVERETT, SANITARY SEWER AND WATER MAINS
REC. NO. 8506210151
- WASHINGTON NATURAL GAS COMPANY
RECORDING NO. 1242949

EASEMENT NOTE:

- PER CHICAGO TITLE INSURANCE COMPANY CERTIFICATE NO. 500089740
DATE: AUGUST 19, 2019 AT 8:00 AM
 - PUBLIC UTILITY DISTRICT NO. 1 OF SNOHOMISH COUNTY
AND VERIZON NORTHWEST
REC. NO. 200609140228
- AN EASEMENT 10 FEET IN WIDTH, 5 FEET ON EACH SIDE OF THE CENTERLINE OF THE ELECTRICAL AS ACTUALLY INSTALLED.

UTILITY SERVICE NOTE:

SANITARY SEWER SERVICES ARE BASED ON DATA PROVIDED BY OTHERS AND CITY OF EVERETT ON-LINE GIS DATA.
WATER SERVICE METER IS SHOWN AS ONE MASTER METER.

FILE NAME: P:\151\19488-EVERETT HOUSING AUTHORITY CAD SURVEY\CAD\REFS\19488-SRV.DWG
 SAVE TIME: 4/16/2020 7:07 AM
 USER NAME: DAB
 PLOT TIME: 4/16/2020 7:07 AM
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CAD	DAB								
PM	JFS								
SYM		REVISION	DATE	BY	APPD				

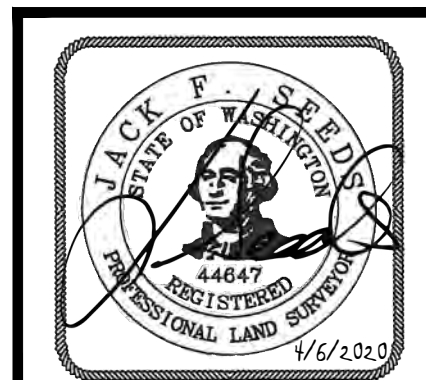
11255 Kirkland Way, Suite 300
Kirkland, WA 98033
p. 425.827.2014 | f. 425.827.5043
Civil | Structural | Planning | Survey
www.paceengrs.com

**EVHA-BAKER HEIGHTS
TAX PARCEL #0038620010000**

DATE	OCTOBER 1, 2019
SCALE	1" = 20'
SURVEY TEAM	BL/NM/PC/SJF
FIELD BOOK	754 A,B,C & ELEC.
DWG:	V19488-SRV.DWG

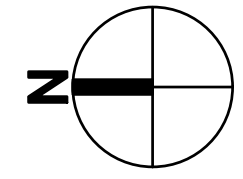
PORTION OF: NE1/4, SECTION 17, T. 29N., R. 5E., W.M.
PORTION OF: SE1/4, SECTION 17, T. 29N., R. 5E., W.M.

**TOPOGRAPHIC SURVEY
FOR
EVERETT HOUSING AUTHORITY**

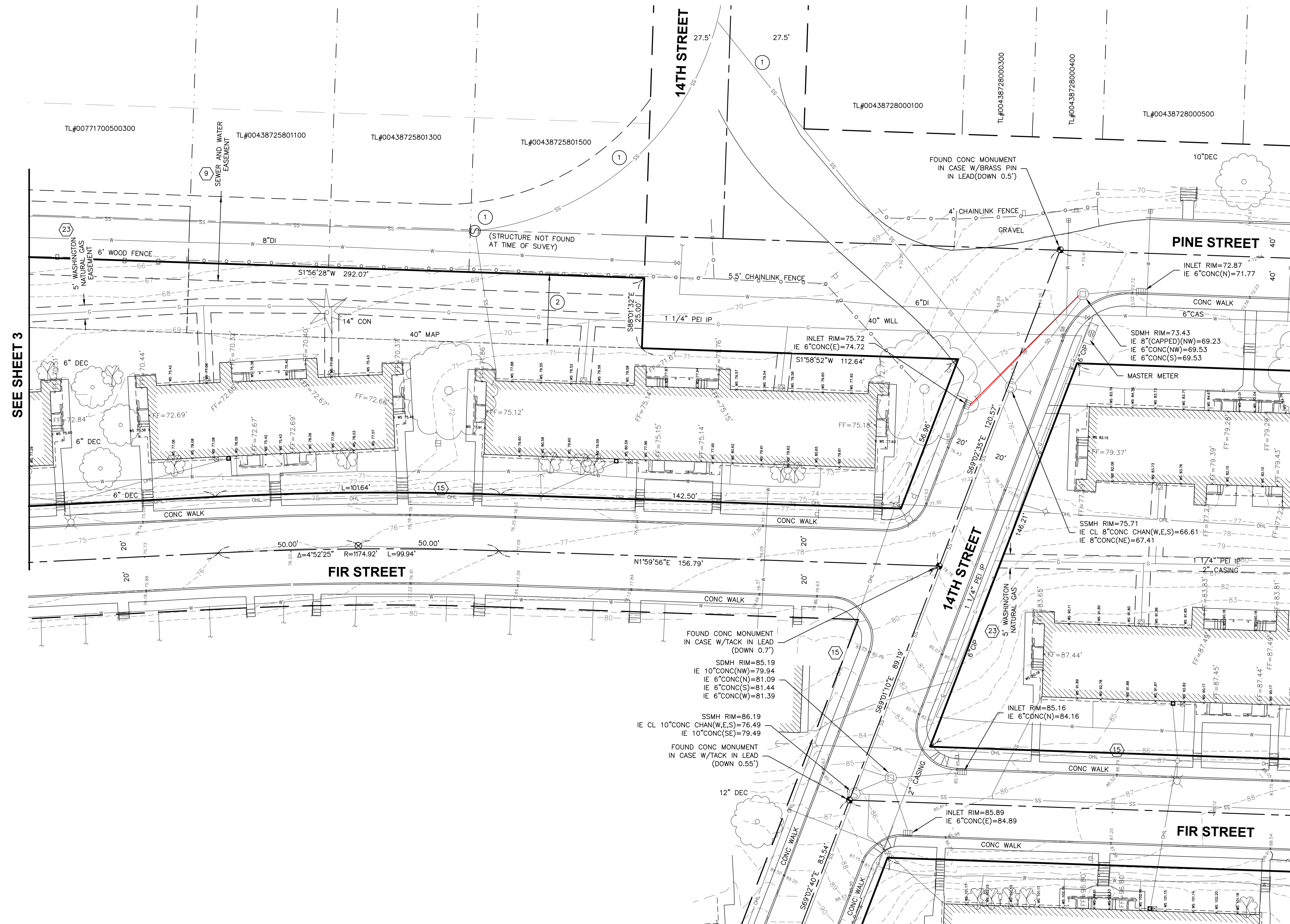


PROJECT NO.	19488
SHEET	3 OF 8

EVERETT HOUSING AUTHORITY BAKER HEIGHTS



HORIZ. 0 10 20 40
Scale In Feet



- ### LEGEND
- ⊗ WATER VALVE
 - ⊕ HYDRANT
 - ⊖ WATER METER
 - ⊞ IRRIGATION CONTROL VALVE
 - ⊙ HOSE BIB
 - ⊕ WATER MANHOLE
 - ⊞ MANHOLES (SS/SD)
 - ⊞ CB
 - ⊞ CURB INLET
 - ⊞ POWER/UTILITY POLE
 - ⊞ GUY ANCHOR
 - ⊞ ANCHOR POLE
 - ⊞ POWER TRANSFORMER
 - ⊞ POWER/TELEPHONE VAULT
 - ⊞ POWER METER
 - ⊞ COMMUNICATION BOX
 - ⊞ GAS VALVE
 - ⊞ JUNCTION BOX
 - ⊞ GAS METER
 - ⊞ STREET LIGHT
 - ⊞ LUMINAIRE
 - ⊞ SPOT ELEVATION
 - ⊞ SIGN
 - ⊞ MAILBOX
 - ⊞ ROCKERY
 - ⊞ SIZE & TYPE (CONIFEROUS TREE)
 - ⊞ SIZE & TYPE (DECIDUOUS TREE)
 - ⊞ SHRUB
 - ⊞ STUMP
 - X WS 0.00 WINDOW SILL ELEVATION
 - X FF=0.00 FINISH FLOOR ELEVATION
 - ⊞ CALCULATED POSITION
 - ⊞ CASED MONUMENT
 - ⊞ MAGNETIC NAIL W/ WASHER
 - ⊞ REBAR AND CAP
 - CAS CAST IRON PIPE(PER EVERETT GIS ONLINE DATA)
 - CENTER LINES
 - PROPERTY LINES
 - RIGHT-OF-WAY LINES
 - LOT LINES
 - DITCH LINE
 - WATER LINE
 - SANITARY SEWER LINE
 - STORM DRAIN LINE
 - GAS LINE
 - UNDERGROUND POWER LINES
 - UNDERGROUND COMMUNICATION LINES
 - OVERHEAD UTILITY LINES
 - WETLAND BOUNDARY LINE
 - CHAIN LINK FENCE
 - WIRE FENCE
 - WOOD FENCE
 - EDGE OF VEGETATION/HEDGE LINE

SURVEY NOTES:

- PER CHICAGO TITLE INSURANCE COMPANY CERTIFICATE NO. 500089740
DATE: AUGUST 19, 2019 AT 8:00 AM
- 9 CITY OF EVERETT, SANITARY SEWER AND WATER MAINS
REC. NO. 8506210151
- 23 WASHINGTON NATURAL GAS COMPANY
RECORDING NO. 1242949
- 1 APPROXIMATE LOCATION, PER CITY OF EVERETT ONLINE GIS DATA
- 2 VACATED PORTION OF PINE STREET

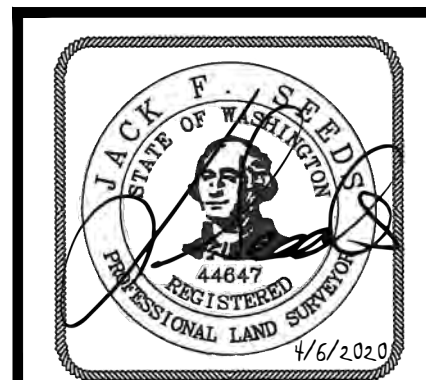
EASEMENT NOTE:

- PER CHICAGO TITLE INSURANCE COMPANY CERTIFICATE NO. 500089740
DATE: AUGUST 19, 2019 AT 8:00 AM
 - 15 PUBLIC UTILITY DISTRICT NO. 1 OF SNOHOMISH COUNTY
AND VERIZON NORTHWEST
REC. NO. 200609140228
- AN EASEMENT 10 FEET IN WIDTH, 5 FEET ON EACH SIDE OF THE CENTERLINE OF THE ELECTRICAL AS ACTUALLY INSTALLED.

UTILITY SERVICE NOTE:

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WATER SERVICE METER IS SHOWN AS ONE MASTER METER.

PORTION OF: NE1/4, SECTION 17, T. 29N., R. 5E., W.M.
PORTION OF: SE1/4, SECTION 17, T. 29N., R. 5E., W.M.



SEE SHEET 3

SEE SHEET 5

SEE SHEET 7

FILE NAME: P:\1519488-EVERETT HOUSING AUTHORITY CAD SURVEY\CAD\REFS\1519488-SRV.DWG
SAVE TIME: 4/6/2020 7:07 AM
USER NAME: DAVID BRILEY
PLOT TIME: 4/6/2020 7:07 AM
PLOT FILE: 1519488-ENR.DWG, 1519488-CONTR.DWG

CALC	JFS								
CAD	DAB								
PM	JFS								
SYM		REVISION	DATE	BY	APPD				

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Kirkland, WA 98033
p. 425.827.2014 | f. 425.827.5043
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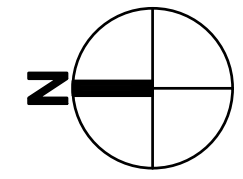
**EVHA-BAKER HEIGHTS
TAX PARCEL #0038620010000**

DATE: OCTOBER 1, 2019
SCALE: 1" = 20'
SURVEY TEAM: BL/NM/PC/SJF
FIELD BOOK: 754 A,B,C & ELEC.
DWG: V19488-SRV.DWG

**TOPOGRAPHIC SURVEY
FOR
EVERETT HOUSING AUTHORITY**

PROJECT NO.
19488
SHEET **4** OF **8**

EVERETT HOUSING AUTHORITY BAKER HEIGHTS



HORIZ. 0 10 20 40
Scale In Feet

LEGEND

- ⊗ WATER VALVE
 - ⊕ HYDRANT
 - ⊕ WATER METER
 - ⊕ IRRIGATION CONTROL VALVE
 - ⊕ HOSE BIB
 - ⊕ WATER MANHOLE
 - ⊕ MANHOLES (SS/SD)
 - ⊕ CB
 - ⊕ CURB INLET
 - ⊕ POWER/UTILITY POLE
 - ⊕ GUY ANCHOR
 - ⊕ ANCHOR POLE
 - ⊕ POWER TRANSFORMER
 - ⊕ POWER/TELEPHONE VAULT
 - ⊕ POWER METER
 - ⊕ COMMUNICATION BOX
 - ⊕ GAS VALVE
 - ⊕ JUNCTION BOX
 - ⊕ GAS METER
 - ⊕ STREET LIGHT LUMINAIRE
 - ⊕ SPOT ELEVATION
 - ⊕ SIGN
 - ⊕ MAILBOX
 - ⊕ ROCKERY
 - ⊕ SIZE & TYPE (CONIFEROUS TREE)
 - ⊕ SIZE & TYPE (DECIDUOUS TREE)
 - ⊕ SHRUB
 - ⊕ STUMP
 - X WS 0.00 WINDOW SILL ELEVATION
 - X FF=0.00 FINISH FLOOR ELEVATION
 - ⊕ CALCULATED POSITION
 - ⊕ CASIED MONUMENT
 - ⊕ MAGNETIC NAIL W/ WASHER
 - ⊕ REBAR AND CAP
 - CAS CAST IRON PIPE(PER EVERETT GIS ONLINE DATA)
-
- CENTER LINES
 - PROPERTY LINES
 - RIGHT-OF-WAY LINES
 - LOT LINES
 - DITCH LINE
 - WATER LINE
 - SS SANITARY SEWER LINE
 - SD STORM DRAIN LINE
 - G GAS LINE
 - UP UNDERGROUND POWER LINES
 - OHL OVERHEAD UTILITY LINES
 - ML WETLAND BOUNDARY LINE
 - CHAIN LINK FENCE
 - WIRE FENCE
 - WOOD FENCE
 - EDGE OF VEGETATION/HEDGE LINE

SURVEY NOTES:

PER CHICAGO TITLE INSURANCE COMPANY CERTIFICATE NO. 500089740
DATE: AUGUST 19, 2019 AT 8:00 AM

23 WASHINGTON NATURAL GAS COMPANY
RECORDING NO. 1242949

EASEMENT NOTE:

PER CHICAGO TITLE INSURANCE COMPANY CERTIFICATE NO. 500089740
DATE: AUGUST 19, 2019 AT 8:00 AM

15 PUBLIC UTILITY DISTRICT NO. 1 OF SNOHOMISH COUNTY
AND VERIZON NORTHWEST
REC. NO. 200609140228

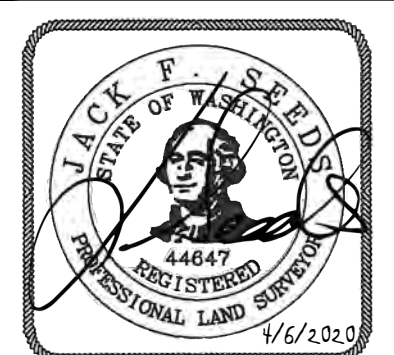
AN EASEMENT 10 FEET IN WIDTH, 5 FEET ON EACH SIDE OF THE CENTERLINE OF THE ELECTRICAL AS ACTUALLY INSTALLED.

UTILITY SERVICE NOTE:

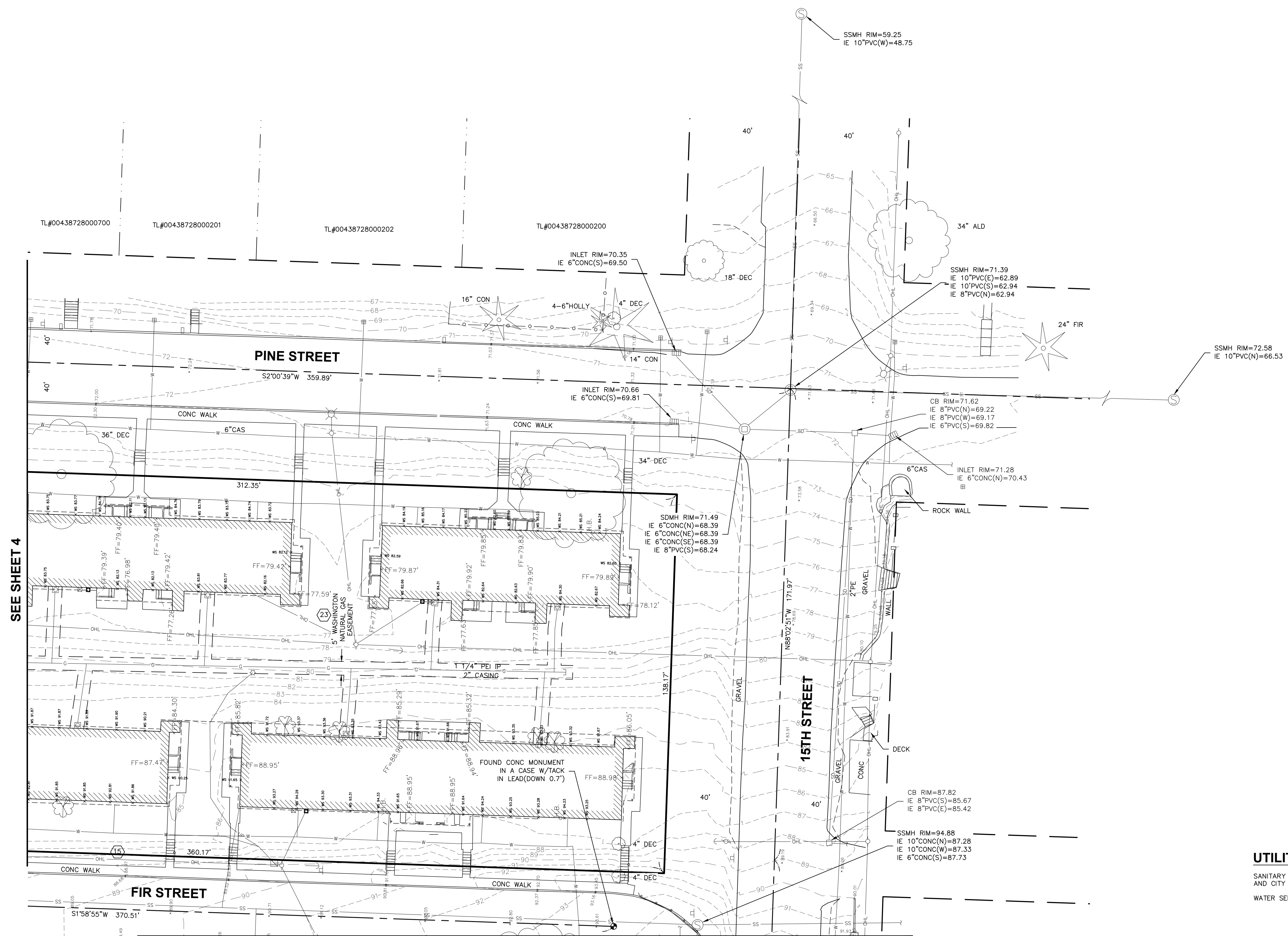
SANITARY SEWER SERVICES ARE BASED ON DATA PROVIDED BY OTHERS AND CITY OF EVERETT ON-LINE GIS DATA.
WATER SERVICE METER IS SHOWN AS ONE MASTER METER.

PORTION OF: NE1/4, SECTION 17, T. 29N., R. 5E., W.M.
PORTION OF: SE1/4, SECTION 17, T. 29N., R. 5E., W.M.

**TOPOGRAPHIC SURVEY
FOR
EVERETT HOUSING AUTHORITY**



PROJECT NO.
19488
SHEET **5** OF **8**



SEE SHEET 4

SEE SHEET 6

FILE NAME: P:\19488-EVERETT HOUSING AUTHORITY CAD SURVEY\CAD\REFS\19488-SRV.DWG
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SAVE TIME: 4/6/2020 7:09 AM
USER NAME: DAB
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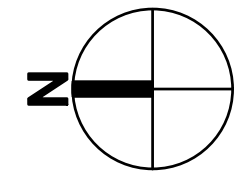
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DATE	OCTOBER 1, 2019
SCALE	1" = 20'
SURVEY TEAM	BL/NM/PC/SJF
FIELD BOOK	754 A,B,C & ELEC.
DWG:	V19488-SRV.DWG

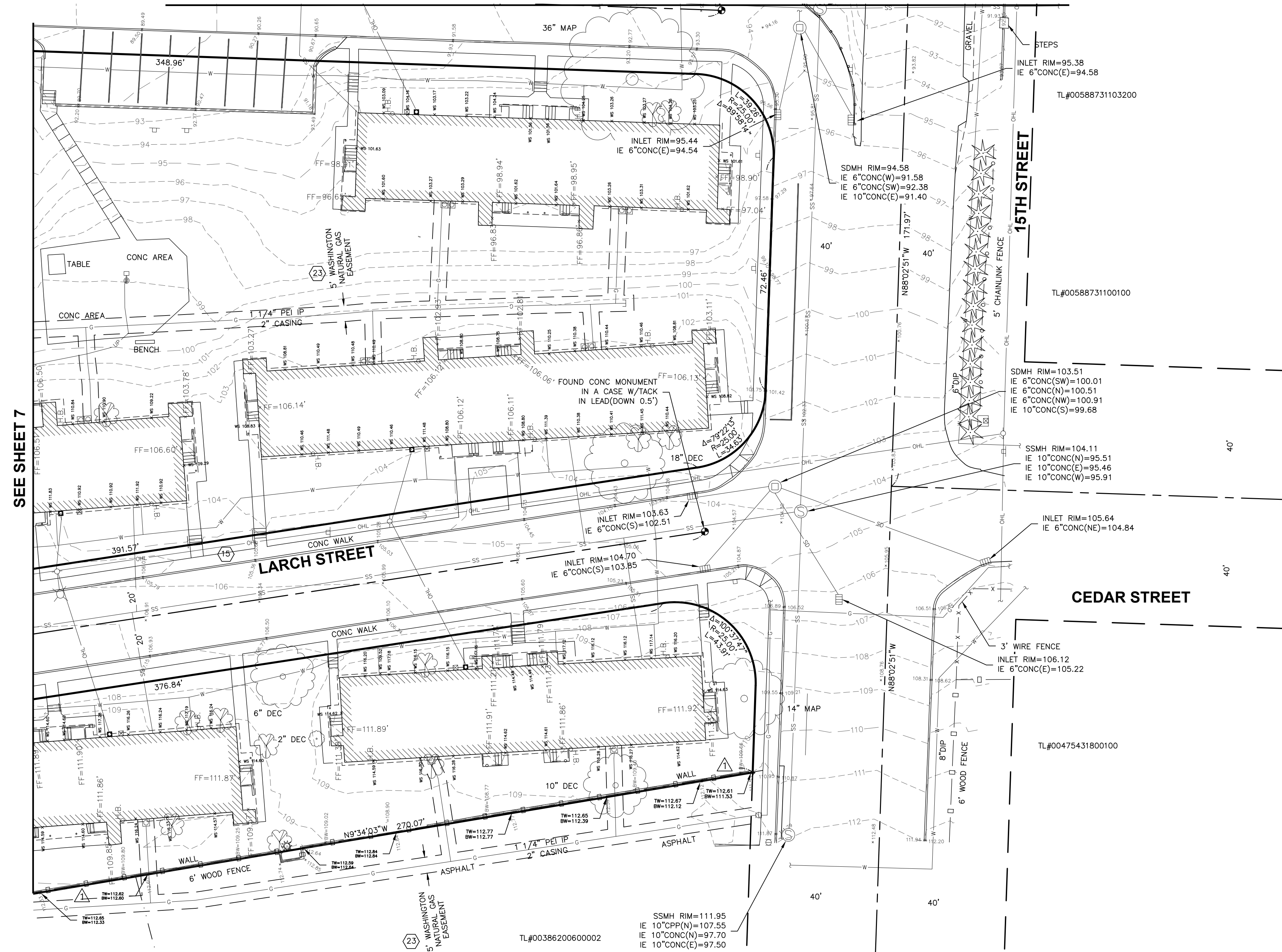
**EVHA-BAKER HEIGHTS
TAX PARCEL #0038620010000**

EVERETT HOUSING AUTHORITY BAKER HEIGHTS



HORIZ 0 10 20 40
Scale In Feet

SEE SHEET 5



LEGEND

- ⊕ WATER VALVE
 - ⊕ HYDRANT
 - ⊕ WATER METER
 - ⊕ IRRIGATION CONTROL VALVE
 - ⊕ H.B. HOSE BIB
 - ⊕ WATER MANHOLE
 - ⊕ MANHOLES (SS/SD)
 - ⊕ CB
 - ⊕ CURB INLET
 - ⊕ POWER/UTILITY POLE
 - ⊕ GUY ANCHOR
 - ⊕ ANCHOR POLE
 - ⊕ POWER TRANSFORMER
 - ⊕ POWER/TELEPHONE VAULT
 - ⊕ POWER METER
 - ⊕ COMMUNICATION BOX
 - ⊕ GAS VALVE
 - ⊕ JUNCTION BOX
 - ⊕ GAS METER
 - ⊕ STREET LIGHT
 - ⊕ LUMINAIRE
 - ⊕ SPOT ELEVATION
 - ⊕ SIGN
 - ⊕ MAILBOX
 - ⊕ ROCKERY
 - ⊕ SIZE & TYPE (CONIFEROUS TREE)
 - ⊕ SIZE & TYPE (DECIDUOUS TREE)
 - ⊕ SHRUB
 - ⊕ STUMP
 - X WS 0.00 WINDOW SILL ELEVATION
 - X FF=0.00 FINISH FLOOR ELEVATION
 - ⊕ CALCULATED POSITION
 - ⊕ CASED MONUMENT
 - ⊕ MAGNETIC NAIL W/ WASHER
 - ⊕ REBAR AND CAP
 - CAS CAST IRON PIPE(PER EVERETT GIS ONLINE DATA)
-
- CENTER LINES
 - PROPERTY LINES
 - RIGHT-OF-WAY LINES
 - LOT LINES
 - DITCH LINE
 - WATER LINE
 - SS SANITARY SEWER LINE
 - SD STORM DRAIN LINE
 - G GAS LINE
 - UP UNDERGROUND POWER LINES
 - COM UNDERGROUND COMMUNICATION LINES
 - OHL OVERHEAD UTILITY LINES
 - WL WETLAND BOUNDARY LINE
 - CHAIN LINK FENCE
 - WIRE FENCE
 - WOOD FENCE
 - EDGE OF VEGETATION/HEDGE LINE

SURVEY NOTES:

PER CHICAGO TITLE INSURANCE COMPANY CERTIFICATE NO. 500089740
DATE: AUGUST 19, 2019 AT 8:00 AM

23 WASHINGTON NATURAL GAS COMPANY
RECORDING NO. 1242949

EASEMENT NOTE:

PER CHICAGO TITLE INSURANCE COMPANY CERTIFICATE NO. 500089740
DATE: AUGUST 19, 2019 AT 8:00 AM

15 PUBLIC UTILITY DISTRICT NO. 1 OF SNOHOMISH COUNTY
AND VERIZON NORTHWEST
REC. NO. 200609140228

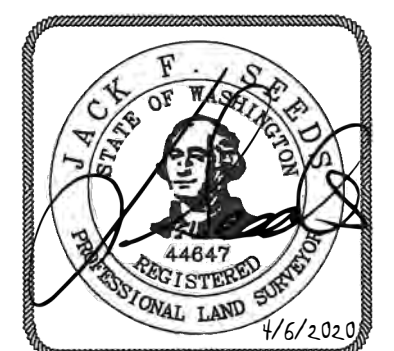
AN EASEMENT 10 FEET IN WIDTH, 5 FEET ON EACH SIDE OF THE CENTERLINE OF THE ELECTRICAL AS ACTUALLY INSTALLED.

UTILITY SERVICE NOTE:

SANITARY SEWER SERVICES ARE BASED ON DATA PROVIDED BY OTHERS AND CITY OF EVERETT ON-LINE GIS DATA.

WATER SERVICE METER IS SHOWN AS ONE MASTER METER.

PORTION OF: NE1/4, SECTION 17, T. 29N., R. 5E., W.M.
PORTION OF: SE1/4, SECTION 17, T. 29N., R. 5E., W.M.



TOPOGRAPHIC SURVEY
FOR
EVERETT HOUSING AUTHORITY

PROJECT NO.
19488
SHEET **6** OF **8**

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SAVE TIME: 4/16/2020 7:09 AM
USER NAME: DAVID BRILEY
PLOT TIME: 4/16/2020 7:09 AM
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CALC	JFS				
CAD	DAB				
PM	JFS				
SYM	ADDITIONAL WALL MAPPING	3/24/24	DAB	JFS	
	REVISION	DATE	BY	APPD	

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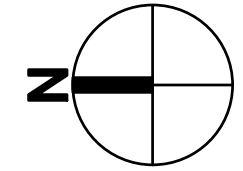
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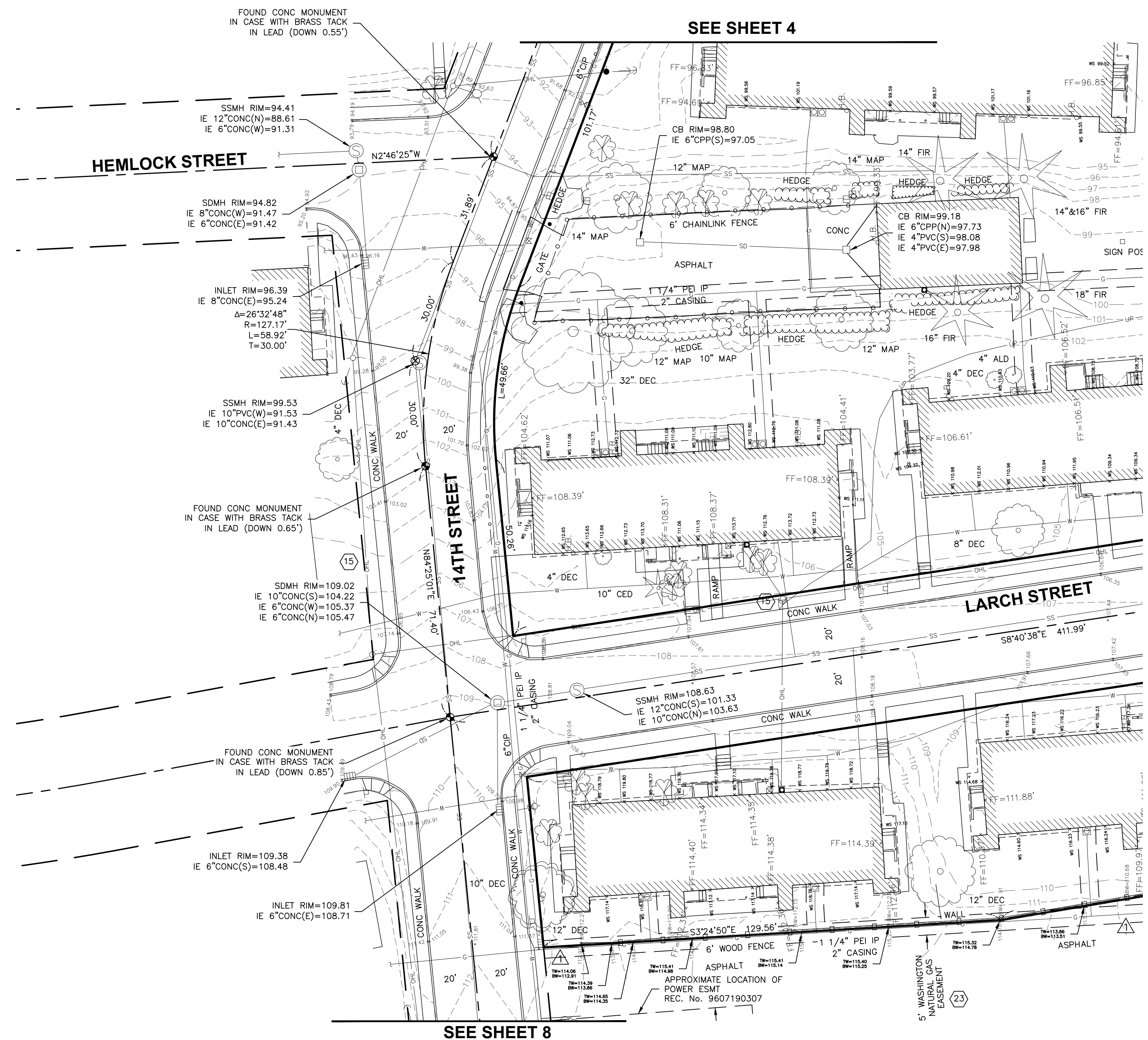
EVHA-BAKER HEIGHTS
TAX PARCEL #0038620010000

DATE: OCTOBER 1, 2019
SCALE: 1" = 20'
SURVEY TEAM: BL/NM/PC/SJF
FIELD BOOK: 754 A,B,C & ELEC.
DWG: V19488-SRV.DWG

EVERETT HOUSING AUTHORITY BAKER HEIGHTS



HORIZ. 0 10 20 40
Scale In Feet



LEGEND

- ⊠ WATER VALVE
 - ⊠ HYDRANT
 - ⊠ WATER METER
 - ⊠ IRRIGATION CONTROL VALVE
 - H.B. HOSE BIB
 - ⊠ WATER MANHOLE
 - ⊠ MANHOLES (SS/SD)
 - ⊠ CB
 - ⊠ CURB INLET
 - ⊠ POWER/UTILITY POLE
 - ⊠ GUY ANCHOR
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 - ⊠ POWER METER
 - ⊠ COMMUNICATION BOX
 - ⊠ GAS VALVE
 - ⊠ JUNCTION BOX
 - ⊠ GAS METER
 - ⊠ STREET LIGHT
 - ⊠ LUMINAIRE
 - ⊠ SPOT ELEVATION
 - ⊠ SIGN
 - ⊠ MAILBOX
 - ⊠ ROCKERY
 - ⊠ SIZE & TYPE (CONIFEROUS TREE)
 - ⊠ SIZE & TYPE (DECIDUOUS TREE)
 - ⊠ SHRUB
 - ⊠ STUMP
 - X WS 0.00 WINDOW SILL ELEVATION
 - X FF=0.00 FINISH FLOOR ELEVATION
 - ⊠ CALCULATED POSITION
 - ⊠ CASIED MONUMENT
 - ⊠ MAGNETIC NAIL W/ WASHER
 - ⊠ REBAR AND CAP
 - CAS CAST IRON PIPE(PER EVERETT GIS ONLINE DATA)
-
- CENTER LINES
 - PROPERTY LINES
 - RIGHT-OF-WAY LINES
 - LOT LINES
 - DITCH LINE
 - WATER LINE
 - SS SANITARY SEWER LINE
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 - OHL OVERHEAD UTILITY LINES
 - WL WETLAND BOUNDARY LINE
 - CHAIN LINK FENCE
 - X WIRE FENCE
 - WOOD FENCE
 - EDGE OF VEGETATION/HEDGE LINE

SURVEY NOTES:

PER CHICAGO TITLE INSURANCE COMPANY CERTIFICATE NO. 500089740
DATE: AUGUST 19, 2019 AT 8:00 AM

23 WASHINGTON NATURAL GAS COMPANY
RECORDING NO. 1242949

EASEMENT NOTE:

PER CHICAGO TITLE INSURANCE COMPANY CERTIFICATE NO. 500089740
DATE: AUGUST 19, 2019 AT 8:00 AM

15 PUBLIC UTILITY DISTRICT NO. 1 OF SNOHOMISH COUNTY
AND VERIZON NORTHWEST
REC. NO. 200609140228

AN EASEMENT 10 FEET IN WIDTH, 5 FEET ON EACH SIDE OF THE CENTERLINE OF THE ELECTRICAL AS ACTUALLY INSTALLED.

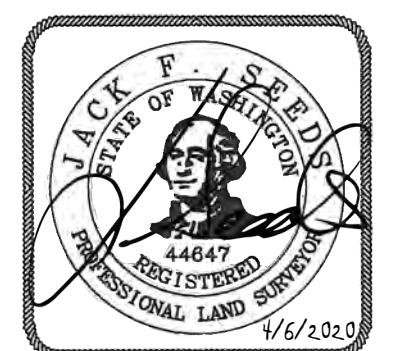
UTILITY SERVICE NOTE:

SANITARY SEWER SERVICES ARE BASED ON DATA PROVIDED BY OTHERS AND CITY OF EVERETT ON-LINE GIS DATA.

WATER SERVICE METER IS SHOWN AS ONE MASTER METER.

PORTION OF: NE1/4, SECTION 17, T. 29N., R. 5E., W.M.
PORTION OF: SE1/4, SECTION 17, T. 29N., R. 5E., W.M.

**TOPOGRAPHIC SURVEY
FOR
EVERETT HOUSING AUTHORITY**



PROJECT NO.
19488
SHEET **7** OF **8**

FILE NAME: P:\19488-EVERETT HOUSING AUTHORITY\CAD SURVEY\CAD\REFS\19488-SRV.DWG
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USER NAME: DAB BRILEY
PLOT FILE: 19488-ENR.DWG 19488-CONTR.DWG

CALC	JFS				
CAD	DAB				
PM	JFS				
SYM	ADDITIONAL WALL MAPPING	3/24/24	DAB	JFS	
	REVISION	DATE	BY	APPD	

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An Engineering Services Company

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p. 425.827.2014 | f. 425.827.5043

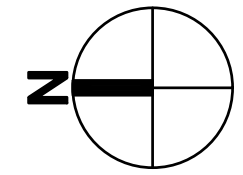
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**EVHA-BAKER HEIGHTS
TAX PARCEL #0038620010000**

DATE: OCTOBER 1, 2019
SCALE: 1" = 20'
SURVEY TEAM: BL/NM/PC/SJF
FIELD BOOK: 754 A,B,C & ELEC.
DWG: V19488-SRV.DWG

DATE: OCTOBER 1, 2019
SCALE: 1" = 20'
SURVEY TEAM: BL/NM/PC/SJF
FIELD BOOK: 754 A,B,C & ELEC.
DWG: V19488-SRV.DWG

EVERETT HOUSING AUTHORITY BAKER HEIGHTS



HORIZ 0 10 20 40
Scale In Feet

LEGEND

- ⊗ WATER VALVE
 - ⊕ HYDRANT
 - ⊞ WATER METER
 - ⊞ IRRIGATION CONTROL VALVE
 - ⊞ H.B. HOSE BIB
 - ⊞ WATER MANHOLE
 - ⊞ MANHOLES (SS/SD)
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 - ⊞ SHRUB
 - ⊞ STUMP
 - X WS=0.00 WINDOW SILL ELEVATION
 - X FF=0.00 FINISH FLOOR ELEVATION
 - ⊞ CALCULATED POSITION
 - ⊞ CASED MONUMENT
 - ⊞ MAGNETIC NAIL W/ WASHER
 - ⊞ REBAR AND CAP
 - ⊞ CAS CAST IRON PIPE (PER EVERETT GIS ONLINE DATA)
-
- CENTER LINES
 - PROPERTY LINES
 - RIGHT-OF-WAY LINES
 - LOT LINES
 - DITCH LINE
 - WATER LINE
 - SS SANITARY SEWER LINE
 - SD STORM DRAIN LINE
 - G GAS LINE
 - UP UNDERGROUND POWER LINES
 - COM UNDERGROUND COMMUNICATION LINES
 - OHL OVERHEAD UTILITY LINES
 - WL WETLAND BOUNDARY LINE
 - CHAIN LINK FENCE
 - WIRE FENCE
 - WOOD FENCE
 - EDGE OF VEGETATION/HEDGE LINE

SURVEY NOTES:

PER CHICAGO TITLE INSURANCE COMPANY CERTIFICATE NO. 500089740
DATE: AUGUST 19, 2019 AT 8:00 AM

- ⊞ PUBLIC UTILITY DISTRICT NO. 1 OF SNOHOMISH COUNTY AND VERIZON NORTHWEST INC. RECORDING NO. 200609140228
- ⊞ WASHINGTON NATURAL GAS COMPANY RECORDING NO. 1242949
- ⊞ PUBLIC UTILITY DISTRICT NO. 1 OF SNOHOMISH COUNTY AND GTE NORTHWEST, INC. RECORDING NO. 9607190307
- ⊞ APPROXIMATE LOCATION, PER PSE MAPS

UTILITY SERVICE NOTE:

SANITARY SEWER SERVICES ARE BASED ON DATA PROVIDED BY OTHERS AND CITY OF EVERETT ON-LINE GIS DATA.

WATER SERVICE METER IS SHOWN AS ONE MASTER METER.

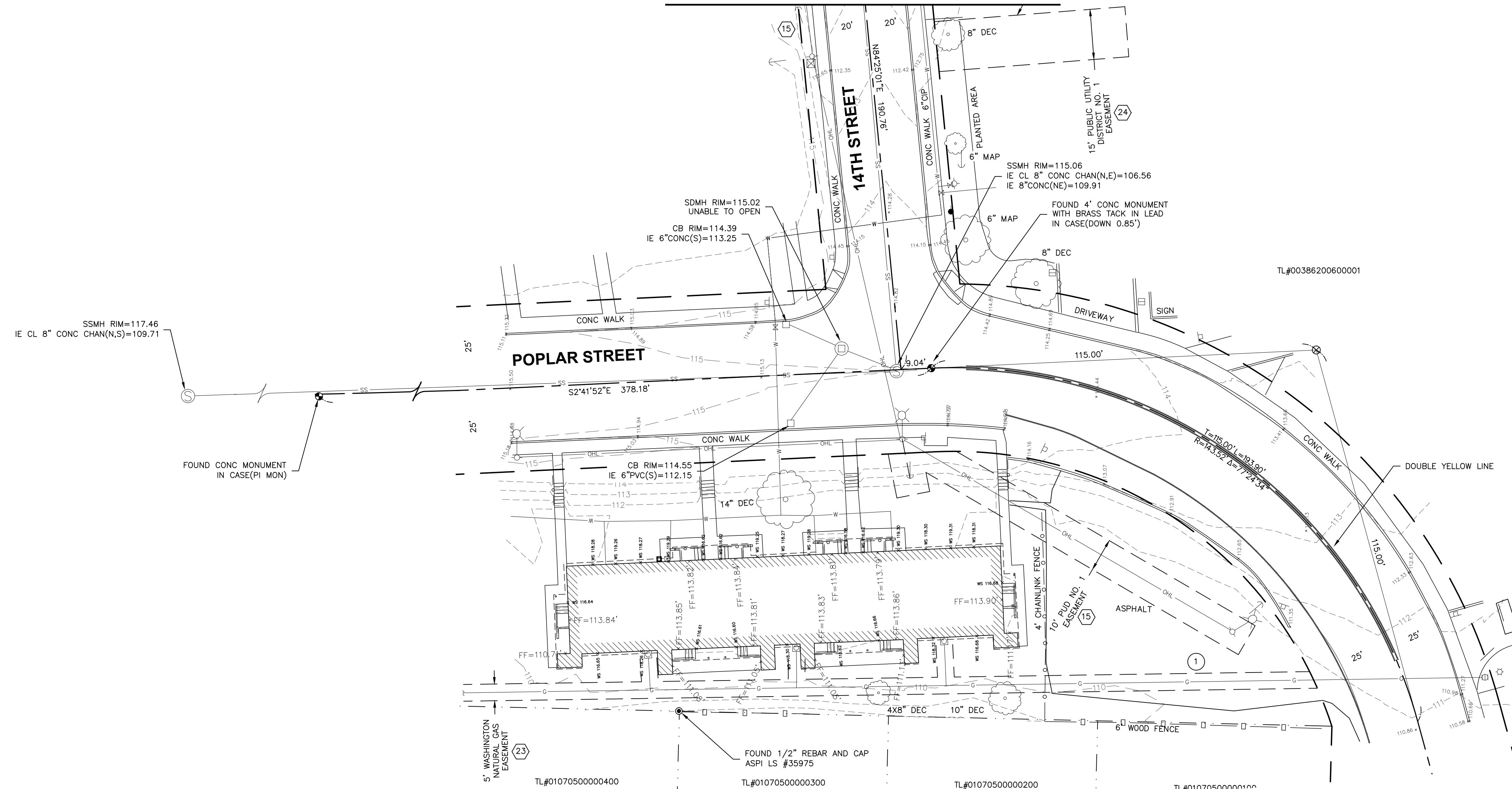
PORTION OF: NE1/4, SECTION 17, T. 29N., R. 5E., W.M.
PORTION OF: SE1/4, SECTION 17, T. 29N., R. 5E., W.M.

**TOPOGRAPHIC SURVEY
FOR
EVERETT HOUSING AUTHORITY**



PROJECT NO.
19488
SHEET **8** OF **8**

SEE SHEET 7



FILE NAME: P:\19488-EVERETT HOUSING AUTHORITY\CAD\SURVEY\CAD\REFS\19488-SRV.DWG
 SAVE TIME: 4/16/2020 7:09 AM
 USER NAME: DANIEL BRILEY
 PLOT TIME: 4/16/2020 7:09 AM
 PLOT FILE: 19488-SRV.dwg, 19488-CONTR.dwg

CALC	JFS								
CAD	DAB								
PM	JFS								
SYM		REVISION	DATE	BY	APPD				

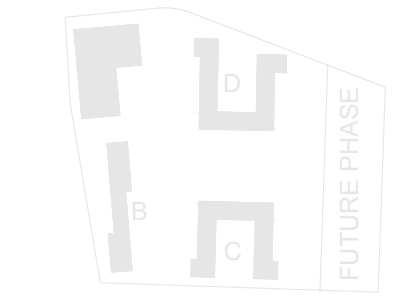


11255 Kirkland Way, Suite 300
Kirkland, WA 98033
p. 425.827.2014 | f. 425.827.5043
Civil | Structural | Planning | Survey
www.paceengrs.com

**EVHA-BAKER HEIGHTS
TAX PARCEL #0038620010000**

DATE	OCTOBER 1, 2019
SCALE	1" = 20'
SURVEY TEAM	BL/NM/PC/SJF
FIELD BOOK	754 A,B,C & ELEC.
DWG:	V19488-SRV.DWG

PROJECT NO.
19488
SHEET **8** OF **8**



06.15.2020

PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:

EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WA 98201

REVISIONS

MARK	DATE	DESCRIPTION

ISSUE INFORMATION

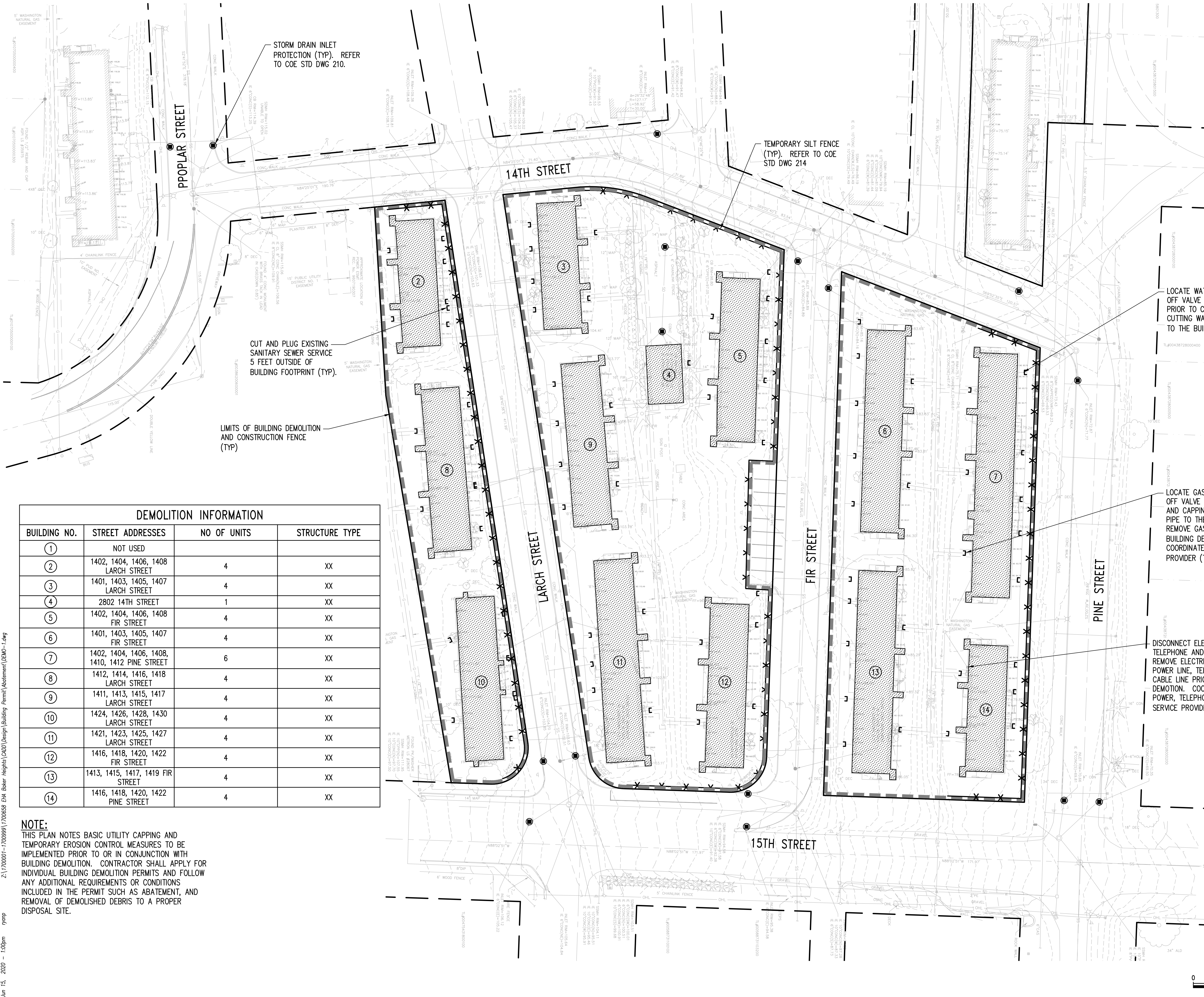
MARK	DATE	DESCRIPTION
C	06/05/2020	BUILDING PERMIT SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **1700658**
GGLO PRINCIPAL IN CHARGE: AGC
GGLO PROJECT MANAGER: LES/SJZ
OWNER APPROVAL: _____

SHEET TITLE
BUILDING DEMOLITION

SHEET NO.

DEMO-1

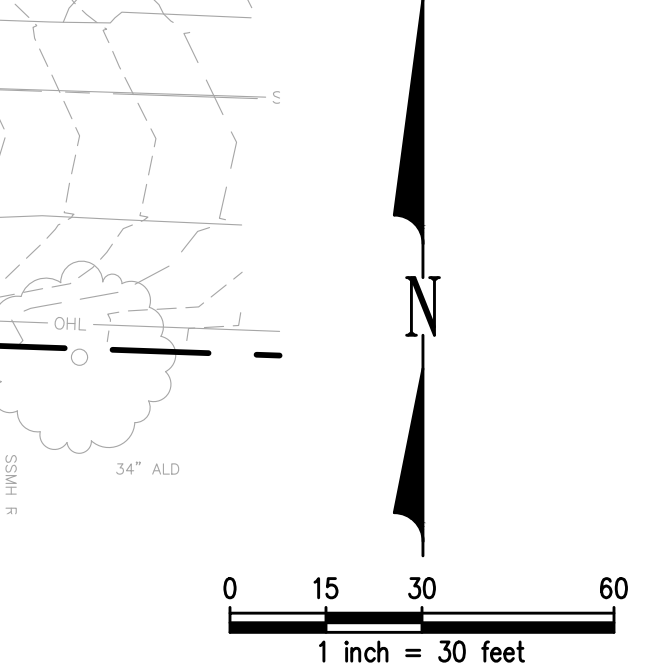


LEGEND

- ✖ ✖ SILT FENCE
- - - LIMITS OF BUILDING DEMOLITION
- ⌓ UTILITY CAP

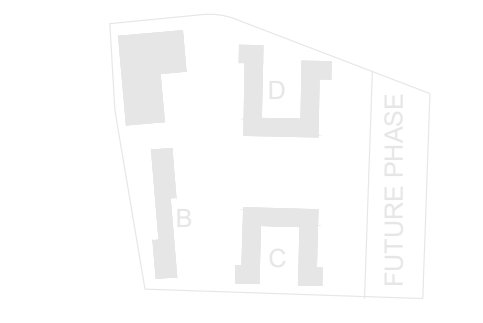
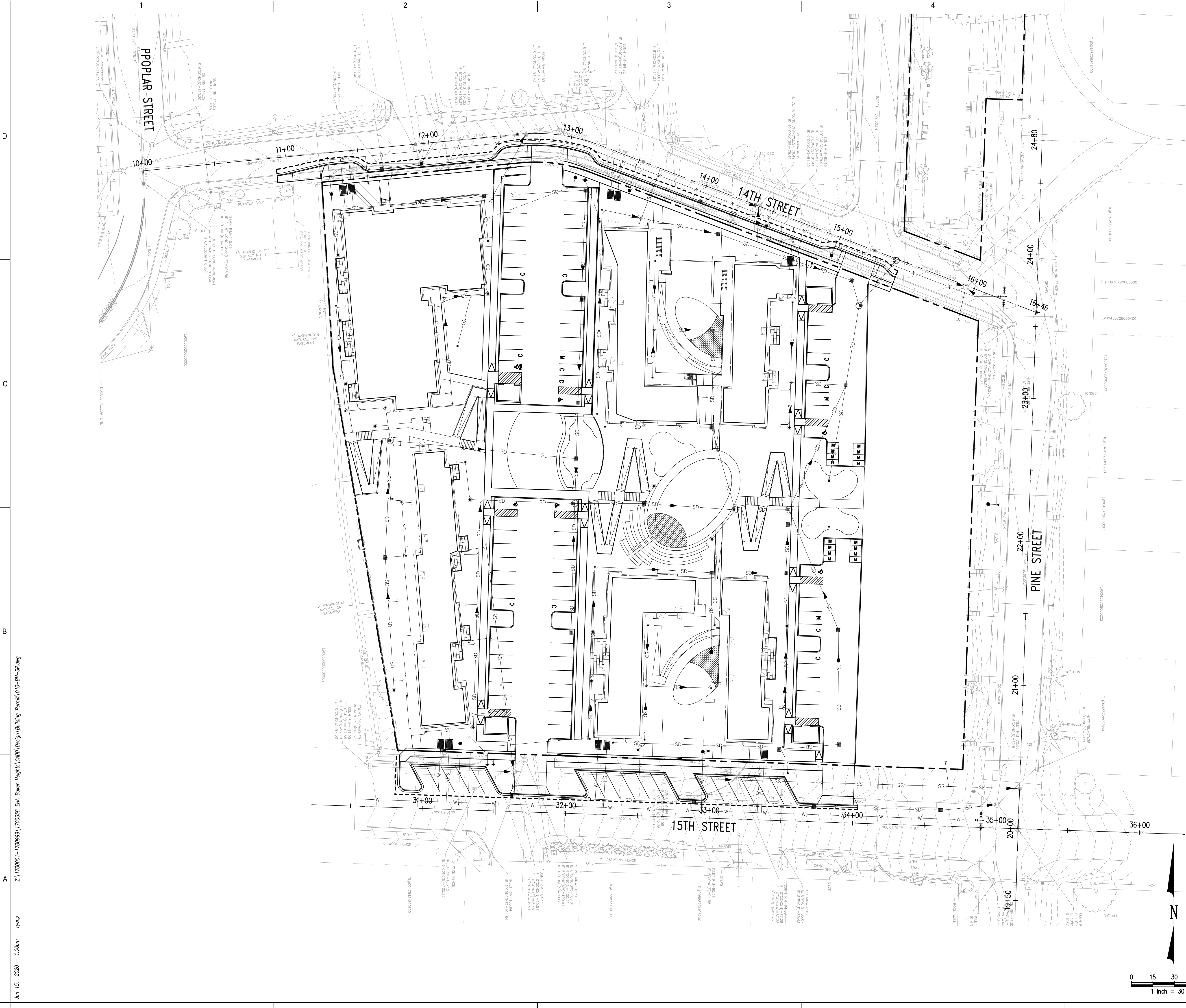
DEMOLITION INFORMATION			
BUILDING NO.	STREET ADDRESSES	NO OF UNITS	STRUCTURE TYPE
1	NOT USED		
2	1402, 1404, 1406, 1408 LARCH STREET	4	XX
3	1401, 1403, 1405, 1407 LARCH STREET	4	XX
4	2802 14TH STREET	1	XX
5	1402, 1404, 1406, 1408 FIR STREET	4	XX
6	1401, 1403, 1405, 1407 FIR STREET	4	XX
7	1402, 1404, 1406, 1408, 1410, 1412 PINE STREET	6	XX
8	1412, 1414, 1416, 1418 LARCH STREET	4	XX
9	1411, 1413, 1415, 1417 LARCH STREET	4	XX
10	1424, 1426, 1428, 1430 LARCH STREET	4	XX
11	1421, 1423, 1425, 1427 LARCH STREET	4	XX
12	1416, 1418, 1420, 1422 FIR STREET	4	XX
13	1413, 1415, 1417, 1419 FIR STREET	4	XX
14	1416, 1418, 1420, 1422 PINE STREET	4	XX

NOTE:
THIS PLAN NOTES BASIC UTILITY CAPPING AND TEMPORARY EROSION CONTROL MEASURES TO BE IMPLEMENTED PRIOR TO OR IN CONJUNCTION WITH BUILDING DEMOLITION. CONTRACTOR SHALL APPLY FOR INDIVIDUAL BUILDING DEMOLITION PERMITS AND FOLLOW ANY ADDITIONAL REQUIREMENTS OR CONDITIONS INCLUDED IN THE PERMIT SUCH AS ABATEMENT, AND REMOVAL OF DEMOLISHED DEBRIS TO A PROPER DISPOSAL SITE.



PUBLIC WORKS/BUILDING PERMIT SUBMITTAL

Jun 15, 2020 - 1:00pm
Z:\1700001-1700999\1700658 EHA Baker Heights CAD\Design Permit\Abatement\DEMO-1.dwg



PROJECT:
EHA BAKER HEIGHTS
 EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WA 98201

MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
C	06/05/2020	BUILDING PERMIT SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **1700658**
GGLO PRINCIPAL IN CHARGE: **AGC**
GGLO PROJECT MANAGER: **LES/SJZ**
OWNER APPROVAL: _____

SHEET TITLE
OVERALL SITE PLAN

SHEET NO.
C-010

PUBLIC WORKS/BUILDING PERMIT SUBMITTAL

Jun 15, 2020 - 1:00pm namp Z:\1700001-1700999\1700658 EHA Baker Heights CAUD\Design\Building Permit\010-BH-SF.dwg

GENERAL PROJECT NOTES:

- 1. ALL WORK SHALL CONFORM TO THE 2018 EDITION OF CITY OF EVERETT DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS. THESE STANDARD PLANS ARE REFERENCED TO IN THESE DESIGN DRAWINGS. A COPY OF THESE DOCUMENTS SHALL BE ON SITE DURING CONSTRUCTION. ANY DISCREPANCIES FOUND BETWEEN CITY STANDARDS AND THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ENGINEERS ATTENTION PRIOR TO PERFORMING THE WORK.
2. A COPY OF THE APPROVED PLAN MUST BE ON SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
3. LOCAL AND EMERGENCY ACCESS SHALL BE MAINTAINED AT ALL TIMES.
4. ALL PERMITS REQUIRED FOR WORK WITHIN THE PUBLIC RIGHT OF WAY (AND WITHIN LIMITS OF WORK) MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
5. PRIOR TO THE START OF CONSTRUCTION WITHIN THE RIGHT OF WAY (AND WITHIN LIMITS OF WORK), THE CONTRACTOR SHALL SCHEDULE AND ATTEND A PRECONSTRUCTION MEETING WITH THE CITY OF EVERETT PUBLIC WORKS DEPARTMENT.
6. THE CONTRACTOR SHALL PROTECT ALL AREAS OUTSIDE THE WORK ZONE AND OUTSIDE THE RIGHT-OF-WAY FROM DISTURBANCE. ALL DISTURBED AREAS SHALL BE FULLY RESTORED TO PROPOSED OR PRE-EXISTING CONDITIONS.
7. ALL DAMAGE TO INFRASTRUCTURE CAUSED BY THE CONSTRUCTION SHALL BE REPAIRED IN KIND OR AS REQUIRED BY THE CITY OF EVERETT INSPECTOR.
8. THE APPROVED PLANS SHOW THE APPROXIMATE AREA OF PAVEMENT RESTORATION BASED ON THE DEPTH OF EXCAVATIONS AND/OR THE AREA OF CURB AND/OR PAVEMENT TO BE REMOVED AND REPLACED. THE ACTUAL LIMITS OF THE PAVEMENT RESTORATION SHALL BE DETERMINED IN THE FIELD WITH THE CITY OF EVERETT INSPECTOR PRIOR TO THE PAVEMENT RESTORATION.
9. HORIZONTAL DATUM: NAD 83/91. VERTICAL DATUM: NAVD 88.
10. SURVEYING AND STAKING OF ALL IMPROVEMENTS IN THE PUBLIC RIGHT OF WAY (AND WITHIN LIMITS OF WORK) SHALL BE COMPLETED PRIOR TO CONSTRUCTION AND COORDINATED WITH CITY INSPECTOR AND PORT REPRESENTATIVE TO VERIFY POSITIVE DRAINAGE IS OBTAINED.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REFERENCING AND REPLACING ALL MONUMENTS THAT MAY BE DISTURBED, DESTROYED OR REMOVED BY THE PROJECT AND SHALL FILE AN APPLICATION FOR PERMIT TO REMOVE OR DESTROY A SURVEY MONUMENT WITH THE WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES, PURSUANT TO RCW 58.24.040(8).
12. THE CONTRACTOR SHALL COORDINATE WITH PORT REPRESENTATIVE FOR ANY SUBMITTAL OF DOCUMENTS IN CONFORMANCE WITH THE STANDARD SPECIFICATIONS PRIOR TO CONSTRUCTION. A MATERIAL SOURCE FORM FOR ALL MATERIALS TO BE PLACED IN THE RIGHT OF WAY (AND WITHIN LIMITS OF WORK) AND MIX DESIGNS FOR ALL ASPHALT, CONCRETE AND AGGREGATES TO BE PLACED MAY REQUIRE SUBMITTAL FOR REVIEW AND APPROVAL PRIOR TO BEGINNING CONSTRUCTION.
13. THE CONTRACTOR SHALL NOTIFY THE EVERETT FIRE DEPARTMENT DISPATCHER AT LEAST TWENTY-FOUR (24) HOURS IN ADVANCE OF ALL WATER SERVICE INTERRUPTIONS, HYDRANT SHUTOFFS, AND STREET CLOSURES OR OTHER ACCESS BLOCKAGE. THE CONTRACTOR SHALL ALSO NOTIFY THE DISPATCHER OF ALL NEW, RELOCATED, OR ELIMINATED HYDRANTS RESULTING FROM THIS WORK.
14. THE CONTRACTOR SHALL LOCATE AND PROTECT ALL CASTINGS AND UTILITIES DURING CONSTRUCTION.
15. THE CONTRACTOR SHALL CONTACT THE UNDERGROUND UTILITIES LOCATOR SERVICE (1-800-424-5555) AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A PRIVATE LOCATOR SERVICE TO LOCATE ALL UTILITIES NOT MARKED BY DIAL-A-DIG WITHOUT ADDITIONAL EXPENSE TO THE EVERETT HOUSING AUTHORITY.
16. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THESE IMPROVEMENTS.
17. THE CONTRACTOR SHALL ADJUST ALL EXISTING MANHOLE RIMS, DRAINAGE STRUCTURE LIDS, VALVE BOXES, AND UTILITY ACCESS STRUCTURES TO FINISH GRADE WITHIN AREAS AFFECTED BY THE PROPOSED IMPROVEMENTS.
18. THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL TESTING AS REQUIRED BY THE STREET INSPECTOR OR THE EVERETT HOUSING AUTHORITY.
19. BACKFILL MATERIAL USED IN PUBLIC RIGHT OF WAY (AND WITHIN LIMITS OF WORK) SHALL MEET CITY OF EVERETT DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AND THE STANDARDS SET FORTH IN THE PROJECT MANUAL.

- 20. INSPECTION AND ACCEPTANCE OF ALL WORK IN THE PUBLIC RIGHT OF WAY (AND WITHIN LIMITS OF WORK) SHALL BE DONE BY REPRESENTATIVES OF THE CITY OF EVERETT AND PORT OF EVERETT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE AND SCHEDULE APPROPRIATE INSPECTIONS ALLOWING FOR PROPER ADVANCE NOTICE. THE STREET INSPECTOR MAY REQUIRE REMOVAL AND RECONSTRUCTION OF ANY ITEMS PLACED IN THE RIGHT OF WAY THAT DO NOT MEET CITY STANDARDS OR THAT WERE CONSTRUCTED WITHOUT APPROPRIATE INSPECTIONS.
21. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY EROSION CONTROL AND SEDIMENTATION COLLECTION FACILITIES TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE SNOHOMISH RIVER. AS CONSTRUCTION PROGRESSES AND UNEXPECTED (SEASONAL) CONDITIONS DICTATE, ADDITIONAL CONTROL FACILITIES MAY BE REQUIRED. DURING THE COURSE OF CONSTRUCTION, IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY THE CONTRACTOR'S ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES THAT MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES.
22. THE CONTRACTOR SHALL KEEP ALL PAVED SURFACES IN THE RIGHT OF WAY CLEAN BY SWEEPING.
23. CONTRACTOR'S TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF EVERETT TRAFFIC CONTROL MANUAL FOR IN-STREET WORK. AN APPROVED TRAFFIC CONTROL PLAN WILL BE REQUIRED FOR ALL ARTERIAL STREETS PRIOR TO BEGINNING CONSTRUCTION.
24. ALL WORK PERFORMED BY ANY CITY OF EVERETT DEPARTMENTS AND OTHER UTILITY PURVEYORS TO REMOVE OR RELOCATE EXISTING UTILITIES SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.
25. CARE SHALL BE EXERCISED WHEN EXCAVATING NEAR EXISTING CHARGED WATER MAINS.

GENERAL CONSTRUCTION NOTES:

- 1. EXISTING WATER SERVICES SHOWN ARE BASED ON CITY/PORT RECORDS AND ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY PRIOR TO CONSTRUCTION.
2. APPROXIMATE LOCATIONS OF EXISTING UTILITIES HAVE BEEN OBTAINED FROM AVAILABLE RECORDS AND ARE SHOWN FOR CONVENIENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF LOCATIONS AND TO AVOID DAMAGE TO ANY ADDITIONAL UTILITIES NOT SHOWN. IF CONFLICTS WITH EXISTING UTILITIES ARISE DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY CHANGES REQUIRED SHALL BE APPROVED BY THE EVERETT HOUSING AUTHORITY AND THE CITY PRIOR TO COMMENCEMENT OF RELATED CONSTRUCTION ON THE PROJECT.
3. CONTRACTOR SHALL NOTE INVERT ELEVATIONS ON EXISTING AND PROPOSED MANHOLES. NOTIFY ENGINEER IF ELEVATIONS DIFFER FROM PLANS PRIOR TO ORDERING MANHOLES.
4. DO NOT ALLOW SEDIMENT LADEN WATERS TO ENTER SNOHOMISH RIVER. AT A MINIMUM PROVIDE CB PROTECTION IMMEDIATELY DOWNSTREAM OF PROJECT. PROVIDE ADDITIONAL EROSION AND SEDIMENT CONTROL AS DIRECTED BY PORT REPRESENTATIVE.
5. DO NOT ALLOW FLOW OF STORMWATER INTO THE EXCAVATION. USE TEMPORARY BYPASS PIPING AND PUMPS IF NEEDED TO INTERCEPT FLOWS UPSTREAM OF THE WORK AREA AND DISCHARGE BACK TO THE PUBLIC DRAINAGE SYSTEM.
6. ALL SAWCUT PAVEMENT TO BE RESTORED AT THE LIMITS INDICATED ON THE DRAWINGS.
7. INSTALLATION OF RELOCATED SIGN POSTS SHALL BE PER CITY OF EVERETT STANDARD DETAILS NO. 715 AND NO. 716.
8. CONTRACTOR SHALL FIELD VERIFY EXISTING PIPE MATERIAL AND OUTER DIAMETER WHERE CONNECTING TO EXISTING PIPE PRIOR TO ORDERING COUPLINGS.

DEMOLITION AND CLEARING NOTES

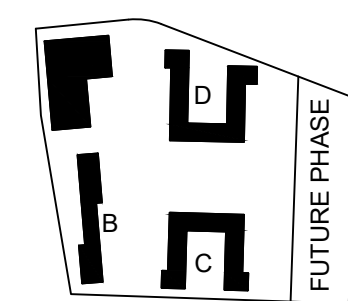
- 1. REFER TO DEMOLITION PLAN FOR DEMOLITION AND CLEARING NOTES..

TESC NOTES

- 1. REFER TO TESC PLAN FOR TESC NOTES.



1301 First Avenue, Suite 301
Seattle, WA 98101
http://www.gglo.com



PROJECT:
EHA BAKER HEIGHTS



PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WA 98201

Table with columns: MARK, DATE, DESCRIPTION. Row: REVISIONS

Table with columns: MARK, DATE, DESCRIPTION. Row: 06/05/2020 BUILDING PERMIT SUBMITTAL

Table with columns: MARK, DATE, DESCRIPTION. Row: 01/07/2020 SCHEMATIC DESIGN

ISSUE INFORMATION
PROJECT NO.: 1700658
GGLO PRINCIPAL IN CHARGE: AGC
GGLO PROJECT MANAGER: LES/SJZ
OWNER APPROVAL:

SHEET TITLE
NOTES

SHEET NO.
C-011

PUBLIC WORKS/BUILDING PERMIT SUBMITTAL

z:\1700001-1700999\1700658 EHA Baker Heights (CAUD)\Design\Building Permit\01-BH-NOTES.dwg
Jun 15, 2020 - 1:00pm

GENERAL SEWER AND STORM DRAIN NOTES:

- ALL WORK AND MATERIALS SHALL CONFORM TO THE CITY OF EVERETT (CITY) STANDARDS AND WSDOT/APWA STANDARD SPECIFICATIONS.
- CONSTRUCTION OF ALL SEWER MAINS, SIDE SEWERS (LATERALS) AND APPURTENANCES SHALL BE IN COMPLIANCE WITH ALL ORDINANCES AND CURRENT STANDARDS OF CITY OF EVERETT.
- ALL REQUESTS FOR INSPECTIONS AND FOR WITNESSING TESTS SHALL BE SCHEDULED WITH THE ENGINEER 72 HOURS IN ADVANCE. FAILURE TO GIVE ADEQUATE ADVANCE NOTICE MAY RESULT IN DELAYS TO THE CONTRACTOR FOR REQUIRED INSPECTIONS.
- SAWCUT OR TRENCH WHEEL CUT PAVEMENT PRIOR TO DIGGING.
- ALL MANHOLES OVER 3 FEET IN HEIGHT SHALL BE PROVIDED WITH A LADDER OR STEPS PER CITY OF EVERETT STANDARD PLAN NO. 608.
- SUBMIT SHOP DRAWINGS FOR ALL NEW MANHOLES TO THE ENGINEER FOR APPROVAL. NO MANHOLE SHALL BE MANUFACTURED PRIOR TO APPROVAL OF SHOP DRAWINGS.
- ALL PIPES SHALL BE CLEARLY MARKED WITH TYPE, CLASS AND THICKNESS, AS APPLICABLE. LETTERING SHALL BE LEGIBLE AND PERMANENT UNDER NORMAL CONDITIONS OF HANDLING AND STORAGE.
- UNLESS AUTHORIZED BY THE ENGINEER, NO PART OF THE SANITARY SEWER SYSTEM SHALL BE COVERED, CONCEALED OR PUT INTO USE UNTIL IT HAS BEEN TESTED, INSPECTED, AND APPROVED BY THE CITY.
- STAKE ALL SEWER MAIN EXTENSIONS WITHIN THE PUBLIC RIGHT-OF-WAY OR IN EASEMENT FOR LINE AND GRADE PRIOR TO STARTING CONSTRUCTION.
- CLEAN AND FLUSH ALL SEWER LINES WITH CLEAN WATER PRIOR TO TESTING.
- RECONNECT ALL EXISTING AND ACTIVE SIDE SEWERS TO NEW MAINS WHETHER SHOWN OR NOT IN DRAWINGS. SIDE SEWER LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE AND SHALL BE SUBJECT TO RELOCATION IN THE FIELD. INSTALL TEE OR WYE BRANCH TO SEWER MAIN LINE AT LOCATION DESIGNATED OR APPROVED BY THE ENGINEER. ALL SIDE SEWERS MAY NOT BE AS SHOWN ON THE PLANS.
- SOME EXISTING DRY SIDE SEWERS AND CAPPED TEES MAY BE ENCOUNTERED ON THIS PROJECT. VERIFY WITH ENGINEER IF REPLACEMENT SIDE SEWER IS REQUIRED.
- MINIMUM SIZE FOR SIDE SEWERS WITHIN EASEMENT OR RIGHT-OF-WAY SHALL BE 6 INCHES IN DIAMETER, UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE NOTED, MINIMUM SLOPE FOR SIDE SEWERS AND STORM DRAIN CONNECTIONS SHALL BE 2%.
- ALL SIDE SEWERS SHALL EXTEND TO THE PROPERTY LINE OR AS SHOWN ON THE PLANS AND SHALL HAVE MINIMUM COVER OF 6 FEET.
- AFTER BACKFILL ALL SIDE SEWERS AND STORM DRAIN CONNECTIONS SHALL BE TESTED IN ACCORDANCE WITH WSDOT STANDARD SPECIFICATIONS 7-17.3(2)F. SIDE SEWERS AND STORM DRAIN CONNECTIONS THAT ARE RECONSTRUCTED OR REPAIRED TO A LENGTH OF 10 FEET OR MORE SHALL BE TESTED FOR WATERTIGHTNESS SIMULTANEOUSLY WITH THE MAIN LINE IN ACCORDANCE WITH WSDOT STANDARD SPECIFICATIONS 7-17.3(2)F. TESTING OF NEWLY RECONSTRUCTED SECTIONS OF SIDE SEWERS CONSISTING OF A SINGLE LENGTH OF PIPE WILL NOT BE REQUIRED. TESTING SHALL BE PERFORMED IN THE PRESENCE OF THE CITY INSPECTOR AND THE PORT REPRESENTATIVE.
- TEMPORARY BYPASS PLANS FOR ALL SANITARY SEWER AND STORM DRAIN SYSTEM SHALL BE SUBMITTED TO THE PORT FOR APPROVAL.
- TEMPORARY BYPASS SHALL BE INSTALLED AND FULLY OPERATIONAL PRIOR TO REMOVAL OF ANY SANITARY SEWER MAINS OR MANHOLES.
- STRUCTURAL FILL OR CSBC OR GB WILL BE REQUIRED FOR BACKFILL AROUND ALL NEW MANHOLES.
- CONTRACTOR SHALL VERIFY INVERT ELEVATIONS ON EXISTING AND PROPOSED MANHOLES. NOTIFY THE ENGINEER IF ELEVATIONS DIFFER PRIOR TO ORDERING MANHOLES AND PRIOR TO BEGINNING ANY PIPE INSTALLATION.
- MAINTAIN ALL SERVICES UNTIL NEW MAIN IS ACTIVATED. CONTRACTOR SHALL COORDINATE WITH THE PORT, THE CITY AND PROPERTY OWNER FOR SERVICE SHUT DOWN. COORDINATE ABANDONING EXISTING SIDE SEWERS WITH CONNECTION OF SIDE SEWERS TO NEW SEWER MAIN SO THAT CONTINUOUS SEWER SERVICE IS MAINTAINED. FIELD VERIFY SIDE SEWER VERTICAL AND HORIZONTAL ALIGNMENTS PRIOR TO INSTALLATION. NOTIFY THE ENGINEER OF DISCREPANCIES.

- PROTECT ALL INSTALLED PIPES AND STRUCTURES WITH BACKFILL, STEEL PLATES OR OTHER ADEQUATE PROTECTION FROM CONSTRUCTION AND TRAFFIC LOADS PRIOR TO FINAL GRADING AND PAVING.
- PROTECT ALL EXISTING UTILITIES TO REMAIN.
- DO NOT ALLOW FLOW OF STORMWATER OR RAW SEWAGE TO ENTER THE TRENCH OR EXCAVATION PIT.
- AT THE END OF EACH WORKDAY AND IN WORK LOCATIONS WHERE THE CONTRACTOR IS NOT PRESENT, ALL OPEN EXCAVATIONS, TRENCHES OR MANHOLE STRUCTURES SHALL BE COVERED WITH STEEL PLATES OR PORTABLE FENCE PANELS. IN ADDITION, CONSTRUCTION SAFETY FENCE (CHAIN LINK) SHALL BE ERECTED TO SURROUND THE WORK AREA.
- POTABLE WATER LINES SHALL MAINTAIN A MINIMUM VERTICAL CLEARANCE OF 18 INCHES FROM SEWER. SEWER SHALL MAINTAIN A MINIMUM VERTICAL CLEARANCE OF 6 INCHES FROM ALL OTHER UTILITIES. CLEARANCE IS DEFINED AS OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE/CONDUIT.
- SEWER SHALL MAINTAIN A MINIMUM LATERAL CLEARANCE AS FOLLOWS: 10 FEET FROM POTABLE WATER MAIN, 3 FEET FROM ALL CONDUITS, AND 4 FEET FROM ALL NATURAL GAS LINES.

GENERAL WATER NOTES:

- WATER SERVICE UTILITY INFORMATION IS APPROXIMATE (NOT SURVEYED) AND IS BASED ON BEST AVAILABLE DATA.
- POTHOLE ALL EXISTING UTILITIES TO VERIFY SIZE, ELEVATION, AND LOCATION. POTHOLING SHALL BE AT A MINIMUM 100 FEET AHEAD OF PIPE INSTALLATION. IF A CONFLICT IS ENCOUNTERED, DEFLECT PIPE TO PROVIDE CLEARANCE BETWEEN NEW AND EXISTING UTILITIES AS APPROVED BY THE ENGINEER.
- NO CONNECTION TO THE EXISTING MAINS WILL BE ALLOWED EXCEPT BY MEANS OF AN APPROVED BACKFLOW PREVENTION DEVICE PRIOR TO SATISFACTORY FLUSHING, TESTING, DISINFECTION, AND RECEIPT OF SATISFACTORY BACTERIOLOGICAL TEST RESULTS.
- CONNECTIONS TO AND TAPS ON EXISTING MAINS WILL BE MADE BY THE PUBLIC WORKS DEPARTMENT AT THE DEVELOPER'S EXPENSE. THE PUBLIC WORKS DEPARTMENT SHALL BE GIVEN AT LEAST 5 BUSINESS DAYS NOTICE FOR EACH CONNECTION. THE PUBLIC WORKS DEPARTMENT SHALL THEREAFTER DETERMINE THE DATE AND TIME AT WHICH THE CONNECTION SHALL BE MADE.
- ALL WORK AND MATERIALS MUST CONFORM TO CITY OF EVERETT STANDARDS.
- A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE CITY AND THE PORT PRIOR TO THE START OF CONSTRUCTION. THE CITY OF EVERETT PUBLIC WORKS CONSTRUCTION DIVISION MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE DEVELOPER OR THE DEVELOPER'S AUTHORIZED AGENT SHALL NOTIFY THE PUBLIC WORKS DEPARTMENT OF A PERSON WHO CAN BE CONTACTED REGARDING PROBLEMS DURING CONSTRUCTION ON A 24 HOUR BASIS.
- MAINTAIN A MINIMUM OF 10 FEET HORIZONTAL AND 18 INCH VERTICAL SEPARATION BETWEEN POTABLE AND NON-POTABLE CONVEYANCE SYSTEMS.
- ALL CITY OF EVERETT VALVES SHALL BE OPERATED BY PUBLIC WORKS DEPARTMENT PERSONNEL ONLY. ALL VALVES, NEW AND EXISTING, SHALL BE ACCESSIBLE AT ALL TIMES.
- CONTRACTOR TO PROVIDE ALL NECESSARY PAVEMENT REMOVAL, EXCAVATION, SHORING, DEWATERING, PIPE & FITTINGS, PIPE ALIGNMENT AND PIPE SUPPORT REQUIRED FOR PIPE HOOK-UP TO THE EXISTING WATER MAIN. VERIFY EACH CONNECTION BY POTHOLE AND FIELD VERIFY THAT ALL CONNECTIONS ARE CORRECT. ALL CORRECT FITTINGS AND CONNECTIONS MUST BE ON SITE AND VERIFIED PRIOR TO SCHEDULING CITY CREWS. CONNECTIONS TO BE MADE PER SECTION 7-09 OF THE SPECIAL PROVISIONS AND STANDARD SPECIFICATIONS.
- ABANDON EXISTING WATER MAINS IN PLACE, EXCEPT WHERE EXISTING MAINS CONFLICT WITH NEW WORK. ABANDONMENT OF WATER MAINS SHALL BE PER COE SPECIFICATIONS.
- NOTIFY FIRE DEPARTMENT 48 HOURS IN ADVANCE OF TAKING OUT OF SERVICE ANY FIRE HYDRANT, SPRINKLER SUPPLY, OR OTHER FIRE PROTECTION WATER EQUIPMENT.
- ALL VALVES BOXES AND EXTENSIONS SHALL BE ADJUSTED TO FINISH GRADE JUST PRIOR TO FINAL PAVING, SEE COE STANDARD DRAWING 504.
- FOR DRAWING CLARITY SOME CONCRETE THRUST BLOCKING MAY NOT BE SHOWN. THRUST BLOCKS AND JOINT RESTRAINT SHALL BE REQUIRED WHERE JOINTS ARE NOT RESTRAINED BY FUSING OR FLANGES. ALL JOINTS FOR FIRE HYDRANTS ASSEMBLES (INCLUDING TEE) SHALL BE RESTRAINED.
- FLUSHING AND DISINFECTION OF WATER MAINS SHALL BE IN ACCORDANCE WITH SPECIAL PROVISIONS 7-09.3(24).
- ALL WORK ON WATER SERVICES AND METERS SHALL BE DONE IN ACCORDANCE WITH SECTION 7-15 OF THE SPECIAL PROVISIONS AND THE CITY OF EVERETT STANDARD DRAWINGS.
- INSTALL NEW WATER MAINS SO THAT 3 FEET MINIMUM OF FINAL COVER IS PROVIDED, EXCEPT IN THOSE LOCATIONS WHERE EXISTING UTILITIES TO REMAIN ARE ENCOUNTERED, WHERE NEW MAIN CONFLICTS WITH SANITARY AND STORM PIPING, OR AT NEW TELEPHONE SYSTEM STRUCTURES. MAKE GRADE ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES AS APPROVED BY THE ENGINEER.
- SAFETY SYSTEMS FOR TRENCHES AND ALL OTHER EXCAVATIONS SHALL CONFORM TO LAWS AND REGULATIONS PER WA. STATE RCW, WAC AND OSHA.
- WATER SERVICE TO ALL LOTS SHALL BE MAINTAINED THROUGHOUT THE PROJECT AT ALL TIMES.

STORM DRAINAGE NOTES (COE):

- NO PART OF THE DRAINAGE SYSTEM SHALL BE COVERED, CONCEALED, OR PUT INTO USE UNTIL IT HAS BEEN INSPECTED, TESTED, AND ACCEPTED BY THE CITY OF EVERETT.
- ALL WORK AND MATERIAL SHALL CONFORM TO THE CITY OF EVERETT DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AND THE WSDOT/APWA STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION (CURRENT EDITION).
- APPROXIMATE LOCATIONS OF EXISTING UTILITIES HAVE BEEN OBTAINED FROM AVAILABLE RECORDS AND ARE SHOWN FROM CONVENIENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF LOCATIONS AND TO AVOID DAMAGE TO ANY ADDITIONAL UTILITIES SHOWN. IF CONFLICTS WITH EXISTING UTILITIES ARISE DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE PUBLIC WORKS INSPECTOR AND ANY CHANGES REQUIRED SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO COMMENCEMENT OF RELATED CONSTRUCTION ON THE PROJECT.
- ALL STORM SYSTEMS WITHIN THE PUBLIC RIGHT-OF-WAY OR IN EASEMENTS MUST BE STAKED BY SURVEY FOR LINE AND GRADE PRIOR TO STARTING CONSTRUCTION.
- ALL CATCH BASIN GRATES MUST BE STENCILED OR STAMPED "DUMP NO WASTE, DRAINS TO STREAM, LAKE, RIVER, PUGET SOUND, OR WETLAND." CHOOSE APPROPRIATE FEATURE FOR THE PROJECT

D

C

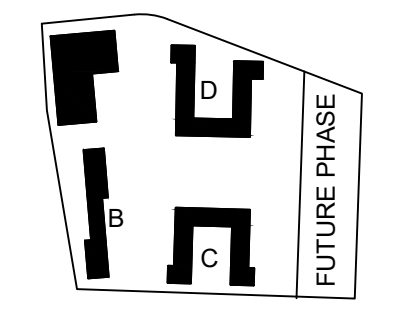
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Jun 15, 2020 - 1:00pm nmp



1301 First Avenue, Suite 301
Seattle, WA 98101
http://www.gglo.com



PROJECT:
EHA BAKER HEIGHTS

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201
OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WA 98201

MARK	DATE	DESCRIPTION
REVISIONS		

C	06/05/2020	BUILDING PERMIT SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **1700658**
GGLO PRINCIPAL IN CHARGE: **AGC**
GGLO PROJECT MANAGER: **LES/SJZ**
OWNER APPROVAL: _____

SHEET TITLE

NOTES

SHEET NO.

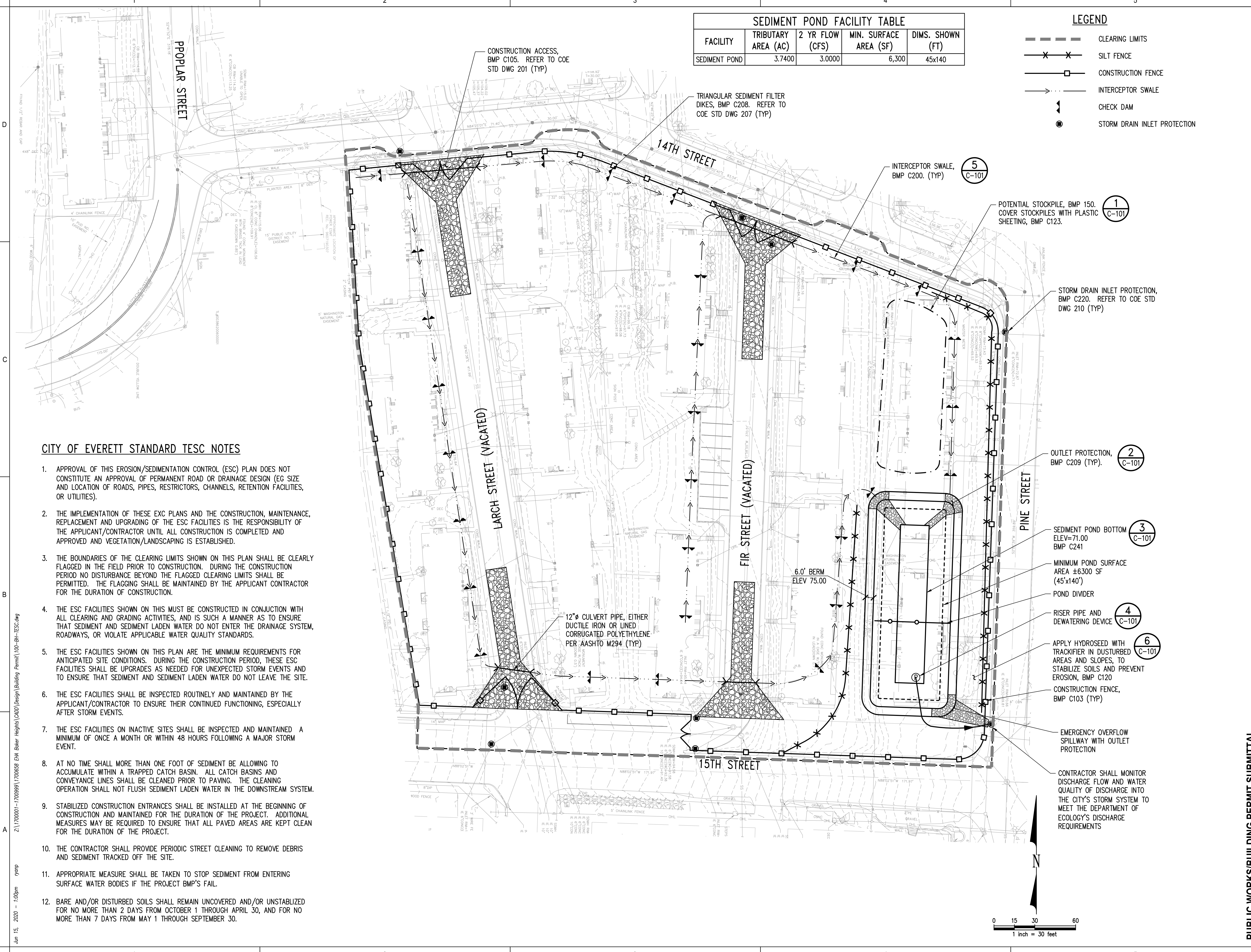
C-012

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PUBLIC WORKS/BUILDING PERMIT SUBMITTAL

SEDIMENT POND FACILITY TABLE				
FACILITY	TRIBUTARY AREA (AC)	2 YR FLOW (CFS)	MIN. SURFACE AREA (SF)	DIMS. SHOWN (FT)
SEDIMENT POND	3.7400	3.0000	6,300	45x140

- LEGEND**
- CLEARING LIMITS
 - X--- SILT FENCE
 - CONSTRUCTION FENCE
 - >--- INTERCEPTOR SWALE
 - ↓ CHECK DAM
 - STORM DRAIN INLET PROTECTION



CITY OF EVERETT STANDARD TESC NOTES

1. APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (EG SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, OR UTILITIES).
2. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADING OF THE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
3. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE APPLICANT CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
4. THE ESC FACILITIES SHOWN ON THIS MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER QUALITY STANDARDS.
5. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADES AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT LEAVE THE SITE.
6. THE ESC FACILITIES SHALL BE INSPECTED ROUTINELY AND MAINTAINED BY THE APPLICANT/CONTRACTOR TO ENSURE THEIR CONTINUED FUNCTIONING, ESPECIALLY AFTER STORM EVENTS.
7. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 48 HOURS FOLLOWING A MAJOR STORM EVENT.
8. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWING TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER IN THE DOWNSTREAM SYSTEM.
9. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
10. THE CONTRACTOR SHALL PROVIDE PERIODIC STREET CLEANING TO REMOVE DEBRIS AND SEDIMENT TRACKED OFF THE SITE.
11. APPROPRIATE MEASURE SHALL BE TAKEN TO STOP SEDIMENT FROM ENTERING SURFACE WATER BODIES IF THE PROJECT BMP'S FAIL.
12. BARE AND/OR DISTURBED SOILS SHALL REMAIN UNCOVERED AND/OR UNSTABILIZED FOR NO MORE THAN 2 DAYS FROM OCTOBER 1 THROUGH APRIL 30, AND FOR NO MORE THAN 7 DAYS FROM MAY 1 THROUGH SEPTEMBER 30.

GGLO DESIGN
 1301 First Avenue, Suite 301
 Seattle, WA 98101
<http://www.gglo.com>



PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
 BUILDING A: 2710 14th STREET
 BUILDING B: 2715 15th STREET
 BUILDING C: 2815 15th STREET
 BUILDING D: 2810 14th STREET
 EVERETT, WA 98201

OWNER:
 EVERETT HOUSING AUTHORITY
 3107 COLBY AVENUE
 EVERETT, WA 98201

MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
C	06/05/2020	BUILDING PERMIT SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **1700658**
 GGLO PRINCIPAL IN CHARGE: AGC
 GGLO PROJECT MANAGER: LES/SJZ
 OWNER APPROVAL:

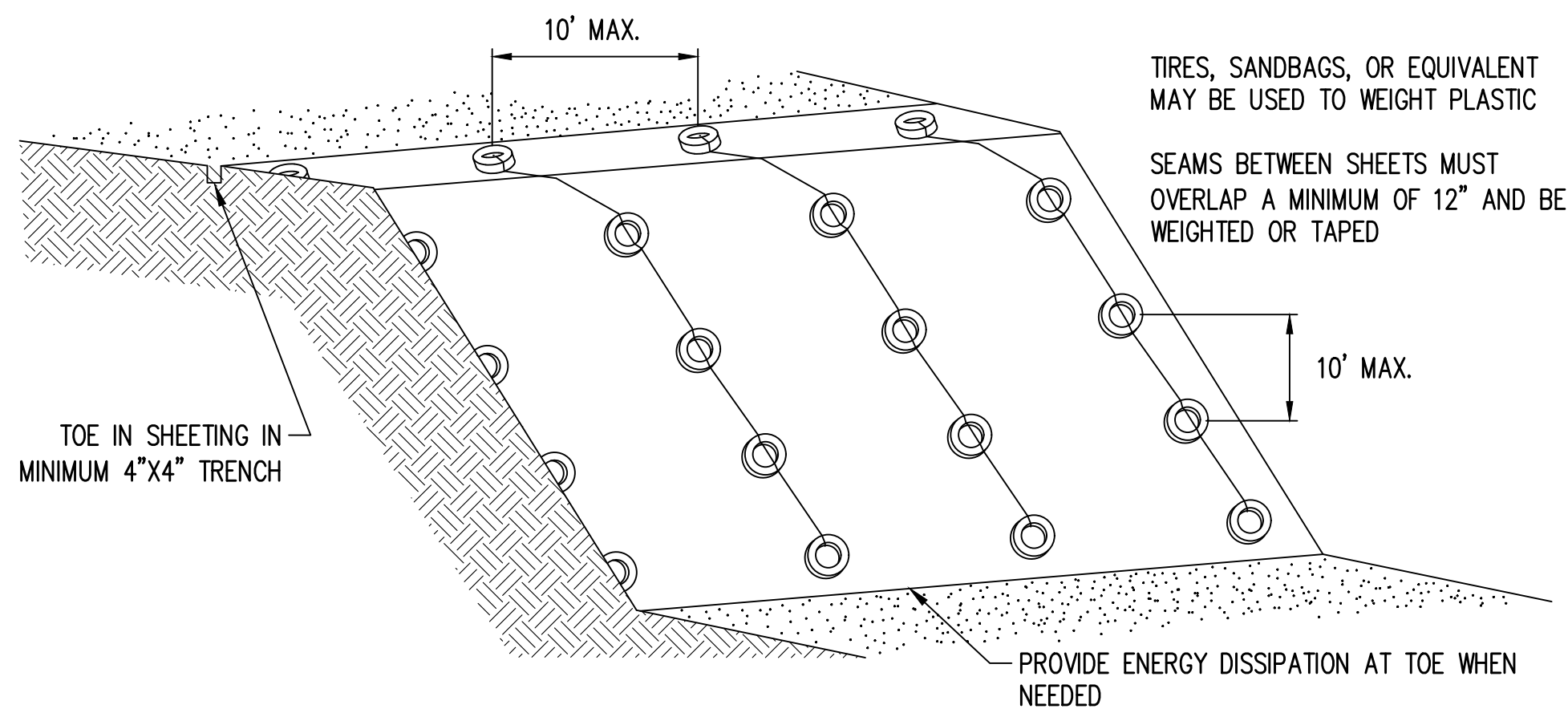
SHEET TITLE:
TESC PLAN

SHEET NO.:
C-100

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 ORIGINAL SHEET SIZE IS 34"X56"

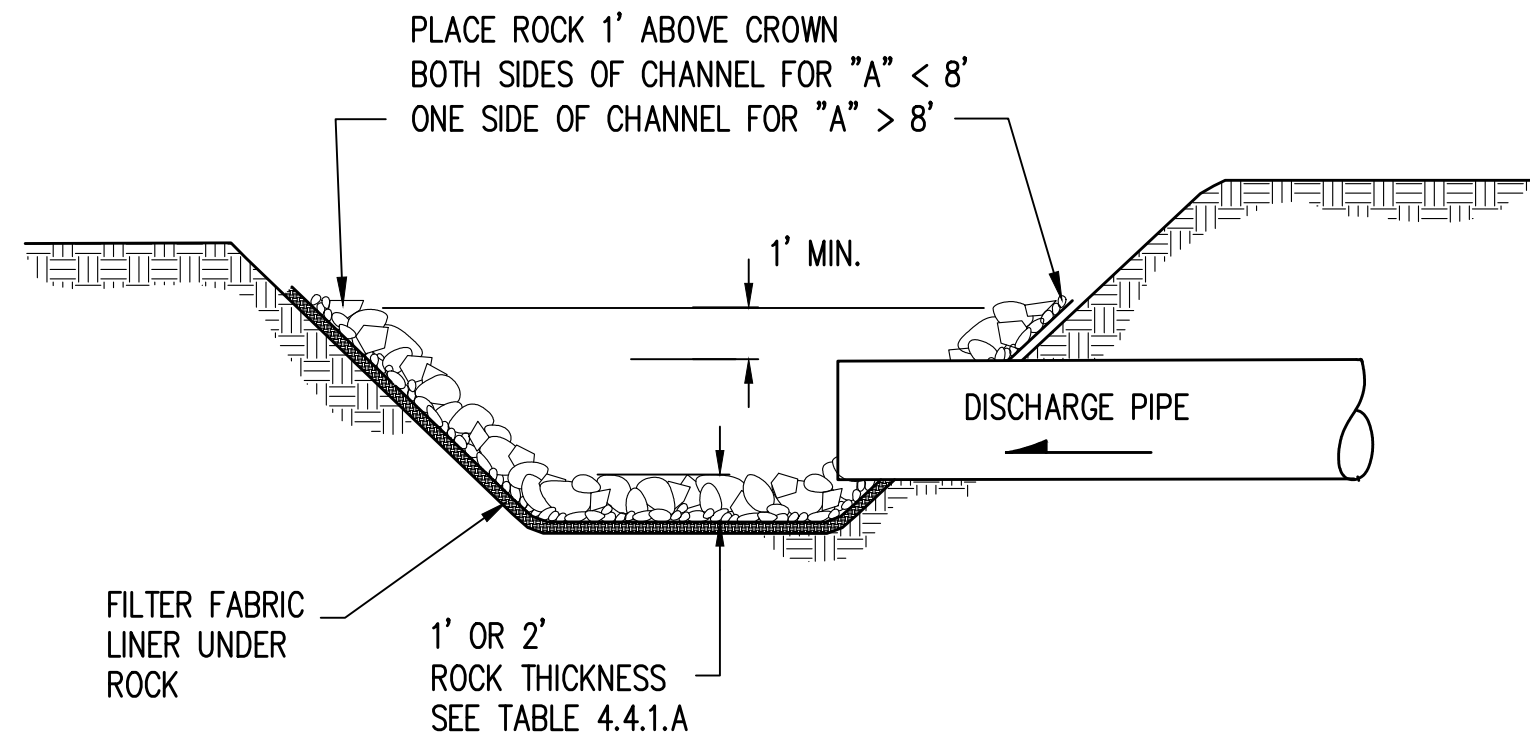
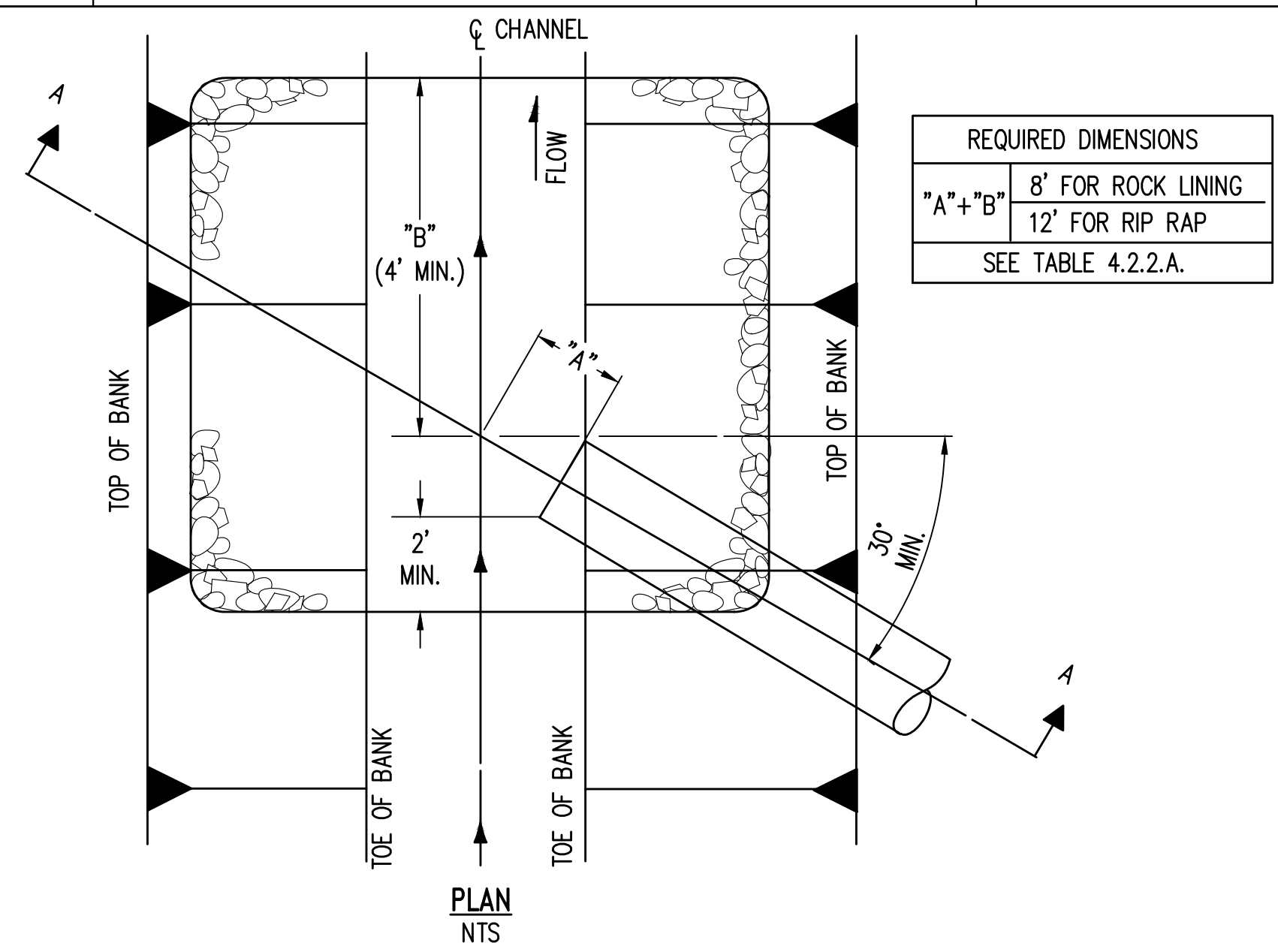
PUBLIC WORKS/BUILDING PERMIT SUBMITTAL

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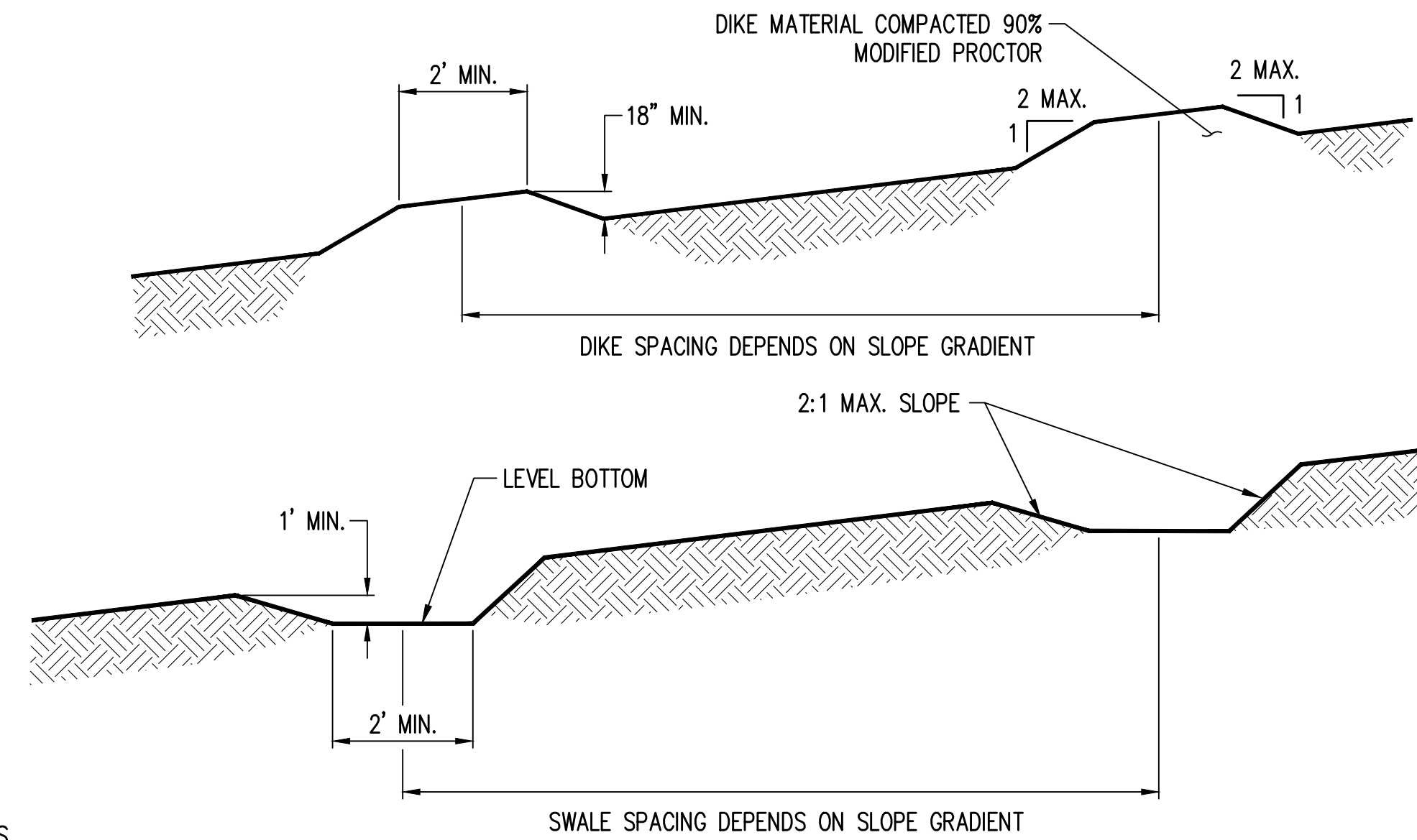


- NOTES:**
1. PLASTIC SHEETING SHALL HAVE A MINIMUM THICKNESS OF 0.06 MILLIMETERS.
 2. IF EROSION AT THE TOE OF A SLOPE IS LIKELY, A GRAVEL BERM, RIPRAP, OR OTHER SUITABLE PROTECTION SHALL BE INSTALLED AT THE TOE OF THE SLOPE IN ORDER TO REDUCE THE VELOCITY OF RUNOFF.
 3. TORN SHEETS MUST BE REPLACED AND OPEN SEAMS REPAIRED.
 4. IF THE PLASTIC BEGINS TO DETERIORATE DUE TO ULTRAVIOLET RADIATION, IT MUST BE COMPLETELY REMOVED AND REPLACED.
 5. WHEN THE PLASTIC IS NO LONGER NEEDED, IT SHALL BE COMPLETELY REMOVED.

PLASTIC COVERING
DOE BMP C123
NTS

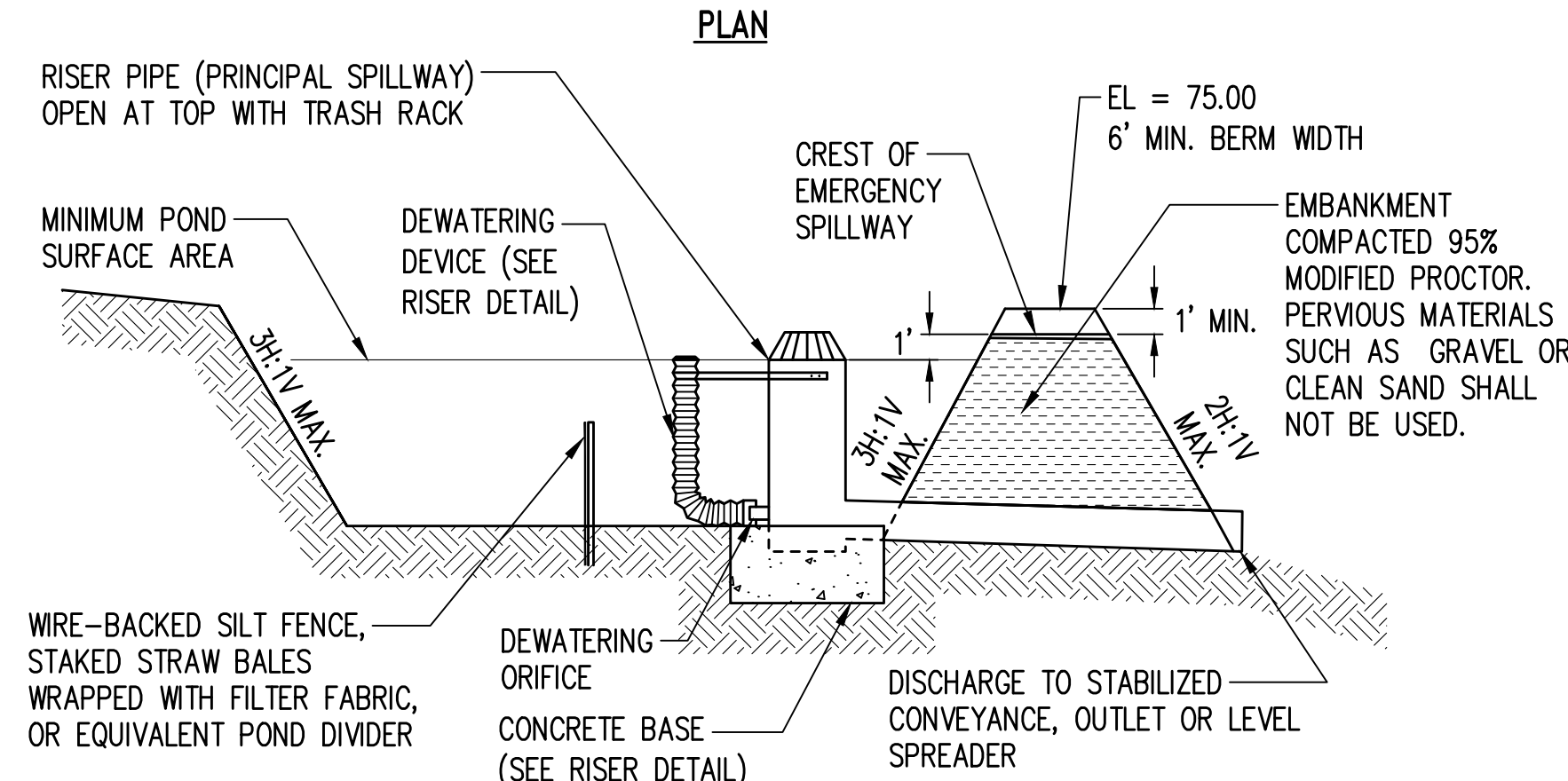
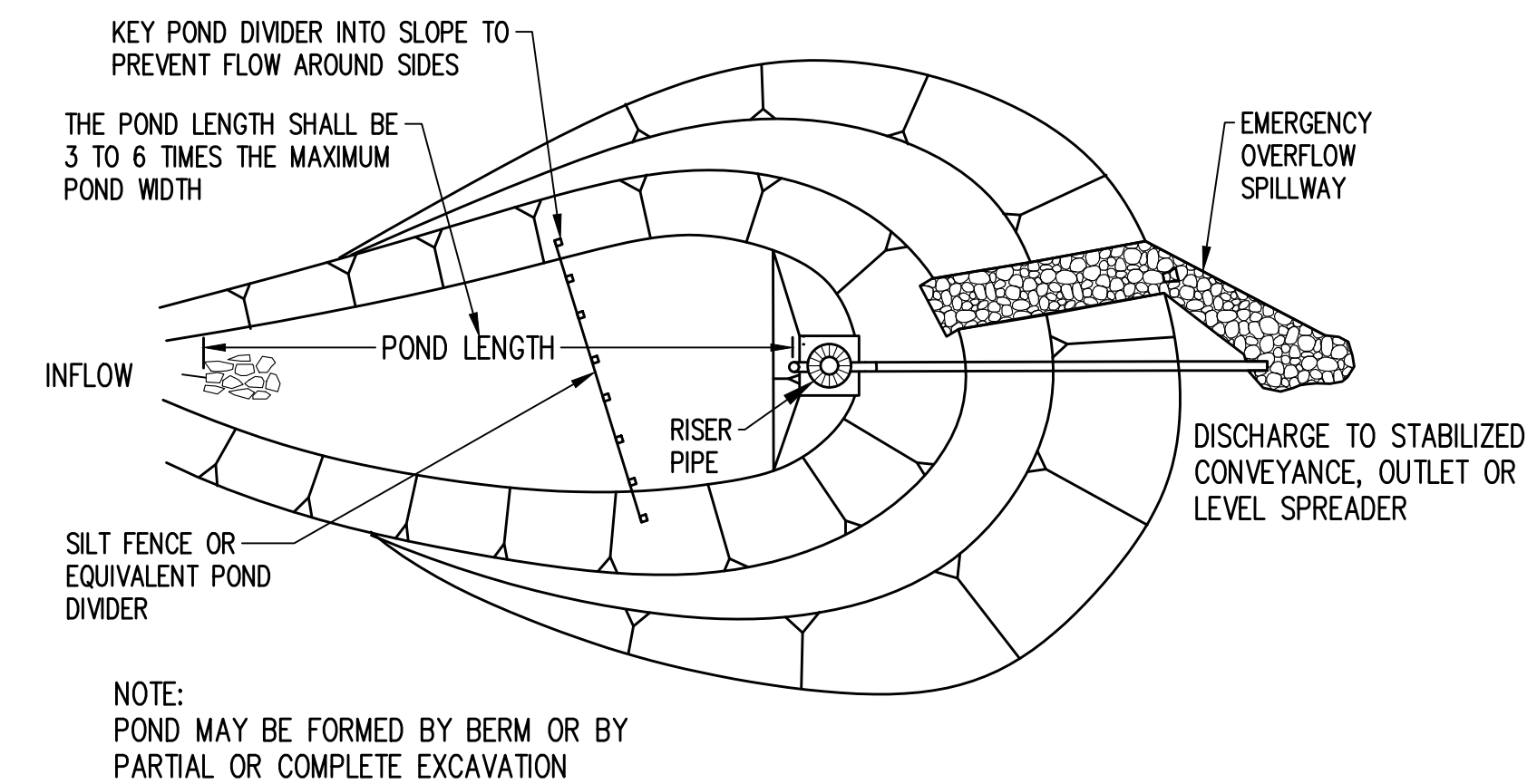


PIPE/CULVERT DISCHARGE PROTECTION
DOE BMP C209
NTS



- NOTES:**
1. DAMAGE RESULTING FROM RUNOFF OR CONSTRUCTION ACTIVITY SHALL BE REPAIRED IMMEDIATELY.
 2. IF THE FACILITIES DO NOT REGULARLY RETAIN STORM RUNOFF, THE CAPACITY AND/OR FREQUENCY OF THE DIKES/SWALES SHALL BE INCREASED.
 3. INTERCEPTOR DIKES AND SWALES SHALL BE SPACED HORIZONTALLY AS FOLLOWS:
- | AVERAGE SLOPE | SLOPE PERCENT | FLOWPATH LENGTH |
|----------------|---------------|-----------------|
| 20H:1V OR LESS | 3-5% | 300 FEET |
| (10 TO 20)H:1V | 5-10% | 200 FEET |
| (4 TO 10)H:1V | 10-25% | 100 FEET |
| (2 TO 4)H:1V | 25-50% | 50 FEET |

INTERCEPTOR SWALE/DIKE
DOE BMP C200
NTS

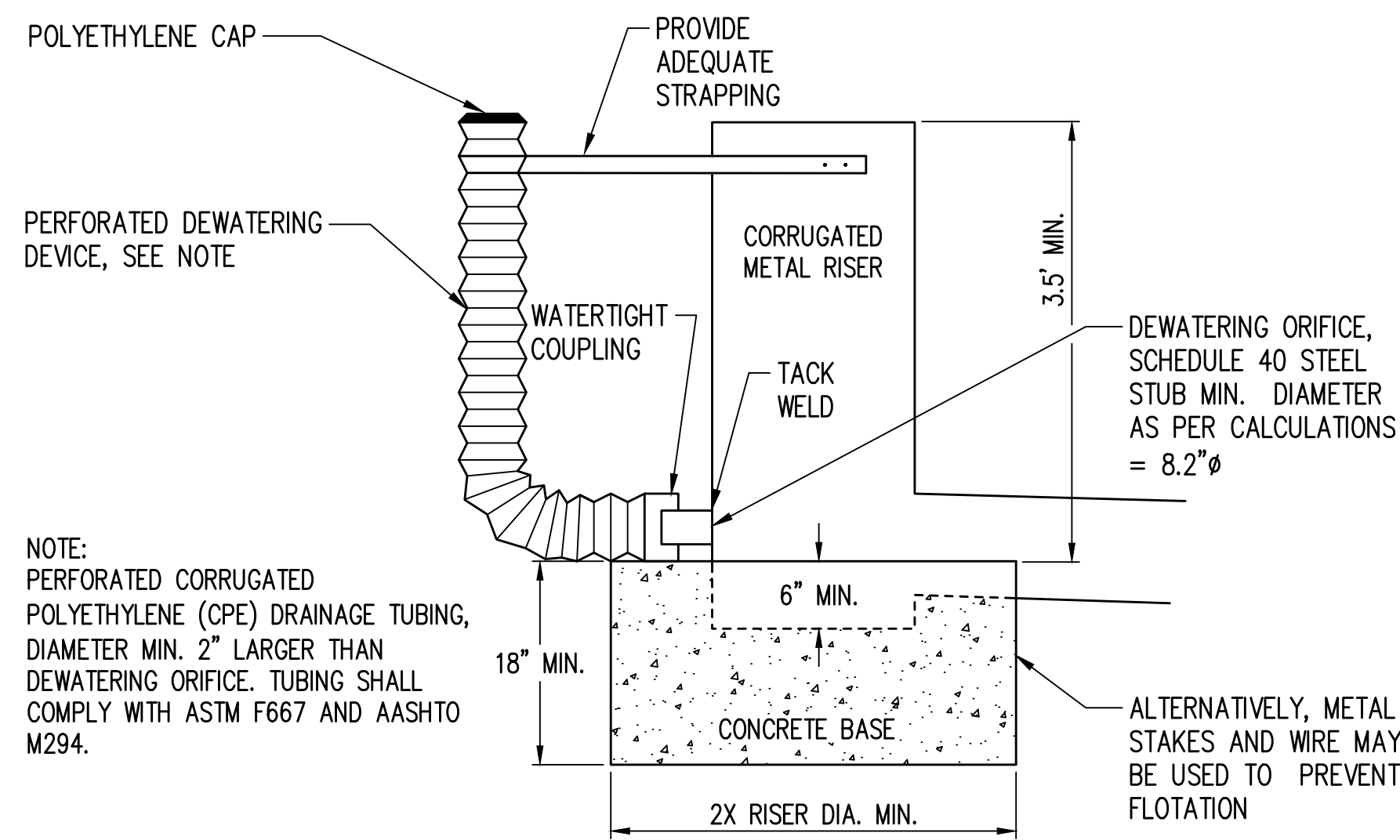


SEDIMENT POND
DOE BMP C241
NTS

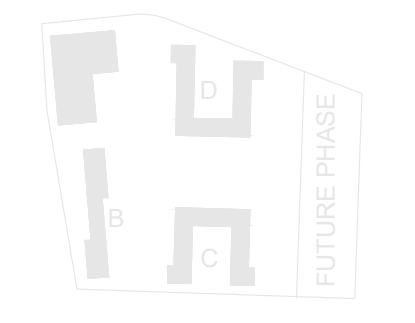
TEMPORARY EROSION CONTROL SEED MIX			
	% WEIGHT	% PURITY	% GERMINATION
CHEWINGS OR RED FESCUE <i>FESTUCA RUBRA</i> VAR. <i>COMMUTATA</i> OR <i>FESTUCA RUBRA</i>	40	98	90
ANNUAL OR PERENNIAL RYE <i>LOLIUM MULTIFLORUM</i> OR <i>LOLIUM PERENNE</i>	40	98	90
REDFOP OR COLONIAL BENTGRASS <i>AGROSTIS ALBA</i> OR <i>AGROSTIS TENUIS</i>	10	92	85
WHITE DUTCH CLOVER <i>TRIFOLIUM REPENS</i>	10	98	90

- NOTES:**
1. ANY SEEDED AREAS THAT FAIL TO ESTABLISH AT LEAST 80 PERCENT COVER WITHIN ONE MONTH SHALL BE RESEEDED. IF RESEEDING IS INEFFECTIVE, AN ALTERNATE METHOD, SUCH AS SODDING OR NETS/BLANKETS, SHALL BE USED. IF WINTER WEATHER PREVENTS ADEQUATE GRASS GROWTH, THIS TIME LIMIT MAY BE RELAXED AT THE DISCRETION OF THE CITY OF EVERETT WHEN CRITICAL AREAS WOULD OTHERWISE BE PROTECTED.
 2. AFTER ADEQUATE COVER IS ACHIEVED, ANY AREAS THAT EXPERIENCE EROSION SHALL BE RE-SEEDED AND PROTECTED BY MULCH. IF THE EROSION PROBLEM IS DRAINAGE RELATED, THE PROBLEM SHALL BE FIXED AND THE ERODED AREA RE-SEEDED AND PROTECTED BY MULCH.
 3. SEEDED AREAS SHALL BE SUPPLIED WITH ADEQUATE MOISTURE, BUT NOT WATERED TO THE EXTENT THAT IT CAUSES RUNOFF.

HYDROSEED MIX AND NOTES
DOE BMP C120



SEDIMENT POND RISER DETAIL
NTS



PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WA 98201

MARK	DATE	DESCRIPTION
REVISIONS		

C	06/05/2020	BUILDING PERMIT SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **1700658**
GGLO PRINCIPAL IN CHARGE: **AGC**
GGLO PROJECT MANAGER: **LES/SJZ**
OWNER APPROVAL:

SHEET TITLE:
TESC DETAILS

SHEET NO.:
C-101



MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
C	06/05/2020	BUILDING PERMIT SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

MARK	DATE	DESCRIPTION
ISSUE INFORMATION		

SHEET TITLE
SITE DEMOLITION

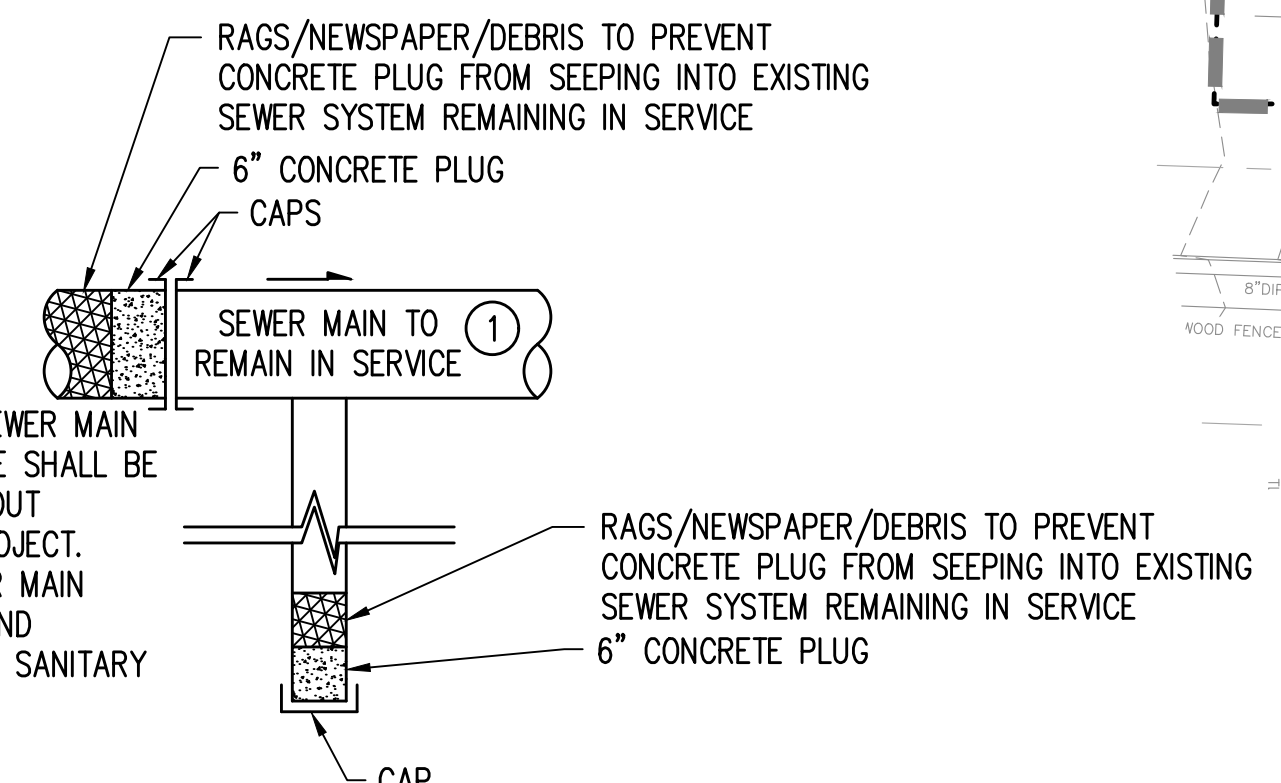
SHEET NO.
C-200

GENERAL DEMOLITION NOTES:

- RESIDENTIAL STRUCTURES AND FOUNDATIONS WITHIN THE DEMOLITION LIMITS HAVE BEEN REMOVED AND SERVICE UTILITIES CAPPED UNDER BUILDING DEMOLITION PLANS. CONTRACTOR SHALL REVIEW ABATEMENT AND DEMOLITION CONTRACT DOCUMENTS AND SCHEDULES TO ENSURE THE ABOVE WAS COMPLETED AS INDICATED OTHERWISE ANY REMNANTS WILL BECOME PART OF THIS DEMOLITION PLAN. CONTRACTOR SHALL COORDINATE THEIR DEMOLITION SCHEDULE ACCORDINGLY. BELOW GRADE UTILITIES REMAINING ON THE PROJECT SITE AND SHALL BE DEMOLISHED, PER THESE NOTES.
- CONTRACTOR TO COORDINATE TREE PROTECTION WITH OWNER'S REPRESENTATIVE. CONTRACTOR IS RESPONSIBLE FOR THE TREE PROTECTION AND THE HEALTH OF THE TREES FOR THE DURATION OF THE PROJECT.
- ALL EXISTING SURFACE FEATURES REMAINING WITHIN THE DEMOLITION LIMITS SHALL BE REMOVED IN THEIR ENTIRETY, UNLESS OTHERWISE NOTED.
- ALL ASPHALT AND CONCRETE RUBBLE GENERATED BY DEMOLITION ACTIVITIES SHALL BE REMOVED AND RECYCLED IN A LEGAL MANNER.
- ALL UTILITY STRUCTURES SHALL BE REMOVED FROM WITHIN THE DEMOLITION LIMITS IF RIM TO INVERT IS 5 FEET OR LESS. FOR UTILITY STRUCTURES DEEPER THAN 5 FEET FROM RIM TO INVERT, DEMOLISH AND REMOVE THE TOP 5 FEET OF THE STRUCTURE AND FILL WITH CDF, UNLESS OTHERWISE NOTED. ASSOCIATED PIPES SHALL BE CAPPED TO PREVENT THE MOVEMENT OF GROUNDWATER. EXCAVATION SHALL BE BACKFILLED WITH COMPACTED STRUCTURAL FILL.
- ALL WATER VALVES, POWER AND COMMUNICATION VAULTS/HANDHOLES ENCOUNTERED WITHIN DEMOLITION LIMITS SHALL BE REMOVED AND DISPOSED OFF-SITE IN A LEGAL MANNER.
- EXISTING UTILITY PIPES 8"Ø AND GREATER INTERCEPTED BY TRENCHING OPERATIONS SHALL BE GROUTED BOTH SIDES OF TRENCH TO PREVENT THE MOVEMENT OF GROUNDWATER.
- ALL PRODUCTS OF DEMOLITION ACTIVITIES SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE. ASPHALT AND CONCRETE SHALL BE RECYCLED OFF-SITE.
- ALL UTILITIES AND ASSOCIATED STRUCTURES SHOWN TO REMAIN SHALL BE PROTECTED BY CONTRACTOR. ALL UTILITIES AND STRUCTURES SHOWN TO BE DEMOLISHED/ABANDONED SHALL BE PER RESPECTIVE UTILITY JURISDICTION REQUIREMENTS.
- A PERIMETER CHAIN LINK CONSTRUCTION FENCE WAS INSTALLED DURING THE BUILDING DEMOLITION CONTRACT. DEMOLITION CONTRACTOR SHALL INHERIT THIS FENCE AND MAINTAIN IT THROUGH THE CONSTRUCTION PERIOD AND ADD ANY ADDITIONAL FENCE AND GATES AS NEEDED. CONTRACTOR TO LEAVE INSTALLED FENCING IN GOOD WORKING CONDITION. TESC MEASURES SHALL BE REMOVED AFTER GROUND HAS BEEN STABILIZED, UNLESS NEEDED BY FURTHER CONSTRUCTION OR REQUIRED BY COE INSPECTOR.
- ALL UTILITY PIPES 8 INCHES OR GREATER IN DIAMETER AND LOCATED BELOW BUILDING AREAS MAY BE LEFT IN PLACE PROVIDED THEY ARE FULLY GROUTED. ALL UTILITIES LESS THAN 8 INCHES IN DIAMETER AND LOCATED BENEATH BUILDING AREAS MAY BE LEFT IN PLACE PROVIDED THEY ARE CAPPED AND OR PLUGGED WITH GROUT. UTILITY PIPES ENCOUNTERED OUTSIDE OF BUILDING AREAS DURING REDEVELOPMENT ACTIVITIES SHOULD BE PLUGGED, CAPPED, OR REMOVED TO PREVENT MOVEMENT OF GROUNDWATER.
- ANY UTILITIES DISCOVERED DURING CONSTRUCTION OPERATIONS SHALL BE REMOVED TO A POINT, 3 FEET BELOW FINISH GRADE. THE UTILITY SHALL BE CAPPED OR PLUGGED WITH GROUT TO PREVENT THE MOVEMENT OF GROUNDWATER. ABANDONED UTILITY LINES UNDER PROPOSED BUILDINGS SHOULD BE IDENTIFIED DURING CONSTRUCTION AND EXISTING TRENCH BACKFILL SHOULD BE REMOVED AND REPLACED PER RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.
- CONTRACTOR IS RESPONSIBLE FOR CONTINUED OPERATION OF EXISTING AND TEMPORARY STORM SYSTEMS. CONTRACTOR SHALL REVIEW AND FIELD VERIFY THAT THE REMAINING PORTIONS OF THE EXISTING STORM DRAINAGE SYSTEM WITHIN THE RIGHT OF WAY, TEMPORARY STORM MEASURES AND PROPOSED GRADING ARE NOT IN CONFLICT. WHERE CONFLICTS OCCUR, CONTRACTOR SHALL PROVIDE TEMPORARY PUMPING OR ALTERNATIVE SYSTEMS.
- CONTRACTOR SHALL PREPARE A COLOR CODED RECORD PLAN NOTING PLUGGED/ABANDONED/REMOVED UTILITIES FOR USE BY THE SITE DEVELOPMENT AND BUILDING CONTRACTOR'S TO COORDINATE, PLAN, AND SCHEDULE THEIR CONSTRUCTION EFFORTS ACCORDINGLY.

DEMOLITION NOTES:

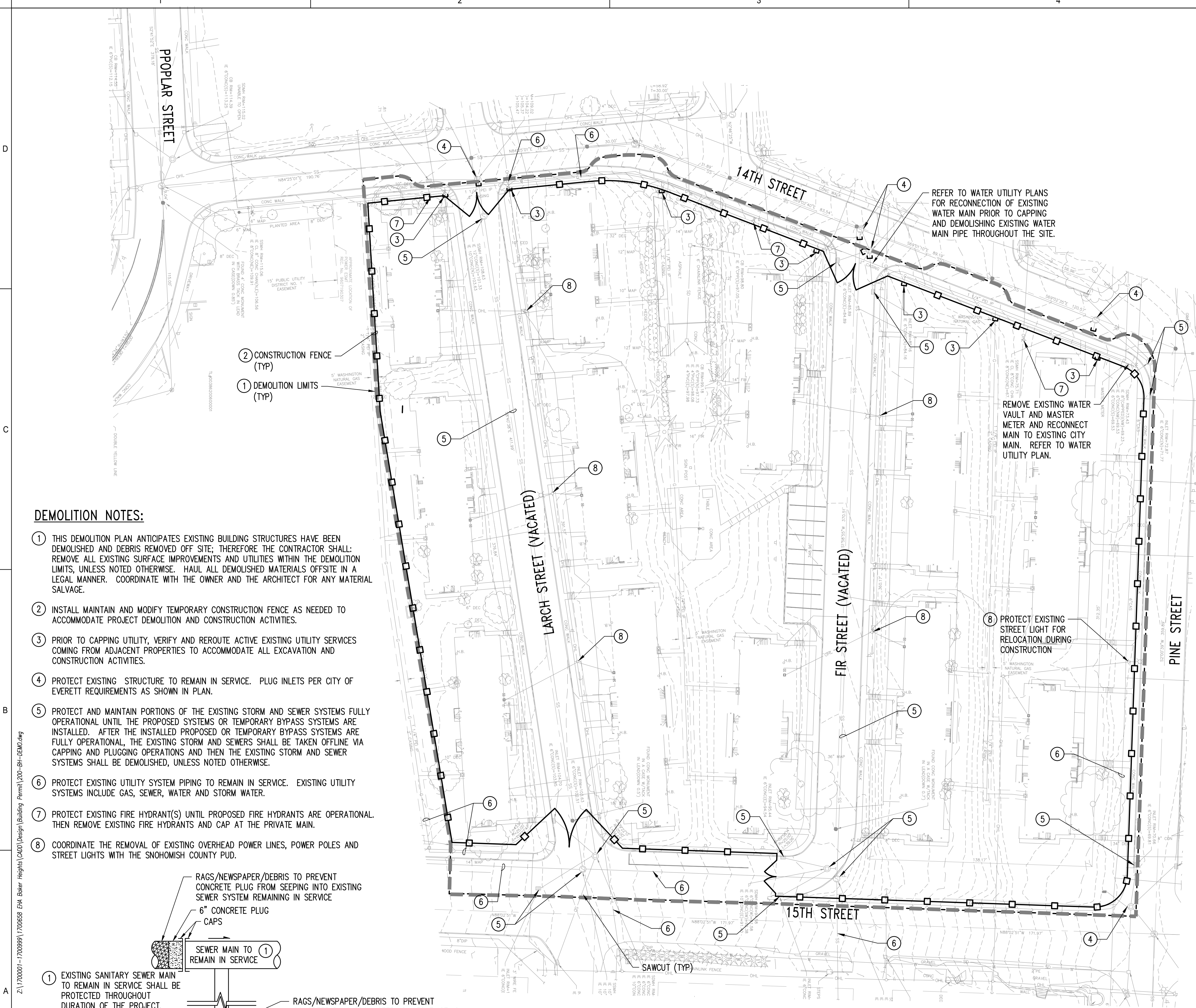
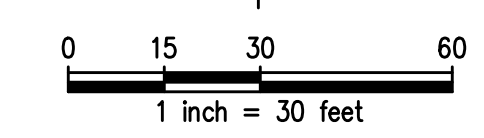
- THIS DEMOLITION PLAN ANTICIPATES EXISTING STRUCTURES HAVE BEEN DEMOLISHED AND DEBRIS REMOVED OFF SITE; THEREFORE THE CONTRACTOR SHALL REMOVE ALL EXISTING SURFACE IMPROVEMENTS AND UTILITIES WITHIN THE DEMOLITION LIMITS, UNLESS NOTED OTHERWISE. HAUL ALL DEMOLISHED MATERIALS OFFSITE IN A LEGAL MANNER. COORDINATE WITH THE OWNER AND THE ARCHITECT FOR ANY MATERIAL SALVAGE.
- INSTALL MAINTAIN AND MODIFY TEMPORARY CONSTRUCTION FENCE AS NEEDED TO ACCOMMODATE PROJECT DEMOLITION AND CONSTRUCTION ACTIVITIES.
- PRIOR TO CAPPING UTILITY, VERIFY AND REROUTE ACTIVE EXISTING UTILITY SERVICES COMING FROM ADJACENT PROPERTIES TO ACCOMMODATE ALL EXCAVATION AND CONSTRUCTION ACTIVITIES.
- PROTECT EXISTING STRUCTURE TO REMAIN IN SERVICE. PLUG INLETS PER CITY OF EVERETT REQUIREMENTS AS SHOWN IN PLAN.
- PROTECT AND MAINTAIN PORTIONS OF THE EXISTING STORM AND SEWER SYSTEMS FULLY OPERATIONAL UNTIL THE PROPOSED SYSTEMS OR TEMPORARY BYPASS SYSTEMS ARE INSTALLED. AFTER THE INSTALLED PROPOSED OR TEMPORARY BYPASS SYSTEMS ARE FULLY OPERATIONAL, THE EXISTING STORM AND SEWERS SHALL BE TAKEN OFFLINE VIA CAPPING AND PLUGGING OPERATIONS AND THEN THE EXISTING STORM AND SEWER SYSTEMS SHALL BE DEMOLISHED, UNLESS NOTED OTHERWISE.
- PROTECT EXISTING UTILITY SYSTEM PIPING TO REMAIN IN SERVICE. EXISTING UTILITY SYSTEMS INCLUDE GAS, SEWER, WATER AND STORM WATER.
- PROTECT EXISTING FIRE HYDRANT(S) UNTIL PROPOSED FIRE HYDRANTS ARE OPERATIONAL. THEN REMOVE EXISTING FIRE HYDRANTS AND CAP AT THE PRIVATE MAIN.
- COORDINATE THE REMOVAL OF EXISTING OVERHEAD POWER LINES, POWER POLES AND STREET LIGHTS WITH THE SNOHOMISH COUNTY PUD.



CAP & PLUG DETAIL FOR SANITARY SEWER SYSTEM
NTS

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PUBLIC WORKS/BUILDING PERMIT SUBMITTAL



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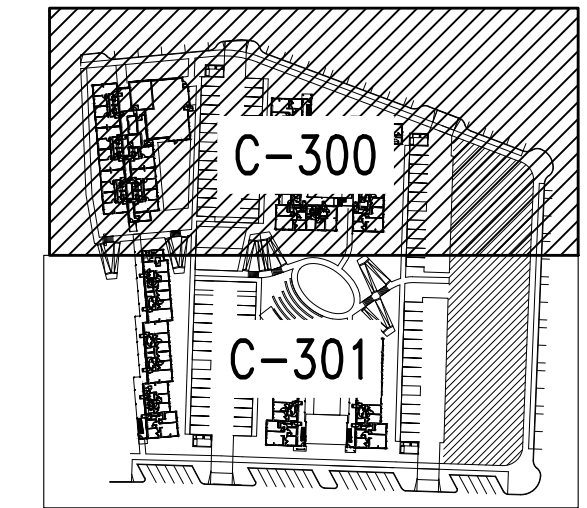
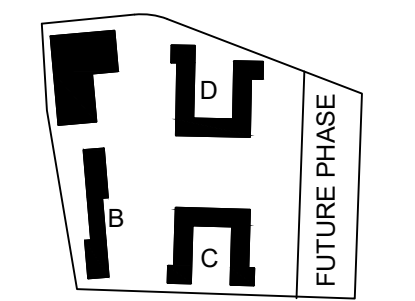
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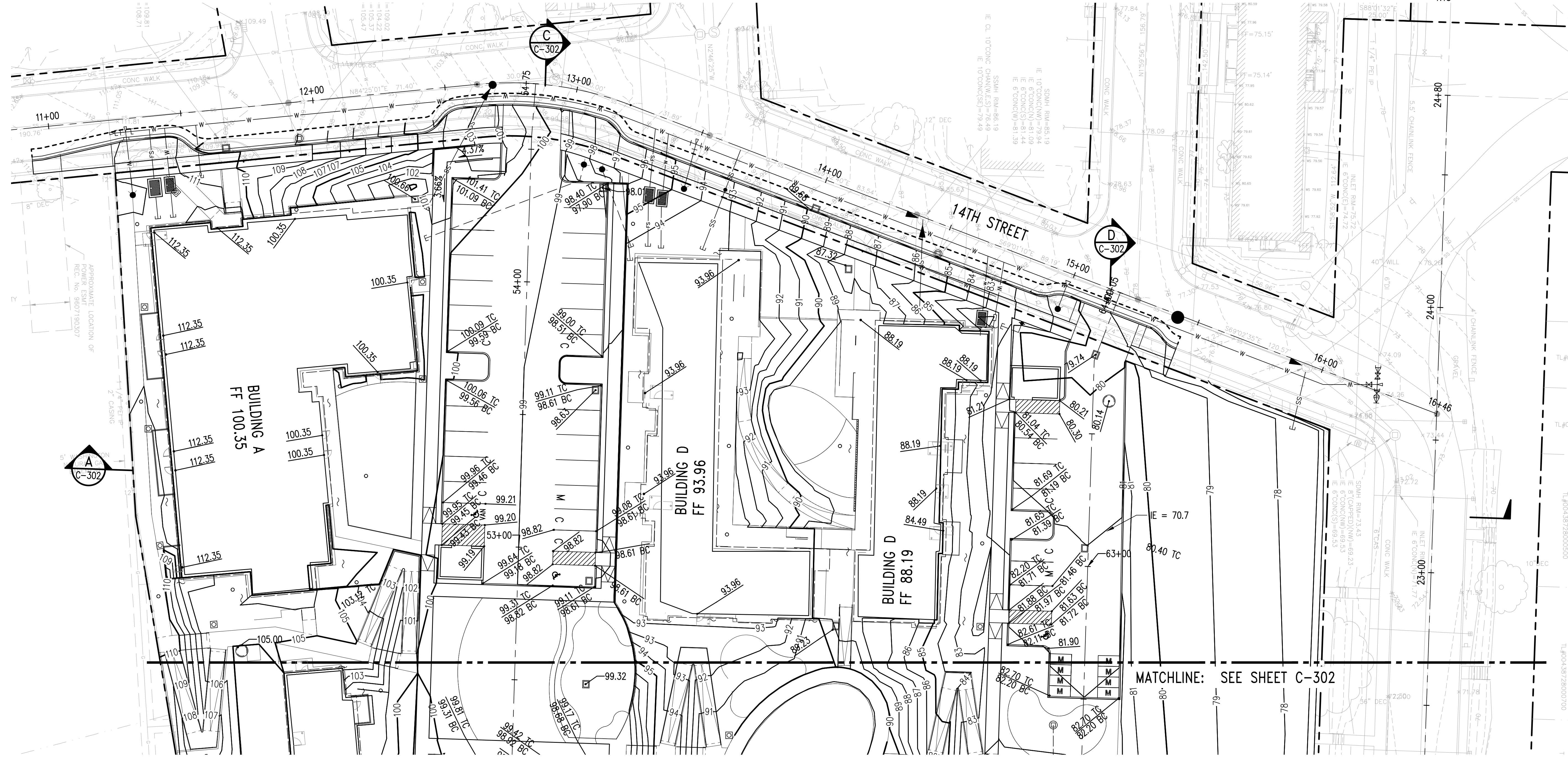
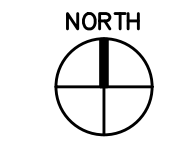
GGLO DESIGN

1301 First Avenue, Suite 301
Seattle, WA 98101

http://www.gglo.com



KEY MAP
NTS



PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201
OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WA 98201

MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
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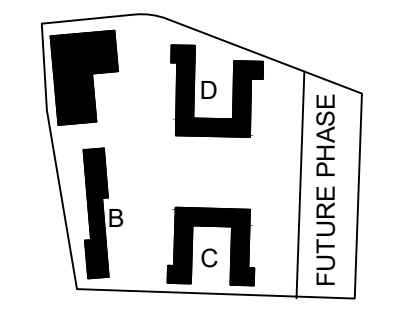
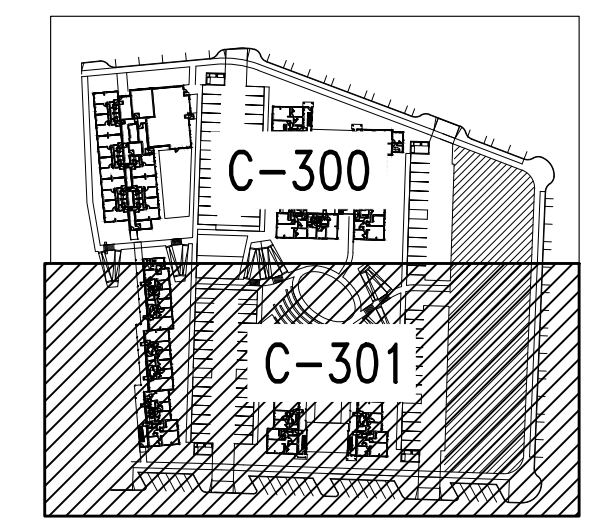
PROJECT NO.: **1700658**
GGLO PRINCIPAL IN CHARGE: AGC
GGLO PROJECT MANAGER: LES/SJZ
OWNER APPROVAL:

SHEET TITLE
GRADING PLAN
SHEET NO.
C-300

PUBLIC WORKS/BUILDING PERMIT SUBMITTAL

Jun 15, 2020 - 1:01 pm
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ORIGINAL SHEET SIZE IS A1-36"



PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
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EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WA 98201

MARK	DATE	DESCRIPTION
REVISIONS		

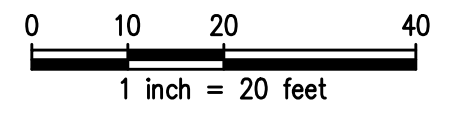
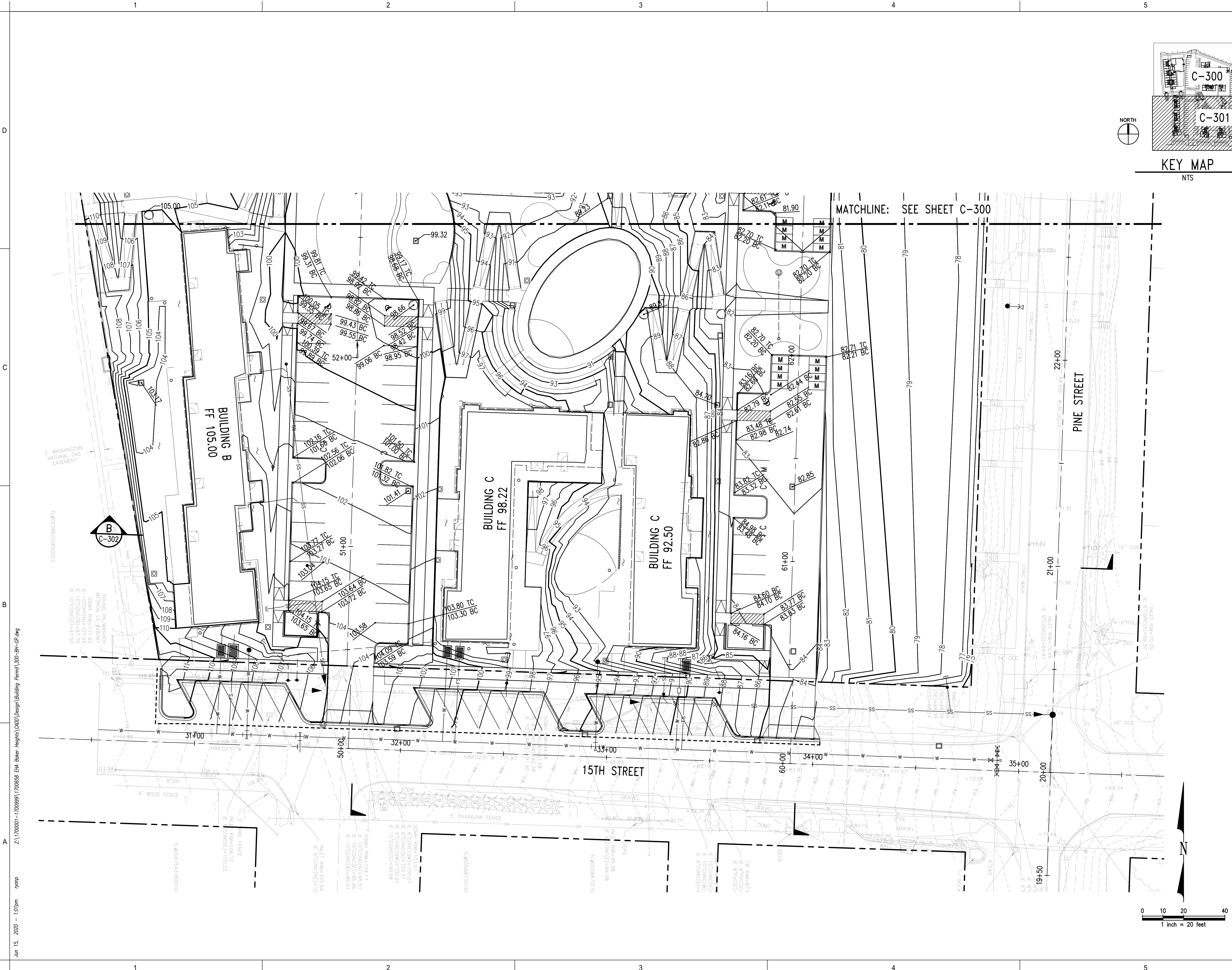
MARK	DATE	DESCRIPTION
C	06/05/2020	BUILDING PERMIT SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

ISSUE INFORMATION

PROJECT NO.: **1700658**
GGLO PRINCIPAL IN CHARGE: AGC
GGLO PROJECT MANAGER: LES/SJZ
OWNER APPROVAL:

SHEET TITLE:
GRADING PLAN

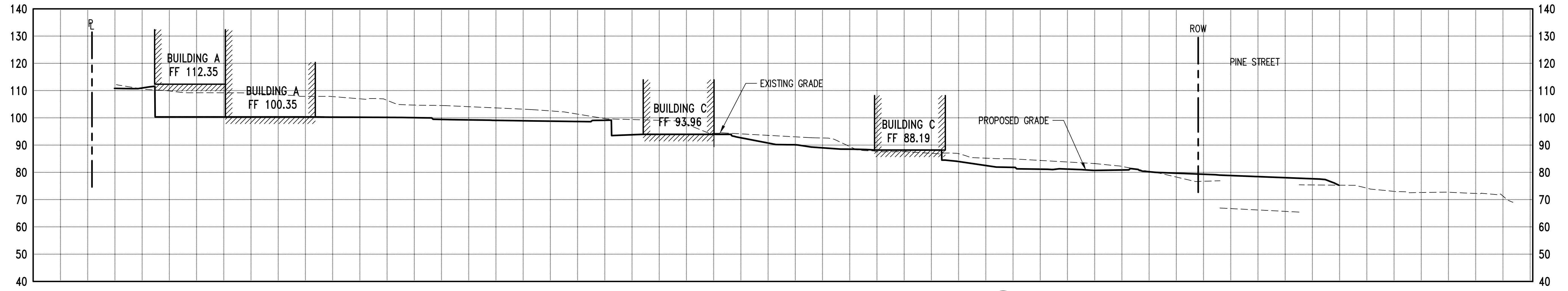
SHEET NO.:
C-301



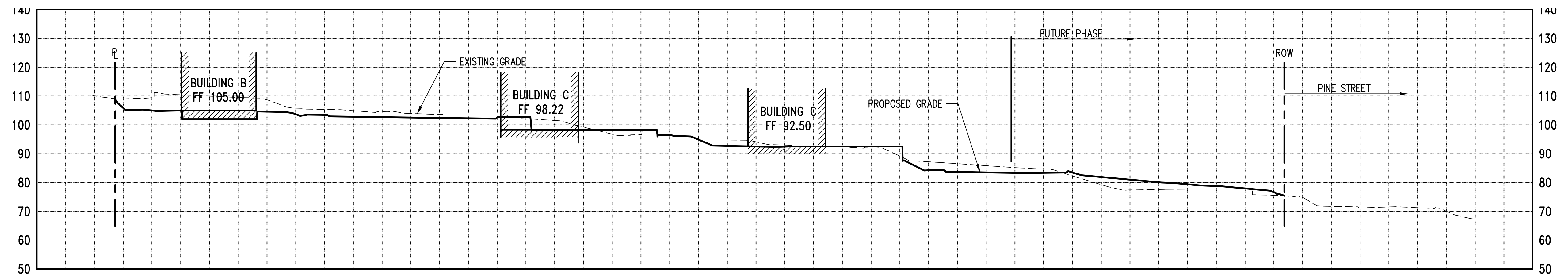
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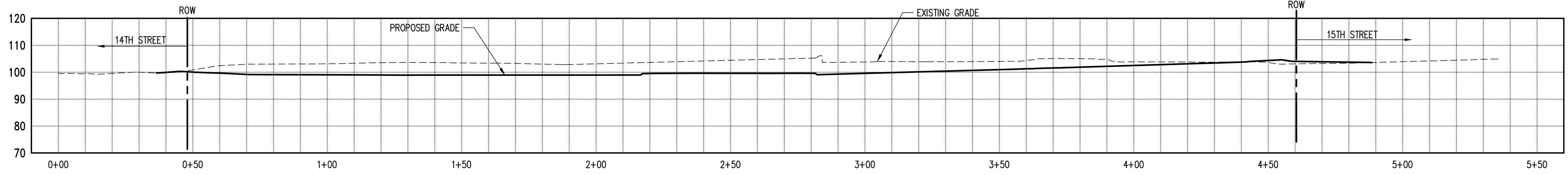
PUBLIC WORKS/BUILDING PERMIT SUBMITTAL



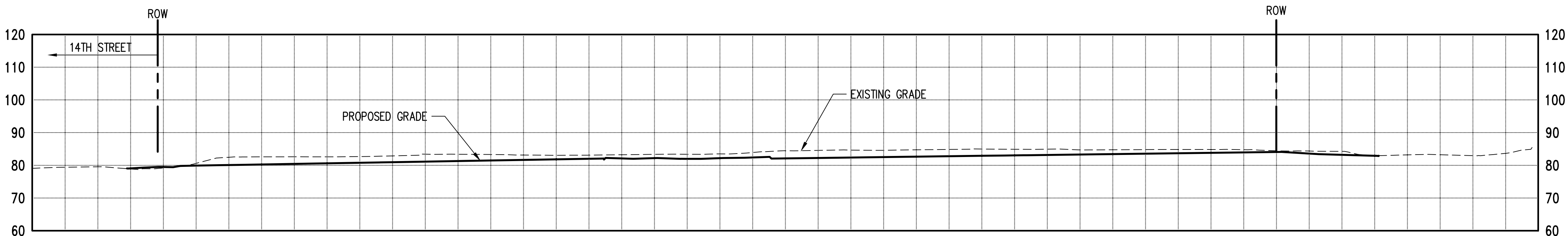
SECTION A - A
1" = 20'
A
C-300



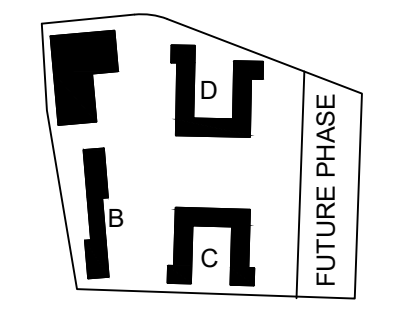
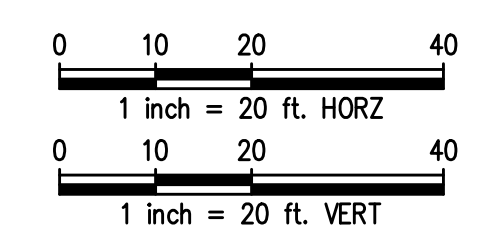
SECTION B - B
1" = 20'
B
C-300



SECTION C - C
1" = 20'
C
C-300, C-301



SECTION D - D
1" = 20'
D
C-300 C-301



PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WA 98201

MARK	DATE	DESCRIPTION
REVISIONS		

C	06/05/2020	BUILDING PERMIT SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

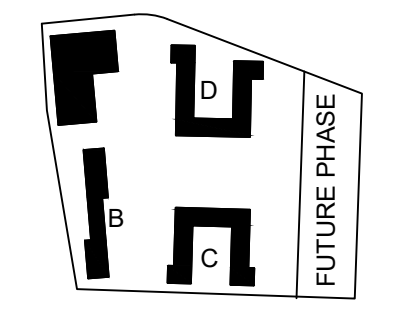
MARK DATE DESCRIPTION
ISSUE INFORMATION
PROJECT NO.: **1700658**
GGLO PRINCIPAL IN CHARGE: AGC
GGLO PROJECT MANAGER: LES/SJZ
OWNER APPROVAL:

SHEET TITLE
GRADING SECTIONS

SHEET NO.
C-302

PUBLIC WORKS/BUILDING PERMIT SUBMITTAL

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Jun 15, 2020 - 1:01 pm nmp



PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201
OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WA 98201

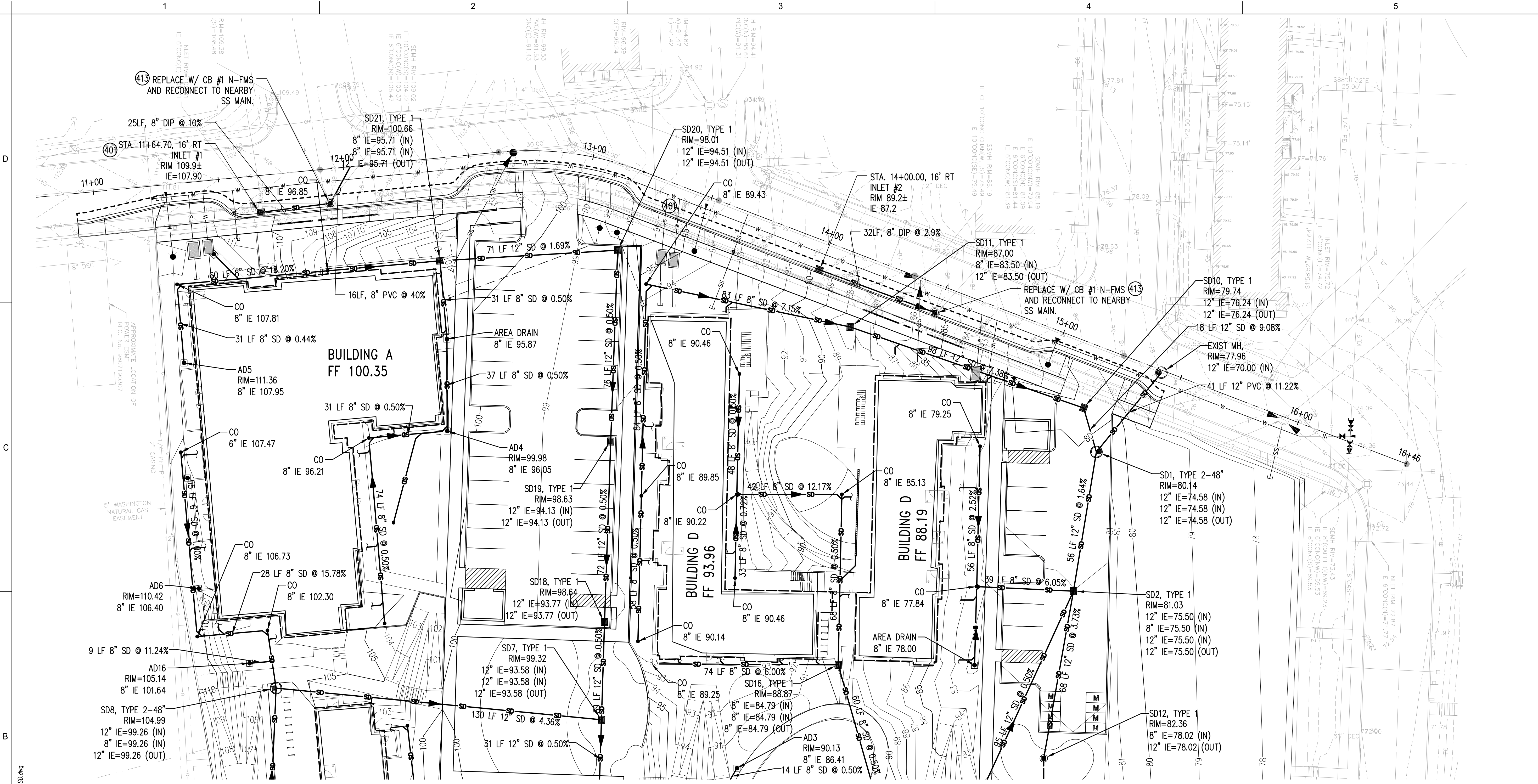
MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
C	06/05/2020	BUILDING PERMIT SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

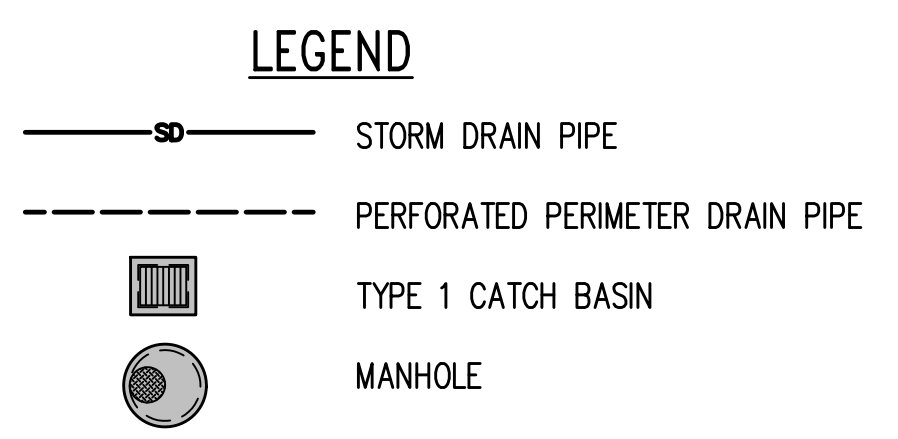
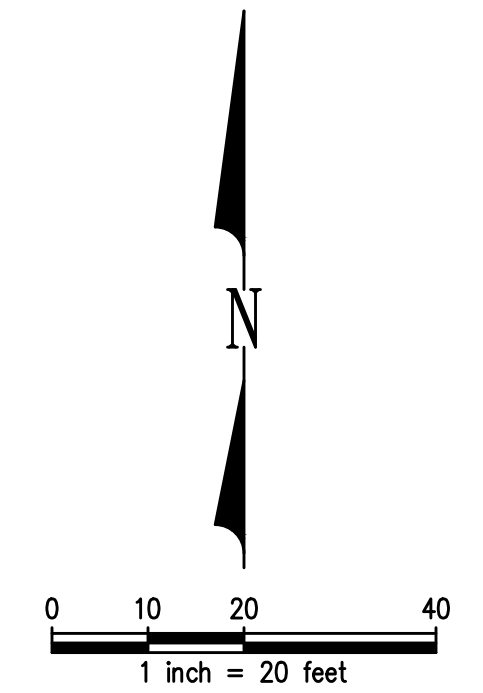
PROJECT NO.: **1700658**
GGLO PRINCIPAL IN CHARGE: AGC
GGLO PROJECT MANAGER: LES/SJZ
OWNER APPROVAL:

SHEET TITLE:
STORM DRAINAGE PLAN

SHEET NO.:
C-305

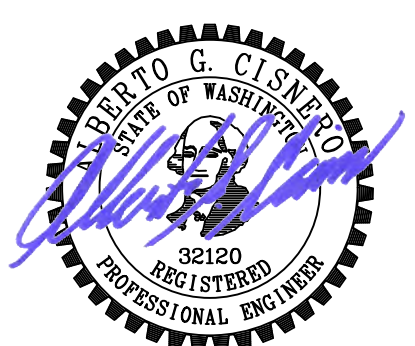
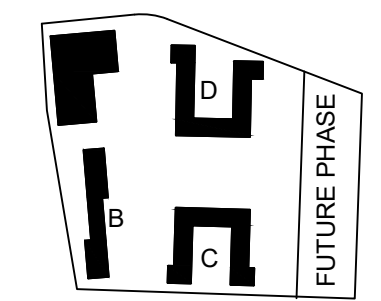


- NOTES:
- CONTRACTOR SHALL VERIFY ALL UTILITIES IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION, AND PREPARE A PHASING PLAN TO MAINTAIN EXISTING DRAINING STRUCTURES AND PIPING PROTECTED UNTIL SUCH TIME THAT THE NEW SYSTEM HAS BEEN INSTALLED AND APPROVED BY THE CITY INSPECTOR. THIS SITE IS RATHER STEEP AND UNCONTROLLED DRAINAGE DISCHARGES MAY CAUSE EXTENSIVE DAMAGES TO EXISTING IMPROVEMENTS.
 - DUE TO VACATION OF EXISTING STREETS, EXISTING STORM DRAINAGE SYSTEMS WILL REQUIRE RECONFIGURATION AND REDIRECTION OF FLOWS. ALL STRUCTURES AND PIPING NO LONGER USED IN THE RIGHT OF WAY TO COLLECT AND CONVEY STORM DRAINAGE SHALL BE REMOVED TO A NECESSARY DEPTH TO ACCOMMODATE THE PROPOSED IMPROVEMENTS.
 - SOME STORM STRUCTURES SHALL BE REPLACED IN THEIR ENTIRETY AND RECONNECTED WITH EXISTING PIPES. CONTRACTOR SHALL ACCOUNT FOR NECESSARY FITTINGS AND PIPE SEGMENTS THAT MAY BE REQUIRED TO RETROFIT THE AFFECTED DRAINAGE SYSTEM.
 - ALL PROPOSED ON-SITE DRAINAGE STRUCTURES AND PIPING ARE BASED ON CITY OF EVERETT STANDARD PLANS AND SHALL BE INSTALL IN ACCORDANCE WITH CITY'S CONSTRUCTION STANDARDS. REFER TO DETAILS IN THE FOLLOWING SHEETS FOR DETAILS NOT AVAILABLE IN THE CITY'S STANDARD PLANS.
 - STRUCTURES LOCATED IN THE RIGHT OF WAY ARE NOTED TO FACE OF CURB. CONTRACTOR SHALL CALCULATE EXACT LOCATION PRIOR TO LOCATION TO ENSURE THEY ARE LOCATED IN THE CORRECT PLACE TO COLLECT PLACE TO COLLECT DRAINAGE. REFER TO DETAIL B ON SHEET C-308.



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 namp

PUBLIC WORKS/BUILDING PERMIT SUBMITTAL



PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201
OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WA 98201

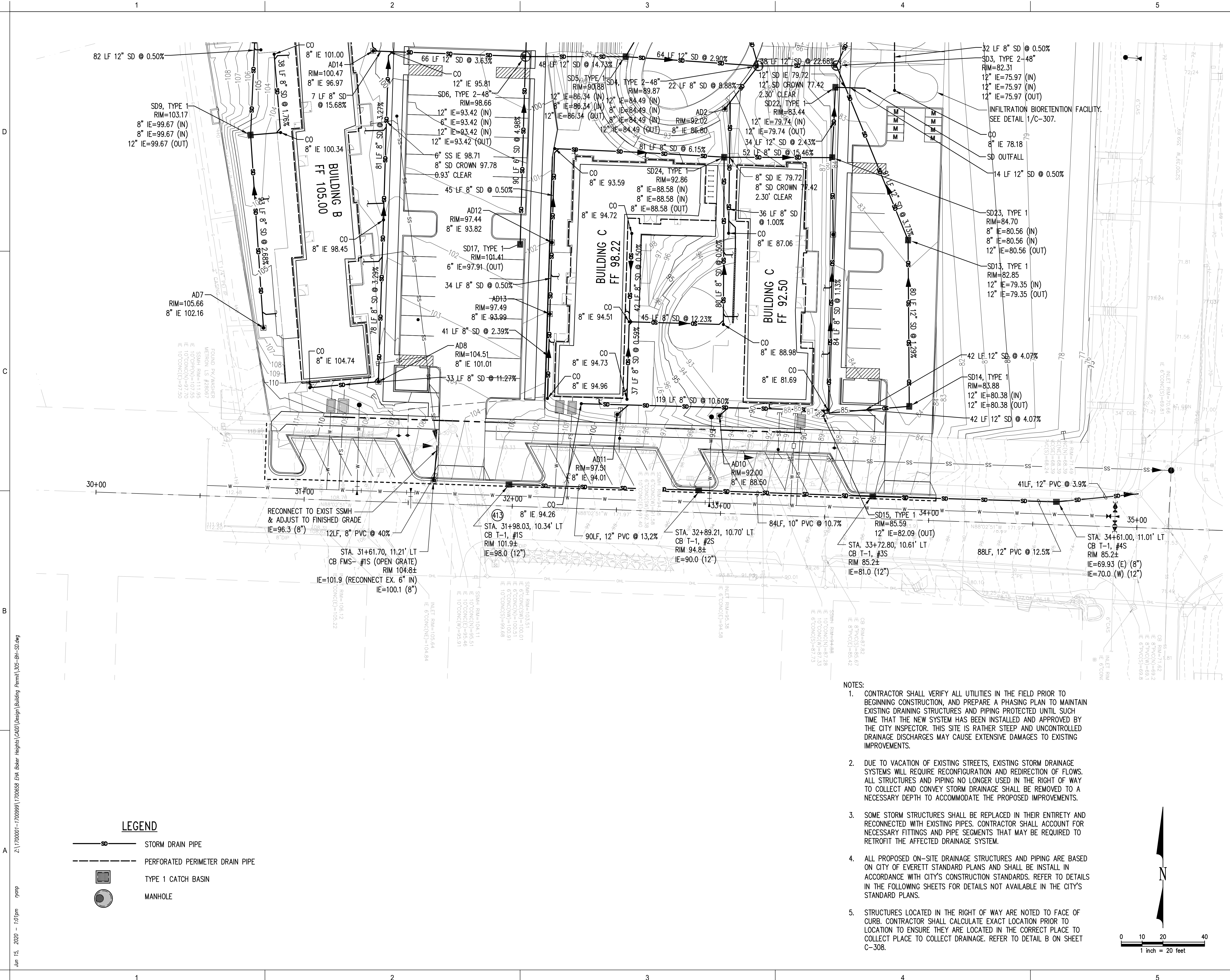
MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
C	06/05/2020	BUILDING PERMIT SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **1700658**
GGLO PRINCIPAL IN CHARGE: **AGC**
GGLO PROJECT MANAGER: **LES/SJZ**
OWNER APPROVAL:

SHEET TITLE
STORM DRAINAGE PLAN

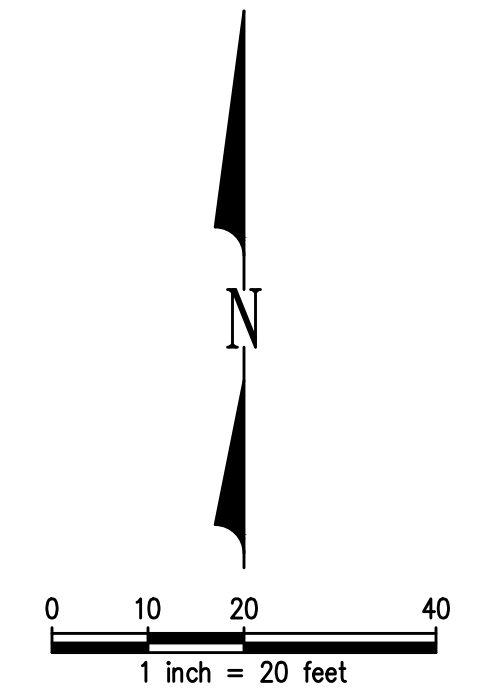
SHEET NO.
C-306

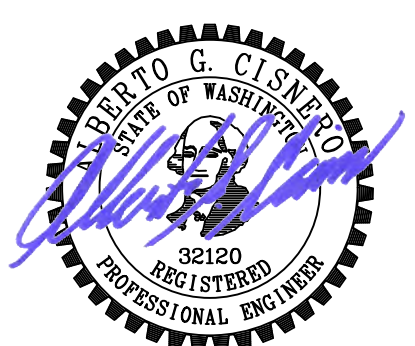
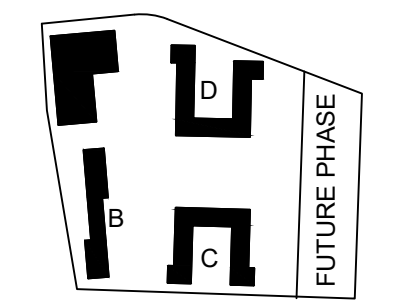


LEGEND

- STORM DRAIN PIPE
- PERFORATED PERIMETER DRAIN PIPE
- TYPE 1 CATCH BASIN
- MANHOLE

- NOTES:
- CONTRACTOR SHALL VERIFY ALL UTILITIES IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION, AND PREPARE A PHASING PLAN TO MAINTAIN EXISTING DRAINING STRUCTURES AND PIPING PROTECTED UNTIL SUCH TIME THAT THE NEW SYSTEM HAS BEEN INSTALLED AND APPROVED BY THE CITY INSPECTOR. THIS SITE IS RATHER STEEP AND UNCONTROLLED DRAINAGE DISCHARGES MAY CAUSE EXTENSIVE DAMAGES TO EXISTING IMPROVEMENTS.
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 - SOME STORM STRUCTURES SHALL BE REPLACED IN THEIR ENTIRETY AND RECONNECTED WITH EXISTING PIPES. CONTRACTOR SHALL ACCOUNT FOR NECESSARY FITTINGS AND PIPE SEGMENTS THAT MAY BE REQUIRED TO RETROFIT THE AFFECTED DRAINAGE SYSTEM.
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 - STRUCTURES LOCATED IN THE RIGHT OF WAY ARE NOTED TO FACE OF CURB. CONTRACTOR SHALL CALCULATE EXACT LOCATION PRIOR TO LOCATION TO ENSURE THEY ARE LOCATED IN THE CORRECT PLACE TO COLLECT PLACE TO COLLECT DRAINAGE. REFER TO DETAIL B ON SHEET C-308.





PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
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EVERETT, WA 98201
OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WA 98201

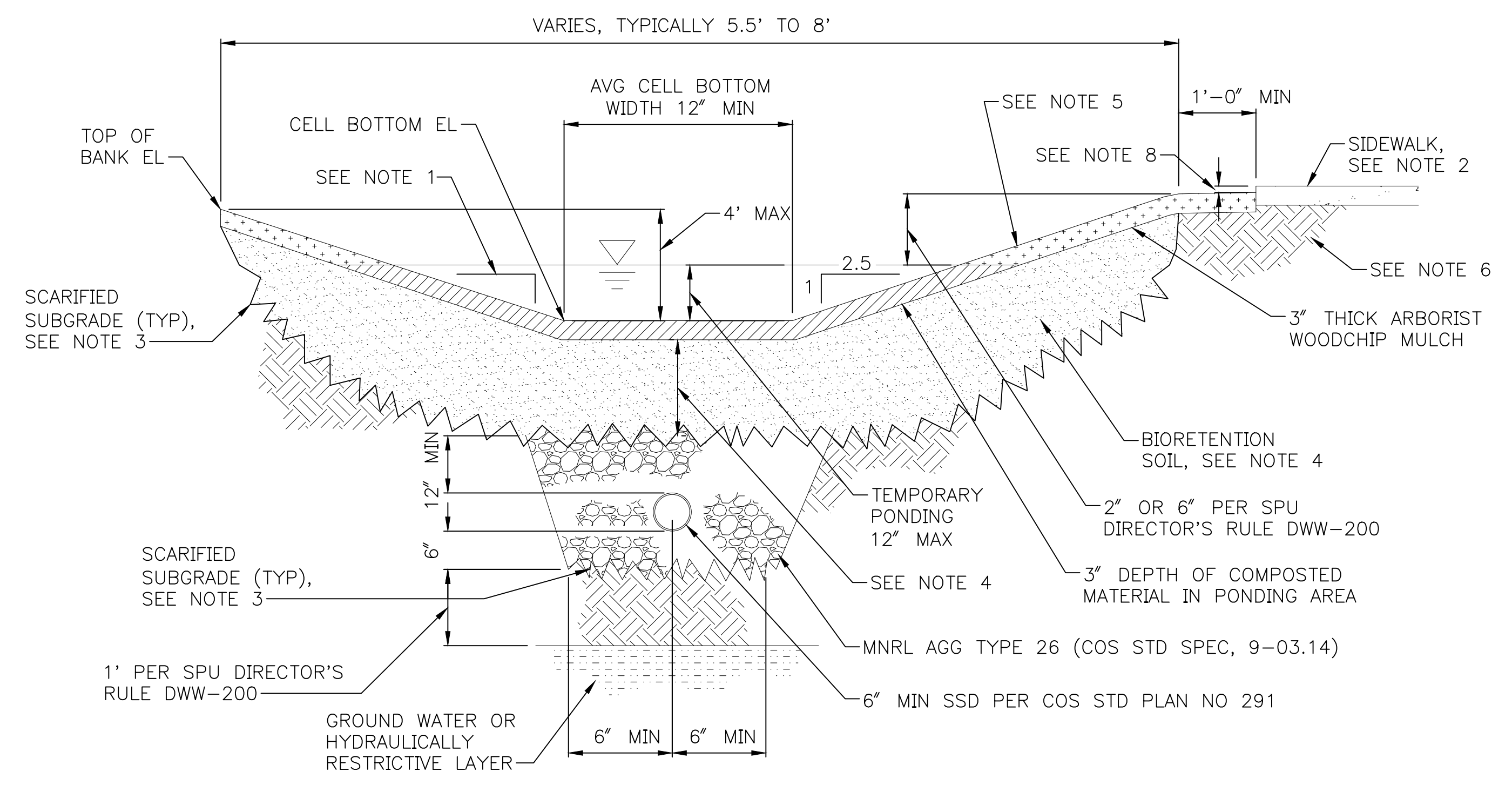
MARK	DATE	DESCRIPTION
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A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **1700658**
GGLO PRINCIPAL IN CHARGE: AGC
GGLO PROJECT MANAGER: LES/SJZ
OWNER APPROVAL:

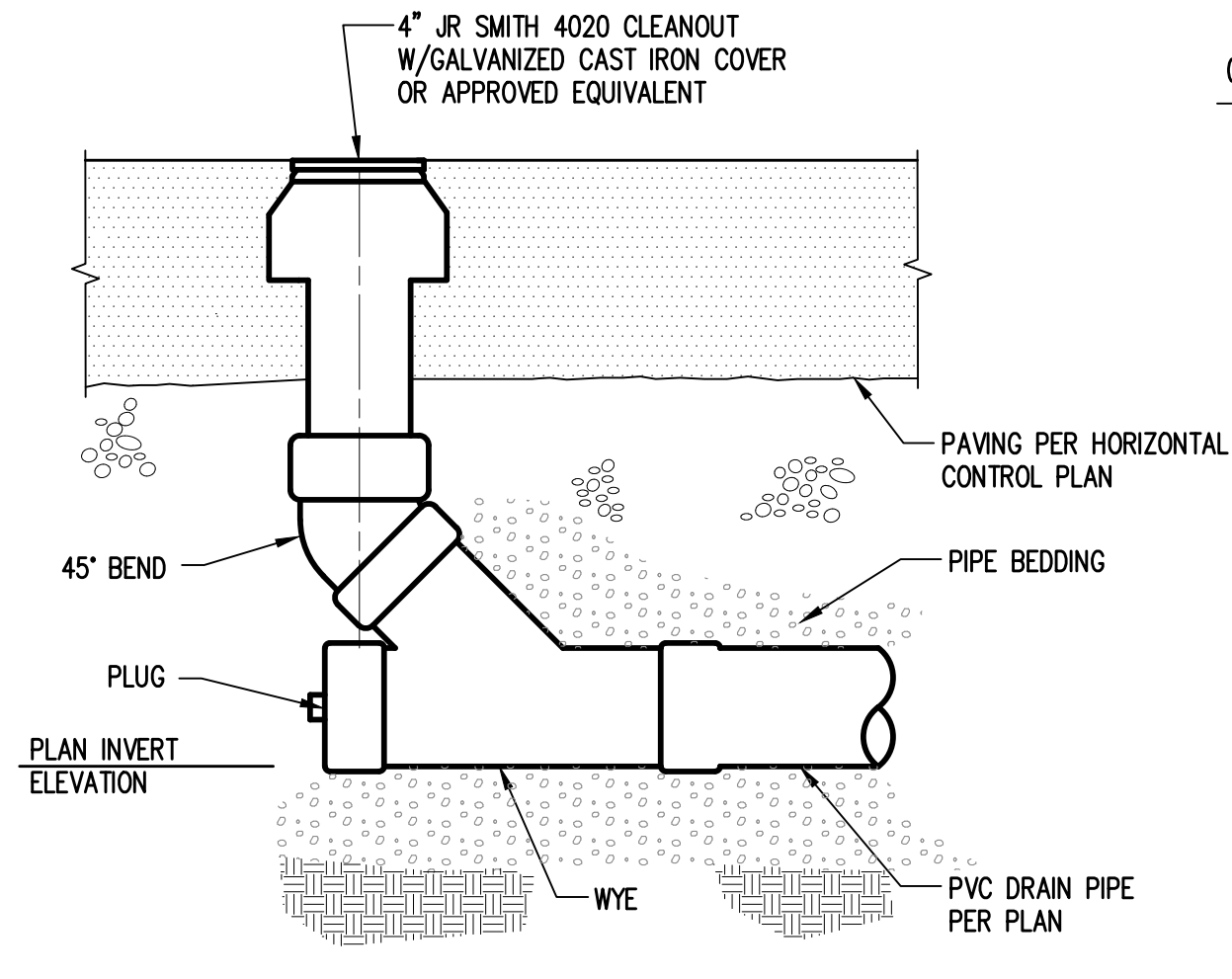
SHEET TITLE:
STORM DRAINAGE DETAILS

SHEET NO.:
C-307

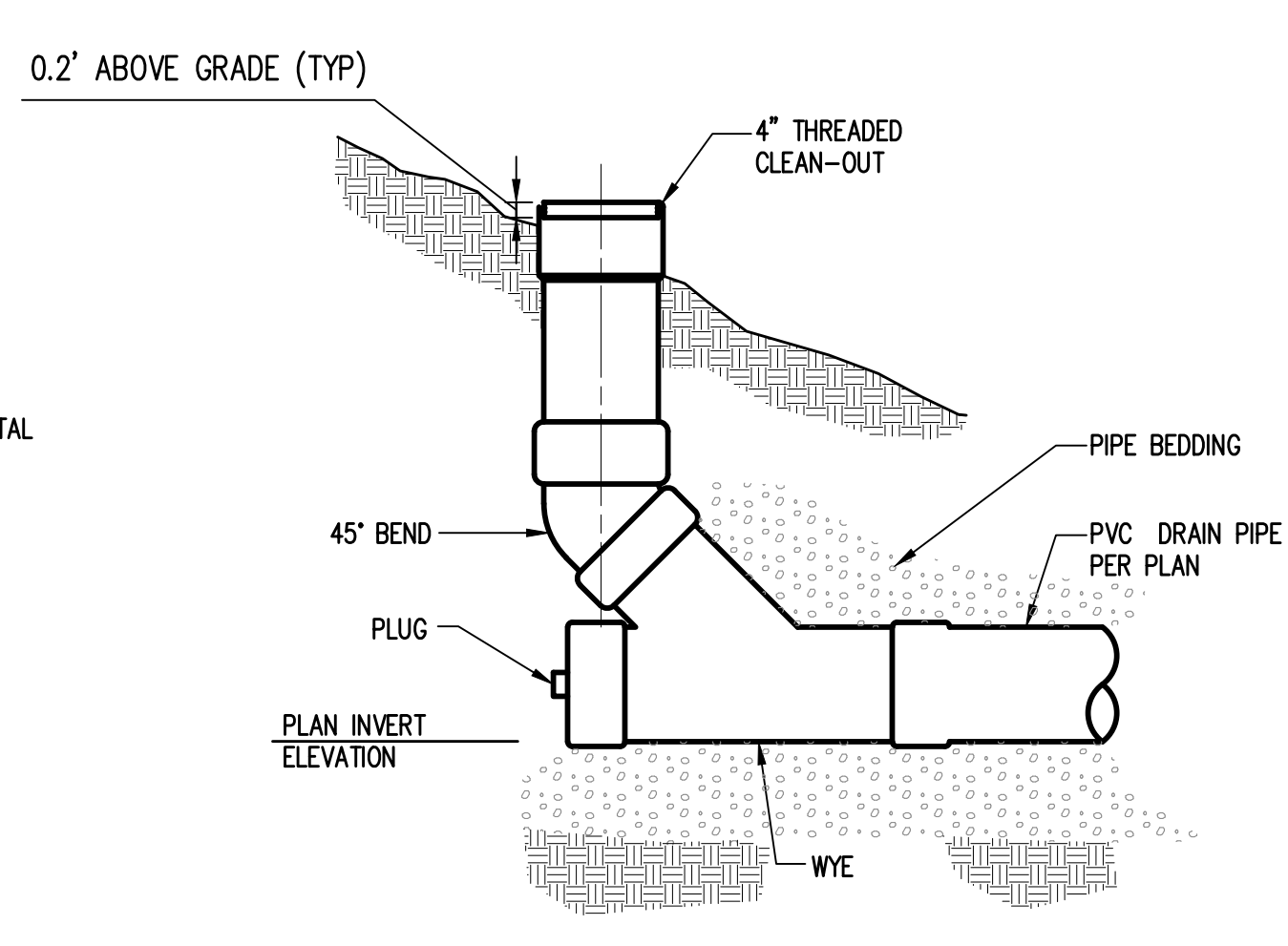


- NOTES:**
1. TYPICAL MAXIMUM SLOPE ALLOWED IS 2.5H=1V, 3H=1V MAX WHEN WITHIN 50- FEET OF INTERSECTIONS OR CURBLESS ROADWAY.
 2. BIORETENTION OVERFLOW ELEVATIONS MUST BE SET BELOW SIDEWALK ELEVATION.
 3. SCARIFY SUBGRADE AS SPECIFIED IN SPEC SECTION 7-21.3(2)B IN THE AREA SUBJECT TO TEMPORARY PONDING BEFORE BIORETENTION SOIL INSTALLATION.
 4. 12" MIN OR 18" MIN IF WATER QUALITY TREATMENT IS REQUIRED PER STORMWATER CODE REQUIREMENT.
 5. CELL MUST BE PLANTED PER APPROVED LANDSCAPE PLAN.
 6. SOIL UNDER SHOULDERS OR PAVED AREAS MUST BE UNDISTURBED NATIVE SOIL OR APPROVED SOIL COMPACTED TO 95% DENSITY.
 7. FACE OF CURB TO TOP OF SLOPE MUST BE MIN 2'-0" FOR NON-MAJOR ARTERIAL STREET, MIN 4'-0" FOR MAJOR ARTERIAL STREET.
 8. PROVIDE MIN ONE INCH GAP BETWEEN TOP OF WALKS, CURBS, PAVEMENTS AND DRIVEWAYS AND TOP OF ARBORIST WOODCHIP MULCH.

TYPICAL INFILTRATING BIORETENTION DETAIL 1
SCALE: NTS

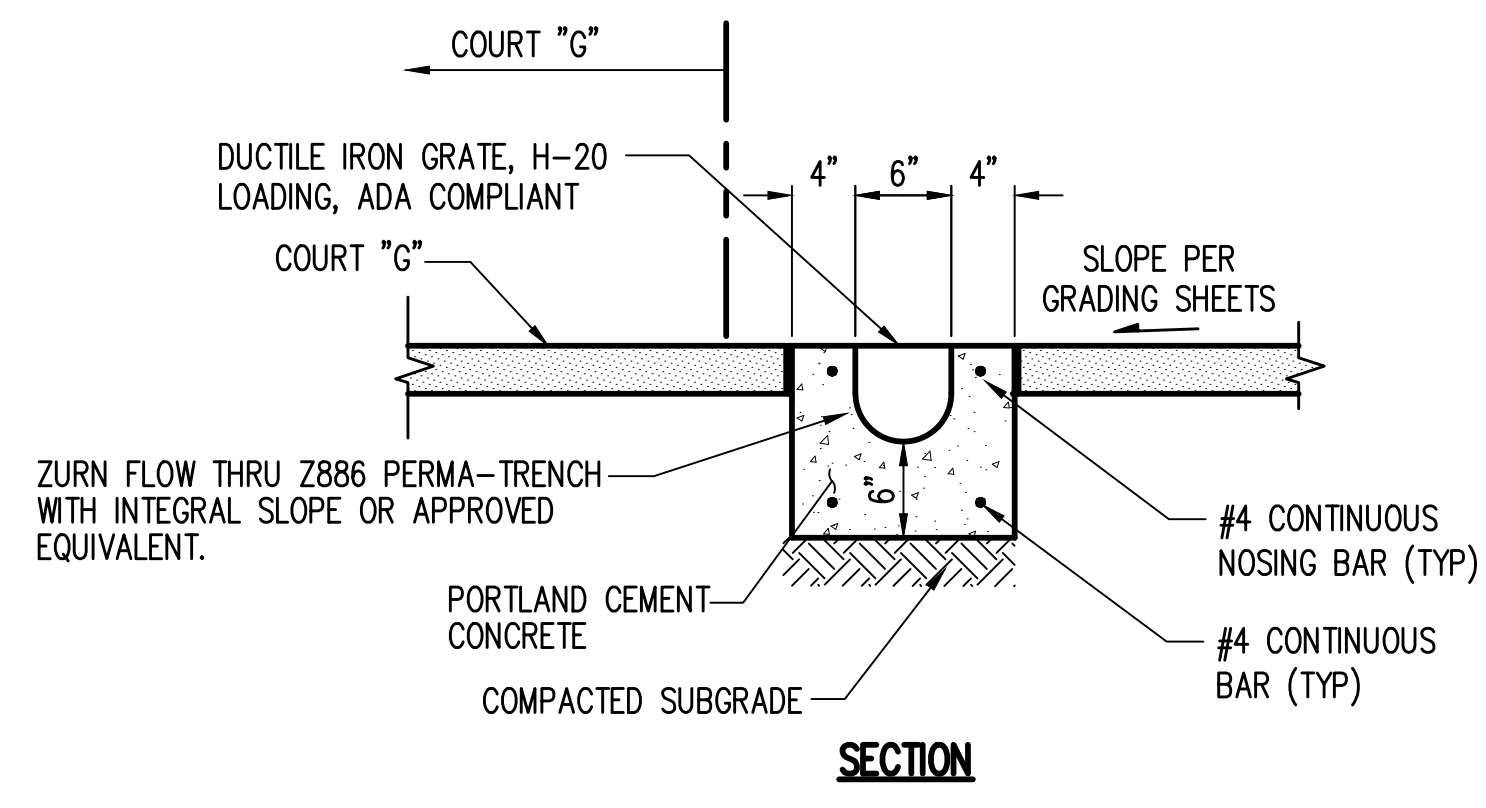


CLEANOUT IN PAVED AREAS

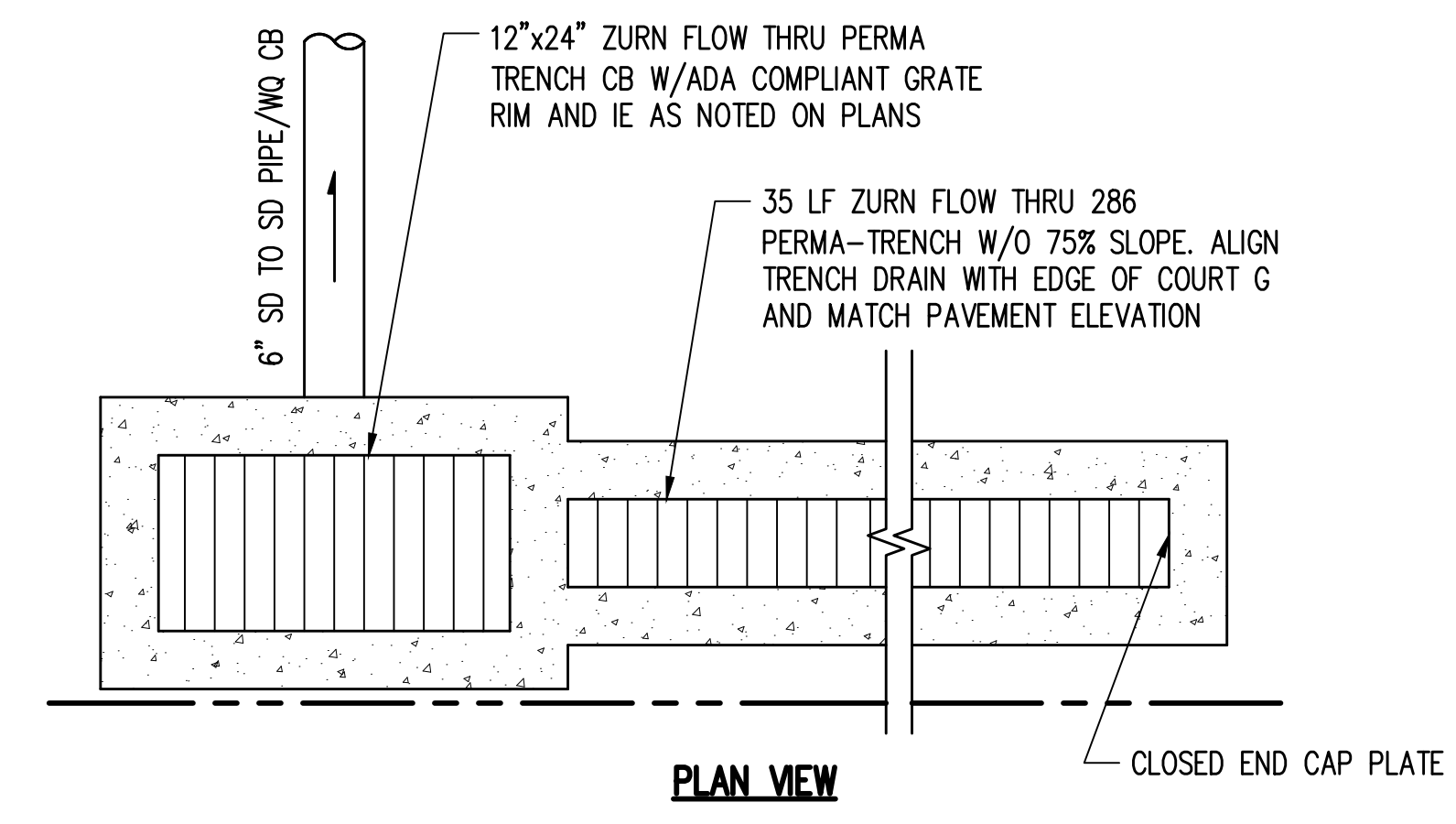


CLEANOUT IN LANDSCAPE AREA

CLEANOUT 2
NTS

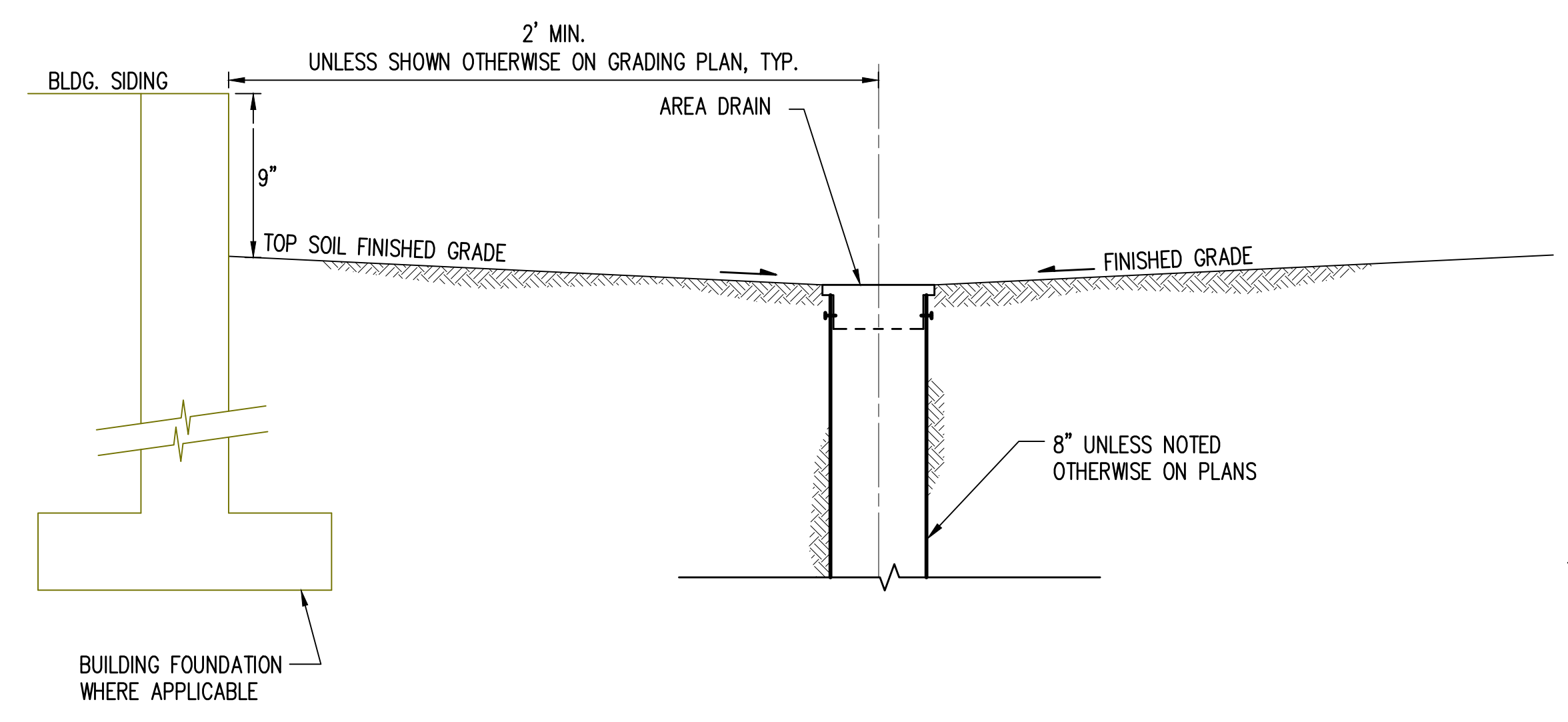


SECTION

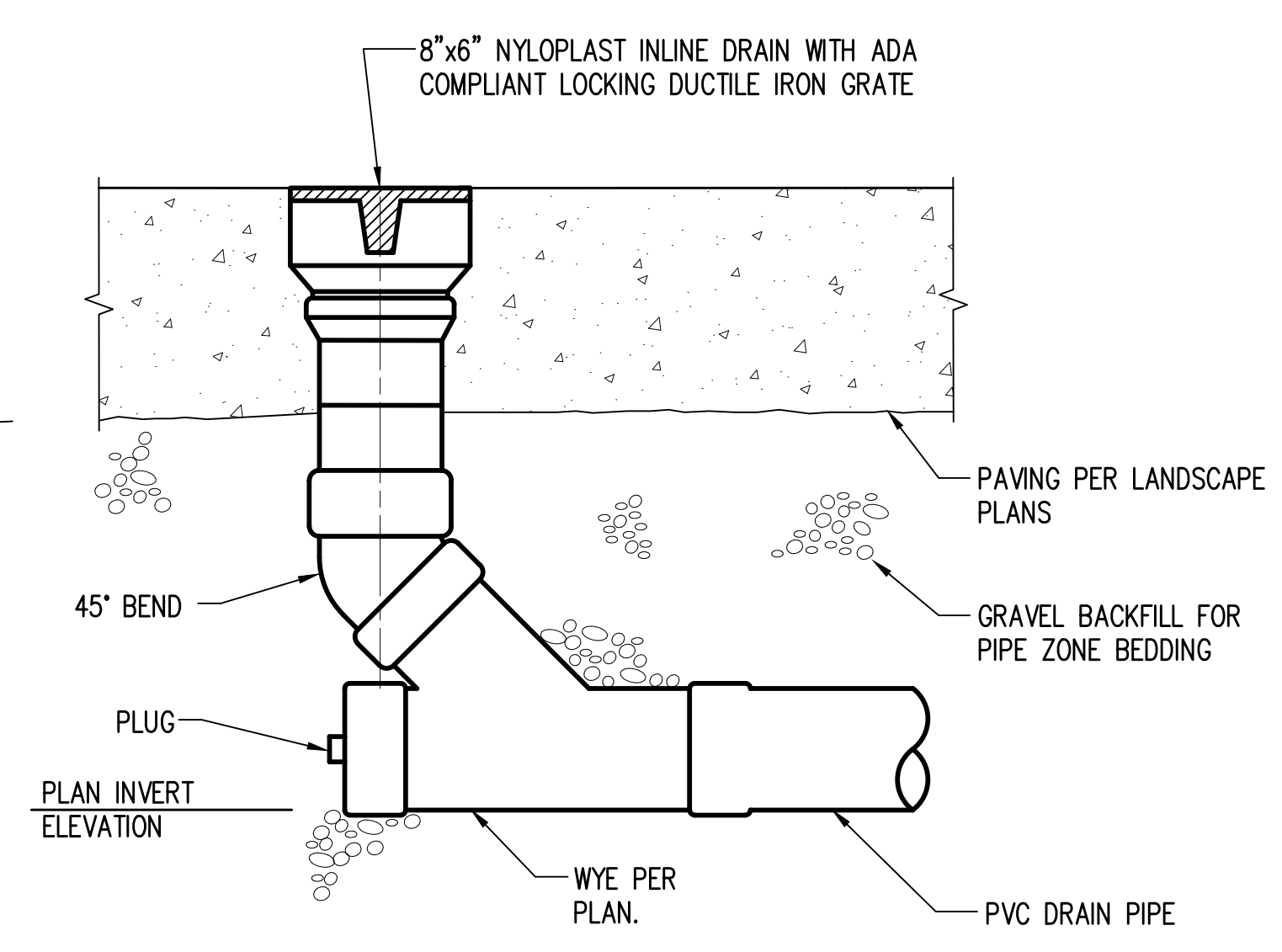


PLAN VIEW

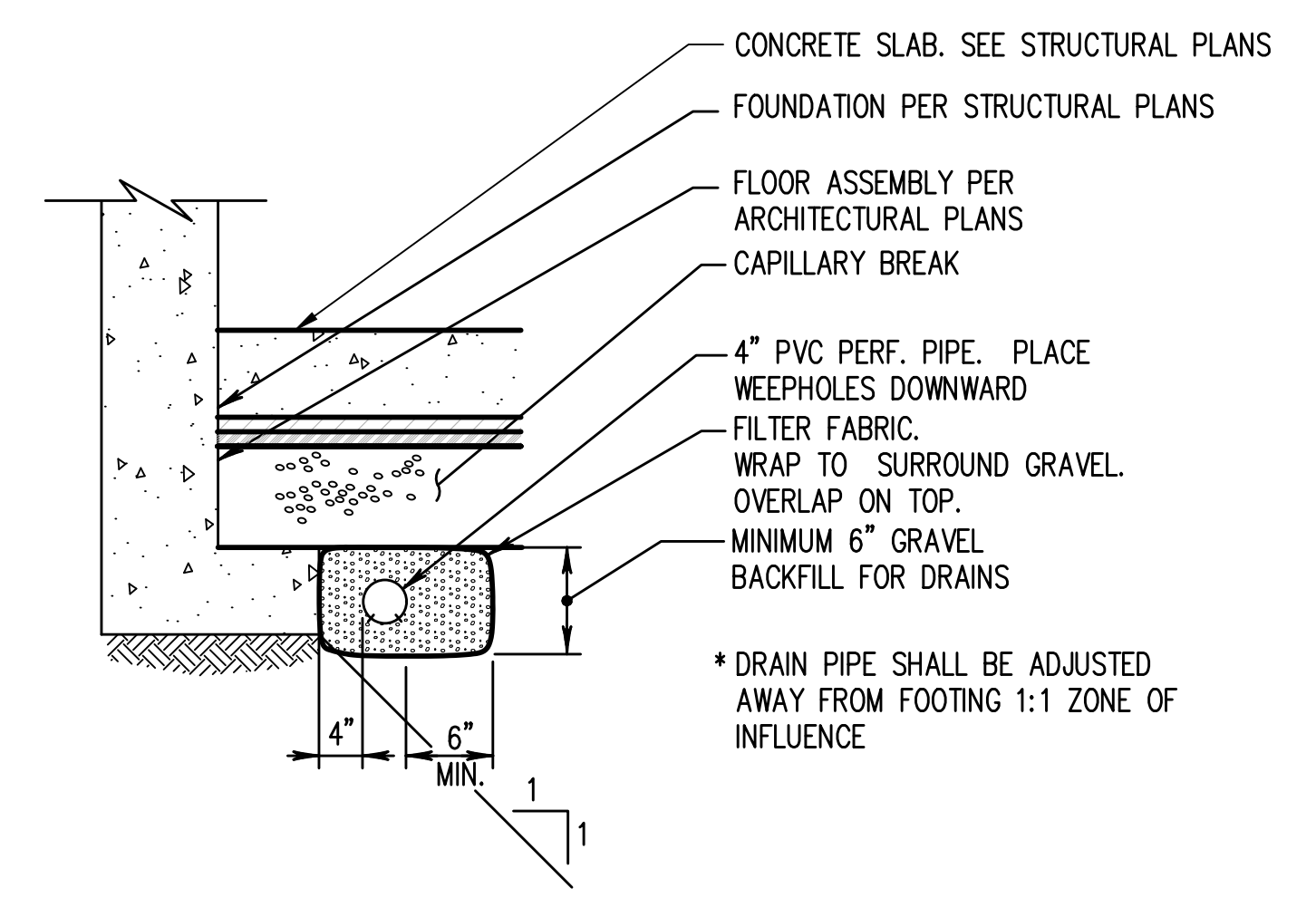
TRENCH DRAIN DETAIL 3
SCALE: 1" = 1'



AREA DRAIN AND GRATE 4
NTS



DRAIN IN HARDSCAPE AREA 5
NTS



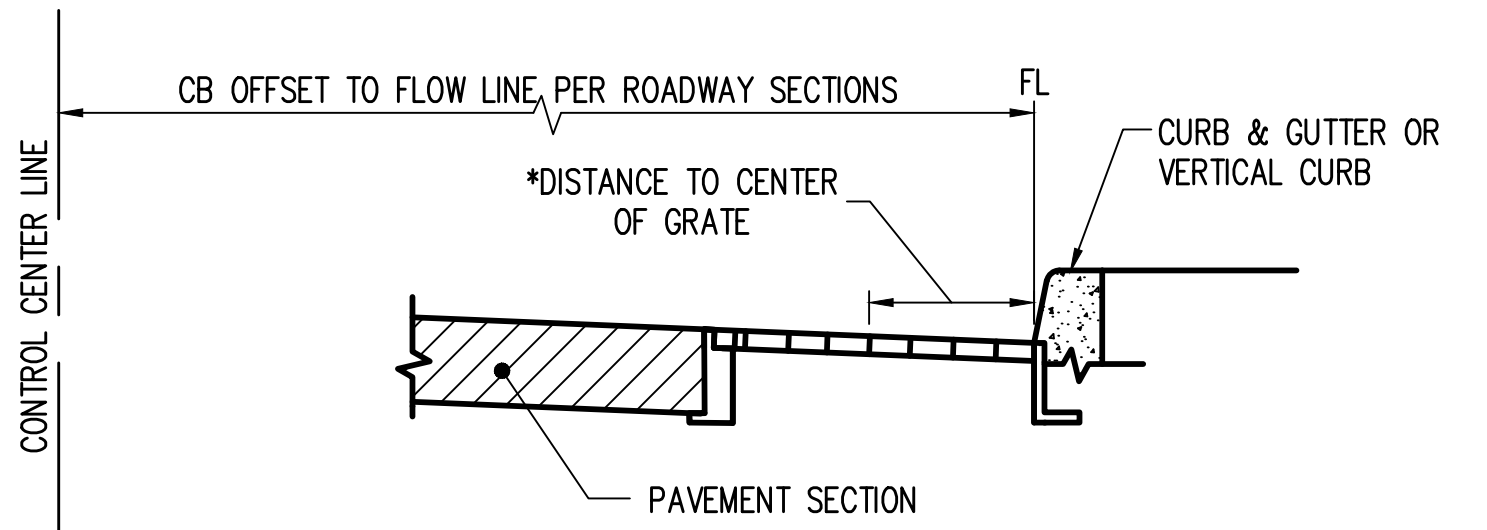
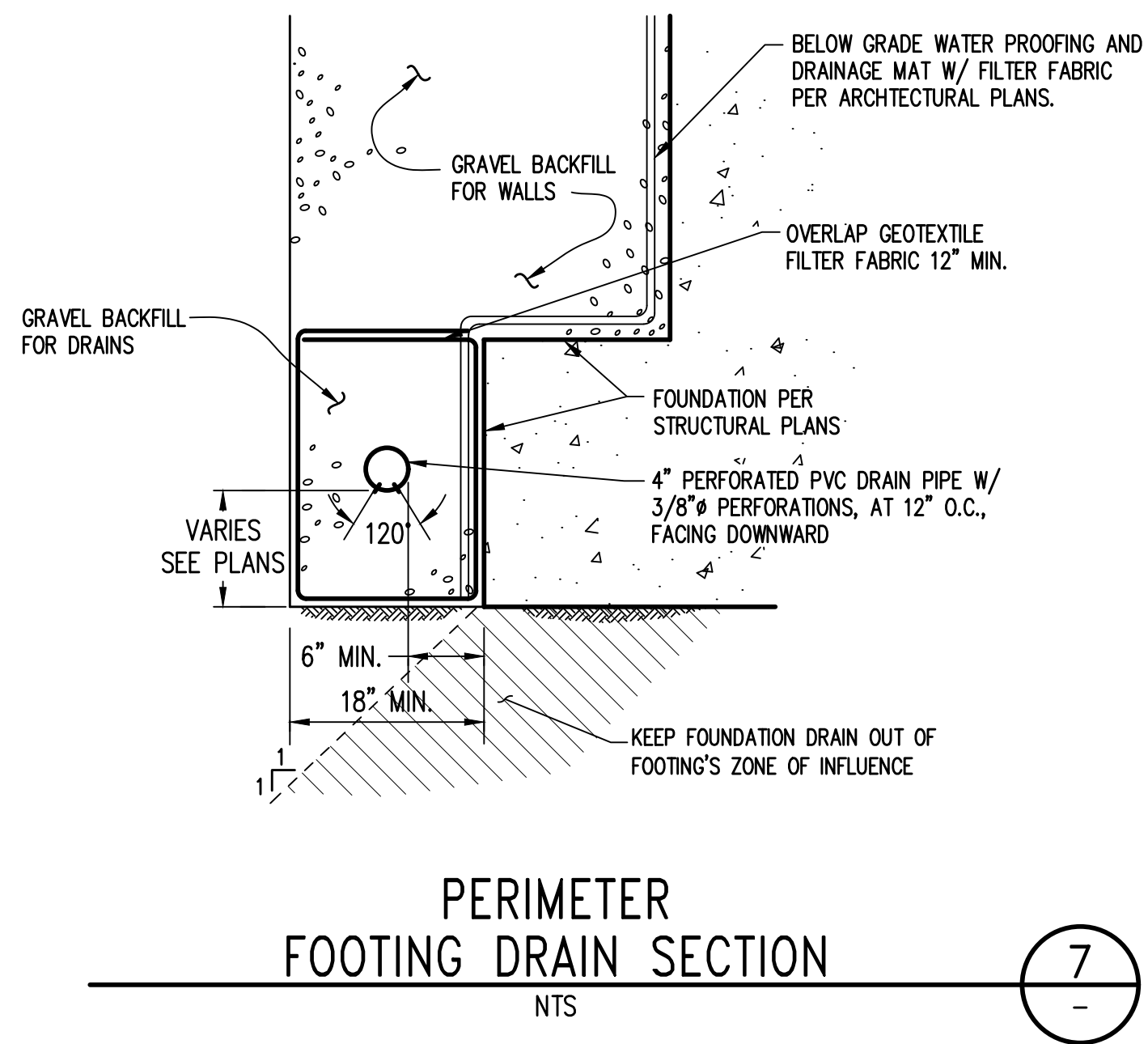
- NOTES:**
1. FOOTING DRAIN SHALL TIE INTO SITE STORM SYSTEM BY GRAVITY FLOW.

INTERIOR FOOTING DRAIN DETAIL 6
NTS

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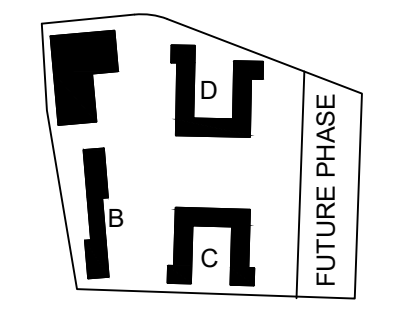
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Jun 15, 2020 - 1:02pm

D
C
B
A



- NOTES:**
1. FOR STRUCTURES NOT ADJACENT TO CURB, OFFSET IS MEASURED TO CENTER OF STRUCTURE.
 2. REFER TO COE STD DWG NO. 407 FOR STRUCTURE TO GRATE RELATIONSHIP.
 3. REFER TO COE STD DWG NOS. 307, 309 AND 343.
- * FOR THROUGH CURB INLETS, ADJUST ACCORDINGLY FOR THROUGH CURB FRAME. REFER TO COE STD DWG NO. 412

CONCRETE CURB & GUTTER OR VERTICAL CURB TYPICAL CATCH BASIN DIMENSION DETAIL 8
NTS



PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
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BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WA 98201

MARK	DATE	DESCRIPTION
REVISIONS		

C	06/05/2020	BUILDING PERMIT SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

MARK DATE DESCRIPTION
ISSUE INFORMATION

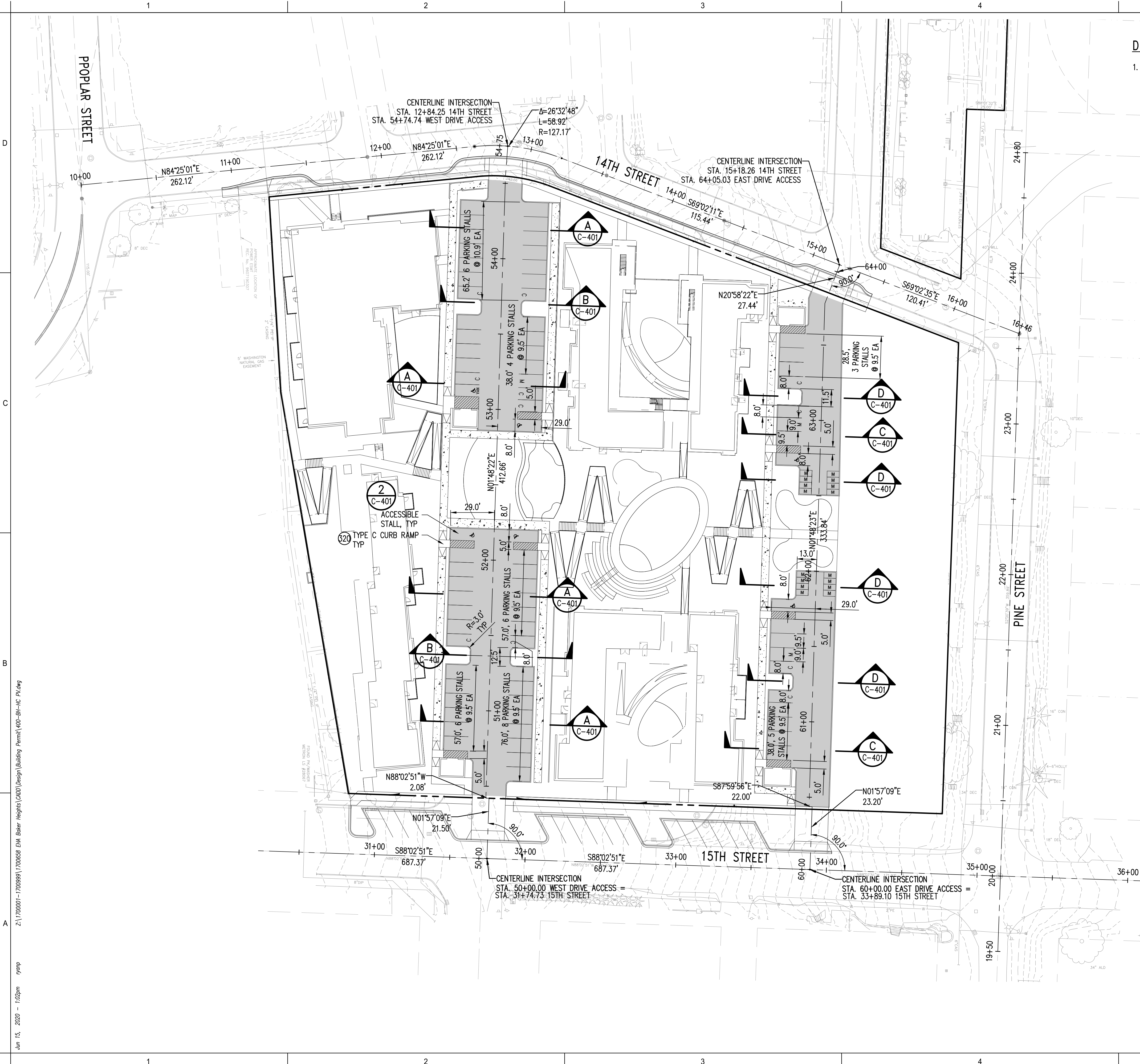
PROJECT NO.: **1700658**
GGLO PRINCIPAL IN CHARGE: AGC
GGLO PROJECT MANAGER: LES/SJZ
OWNER APPROVAL: _____

SHEET TITLE
STORM DRAINAGE DETAILS

SHEET NO.
C-308

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Jun 15, 2020 - 1:02pm rnanp

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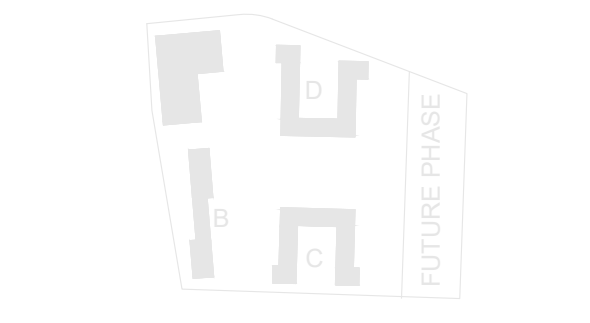


DEMOLITION AND CLEARING NOTES

1. PARKING LOTS AND ADJACENT PARKING LOT ELEMENTS ARE LOCATED BASED ON STATION LINE FROM 15TH STREET. REFER TO ARCHITECT AND LANDSCAPE PLANS FOR LOCATION OF ALL BUILDINGS AND SURFACE IMPROVEMENTS OUTSIDE THE PARKING LOT.



1301 First Avenue, Suite 301
Seattle, WA 98101
<http://www.gglo.com>



PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
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BUILDING D: 2810 14th STREET
EVERETT, WA 98201
OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WA 98201

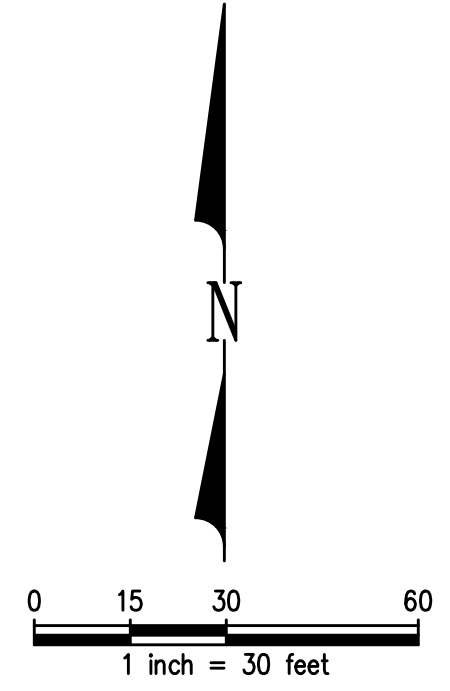
MARK	DATE	DESCRIPTION
REVISIONS		

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MARK	DATE	DESCRIPTION
ISSUE INFORMATION		
PROJECT NO.:	1700658	
GGLO PRINCIPAL IN CHARGE:	AGC	
GGLO PROJECT MANAGER:	LES/SJZ	
OWNER APPROVAL:		

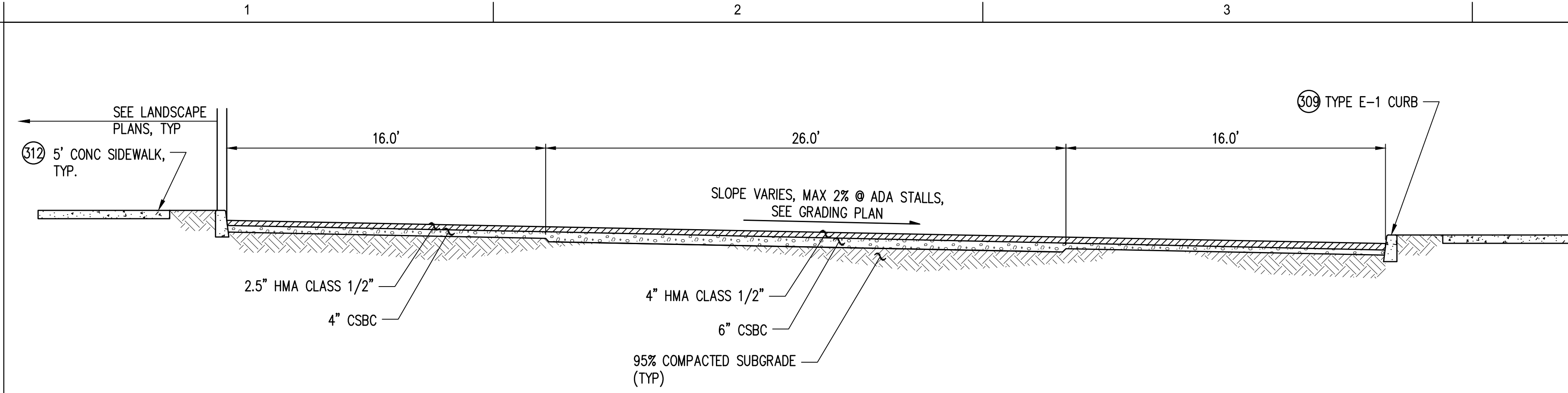
SHEET TITLE
ON-SITE HORIZONTAL CONTROL AND PAVING PLAN

SHEET NO.
C-400

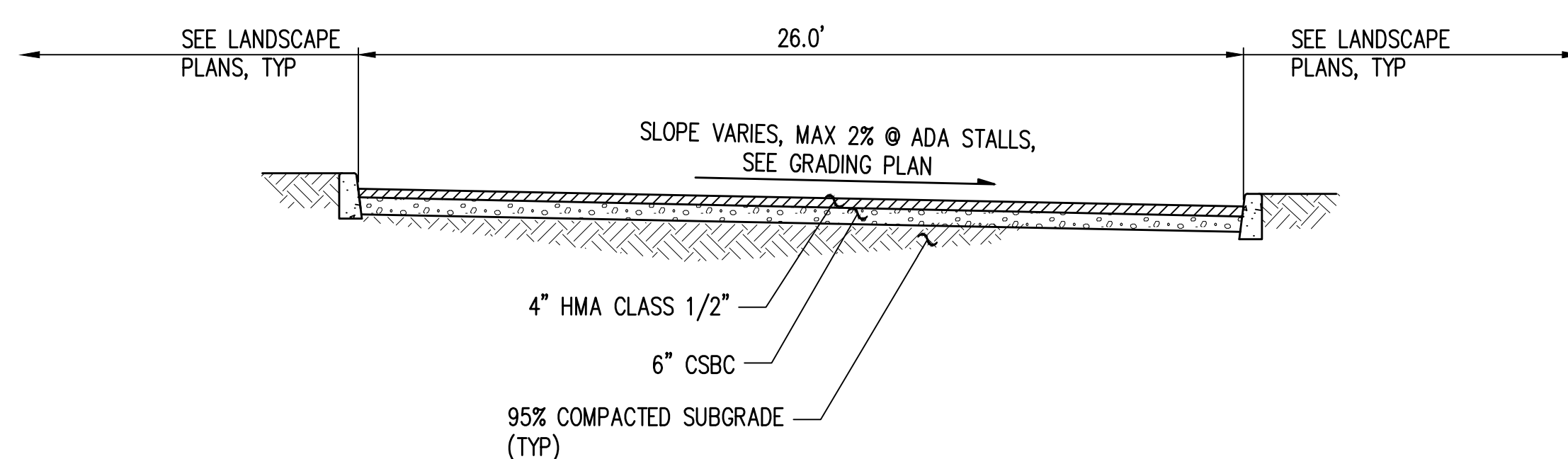


PUBLIC WORKS/BUILDING PERMIT SUBMITTAL

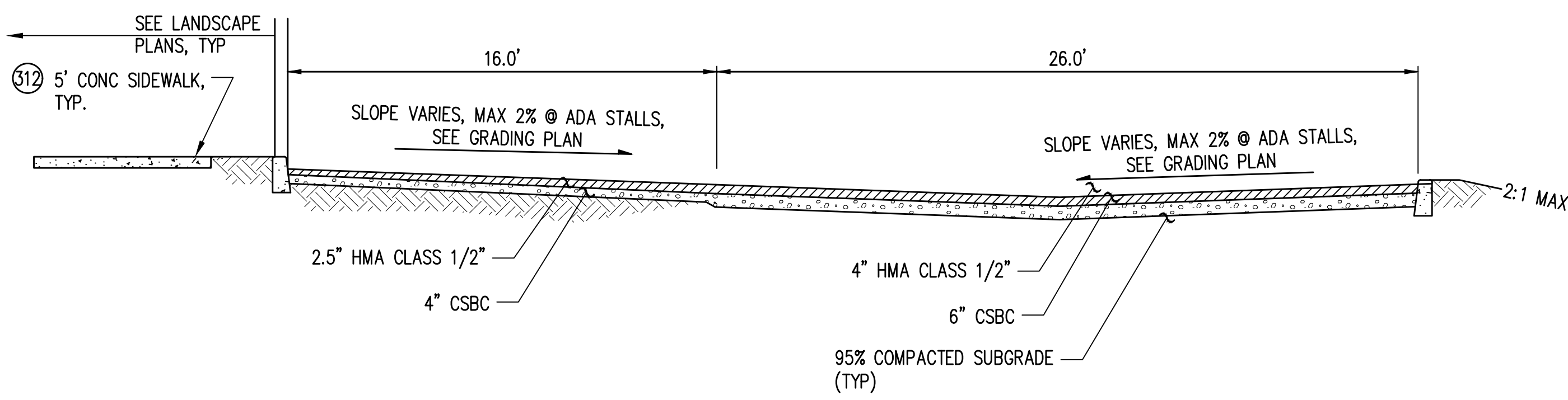
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Jun 15, 2020 - 1:02pm rmp



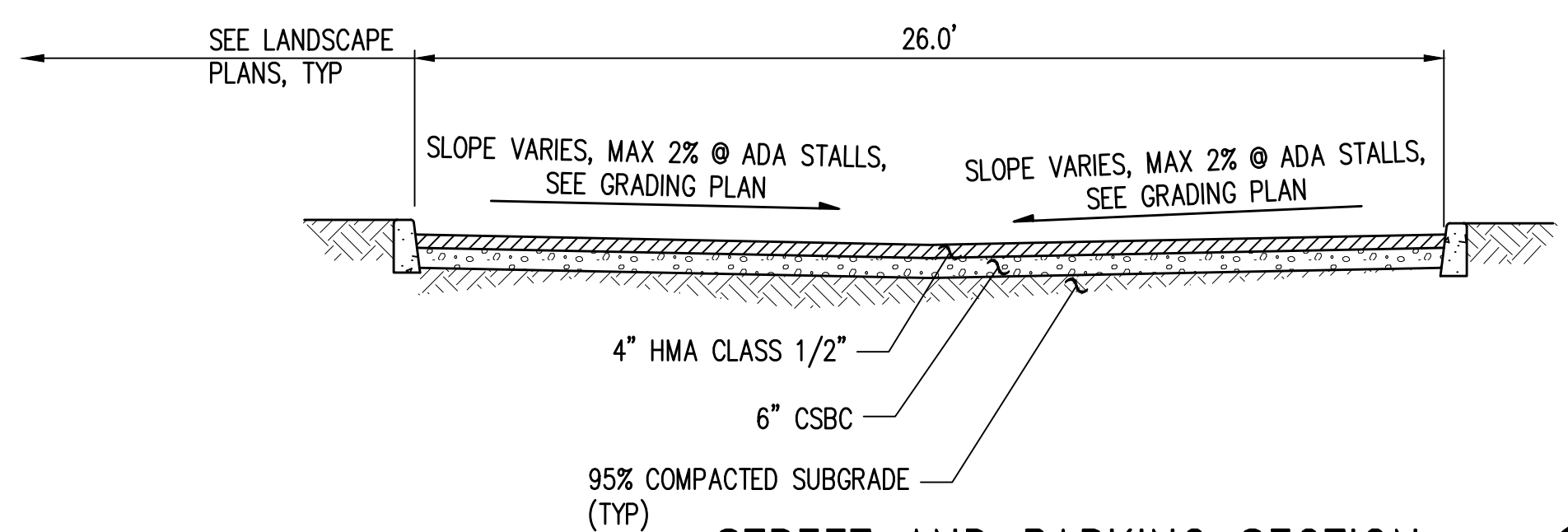
PAVING THRU PARKING LOT SECTION A
SCALE: 1" = 4'



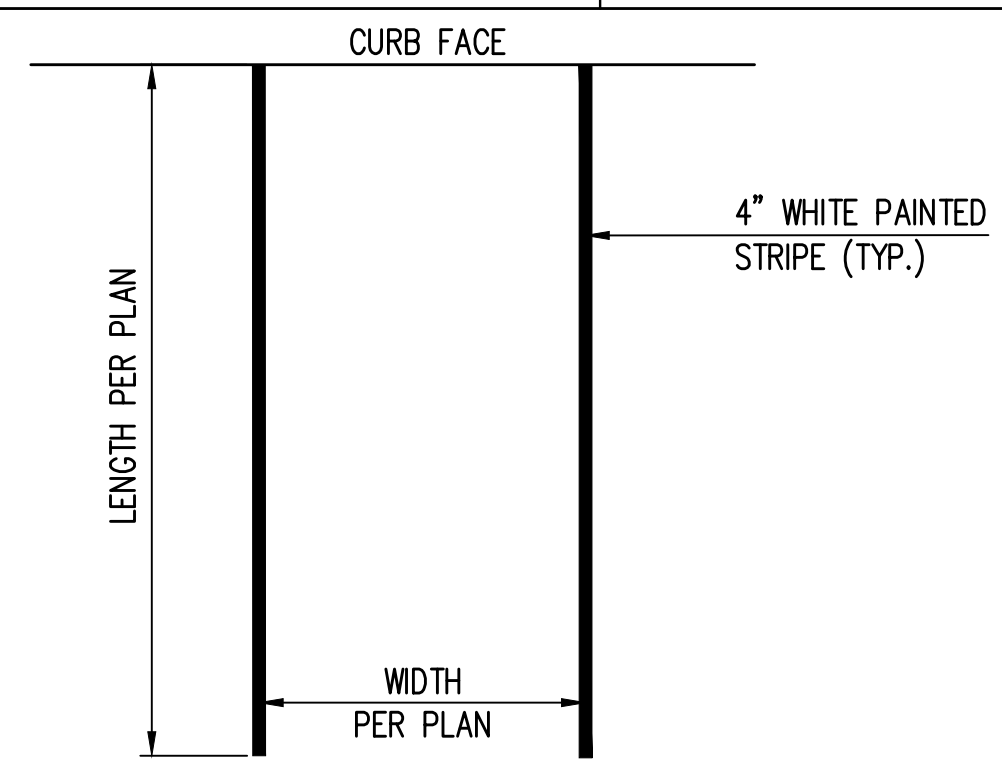
STREET AND PARKING SECTION B
SCALE: 1" = 4'



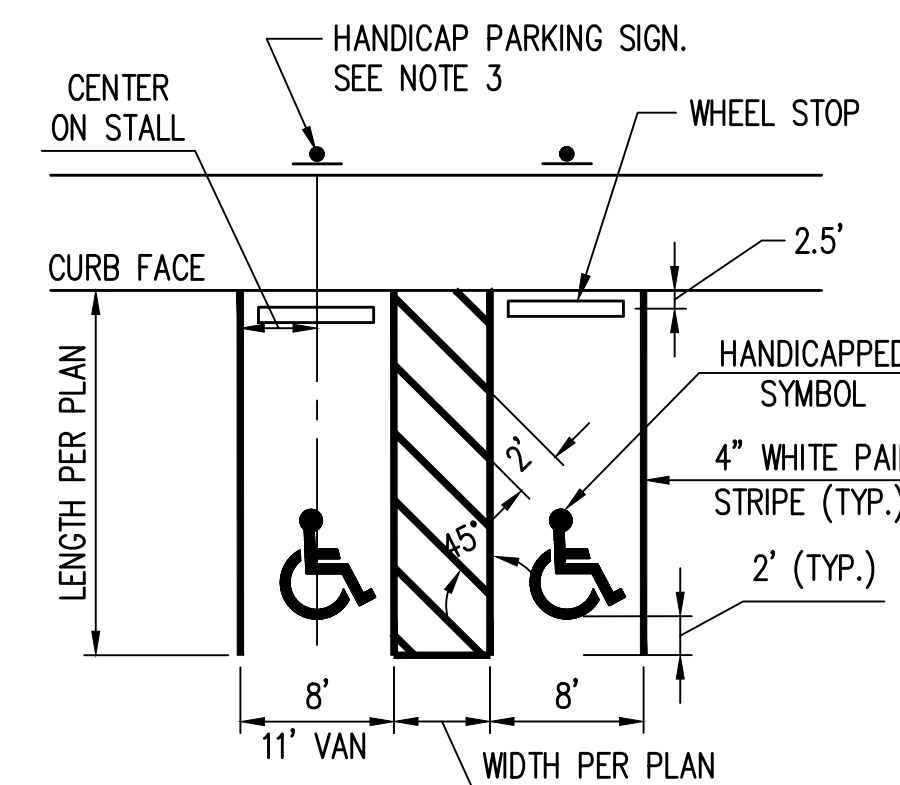
PAVING THRU PARKING LOT SECTION C
SCALE: 1" = 4'



STREET AND PARKING SECTION D
SCALE: 1" = 4'

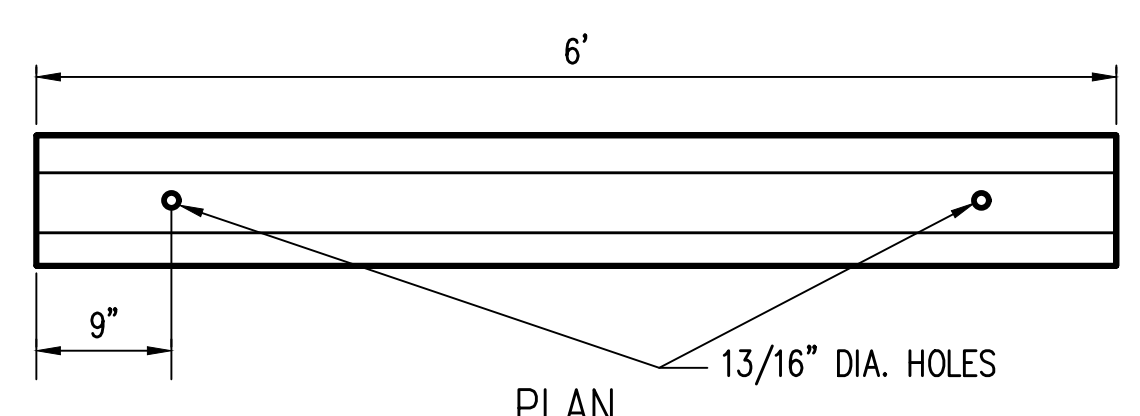
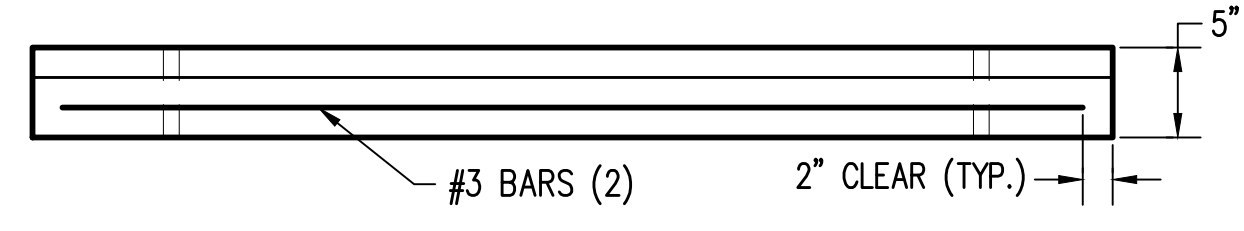


STANDARD PARKING STALL 1
NTS



ACCESSIBLE PARKING STALL 2
SCALE: 1" = 10'

- NOTES:**
- R7-801 SIGN INDICATING A PARKING SPACE OR STALL FOR A PHYSICALLY DISABLED PERSON SHALL BE INSTALLED BETWEEN 36" AND 84" ABOVE THE SIDEWALK SURFACE.
 - AN ACCESS PARKING SPACE SYMBOL, PER WSDOT STD PLAN H-5C IS REQUIRED FOR EACH ACCESSIBLE PARKING STALL. A BLUE BACKGROUND AND WHITE BORDER ARE REQUIRED WHEN THE SYMBOL IS INSTALLED ON A CEMENT CONCRETE SURFACE.
 - FIELD VERIFY THE EXACT LOCATION OF THE HANDICAP PARKING SIGN WITH RESPECT TO THE ADA RAMP AND SIDEWALK.



PRECAST CURB BUMPER

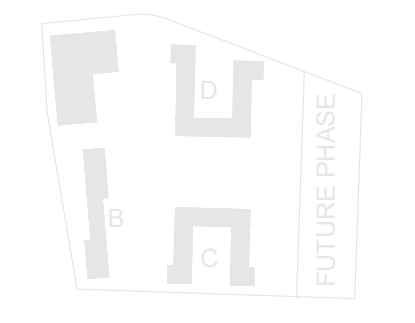


ATTACHMENT DETAIL

- NOTES:**
- THE NON-SHRINK GROUT USED TO ATTACH THE PRECAST CURB SHALL CONSIST OF 3:1 SAND AND CEMENT. GROUT TO A DEPTH OF 1" FROM THE TOP OF THE BUMPER.
 - LOCATIONS FOR WEEPHOLES, AND V-SLOTS SHALL BE IDENTIFIED ON THE DELIVERY ORDER DRAWINGS.
 - CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.



WHEEL STOP 3
NTS



PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY
06.15.2020

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WA 98201

MARK	DATE	DESCRIPTION
REVISIONS		

C	06/05/2020	BUILDING PERMIT SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

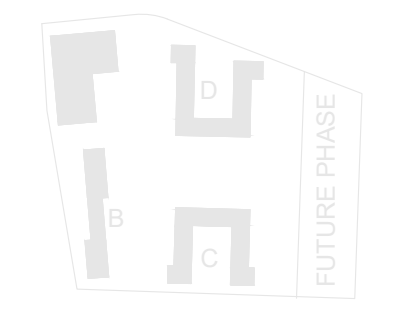
PROJECT NO.: **1700658**
GGLO PRINCIPAL IN CHARGE: **AGC**
GGLO PROJECT MANAGER: **LES/SJZ**
OWNER APPROVAL:

SHEET TITLE:
ON-SITE PAVING SECTIONS AND DETAILS

SHEET NO.:
C-401

PUBLIC WORKS/BUILDING PERMIT SUBMITTAL

Z:\1700001-1700999\1700658 EHA Baker Heights (CAD)\Design\Building Permit\1400-BH-HC-PA.dwg
Jun 15, 2020 - 1:02pm nmp



PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
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BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WA 98201

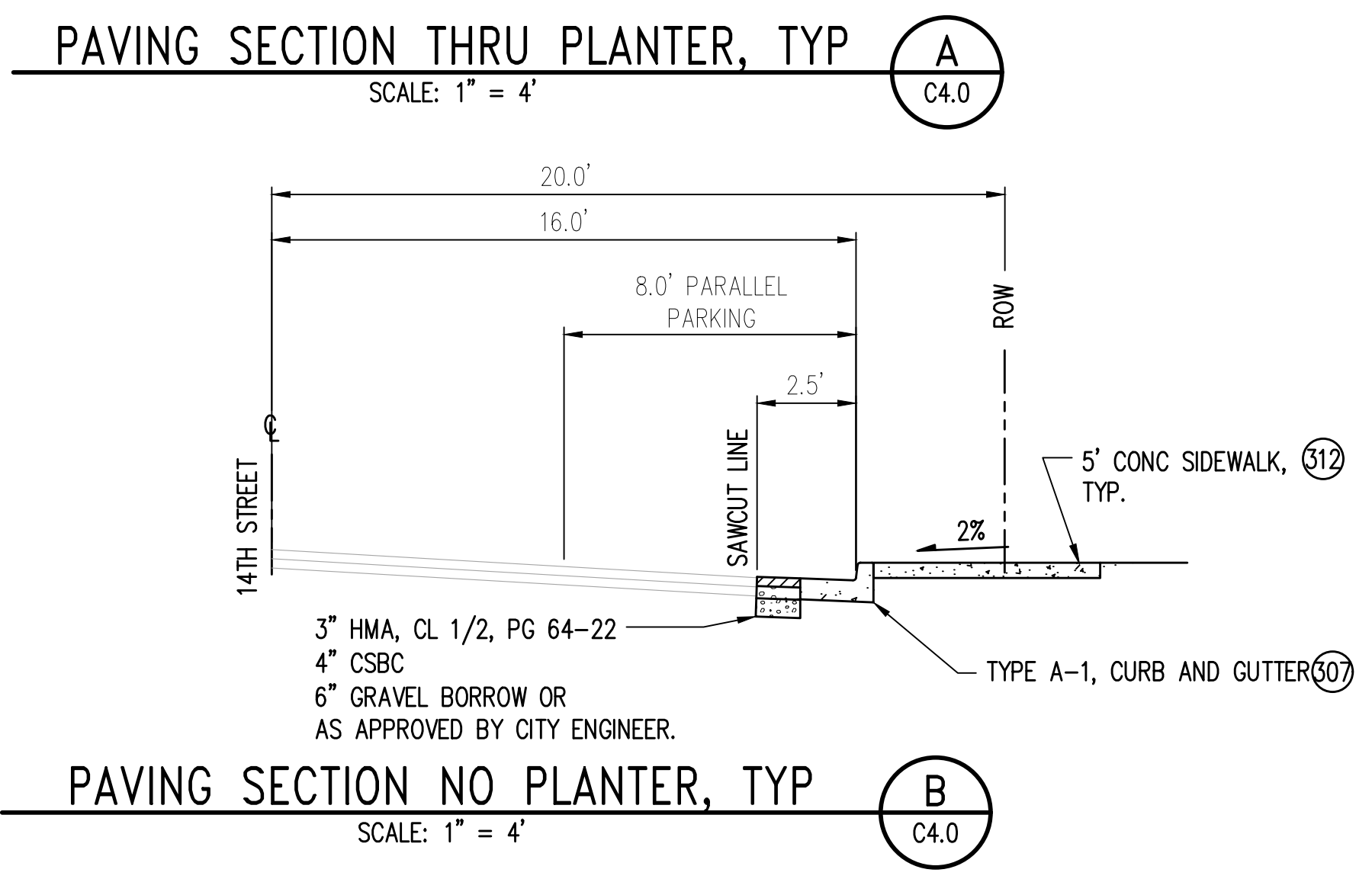
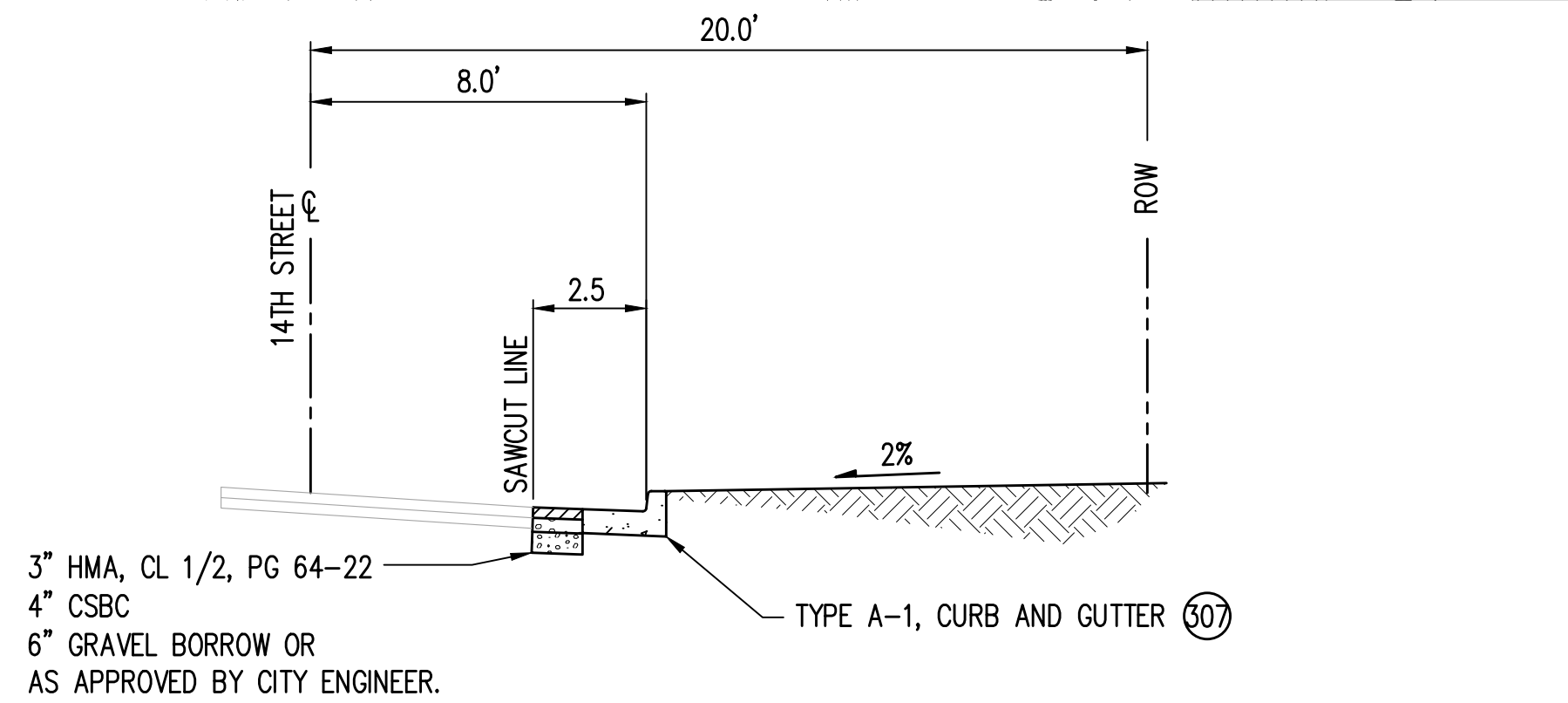
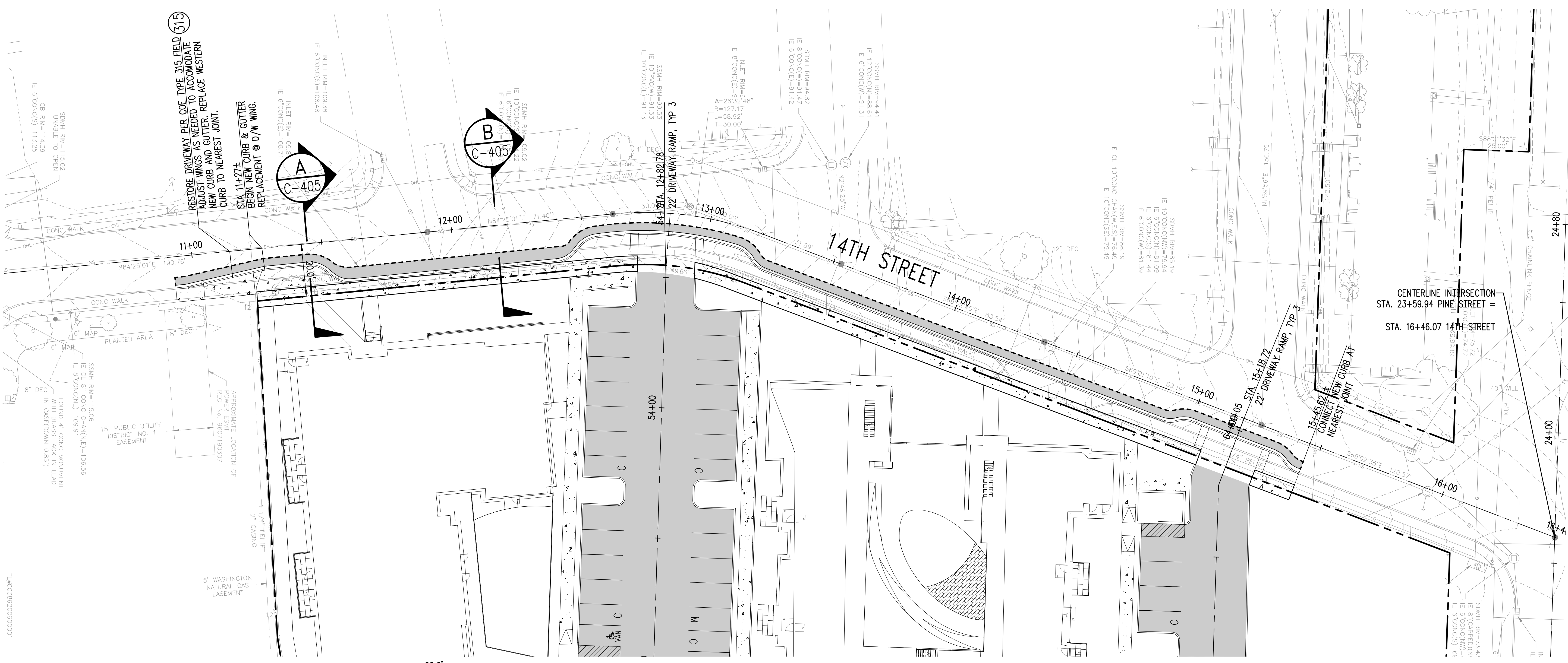
MARK	DATE	DESCRIPTION
REVISIONS		

C	06/05/2020	BUILDING PERMIT SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

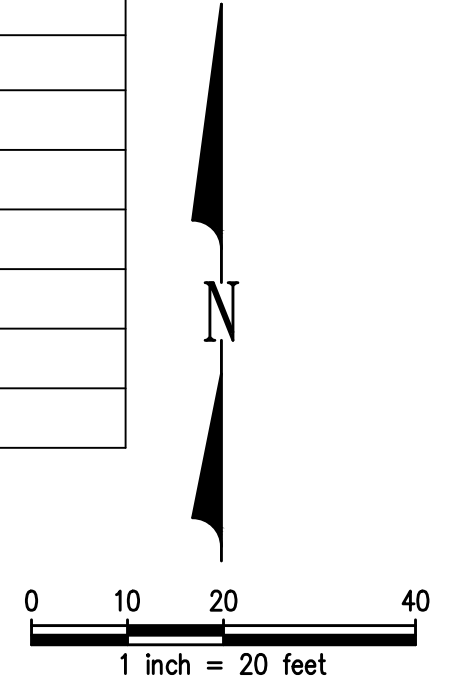
PROJECT NO.: **1700658**
GGLO PRINCIPAL IN CHARGE: AGC
GGLO PROJECT MANAGER: LES/SJZ
OWNER APPROVAL:

SHEET TITLE
14TH STREET - HORIZONTAL CONTROL AND PAVING PLAN AND SECTIONS

SHEET NO.
C-405



STREET IMPROVEMENTS HORIZONTAL CONTROL WEST TO EAST DIRECTION				
STATION	OFFSET	INFLECTION POINT	RADII	NOTES/DESCRIPTION
11+44.54	8.00' RT	PT/PC	-	
-	-	INT. RADIUS	10'	
11+52.92	13.07' RT	PRC	-	
-	-	EXT. RADIUS	10'	
11+59.99	16.00' RT	PC/PT	-	
12+39.04	16.00' RT	PC/PT	-	
12+48.61	11.28' RT	PRC	-	
-	-	INT. RADIUS	10'	
12+55.33	8.00' RT	PC/PT	-	
-	-	EXT. RADIUS	10'	
13+12.59	8.00' RT	PC/PT	-	
-	-	EXT. RADIUS	10	
13+20.08	10.53' RT	PRC	-	
-	-	INT. RADIUS	10'	
13+27.66	12.82' RT	PT/PC	-	
14+89.52	11.24' RT	PT/PC	-	
-	-	INT. RADIUS	10'	
14+94.72	9.88' RT	PRC	-	
-	-	EXT. RADIUS	10'	
15+00.56	7.99' RT	PT/PC	-	
15+33.95	8.01' RT	PT/PC	-	
-	-	EXT. RADIUS	10'	
15+38.91	9.69' RT	PRC	-	
-	-	INT. RADIUS	10'	
15+45.65	11.39' RT	PT/PC	-	



PUBLIC WORKS/BUILDING PERMIT SUBMITTAL

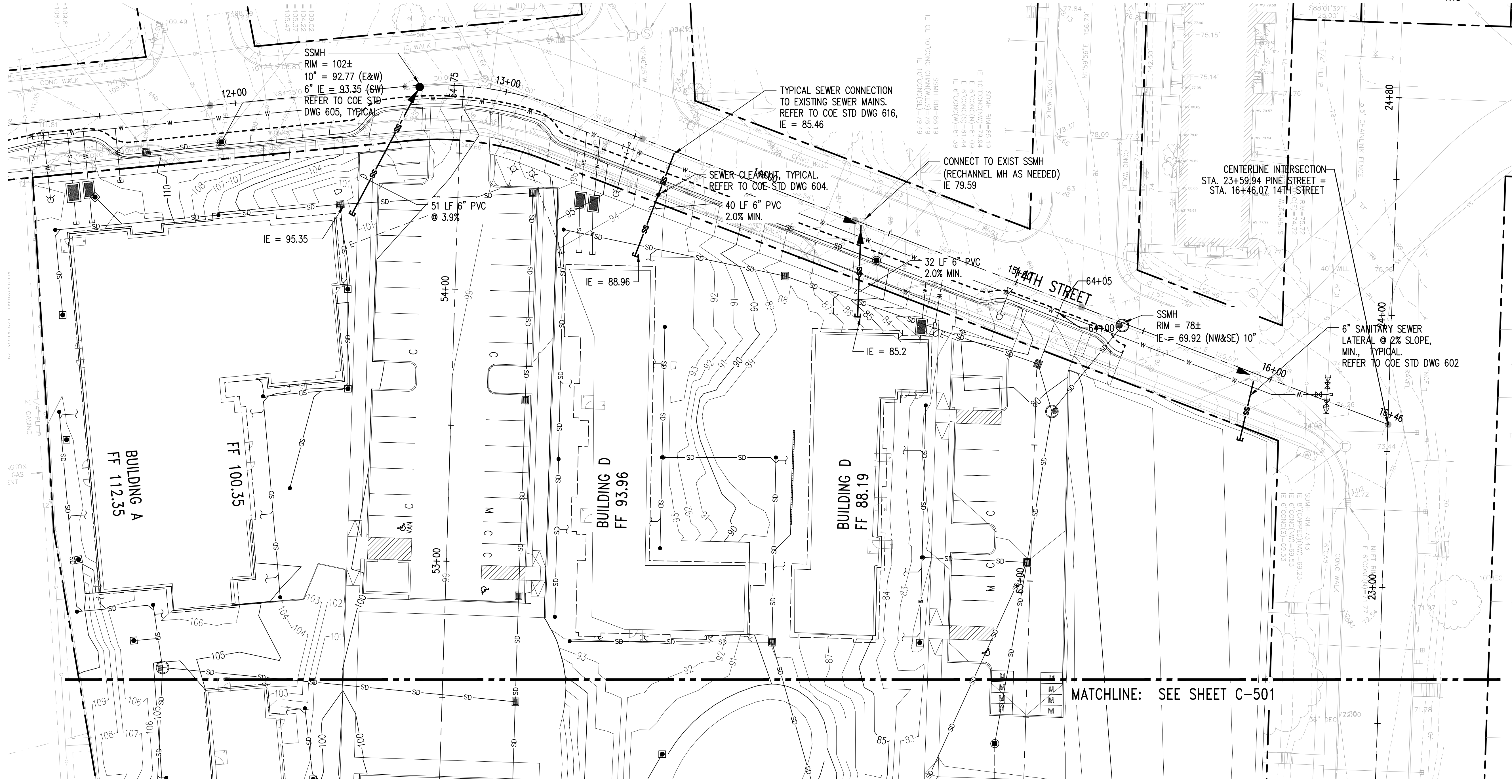
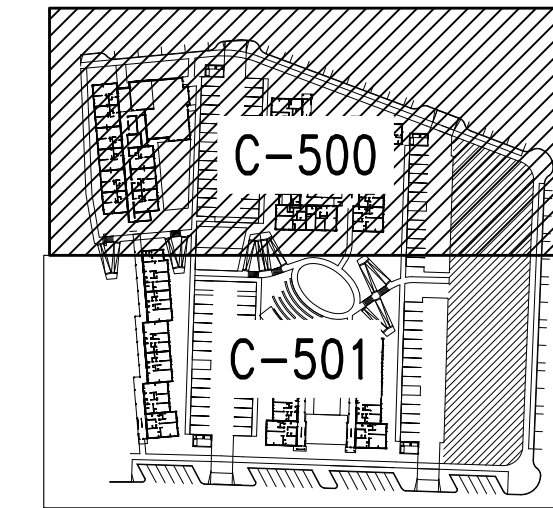
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COE SANITARY SEWER PLAN NOTES:

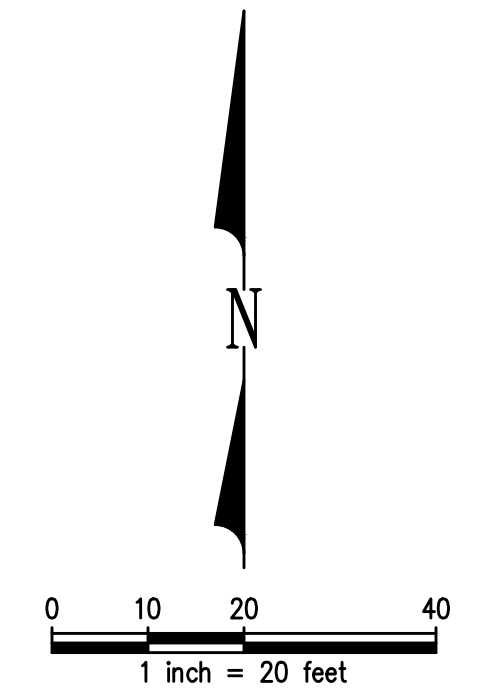
- A. ALL WORK AND MATERIALS SHALL CONFORM TO THE CITY OF EVERETT STANDARDS AND WSDOT/APWA STANDARD SPECIFICATIONS.
- B. NO PART OF THE SANITARY SEWER SYSTEM SHALL BE COVERED, CONCEALED OR PUT INTO USE UNTIL IT HAS BEEN TESTED, INSPECTED, AND APPROVED BY THE CITY INSPECTOR.
- C. APPROXIMATE LOCATIONS OF EXISTING UTILITIES HAVE BEEN OBTAINED FROM AVAILABLE RECORDS AND ARE SHOWN FOR CONVENIENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF LOCATIONS AND TO AVOID DAMAGE TO ANY ADDITIONAL UTILITIES NOT SHOWN. IF CONFLICTS WITH EXISTING UTILITIES ARISE DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE PUBLIC WORKS INSPECTOR AND ANY CHANGES REQUIRED SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO COMMENCEMENT OF RELATED CONSTRUCTION ON THE PROJECT.
- D. ALL SEWER MAIN EXTENSIONS WITHIN THE PUBLIC RIGHT-OF-WAY OR IN EASEMENTS MUST BE STAKED BY SURVEY FOR LINE AND GRADE PRIOR TO STARTING CONSTRUCTION.

SANITARY SEWER SYSTEM NOTE:

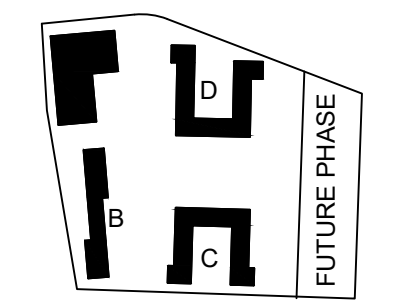
VACATION OF LARCH AND FIR STREETS [BETWEEN 14TH AND 15TH STREETS] REQUIRED THE REMOVAL OF EXISTING SANITARY SEWER INFRASTRUCTURE TO PLACE FUTURE BUILDINGS, AS NOTED IN THE SITE DEMOLITION PLANS. SOME OF THE EXISTING SANITARY SEWER PIPING IS REUSED WHENEVER POSSIBLE TO SERVICE THE PROPOSED BUILDINGS; HOWEVER, A SANITARY SEWER SERVICE SOUTH OF 15TH STREET [FRONTING FIR STREET] APPEARS TO DRAIN TO THE EXISTING MAIN DEMOLISHED WITH THE VACATION OF FIR STREET. THE CITY OF EVERETT PUBLIC WORKS DEPARTMENT WILL NEED TO DECIDE HOW THIS LINE SHALL BE REROUTED TO MAINTAIN UNINTERRUPTED SERVICE. WE HAVE NOTED A POTENTIAL REROUTE TO THE EAST ALONG 15TH STREET; HOWEVER, THIS SCOPE MAY NOT HAVE BEEN INCLUDED IN THE OVERALL PROJECT'S DESIGN OR CONSTRUCTION SCOPE. EHA REPRESENTATIVE SHOULD ENQUIRE AS TO WHETHER THE CITY MAY HAVE FUNDS ALLOCATED FOR THIS PUBLIC WORKS IMPROVEMENT.



MATCHLINE: SEE SHEET C-501



GGLO DESIGN
 1301 First Avenue, Suite 301
 Seattle, WA 98101
<http://www.gglo.com>



BRETT G. CLIBBERO
 STATE OF WASHINGTON
 32120
 PROFESSIONAL ENGINEER
 06.15.2020

PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
 BUILDING A: 2710 14th STREET
 BUILDING B: 2715 15th STREET
 BUILDING C: 2815 15th STREET
 BUILDING D: 2810 14th STREET
 EVERETT, WA 98201
 OWNER:
 EVERETT HOUSING AUTHORITY
 3107 COLBY AVENUE
 EVERETT, WA 98201

MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
C	06/05/2020	BUILDING PERMIT SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **1700658**
 GGLO PRINCIPAL IN CHARGE: AGC
 GGLO PROJECT MANAGER: LES/SJZ
 OWNER APPROVAL:

SHEET TITLE
SANITARY SEWER PLAN

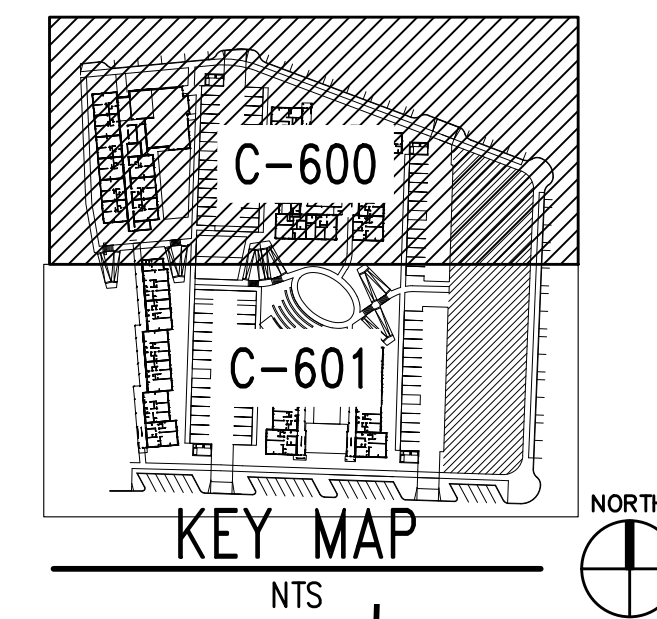
SHEET NO.
C-500

PUBLIC WORKS/BUILDING PERMIT SUBMITTAL

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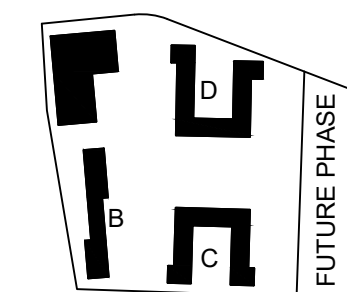
WATER PLAN NOTES:

- A. NO CONNECTION TO THE EXISTING MAINS WILL BE ALLOWED EXCEPT BY MEANS OF AN APPROVED BACKFLOW PREVENTION DEVICE PRIOR TO SATISFACTORY FLUSHING, TESTING, DISINFECTION, AND RECEIPT OF SATISFACTORY BACTERIOLOGICAL TEST RESULTS.
- B. CONNECTIONS TO AND TAPS ON EXISTING MAINS WILL BE MADE BY THE PUBLIC WORKS DEPARTMENT AT THE DEVELOPER'S EXPENSE. THE PUBLIC WORKS DEPARTMENT SHALL BE GIVEN AT LEAST 5 BUSINESS DAYS NOTICE FOR EACH CONNECTION. THE PUBLIC WORKS DEPARTMENT SHALL THEREAFTER DETERMINE THE DATE AND TIME AT WHICH THE CONNECTION SHALL BE MADE.
- C. ALL WORK AND MATERIALS MUST CONFORM TO CITY OF EVERETT STANDARDS.
- D. A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE CITY PRIOR TO THE START OF CONSTRUCTION. THE CITY OF EVERETT PUBLIC WORKS CONSTRUCTION DIVISION MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- E. THE DEVELOPER OR THE DEVELOPER'S AUTHORIZED AGENT SHALL NOTIFY THE PUBLIC WORKS DEPARTMENT OF A PERSON WHO CAN BE CONTACTED REGARDING PROBLEMS DURING CONSTRUCTION ON A 24 HOUR BASIS.
- F. MAINTAIN A MINIMUM OF 10 FEET HORIZONTAL AND 12 INCHES VERTICAL SEPARATION BETWEEN POTABLE AND NON-POTABLE CONVEYANCE SYSTEMS.
- G. ALL CITY OF EVERETT VALVES SHALL BE OPERATED BY PUBLIC WORKS DEPARTMENT PERSONNEL ONLY. ALL VALVES, NEW AND EXISTING, SHALL BE ACCESSIBLE AT ALL TIMES.



GGLO DESIGN

1301 First Avenue, Suite 301
Seattle, WA 98101
<http://www.gglo.com>



PROJECT:
EHA BAKER HEIGHTS



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BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
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3107 COLBY AVENUE
EVERETT, WA 98201

MARK	DATE	DESCRIPTION
REVISIONS		

C	06/05/2020	BUILDING PERMIT SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

MARK	DATE	DESCRIPTION
ISSUE INFORMATION		

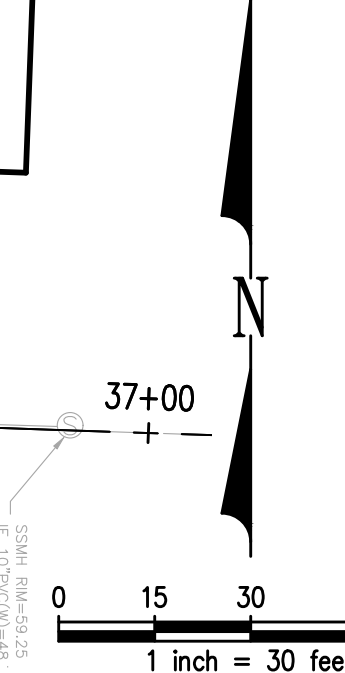
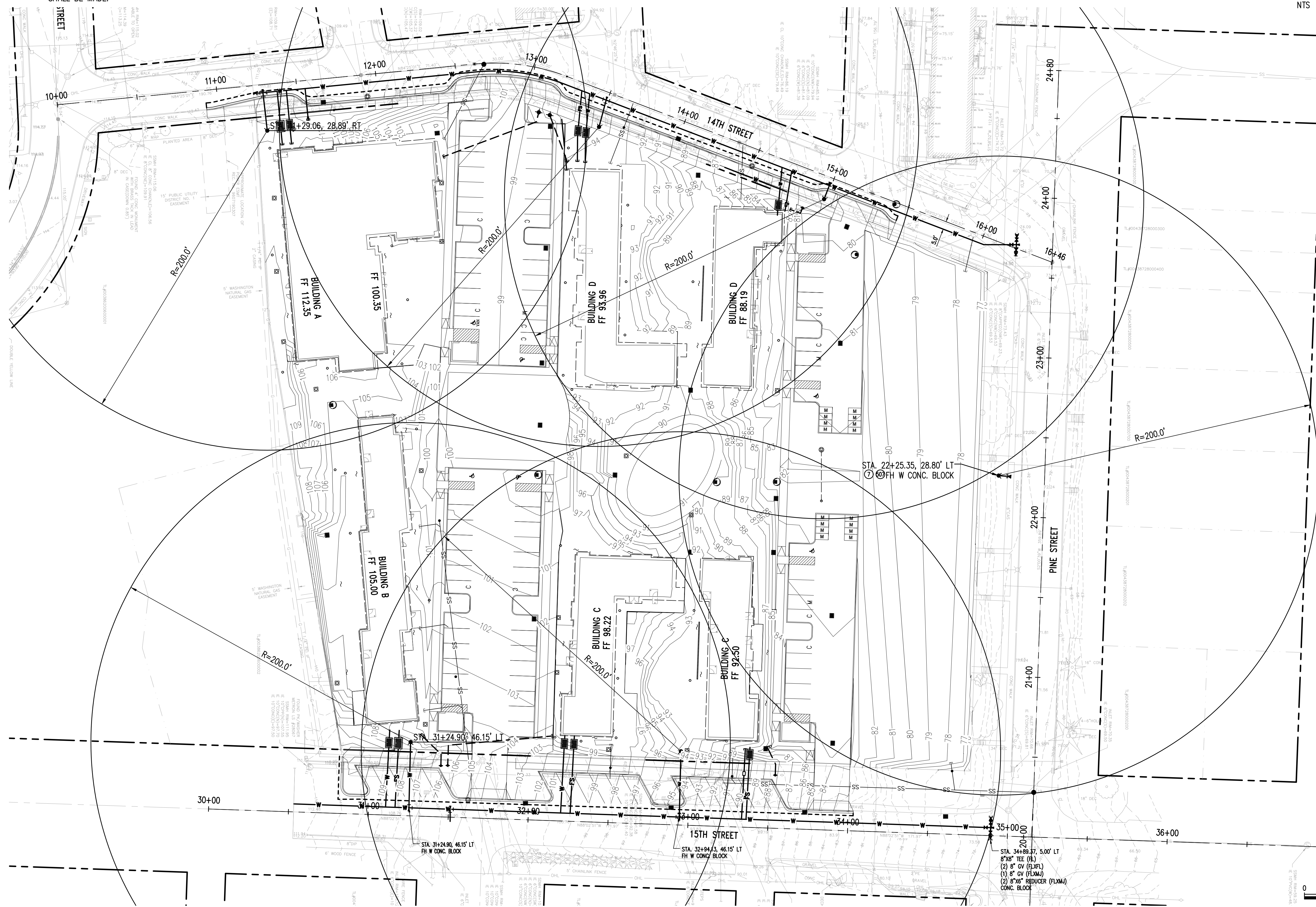
PROJECT NO.: **1700658**
GGLO PRINCIPAL IN CHARGE: AGC
GGLO PROJECT MANAGER: LES/SJZ
OWNER APPROVAL:

SHEET TITLE:
**FIRE HYDRANT
COVERAGE PLAN**

SHEET NO.

C-600

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ORIGINAL SHEET SIZE IS 34"X56"



PUBLIC WORKS/BUILDING PERMIT SUBMITTAL

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Jun 15, 2020 - 1:03pm gmp

