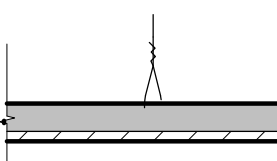


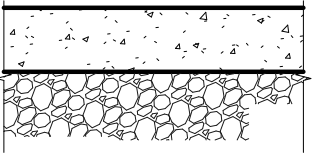
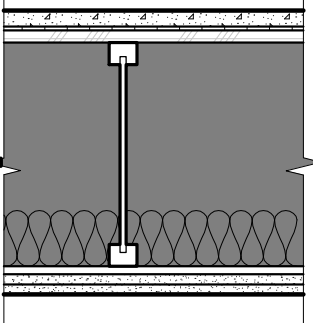
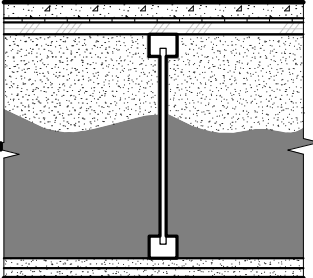
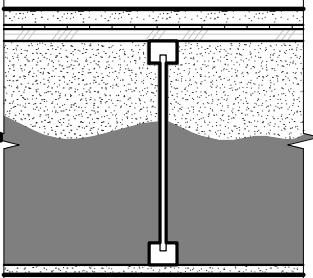
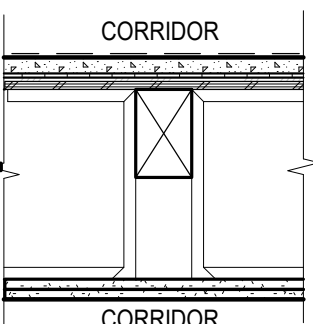
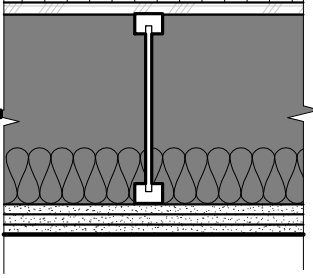
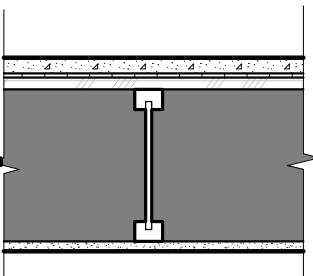
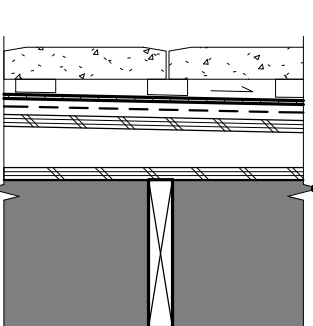
CEILING ASSEMBLIES

SEE REFLECTED CEILING PLANS FOR FINISH CEILING TYPES AND LOCATIONS.

DESC	MARK	ASSEMBLY	FIRE RATING	SOUND RATING	ENERGY RATING
SUSPENDED ACOUSTICAL CLG	J03	24"x48"x5/8" ACOUSTICAL CEILING TILES METAL SUSPENSION SYSTEM AND BRACING	N/A	N/A	N/A
			TEST SOURCE: -	TEST SOURCE: -	TEST SOURCE: -

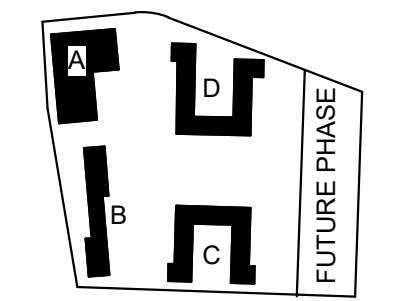
FLOOR ASSEMBLIES

SEE FINISH PLANS FOR FINISH FLOOR LOCATIONS AND TYPES.

DESC	MARK	ASSEMBLY	FIRE RATING	SOUND RATING	ENERGY RATING
CONCRETE SLAB ON GRADE	F01	CONCRETE SLAB 15 MIL REINFORCED VAPOR RETARDER R-10 RIGID INSULATION 48" HORIZONTALLY AT PERIMETER OF CONDITIONED SPACE 4" CAPILLARY BREAK MATERIAL	N/A	N/A	R-10
			TEST SOURCE: N/A	TEST SOURCE: N/A	TEST SOURCE: 2012 WSEC APPENDIX A
TYP INTERIOR FLOOR	F02	1" GYPSUM CONCRETE UNDERLAYMENT 1/4" ACOUSTIC MAT SUBFLOOR AS INDICATED ON STRUCTURAL DRAWINGS WOOD I-JOIST 3-1/2" SOUND ATTENUATION BLANKETS 1/2" RESILIENT CHANNEL (2) LAYERS 5/8" TYPE "X" GWB NO ACOUSTIC MAT BENEATH CARPETED AREAS	1-HR	STC 50	N/A
			TEST SOURCE: ICC ESR-1153 ASSEMBLY B	TEST SOURCE: ICC ESR-1153 ASSEMBLY B	TEST SOURCE: N/A
FLOOR OVER UNCONDITIONED SPACE FOR TYPE VA AT BLDG A	F03	1" GYPSUM CONCRETE UNDERLAYMENT 1/4" ACOUSTIC MAT SUBFLOOR AS INDICATED ON STRUCTURAL DRAWINGS WOOD I-JOIST R-38 FOAMED-IN-PLACE INSULATION (2) LAYERS 5/8" TYPE "X" EXT GYPSUM SOFFIT BOARD	1-HR	N/A	R-38
			TEST SOURCE: ICC ESR-1153 ASSEMBLY B (ADDITIONAL FIRE RESISTANCE PER 2012 IBC 722.6)	TEST SOURCE: N/A	TEST SOURCE: 2012 WSEC APPENDIX A
FLOOR OVER UNCONDITIONED SPACE FOR TYPE VB AT BLDGS B, C, D	F04	1" GYPSUM CONCRETE UNDERLAYMENT 1/4" ACOUSTIC MAT SUBFLOOR AS INDICATED ON STRUCTURAL DRAWINGS WOOD I-JOIST R-38 FOAMED-IN-PLACE INSULATION (1) LAYER 5/8" TYPE "X" EXT GYPSUM SOFFIT BOARD	N/A	N/A	N/A
			TEST SOURCE: N/A	TEST SOURCE: N/A	TEST SOURCE: N/A
INTERIOR FLOOR AT RESIDENTIAL CORRIDORS	F05	FLOORING PER FINISH PLANS 1" GYPSUM CONCRETE W/ 1/4" ACOUSTIC UNDERLAYMENT SUBFLOOR AS INDICATED ON STRUCTURAL DRAWINGS WOOD BEAMS PER STRUCTURAL (2) LAYERS 5/8" TYPE "X" GYPSUM BOARD	1-HR	N/A	N/A
			TEST SOURCE: IBC 2015 TABLE 721.1(3) ITEM 21-1.1	TEST SOURCE: -	TEST SOURCE: N/A
2 HOUR INTERIOR FLOOR	F06	1" GYPSUM CONCRETE UNDERLAYMENT 1/4" ACOUSTIC MAT SUBFLOOR AS INDICATED ON STRUCTURAL DRAWINGS WOOD I-JOIST 3-1/2" SOUND ATTENUATION BLANKETS (3) LAYERS 5/8" TYPE "C" GWB	2-HR	N/A	N/A
			TEST SOURCE: ICC ESR-1153 ASSEMBLY G	TEST SOURCE: N/A	TEST SOURCE: N/A
INTERIOR FLOOR @ STAIR LANDING	F07	1" GYPSUM CONCRETE UNDERLAYMENT 1/4" ACOUSTIC MAT SUBFLOOR AS INDICATED ON STRUCTURAL DRAWINGS WOOD I-JOIST (1) LAYER 5/8" TYPE "X" GWB	N/A	N/A	N/A
			TEST SOURCE: N/A	TEST SOURCE: N/A	TEST SOURCE: N/A
EXTERIOR EGRESS BALCONY	F08	24" x 24" PRECAST CONCRETE PAVERS ADJUSTABLE PAVR PEDESTALS PROTECTION BOARD WATERPROOF MEMBRANE 3/4" PT PLYWOOD SLOPED TO DRAIN 1/4" FT 2x PT SLEEPERS AT 16" OC SUBFLOOR AS INDICATED ON STRUCTURAL DRAWINGS 2x10 PT WOOD JOISTS (1) LAYER 5/8" TYPE "X" GYPSUM SOFFIT BOARD	N/A	N/A	N/A
			TEST SOURCE: N/A	TEST SOURCE: N/A	TEST SOURCE: N/A



1301 First Avenue, Suite 301
Seattle, WA 98101
<http://www.gglo.com>



PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201
OWNER:
EVERETT HOUSING LEGACY LLLP

MARK	DATE	DESCRIPTION
REVISIONS		

.C	06/22/2020	BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

MARK	DATE	DESCRIPTION
ISSUE INFORMATION		

PROJECT NO.: **2017033.00**
GGLO PRINCIPAL IN CHARGE: **JON HALL**
GGLO PROJECT MANAGER: **SCOTT SCHREFFLER**
OWNER APPROVAL:

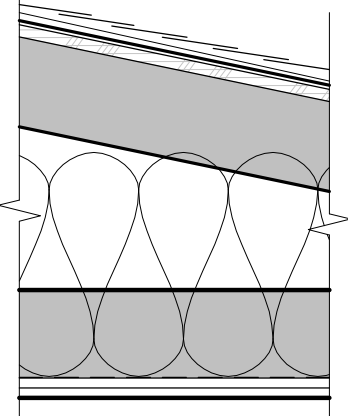
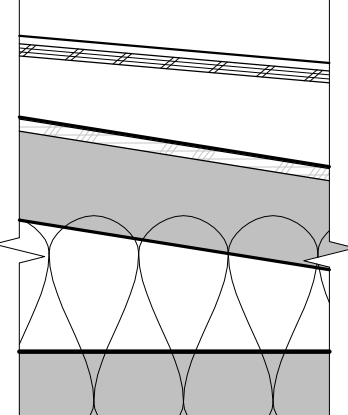
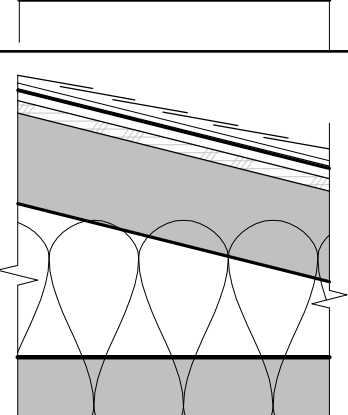
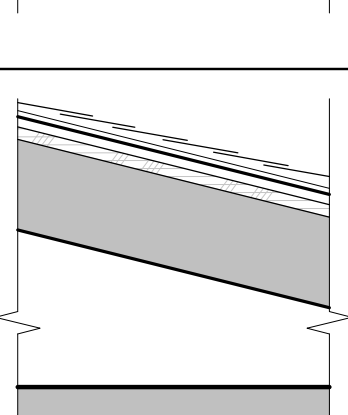
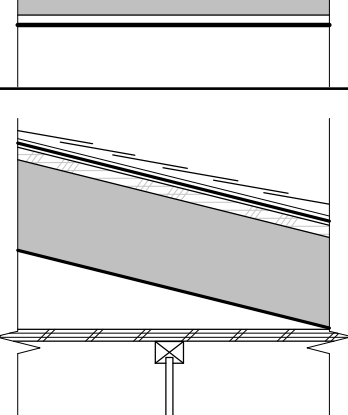
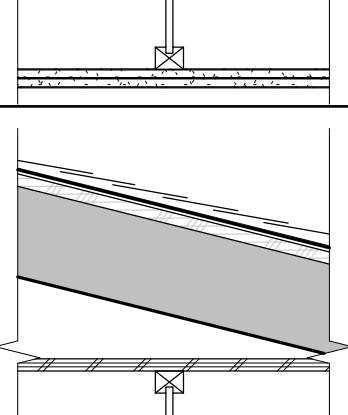
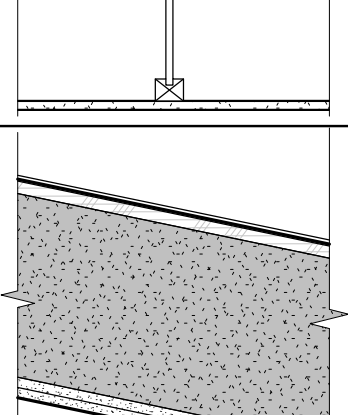
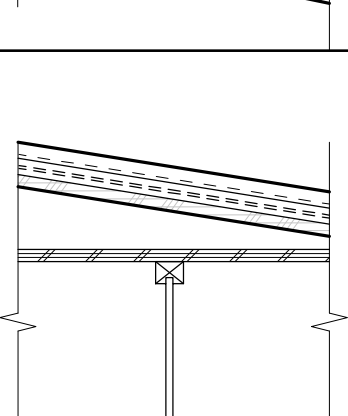
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FLOOR AND CEILING ASSEMBLIES

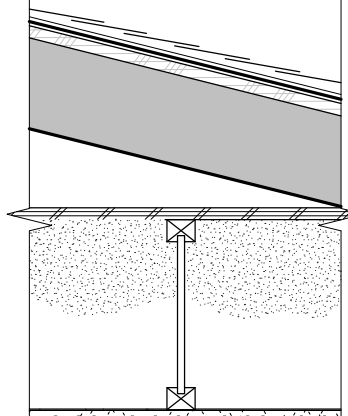
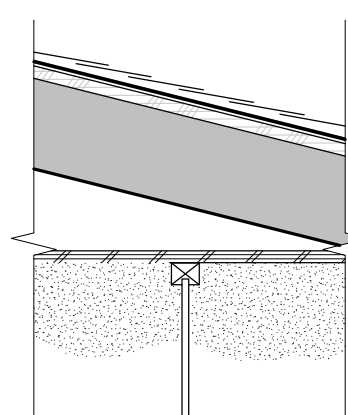
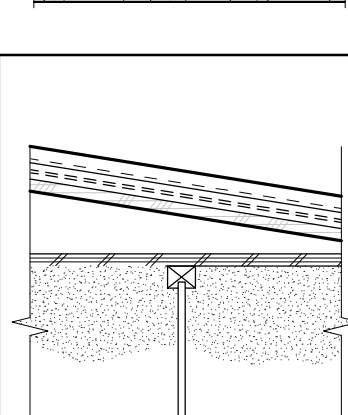
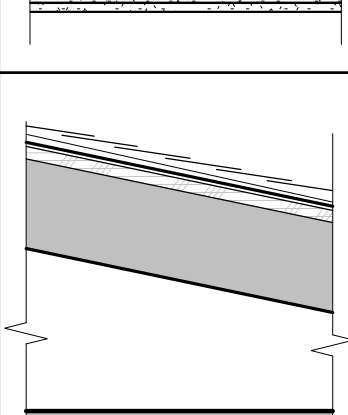
SHEET NO.
A-610

BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

MARK KEY	GENERAL NOTES
CORE WALLS A CONCRETE OR CMU WALLS B EXTERIOR METAL STUD WALLS C INTERIOR METAL STUD WALLS D EXTERIOR WOOD STUD WALLS E INTERIOR WOOD STUD WALLS	1. SEE TEST REPORTS FOR ADDITIONAL REQUIREMENTS 2. BLOCKING IS REQUIRED AT THE FOLLOWING AREAS: A. PLUMBING FIXTURES B. ELECTRICAL FIXTURES C. CABINETS AND COUNTERS D. WOOD BASE E. HANDRAILS MOUNTED TO WALL F. OTHER WALL-MOUNTED OR SUPPORTED EQUIPMENT AND FIXTURES
FINISH WALLS G EXTERIOR FINISH WALLS H INTERIOR FINISH WALLS	3. CEMENT BACKER BOARD TO BE USED IN PLACE OF GYP BD AT ALL WET LOCATIONS
CEILINGS, FLOORS & ROOFS F FLOOR - CEILINGS R ROOF - CEILINGS J CEILINGS	4. INSULATE HOT AND COLD WATER PIPES IN EXTERIOR WALLS AND UNCONDITIONED SPACES TO R-3 MIN 5. INSULATE HOT WATER PIPES PER WSEC SECTION 503.11 - 1" MIN FOR NON-CIRCULATING WATER PIPES LESS THAN 2" IN DIA SEE WSEC TABLE 5-12 FOR ALL OTHER APPLICATIONS 6. 1 1/2" ACOUSTIC BATT INSULATION WRAP AT ALL DRAIN PIPES 7. AT WALLS AND CEILINGS, INSTALL FURRING OR ADDITIONAL LAYERS OF GWB WHERE REQ'D TO ALIGN ADJACENT FINISHES TO PRODUCE A CONTINUOUS SURFACE FOR EACH FULL SEGMENT. ON ARCHITECT'S APPROVAL, ADJACENT SURFACES MAY BE OFFSET BY A MINIMUM OF 2" ACTUAL DIM INSTEAD OF FINISHED FLUSH. 8. FOR WOOD WALL ASSEMBLIES ON CONC FLOORS, BOTTOM PLATE MUST BE TREATED WOOD. 9. SEE SHEET A-560 THROUGH A-563 FOR DETAILED FIRE RATING INFORMATION.

ROOF ASSEMBLIES

DESC	MARK	ASSEMBLY	FIRE RATING	SOUND RATING	ENERGY RATING
FRAMED/TRUSS ROOF AT BUILDING A	R01	 <p>ASPHALT SHINGLES ROOFING UNDERLAYMENT - SEE NOTE BELOW ROOF SHEATHING AS INDICATED ON STRUCTURAL DRAWINGS WOOD TRUSS FRAMING W/R-49 GLASS-FIBER-BLANKET INSULATION VAPOR RETARDER FILM (2) LAYERS 5/8" TYPE "X" GWB</p> <p>NOTE: SHEET UNDERLAYMENT TYPE 1A AT EAVES, RAKES, VALLEYS, HIPS, RIDGES, ETC SHEET UNDERLAYMENT TYPE 2 AT FIELD</p>	1-HR TEST SOURCE: GA FILE NO. RC 2602	N/A TEST SOURCE: N/A	R-49 U-0.020 TEST SOURCE: 2012 WSEC APPENDIX A
FRAMED/TRUSS LOW SLOPE ROOF CRICKET AT BUILDING A	R02	 <p>MEMBRANE ROOFING COVER BOARD 2x WOOD SLEEPERS ROOF SHEATHING AS INDICATED ON STRUCTURAL DRAWINGS WOOD TRUSS R-49 GLASS-FIBER-BLANKET INSULATION VAPOR RETARDER FILM (2) LAYERS 5/8" TYPE "X" GYPSUM BOARD</p>	1-HR TEST SOURCE: GA FILE NO. RC 2602	N/A TEST SOURCE: N/A	R-49 U-0.020 TEST SOURCE: 2012 WSEC APPENDIX A
FRAMED/TRUSS ROOF AT TYPE VB BUILDINGS B,C,D	R03	 <p>ASPHALT SHINGLES ROOFING UNDERLAYMENT - SEE NOTE BELOW ROOF SHEATHING AS INDICATED ON STRUCTURAL DRAWINGS WOOD TRUSS R-49 GLASS-FIBER-BLANKET INSULATION VAPOR RETARDER FILM (1) LAYER 5/8" TYPE "X" GWB</p> <p>NOTE: SHEET UNDERLAYMENT TYPE 1A AT EAVES, RAKES, VALLEYS, HIPS, RIDGES, ETC SHEET UNDERLAYMENT TYPE 2 AT FIELD</p>	N/A TEST SOURCE: N/A	N/A TEST SOURCE: N/A	N/A TEST SOURCE: N/A
FRAMED/TRUSS ROOF AT PORCH AND UTILITY AT TYPE VB BUILDINGS B,C,D	R04	 <p>ASPHALT SHINGLES ROOFING UNDERLAYMENT - SEE NOTE BELOW ROOF SHEATHING AS INDICATED ON STRUCTURAL DRAWINGS WOOD TRUSS FRAMING (1) LAYER GYPSUM BOARD</p> <p>NOTE: SHEET UNDERLAYMENT TYPE 1A AT EAVES, RAKES, VALLEYS, HIPS, RIDGES, ETC SHEET UNDERLAYMENT TYPE 2 AT FIELD</p>	N/A TEST SOURCE: N/A	N/A TEST SOURCE: N/A	N/A TEST SOURCE: N/A
CANTILEVERED PORCH ROOF AT BUILDING A	R05	 <p>ASPHALT SHINGLES ROOFING UNDERLAYMENT - SEE NOTE BELOW ROOF SHEATHING AS INDICATED ON STRUCTURAL DRAWINGS 2x FRAMING AT 24" OC 3/4" PLYWOOD SHEATHING DRILL (2) 3" DIA HOLES PER SQUARE FOOT FOR VENTILATION WOOD I-JOIST FLOOR FRAMING (CANTILEVERED) (2) LAYERS 5/8" TYPE "X" GYPSUM SOFFIT BOARD</p> <p>NOTE: SHEET UNDERLAYMENT TYPE 1A AT EAVES, RAKES, VALLEYS, HIPS, RIDGES, ETC SHEET UNDERLAYMENT TYPE 2 AT FIELD</p>	1-HR TEST SOURCE: GA FILE NO. RC 2602	N/A TEST SOURCE: N/A	N/A TEST SOURCE: N/A
CANTILEVERED PORCH ROOF AT BUILDINGS B,C,D	R06	 <p>ASPHALT SHINGLES ROOFING UNDERLAYMENT - SEE NOTE BELOW ROOF SHEATHING AS INDICATED ON STRUCTURAL DRAWINGS 2x FRAMING AT 24" OC 3/4" PLYWOOD SHEATHING DRILL (2) 3" DIA HOLES PER SQUARE FOOT FOR VENTILATION WOOD I-JOIST FLOOR FRAMING (CANTILEVERED) 5/8" TYPE "X" SOFFIT BOARD</p> <p>NOTE: SHEET UNDERLAYMENT TYPE 1A AT EAVES, RAKES, VALLEYS, HIPS, RIDGES, ETC SHEET UNDERLAYMENT TYPE 2 AT FIELD</p>	1-HR TEST SOURCE: GA FILE NO. RC 2602	N/A TEST SOURCE: N/A	2012 WSEC APPENDIX A
FRAMED ELEVATOR PENTHOUSE ROOF AT BUILDING A	R07	 <p>MEMBRANE ROOFING COVER BOARD ROOF SHEATHING AS INDICATED ON STRUCTURAL DRAWINGS 2x12 FRAMING AT 24" OC R-49 FOAMED-IN-PLACE INSULATION VAPOR RETARDER FILM (2) LAYERS 5/8" TYPE "X" GWB</p>	1-HR TEST SOURCE: N/A	N/A TEST SOURCE: N/A	R-49 U-0.020 TEST SOURCE: N/A
CANTILEVERED CANOPY	R08	 <p>METAL ROOFING ROOFING UNDERLAYMENT - SEE NOTE BELOW ROOF SHEATHING AS INDICATED ON STRUCTURAL DRAWINGS WOOD I-JOIST FLOOR FRAMING (CANTILEVERED) 2 LAYERS 5/8" TYPE "X" SOFFIT BOARD</p> <p>NOTE: SHEET UNDERLAYMENT TYPE 1A AT EAVES, RAKES, VALLEYS, HIPS, RIDGES, ETC SHEET UNDERLAYMENT TYPE 2 AT FIELD</p>	1-HR TEST SOURCE: GA FILE NO. RC 2602	N/A TEST SOURCE: N/A	N/A TEST SOURCE: N/A

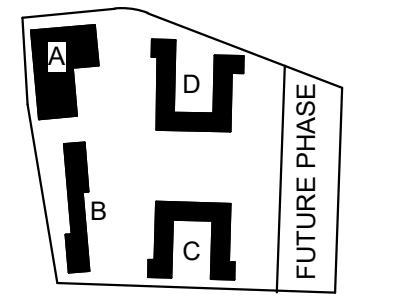
CANTILEVERED BAY WINDOW ROOF AT BUILDING A	R09	 <p>ASPHALT SHINGLES ROOFING UNDERLAYMENT - SEE NOTE BELOW ROOF SHEATHING AS INDICATED ON STRUCTURAL DRAWINGS 2x FRAMING AT 24" OC 3/4" PLYWOOD SHEATHING DRILL (2) 3" DIA HOLES PER SQUARE FOOT FOR VENTILATION WOOD I-JOIST FLOOR FRAMING (CANTILEVERED) R-49 FOAMED-IN-PLACE INSULATION (2) LAYERS 5/8" TYPE "X" GYPSUM SOFFIT BOARD</p> <p>NOTE: SHEET UNDERLAYMENT TYPE 1A AT EAVES, RAKES, VALLEYS, HIPS, RIDGES, ETC SHEET UNDERLAYMENT TYPE 2 AT FIELD</p>	1-HR TEST SOURCE: GA FILE NO. RC 2602	N/A TEST SOURCE: N/A	N/A TEST SOURCE: N/A
CANTILEVERED BAY WINDOW ROOF AT BUILDINGS B, C, D	R10	 <p>ASPHALT SHINGLES ROOFING UNDERLAYMENT - SEE NOTE BELOW ROOF SHEATHING AS INDICATED ON STRUCTURAL DRAWINGS 2x FRAMING AT 24" OC 3/4" PLYWOOD SHEATHING DRILL (2) 3" DIA HOLES PER SQUARE FOOT FOR VENTILATION WOOD I-JOIST FLOOR FRAMING (CANTILEVERED) R-49 FOAMED-IN-PLACE INSULATION 5/8" TYPE "X" SOFFIT BOARD</p> <p>NOTE: SHEET UNDERLAYMENT TYPE 1A AT EAVES, RAKES, VALLEYS, HIPS, RIDGES, ETC SHEET UNDERLAYMENT TYPE 2 AT FIELD</p>	1-HR TEST SOURCE: GA FILE NO. RC 2602	N/A TEST SOURCE: N/A	2012 WSEC APPENDIX A
EXTENDED ROOF AT ECEAP, BUILDING A	R11	 <p>METAL ROOFING ROOFING UNDERLAYMENT - SEE NOTE BELOW ROOF SHEATHING AS INDICATED ON STRUCTURAL DRAWINGS WOOD I-JOIST FLOOR FRAMING (CANTILEVERED) R-49 FOAMED-IN-PLACE INSULATION 2 LAYERS 5/8" TYPE "X" SOFFIT BOARD</p> <p>NOTE: SHEET UNDERLAYMENT TYPE 1A AT EAVES, RAKES, VALLEYS, HIPS, RIDGES, ETC SHEET UNDERLAYMENT TYPE 2 AT FIELD</p>	1-HR TEST SOURCE: GA FILE NO. RC 2602	N/A TEST SOURCE: N/A	N/A TEST SOURCE: N/A
UTILITY ROOM ROOF AT BUILDING A	R12	 <p>ASPHALT SHINGLES ROOFING UNDERLAYMENT - SEE NOTE BELOW ROOF SHEATHING AS INDICATED ON STRUCTURAL DRAWINGS WOOD TRUSS FRAMING VAPOR RETARDER FILM (2) LAYERS 5/8" TYPE "X" GWB</p> <p>NOTE: SHEET UNDERLAYMENT TYPE 1A AT EAVES, RAKES, VALLEYS, HIPS, RIDGES, ETC SHEET UNDERLAYMENT TYPE 2 AT FIELD</p>	1-HR TEST SOURCE: GA FILE NO. RC 2602	N/A TEST SOURCE: N/A	R-49 U-0.020 TEST SOURCE: 2012 WSEC APPENDIX A

MARK KEY	GENERAL NOTES
CORE WALLS A CONCRETE OR CMU WALLS B EXTERIOR METAL STUD WALLS C INTERIOR METAL STUD WALLS D EXTERIOR WOOD STUD WALLS E INTERIOR WOOD STUD WALLS	1. SEE TEST REPORTS FOR ADDITIONAL REQUIREMENTS 2. BLOCKING IS REQUIRED AT THE FOLLOWING AREAS: A. PLUMBING FIXTURES B. ELECTRICAL FIXTURES C. CABINETS AND COUNTERS D. WOOD BASE E. HANDRAILS MOUNTED TO WALL F. OTHER WALL-MOUNTED OR SUPPORTED EQUIPMENT AND FIXTURES
FINISH WALLS G EXTERIOR FINISH WALLS H INTERIOR FINISH WALLS	
CEILING, FLOORS & ROOFS F FLOOR - CEILINGS R ROOF - CEILINGS J CEILINGS	3. CEMENT BACKER BOARD TO BE USED IN PLACE OF GYP BD AT ALL WET LOCATIONS
	4. INSULATE HOT AND COLD WATER PIPES IN EXTERIOR WALLS AND UNCONDITIONED SPACES TO R-3 MIN 5. INSULATE HOT WATER PIPES PER WSEC SECTION 503.11 - 1" MIN FOR NON-CIRCULATING WATER PIPES SEE WSEC TABLE 5-12 FOR ALL OTHER APPLICATIONS 6. 1 1/2" ACOUSTIC BATT INSULATION WRAP AT ALL DRAIN PIPES 7. AT WALLS AND CEILINGS, INSTALL FURRING OR ADDITIONAL LAYERS OF GWB WHERE REQ'D TO ALIGN ADJACENT FINISHES TO PRODUCE A CONTINUOUS SURFACE FOR EACH FULL SEGMENT. ON ARCHITECT'S APPROVAL, ADJACENT SURFACES MAY BE OFFSET BY A MINIMUM OF 2" ACTUAL DIM INSTEAD OF FINISHED FLUSH. 8. FOR WOOD WALL ASSEMBLIES ON CONC FLOORS, BOTTOM PLATE MUST BE TREATED WOOD. 9. SEE SHEET A-560 THROUGH A-563 FOR DETAILED FIRE RATING INFORMATION.

GGLO DESIGN

1301 First Avenue, Suite 301
Seattle, WA 98101

http://www.gglo.com



PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

**BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201**

OWNER:

EVERETT HOUSING LEGACY LLLP

MARK DATE DESCRIPTION

REVISIONS

.C 06/22/2020 BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

B 04/10/2020 DESIGN DEVELOPMENT

A 01/07/2020 SCHEMATIC DESIGN

MARK DATE DESCRIPTION

ISSUE INFORMATION

PROJECT NO.: **2017033.00**

GGLO PRINCIPAL IN CHARGE: **JON HALL**

GGLO PROJECT MANAGER: **SCOTT SCHREFFLER**

OWNER APPROVAL:

SHEET TITLE

ROOF ASSEMBLIES

SHEET NO.

A-611

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BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

DOOR LEGEND

Table with columns MATERIAL KEY and NOTES KEY. Lists materials like ALUMINUM, GLASS, STEEL, etc. and notes like PASSAGE, PRIVACY, PANIC HARDWARE, etc.

GENERAL DOOR NOTES

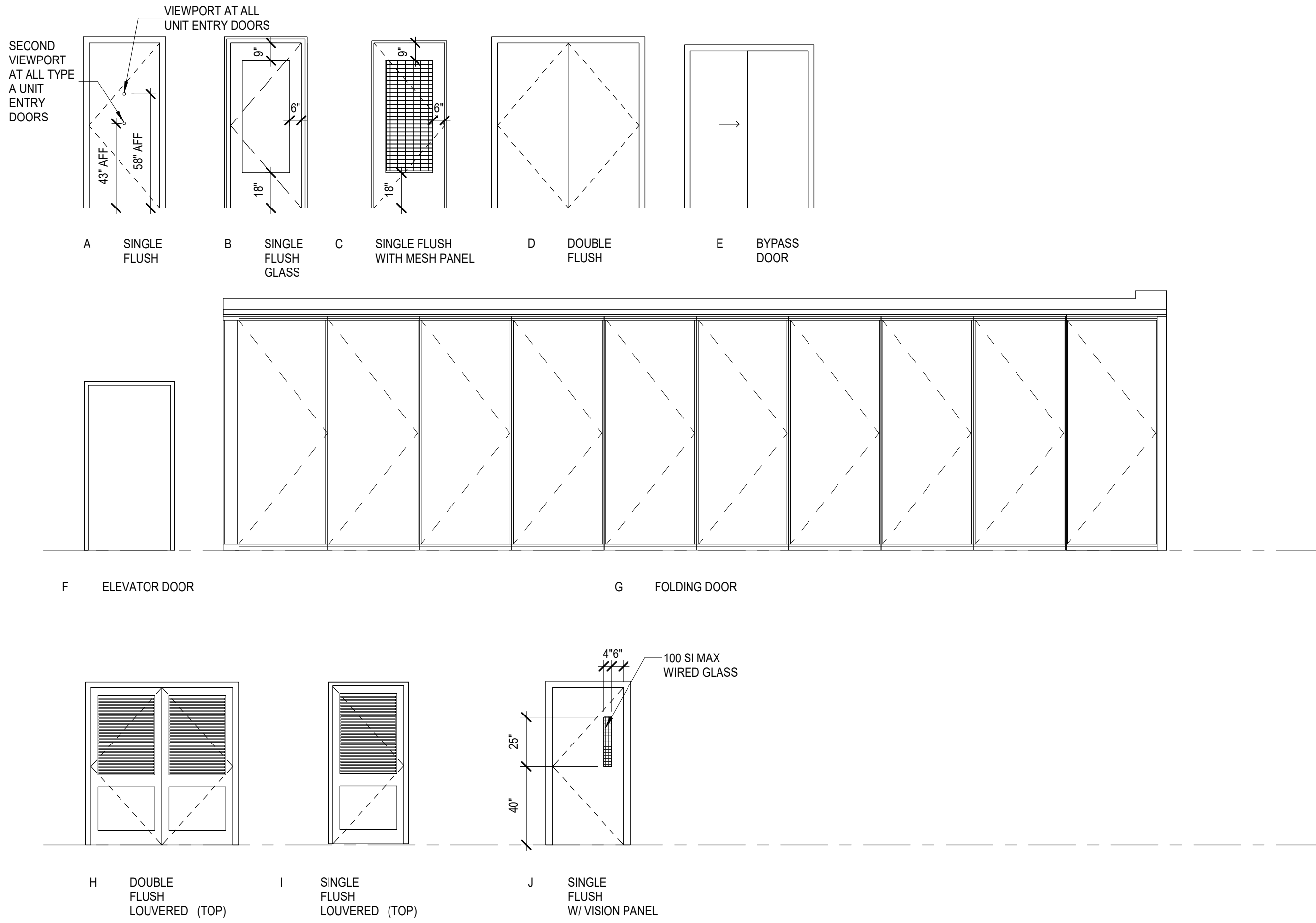
- 1. ALL REQUIRED FIRE DOORS WILL BEAR A FIRE LABEL FROM A RECOGNIZED RATING AGENCY AND WILL BE EQUIPPED WITH APPROVED LATCHES, GASKETS, AND SELF-CLOSING DEVICES. EXIT DOORS, EXCEPT UNIT DOORS, SHALL BE OPENABLE FROM INSIDE WITHOUT USE OF KEY, SPECIAL KNOWLEDGE OR EFFORT.

DOOR AND FRAME SCHEDULE - BUILDING A - COMMON

Table with columns MARK, DOOR TYPE, SIZE (WIDTH, HEIGHT, THK), MATERIAL, FINISH, FRAME MATERIAL, FINISH, DOOR LOCATION, FIRE RATING (MIN), U-FACTOR, HDW SET, NOTES. Lists common door specifications for various units.

DOOR AND FRAME SCHEDULE - UNITS

Table with columns MARK, DOOR TYPE, SIZE (WIDTH, HEIGHT, THK), DOOR MATERIAL, DOOR FINISH, FRAME MATERIAL, FRAME FINISH, DOOR LOCATION, HDW SET, FIRE RATING (MIN), NOTES. Lists unit-specific door specifications.

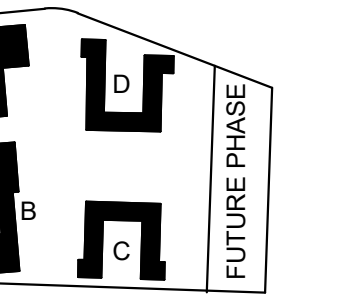


DOOR TYPES

1/4" = 1'-0"

1301 First Avenue, Suite 301
Seattle, WA 98101

http://www.gglo.com



PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

BUILDING A: 2710 14th STREET
BUILDING B: 2815 15th STREET
BUILDING C: 2815 15th STREET
EVERETT, WA 98201

OWNER:

EVERETT HOUSING LEGACY LLLP

MARK DATE DESCRIPTION

REVISIONS

C 06/22/2020 BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

B 04/10/2020 DESIGN DEVELOPMENT

A 01/07/2020 SCHEMATIC DESIGN

ISSUE INFORMATION

PROJECT NO.: 2017033.00
GGLO PRINCIPAL IN CHARGE: JON HALL
GGLO PROJECT MANAGER: SCOTT SCHREFFLER
OWNER APPROVAL:

SHEET TITLE

DOOR TYPES AND DOOR SCHEDULE

SHEET NO.

A-615

BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

D

C

B

A

PLT DATE TIME: 6/19/2020 4:37:40 PM

EVERETT HOUSING AUTHORITY BAKER HEIGHTS REDEVELOPMENT EVERETT, WA		80% CONSTRUCTION DOCUMENTS 5 JUNE 2020			
SET #26					
3	Hinges	FBB179 4 1/2 X 4 1/2	652	ST	
1	Storeroom Lockset	CL780T LCE	626	DM	
1	Permanent Core	76	626	DM	
1	Wall Bumper	1407	630	DJ	
3	Door Silencers	1229A	GR	TR	
SET #27					
3	Hinges	FBB168 4 1/2 X 4 1/2 NRP	652	ST	
1	Classroom Lockset	CL770T LCE	626	DM	
1	Permanent Core	76	626	DM	
1	Closer	8616 AF86 FC	689	DM	
1	Kick Plate	90 10" x 2" LDW	630	DJ	
1	Wall Bumper	1407	630	DJ	
1	Seal	S88 D (head & jambs)		PE	
1	Door Bottom	234 AV		PE	
1	Threshold	151 A		PE	
SET #28					
3	Hinges	FBB191 4 1/2 X 4 1/2 NRP	630	ST	
1	Storeroom Lockset	CL780T LCE	626	DM	
1	Permanent Core	76	626	DM	
1	Closer	8616 S-DS FC	689	DM	
1	Seal	S88 D (head & jambs)		PE	
1	Door Bottom	2251 AV		PE	
1	Threshold	271A or as detailed		PE	
SET #29					
6	Hinges	FBB191 4 1/2 X 4 1/2 NRP	630	ST	
2	Flush Bolt	1555	626	DJ	
1	Dust Proof Strike	1570	626	DJ	
1	Storeroom Lockset	CL780T LCE	626	DM	
1	Permanent Core	76	626	DM	
1	Closer	8616 S-DS FC	689	DM	
1	Seal	S88 D (head & jambs)		PE	
2	Door Bottom	2251 AV		PE	
1	Threshold	271A or as detailed		PE	

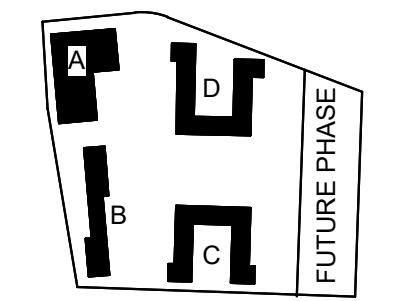
EVERETT HOUSING AUTHORITY BAKER HEIGHTS REDEVELOPMENT EVERETT, WA		80% CONSTRUCTION DOCUMENTS 5 JUNE 2020			
SET #30					
3	Hinges	FBB179 4 1/2 X 4 1/2	652	ST	
1	Classroom Lockset	CL770T LCE	626	DM	
1	Closer	8616 AF86 FC	689	DM	
1	Wall Bumper	1407	630	DJ	
1	Seal	S88 D (head & jambs)		PE	
1	Door Bottom	2251 AV		PE	
1	Threshold	271A or as detailed		PE	
UNITS					
SET #U-01 - Unit Entry					
1	Hinges	FBB179 4 1/2 X 4 1/2	652	ST	
2	Spring Hinges	2060R 4 1/2 X 4 1/2	652	ST	
1	Smart Deadbolt	BE467F ADDISON TRIM	619	SC	
1	Passage Set	W101S Q	626	FL	
1	Kick Plate	90 10" x 2" LDW	630	DJ	
1	Wall Bumper	1407	630	DJ	
1	Door Viewer	ULDV-180	626	DJ	
1	Seal	S88 D (head & jambs)		PE	
1	Door Bottom	234 AV		PE	
1	Threshold	151 A		PE	
SET #U-02 - Exterior Entry					
1	Hinges	FBB179 4 1/2 X 4 1/2	652	ST	
2	Spring Hinges	2060R 4 1/2 X 4 1/2	652	ST	
1	Smart Deadbolt	BE467F ADDISON TRIM	619	SC	
1	Passage Set	W101S Q	626	FL	
1	Kick Plate	90 10" x 2" LDW	630	DJ	
1	Wall Bumper	1407	630	DJ	
1	Seal	S88 D (head & jambs)		PE	
1	Door Bottom	2251 AV		PE	
1	Threshold	271A or as detailed		PE	
SET #U-03 - Bed/bath					
3	Hinges	F179 3 1/2 X 3 1/2 1/4" Radius	652	ST	
1	Privacy Set	W301S Q	626	FL	
1	Wall Bumper	1407	630	DJ	
1	Robe Hook	302	626	DJ	

EVERETT HOUSING AUTHORITY BAKER HEIGHTS REDEVELOPMENT EVERETT, WA		80% CONSTRUCTION DOCUMENTS 5 JUNE 2020			
SET #U-04 - Closet					
3	Hinges	F179 3 1/2 X 3 1/2 1/4" Radius	652	ST	
1	Passage Set	W101S Q	626	FL	
1	Wall Bumper	1407	630	DJ	
SET #U-05 - Patio					
3	Hinges	F191 4 1/2 X 4 1/2 NRP	630	ST	
1	Deadlock	D241P	626	FL	
1	Passage Set	W101S Q	626	FL	
1	Universal Dome Stop	1447	626	DJ	
1	Seal	S88 D (head & jambs)		PE	
1	Door Bottom	2251 AV		PE	
1	Threshold	271A or as detailed		PE	
SET #U-06 - Closet Pair					
6	Hinges	F179 3 1/2 X 3 1/2 1/4" Radius	652	ST	
2	Roller Latch	1702	626	DJ	
2	Dummy Trim	W12 Q	626	FL	
2	Hinge Stop	1502	626	DJ	
SET #U-07 - Bi-Pass					
1	Set Sliding Door Hardware	BP60-00-72		ST	
2	Flush Cup Pull	1848	630	DJ	

END OF SECTION 087100



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PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

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BUILDING D: 2810 14th STREET
EVERETT, WA 98201
OWNER:
EVERETT HOUSING LEGACY LLLP

MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
C	06/22/2020	BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **2017033.00**
GGLO PRINCIPAL IN CHARGE: **JON HALL**
GGLO PROJECT MANAGER: **SCOTT SCHREFFLER**
OWNER APPROVAL:

SHEET TITLE
HARDWARE SETS

SHEET NO.
A-618

BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

WINDOW SCHEDULE		
MARK	MATERIAL AND COLOR	TYPE
B3		
B4		
B8		
B9		
B10		
B11		
C5	VINYL - WHITE	FIXED

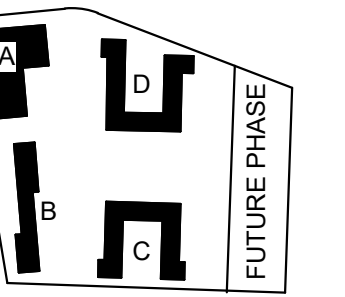
GENERAL GLAZING NOTES

1. CONTRACTOR MUST VERIFY EXISTING DOOR AND FRAME SIZES PRIOR TO REPLACEMENT.
2. ALL WINDOW DIMENSIONS AND SIZES SHOWN APPLY TO OPENINGS. VERIFY WINDOW OPENING SIZES WITH MANUFACTURER. ALL WINDOW DIMENSIONS AND SIZES SHOWN APPLY TO OPENINGS. VERIFY WINDOW OPENING SIZES WITH MANUFACTURER.
3. ELEVATIONS VIEWED FROM EXTERIOR SIDE.
4. SEE ELEVATIONS FOR FLOOR LEVEL ELEVATIONS.
5. SEE ELEVATIONS FOR WINDOW OPERATION.
6. PER 2006 IBC SECTION 2406.3 HAZARDOUS LOCATIONS - PROVIDE SAFETY GLAZING IN THE FOLLOWING LOCATIONS: GLAZING IN SWINGING DOORS; GLAZING WITHIN 24" OF DOORS WHERE BOTTOM EDGE OF GLAZING <60" AFF; GLAZING PANELS >9SF WHERE BOTTOM <18" AFF AND TOP >36" AFF.
7. ALL EGRESS WINDOWS SHALL MEET THE REQUIREMENTS OF 2006 IBC SECTION 1026.
8. PROVIDE OUTSIDE AIR INLETS AS REQUIRED BY ENERGY CODE REQUIREMENTS. CONTRACTOR TO VERIFY PROPOSED OUTSIDE AIR INLET LOCATIONS WITH ARCHITECT AND ENVELOPE CONSULTANT.
9. U-VALUES: FOR ALL WINDOW TYPES (NEW); U-VALUE = .28.



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EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
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EVERETT, WA 98201

OWNER:
EVERETT HOUSING LEGACY LLLP

MARK	DATE	DESCRIPTION
REVISIONS		

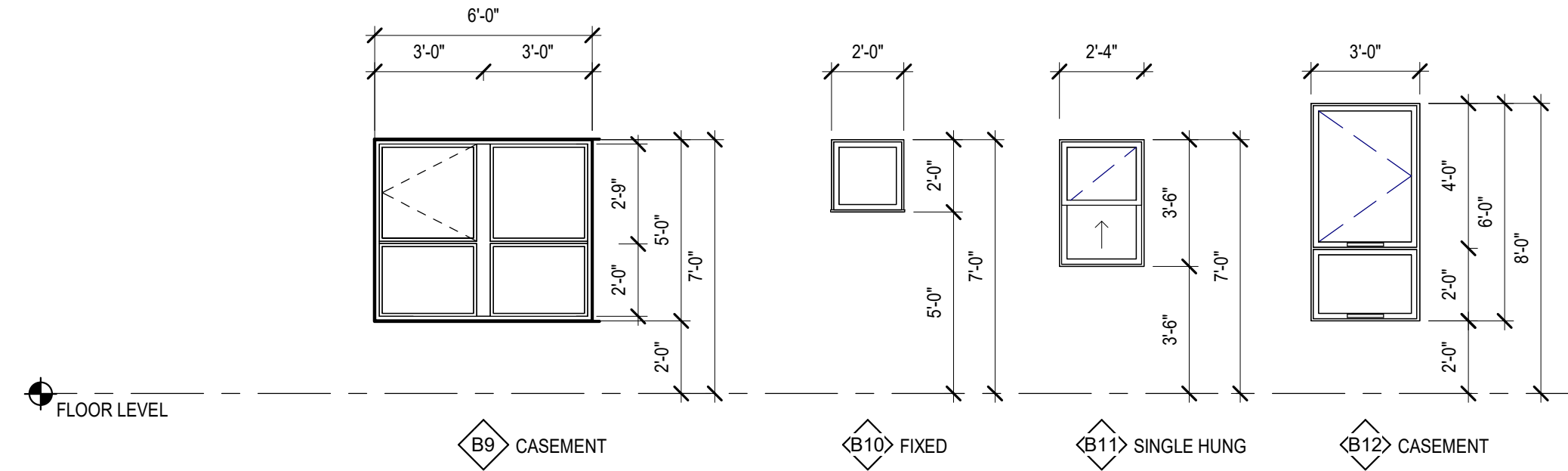
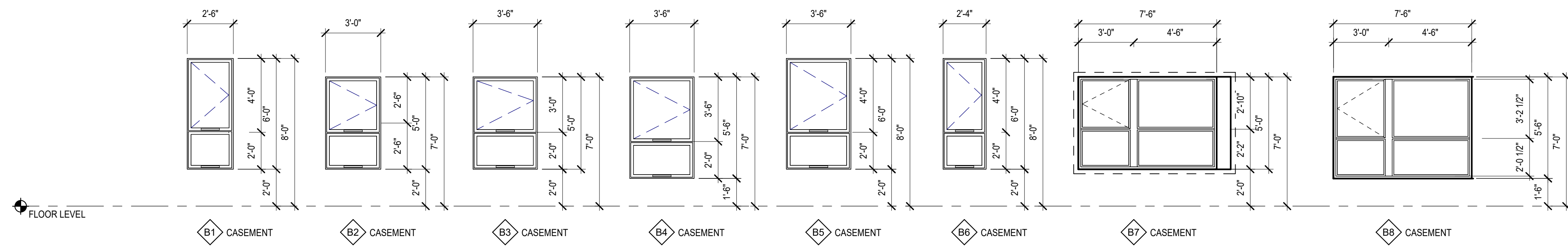
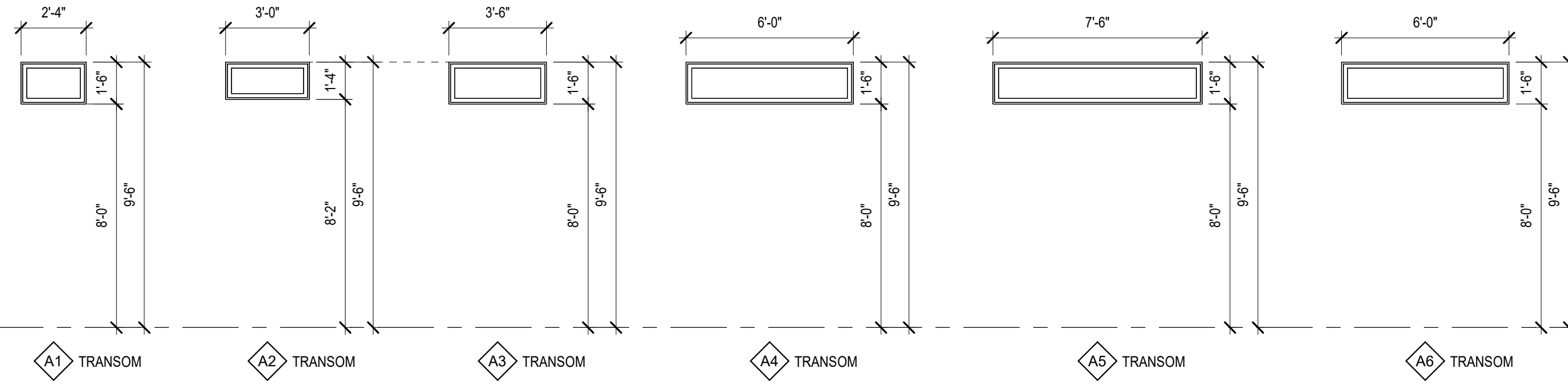
C	06/22/2020	BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
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PROJECT NO.: **2017033.00**
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OWNER APPROVAL:

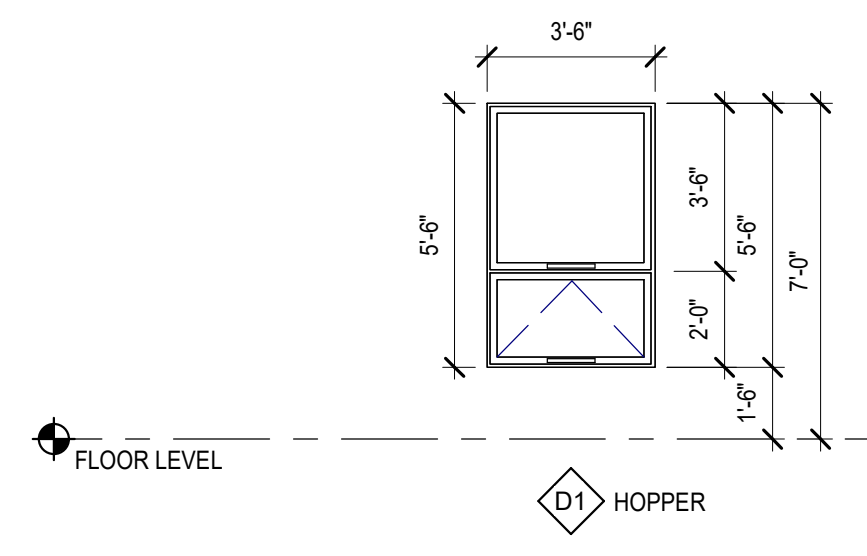
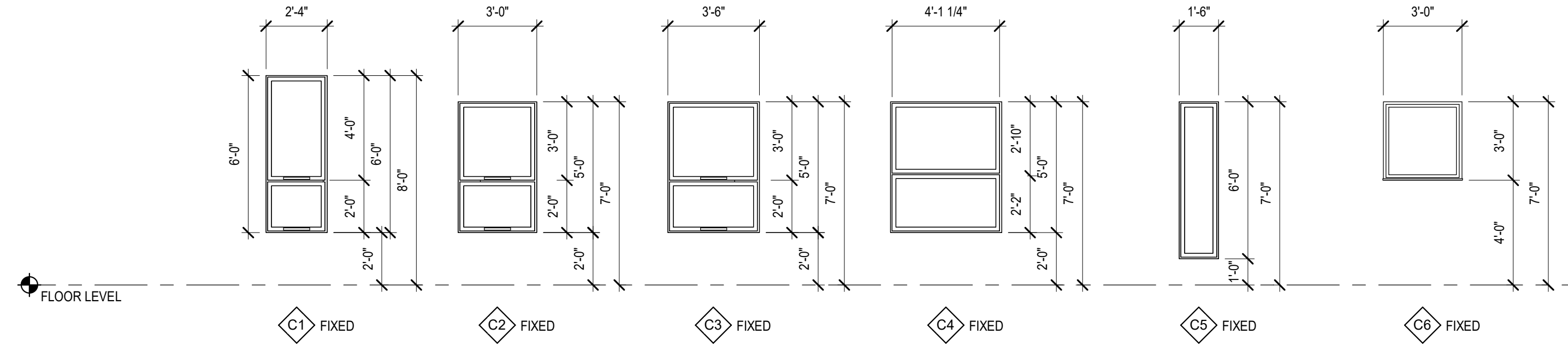
SHEET TITLE
WINDOW TYPES AND WINDOW SCHEDULE

SHEET NO.
A-620

BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL



NOTE: OBSCURED GLASS AT BATHROOMS



VINYL WINDOW TYPES
1/4" = 1'-0"

PLOT DATE/TIME: 6/19/2020 4:37:41 PM

WATER AND WASTE SERVICE CALCULATIONS

JOB NAME: EHA BAKER HEIGHTS BLDG A DATE: 03/02/20
JOB NUMBER: 20US00169 USER: JEE

FIXTURE TYPE	NO.	WASTE		COLD WATER		HOT WATER		TOTAL WATER
		FU	TOTAL	FU	TOTAL	FU	TOTAL	
BATH TUB/SHOWER	41	2	82	3	123	3	123	164
KITCHEN SINK (DOMESTIC)	41	2	82	1.125	46.125	1.125	46.125	61.5
LAVATORY	44	1	44	0.75	33	0.75	33	44
FLOOR DRAIN	3	2	6	0	0	0	0	0
WATER CLOSET, TANK	41	3	123	2.5	102.5	0	0	102.5
WATER CLOSET, TANK, PUBLIC	4	4	16	2.5	10	0	0	10
MISCELLANEOUS FIXTURE	0	0	0	0	0	0	0	0
TOTAL FU			353.0		314.6		202.1	382.0

WATER AND WASTE SERVICE CALCULATIONS

JOB NAME: EHA BAKER HEIGHTS BLDG B DATE: 03/02/20
JOB NUMBER: 20US00169 USER: JEE

FIXTURE TYPE	NO.	WASTE		COLD WATER		HOT WATER		TOTAL WATER
		FU	TOTAL	FU	TOTAL	FU	TOTAL	
BATH TUB/SHOWER	21	2	42	3	63	3	63	84
CLOTHES WASHER	18	3	54	3	54	3	54	72
KITCHEN SINK (DOMESTIC)	18	2	36	1.125	20.25	1.125	20.25	27
LAVATORY	21	1	21	0.75	15.75	0.75	15.75	21
WATER CLOSET, TANK	21	3	63	2.5	52.5	0	0	52.5
MISCELLANEOUS FIXTURE	0	0	0	0	0	0	0	0
TOTAL FU			216.0		205.5		153.0	256.5

WATER AND WASTE SERVICE CALCULATIONS

JOB NAME: EHA BAKER HEIGHTS BLDG C EAST DATE: 03/02/20
JOB NUMBER: 20US00169 USER: JEE

FIXTURE TYPE	NO.	WASTE		COLD WATER		HOT WATER		TOTAL WATER
		FU	TOTAL	FU	TOTAL	FU	TOTAL	
BATH TUB/SHOWER	8	2	16	3	24	3	24	32
CLOTHES WASHER	8	3	24	3	24	3	24	32
KITCHEN SINK (DOMESTIC)	8	2	16	1.125	9	1.125	9	12
LAVATORY	8	1	8	0.75	6	0.75	6	8
WATER CLOSET, TANK	8	3	24	2.5	20	0	0	20
MISCELLANEOUS FIXTURE	0	0	0	0	0	0	0	0
TOTAL FU			88.0		83.0		63.0	104.0

WATER AND WASTE SERVICE CALCULATIONS

JOB NAME: EHA BAKER HEIGHTS BLDG C WEST DATE: 03/02/20
JOB NUMBER: 20US00169 USER: JEE

FIXTURE TYPE	NO.	WASTE		COLD WATER		HOT WATER		TOTAL WATER
		FU	TOTAL	FU	TOTAL	FU	TOTAL	
BATH TUB/SHOWER	15	2	30	3	45	3	45	60
CLOTHES WASHER	15	3	45	3	45	3	45	60
KITCHEN SINK (DOMESTIC)	15	2	30	1.125	16.875	1.125	16.875	22.5
LAVATORY	15	1	15	0.75	11.25	0.75	11.25	15
WATER CLOSET, TANK	15	3	45	2.5	37.5	0	0	37.5
MISCELLANEOUS FIXTURE	0	0	0	0	0	0	0	0
TOTAL FU			165.0		155.6		118.1	195.0

WATER AND WASTE SERVICE CALCULATIONS

JOB NAME: EHA BAKER HEIGHTS BLDG D EAST DATE: #####
JOB NUMBER: 20US00169 USER: JEE

FIXTURE TYPE	NO.	WASTE		COLD WATER		HOT WATER		TOTAL WATER
		FU	TOTAL	FU	TOTAL	FU	TOTAL	
BATH TUB/SHOWER	9	2	18	3	27	3	27	36
CLOTHES WASHER	8	3	24	3	24	3	24	32
KITCHEN SINK (DOMESTIC)	8	2	16	1.125	9	1.125	9	12
LAVATORY	9	1	9	0.75	6.75	0.75	6.75	9
WATER CLOSET, TANK	9	3	27	2.5	22.5	0	0	22.5
MISCELLANEOUS FIXTURE	0	0	0	0	0	0	0	0
TOTAL FU			94.0		89.3		66.8	111.5

WATER AND WASTE SERVICE CALCULATIONS

JOB NAME: EHA BAKER HEIGHTS BLDG D WEST DATE: 03/02/20
JOB NUMBER: 20US00169 USER: JEE

FIXTURE TYPE	NO.	WASTE		COLD WATER		HOT WATER		TOTAL WATER
		FU	TOTAL	FU	TOTAL	FU	TOTAL	
BATH TUB/SHOWER	21	2	42	3	63	3	63	84
CLOTHES WASHER	15	3	45	3	45	3	45	60
KITCHEN SINK (DOMESTIC)	15	2	30	1.125	16.875	1.125	16.875	22.5
LAVATORY	21	1	21	0.75	15.75	0.75	15.75	21
WATER CLOSET, TANK	21	3	63	2.5	52.5	0	0	52.5
MISCELLANEOUS FIXTURE	0	0	0	0	0	0	0	0
TOTAL FU			201.0		193.1		140.6	240.0

PLUMBING FIXTURE SCHEDULE

TAG	FIXTURE	MANUFACTURER	MODEL	ADA (Y/N)	FLOW (GPF/GPM)	CONNECTION SIZE				ELECTRICAL			REMARKS		
						W	V	HW	CW	V	PH	A			
GENERAL															
FD-2	FLOOR DRAIN - MECH	ZURN	Z520		0	4"	0"	0"	0"	0	0	0	0	9" DIAM CAST IRON BODY WITH ADJUSTABLE STRAINER.	
FS-1	FLOOR SINK	ZURN	Z1900		0	4"	0"	0"	0"	0	0	0	0	12" x 12" x 6" FLOOR SINK W/ ACID RESISTANT COATING.	
HB-1	HOSE BIBB	WOODFORD	RB 65		0				3/4"					WALL RECESSED WALL FREEZELESS WALL HYDRANT.	
L-1P	LAVATORY COUNTERTOP ADA	KOHLER	K-2905 FARMINGTON	YES	0.5	1 1/2"	1 1/2"	1/2"	1/2"	0	0	0	0	FAUCET K-7443 TRITON WITH AERATOR AND 4" WRIST BLADE HANDLES, OFFSET DRAIN ASSEMBLY, CARRIER SUPPORT	
MS-1	SERVICE SINK	KOHLER	K-12794		2	3"	3"	3/4"	3/4"	0	0	0	0	K-12794 HOLLISTER FAUCET K-13328 FINESSE WITH VACUUM BREAKER PROVIDE REINFORCEMENT FOR WALL SUPPORTS	
S-1P	SINK	ELKAY	LRAD-3321		1.75	2"	1 1/2"	1/2"	1/2"	0	0	0	0	DOUBLE BOWL ADA COMPLIANT SINK W/ LK-4103 FAUCET WITH SPRAY, LK-35L STRAINER PROVIDE VALVE AND SUPPLY TUBING FOR COFFEE MAKER	
S-2P	SINK	ELKAY	LRAD-3321		1.75	2"	1 1/2"	1/2"	1/2"	0	0	0	0	DOUBLE BOWL ADA COMPLIANT SINK W/ LK-4103 FAUCET WITH SPRAY, LK-35L STRAINER PROVIDE VALVE AND SUPPLY TUBING FOR COFFEE MAKER	
TP-1	TRAP PRIMER	PPP	P-2		0	0"	0"	0"	1/2"	0	0	0	0	PRESSURE DROP TYPE TRAP PRIMER	
UR-1P	URINAL ADA	AMERICAN STANDARD	ALLBROOK 6550.001	YES	0.125	2"	1 1/2"	0"	3/4"	0	0	0	0	0.125 GALLONS PER FLUSH (GPF) SLOAN G2 OPTIMA 8186-0.5 BATTERY POWERED HANDS FREE FLUSH VALVE	
WB-1	WASHER BOX	GUY GRAY	BB200TS		0	2"	1 1/2"	1/2"	1/2"	0	0	0	0	0	
WC-1P	WATER CLOSET FLOOR MTD ADA (FV)	KOHLER	KINGSTON K-4325	YES	1.28	4"	2"	0"	1 1/4"	0	0	0	0	1.28 GALLONS PER FLUSH (GPF), BEMIS 1655-SSC SEAT, G2 OPTIMA PLUS BATTERY POWERED HANDS FREE FLUSH VALVE	
WC-2P	WATER CLOSET FLOOR MTD (FV) ADA	KOHLER	JUVENILE K-96059-0	YES	1.28	4"	2"	0"	1 1/4"	0	0	0	0	1.28 GALLONS PER FLUSH (GPF), BEMIS 1655-SSC SEAT, G2 OPTIMA PLUS BATTERY POWERED HANDS FREE FLUSH VALVE	
RESIDENTIAL															
BT-1	BATH TUB	STERLING	ENSEMBLE	YES	1.75	2"	12 1/2"	1/2"	1/2"	0	0	0	0	0	
L-1	LAVATORY COUNTERTOP ADA	KOHLER	K-2905 FARMINGTON	YES	1	1 1/2"	1 1/2"	1/2"	1/2"	0	0	0	0	0	FAUCET K-7443 TRITON WITH AERATOR AND 4" WRIST BLADE HANDLES, OFFSET DRAIN ASSEMBLY, CARRIER SUPPORT
S-1	SINK	ELKAY	LRAD 172265 PD	YES	1.75	2"	1 1/2"	1/2"	1/2"	0	0	0	0	0	ADA COMPLIANT SINK AMERICAN STANDARD HERITAGE 7400.172H FAUCET, WRIST BLADE HANDLES
WC-1	RESIDENTIAL WATER CLOSET	NIAGRA	SENTINAL	YES	1.28	4"	2"	0"	1/2"	0	0	0	0	0	1.28 GALLONS PER FLUSH (GPF), BEMIS B1500EC ELONGATED CLOSED SEAT

NOTES:
A. COMPLY WITH ALL MANUFACTURER INSTALLATION REQUIREMENTS TO PROVIDE COMPLETE AND OPERATIONAL FIXTURES.
B. PROVIDE TRANSITION FITTING AS REQUIRED TO CONNECT TO BRANCH PIPING, WHICH MAY BE A DIFFERENT SIZE, AND AS SHOWN ON DRAWINGS.
C. PROVIDE STOP VALVES, BACKFLOW PREVENTERS AND SUPPORTS AS REQUIRED BY THE MANUFACTURER AND PLUMBING CODE.
D. COORDINATE WITH ELECTRICAL DESIGN FOR POWER SUPPLY AND LOCATIONS.
E. HOT WATER SHALL BE LIMITED TO ALL FIXTURES IN ACCORDANCE WITH ASSE STANDARDS: PUBLIC LAVATORIES, BATHTUBS & WHIRLPOOLS SHALL BE LIMITED TO 110 F (ASSE 1070), EMERGENCY EYEWASH AND SHOWERS LIMITED TO 60-100F (ASSE 1071), AND SINGLE SHOWER/ GANG SHOWERS LIMITED TO 120F (ASSE 1016/ ASSE 1069).

DOMESTIC WATER HEATER SCHEDULE

TAG	TAG #	MANUFACTURER	MODEL	LOCATION	VOL (GAL)	RECOV (GPH)	EWT (°F)	LWT (°F)	CONNECTION SIZE				NATURAL GAS		ELECTRICAL				UNIT SIZE (L"xW"xH")	OPER. WT. (LBS)	NOTES		
									CW (IN)	HW (IN)	NG (IN)	FLUE (IN)	INPUT (MBH)	EFF (AFUE%)	KW	VOLTS	PH	MCA					
BUILDING A																							
GWH	4.2	AO SMITH	BTH 150	LEVEL 4	100	198	50	140	3/4"	3/4"	+3/4"	4"	150	5	0.6	120	1	0			1420	1,2	
GWH	4.1	AO SMITH	BTH 150	LEVEL 4	100	198	50	140	3/4"	3/4"	+3/4"	4"	150	95	0.6	120	1	0			1420	1,2	
BUILDING B																							
EWH	#.X	AO SMITH	DEN 52	UNIT	50	34	50	120	3/4"	3/4"	+0"	0"		0	6	208	1	0			470	1,3	
BUILDING C																							
EWH	E.#.X	AO SMITH	DEN 52	UNIT	50	34	50	120	3/4"	3/4"	+0"	0"		0	6	208	1	0			470	1,3,4	
EWH	W.#.X	AO SMITH	DEN 52	UNIT	50	34	50	120	3/4"	3/4"	+0"	0"		0	6	208	1	0			470	1,3,4	
BUILDING D																							
EWH	E.#.X	AO SMITH	DEN 52	UNIT	50	34	50	120	3/4"	3/4"	+0"	0"		0	6	208	1	0			470	1,3,4	
EWH	W.#.X	AO SMITH	DEN 52	UNIT	50	34	50	120	3/4"	3/4"	+0"	0"		0	6	208	1	0			470	1,3,4	

NOTES:
1. COORDINATE WITH ELECTRICAL FOR POWER AND DISCONNECT AS REQUIRED.
2. CONDENSING TANK TYPE WATER HEATER, NATURAL GAS INPUT. PROVIDE CONCENTRIC AIR INTAKE AND EXHAUST FITTING. PROVIDE CPVC VENT PIPING.
3. ELECTRIC TANK TYPE WATER HEATER
4. WITHIN TAG # COLUMN, # INDICATES FLOOR LEVEL, X INDICATED QUANTITY IDENTIFIER. X TO MATCH CW RISER NUMBER PER PLAN.

PLUMBING TANK SCHEDULE

TAG	#	MANUFACTURER	MODEL	LOCATION	TYPE	TANK VOL. (GAL)	ACCEPT. VOL. (GAL)	SYSTEM VOL. (GAL)	FILL PRESS. (PSIG)	OPER. PRESS. (PSIG)	MIN. TEMP. (°F)	MAX. TEMP. (°F)	SYSTEM CONN. (IN)	NOTES
BUILDING A														
HT	4.1	AMERICAN WHEATLEY	BDT - 026	LEVEL 4	HYROPNEUMATIC	26	0	0	0	0	0	0	1"	
T	4.1	WATTS	DETA - 30	LEVEL 4	BLADDER	15	10	270	40	45	50	140	1"	
BUILDING B														
T	#.X	WATTS	PLT - 5	UNIT	DIAPHRAGM	2	0	50	40	55	50	120	3/4"	
BUILDING C														
T	E.#.X	WATTS	PLT - 5	UNIT	DIAPHRAGM	2	0	50	40	55	50	120	3/4"	
T	E.#.X	WATTS	PLT - 5	UNIT	DIAPHRAGM	2	0	50	40	55	50	120	3/4"	
BUILDING D														
T	W.#.X	WATTS	PLT - 5	UNIT	DIAPHRAGM	2	0	50	40	55	50	120	3/4"	
T	W.#.X	WATTS	PLT - 5	UNIT	DIAPHRAGM	2	0	50	40	55	50	120	3/4"	

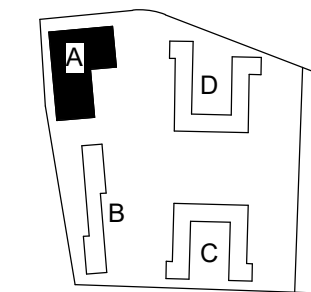
DOMESTIC RECIRCULATION PUMP SCHEDULE

TAG	#	MANUFACTURER	MODEL	LOCATION	TYPE	FLOW (GPM)	HEAD (FT WG)	RPM	CONNECTION SIZE (IN)	ON/OFF SETPOINT (°F)	HP	WATTS	VOLTS	PH	NOTES
HWCP	4.1	B&G	ECO CIRC XL	LEVEL 4	CIRCULATOR	0			3/4"	110		115	1		

NOTES:
1. COORDINATE WITH ELECTRICAL FOR POWER AND DISCONNECT AS REQUIRED.
2. PUMP TO CONTAIN LESS THAN 0.25% LEAD CONTENT ON WETTED SURFACE FOR DOMESTIC DISTRIBUTION.
3. MAXIMUM WORKING PRESSURE 150 PSIG AND MAXIMUM OPERATING TEMPERATURE OF 225° F.
4. PROVIDE AUTOMATIC TIMECLOCK TO ALLOW OPERATION ONLY DURING OCCUPIED HOURS.
5. PROVIDE AQUASTAT TO OPERATE PUMP WHEN HOT WATER RETURN TEMPERATURE DROPS BELOW SETPOINT.



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DOMESTIC WATER CALCULATION

GIVEN

1.	150	GPM	FLOW DEMAND
2.	77	PSI	HYDRANT STATIC PRESSURE
3.	77.5	FT	HYDRANT ELEVATION
4.	101	FT	PUMP ELEVATION
5.	470	FT	LM (LENGTH MEASURED FROM MAIN TO PUMP)
6.	541	FT	LMEQ (EQUIVALENT LENGTH WITH 15% FITTING ALLOWANCE)
7.	3	INCH	WATER PIPE SIZE
8.	3	INCH	WATER METER SIZE
9.	2.7	PSI/100'	FRICITION HEAD LOSS FOR 3 IN PIPE @ 150 GPM

PUMP SUCTION AVAILABLE:

-10.11	PSI	STATIC GAIN: 0.43 X (HYDRANT ELEVATION - PUMP ELEVATION)
6	PSI	METER LOSS: (3 IN METER @ 150 GPM)
12	PSI	BACKFLOW LOSS: (3 IN BFD @150 GPM)
14.59	PSI	FRICITION LOSS: (540.5 FT @ 2.7 PSI/100')

AVAILABLE PRESSURE AT PUMP SUCTION:

+ 77	HYDRANT STATIC PRESSURE
+ -10.11	STATIC GAIN
- 6	METER LOSS
- 12	BACKFLOW LOSS
- 14.59	FRICITION LOSS
34.30	PSI

PUMP PRESSURE CALCULATION

H (ELEVATION AT HIGHEST FIXTURE) =	138	FT
LP (LENGTH OF PIPE FROM PUMP TO FURTHEST FIXTURE) =	250	FT
LPEQ (EQUIVALENT LENGTH WITH 50% FITTING ALLOWANCE)	375	FT
STATIC LOSS: 0.43 X (H - PUMP ELEVATION) =	15.91	PSI
FRICITION LOSS: LPEQ X (3 PSI/100') =	11.25	PSI
PUMP INTERNAL LOSS =	5	PSI
PRESSURE REQUIRED AT TOP OF ZONE =	33	PSI

BOOST PRESSURE = 30.86 PSI
REQUIRED DISCHARGE PRESSURE = 65 PSI

DOMESTIC BOOSTER PUMP SKID SCHEDULE

TAG	#	MANUFACTURER	MODEL	LOCATION	TYPE	FLOW (GPM)	PRESSURE BOOST (PSI)	DISCHARGE PRESSURE (PSI)	RPM	ELECTRICAL				SINGLE POC (Y/N)	EMERG POWER (Y/N)	SKID MOUNT (Y/N)	OPER. WT. (LBS)	NOTES
										HP	V	PH	VFD TAG					
DWBP	1-1	GRUNDFOS	MPC 2CME 15-1	BLDG AWATER ENTRY	DUPEX SKID	150.00	31	65	3450	(2) - 3	208	3	SKID	Yes	No	YES	800	1,2,3,4,5,6

- NOTES:
- COORDINATE WITH ELECTRICAL FOR POWER AND DISCONNECT AS REQUIRED.
 - PROVIDE SINGLE POINT POWER CONNECTION TO SKID TO SERVE ALL PUMPS AND PROVIDE TRANSFORMER FOR CONTROL POWER.
 - PROVIDE NON-OVERLOADING NEMA PREMIUM EFFICIENCY, TOTALLY ENCLOSED FAN COOLED (TEFC), INVERTER READY MOTOR.
 - MAXIMUM WORKING PRESSURE 145 PSIG AND MAXIMUM OPERATING TEMPERATURE OF 140° F.
 - PROVIDE AS MANUFACTURED DUPLEX PUMP ASSEMBLY ON STEEL FRAME SKID WITH MANIFOLDED HEADER INLET AND OUTLET PIPE CONNECTIONS.
 - PROVIDE MANUFACTURER CONTROL PANEL WITH HOA CONTROL FOR EACH PUMP WITH SENSORS AND SEQUENCING. MONITORING SHALL INCLUDE, BUT NOT BE LIMITED TO: SYSTEM INLET PRESSURE, SYSTEM PRESSURE SETPOINT, SYSTEM DISCHARGE PRESSURE AND FLOW RATE.

BACKFLOW PREVENTION DEVICE SCHEDULE

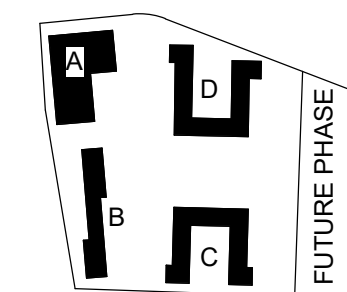
TAG	#	MANUFACTURER	MODEL	LOCATION	SYSTEM SERVED	SIZE (IN)	FLOW RATE		MAX PRESSURE DROP (PSI)	NOTES
							MIN (GPM)	MAX (GPM)		
BLDG A										
BFP-JRR	A.1	WATTS	009	BLDG A	IRRIGATION	1 1/2	0	50	13	2
BFP-CW	A.1	WATTS	LF709	BLDG A	DOMESTIC WATER	3	0	160	5	
BFP-FS	A.1	WATTS	709 DCDA	BLDG A	FIRE SPRINKLER	4	0	300	7	1
BLDG B										
BFP-JRR	B.1	WATTS	009	BLDG B	IRRIGATION	1 1/2	0	50	13	2
BFP-CW	B.1	WATTS	LF709	BLDG B	DOMESTIC WATER	2 1/2	0	160	5	
BFP-FS	B.1	WATTS	709 DCDA	BLDG B	FIRE SPRINKLER	4	0	300	7	1
BLDG C										
BFP-CW	C.E.1	WATTS	LF709	BLDG C WEST	DOMESTIC WATER	2	0	160	5	
BFP-JRR	C.E.1	WATTS	009	BLDG C EAST	IRRIGATION	1 1/2	0	50	13	2
BFP-FS	C.E.1	WATTS	709 DCDA	BLDG C EAST	FIRE SPRINKLER	4	0	300	7	1
BFP-JRR	C.W.1	WATTS	009	BLDG C WEST	IRRIGATION	1 1/2	0	50	13	2
BFP-FS	C.W.1	WATTS	709 DCDA	BLDG C WEST	FIRE SPRINKLER	4	0	300	7	1
BFP-CW	C.W.1	WATTS	LF709	BLDG C EAST	DOMESTIC WATER	2 1/2	0	160	5	
BLDG D										
BFP-JRR	D.E.1	WATTS	009	BLDG D EAST	IRRIGATION	3	0	50	13	2
BFP-CW	D.E.1	WATTS	LF709	BLDG D WEST	DOMESTIC WATER	2	0	160	5	
BFP-CW	D.W.1	WATTS	LF709	BLDG D EAST	DOMESTIC WATER	2 1/2	0	160	5	
BFP-FS	D.W.1	WATTS	709 DCDA	BLDG D EAST	FIRE SPRINKLER	4	0	300	7	1
BFP-JRR	D.W.1	WATTS	009	BLDG D WEST	IRRIGATION	1 1/2	0	50	13	2
BFP-FS	D.W.1	WATTS	709 DCDA	BLDG D WEST	FIRE SPRINKLER	4	0	300	7	1

- NOTES
- COORDINATE LOCATION WITH DIV 21.
 - COORDINATE LOCATION WITH LANDSCAPE.



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Project Manager: DeNayne Glenn

Job No.: 20US00169

PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:

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3107 COLBY AVE
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MARK DATE DESCRIPTION
REVISIONS

C 06/08/2020 BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

B 04/10/2020 DESIGN DEVELOPMENT

A 01/07/2020 SCHEMATIC DESIGN

MARK DATE DESCRIPTION

ISSUE INFORMATION

PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: **Jon Hall**
PROJECT MANAGER: **Scott Schreffler**
OWNER APPROVAL:

SHEET TITLE

PLUMBING SCHEDULES

SHEET NO.

P-002

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ORIGINAL SHEET SIZE IS 36"X48"

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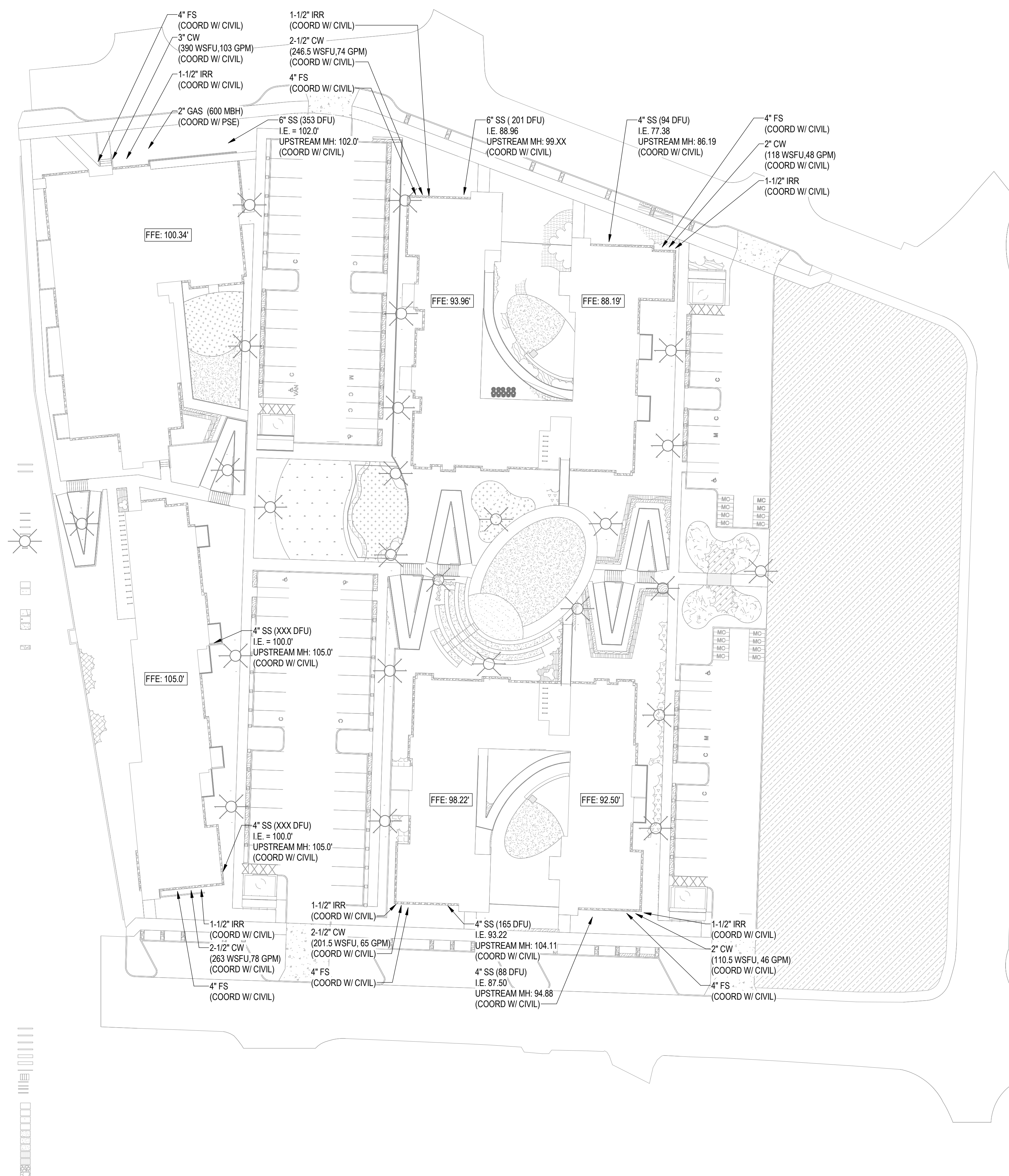
D

C

B

A

+
+



FFE: 100.34'

FFE: 93.96'

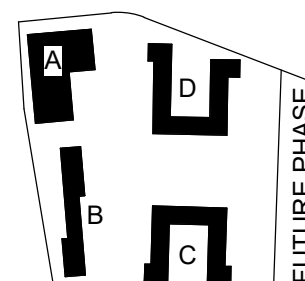
FFE: 88.19'

FFE: 105.0'

FFE: 98.22'

FFE: 92.50'

1 **SITE PLAN - PLUMBING**
SCALE: 1" = 30'-0"



PROJECT:

EHA BAKER HEIGHTS

C

PROJECT ADDRESS:

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MARK	DATE	DESCRIPTION
REVISIONS		

B

MARK DATE DESCRIPTION

REVISIONS

MARK	DATE	DESCRIPTION

A

MARK DATE DESCRIPTION

ISSUE INFORMATION

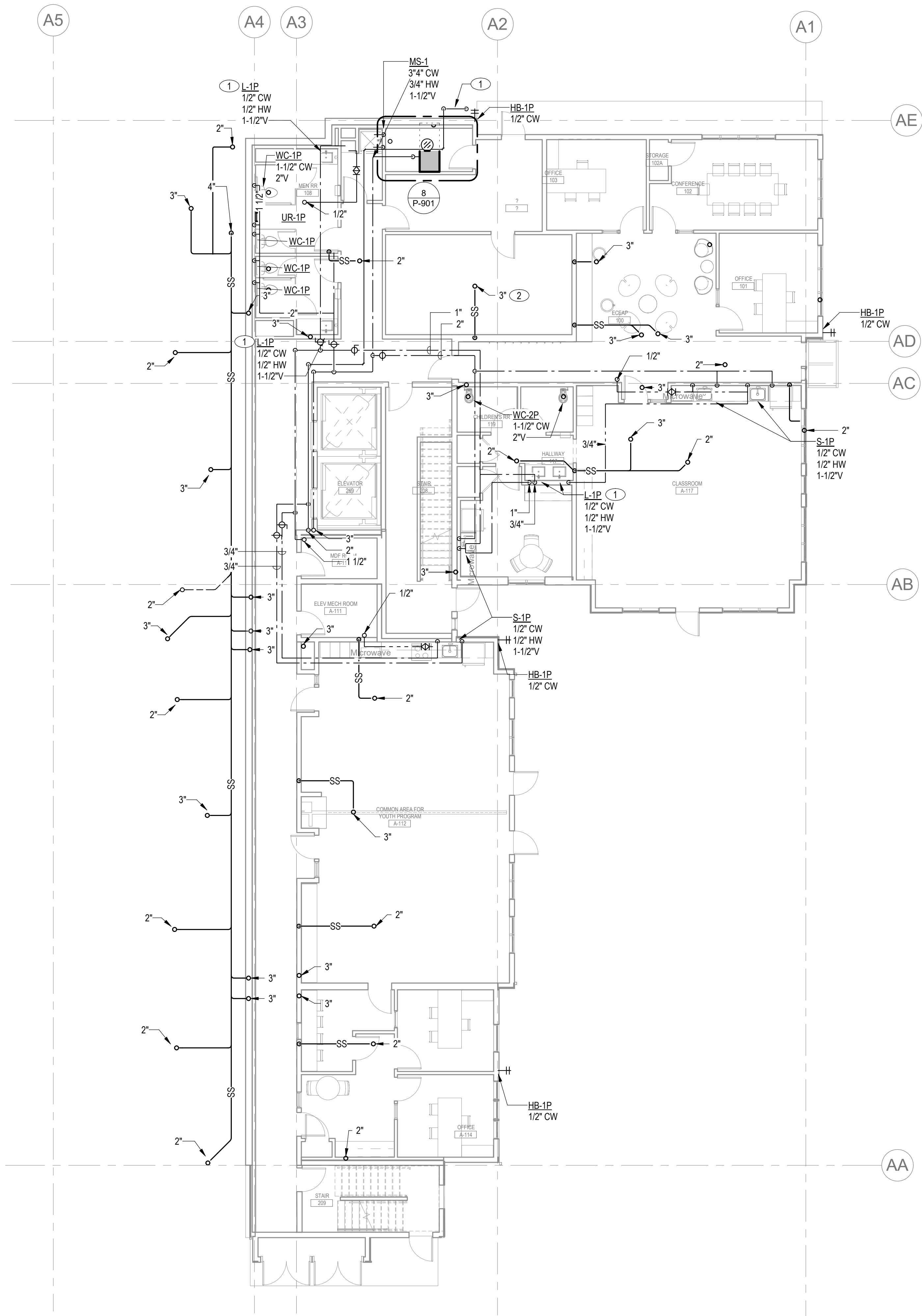
PROJECT NO.: **2017033**
GGLO PRINCIPAL IN CHARGE: **Jon Hall**
GGLO PROJECT MANAGER: **Scott Schreffler**
OWNER APPROVAL: _____

SHEET TITLE

PLUMBING SITE PLAN

SHEET NO.

P-100



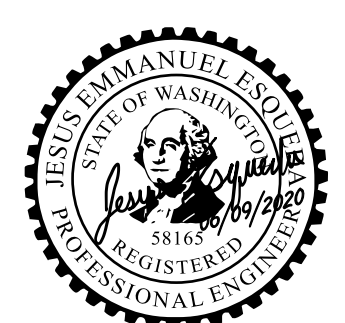
1 BUILDING A - LEVEL 1 FLOOR PLAN - PLUMBING
 SCALE: 1/8" = 1'-0"

SHEET NOTES

- A. COORDINATE INCOMING UTILITY FOOTING PENETRATIONS WITH STRUCTURAL. PROVIDE SLEEVE WITH 1" ANNULAR SPACE.
- B. SANITARY STACKS WITH SUDSING FIXTURES TO BE PROVIDED WITH A HORIZONTAL OFFSET OF 8 FT OF LENGTH PRIOR CONNECTION TO LEVEL 2 FIXTURES.
- C. LEVEL 1 SANITARY PIPING TO BE PROTECTED WITH A BACKWATER VALVE.

KEYED NOTES

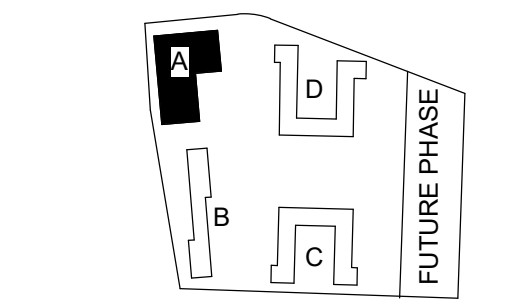
- 1. PROPOSED LOCATION FOR GAS WATER METER. COORDINATE W/ PSE.
- 2. COORDINATE SANITARY ABOVE ELECTRICAL EQUIPMENT W/ ELECTRICAL CONTRACTOR. PROVIDE DRIP PAN AS REQUIRED.
- 3. PROVIDE ASSE 1017 THERMOSTATIC MIXING VALVE BELOW LAV SINK, WITHIN ACCESS PANEL (COORD W/ ARCH).



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 Job No.: 20US00169

PROJECT:
EHA BAKER HEIGHTS



PROJECT ADDRESS:
BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
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MARK	DATE	DESCRIPTION
REVISIONS		

C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

MARK	DATE	DESCRIPTION
ISSUE INFORMATION		

PROJECT NO.: **2017033**
 PRINCIPAL IN CHARGE: **Jon Hall**
 PROJECT MANAGER: **Scott Schreffler**
 OWNER APPROVAL:

SHEET TITLE
BUILDING A - LEVEL 1 - PLUMBING

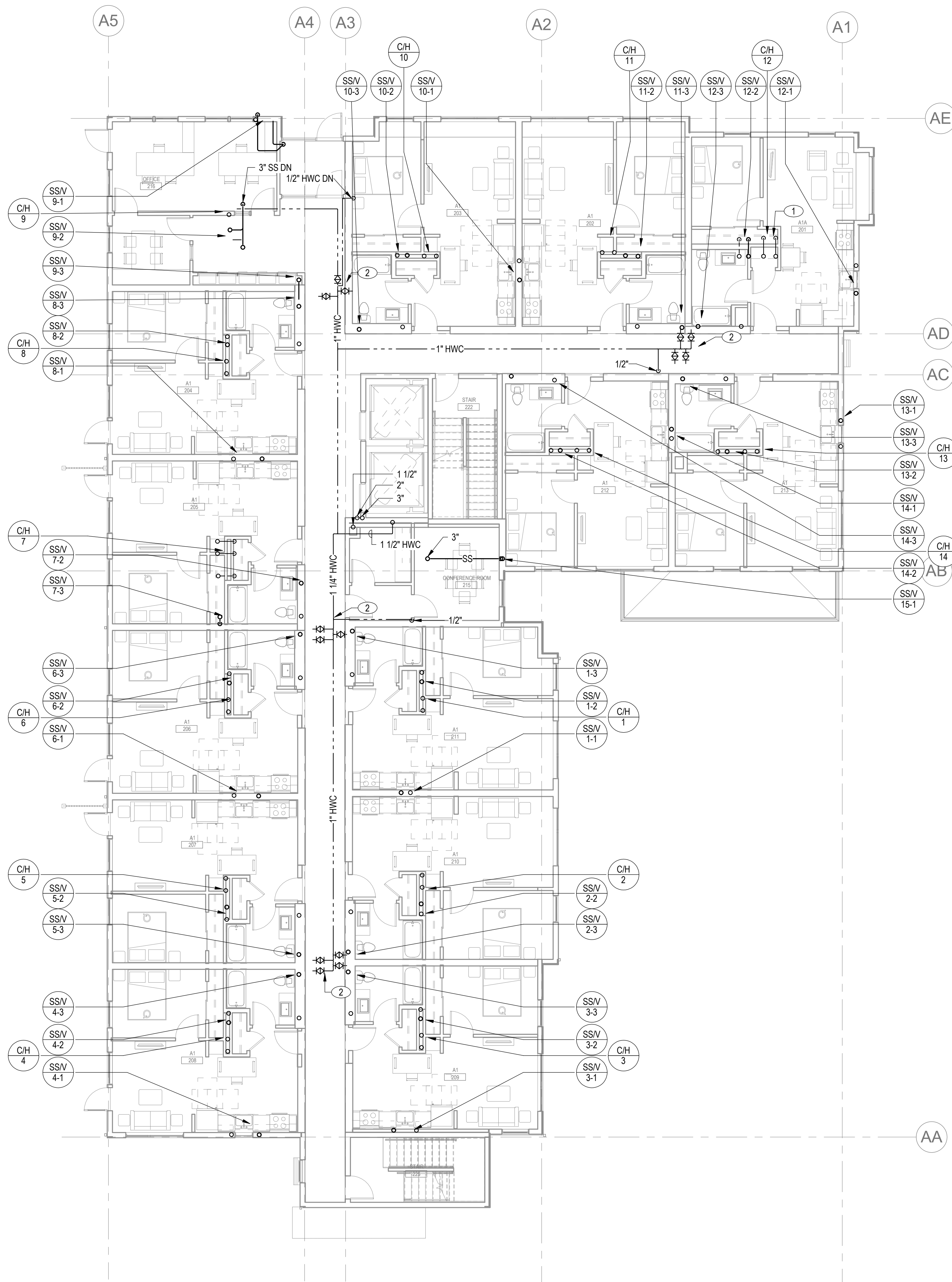
SHEET NO.
PA-110

SHEET NOTES

A. PROVIDE RISER ISOLATION VALVES AND BALANCING VALVE WITHIN CEILING ACCESS PANEL.

KEYED NOTES

1. PEX MANIFOLD ADJACENT TO COLD AND HOT WATER RISER. PROVIDE HOT WATER METERS AND UNIT ISOLATION VALVE.
2. PROVIDE ACCESS PANEL FOR RISER ISOLATION. COORDINATE LOCATION WITH ARCHITECT.



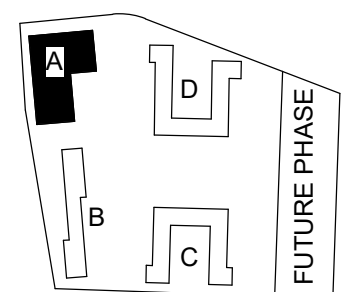
1 BUILDING A - LEVEL 2 FLOOR PLAN - PLUMBING
 SCALE: 1/8" = 1'-0"



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 Job No.: 20US00169

PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

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MARK	DATE	DESCRIPTION
REVISIONS		

C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN
MARK	DATE	DESCRIPTION
ISSUE INFORMATION		

PROJECT NO.: **2017033**
 PRINCIPAL IN CHARGE: Jon Hall
 PROJECT MANAGER: Scott Schreffler
 OWNER APPROVAL: _____

SHEET TITLE
BUILDING A - LEVEL 2 - PLUMBING

SHEET NO.

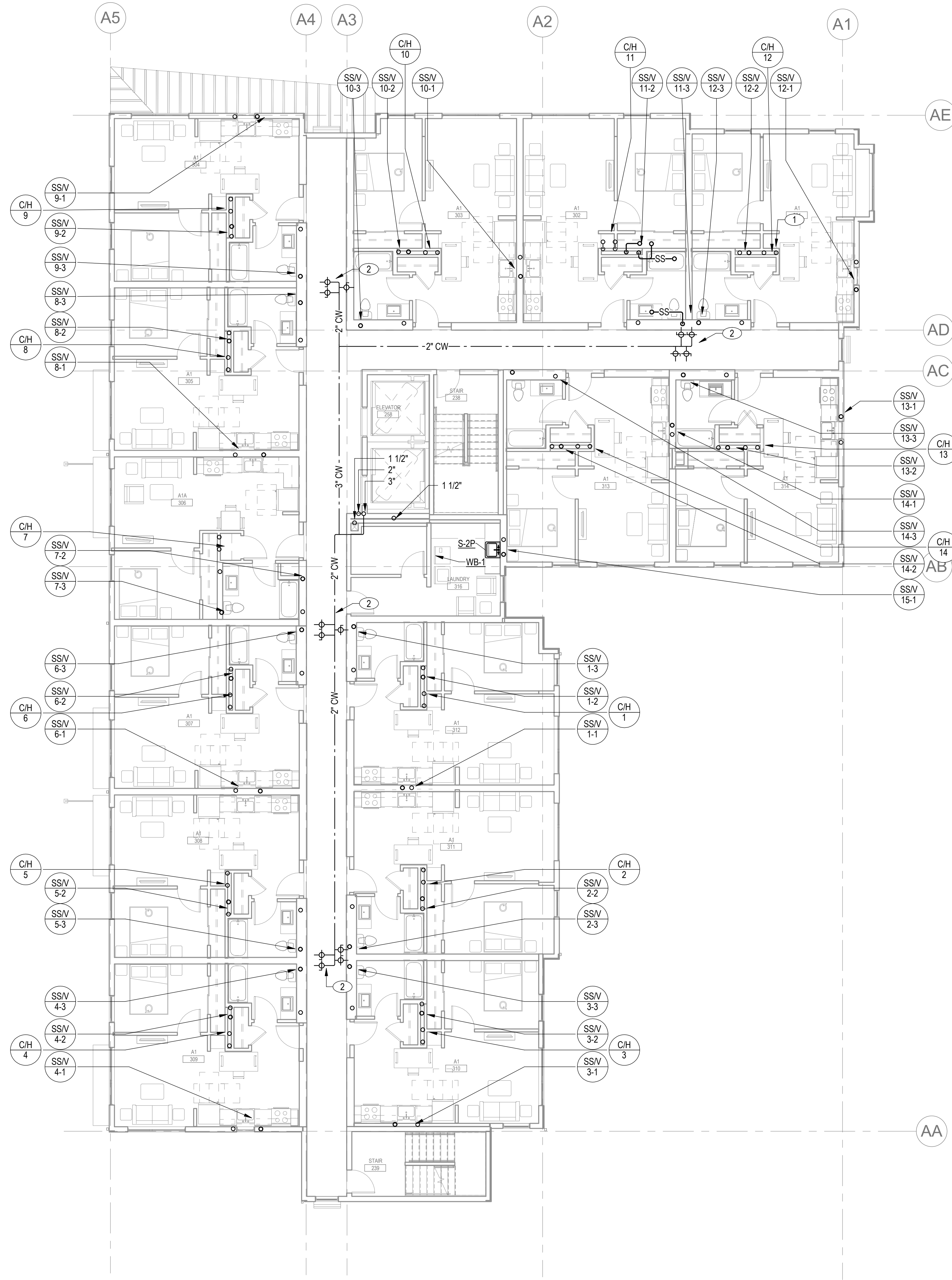
PA-111

SHEET NOTES

A. PROVIDE RISER ISOLATION VALVES WITHIN CEILING ACCESS PANEL.

KEYED NOTES

1. PEX MANIFOLD ADJACENT TO AND HOT WATER RISER. PROVIDE HOT WATER METERS AND UNIT ISOLATION VALVE.
2. PROVIDE ACCESS PANEL FOR RISER ISOLATION. COORDINATE LOCATION WITH ARCHITECT.



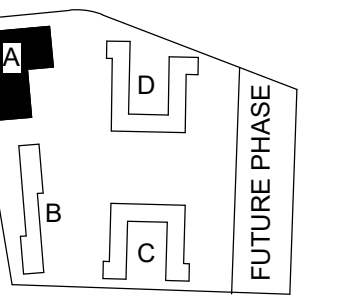
1 BUILDING A - LEVEL 3 FLOOR PLAN - PLUMBING
 SCALE: 1/8" = 1'-0"



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 Job No.: 20US00169

PROJECT:
EHA BAKER HEIGHTS



PROJECT ADDRESS:
BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
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MARK	DATE	DESCRIPTION
REVISIONS		

C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

MARK DATE DESCRIPTION
ISSUE INFORMATION
 PROJECT NO.: **2017033**
 PRINCIPAL IN CHARGE: **Jon Hall**
 PROJECT MANAGER: **Scott Schreffler**
 OWNER APPROVAL:

SHEET TITLE
BUILDING A - LEVEL 3 - PLUMBING

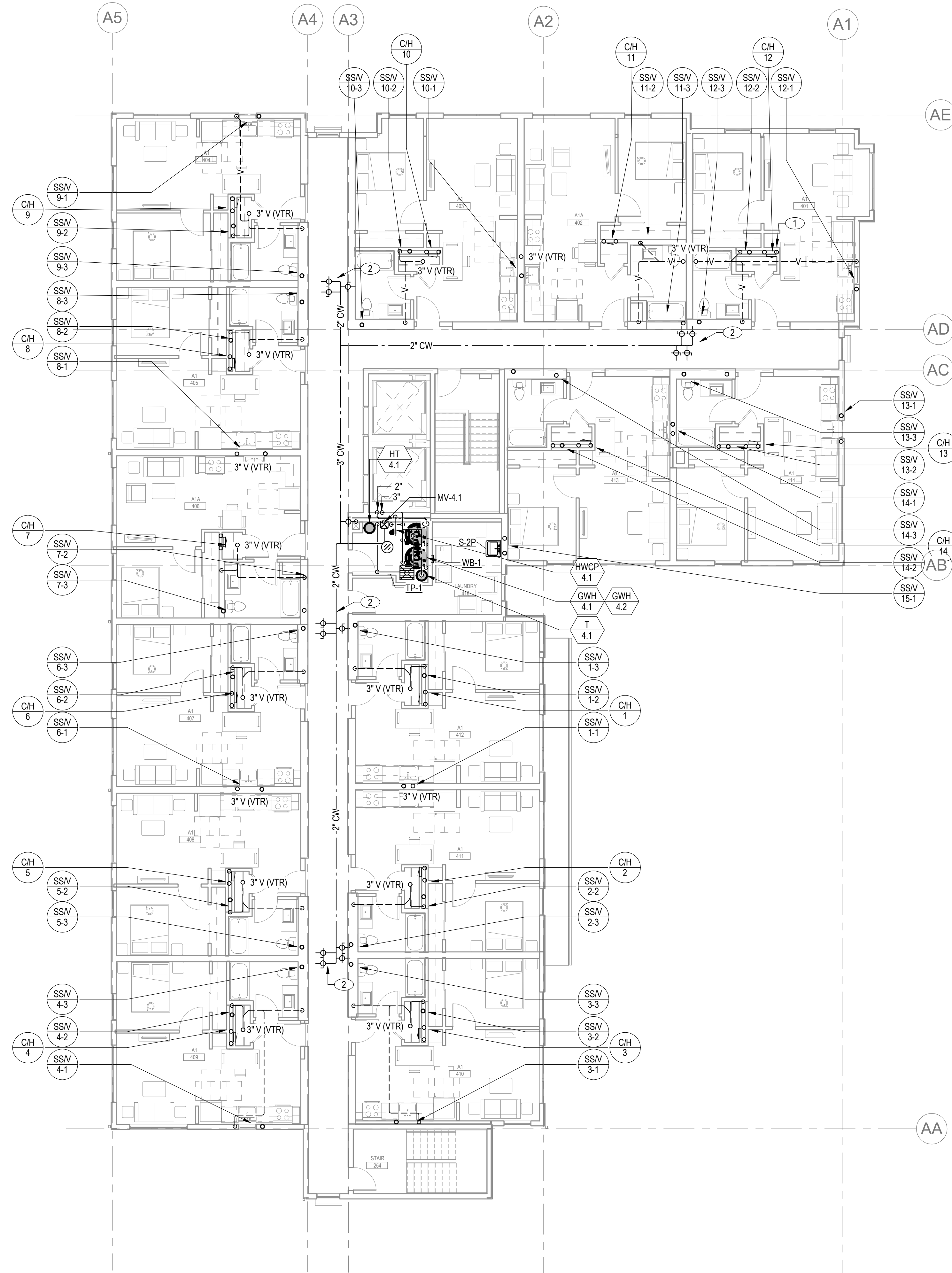
SHEET NO.
PA-112

SHEET NOTES

A. PROVIDE RISER ISOLATION VALVES WITHIN CEILING ACCESS PANEL.

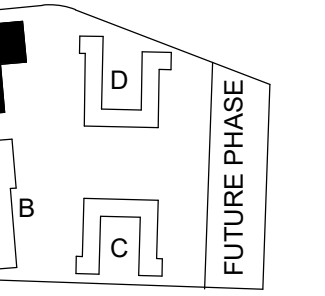
KEYED NOTES

- 1. PEX MANIFOLD ADJACENT TO COLD AND HOT WATER RISER. PROVIDE HOT WATER METERS AND UNIT ISOLATION VALVE.
- 2. PROVIDE ACCESS PANEL FOR RISER ISOLATION. COORDINATE LOCATION WITH ARCHITECT.



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 Project Manager: DeNayne Glenn
 Job No.: 20US00169

PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

**BUILDING A: 2710 14TH STREET
 BUILDING B: 2745 15TH STREET
 BUILDING C: 2815 15TH STREET
 BUILDING D: 2810 14TH STREET
 EVERETT, WA 98201**

OWNER:

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MARK	DATE	DESCRIPTION
REVISIONS		

C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN
MARK	DATE	DESCRIPTION
ISSUE INFORMATION		

PROJECT NO.: **2017033**
 PRINCIPAL IN CHARGE: Jon Hall
 PROJECT MANAGER: Scott Schreffler
 OWNER APPROVAL:

SHEET TITLE
BUILDING A - LEVEL 4 - PLUMBING

SHEET NO.

PA-113

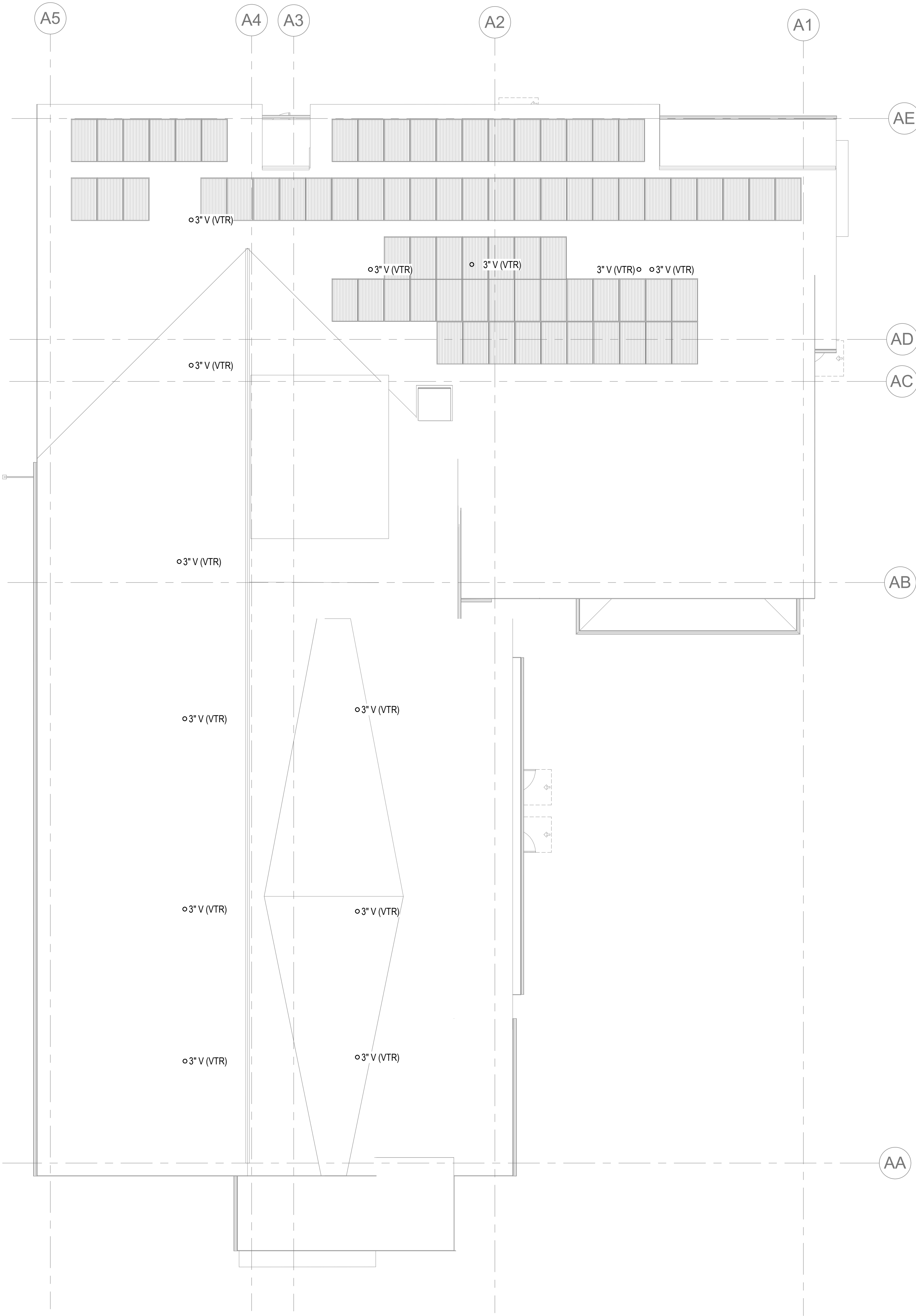
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 ORIGINAL SHEET SIZE IS 34"X46"

1 BUILDING A - LEVEL 4 FLOOR PLAN - PLUMBING
 SCALE: 1/8" = 1'-0"



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PLOT DATE/TIME: 06/09/2020 2:36:37 PM



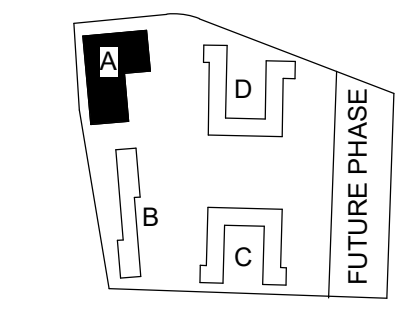
SHEET NOTES

- A. COORDINATE ROOFTOP GAS WATER HEATER TERMINATION WITH MECHANICAL CONTRACTOR.
- B. COORDINATE EXTERIOR DOWNSPOUT LOCATIONS W/ ARCHITECT.

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Project Manager: DeNayne Glenn
Job No.: 20US00169

PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

BUILDING A: 2710 14TH STREET
BUILDING B: 2745 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:

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MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

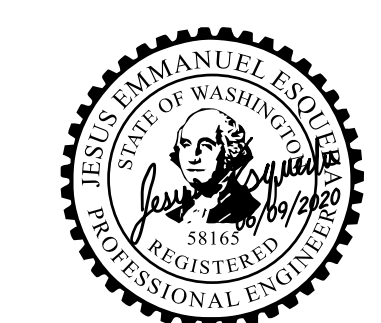
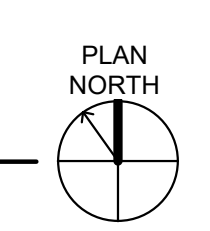
MARK DATE DESCRIPTION
ISSUE INFORMATION

PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: **Jon Hall**
PROJECT MANAGER: **Scott Schreffler**
OWNER APPROVAL: _____

SHEET TITLE
BUILDING A - ROOF - PLUMBING

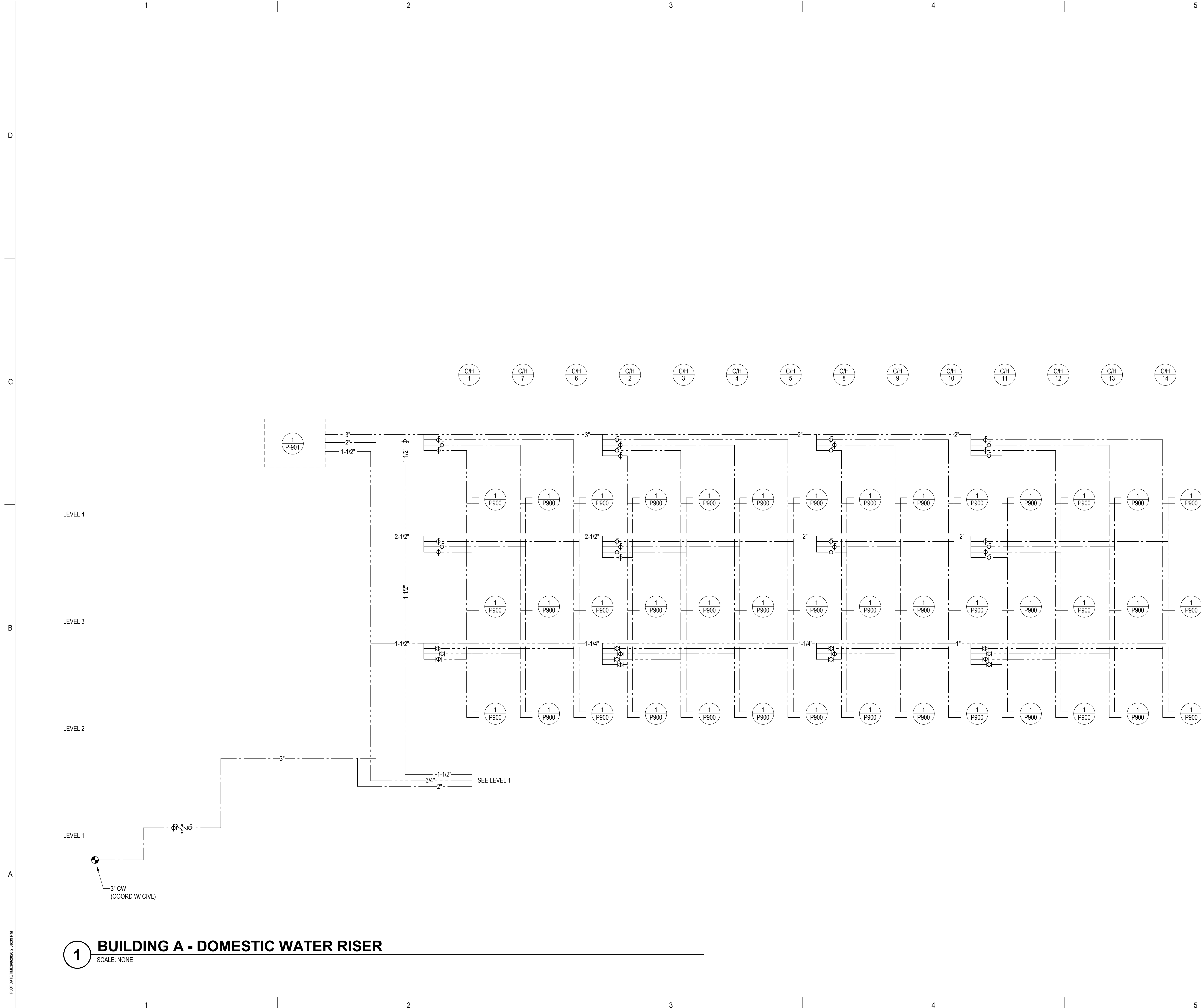
SHEET NO.
PA-114

1 BUILDING A - ROOF PLAN - PLUMBING
SCALE: 1/8" = 1'-0"



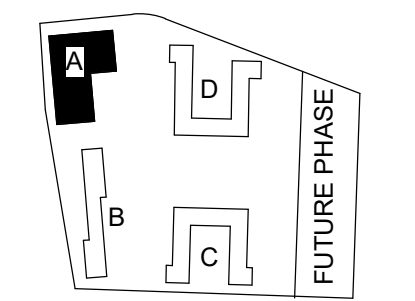
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PLT DATE: 06/18/2020 2:28:31 PM



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www.glumac.com
T: 206.262.1010
Project Manager: DeNayne Glenn
Job No.: 20US00169

PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201
OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201

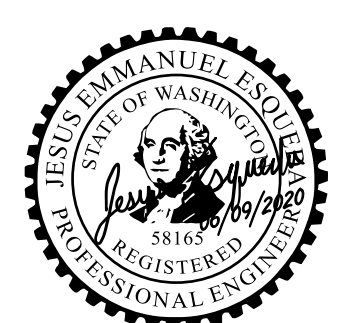
MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: **Jon Hall**
PROJECT MANAGER: **Scott Schreffler**
OWNER APPROVAL:

SHEET TITLE
DOMESTIC WATER RISER DIAGRAM

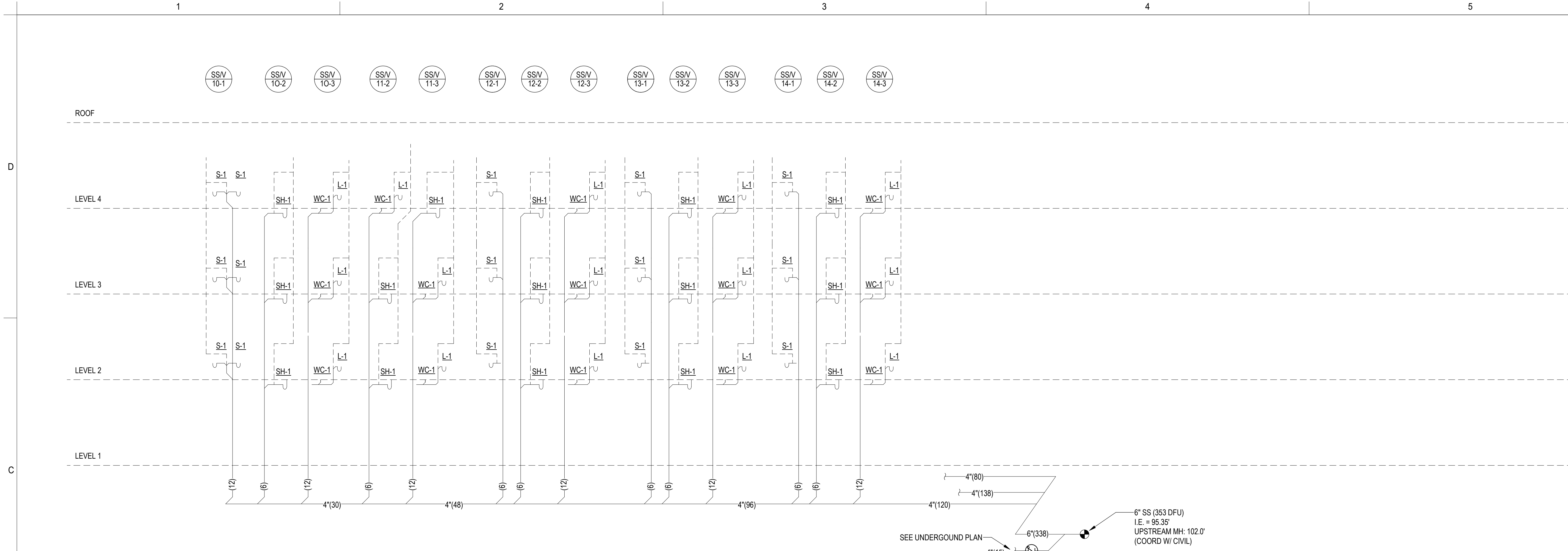
SHEET NO.
PA-701



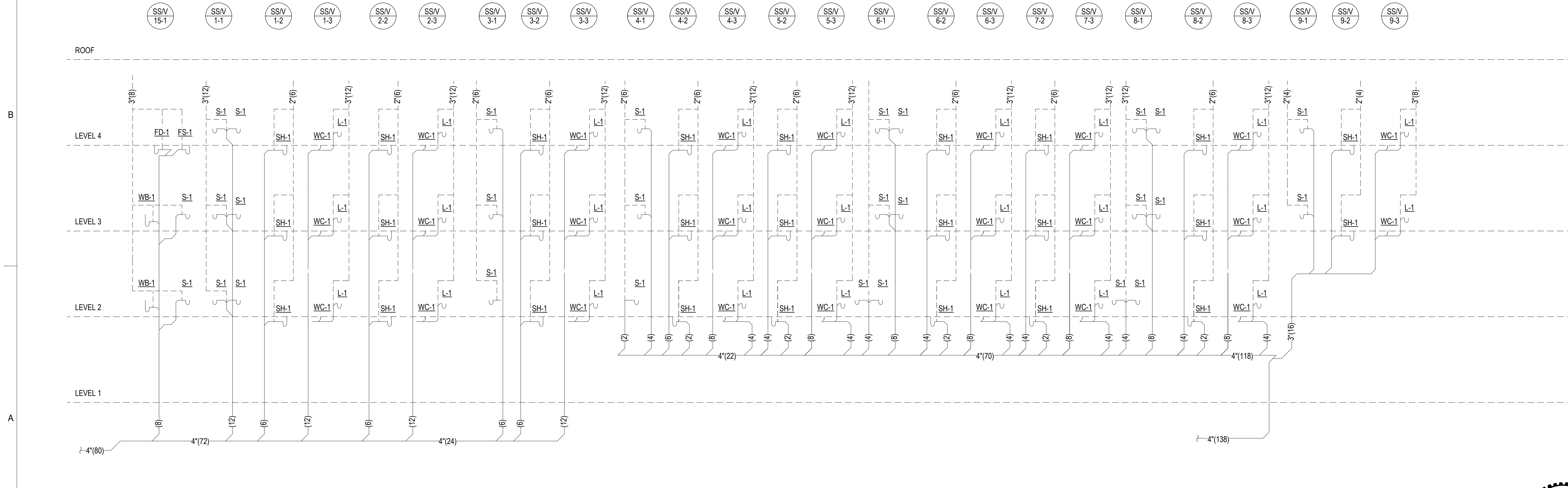
BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

1 BUILDING A - DOMESTIC WATER RISER
SCALE: NONE

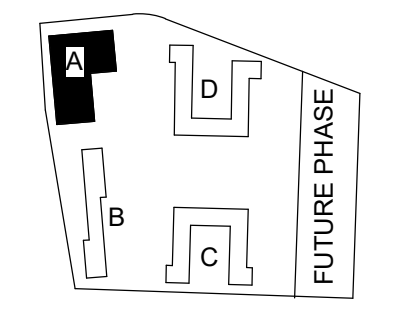
PLOT DATE/TIME: 06/08/2020 2:28:33 PM



2 BUILDING A - SANITARY SEWER & VENT RISER
SCALE: NONE



1 BUILDING A - SANITARY SEWER & VENT RISER
SCALE: NONE



MARK	DATE	DESCRIPTION
REVISIONS		

C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

MARK	DATE	DESCRIPTION
ISSUE INFORMATION		
PROJECT NO.:	2017033	
PRINCIPAL IN CHARGE:	Jon Hall	
PROJECT MANAGER:	Scott Schreffler	
OWNER APPROVAL:		

SHEET TITLE
SANITARY SEWER AND VENT RISER DIAGRAM

SHEET NO.
PA-702



BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

NATURAL GAS

INITIAL PRESSURE: 6" WC
DEVELOPED LENGTH: 150 FT
PRESSURE DROP: 0.5" WC

SIZE	MAX CFH (MHB)
0.5	40
0.75	83
1	157
1.25	322
1.5	482
2	928
2.5	1,480
3	2,610

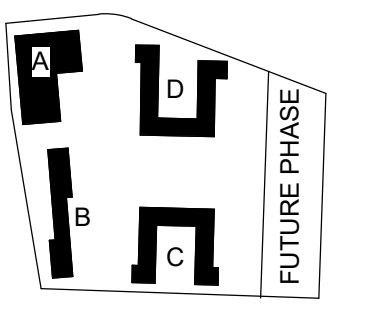
NATURAL GAS LOAD SCHEDULE

EQUIPMENT TAG	EQUIPMENT NAME	LOAD (MBH)	PRESSURE (IN. WC)	TDL (FT)
METER - 1				
GWH - 4.1	GAS WATER HEATER	150	3.5 - 14	150
GWH - 4.2	GAS WATER HEATER	150	3.5 - 14	150
METER - 1	CONNECTED CAPACITY	300	7"	

GGLO

DESIGN

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Project Manager: DeNayne Glenn
Job No.: 20US00169

PROJECT:

EHA BAKER HEIGHTS

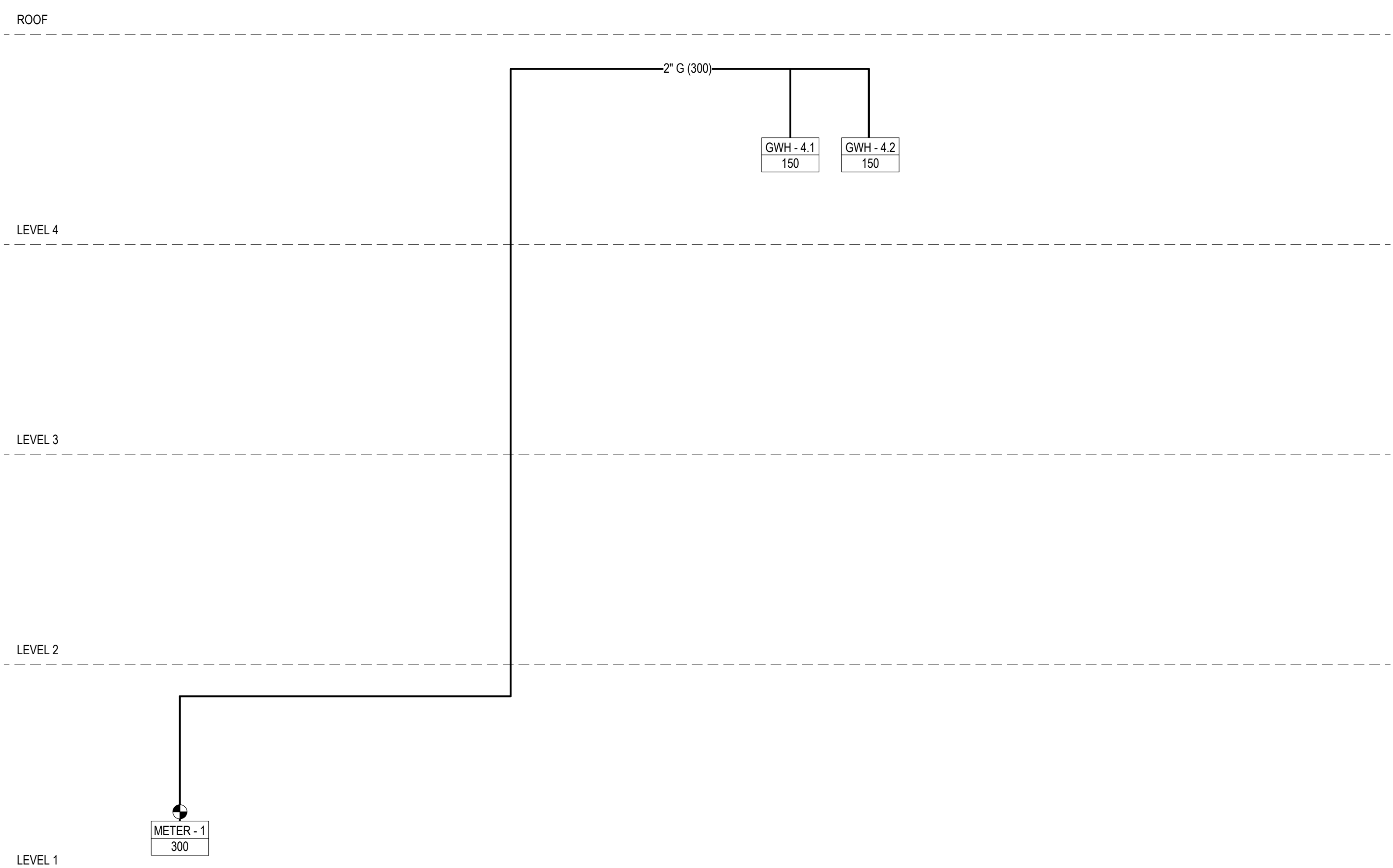


PROJECT ADDRESS:

BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:

EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201



1 BUILDING A - NATURAL GAS RISER DIAGRAM
SCALE: 1/8" = 1'-0"



BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

MARK DATE DESCRIPTION
REVISIONS

MARK	DATE	DESCRIPTION

MARK DATE DESCRIPTION

C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

MARK DATE DESCRIPTION

ISSUE INFORMATION

PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: Jon Hall
PROJECT MANAGER: Scott Schreffler
OWNER APPROVAL: _____

SHEET TITLE
GAS RISER DIAGRAM

SHEET NO.
PA-703

KEYED NOTES

- 1. PROVIDE BACKWATER VALVE WITHIN ACCESSIBLE LOCATION. ROUTE LEVEL 1 SANITARY PLUMBING FIXTURES ONLY.

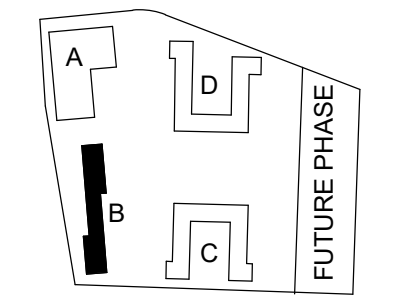
SHEET NOTES

- A. COORDINATE INCOMING UTILITY FOOTING PENETRATIONS WITH STRUCTURAL. PROVIDE SLEEVE WITH 1" ANNULAR SPACE.



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PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

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BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:

EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

MARK	DATE	DESCRIPTION
REVISIONS		

C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

MARK	DATE	DESCRIPTION
ISSUE INFORMATION		

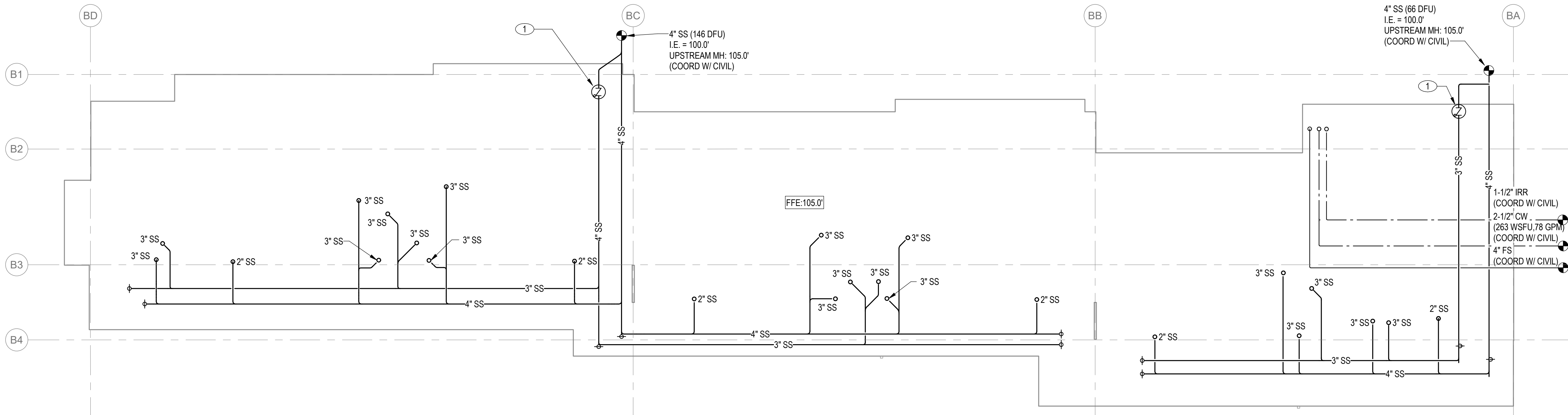
PROJECT NO.: **2018000.00**
PRINCIPAL IN CHARGE: **Scott Vollmoeller**
PROJECT MANAGER: **DeNayne Glenn**
OWNER APPROVAL:

SHEET TITLE
BUILDING B - UNDERGROUND PLAN - PLUMBING

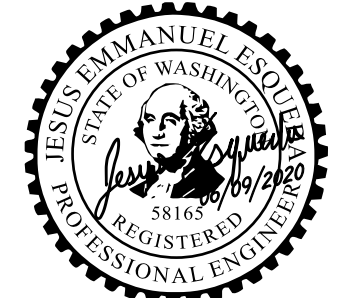
SHEET NO.

PB-010

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1 BUILDING B - UNDERGROUND PLAN - PLUMBING
SCALE: 1/8" = 1'-0"



BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

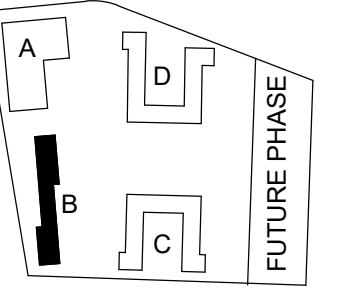
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KEYED NOTES

1. PROPOSED LOCATION OF WATER ENTRY, (COORD WITH ARCH). PROVIDE BACKFLOW PREVENTION DEVICE FOR INCOMING SERVICES AND PRESSURE REDUCING VALVE SET TO 60 PSI MAXIMUM. SEE DETAIL 3/P-902 & 4/P-902.
2. COORDINATE COLD WATER MAIN ROUTING WITH ARCHITECT AND STRUCTURAL ENGINEER.
3. TERMINATE 3/4" T&P RELIEF PIPING 12" ABOVE FINISH GRADE.

SHEET NOTES

- A. COORDINATE JOIST PENETRATIONS WITH STRUCTURAL ALLOWANCES.
- B. ELECTRIC WATER HEATER TO BE PROVIDED WITH SEISMIC RESTRAINT STRAPS AND DRAINAGE PAN PER UPC REQUIREMENTS. PROVIDE 3/4" DRAIN AT PAN TO TERMINATE AT EXTERIOR.



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Job No.: 20US00169

PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

- BUILDING A: 2710 14TH STREET
- BUILDING B: 2715 15TH STREET
- BUILDING C: 2815 15TH STREET
- BUILDING D: 2810 14TH STREET

OWNER:

EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

MARK	DATE	DESCRIPTION
REVISIONS		

C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

MARK	DATE	DESCRIPTION
ISSUE INFORMATION		

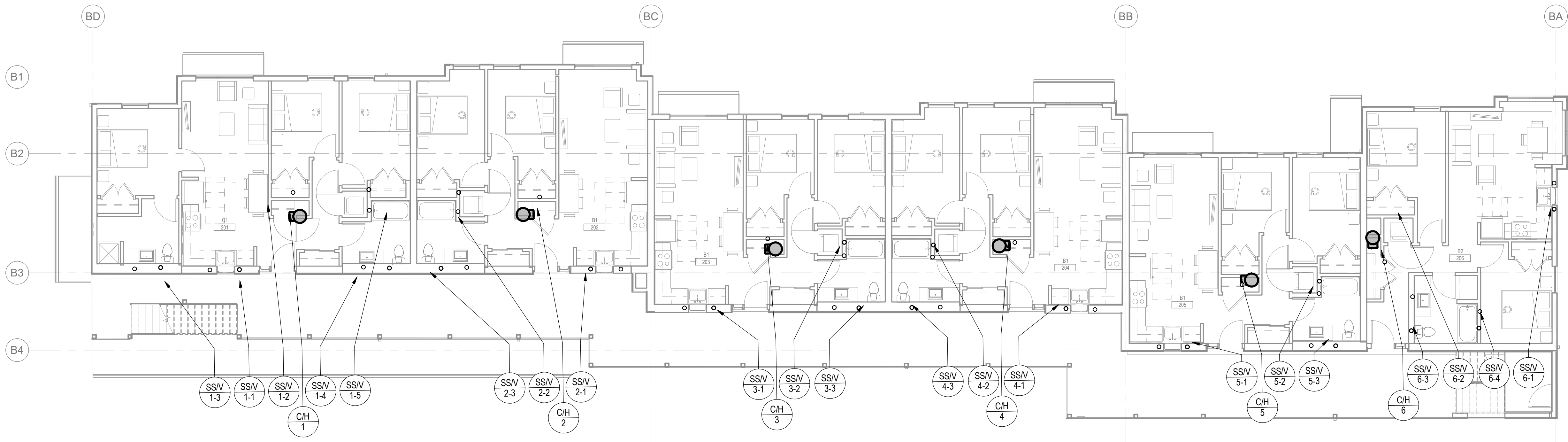
PROJECT NO.: **2018000.00**
 PRINCIPAL IN CHARGE: **Scott Vollmoeller**
 PROJECT MANAGER: **DeNayne Glenn**
 OWNER APPROVAL:

SHEET TITLE
BUILDING B - LEVEL 1 AND 2 - PLUMBING

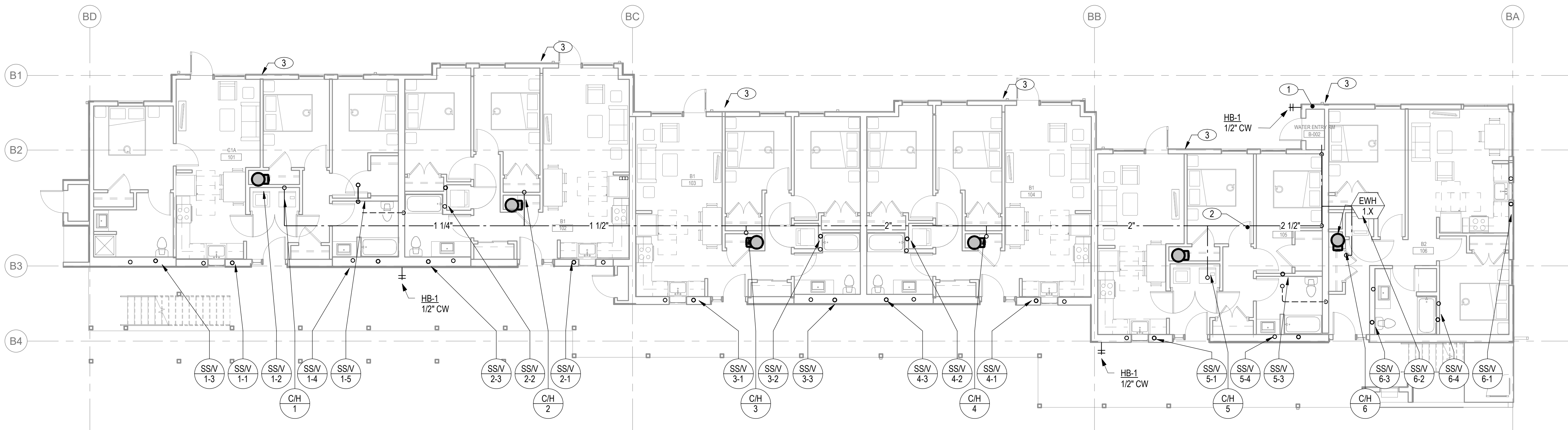
SHEET NO.

PB-110

BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL



2 BUILDING B - LEVEL 2 FLOOR PLAN - PLUMBING
 SCALE: 1/8" = 1'-0"



1 BUILDING B - LEVEL 1 FLOOR PLAN - PLUMBING
 SCALE: 1/8" = 1'-0"

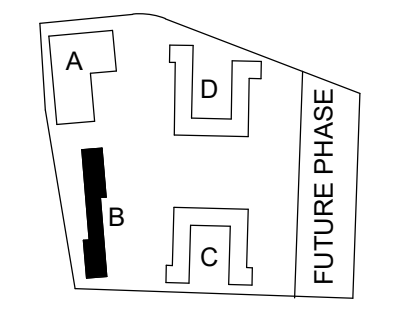


SHEET NOTES

- A. COORDINATE JOIST PENETRATIONS WITH STRUCTURAL ALLOWANCES.
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Job No.: 20US900169

PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

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BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201**

OWNER:

**EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201**

MARK	DATE	DESCRIPTION
REVISIONS		

C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

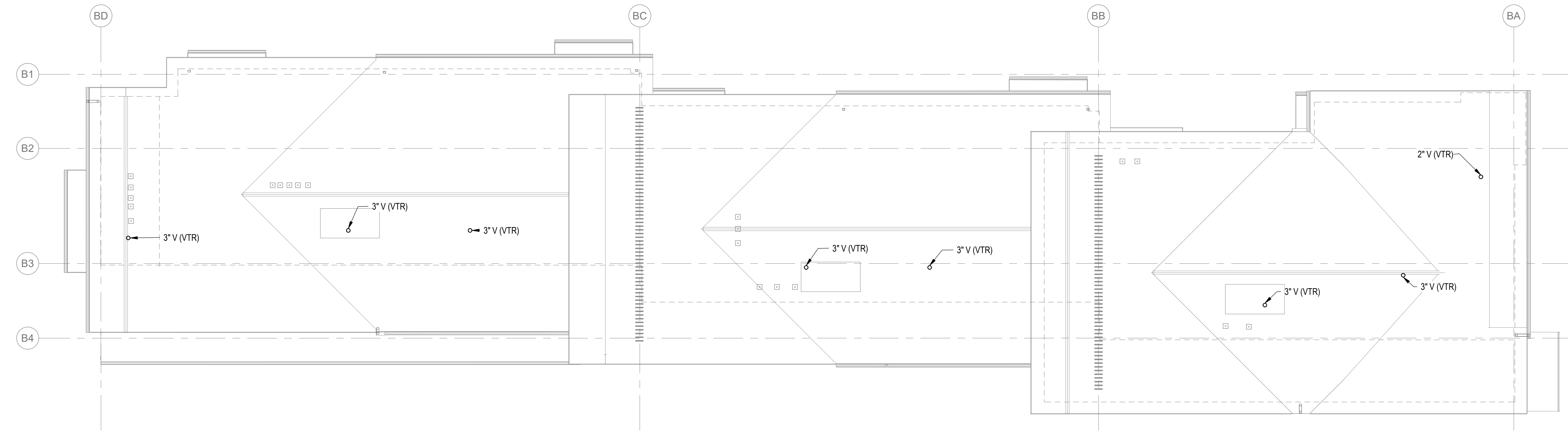
PROJECT NO.: **2018000.00**
PRINCIPAL IN CHARGE: **Scott Vollmoeller**
PROJECT MANAGER: **DeNayne Glenn**
OWNER APPROVAL:

SHEET TITLE
BUILDING B - LEVEL 3 AND ROOF - PLUMBING

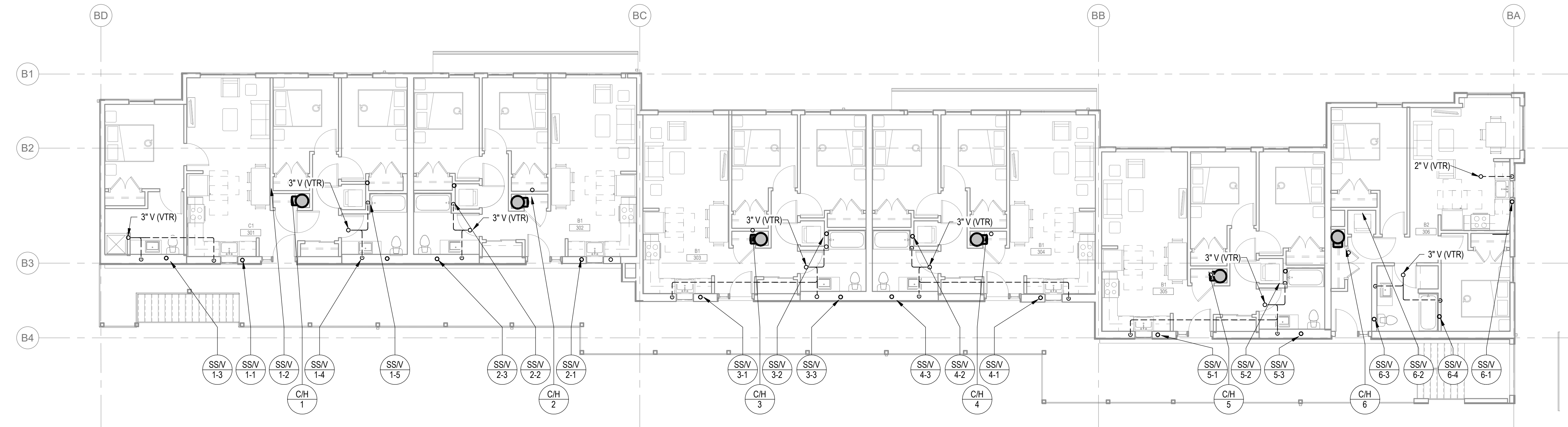
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PB-111

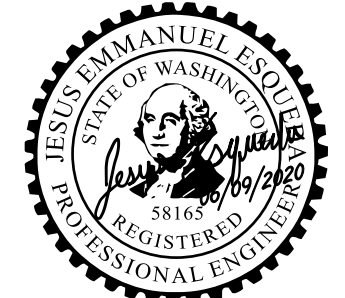
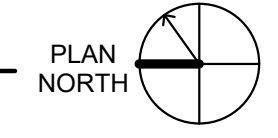
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2 BUILDING B - ROOF PLAN - PLUMBING
SCALE: 1/8" = 1'-0"



1 BUILDING B - LEVEL 3 FLOOR PLAN - PLUMBING
SCALE: 1/8" = 1'-0"



BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

PLOT DATE/TIME: 06/08/2020 2:31:37 PM

DOMESTIC WATER SIZING

PIPE SIZE	GPM	CWFU		HWFU
		FIXTURE UNITS (TANK)	FIXTURE UNITS (FLUSH VALVE)	
1/2"	1	1	-	1
3/4"	4.6	4	-	4
1"	9.2	13	-	12
1 1/4"	16	26	-	23
1 1/2"	25.3	42	8	42
2"	52.4	135	52	119
2 1/2"	92.7	337	205	245
3"	148	627	544	411
4"	261.3	1,426	1,426	847
6"	585.4	4,357	4,357	2,843
8"	1,022	8,300	8,300	8,300

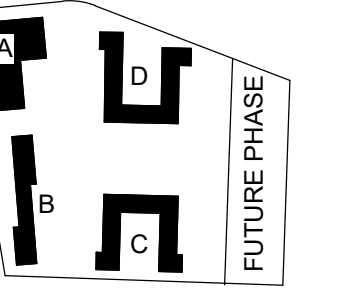
WATER HAMMER/ ARRESTOR SCHEDULE

TABLE IN COMPLIANCE WITH 2015 UPC 609.10

PIPE SIZE (IN)	FIXTURE UNIT	CROSS REF PDI
1/2	1-11	A
3/4	12-32	B
1	33-60	C
1-1/4	61-113	D
1-1/2	114-154	E
2	155-330	F



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Job No.: 20US00169

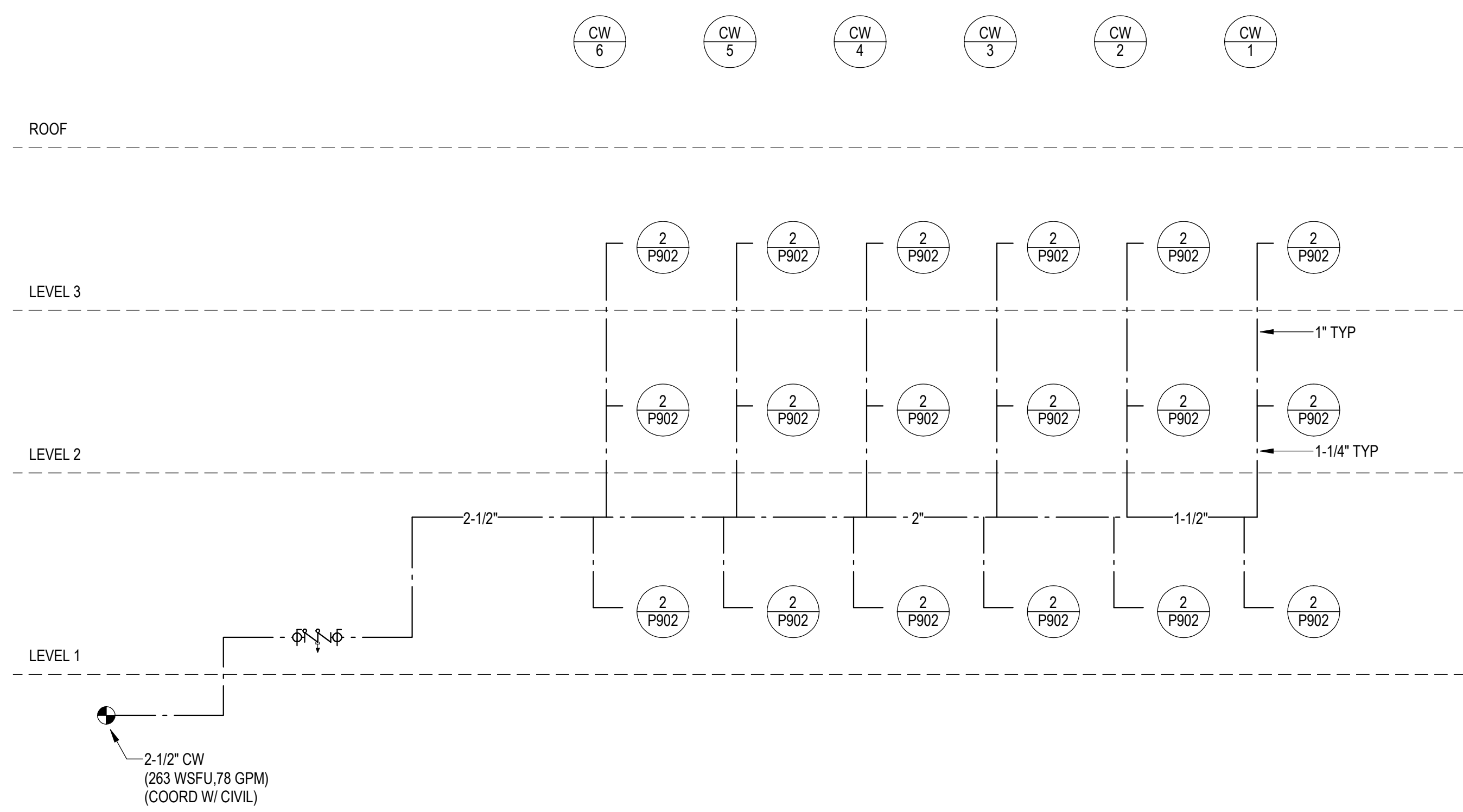
PROJECT:
EHA BAKER HEIGHTS



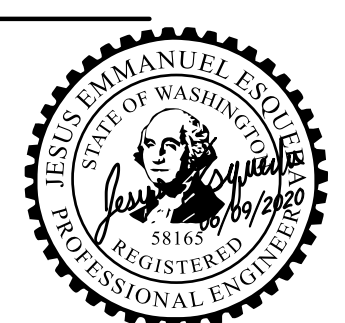
PROJECT ADDRESS:
**BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201**

OWNER:
**EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201**

MARK	DATE	DESCRIPTION
REVISIONS		



1 BUILDING B - DOMESTIC WATER RISER
SCALE: NONE



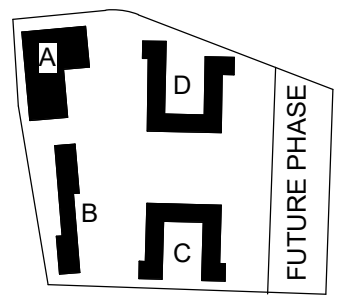
BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

MARK	DATE	DESCRIPTION
C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: **Jon Hall**
PROJECT MANAGER: **Scott Schreffler**
OWNER APPROVAL:

SHEET TITLE
DOMESTIC WATER RISER DIAGRAM

SHEET NO.
PB-701



MARK	DATE	DESCRIPTION
REVISIONS		

C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

MARK	DATE	DESCRIPTION
ISSUE INFORMATION		

PROJECT NO.: **2017033**
 PRINCIPAL IN CHARGE: Jon Hall
 PROJECT MANAGER: Scott Schreffler
 OWNER APPROVAL:

SHEET TITLE
SANITARY AND VENT RISER DIAGRAM

SHEET NO.

PB-702

D

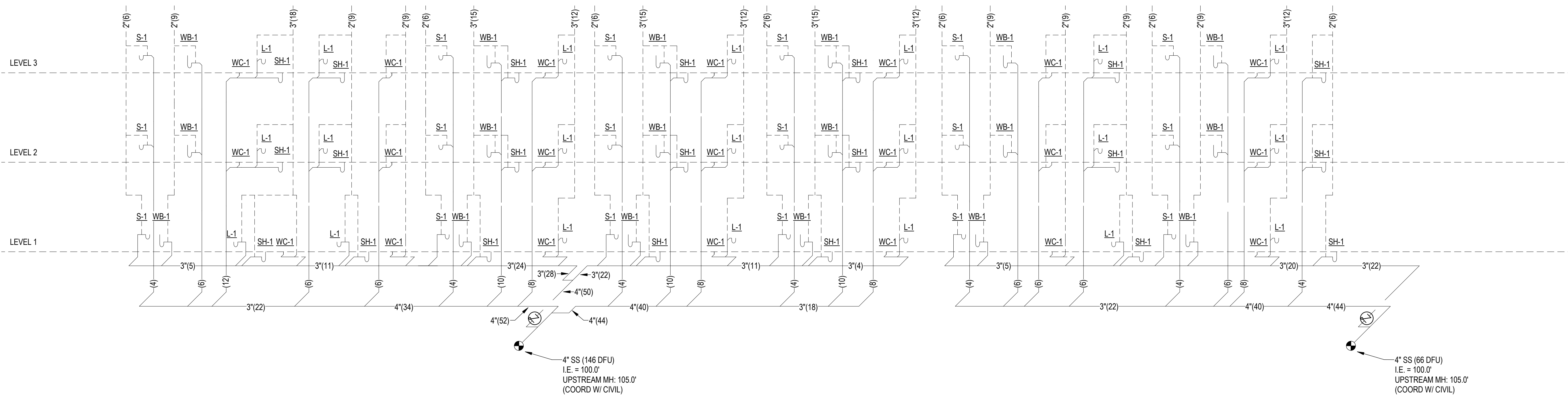
C

B

A



ROOF



1 BUILDING B - SANITARY SEWER & VENT RISER

SCALE: NONE

BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

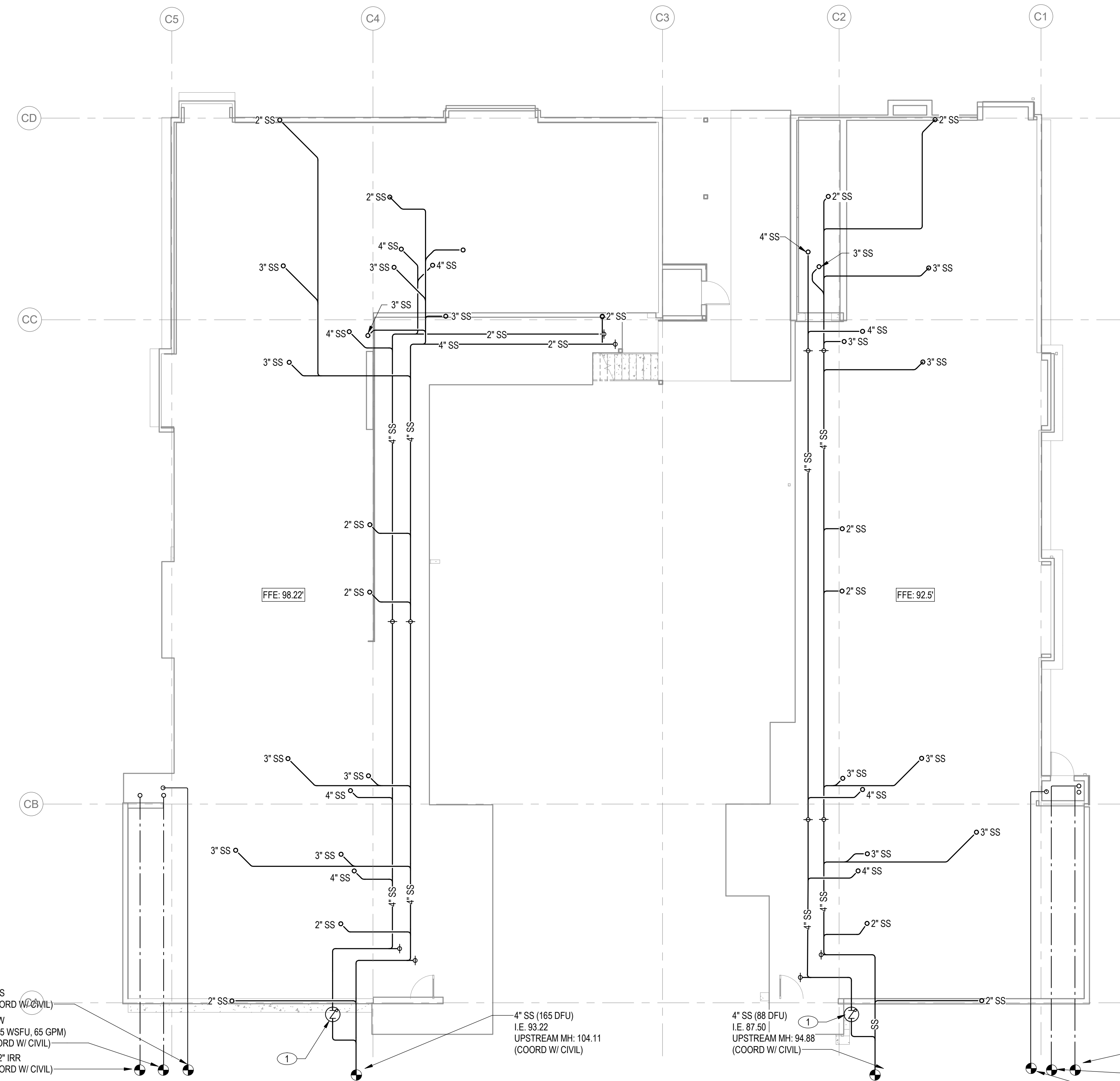


SHEET NOTES

A. COORDINATE INCOMING UTILITY FOOTING PENETRATIONS WITH STRUCTURAL. PROVIDE SLEEVE WITH 1" ANNULAR SPACE.

KEYED NOTES #

1. PROVIDE BACKWATER VALVE WITHIN ACCESSIBLE LOCATION. ROUTE LEVEL 1 SANITARY PLUMBING FIXTURES ONLY.

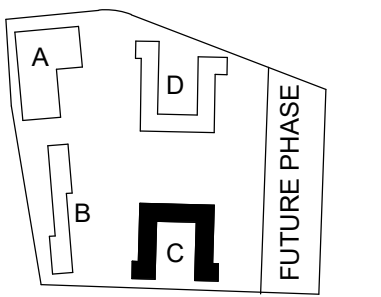


1 BUILDING C - UNDERGROUND PLAN - PLUMBING
SCALE: 1/8" = 1'-0"

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Job No.: 20US00169

PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

**BUILDING A: 2710 14TH STREET
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EVERETT, WA 98201**

OWNER:

**EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
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MARK	DATE	DESCRIPTION
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MARK	DATE	DESCRIPTION
ISSUE INFORMATION		

PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: **Scott Vollmoeller**
PROJECT MANAGER: **DeNayne Glenn**
OWNER APPROVAL:

SHEET TITLE
BUILDING C - UNDERGROUND PLAN - PLUMBING

SHEET NO.

PC-010



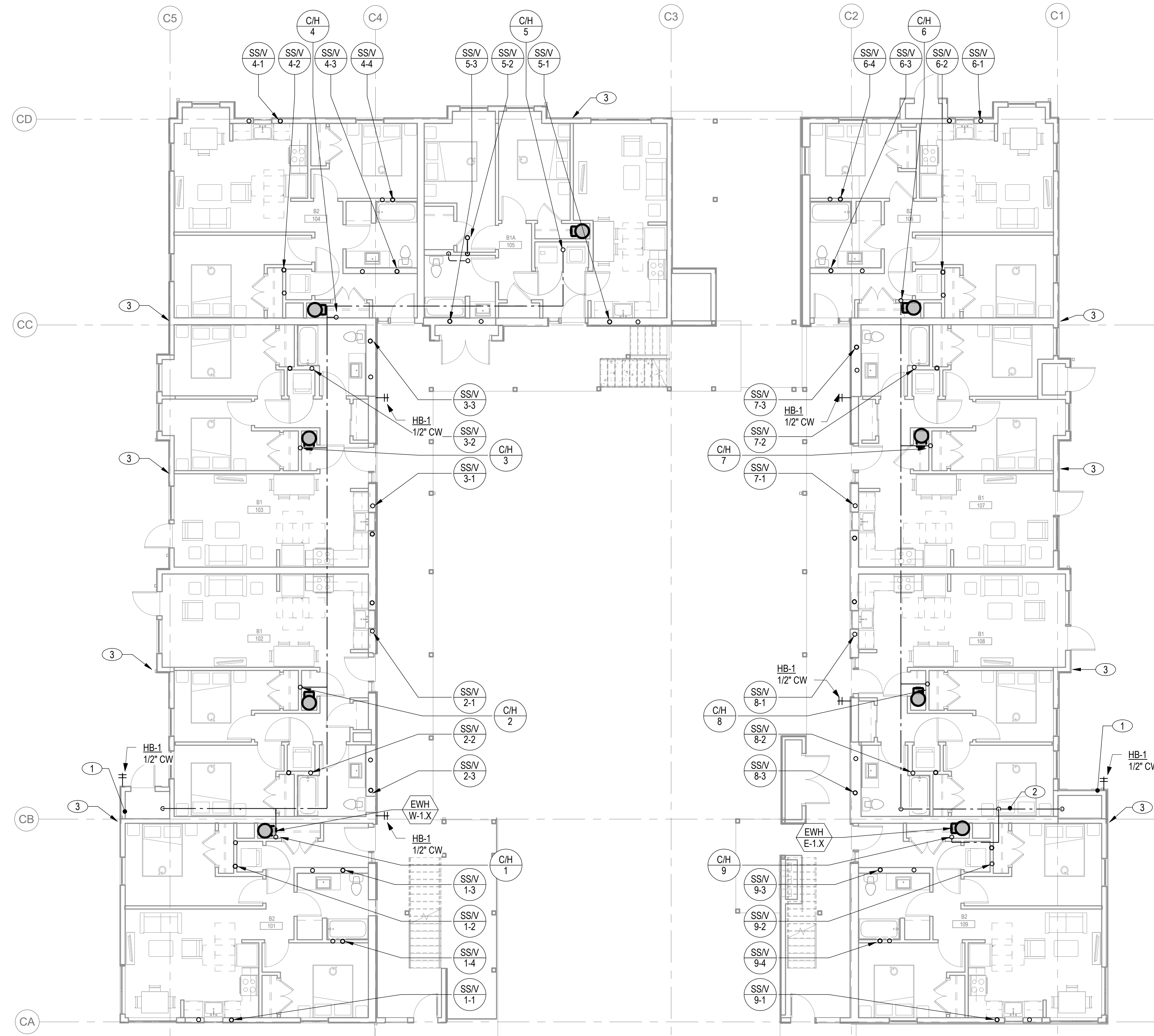
BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

SHEET NOTES

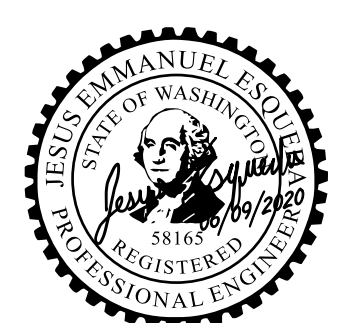
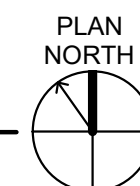
- A. COORDINATE JOIST PENETRATIONS WITH STRUCTURAL ALLOWANCES.
- B. ELECTRIC WATER HEATER TO BE PROVIDED WITH SEISMIC RESTRAINT STRAPS AND DRAINAGE PAN PER UPC REQUIREMENTS. PROVIDE 3/4" DRAIN AT PAN TO TERMINATE AT EXTERIOR.

KEYED NOTES

- 1. PROPOSED LOCATION OF WATER ENTRY. (COORD WITH ARCH). PROVIDE BACKFLOW PREVENTION DEVICE FOR INCOMING SERVICES AND PRESSURE REDUCING VALVE SET TO 60 PSI MAXIMUM. SEE DETAIL 3/P-902 & 4/P-902.
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- 3. TERMINATE 3/4" T&P RELIEF PIPING 12" ABOVE FINISH GRADE.



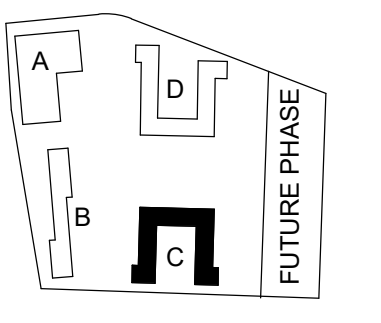
1 BUILDING C - LEVEL 1 FLOOR PLAN - PLUMBING
SCALE: 1/8" = 1'-0"



BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL



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Project Manager: DeNayne Glenn
Job No.: 20US900169

PROJECT:
EHA BAKER HEIGHTS



PROJECT ADDRESS:
BUILDING A: 2710 14TH STREET
BUILDING B: 2745 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

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REVISIONS		

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A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: **Scott Vollmoeller**
PROJECT MANAGER: **DeNayne Glenn**
OWNER APPROVAL:

SHEET TITLE
BUILDING C - LEVEL 1 - PLUMBING

SHEET NO.
PC-110

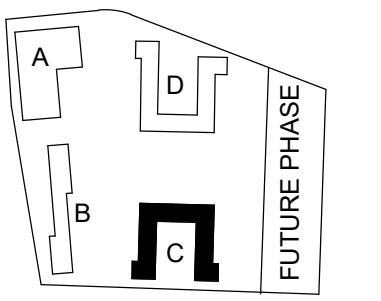
SHEET NOTES

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PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

**BUILDING A: 2710 14TH STREET
BUILDING B: 2745 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201**

OWNER:

**EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201**

MARK	DATE	DESCRIPTION
REVISIONS		

C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
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B	04/10/2020	DESIGN DEVELOPMENT
---	------------	--------------------

A	01/07/2020	SCHEMATIC DESIGN
---	------------	------------------

MARK DATE DESCRIPTION

ISSUE INFORMATION

PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: **Scott Vollmoeller**
PROJECT MANAGER: **DeNayne Glenn**
OWNER APPROVAL: _____

SHEET TITLE
BUILDING C - LEVEL 2 - PLUMBING

SHEET NO.

PC-111

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ORIGINAL SHEET SIZE IS 36"X48"



1 BUILDING C - LEVEL 2 FLOOR PLAN - PLUMBING
SCALE: 1/8" = 1'-0"



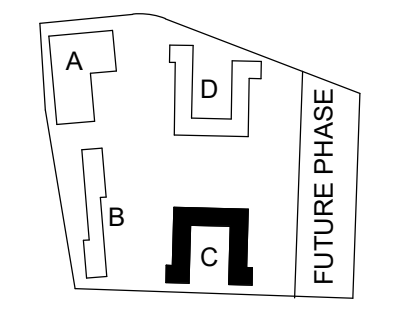
BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

SHEET NOTES

- A. COORDINATE JOIST PENETRATIONS WITH STRUCTURAL ALLOWANCES.
- B. ELECTRIC WATER HEATER TO BE PROVIDED WITH SEISMIC RESTRAINT STRAPS AND DRAINAGE PAN PER UPC REQUIREMENTS. PROVIDE 3/4" DRAIN AT PAN TO TERMINATE AT EXTERIOR.
- C. COORDINATE EXTERIOR DOWNSPOUTS WITH ARCHITECT.

GGLO DESIGN

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www.glumac.com
T: 206.262.1010
Project Manager: DeNayne Glenn
Job No.: 20US00169

PROJECT:
EHA BAKER HEIGHTS



PROJECT ADDRESS:
BUILDING A: 2710 14TH STREET
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EVERETT, WA 98201

OWNER:
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EVERETT, WASHINGTON 98201

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REVISIONS		

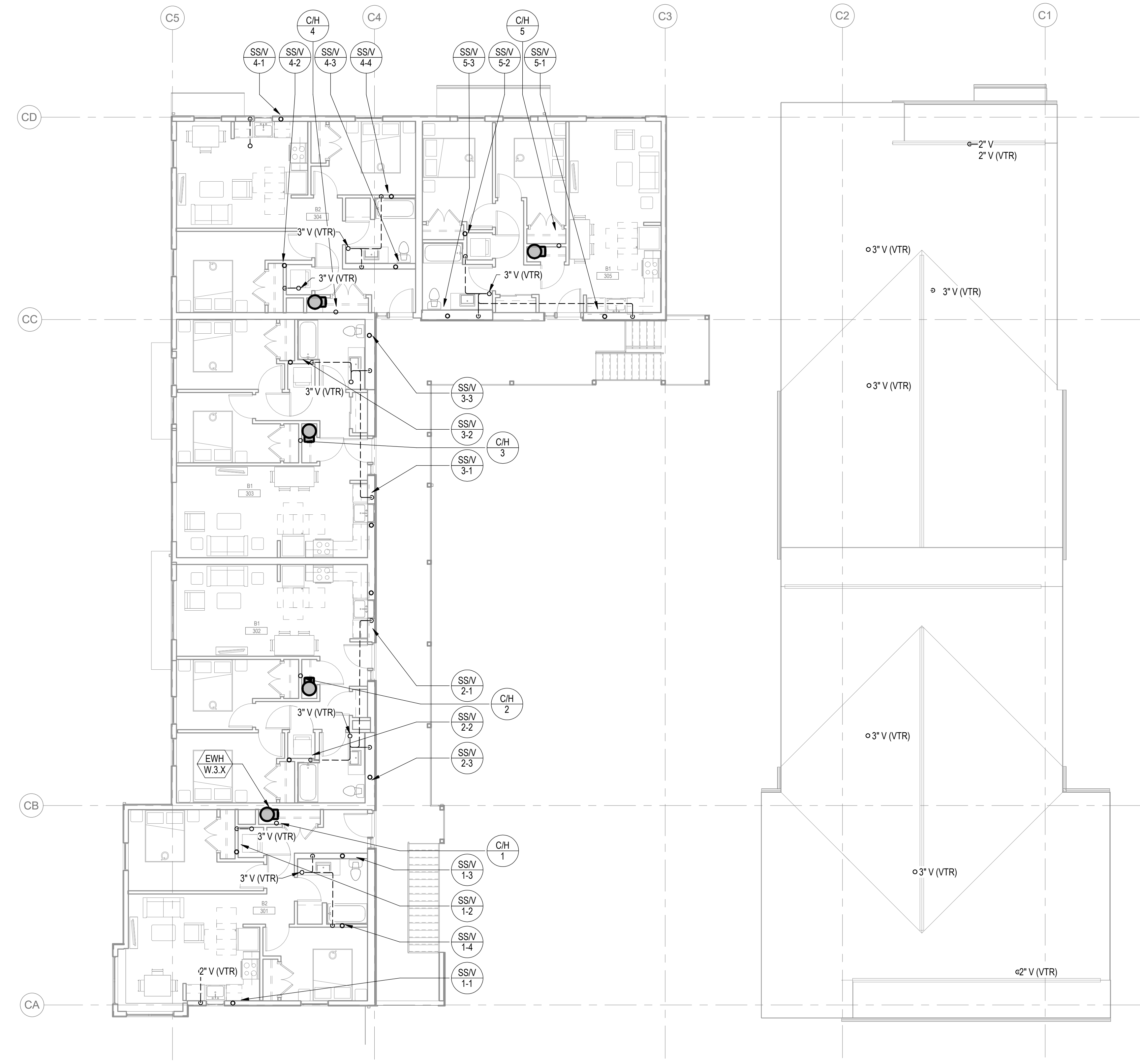
C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: **Scott Vollmoeller**
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OWNER APPROVAL:

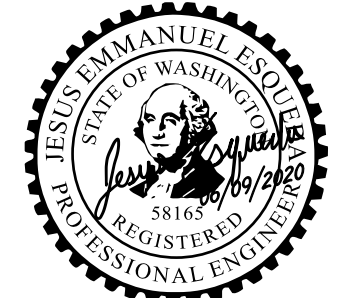
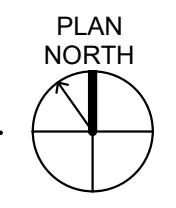
SHEET TITLE
BUILDING C - LEVEL 3 - PLUMBING

SHEET NO.
PC-112

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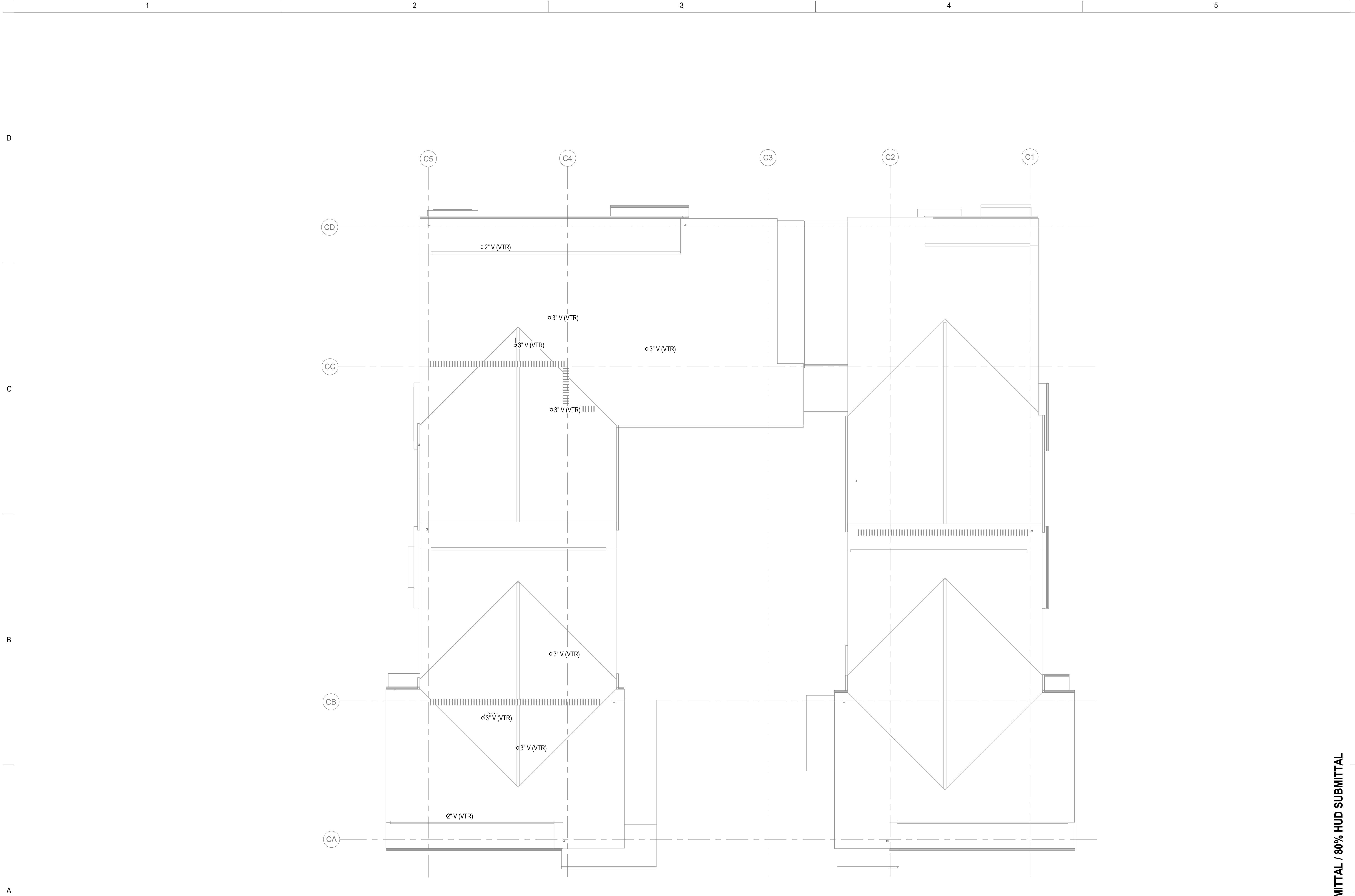


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SCALE: 1/8" = 1'-0"



BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

PLOT DATE/TIME: 06/08/2020 2:27:23 PM



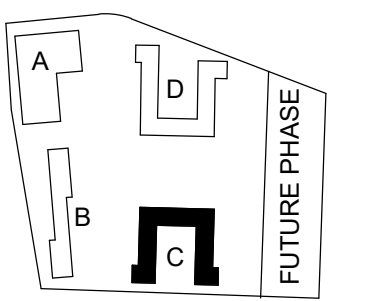
1 BUILDING C - ROOF PLAN - PLUMBING
 SCALE: 1/8" = 1'-0"



BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

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PROJECT:
EHA BAKER HEIGHTS



PROJECT ADDRESS:
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BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

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B	04/10/2020	DESIGN DEVELOPMENT
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MARK	DATE	DESCRIPTION
ISSUE INFORMATION		

PROJECT NO.: **2017033**
 PRINCIPAL IN CHARGE: **Scott Vollmoeller**
 PROJECT MANAGER: **DeNayne Glenn**
 OWNER APPROVAL: _____

SHEET TITLE
BUILDING C - ROOF - PLUMBING

SHEET NO.
PC-113

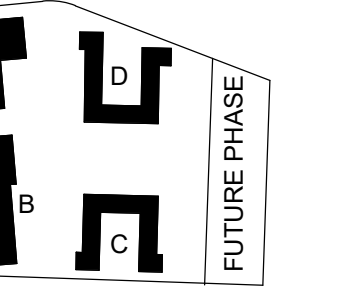
COPYRIGHT GGLO. ALL RIGHTS RESERVED. ORIGINAL SHEET SIZE IS 36"X48"

PIPE SIZE	GPM	CWFU		HWFU
		FIXTURE UNITS (TANK)	FIXTURE UNITS (FLUSH VALVE)	
1/2"	1	1	-	1
3/4"	4.6	4	-	4
1"	9.2	13	-	12
1 1/4"	16	26	-	23
1 1/2"	25.3	42	8	42
2"	52.4	135	52	119
2 1/2"	92.7	337	205	245
3"	148	627	544	411
4"	261.3	1,426	1,426	847
6"	585.4	4,357	4,357	2,843
8"	1,022	8,300	8,300	8,300

WATER HAMMER/ ARRESTOR SCHEDULE		
TABLE IN COMPLIANCE WITH 2015 UPC 609.10		
PIPE SIZE (IN)	FIXTURE UNIT	CROSS REF PDI
1/2	1-11	A
3/4	12-32	B
1	33-60	C
1-1/4	61-113	D
1-1/2	114-154	E
2	155-330	F

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PROJECT:
EHA BAKER HEIGHTS



PROJECT ADDRESS:
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EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201

MARK	DATE	DESCRIPTION
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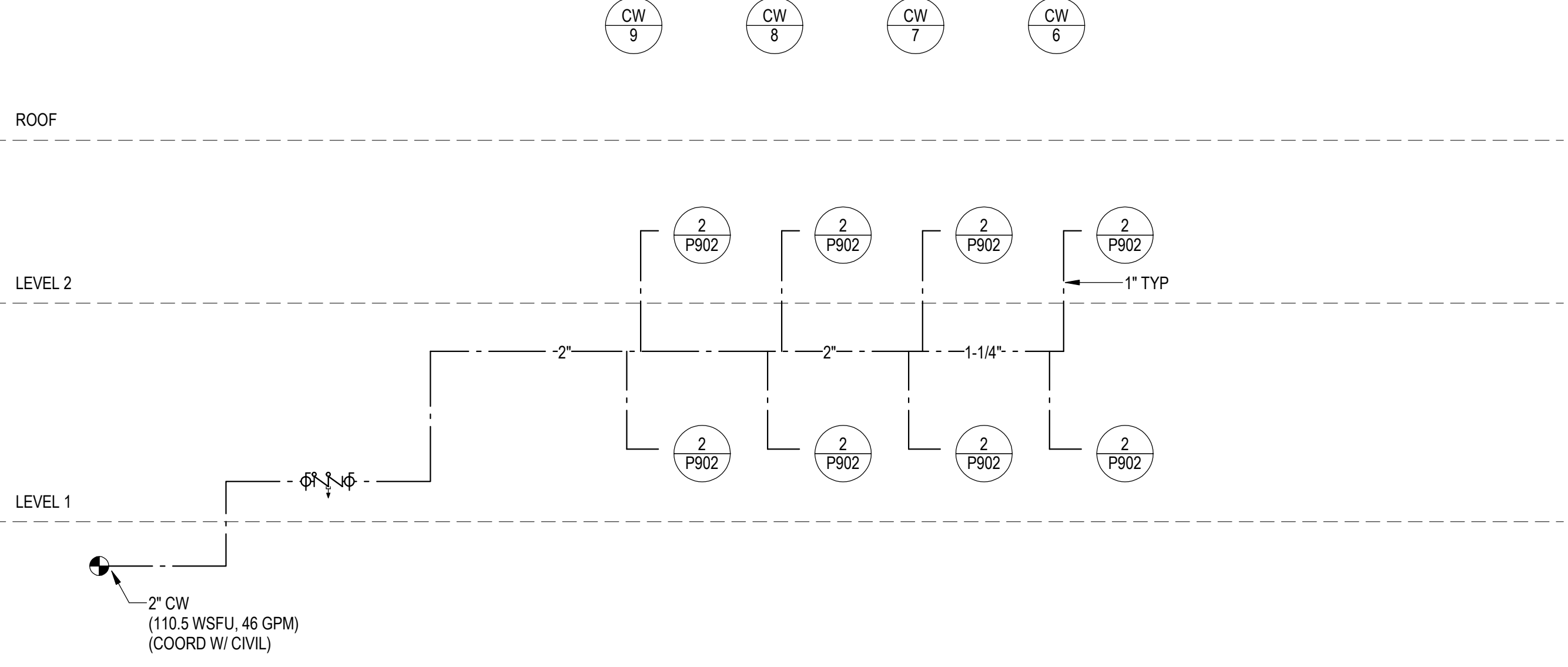
PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: Jon Hall
PROJECT MANAGER: Scott Schreffler
OWNER APPROVAL:

SHEET TITLE
DOMESTIC WATER RISER DIAGRAM

SHEET NO.
PC-701

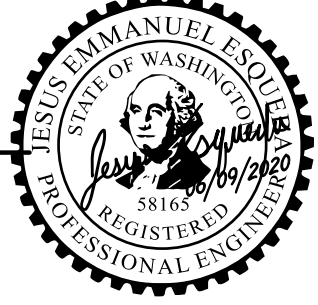
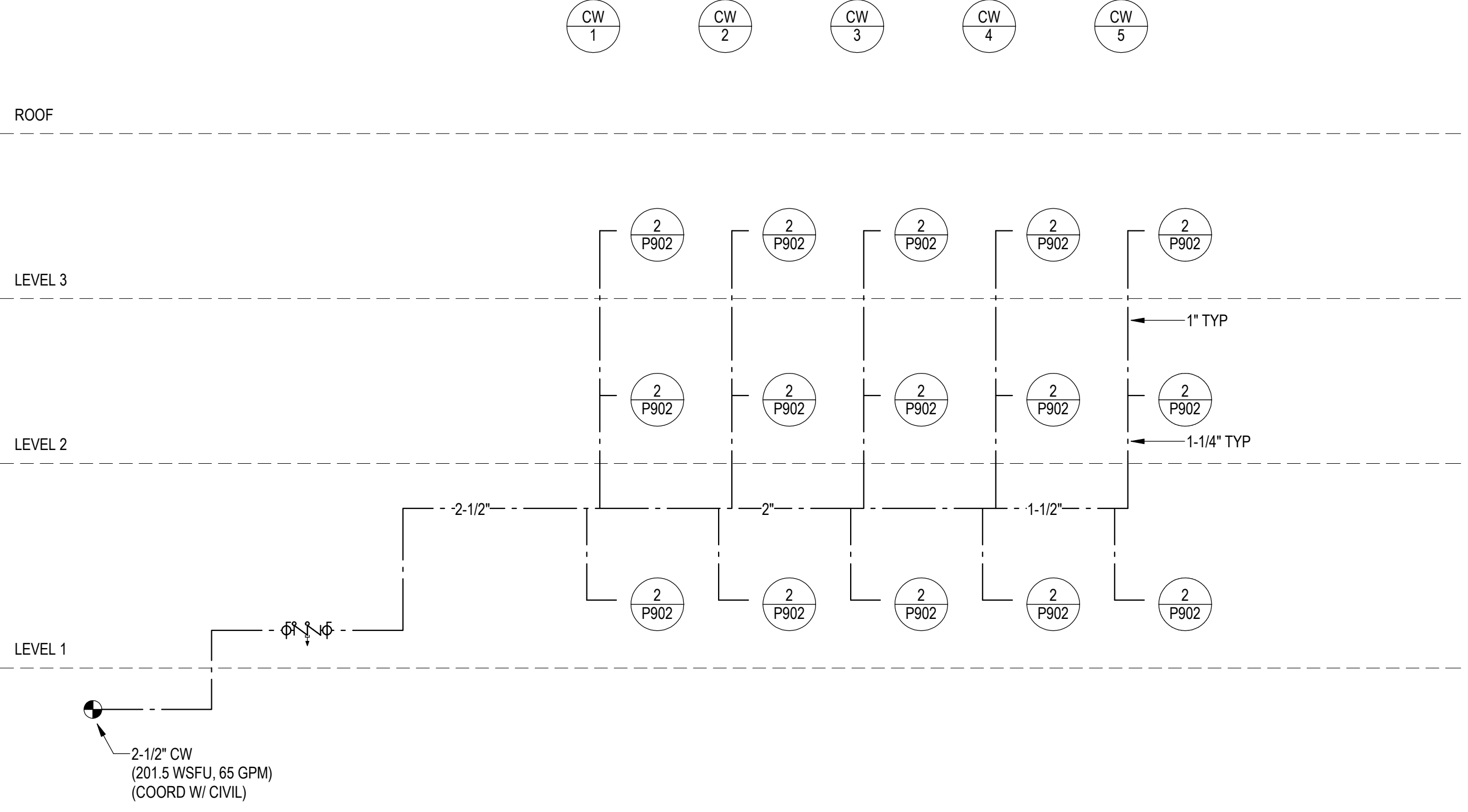
2 BUILDING C - EAST - DOMESTIC WATER RISER

SCALE: NONE

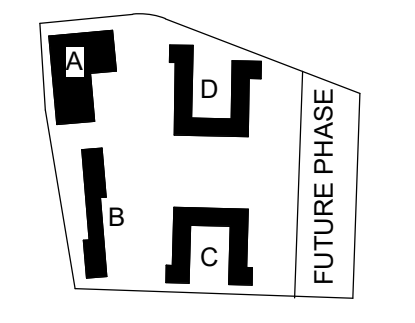


1 BUILDING C - WEST - DOMESTIC WATER RISER

SCALE: 1/8" = 1'-0"



BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL



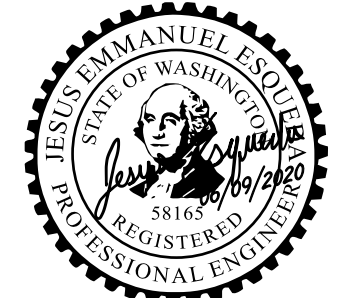
MARK	DATE	DESCRIPTION
REVISIONS		

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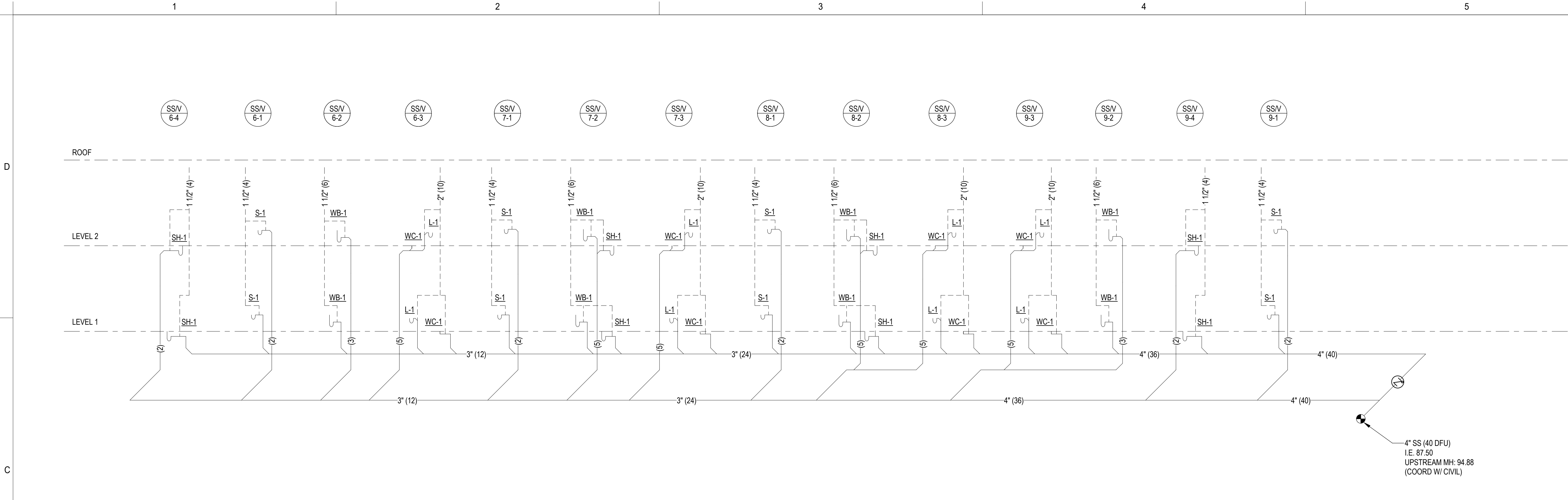
MARK	DATE	DESCRIPTION
ISSUE INFORMATION		
PROJECT NO.:	2017033	
PRINCIPAL IN CHARGE:	Jon Hall	
PROJECT MANAGER:	Scott Schreffler	
OWNER APPROVAL:		

SHEET TITLE
SANITARY AND VENT RISER DIAGRAM

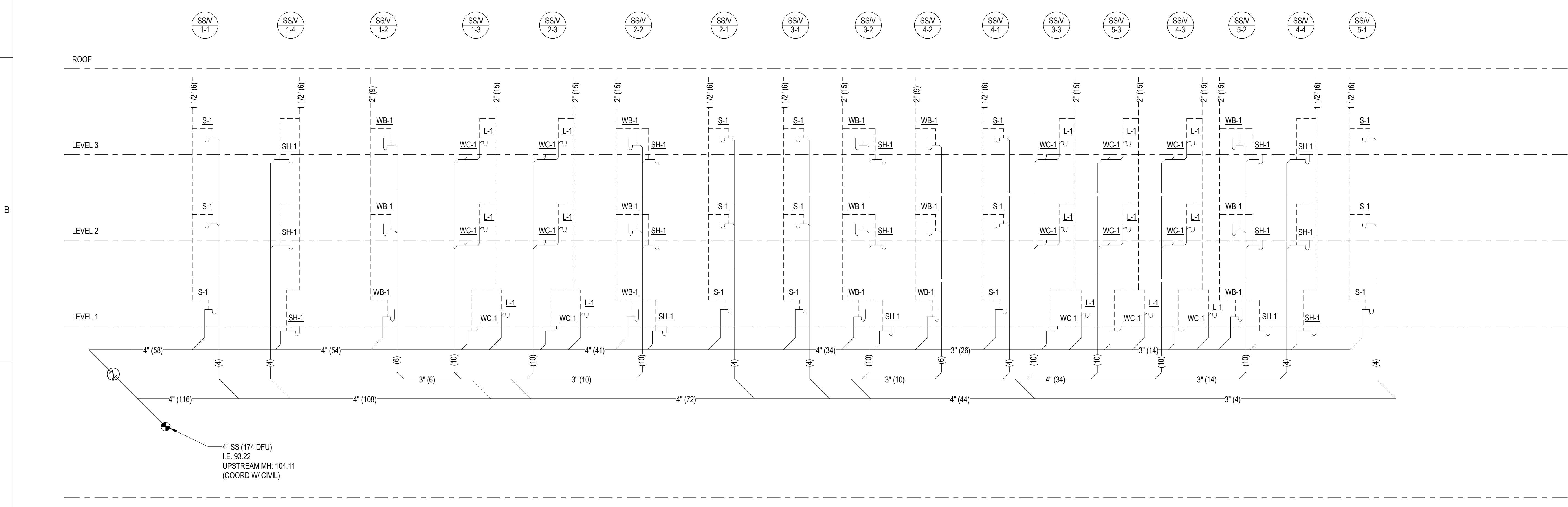
SHEET NO.
PC-702



BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL



2 BUILDING C - EAST - SANITARY SEWER & VENT RISER
SCALE: 1/8" = 1'-0"



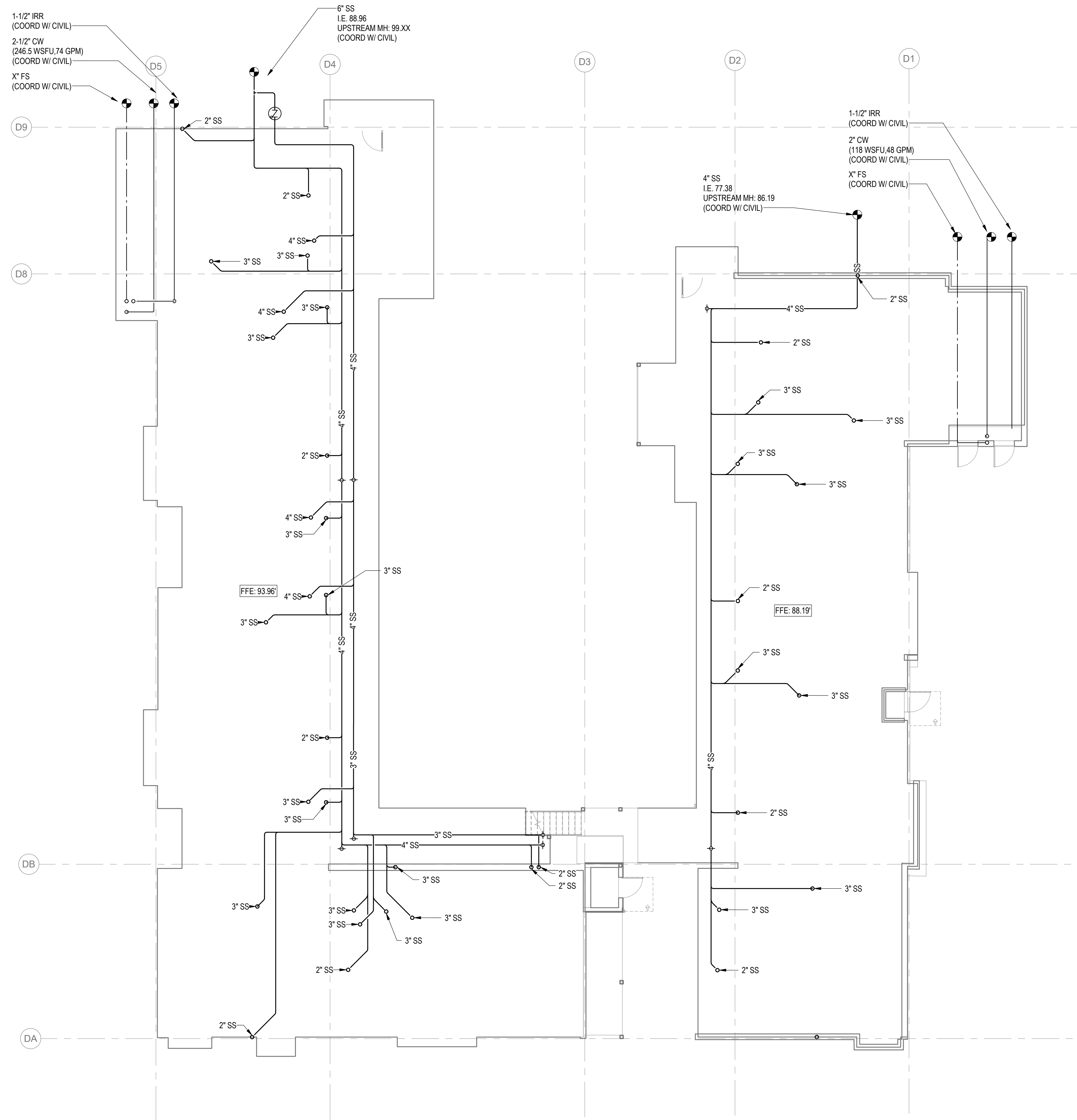
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SCALE: NONE

SHEET NOTES

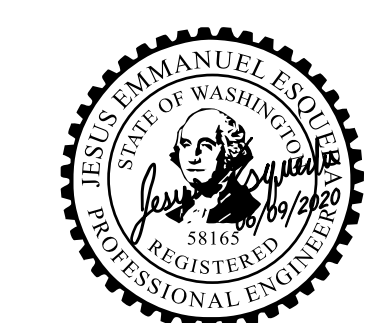
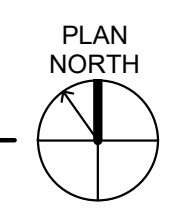
- A. COORDINATE INCOMING UTILITY FOOTING PENETRATIONS WITH STRUCTURAL. PROVIDE SLEEVE WITH 1" ANNULAR SPACE.
- B. BELOW GRADE SANITARY PIPING TO BE SLOPED AT 2% UON.

KEYED NOTES

- 1. PROVIDE BACKWATER VALVE WITHIN ACCESSIBLE LOCATION. ROUTE LEVEL 1 SANITARY PLUMBING FIXTURES ONLY.



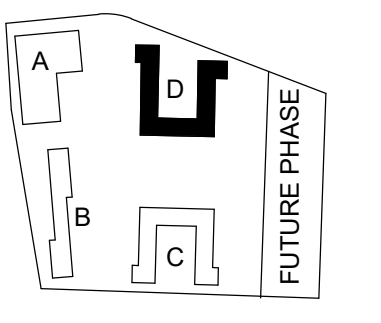
1 BUILDING D - UNDERGROUND PLAN - PLUMBING
SCALE: 1/8" = 1'-0"



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Project Manager: DeNayne Glenn
Job No.: 20US00169

PROJECT:
EHA BAKER HEIGHTS



PROJECT ADDRESS:
BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

MARK	DATE	DESCRIPTION
REVISIONS		

C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: **Scott Vollmoeller**
PROJECT MANAGER: **DeNayne Glenn**
OWNER APPROVAL:

SHEET TITLE
BUILDING D - UNDERGROUND PLAN - PLUMBING

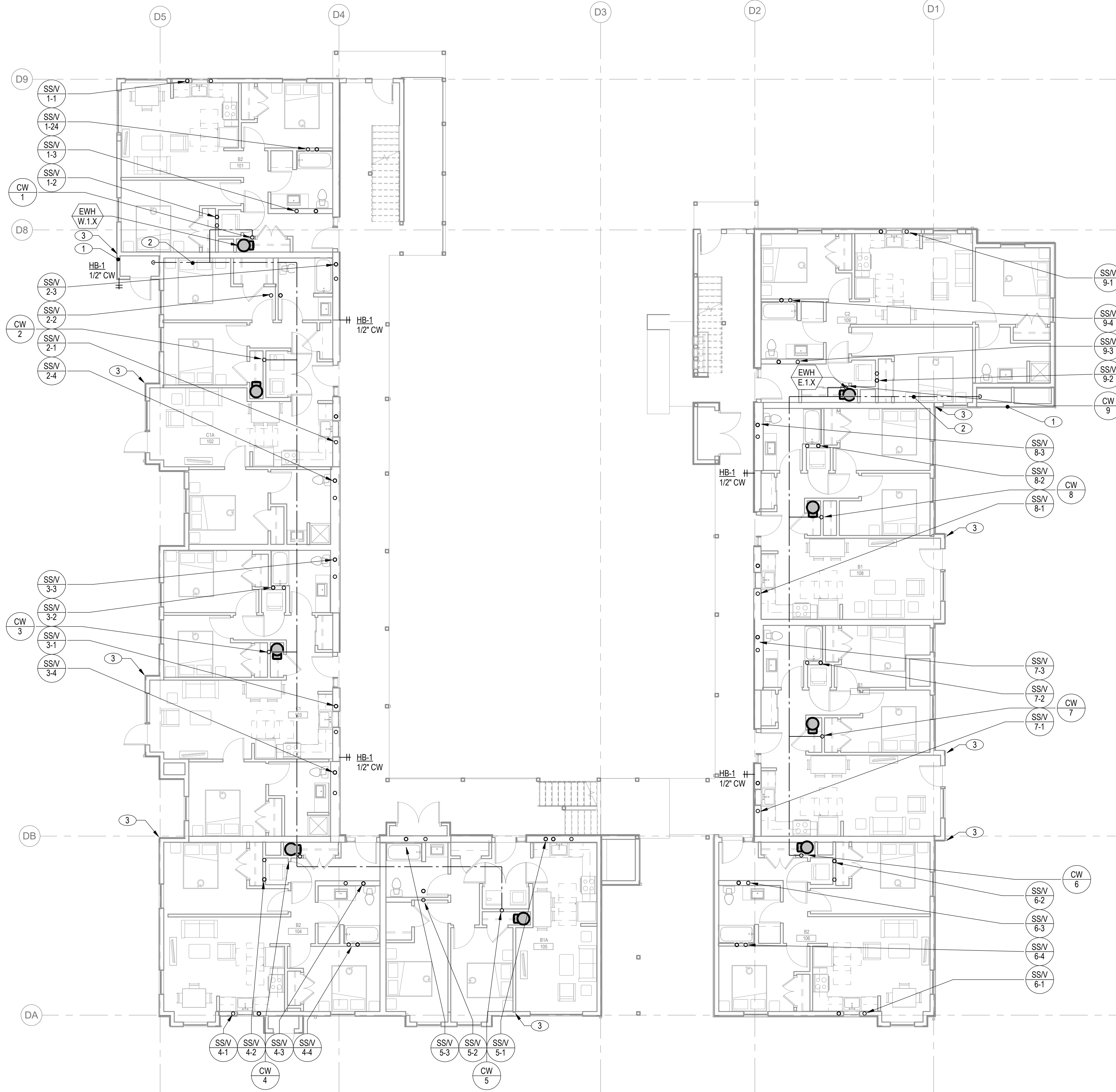
SHEET NO.
PD-010

SHEET NOTES

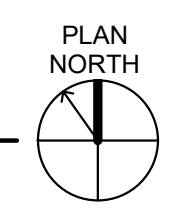
- A. COORDINATE JOIST PENETRATIONS WITH STRUCTURAL ALLOWANCES.
- B. ELECTRIC WATER HEATER TO BE PROVIDED WITH SEISMIC RESTRAINT STRAPS AND DRAINAGE PAN PER UPC REQUIREMENTS. PROVIDE 3/4" DRAIN AT PAN TO TERMINATE AT EXTERIOR.

KEYED NOTES

1. PROPOSED LOCATION OF WATER ENTRY. (COORD WITH ARCH). PROVIDE BACKFLOW PREVENTION DEVICE FOR INCOMING SERVICES AND PRESSURE REDUCING VALVE SET TO 60 PSI MAXIMUM.
2. COORDINATE COLD WATER MAIN ROUTING WITH ARCHITECT AND STRUCTURAL ENGINEER.
3. TERMINATE 3/4" T&P RELIEF PIPING 12" ABOVE FINISH GRADE.



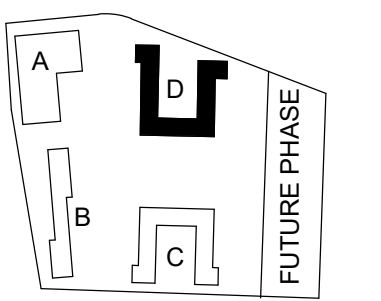
1 BUILDING D - LEVEL 1 FLOOR PLAN - PLUMBING
 SCALE: 1/8" = 1'-0"



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 Job No.: 20US00169

PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14TH STREET
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EVERETT, WA 98201
 OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

MARK	DATE	DESCRIPTION
REVISIONS		

C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN
ISSUE INFORMATION		

PROJECT NO.: **2017033**
 PRINCIPAL IN CHARGE: **Scott Vollmoeller**
 PROJECT MANAGER: **DeNayne Glenn**
 OWNER APPROVAL: _____

SHEET TITLE
BUILDING D - LEVEL 1 - PLUMBING

SHEET NO.
PD-110

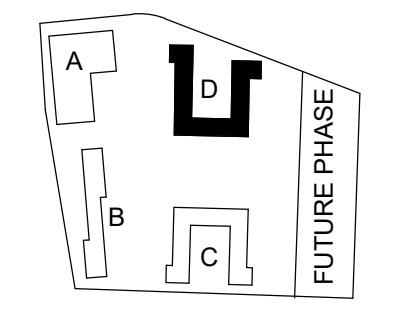
SHEET NOTES

- A. COORDINATE JOIST PENETRATIONS WITH STRUCTURAL ALLOWANCES.
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Job No.: 20US900169

PROJECT:
EHA BAKER HEIGHTS



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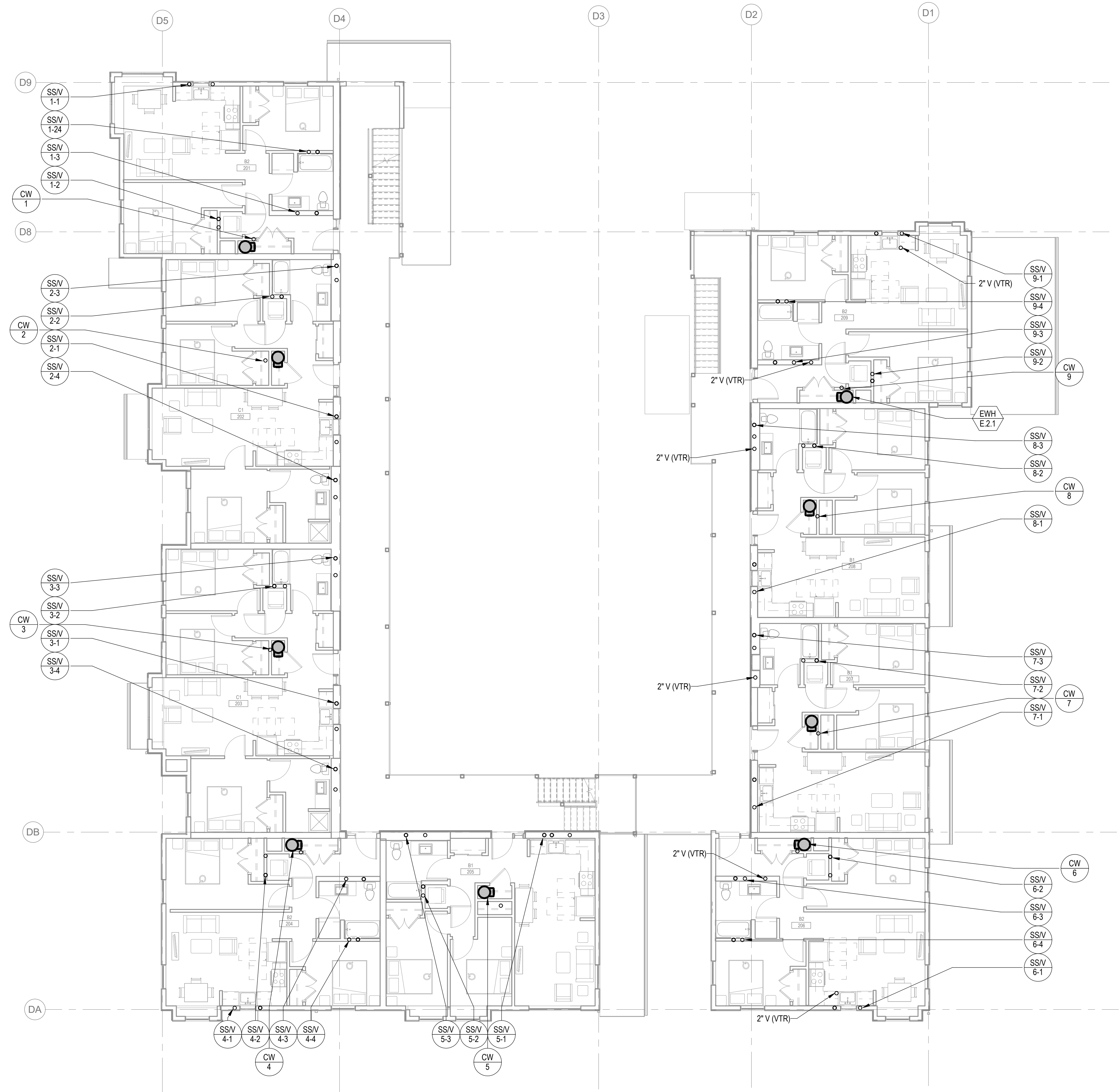
C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
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ISSUE INFORMATION		

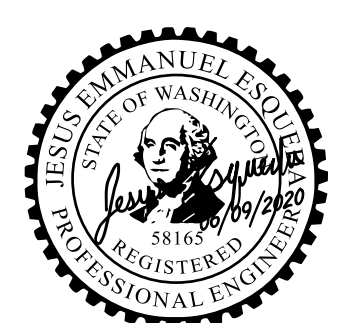
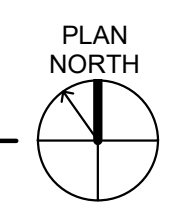
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PRINCIPAL IN CHARGE: **Scott Vollmoeller**
PROJECT MANAGER: **DeNayne Glenn**
OWNER APPROVAL:

SHEET TITLE
BUILDING D - LEVEL 2 - PLUMBING

SHEET NO.
PD-111



1 BUILDING D - LEVEL 2 FLOOR PLAN - PLUMBING
SCALE: 1/8" = 1'-0"



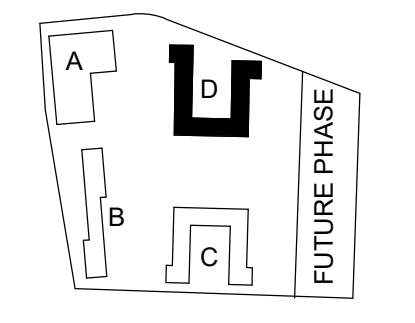
BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

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Job No.: 20US00169

PROJECT:
EHA BAKER HEIGHTS



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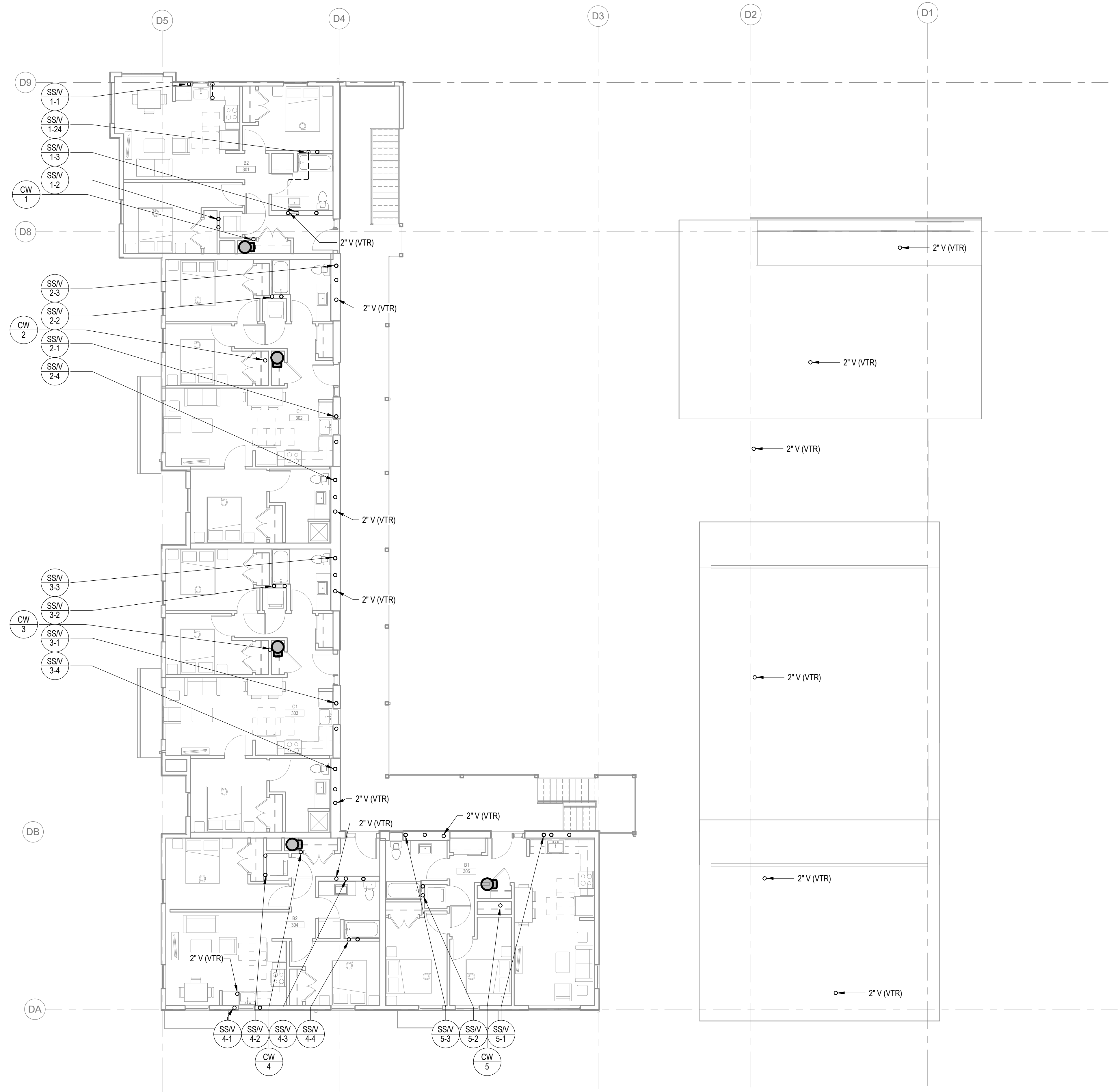
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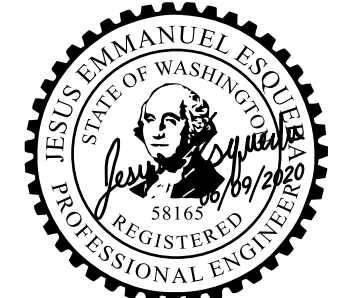
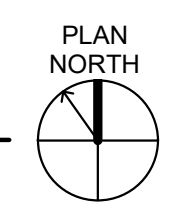
PROJECT NO.: **2017033**
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PROJECT MANAGER: **DeNayne Glenn**
OWNER APPROVAL: _____

SHEET TITLE
BUILDING D - LEVEL 3 - PLUMBING

SHEET NO.
PD-112



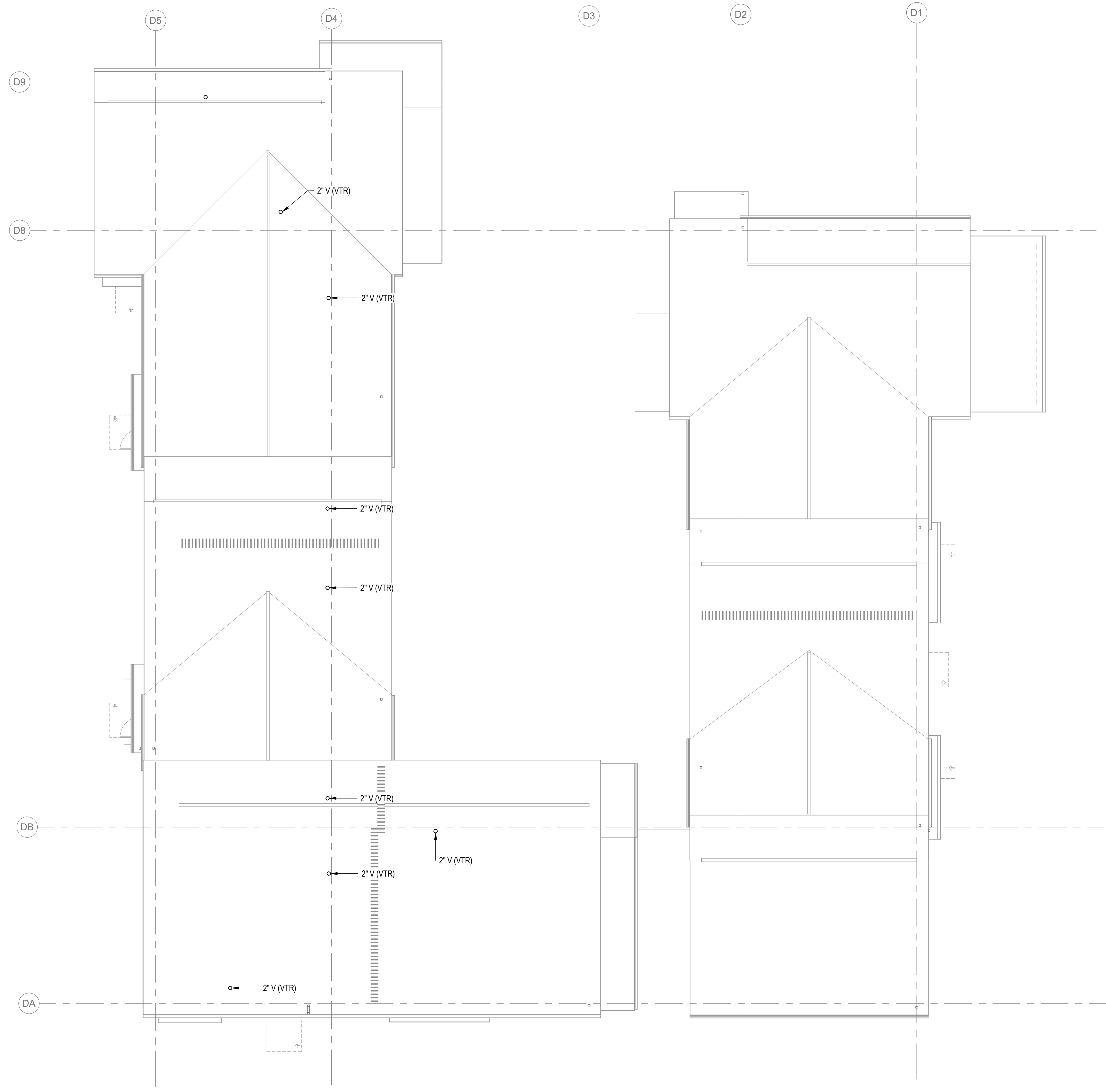
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SCALE: 1/8" = 1'-0"



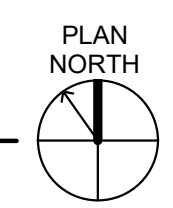
BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

1 2 3 4 5

D
C
B
A



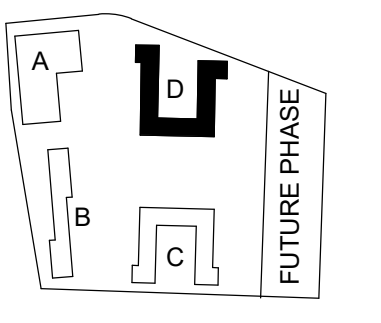
1 BUILDING D - ROOF PLAN - PLUMBING
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BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

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Job. No.: 20US00169

PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

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OWNER:

**EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201**

REVISIONS

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MARK	DATE	DESCRIPTION
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PROJECT NO.: **2017033**
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PROJECT MANAGER: **DeNayne Glenn**
OWNER APPROVAL: _____

SHEET TITLE
BUILDING D - ROOF - PLUMBING

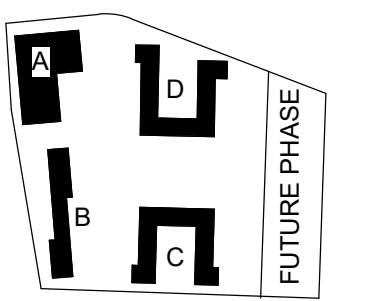
SHEET NO.
PD-113

PIPE SIZE	GPM	CWFU		HWFU
		FIXTURE UNITS (TANK)	FIXTURE UNITS (FLUSH VALVE)	
1/2"	1	1	-	1
3/4"	4.6	4	-	4
1"	9.2	13	-	12
1 1/4"	16	26	-	23
1 1/2"	25.3	42	8	42
2"	52.4	135	52	119
2 1/2"	92.7	337	205	245
3"	148	627	544	411
4"	261.3	1,426	1,426	847
6"	585.4	4,357	4,357	2,843
8"	1,022	8,300	8,300	8,300

WATER HAMMER/ ARRESTOR SCHEDULE		
TABLE IN COMPLIANCE WITH 2015 UPC 609.10		
PIPE SIZE (IN)	FIXTURE UNIT	CROSS REF PDI
1/2	1-11	A
3/4	12-32	B
1	33-60	C
1-1/4	61-113	D
1-1/2	114-154	E
2	155-330	F



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Project Manager: DeNayne Glenn
Job No.: 20US00169

PROJECT:
EHA BAKER HEIGHTS



PROJECT ADDRESS:
BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201

MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

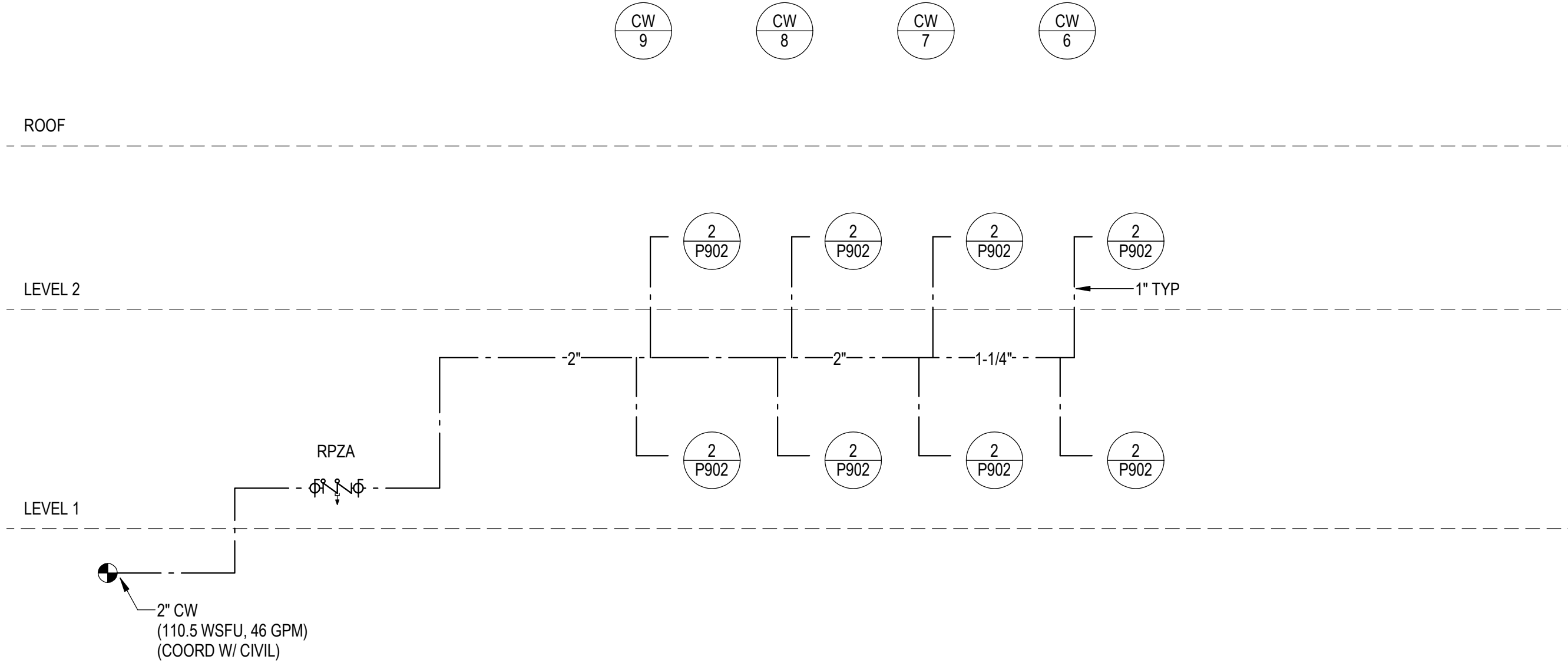
PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: Jon Hall
PROJECT MANAGER: Scott Schreffler
OWNER APPROVAL:

SHEET TITLE
DOMESTIC WATER RISER DIAGRAM

SHEET NO.
PD-701

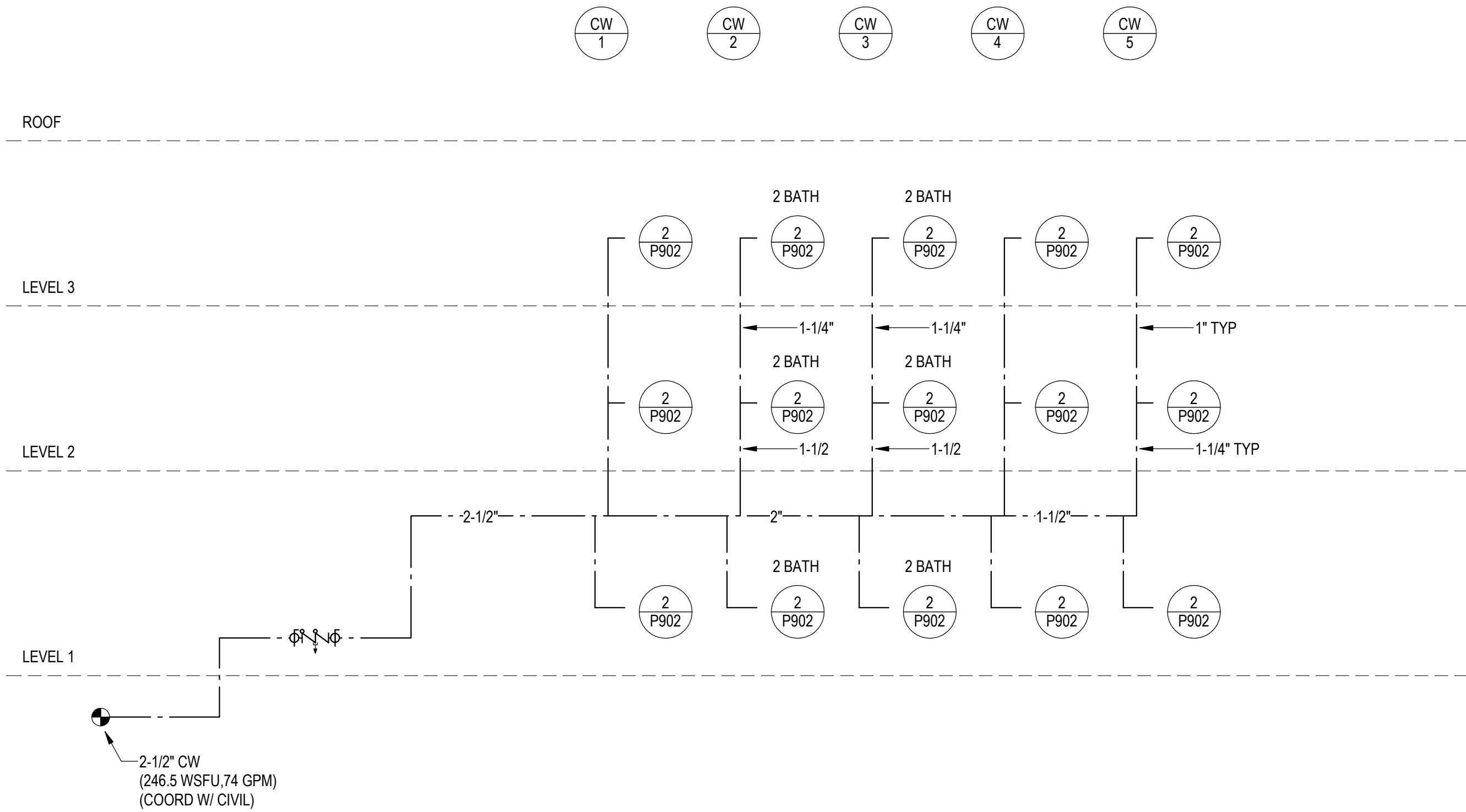
2 BUILDING C - EAST - DOMESTIC WATER RISER

SCALE: 1/8" = 1'-0"



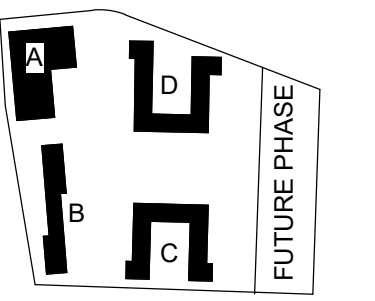
1 BUILDING D - WEST - DOMESTIC WATER RISER

SCALE: 1/8" = 1'-0"



BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL





PROJECT:

EHA BAKER HEIGHTS



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MARK	DATE	DESCRIPTION
ISSUE INFORMATION		

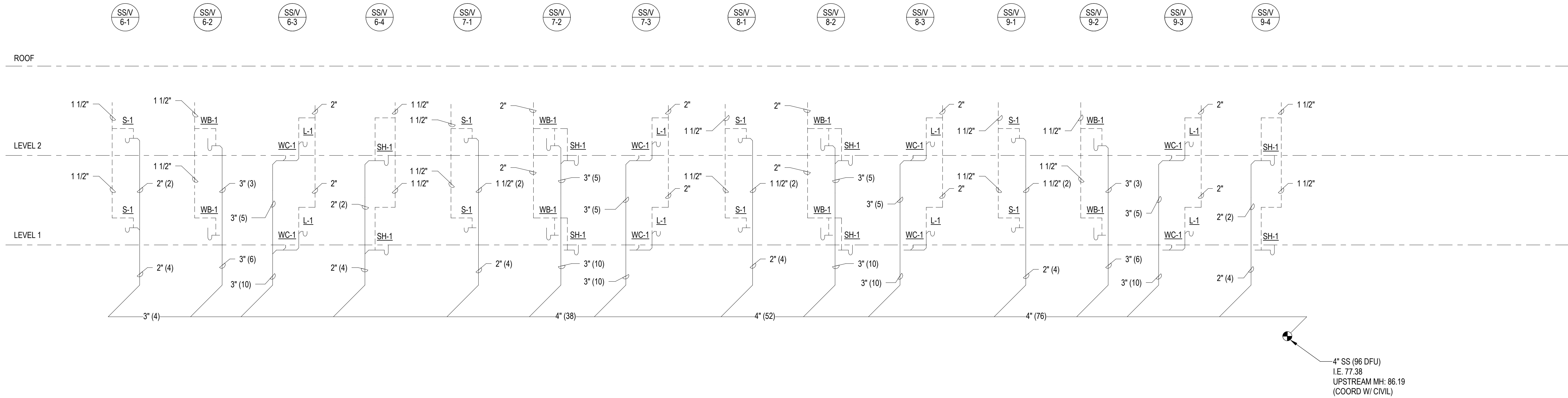
PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: **Jon Hall**
PROJECT MANAGER: **Scott Schreffler**
OWNER APPROVAL:

SHEET TITLE
SANITARY AND VENT RISER DIAGRAM

SHEET NO.

PD-702

D

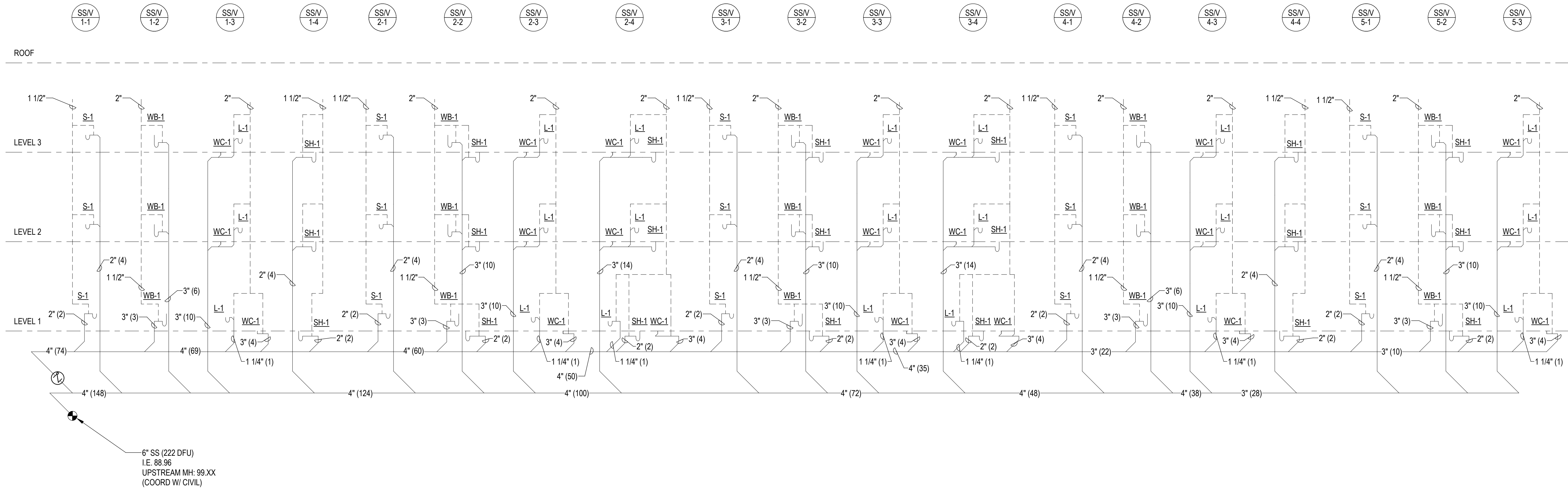


2 BUILDING D - EAST - SANITARY SEWER & VENT RISER

SCALE: 1/8" = 1'-0"

C

B

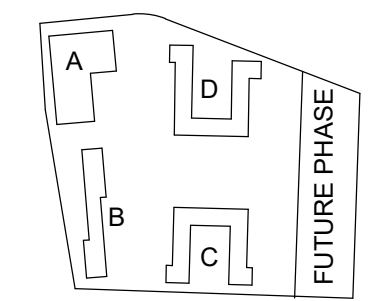


1 BUILDING D - WEST - SANITARY SEWER & VENT RISER

SCALE: 1/8" = 1'-0"

BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL





PROJECT:

EHA BAKER HEIGHTS



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REVISIONS		

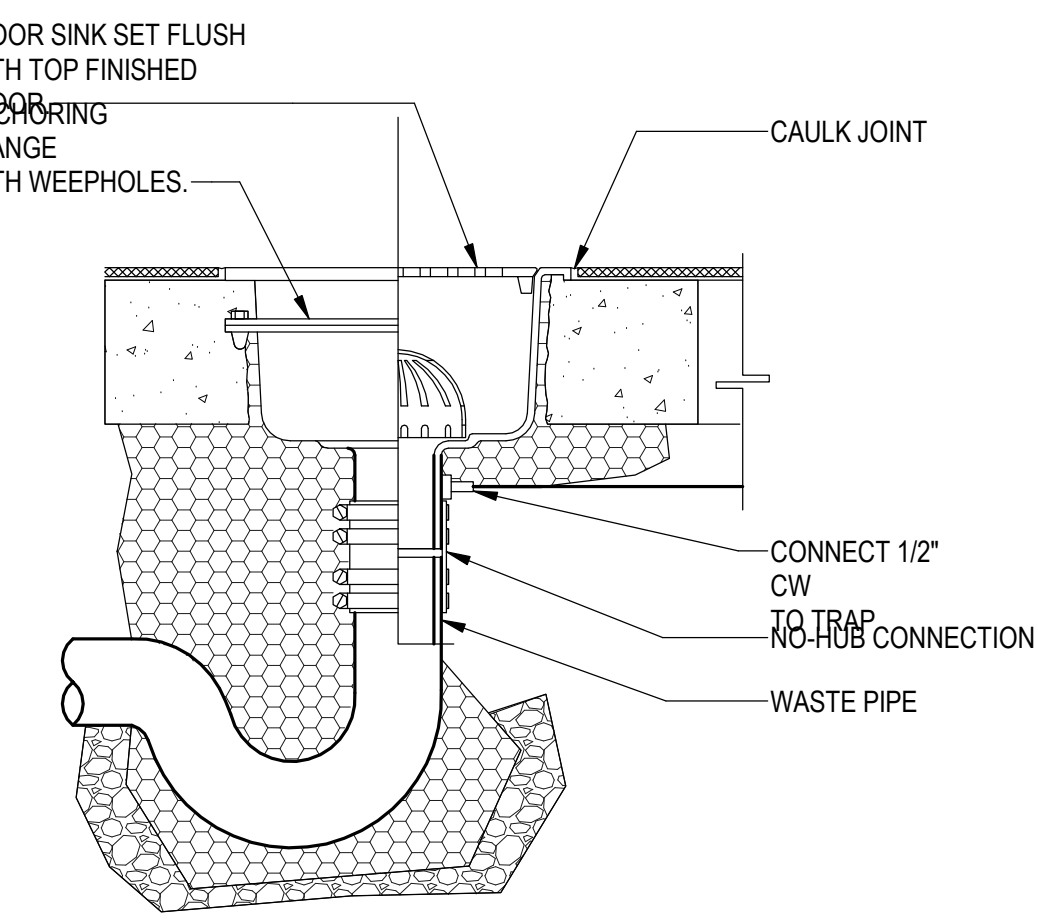
C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN
MARK	DATE	DESCRIPTION
ISSUE INFORMATION		

PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: **Jon Hall**
PROJECT MANAGER: **Scott Schreffler**
OWNER APPROVAL:

SHEET TITLE
PLUMBING DETAILS

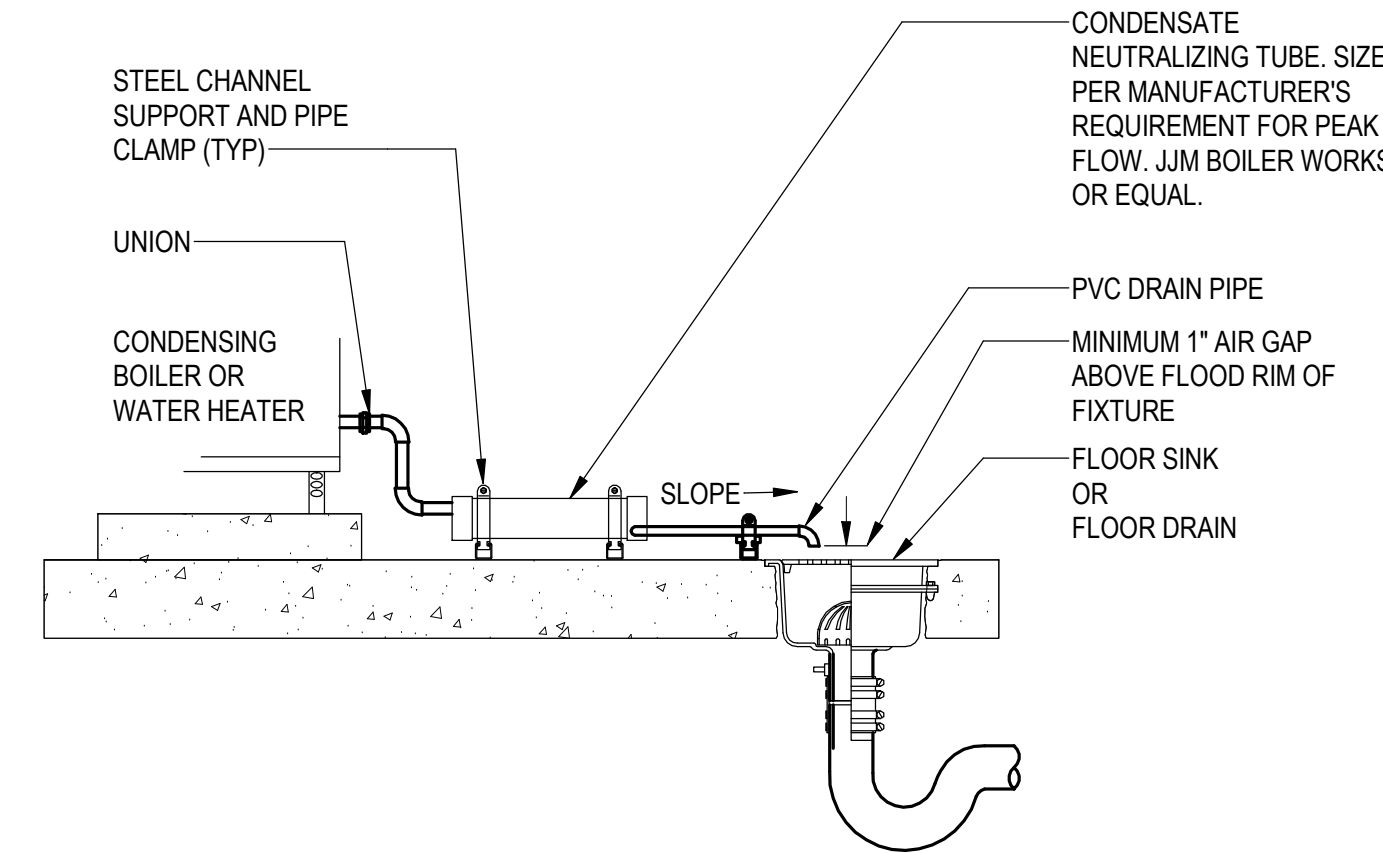
SHEET NO.
P-901

BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL



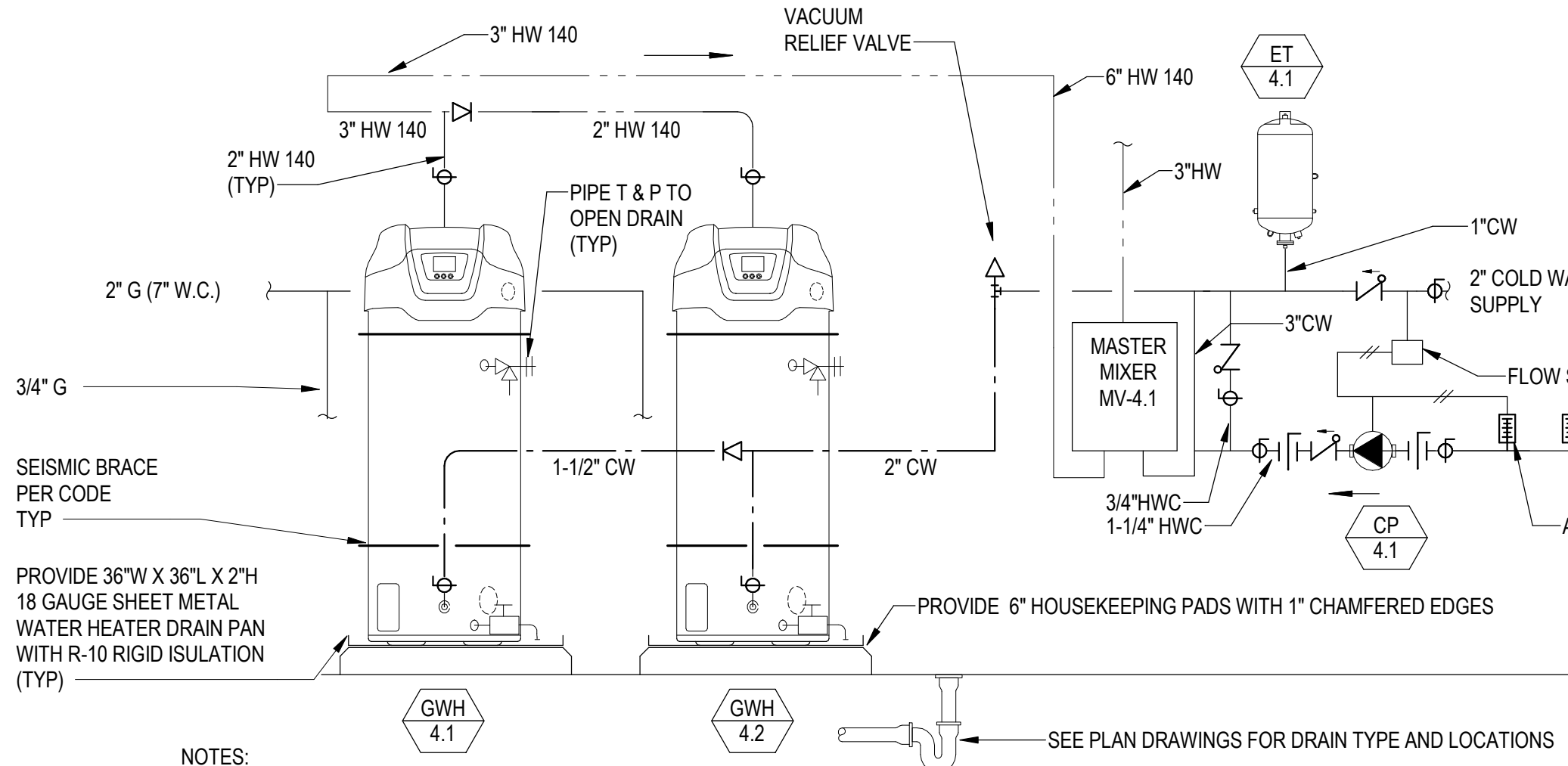
NOTES:
1. REFER TO PLANS FOR SIZES AND CONTINUATION.

3 FLOOR SINK
SCALE: 1/8" = 1'-0"



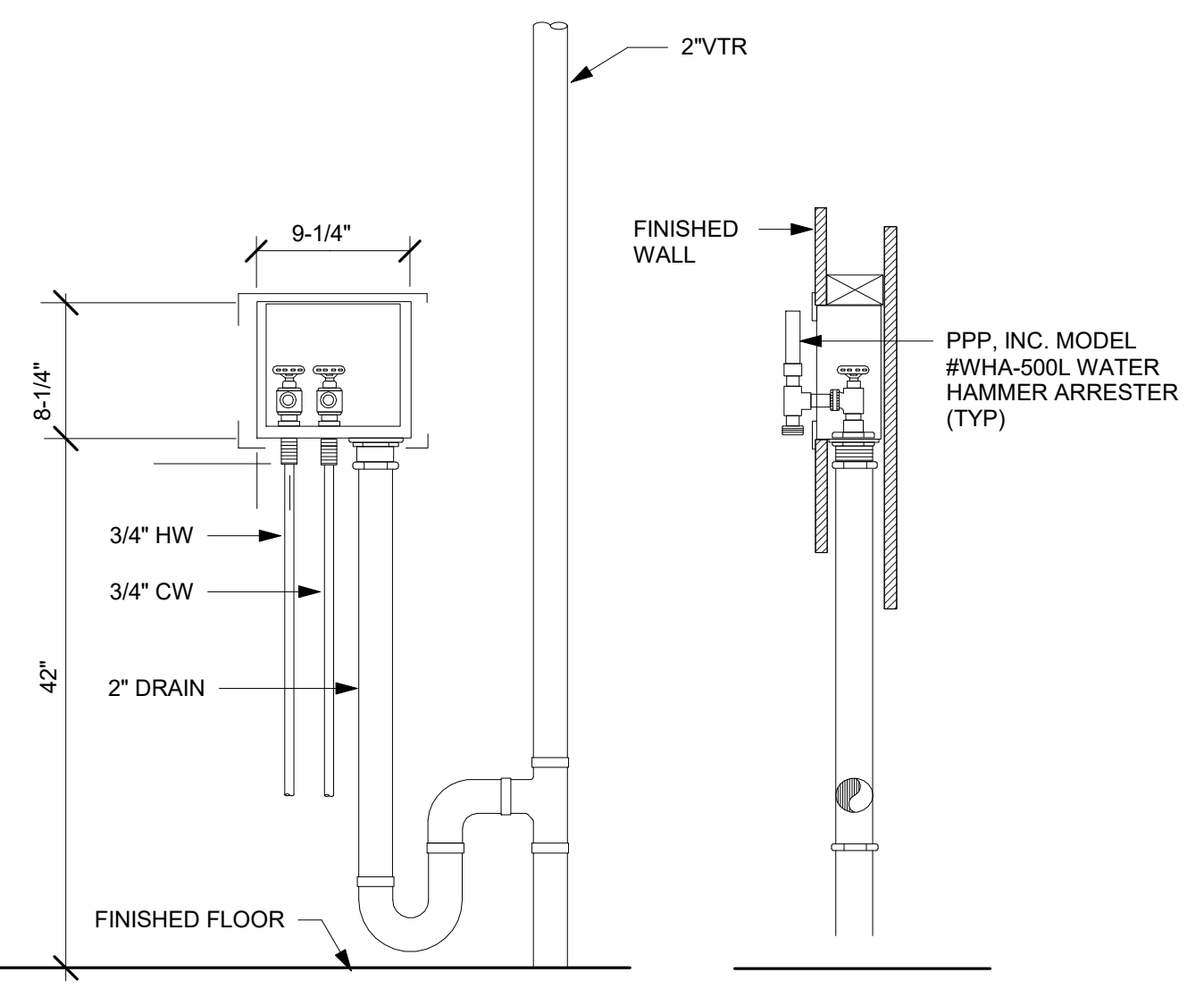
NOTES:
1. REFER TO PLANS FOR SIZES AND CONTINUATION.

2 CONDENSATE NEUTRALIZER
SCALE: 1/8" = 1'-0"

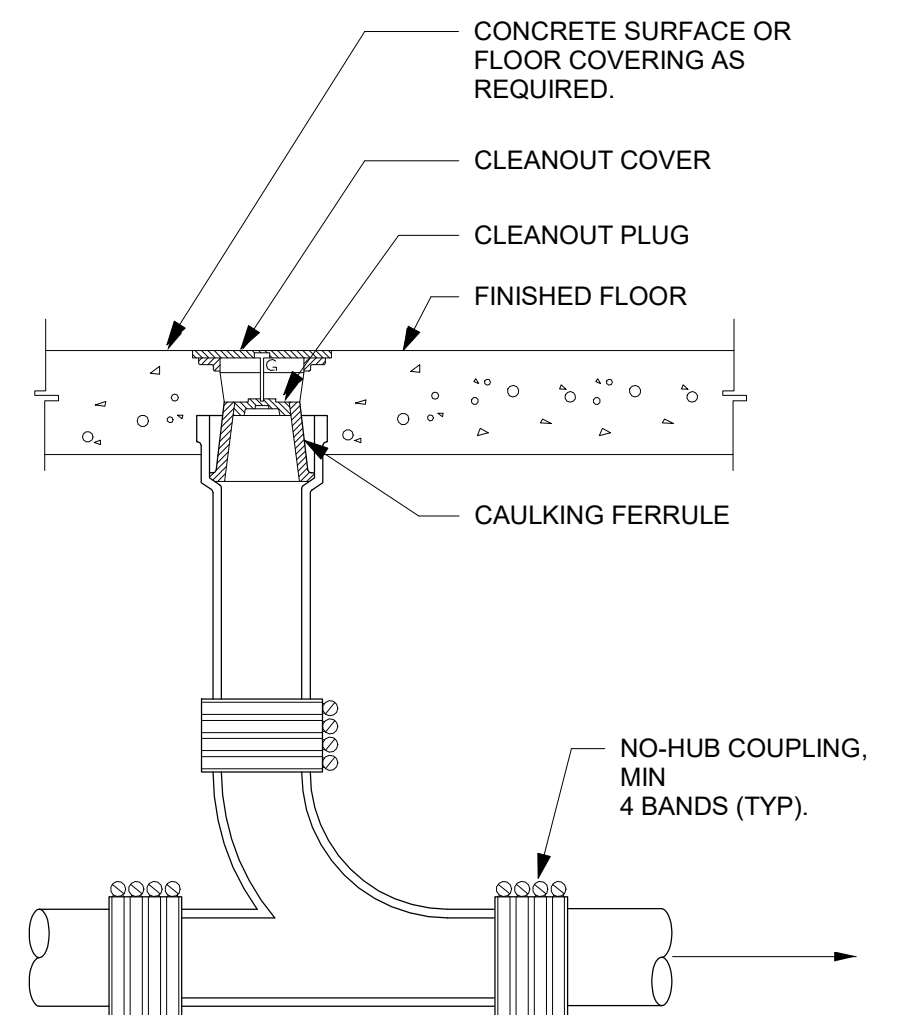


NOTES:
A. PREFERRED PIPING DIAGRAM.
B. THE TEMPERATURE AND PRESSURE RELIEF VALVE SETTING SHALL NOT EXCEED PRESSURE RATING OF ANY COMPONENT IN THE SYSTEM.
C. SERVICE VALVES ARE SHOWN FOR SERVICING UNIT. HOWEVER, LOCAL CODES SHALL GOVERN THEIR USAGE.
D. THE WATER HEATER'S OPERATING THERMOSTAT SHOULD BE SET 5 DEGREES F HIGHER THAN THE TANK TEMPERATURE CONTROL.

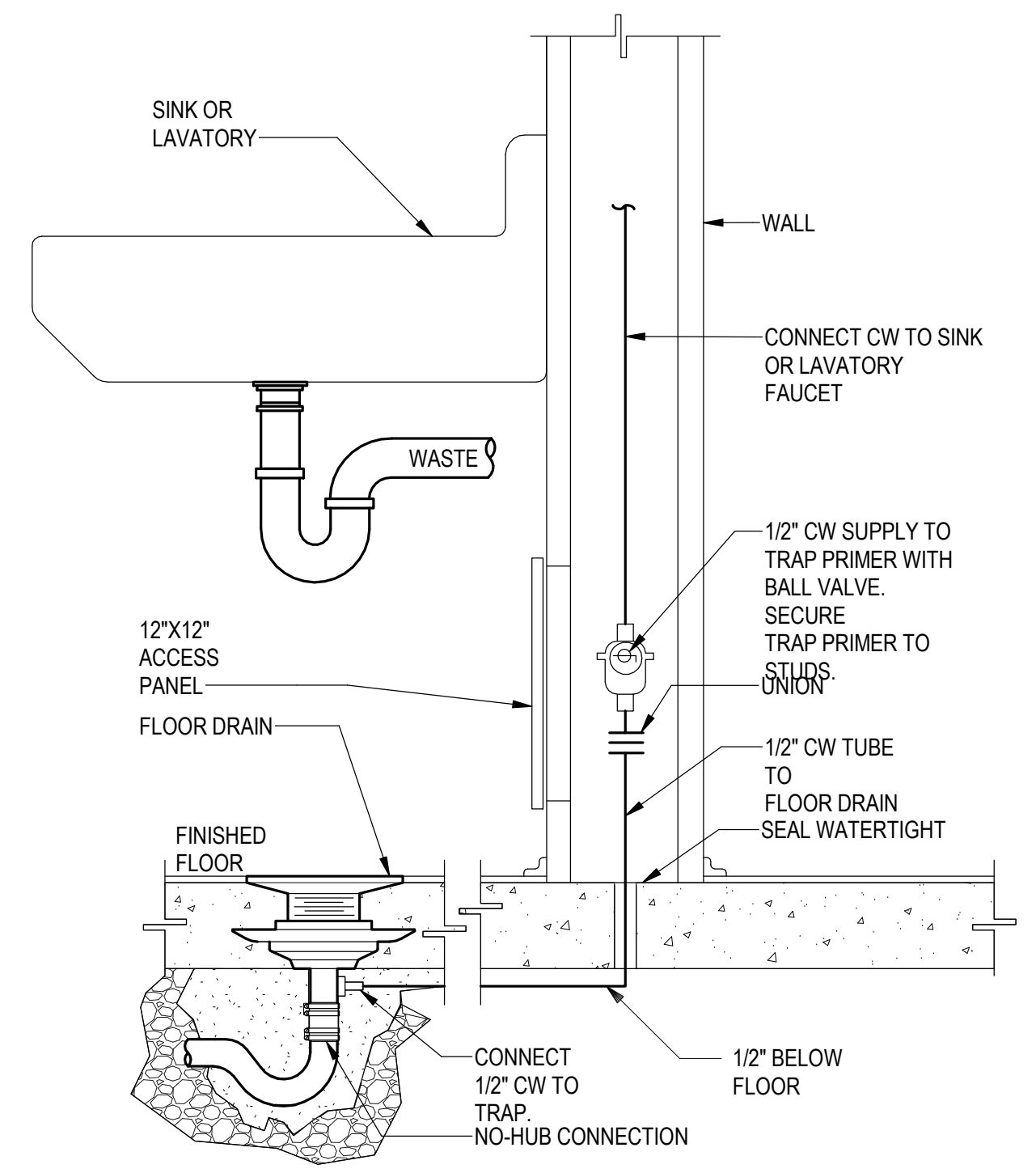
1 CENTRAL WATER HEATER DETAIL
SCALE: 1/8" = 1'-0"



6 WASHER BOX
SCALE: 1/8" = 1'-0"

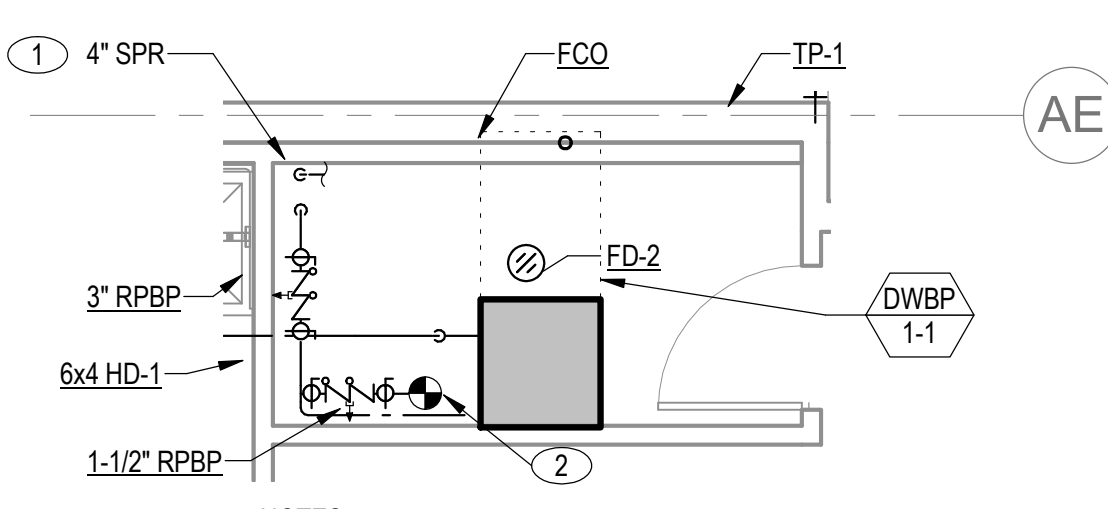


5 FLOOR CLEANOUT
SCALE: 1/8" = 1'-0"



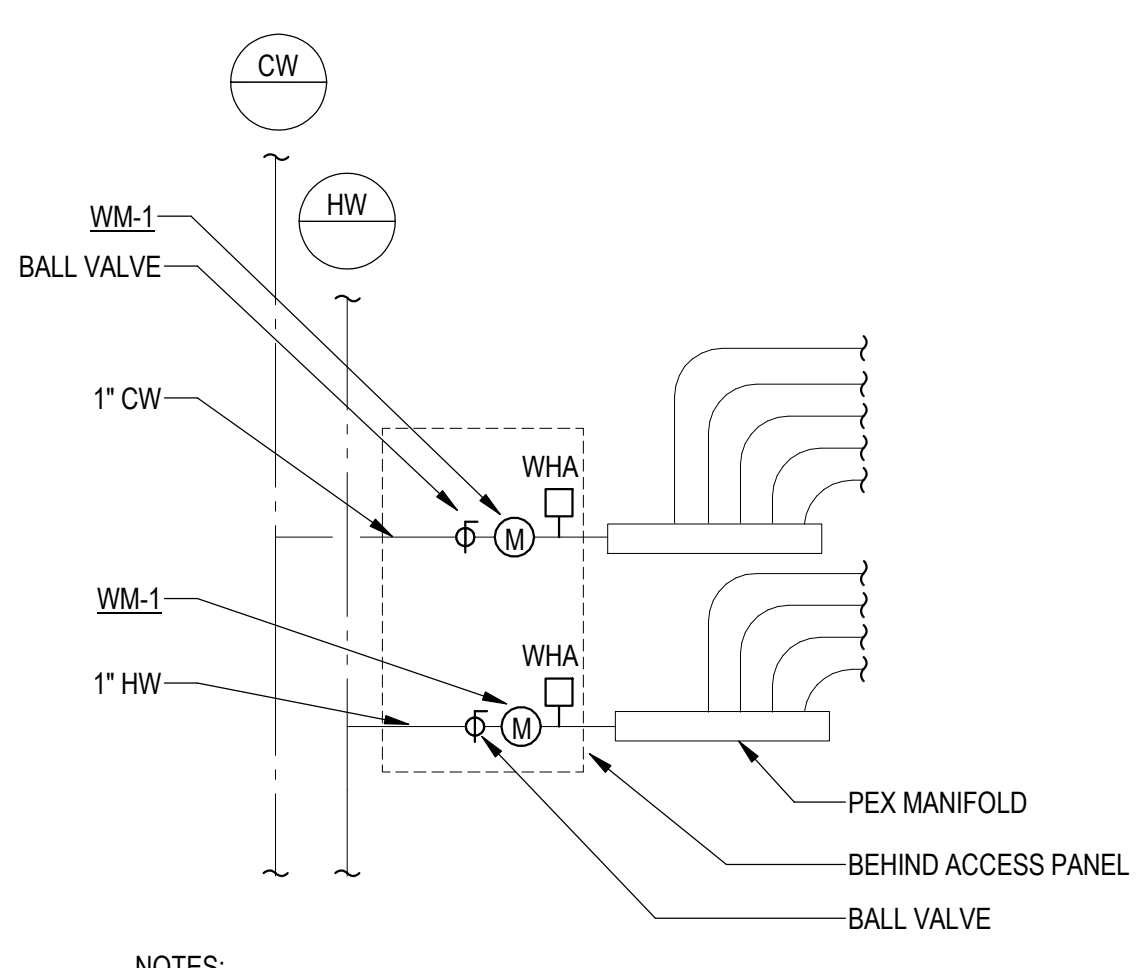
NOTES:
1. NON-POWERED UNDER-LAV TRAP PRIMER. TRAP PRIMER TO MOUNTED IN LINE WITH COLD WATER SERVICE TO FAUCET. MOUNT TRAP PRIMER A MINIMUM OF 12\"/>

4 FLOOR DRAIN WITH TRAP PRIMER
SCALE: 1/8" = 1'-0"



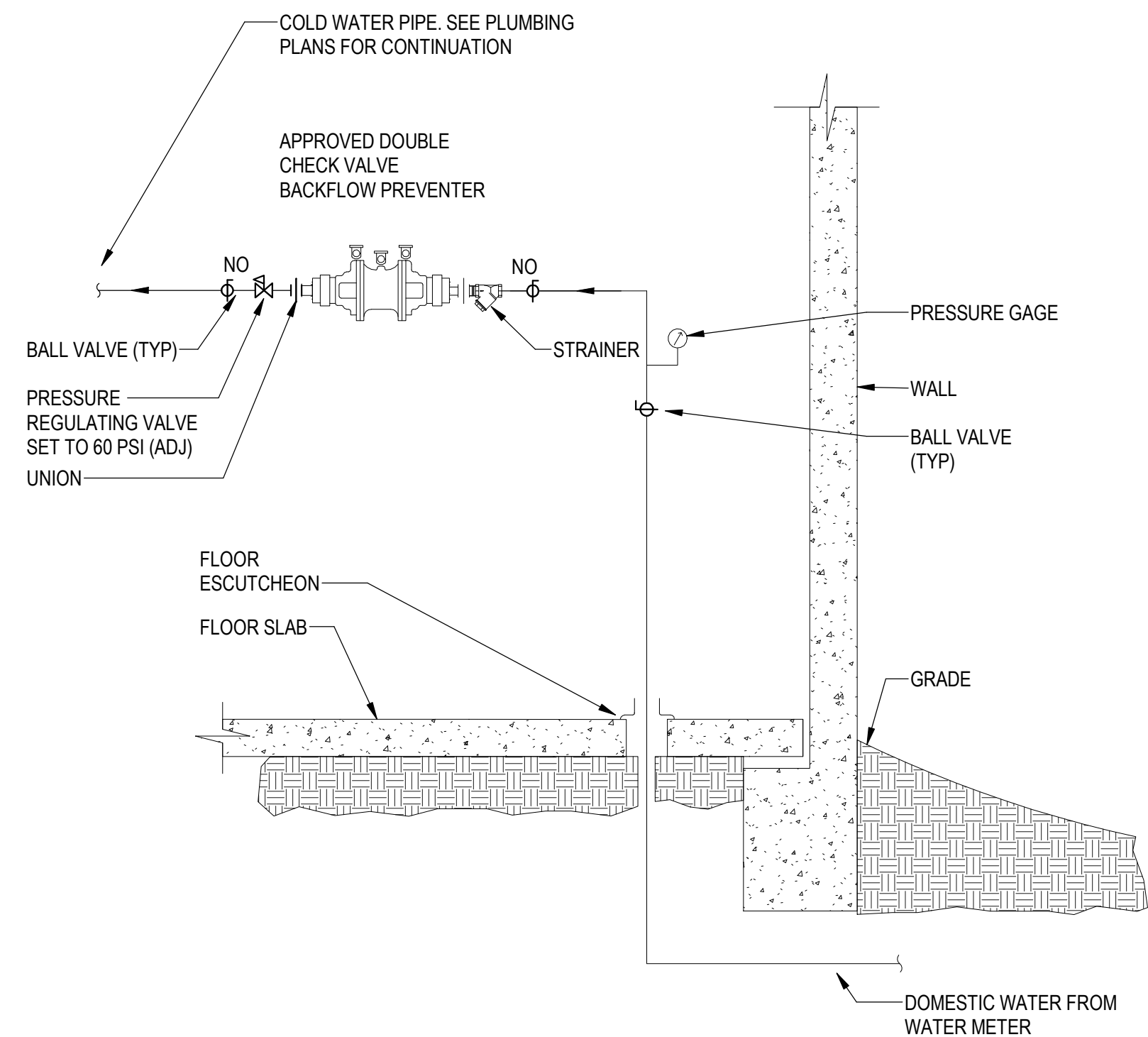
NOTES:
1. PROPOSED LOCATION FOR FIRE PROTECTION EQUIPMENT, COORD W/ DIV 21.
2. PROPOSED LOCATION FOR IRRIGATION POINT OF CONNECTION, COORD W/ LANDSCAPE
3. RELIEFE FROM BACKFLOW PREVENTORS TO BE ROUTED TO 6x4 HUB DRAIN.

8 WATER ENTRY ROOM DETAIL
SCALE: 1/4" = 1'-0"



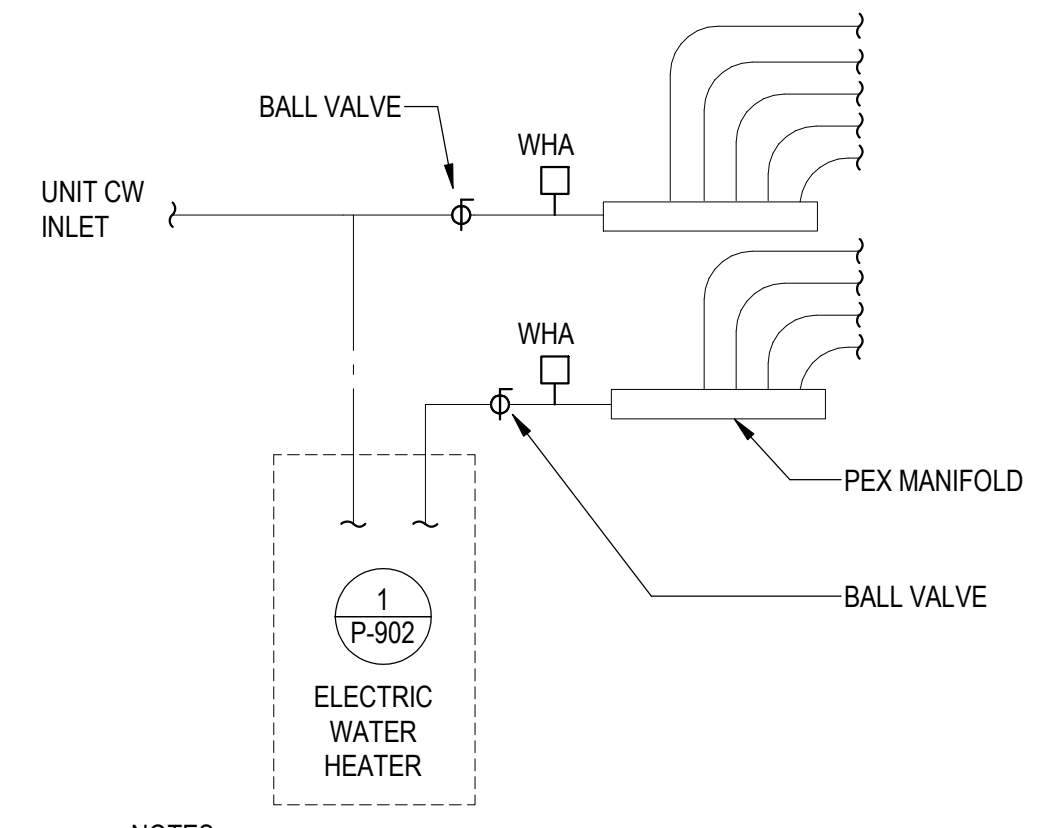
NOTES:
A. SIZE COLD AND HOT WATER PIPING CONNECTIONS PER PLUMBING FIXTURE SCHEDULE.
B. ROUTE PEX CONNECTIONS ABOVE UNIT AND STUB DOWN TO FIXTURES.
C. PEX CONNECTIONS TO FIXTURES IS APPROXIMATE CONTRACTOR TO CONFIRM NUMBER OF FIXTURES PER UNIT AS REQUIRED.

7 PEX TUBING DETAIL
SCALE: 1/8" = 1'-0"



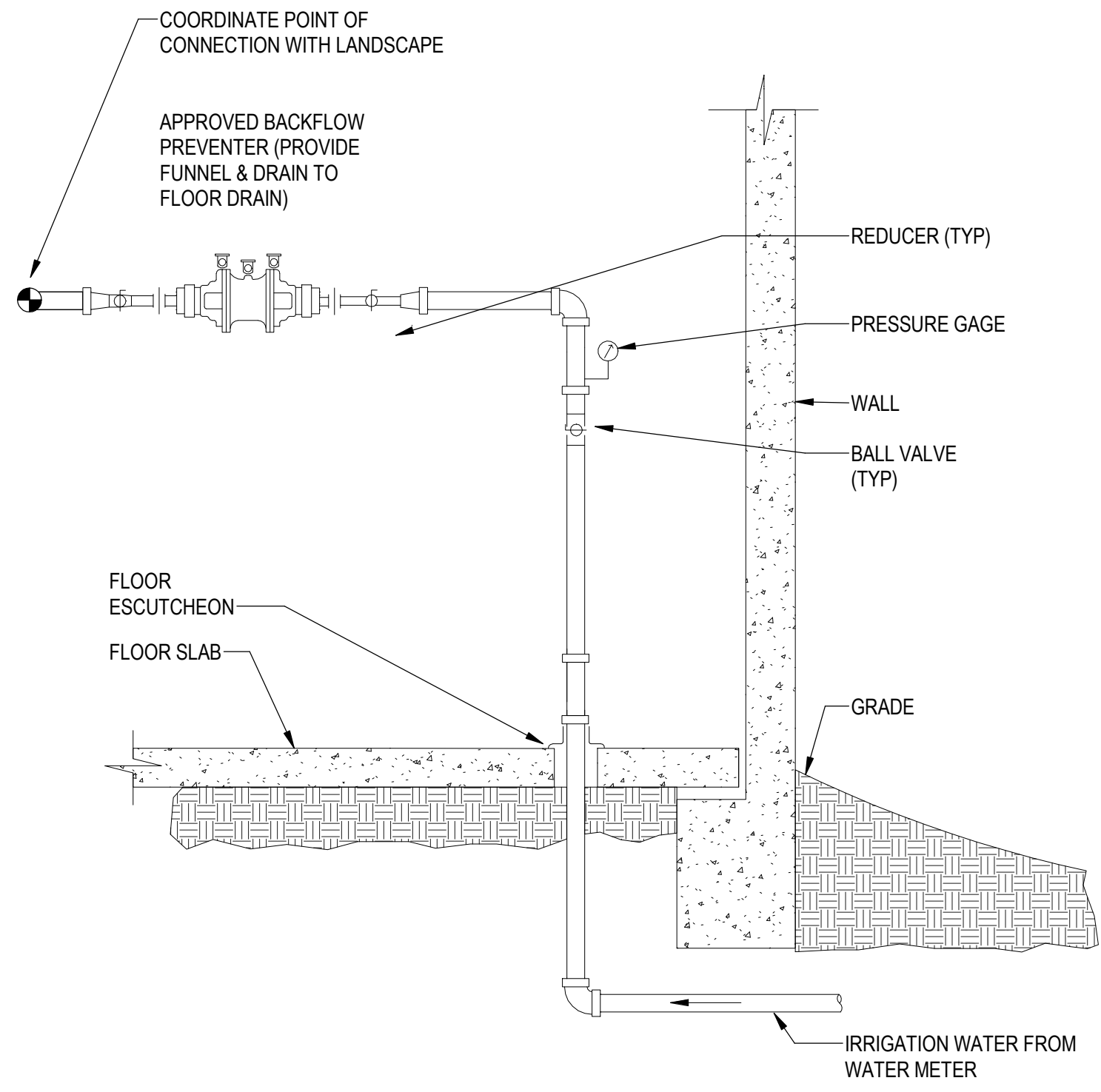
- NOTES:
1. PROVIDE FOR ALL CONNECTIONS BETWEEN DOMESTIC COLD WATER AND HVAC SYSTEM SERVICES.
 2. INSULATE AND HEAT TRACE ALL PIPING AND FITTINGS LOCATED OUTSIDE THE BUILDING IN FREEZING CLIMATES. COORDINATE WITH ELECTRICAL DESIGN.

4 REDUCED PRESSURE BACKFLOW PREVENTER
SCALE: NONE



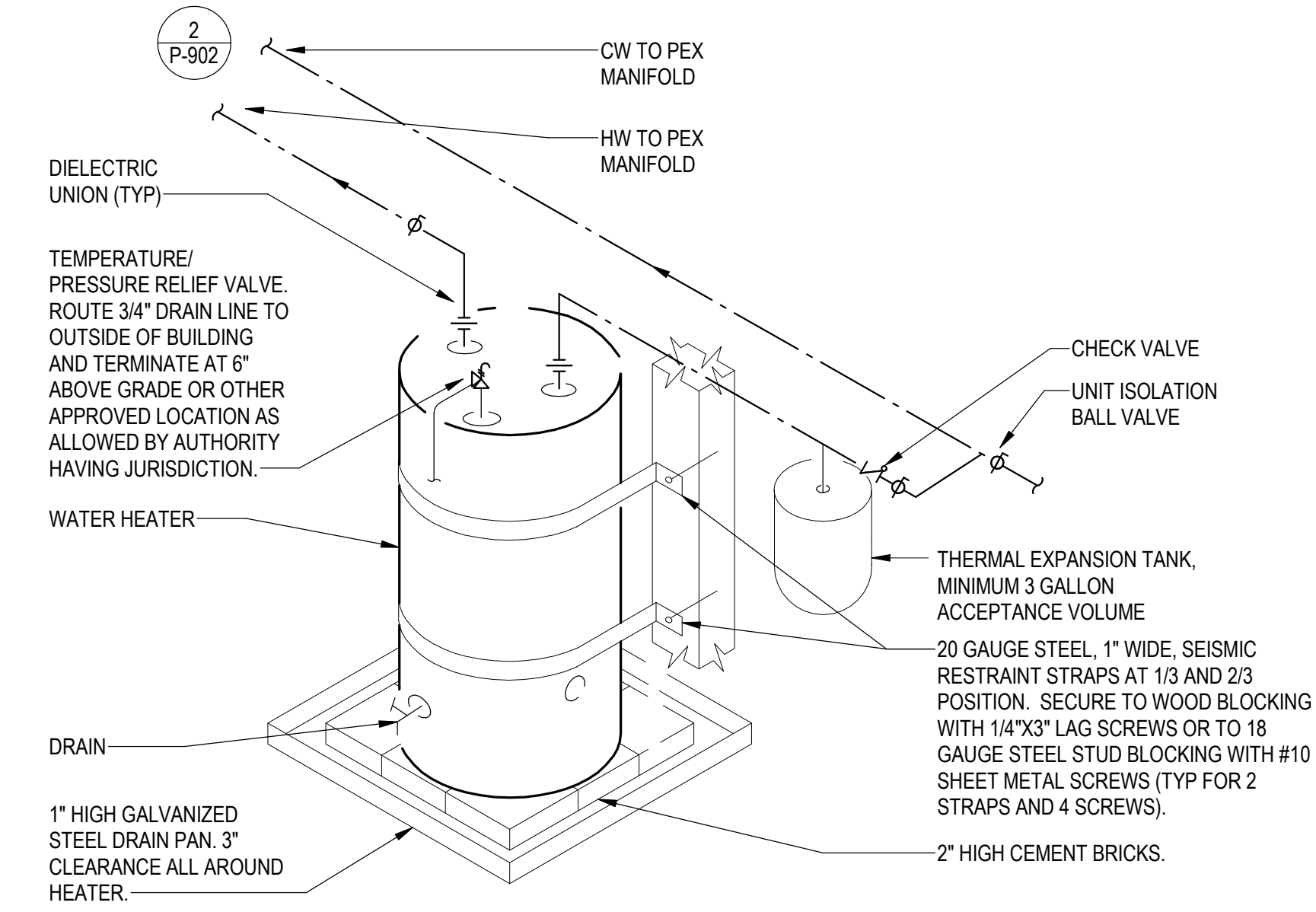
- NOTES:
- A. SIZE COLD AND HOT WATER PIPING CONNECTIONS PER PLUMBING FIXTURE SCHEDULE.
 - B. ROUTE PEX CONNECTIONS ABOVE UNIT AND STUB DOWN TO FIXTURES.
 - C. PEX CONNECTIONS TO FIXTURES IS APPROXIMATE CONTRACTOR TO CONFIRM NUMBER OF FIXTURES PER UNIT AS REQUIRED.

2 Water Heater UNIT PEX TUBING DETAIL
SCALE: 1/8" = 1'-0"



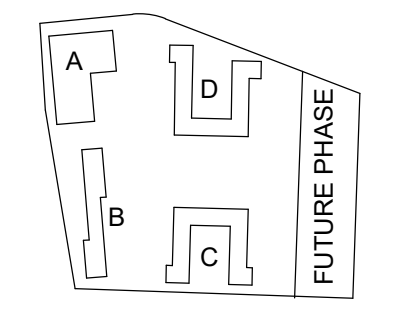
- NOTES:
1. PIPE SHALL BE TREATED AS REQUIRED BY CODE FOR UNDERGROUND INSTALLATION.

3 BACKFLOW PREVENTER-IRRIGATION
SCALE: NONE



- NOTES:
1. THIS DETAIL IS DIAGRAMMATIC. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
 2. REFER TO PLANS FOR SIZES AND CONTINUATION.

1 ELECTRIC UNIT WATER HEATER
SCALE: NONE



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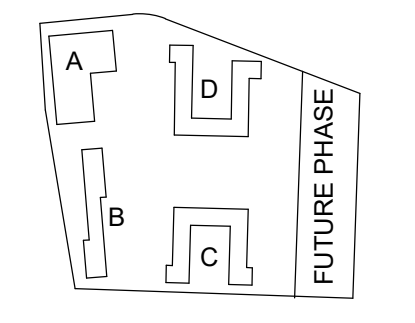
PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: **Jon Hall**
PROJECT MANAGER: **Scott Schreffler**
OWNER APPROVAL:

SHEET TITLE
PLUMBING DETAILS

SHEET NO.
P-902



BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL



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EVERETT HOUSING AUTHORITY
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MARK	DATE	DESCRIPTION
ISSUE INFORMATION		

PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: Jon Hall
PROJECT MANAGER: Scott Schreffler
OWNER APPROVAL:



BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

SHEET TITLE
MECHANICAL LEGEND AND ABBREVIATIONS

M-000

PLOT DATE/TIME: 06/08/2020 11:06:24 PM

HVAC LEGEND

NOTE: NOT ALL SYMBOLS OR ABBREVIATIONS ARE APPLICABLE TO THIS PROJECT. REFER TO DETAILS AND NOTES FOR MOUNTING HEIGHTS.

ABBREVIATIONS

AAV	AUTOMATIC AIR VENT	HWP	HEATING WATER PUMP
ABV	ABOVE	HWR	HEATING WATER RETURN
AC	AIR CONDITIONING	HWS	HEATING WATER SUPPLY
ACU	AIR CONDITIONING UNIT	HX	HEAT EXCHANGER
AD	ACCESS DOOR	HZ	FREQUENCY (HERTZ)
ADD	ADDITION	ID	INSIDE DIAMETER
AFF	ABOVE FINISHED FLOOR	IN	INCH(ES)
AFUE	ANNUAL FUEL UTILIZATION EFFICIENCY	INPLV	INTEGRATED PART LOAD VALUE
AG	AIR GAP	KW	KILOWATT
AHU	AUTHORITY HAVING JURISDICTION	KWH	KILOWATT HOUR
AHU	AIR HANDLING UNIT	L	LENGTH
AMB	AMBIENT	LAT	LEAVING AIR TEMPERATURE
A	AMPERE	LBS	POUNDS
AP	ACCESS PANEL	LDB	LEAVING DRY BULB
APPROX	APPROXIMATELY	LF	LINEAR FEET
ARCH	ARCHITECT	LWB	LEAVING WET BULB
ARI	AMERICAN REFRIGERATION INSTITUTE	LWT	LEAVING WATER TEMPERATURE
AS	AIR SEPARATOR	MA	MIXED AIR
AUTO	AUTOMATIC	MAD	MIXED AIR DAMPER
AUX	AUXILIARY	MAX	MAXIMUM
BAS	BUILDING MANAGEMENT SYSTEM	MBH	THOUSAND BTU PER HOUR
BDD	BACKDRAFT DAMPER	MC	MECHANICAL CONTRACTOR
BHP	BRAKE HORSEPOWER	MCA	MINIMUM CIRCUIT AMPACITY
BOD	BOTTOM OF DUCT	MCC	MOTORIZED CONTROL CENTER
BOP	BOTTOM OF PIPE	MD	MOTORIZED DAMPER
BFP	BACKFLOW PREVENTER	MECH	MECHANICAL
BTU	BRITISH THERMAL UNIT	MERV	MINIMUM EFFICIENCY RATING VALUE
BTUH	BTU PER HOUR	MFR	MANUFACTURER
BY	BALL VALVE OR BALANCING VALVE	MIN	MINIMUM
BYV	BUTTERFLY VALVE	MOCP	MINIMUM OVER CURRENT PROTECTION
C	COMMON, CONDENSATE OR CONDUIT	N/A	NOT APPLICABLE
CAP	CAPACITY	NC	NORMALLY CLOSED
CAV	CONSTANT AIR VOLUME	NIC	NOT IN CONTRACT
CB	CHILLED BEAM	NO	NORMALLY OPEN OR NUMBER
CC	COOLING COIL OR CONTROLS CONTRACTOR	NOM	NOMINAL
CEG	CEILING EXHAUST GRILLE	NTS	NOT TO SCALE
CER	CEILING EXHAUST REGISTER	OA	OUTSIDE AIR
CFM	CUBIC FEET PER MINUTE	OAD	OUTSIDE AIR DAMPER
CFS	CUBIC FEET PER SECOND	OAT	OUTSIDE AIR TEMPERATURE
CHWP	CHILLED WATER PUMP	OBD	OPPOSED BLADE DAMPER
CHWR	CHILLED WATER RETURN	OD	OUTSIDE DAMPER
CHWS	CHILLED WATER SUPPLY	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
CH	CHILLER	OFOI	OWNER FURNISHED OWNER INSTALLED
CHV	CHECK VALVE	OPER	OPERATING
CL	CENTERLINE	P	PUMP OR PRESSURE OR POLE
CLG	CEILING	PD	PRESSURE DROP
CO	CLEANOUT	PF	PREFILTER
COMP	COMPRESSOR	PG	PIPE GUIDE OR PRESSURE GAUGE
CONC	CONCRETE	PHC	PREHEAT COIL
COND	CONDENSATE	PLBG	PLUMBING
CONN	CONNECTION	POC	POINT OF CONNECTION
CONTR	CONTRACTOR	POD	POINT OF DISCONNECTION
COP	COEFFICIENT OF PERFORMANCE	PRESS	PRESSURE
CP	CONTROL PANEL OR CONDENSATE PUMP	PRV	PRESSURE REDUCING VALVE
CR	CONDENSATE RETURN	PS	PRESSURE SENSOR
CUFT	CUBIC FEET	PSI	POUNDS PER SQUARE INCH
CUIN	CUBIC INCHES	PSIA	PSI ABSOLUTE
CV	CONSTANT VOLUME OR CONTROL VALVE	PSIG	PSI GAUGE
CW	COLD WATER	QTY	QUANTITY
CWR	CONDENSER WATER RETURN	RA	RETURN AIR
CWS	CONDENSER WATER SUPPLY	RAD	RETURN AIR DAMPER
DBT	DRY BULB TEMPERATURE	RD	REFRIGERANT DISCHARGE OR ROOF DRAIN
DDC	DIRECT DIGITAL CONTROL	REQ'D	REQUIRED
DIA	DIAMETER	REV	REVISE, REVISION OR REVOLUTIONS
DIFF	DIFFERENCE	RF	RETURN FAN
DN	DOWN	RH	RELATIVE HUMIDITY
DPT	DEW POINT TEMPERATURE	RHC	REHEAT COIL
DSD	DUCT SMOKE DETECTOR	RHT	RADIANT HEATER
DWG(S)	DRAWING(S)	RM	ROOM
DX	DIRECT EXPANSION	RPM	REVOLUTIONS PER MINUTE
EA	EXHAUST AIR OR EACH	S	SUPPLY OR SLOPE
EAD	EXHAUST AIR DAMPER	SA	SUPPLY AIR
EAT	ENTERING AIR TEMPERATURE	SCFM	CFM, STANDARD CONDITIONS
EC	ELECTRICAL CONTRACTOR	SD	SMOKE DAMPER
EDB	ENTERING DRY BULB TEMPERATURE	SEER	SEASONAL ENERGY EFFICIENCY RATING
EWT	ENTERING WATER TEMPERATURE	SENS	SENSIBLE
EER	ENERGY EFFICIENCY RATING	SF	SUPPLY FAN OR SQUARE FEET
EF	EXHAUST FAN	SP	STATIC PRESSURE
EFF	EFFICIENCY	SPEC	SPECIFICATIONS
ELEC	ELECTRICAL	SQ IN	SQUARE INCH
EQUIP	EQUIPMENT	ST	STRAINER OR SOUND TRAP
ESP	EXTERNAL STATIC PRESSURE	STD	STANDARD
ET	EXPANSION TANK	STRUCT	STRUCTURAL
EWB	ENTERING WET BULB TEMPERATURE	SV	STEAM VENT
EXH	EXHAUST	T	THERMOSTAT OR THERMOMETER
EXT	EXTERNAL	TEMP	TEMPERATURE
F	FAHRENHEIT	TRG	TRANSFER GRILLE
FPB	FAN POWERED BOX	TS	TEMPERATURE SENSOR
FCU	FAN COIL UNIT	TSP	TOTAL STATIC PRESSURE
FD	FIRE DAMPER	TT	TEST TAP OR TEST TEE
FF	FINAL FILTER OR FINISHED FLOOR	TXV	THERMAL EXPANSION VALVE
FFA/FFB	FROM FLOOR ABOVE/BELOW	(TYP)	TYPICAL
FLR	FLOOR	UG	UNDERGROUND
FPI	FINS PER INCH	UH	UNIT HEATER
FPM	FEET PER MINUTE	VAV	VARIABLE AIR VOLUME
FPS	FEET PER SECOND	VB	VACUUM BREAKER
FSD	FIRE/SMOKE DAMPER	VD	VOLUME DAMPER
FT	FOOT OR FEET	VFD	VARIABLE FREQUENCY DRIVE
G	GAS	VFM	VENTURI FLOW METER
GA	GAUGE, GAGE	VOL	VOLUME
GAL	GALLONS	VTR	VENT THROUGH ROOF
GC	GAS COCK OR GENERAL CONTRACTOR	W	WASTE OR WIDTH OR WATTS
GLV	GLOBE VALVE	WB	WET BULB TEMPERATURE
GN	GENERAL NOTE	WC	WATER COLUMN
GPM	GALLONS PER MINUTE	WEG	WALL EXHAUST GRILLE
GV	GATE VALVE	WG	WATER GAUGE
H	HEIGHT	WP	WORKING PRESSURE
HC	HEATING COIL	WPD	WATER PRESSURE DROP
HD	HEAD	WRR	WALL RETURN REGISTER
HP	HEAT PUMP OR HORSEPOWER	WSHP	WATER-SOURCE HEAT PUMP
HR	HOUR(S)	WSR	WALL SUPPLY REGISTER
HRU	HEAT RECOVERY UNIT	WT	WEIGHT
HTR	HEATER	XFMR	TRANSFORMER
HVAC	HEATING, VENTILATING AND AIR CONDITIONING	Z	ZONE
HW	HEATING WATER	ZD	ZONE DAMPER

GENERAL

SYMBOL	DESCRIPTION
	NEW WORK
	EXISTING WORK TO REMAIN
	EXISTING WORK TO BE REMOVED
	FUTURE WORK
	EXISTING RELOCATED
	CENTER LINE
	POINT OF CONNECTION OR POINT OF DISCONNECTION
	DETAIL 1, DRAWING M-1
	SECTION A, DRAWING M-1
	ELEVATION 1, DRAWING M-1
	RISER IDENTIFICATION EXHAUST #1
	EQUIPMENT IDENTIFICATION HEAT PUMP UNIT #1
	KITCHEN EQUIPMENT TAG
	KEYED NOTE
	DIRECTION OF TRANSFER AIRFLOW (150 CFM)
	78 DEGREES FAHRENHEIT

PIPING

SYMBOL	DESCRIPTION
	DIRECTION OF SLOPE
	DIRECTION OF FLOW
	PIPE UP (OR UP & DOWN WITH NOTATION)
	PIPE DOWN
	PIPE DROP/PIPE RISE
	TOP CONNECTION - BRANCH LINE
	BOTTOM CONNECTION - BRANCH LINE
	TEE UP
	TEE DOWN
	PIPE SIZE (DIAMETER IN INCHES)

CONTROLS

SYMBOL	DESCRIPTION
	TEMPERATURE SENSOR
	THERMOSTAT OR THERMOMETER
	CARBON DIOXIDE SENSOR
	OCCUPANCY SENSOR
	HUMIDITY SENSOR OR HUMIDISTAT
	STATIC PRESSURE SENSOR
	REFRIGERANT SENSOR
	CARBON MONOXIDE SENSOR
	HYDROGEN SENSOR
	ANALOG INPUT
	ANALOG OUTPUT
	DIGITAL INPUT
	DIGITAL OUTPUT
	BUILDING AUTOMATION SYSTEM
	PULSING INPUT

DUCTWORK

SYMBOL	DESCRIPTION
	ACCESS DOOR / ACCESS PANEL
	FLEXIBLE CONNECTION
	FLEXIBLE DUCT RUNOUT TO DIFFUSER
	RECTANGULAR DUCT SIZE (WIDTH x DEPTH IN INCHES)
	ROUND DUCT SIZE (DIAMETER IN INCHES)
	OVAL DUCT SIZE (WIDTH x DEPTH IN INCHES)
	DUCT THROUGH BEAM PENETRATION
	DUCT OFFSET (RISE OR DROP)
	VOLUME DAMPER OR REMOTE VOLUME DAMPER
	FIRE, SMOKE OR FIRE/SMOKE DAMPER
	SUPPLY DUCT UP
	SUPPLY DUCT DOWN
	EXHAUST DUCT UP
	EXHAUST DUCT DOWN
	RETURN DUCT UP
	RETURN DUCT DOWN
	CROSS SECTION OF SUPPLY DUCT
	CROSS SECTION OF EXHAUST AIR DUCT
	CROSS SECTION OF RETURN AIR DUCT
	CROSS SECTION OF ROUND DUCT
	DUCT ELBOW WITH TURNING VANES
	SMOOTH RADIUS DUCT ELBOW WITHOUT TURNING VANES
	CONICAL BRANCH FITTING
	45 DEGREE BOOT LO-LOSS BRANCH FITTING
	WYE BRANCH FITTING
	ACOUSTICAL LINING DUCT (DIMENSION IS INSIDE DIMENSION)
	MOTORIZED DAMPER INSIDE DUCT
	TRANSFER DUCT (WITH LINER)
	INDICATES 8"11" TO BOTTOM OF DUCT
	RECTANGULAR OR ROUND SUPPLY DIFFUSER OR REGISTER (SEE SCHEDULE). 4-WAY THROW UNLESS INDICATED OTHERWISE. EXAMPLE: SB12X12-400 REFERS TO TAG SB WITH 12"X12" NECK AND 400 CFM
	RECTANGULAR OR ROUND EXHAUST GRILLE OR REGISTER (SEE SCHEDULE)
	RECTANGULAR OR ROUND RETURN GRILLE OR REGISTER (SEE SCHEDULE)
	WALL SUPPLY GRILLE OR REGISTER (SEE SCHEDULE)
	WALL RETURN OR EXHAUST GRILLE OR REGISTER (SEE SCHEDULE)
	LINEAR SLOT DIFFUSER (SEE SCHEDULE FOR NUMBER OF SLOTS). 2-WAY THROW UNLESS NOTED OTHERWISE. EXAMPLES: SN10-48-250 REFERS TO TAG SN WITH 10" ROUND NECK, 48" SLOT LENGTH AND 250 CFM.
	FAN COIL UNIT

MISCELLANEOUS

SYMBOL	DESCRIPTION
	REFRIGERANT DISCHARGE
	REFRIGERANT SUCTION

HVAC DRAWING LIST

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MECHANICAL BASIS OF DESIGN

1.1 MECHANICAL BASIS OF DESIGN

- A. THIS IS A NEW CONSTRUCTION PROJECT CONSISTING OF FOUR AFFORDABLE HOUSING BUILDINGS A, B, C AND D. BUILDING A WILL CONSIST OF AN ADDITIONAL LEVEL FOR OFFICES AND YOUTH EDUCATION.**
- B. THE DESIGN INCLUDES THE FOLLOWING NOTABLE FEATURES, BUT IS NOT LIMITED TO THIS SCOPE. CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL CONTRACT DOCUMENTS AND COORDINATING WITH ALL DISCIPLINES.**
1. VENTILATION: ERV UNITS ARE USED IN BUILDING A LEVEL 1 AND LEVEL 2 OFFICE SPACES. PASSIVE WINDOW VENTILATION IS PAIRED WITH BATHROOM AND LAUNDRY ROOM EXHAUST FANS IN THE LIVING UNITS.
 2. HEATING/COOLING: BUILDING A LEVEL 1 AND LEVEL 2 OFFICE SPACES ARE SERVED BY VRF FAN COIL UNITS FOR HEATING/COOLING. BUILDING A LEVEL 2-4 CORRIDORS ARE SERVED BY PACKAGED TERMINAL AIR CONDITIONERS. LIVING UNITS IN THE BUILDINGS ARE SERVED BY ELECTRIC WALL HEATERS.
 3. CONTROLS: DIRECT DIGITAL BUILDING AUTOMATION SYSTEM (BAS) TO OPERATE ALL SYSTEM FUNCTIONS AND SCHEDULES.
- C. CODES AND STANDARDS (LATEST EDITIONS UNLESS OTHERWISE REQUIRED BY AHJ)**
1. AMERICANS WITH DISABILITIES ACT (ADA).
 2. NFPA 90A: STANDARD FOR THE INSTALLATION OF AIR-CONDITIONING AND VENTILATING SYSTEMS.
 3. NFPA 90B: STANDARD FOR THE INSTALLATION OF WARM AIR HEATING AND AIR-CONDITIONING SYSTEMS.
 4. ASHRAE 55-2017 THERMAL ENVIRONMENTAL CONDITIONS FOR HUMAN OCCUPANCY.
 5. ASHRAE 62.1-2016 VENTILATION FOR ACCEPTABLE INDOOR AIR QUALITY.
 6. ASHRAE 90.1-2016 ENERGY STANDARD FOR BUILDINGS EXCEPT LOW-RISE RESIDENTIAL BUILDINGS.
 7. EVERGREEN SUSTAINABLE DEVELOPMENT STANDARD, LATEST EDITION
 8. WASHINGTON BUILDING CODES ENFORCED BY THE AUTHORITY HAVING JURISDICTION (AHJ):
 - A) 2015 INTERNATIONAL BUILDING CODE (IBC) WITH STATE AND LOCAL AMENDMENTS.
 - B) 2015 INTERNATIONAL RESIDENTIAL CODE WITH STATE AND LOCAL AMENDMENTS.
 - C) 2015 INTERNATIONAL MECHANICAL CODE (IMC) WITH STATE AND LOCAL AMENDMENTS.
 - D) 2015 UNIFORM PLUMBING CODE (UPC) WITH STATE AND LOCAL AMENDMENTS.
 - E) 2015 INTERNATIONAL FIRE CODE (IFC) WITH STATE AND LOCAL AMENDMENTS.
 - F) 2015 NATIONAL FUEL GAS CODE (NFPA 54, WAC 51-52).
 - G) 2017 NATIONAL ELECTRICAL CODE (NEC).
 - H) 2015 WASHINGTON STATE ENERGY CODE (WAC 51-11, WSEC).
 - I) 2015 INTERNATIONAL ENERGY CONSERVATION CODE/WASHINGTON STATE ENERGY CODE (WSEC) WAC 51-11C (COMMERCIAL), WAC 51-11R (RESIDENTIAL).
 - J) 2015 LIQUEFIED PETROLEUM GAS CODE (NFPA 58).
 - K) 2015 INTERNATIONAL EXISTING BUILDING CODE WITH STATEWIDE AMENDMENTS FOUND IN THE IBC.
 - L) ICC/ANSI A117.1-09, ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES, WITH STATEWIDE AMENDMENTS.
- D. OUTDOOR DESIGN CONDITIONS:**
1. LOCATION: EVERETT, WA
 2. SUMMER: 79°F DB/64°F WB
 3. WINTER: 21°F
- E. INDOOR DESIGN CONDITIONS**
1. ALL CONDITIONED AREAS:
 - A) COOLING: 75°F +/-2°F
 - B) HEATING: 70°F +/-2°F
- F. WASHINGTON VENTILATION CRITERIA:**
- A) ALL AREAS: PER CHAPTER 4 OF IMC OR ASHRAE 62.1
 - B) LIVING UNITS: CONTINUOUS MECHANICAL VENTILATION
- G. EXHAUST TO OUTDOORS (MINIMUM RATES):**
1. TOILET ROOMS: 12 AIR CHANGES PER HOUR OR 75 CFM/FIXTURE, WHICHEVER IS GREATER. ONE EXHAUST GRILLE SPACED EVERY THREE TO FIVE FIXTURES, MAXIMUM.
 2. OCCUPANCY CRITERIA IN WASHINGTON:
 - A) OFFICE OCCUPANT: 245 BTUH SENSIBLE/205 BTUH LATENT
 - B) CLOSED OFFICE: 1 PERSON
 - C) CONFERENCE ROOM: 1 PERSON/20 SQ.FT.
 - D) CLASSROOM: 1 PERSON/20 SQ.FT.
 3. ZONING CRITERIA:
 - A) PRIVATE OFFICES: ONE ZONE (TEMPERATURE SENSOR) PER FOUR (MAXIMUM) PRIVATE OFFICES AND ONE PER EACH CORNER/EXECUTIVE OFFICE.
 - B) CONFERENCE ROOMS: ONE ZONE (TEMPERATURE SENSOR) PER ROOM
 - C) CLASSROOM: ONE ZONE (TEMPERATURE SENSORS) PER ROOM
- H. DUCTWORK DESIGN CRITERIA:**
1. DESIGN DUCTWORK TO PROVIDE HIGH EFFICIENCY OPERATION WITH MINIMAL ACOUSTICAL NOISE. DUCT STATIC PRESSURE FRICTION LOSS SHALL NOT EXCEED 0.2" PER 100 FEET IN MECHANICAL ROOMS AND SHAFTS. LOW PRESSURE SUPPLY DUCT STATIC PRESSURE FRICTION LOSS BASED ON A MAXIMUM OF 0.08" PER 100 FEET. LOW PRESSURE RETURN AND EXHAUST DUCT STATIC PRESSURE FRICTION LOSS BASED ON A MAXIMUM OF 0.06" PER 100 FEET. MEDIUM PRESSURE DUCTWORK SHALL NOT EXCEED A DUCT STATIC PRESSURE FRICTION LOSS BASED ON A MAXIMUM OF 0.1" PER 100 FEET.
 2. MAXIMUM SUPPLY, RETURN AND EXHAUST DUCT AIR FLOW VELOCITIES, REGARDLESS OF PRESSURE DROP, SHALL NOT EXCEED THE FOLLOWING CRITERIA:
 - A) MAINS ABOVE CEILING: 1750 FPM
 - B) MAINS ABOVE OPEN OCCUPIED SPACES: 1450 FPM
 - C) BRANCHES ABOVE CEILING: 1400 FPM
 - D) BRANCHES ABOVE OPEN OCCUPIED SPACES: 1150 FPM
 - E) RUN-OUTS TO DIFFUSERS: 725 FPM
 - F) IN SHAFTS: 2500 FPM
 - G) IN MECHANICAL ROOMS: 3000 FPM
- I. ACOUSTICAL:**
1. THE FOLLOWING NOISE NC/RC CRITERIA LEVELS WILL BE ACHIEVED AND AS DEFINED IN THE ASHRAE HVAC APPLICATIONS HANDBOOK. THESE LEVELS ADDRESS THE MECHANICAL SYSTEMS ONLY. ACTUAL SOUND PERFORMANCE REQUIREMENTS FOR EACH SPACE MUST BE VERIFIED WITH ACOUSTICAL CONSULTANT.
 - A) CONFERENCE ROOMS: 30
 - B) PRIVATE OFFICES: 30
 - C) CORRIDORS: 40
 - D) CLASSROOMS: 30
 - E) LIVING AREAS: 30
- J. SEISMIC:**
1. ANCHORAGE AND RESTRAINTS MUST BE COORDINATED WITH STRUCTURAL ENGINEER AND AUTHORITY HAVING JURISDICTION.
 - 2.

GENERAL NOTES

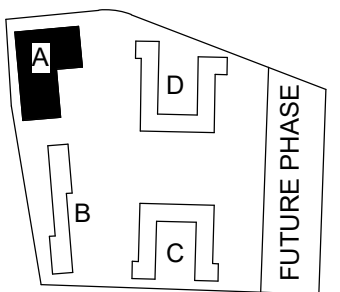
1. THE FOLLOWING NOTES APPLY TO ALL MECHANICAL DRAWINGS. ADDITIONAL NOTES MAY BE INDICATED ON INDIVIDUAL DRAWINGS.
2. DRAWINGS INDICATE CONNECTIONS FOR EQUIPMENT TO BE FURNISHED BY THE OWNER OR AS THE WORK OF THE TRADES. VERIFY LOCATION OF EQUIPMENT, ROUGH-IN LOCATIONS, AND TYPE OF CONNECTIONS PRIOR TO PREPARATION OF SHOP DRAWINGS SUBMITTALS. AND PRIOR TO INSTALLATION OF SERVICE CONNECTIONS. DO NOT INTERFERE WITH ACCESS FOR MAINTENANCE AND REMOVAL OR REPLACEMENT OF EQUIPMENT.
3. COORDINATE THE PHASING AND INSTALLATION OF NEW WORK WITH THE WORK OF ALL OTHER TRADES. BEAR THE EXPENSE FOR ANY ADDITIONAL WORK WHICH MAY BE CAUSED BY IMPROPER SEQUENCING OF CONSTRUCTION ACTIVITIES.
4. REFER TO ARCHITECTURAL DRAWINGS FOR ELEVATIONS OF DEVICES IN FINISHED AREAS AND AT HEIGHTS INDICATED ON ARCHITECTURAL ELEVATIONS. LOCATE MECHANICAL DEVICES (E.G. TEMPERATURE SENSORS, PANELS AND SWITCHES), SO THAT THEY DO NOT CONFLICT WITH GENERAL CONSTRUCTION (E.G. WAINSCOT, DOOR HARDWARE), ELECTRICAL DEVICES (E.G. LIGHT SWITCHES, SPEAKERS, OUTLETS), AND THE WORK OF OTHER TRADES.
5. REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR GENERAL CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, EQUIPMENT HOUSEKEEPING PADS, PENETRATION DETAILS, FLASHING AND SEALING DETAILS, AND OTHER ELEMENTS OF GENERAL CONTRACTOR. COORDINATE THE SIZE AND LOCATION OF EQUIPMENT HOUSEKEEPING PADS WITH APPROVED EQUIPMENT SO THAT HOUSEKEEPING PADS ARE NOMINALLY 4" HIGH UNLESS INDICATED OTHERWISE, AND EXTEND 6" MINIMUM IN ALL DIRECTIONS FROM THE HORIZONTAL LIMITS OF THE EQUIPMENT WHICH THEY SUPPORT.
6. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS OF CEILING MOUNTED ITEMS, INSTALL CEILING MOUNTED ITEMS IN THE CENTER OF CEILING TILES. IN THE CENTER OF ROOMS, OR WHERE INDICATED ON ARCHITECTURAL DRAWINGS, WHERE LOCATION OF ITEMS ARE NOT INDICATED ON ARCHITECTURAL DRAWINGS, OBTAIN DIRECTIONS FROM ARCHITECT PRIOR TO ROUGH-IN AND INSTALLATION.
7. COORDINATE EQUIPMENT POWER CONNECTION AND ELECTRICAL CHARACTERISTICS WITH ELECTRICAL DRAWINGS AND CONNECTION REQUIREMENTS. COORDINATE VARIATION IN ELECTRICAL CHARACTERISTICS FROM SCHEDULE VALUES. CHANGES TO ELECTRICAL CHARACTERISTICS (E.G. VOLTAGE, AMPS, HORSEPOWER ETC.) SHALL BE SUBJECT TO APPROVAL. BEAR THE TOTAL EXPENSE FOR REQUIRED REVISIONS TO THE ELECTRICAL SCOPE OF WORK CAUSED BY VARIATION FROM THE SCHEDULED REQUIREMENTS.
8. EQUIPMENT SHORT CIRCUIT RATINGS (SCCR) SHALL BE NOT LESS THAN THE INTERRUPTING RATING OF THE BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE SUPPLYING POWER TO THE EQUIPMENT. REFER TO SCHEDULES FOR BRANCH CIRCUIT OVERCURRENT DEVICE INTERRUPTING RATINGS.
9. COORDINATE THE LOCATION OF WORK TO PROVIDE CLEARANCES OVER LIGHTING FIXTURES AND OTHER CEILING MOUNTED DEVICES AS REQUIRED TO ALLOW FOR REMOVAL AND MAINTENANCE ACCESS.
10. DO NOT RESTRICT ACCESS TO ELECTRICAL CABLE TRAYS. AT A MINIMUM, ALLOW 18" CLEAR ON ONE SIDE OF CABLE TRAYS UP TO AN ELEVATION OF 6" ABOVE THE TOP OF THE CABLE TRAY. MAINTAIN 12" MINIMUM CLEARANCE OVER TOP OF CABLE TRAYS EXCEPT WHERE DUCT, PIPING, OR CONDUIT CROSS PERPENDICULAR TO CABLE TRAY. THIS CLEARANCE MAY BE REDUCED TO 6" OVER A DISTANCE OF NO MORE THAN 36" ALONG THE CABLE TRAY. PROVIDE NO LESS THAN 36" BETWEEN AREAS OF REDUCED CLEARANCE AND MAINTAIN INDICATED ACCESS ON THE SAME SIDE OF THE CABLE TRAY EXCEPT WHERE OTHERWISE APPROVED. DO NOT CONNECT OTHER TRADE ITEMS TO CABLE TRAY, CABLE TRACE SUPPORTS OR CABLE TRAY SEISMIC RESTRAINTS.
11. PROVIDE SUPPORT AND SEISMIC RESTRAINTS FOR PIPES, AND EQUIPMENT AS SPECIFIED, AS REQUIRED, AND AS SHOWN ON THE DRAWINGS. IF REQUIRED FOR INSTALLATION OF PIPES, DUCTS, AND EQUIPMENT, DESIGN AND PROVIDE ADDITIONAL STRUCTURAL MEMBERS BETWEEN COLUMN, JOISTS, AND STRUCTURAL FRAME TO MEET SUPPORT AND SEISMIC RESTRAINT REACTIONS (FORCES, MOMENTS, DEFLECTIONS). STRUCTURAL MEMBERS AND ANCHORAGES SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE IN WHICH THE PROJECT IS LOCATED. REFER TO STRUCTURAL DRAWINGS FOR DESIGN CRITERIA. SUBMIT STRUCTURAL MEMBER SHOP DRAWINGS AND CALCULATIONS FOR REVIEW. STRUCTURAL MEMBERS, BOLTS, AND WELDS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS SHOWN ON THE STRUCTURAL DRAWINGS AND INDICATED IN THE SPECIFICATIONS. NO WELDING, BOLTING, OR OTHER MEANS OF ATTACHMENTS TO THE STRUCTURAL MEMBERS SHALL BE MADE ON PORTIONS OF STRUCTURAL MEMBERS AT OR NEAR CONNECTIONS BETWEEN STRUCTURAL MEMBERS ON ANY ELEMENTS DESIGNATED IN THE SEISMIC LOAD RESISTING SYSTEMS UNLESS APPROVED BY THE STRUCTURAL ENGINEER. SUPPORTS ALL NOT INDUCE TORSIONAL LOAD INTO SUPPORTING STRUCTURAL FRAMING.
12. DO NOT CORE DRILL OR DRILL THROUGH BEAMS, COLUMNS OR SHEAR WALL UNLESS INDICATED ON STRUCTURAL DRAWINGS OR AS APPROVED BY THE STRUCTURAL ENGINEER.
13. PROVIDE PIPE SLEEVES AND PENETRATION SEALS AS REQUIRED FOR THE INSTALLATION OF PIPING SYSTEMS. REFER TO SPECIFICATIONS FOR REQUIREMENTS.
14. COORDINATE THE LAYOUT OF EQUIPMENT, DUCTWORK, PIPING, AND APPURTENANCE SO THAT IT FITS INTO THE SPACE ALLOTTED. PROVIDE SERVICE ACCESS AND CLEARANCE AS INDICATED ON DRAWINGS, AS REQUIRED BY CODES AND AS RECOMMENDED BY THE MANUFACTURER FOR THE INSTALLATION, REMOVAL, ENTRY, SERVICING, AND MAINTENANCE OF EQUIPMENT. PRIOR TO INSTALLATION, COORDINATE LAYOUT OF EQUIPMENT, DUCTWORK, PIPING, AND APPURTENANCES WITH ALL OTHER TRADES TO AVOID BLOCKING SERVICE OR REPLACEMENT ACCESS FOR NEW AND EXISTING EQUIPMENT AND EQUIPMENT INSTALLED BY OTHERS.
15. DRAWINGS ARE DIAGRAMMATIC AND SHOW APPROXIMATE LOCATIONS OF EQUIPMENT, DUCTWORK, PIPING, AND APPURTENANCES. DRAWINGS DO NOT SHOW REQUIRED TRANSITIONS, OFFSETS, FITTING, AND DEVICES. REFER TO DETAILS, DIAGRAMS, AND SPECIFICATIONS FOR REQUIRED SYSTEM APPURTENANCES. CONTROL DEVICES, ETC. INSTALL DEVICES IN ACCORDANCE WITH DEVICE MANUFACTURER RECOMMENDATIONS. CAREFULLY INVESTIGATE ELEMENTS OF CONSTRUCTION THAT COULD AFFECT THE WORK TO BE PERFORMED AND ARRANGE NEW WORK ACCORDINGLY. PREPARE COORDINATION DRAWINGS FOR NEW WORK, WHICH ARE COORDINATED WITH THE APPROVED AND INSTALLED WORK OF OTHER TRADES. PROVIDE REQUIRED OFFSETS, FITTING, TRANSITIONS, SUPPORTS AND OTHER APPURTENANCES AS REQUIRED. BEAR THE TOTAL EXPENSE OF RE-WORK THAT IS CAUSED BY FAILURE TO COORDINATE.
16. PROVIDE MAXIMUM HEADROOM AND CLEARANCE BELOW DUCTWORK, PIPING AND EQUIPMENT AND ASSOCIATED SUPPORTS AND RESTRAINTS. UNLESS OTHERWISE INDICATED, INSTALL TIGHT TO STRUCTURAL SYSTEMS ABOVE. WHERE WALL MOUNTED, INSTALL AS CLOSE TO WALL AS POSSIBLE. PROVIDE ADDITIONAL FITTINGS AND OFFSETS AS REQUIRED.
17. REFER TO EQUIPMENT SCHEDULE FOR DESIGN CAPACITIES. SCHEDULED VALUES SHALL BE CONSIDERED DESIGN CAPACITIES. PROVIDE EQUIPMENT WHICH MEET OR EXCEEDS THE SCHEDULED VALUES. MARK THE CONTRACT DRAWING EQUIPMENT SCHEDULES TO INDICATE THE MANUFACTURER, MODEL AND CAPACITY OF THE ACTUAL APPROVED EQUIPMENT PROVIDED AND SUBMIT THIS INFORMATION WITH RECORD DRAWINGS AS PART OF PROJECT CLOSEOUT.
18. TO ENHANCE THE CLARITY OF PLAN DRAWINGS, AND WHERE NOT NECESSARY TO DESCRIBE THE REQUIRED SIZE, INDIVIDUAL SEGMENTS OF DUCT AND PIPE BETWEEN CONNECTIONS MAY BE SHOWN WITHOUT A SIZE INDICATED. WHERE SIZE IS NOT SHOWN ON PLANS, THAT SEGMENT SHALL BE THE SAME SIZE AS THE NEXT UPSTREAM SEGMENT WITH A SIZE INDICATED.
19. WHERE NOT INDICATED ON PLANS, REFER TO EQUIPMENT SCHEDULES AND DETAILS FOR INLET AND OUT DUCT AND/OR PIPE SIZE. WHERE INDICATED ON PLANS, PLAN SIZES SHALL TAKE PRECEDENCE.
20. DUCTWORK SERVING INDIVIDUAL DIFFUSERS AND GRILLES IS GENERALLY NOT SIZED. WHERE NOT INDICATED ON PLAN DRAWINGS, REFER TO SCHEDULES AND DETAILS FOR NECK AND BRANCH DUCT SIZES BASED ON INDICATED AIRFLOW RATE ON NECK SIZE.
21. INSTALL DRAINS AT ALL LOW POINTS IN PIPING, INCLUDING ANY TRAPPED PORTIONS OF PIPING. PROVIDE MANUAL AIR VENTS AT ALL HIGH POINTS IN CLOSED LOOP (MECHANICAL) PIPING SYSTEM. IN GENERAL, THESE DEVICES ARE NOT INDICATED ON DRAWINGS. WHERE AUTOMATIC AIR VENTS ARE INDICATED ON DRAWINGS, EXTEND AUTOMATIC AIR VENT (AAV) DISCHARGE TO NEAREST FLOOR DRAIN USING INDIRECT DRAIN PIPING OF SAME SIZE AS AAV DISCHARGE. INDICATED THE ACTUAL LOCATION ON FIELD-LOCATION DRAINS, VENTS AND DRAIN PIPING ON THE RECORD DRAWINGS.
22. PROVIDE A MANUAL VOLUME DAMPER FOR:
 - (1) EACH SUPPLY, RETURN, AND EXHAUST OPENING
 - (2) IN ALL BRANCH DUCTS WHERE THREE OR MORE OPENING ARE ASSOCIATED WITH BRANCH, AND ELSEWHERE AS NOTED ON DRAWINGS OR IN SPECIFICATIONS LOCATE VOLUME DAMPERS AS FAR AS POSSIBLE FROM OPENINGS. FOR THE PURPOSE OF THIS REQUIREMENT, TERMINAL UNIT PRIMARY AIR DAMPERS ARE CONSIDERED A VOLUME DAMPERS. VOLUME DAMPERS ARE NOT REQUIRED FOR CEILING RETURN GRILLES THAT TRANSFER AIR TO A RETURN AIR PLENUM UNLESS OTHERWISE NOTED.
23. PROVIDE CONICAL TAPS FOR 90 DEGREE ROUND DUCT BRANCHES FROM RECTANGULAR SUPPLY DUCTWORK. DO NOT USE STRAIGHT TEE FITTINGS UNLESS SPECIFICALLY INDICATED ON DRAWINGS.
24. PROVIDE DUCT LINING FOR DUCTWORK AND PLENUMS AS SPECIFIED AND WHERE INDICATED ON DRAWINGS. DUCT SIZES INDICATED ON DRAWINGS ARE NET INSIDE DIMENSIONS REPRESENTING THE MINIMUM DUCT FREE AREA. THICKNESS OF DUCT LINING SHALL BE AS SPECIFIED UNLESS A GREATER THICKNESS IS INDICATED ON DRAWINGS.

GGLO

DESIGN

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GLUMAC

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Project Manager: DeNayne Glenn
Job No.: 20U500169

PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:

EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201

MARK	DATE	DESCRIPTION
B		REVISIONS

C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN
MARK	DATE	DESCRIPTION
ISSUE INFORMATION		

PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: **Jon Hall**
PROJECT MANAGER: **Scott Schreffler**
OWNER APPROVAL:

SHEET TITLE

MECHANICAL GENERAL NOTES

SHEET NO.

M-001

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ORIGINAL SHEET SIZE IS A4*8P



BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

D

C

B

A

PLT DATE/TIME: 11/08/2020 12:06:29 PM

RESIDENTIAL HEAT LOAD CALCULATION

Table with columns: UNIT ID, TYPE, GLAZING (SF), # DOORS, AREA (SF), ENVELOPE (MBH), AIR LEAKAGE (MBH), VENTILATION (CFM, MBH), TOTAL (MBH), MAX+25% (KW), SPECIFIED HEATER (ELECTRIC UNIT HEATER (EUH) QTY, (KW), (KW)), SYSTEM SIZING (TOTAL COMPLY (Y/N)). Rows include BLDG A ONE BED TYP, BLDG B THREE BED C, BLDG B TWO BED TYP, BLDG B TWO BED CORNER, BLDG C, D TYP UNIT, BLDG C, D CORNER UNIT.

NOTES:
1. COORDINATE ELECTRIC HEAT WITH DIV 26 UNDER ELECTRICAL PERMIT.
2. SEE ARCH PLANS FOR UNIT TYPE LOCATIONS
3. SEC 403.2.2 EXCEPTION 3

BUILDING A AMENITY VENTILATION CALCULATIONS

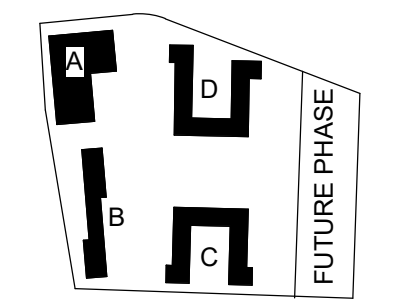
Table with columns: TAG, ROOM INFORMATION (NO., ROOM NAME, Az FLOOR AREA, ROOM TYPE), 2015 IMC CHP 4 (Rp PEOPLE OUTDOOR AIR RATE, Ra AREA OUTDOOR AIR RATE, OCCUPANT DENSITY, Pz ZONE POPULATION, Vbz BREATHING Zone OA, Ez ZONE AIR DISTRIBUTION EFFECTIVENESS, Voz ZONE OUTDOOR AIRFLOW), (PROVIDED) OUTDOOR AIR INTAKE, MEETS STANDARD (Y/N). Rows include ERV-1-1, ERV-1-2, ERV-1-3, and NATURAL VENTILATION & WALL MOUNTED ERV UNITS.

LIVING UNIT VENTILATION CALCULATIONS

Table with columns: DESCRIPTION, LOCATION, APPLICATION, AREA (SF), VENTILATION PER TABLE 403.4.1 (CFM), FAN OPERATION (ON (HR), OFF (HR)), FRACTION OPERATION TIME, f, VENTILATION EFFECTIVENESS TABLE 403.8.5.1, CALCULATED OUTDOOR AIR (CFM), SCHEDULED OUTDOOR AIR (CFM), COMPLY? (Y/N). Rows include 1 BED, 2 BED, 2 BED CORNER, 2 BED TYPE A, 2 BED CORNER, 3 BED, 3 BED CORNER.



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BUILDING D: 2810 14TH STREET
EVERETT, WA 98201
OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201

Table with columns: MARK, DATE, DESCRIPTION. Row: REVISIONS

Table with columns: MARK, DATE, DESCRIPTION. Row: BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

PROJECT NO.: 2017033
PRINCIPAL IN CHARGE: Jon Hall
PROJECT MANAGER: Scott Schreffler
OWNER APPROVAL:

SHEET TITLE
MECHANICAL CALCULATIONS

SHEET NO.
M-002



BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

VRF AIR COOLED HEAT PUMPS & CONDENSING UNITS

DESIGNATION	LOCATION	SERVICE	MANUF. MODEL NUMBER	NOMINAL COOLING CAPACITY (BTU/H)	NOMINAL HEATING CAPACITY (BTU/H)	ELECTRICAL DATA					FAN QUANTITY	OPERATING WEIGHT (LBS)	NOTES
						VOLT/PHASE	EER/SEER [EER]	COP (47 DEG)	NUMBER OF MODULES	MCA PER MODULE			
HP-1	GROUND LEVEL AT BLDG A	LEVEL 1 OFFICE, CLASSRRROM	mitsubishi PUY-P168	192,000	215,000	208/1	11.30/[20.0]	3.80	1	66.0	1	890	1.2
CU-1	GROUND LEVEL AT BLDG A	MDF ROOM	MITSUBISHI PUY-A24	24,000	CLG ONLY	208/1	12.2/21.4	N/A	1	1.0	1	151	1.2
CU-2	GROUND LEVEL AT BLDG A	ELEV MACHINE RM	MITSUBISHI PUY-A24	48,000	CLG ONLY	208/1	12.2/21.4	N/A	1	1.0	1	151	1.2
CU-3	GROUND LEVEL AT BLDG A	ELECTRICAL RM	MITSUBISHI PUY-A24	48,000	CLG ONLY	208/1	12.2/21.4	N/A	1	1.0	1	151	1.2

NOTES:
1. BASIS OF DESIGN: MITSUBISHI, DAIKIN AND LG ACCEPTABLE ALTERNATIVE.
2. PROVIDE SPRING ISOLATED EQUIPMENT RAILS FOR SUPPORTS.

VRF FAN COIL SCHEDULE

DESIGNATION	SERVICE	MANUF. MODEL NUMBER	SUPPLY AIRFLOW (CFM)	OA AIRFLOW (CFM)	ESP (IN. WG.)	COOLING						HEATING		ELECTRICAL		WEIGHT (LBS)	NOTES
						CAPACITY		EAT		LAT		CAPACITY (MBH)	EAT (°F)	MCA (A)	VOLTAGE / PHASE		
						TOTAL MBH	SENSIBLE MBH	DB (°F)	WB (°F)	DB (°F)	WB (°F)						
FCU-1-1	BLDG A, LEVEL 1, OFFICE 276	MITSUBISHI TPEFY-P08MA	200	0	0.50	6	5	80	67	55	52	13.5	70	1.05	208/1	60	1,2,3,4,5
FCU-1-2	BLDG A, LEVEL 1, CONF 285	MITSUBISHI TPEFY-P18MA	500	0	0.50	15	14	80	67	55	52	20	70	1.56	208/1	70	1,2,3,4,5
FCU-1-3	BLDG A, LEVEL 1, OFFICE 275	MITSUBISHI TPEFY-P08MA	200	0	0.50	6	5	80	67	55	52	13.5	70	1.05	208/1	60	1,2,3,4,5
FCU-1-4	BLDG A, LEVEL 1, CLASSROOM 274	MITSUBISHI TPEFY-P36MA	1040	0	0.50	32	28	80	67	55	52	20	70	3.32	208/1	70	1,2,3,4,5
FCU-1-5	BLDG A, LEVEL 1, BREAK ROOM	MITSUBISHI TPKFYP08HM	250	0	0.50	8	7	80	67	55	52	9	70	1.05	208/1	60	1,2,3,4,5
FCU-1-6	BLDG A, LEVEL 1, MDF ROOM	MITSUBISHI PKFY-P30NMAU	400	0	0.50	30	28	80	67	55	52	N/A	70	0.37	208/1	55	1,2,3,4,5,6
FCU-1-7	BLDG A, LEVEL 1, ELEV MACHINE RM	MITSUBISHI PKFY-P24NMAU	400	0	0.50	24	22	80	67	55	52	N/A	70	0.37	208/1	55	1,2,3,4,5,6
FCU-1-8	BLDG A, LEVEL 1, YOUTH PROGRAM	MITSUBISHI PEFY-P48NMAU	1400	0	0.50	43	38	80	67	55	52	40	70	3.4	208/1	100	1,2,3,4,5
FCU-1-9	BLDG A, LEVEL 1, OFFICE 113, 114, 115, 116	MITSUBISHI TPEFY-P18MA	410	0	0.50	13	11	80	67	55	52	20	70	1.56	208/1	70	1,2,3,4,5
FCU-1-10	BLDG A, LEVEL 1, ELEC ROOM	MITSUBISHI PKFY-P24NMAU	300	0	0.50	24	22	80	67	55	52	20	70	1.56	208/1	70	1,2,3,4,5,6
FCU-1-11	BLDG A, LEVEL 1, MAINTENECE 105	MITSUBISHI TPEFY-P08MA	200	0	0.50	6	5	80	67	55	52	9	70	1.05	208/1	60	1,2,3,4,5
FCU-2-1	BLDG A, LEVEL 2, OFFICE 270	MITSUBISHI TPKFYP12HM	250	0	0.50	8	7	80	67	55	52	13.5	70	1.2	208/1	60	1,2,3,4,5
FCU-2-2	BLDG A, LEVEL 2, PRIVATE OFFICE 289	MITSUBISHI TPKFYP08HM	200	0	0.50	6	5	80	67	55	52	13.5	70	1.05	208/1	60	1,2,3,4,5
FCU-2-3	BLDG A, LEVEL 2, WORK RM	MITSUBISHI TPKFYP08HM	200	0	0.50	6	5	80	67	55	52	20	70	1.05	208/1	70	1,2,3,4,5
FCU-2-4	BLDG A, LEVEL 2, CONFERENCE RM	MITSUBISHI TPKFY-P18HM	400	0	0.50	12	11	80	67	55	52	20	70	1.56	208/1	70	1,2,3,4,5

NOTES:
1. BASIS OF DESIGN: MITSUBISHI, DAIKIN AND LG ACCEPTABLE ALTERNATIVES
2. SEE HP AND CU SCHEDULE FOR SYSTEM EFFICIENCY
3. VRF MANUFACTURER TO PROVIDE THERMOSTATS FOR ALL ZONES SERVED BY VRF FAN COILS. PROVIDE SIMPLE WIRED REMOTE CONTROLLERS. SEE PLANS FOR LOCATIONS.
4. PROVIDE WITH CONDENSATE PUMP. REFCO GOBI OR EQUAL.
5. VENTILATION IS DECOUPLED FROM THE HEATING AND COOLING SYSTEM. REFER TO VENTILATION CALCULATION ON SHEET M-001 FOR VENTILATION REQUIREMENTS.
6. FAN COIL UNIT AND ASSOCIATED HP HAVE ONE POINT OF ELECTRICAL CONNECTION AT THE HP UNIT.

ELECTRIC DUCT HEATER SCHEDULE

TAG	MODEL NUMBER	CFM	DUCT SIZE	ELECTRICAL		NOTES
				HEAT CAP (KW)	V/PH	
EDH-A	INDEECO	30	SEE DWGS	2	208/3	1
EDH-B	INDEECO	250	SEE DWGS	3	208/3	1

- NOTES:
1. CONTROL TO MAINTAIN 55 DEG F MINIMUM SUPPLY AIR TEMP.

GRILLES, REGISTERS AND DIFFUSERS SCHEDULE

DESIGNATION	MANUF. MODEL NUMBER	TYPE OF SERVICE	FACE DIMENSIONS	NOTES
SA	TITUS TMS	SUPPLY (CEILING)	24x24	
SB	TITUS TMS	SUPPLY (CEILING)	12x12	
SC	TITUS 272FL DOUBLE DEFLECTION REGISTER	SUPPLY (SIDEWALL)	SEE PLANS	
SD	TITUS FL-20, 2 SLOT, FLOWBAR HIGH THROW PATTERN	SUPPLY (CEILING,LINEAR)	SEE PLANS	
EA	TITUS PAR	RETURN/EXHAUST (CEILING)	24x24	
EB	TITUS PAR	RETURN/EXHAUST (CEILING)	12x12	
EC	TITUS 4FL DOUBLE DEFLECTION REGISTER	RETURN/EXHAUST (SIDEWALL)	SEE PLANS	
ED	TITUS FL-20, 2 SLOT, FLOWBAR HIGH THROW PATTERN	RETURN/EXHAUST (CEILING,LINEAR)	SEE PLANS	

- GENERAL NOTES:
A) CONFIRM ALL BORDER TYPES AND FINISHES WITH ARCHITECT PRIOR TO ORDERING.
B) PROVIDE FACTORY INSULATED PLENUMS FOR ALL LINEAR SUPPLY SLOTS.
C) SEE DRAWINGS FOR ACTIVE LENGTH FOR LINEAR DIFFUSERS.
D) REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION
E) PROVIDE REMOTE DAMPERS FOR TERMINAL UNITS LOCATED ABOVE WOOD AND HARD LID CEILINGS.

ELECTRIC HEATER SCHEDULE

TAG	NO.	MANUFACTURER	MODEL NUMBER	LOCATION	TYPE	HEAT CAP		V	PH	EMERG POWER (Y/N)	UNIT SIZE (L"xW"xH")	OPER. WT. (LBS)	NOTES
						(W)							
EH	A	KING	PAW2022	LIVING UNITS	WALL	1000	208	1	N	N	14 x 5 x 8	15	1,2,3
EH	B	KING	PAW2022	LIVING UNITS	WALL	1250	208	1	N	N	14 x 5 x 8	15	1,2,3
EH	C	KING	PAW2022	LIVING UNITS	WALL	2000	208	1	N	N	14 x 5 x 8	15	1,2,3
EH	D	KING	PAW2022	LIVING UNITS	WALL	2250	208	1	N	N	14 x 5 x 8	15	1,2,3

- NOTES:
1. INSTALL IN COMPLIANCE WITH MECHANICAL AND ELECTRICAL CODE REQUIRED WORKING CLEARANCES.
2. CONFIRM LOCATION OF INSTALLATION WITH ARCHITECTURAL.
3. PROVIDED WITH REMOTE WALL MOUNTED 120V PROGRAMMABLE THERMOSTAT FOR CONTROL FOR LIVING ROOMS AND DIAL FOR BEDROOMS.

EXHAUST FAN SCHEDULE

TAG	MANUFACTURER	MODEL NUMBER	LOCATION	AREA SERVED	TYPE	DRIVE	AIR FLOW (CFM)	SP (IN.WG.)	FAN RPM	MTR RPM	ELECTRICAL				OPER WT. (LBS)	NOTES	
											BHP	HP	V/PH	VFD (Y/N)			
REF-A	PANASONIC	WHISPER GREEN LITE	LIVING UNITS	LIVING UNITS - RESTROOMS	CEILING MOUNTED	DIRECT	55	0.2	814	814	0.00	0.0075	120/1	N	N	15	1,2,3,4
REF-B	PANASONIC	WHISPER GREEN	BLDG A LEVEL 1	PUBLIC RESTROOMS	CEILING MOUNTED	DIRECT	110	0.2	814	814	0.00	0.0075	120/1	N	N	15	1,2,3,4,5
LEF-A	PANASONIC	WHISPER GREEN LITE	LIVING UNITS	LIVING UNITS - RESTROOMS	CEILING MOUNTED	DIRECT	55	0.2	814	814	0.00	0.0075	120/1	N	N	15	1,2,3,4
SSEF-A-1	FANTECH	RN 4EC-4	LEVEL 1	BLDG A SUBSLAB	INLINE	DIRECT	250	2	-	-	146W	170W	120/1	N	N	10	1,2,3,4,6
SSEF-B-1	FANTECH	RN 4EC-4	LEVEL 1	BLDG B SUBSLAB	INLINE	DIRECT	250	2	-	-	146W	170W	120/1	N	N	10	1,2,3,4,6
SSEF-C-1	FANTECH	RN 4EC-4	LEVEL 1	BLDG C SUBSLAB A	INLINE	DIRECT	250	2	-	-	146W	170W	120/1	N	N	10	1,2,3,4,6
SSEF-C-2	FANTECH	RN 4EC-4	LEVEL 1	BLDG C SUBSLAB B	INLINE	DIRECT	250	2	-	-	146W	170W	120/1	N	N	10	1,2,3,4,6
SSEF-D-1	FANTECH	RN 4EC-4	LEVEL 1	BLDG D SUBSLAB A	INLINE	DIRECT	250	2	-	-	146W	170W	120/1	N	N	10	1,2,3,4,6
SSEF-D-2	FANTECH	RN 4EC-4	LEVEL 1	BLDG D SUBSLAB B	INLINE	DIRECT	250	2	-	-	146W	170W	120/1	N	N	10	1,2,3,4,6

- NOTES:
1. COORDINATE WITH ELECTRICAL FOR POWER AND DISCONNECT AS REQUIRED.
2. PROVIDE MANUAL SPEED CONTROLLER WITH LOW/MEDIUM/HIGH SELECTION.
3. PROVIDE VIBRATION ISOLATION AND SEISMIC RESTRAINT PER SPECIFICATIONS.
4. PROVIDE TWO SPEED FAN, WITH AIRFLOW SETTINGS AT 55 & 80 CFM. LOW SPEED FAN TO RUN CONTINUOUSLY AND HIGH SPEED FAN TO BE ENABLED VIA LIGHT SWITCH.
5. PUBLIC RESTROOM FANS TO OPERATE UPON ACTIVATION OF THE LIGHT SWITCH OR OCCUPANCY SENSOR. FANS WILL SHUT OFF AFTER 5 MINUTE DELAY.
6. SUBSLAB EXHAUST FAN FOR RADAON MITIGATION.

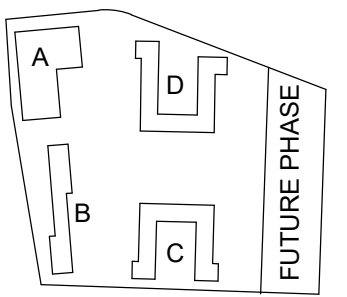
VARIABLE REFRIGERANT FLOW BRANCH SELECTOR SCHEDULE

TAG	COND UNIT TAG	MANUFACTURER	MODEL NUMBER	LOCATION	NUMBER OF CONNECTED FAN COILS	ELECTRICAL				OPER. WT. (LBS)	NOTES
						V/PH	MCA (A)	EMERG POWER (Y/N)	UNIT SIZE (L"xW"xH")		
BC-1	HP-1	MITSUBISHI	CMB-P108NU	BLDG A CORRIDOR 268	7	208/1	0.74	-	10x24x16	80	1,2,3,4,5,6

- NOTES:
1. COORDINATE WITH ELECTRICAL FOR POWER AND DISCONNECT AS REQUIRED.
2. CAPACITY BASED ON ARI STANDARD CONDITIONS.
3. PROVIDE VIBRATION ISOLATION HANGERS OR MOUNTS AS REQUIRED.



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Project Manager: DeNayne Glenn
Job No.: 20US00169

PROJECT:
EHA BAKER HEIGHTS



PROJECT ADDRESS:
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EVERETT HOUSING AUTHORITY
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MARK	DATE	DESCRIPTION
REVISIONS		

C 06/08/2020 BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

B 04/10/2020 DESIGN DEVELOPMENT

A 01/07/2020 SCHEMATIC DESIGN

MARK	DATE	DESCRIPTION
ISSUE INFORMATION		

PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: **Jon Hall**
PROJECT MANAGER: **Scott Schreffler**
OWNER APPROVAL:

SHEET TITLE
MECHANICAL SCHEDULES

SHEET NO.

M-003

BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL



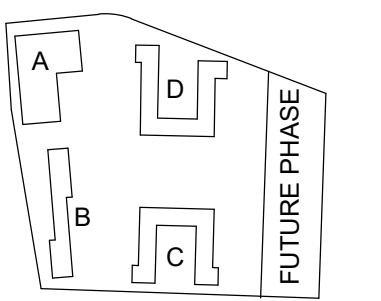
ENERGY RECOVERY VENTILATOR SCHEDULE

TAG	LOCATION/SERVICE	MANUF./MODEL NUMBER	SUPPLY FAN				EXHAUST FAN				ELECTRICAL DATA			WEIGHT (LBS)	NOTES
			CFM	EXT SP IN. WG	POWER (W)	EFFICIENCY	CFM	EXT SP IN. WG	POWER (W)	EFFICIENCY	VOLTAGE /PHASE	MCA	MOCP		
ERV-1-1	BLDG A LEVEL 1 OFFICE, CONF	mitsubishi LGH-F1200	800	0.4	388	68%	800	0.4	388	68%	208/1	7.1	15	290	1, 2, 3, 4
ERV-1-2	BLDG A LEVEL 1 OFFICE, CONF	mitsubishi LGH-F1200	1,200	0.4	388	68%	1,200	0.4	388	68%	208/1	7.1	15	290	1, 2, 3, 4
ERV-1-3	BLDG A LEVEL 1 OFFICE, CONF	mitsubishi LGH-F1200	1,200	0.4	388	68%	1,200	0.4	388	68%	208/1	7.1	15	290	1, 2, 3, 4
ERV-2-1	BLDG A LEVEL 2 CORRIDOR	PANASONIC FV04VE1	40	0.1	23	66%	40	0.1	23	66%	120/1	-	-	30	1, 2, 3, 4
ERV-2-2	BLDG A LEVEL 2 CORRIDOR	PANASONIC FV04VE1	40	0.1	23	66%	40	0.1	23	66%	120/1	-	-	30	1, 2, 3, 4
ERV-3-1	BLDG A LEVEL 3 CORRIDOR	PANASONIC FV04VE1	40	0.1	23	66%	40	0.1	23	66%	120/1	-	-	30	1, 2, 3, 4
ERV-3-2	BLDG A LEVEL 3 CORRIDOR	PANASONIC FV04VE1	40	0.1	23	66%	40	0.1	23	66%	120/1	-	-	30	1, 2, 3, 4
ERV-4-1	BLDG A LEVEL 4 CORRIDOR	PANASONIC FV04VE1	40	0.1	23	66%	40	0.1	23	66%	120/1	-	-	30	1, 2, 3, 4
ERV-4-2	BLDG A LEVEL 4 CORRIDOR	PANASONIC FV04VE1	40	0.1	23	66%	40	0.1	23	66%	120/1	-	-	30	1, 2, 3, 4

GENERAL NOTES:
 1. COORDINATE WITH ELECTRICAL FOR POWER AND DISCONNECT AS REQUIRED.
 2. PROVIDE NEMA PREMIUM EFFICIENCY INVERTER-DUTY MOTOR WITH SHAFT GROUNDING DEVICE OR INSULATED BEARINGS.
 3. PROVIDE UNIT WITH SPRING ISOLATOR HANGERS.
 4. PROVIDE CONTROL INTERFACE TO BUILDING AUTOMATION SYSTEM.



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PACKAGED TERMINAL HEAT PUMP SCHEDULE

TAG	MANUFACTURER	MODEL NUMBER	LOCATION	AIR FLOW (CFM)	MIN OSA (CFM)	REFRIG	EER	COP	COOLING				HEATING		ELECTRICAL		EMERG POWER (Y/N)	OPER. WT. (LBS)	BLDG A QTY	BLDG B QTY	BLDG C QTY	BLDG D QTY	NOTES	
									TOTAL (MBH)	SENS (MBH)	EAT DB/WB(°F)	LAT (MBH)	CAP (MBH)	EAT (°F)	V/PH	MCA (A)								HEAT (KW)
PTHP-A	FRIEDRICH	FRESHAIRE PVN09	RESIDENTIAL CORRIDORS	250	35	R410	12	3.51	7.5	6	83	60	24	40	208/1	4.5	1.3	N	120	SEE DWGS	SEE DWGS	SEE DWGS	SEE DWGS	1,2,3,4,6,7,8,9

NOTES:
 1. COORDINATE WITH ELECTRICAL FOR POWER AND DISCONNECT AS REQUIRED.
 2. UNIT CAPACITY RATED AT ARI STANDARD CONDITIONS.
 3. PROVIDE PROGRAMMABLE THERMOSTAT WITH TEMPERATURE SETPOINTS FOR AT LEAST FOUR SCHEDULING PERIODS WITHIN 24 HOURS.
 4. PROVIDE METAL INSULATED WALL SLEEVE.
 5. PROVIDE ALUMINUM ARCHITECTURAL OUTDOOR GRILLE.
 6. PROVIDE CONDENSATE DRAIN KIT.
 7. CONDENSATE TO SPILL TO LANDSCAPED AREA.
 8. PROVIDE WITH MERV 8 FILTER
 9. UNIT TO PROVIDE CONTINUOUS MINIMUM VENTILATION VIA SECONDARY INTERNAL FAN WITH MINIMAL POWER DRAW WHILE NOT IN HEATING AND COOLING MODE.

PROJECT:
EHA BAKER HEIGHTS



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EVERETT, WA 98201

OWNER:
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MARK DATE DESCRIPTION
REVISIONS

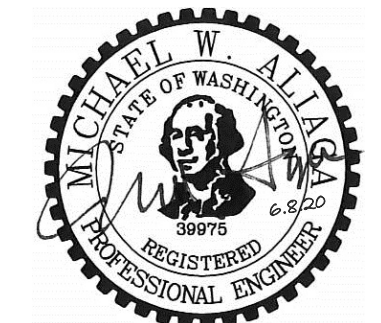
C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

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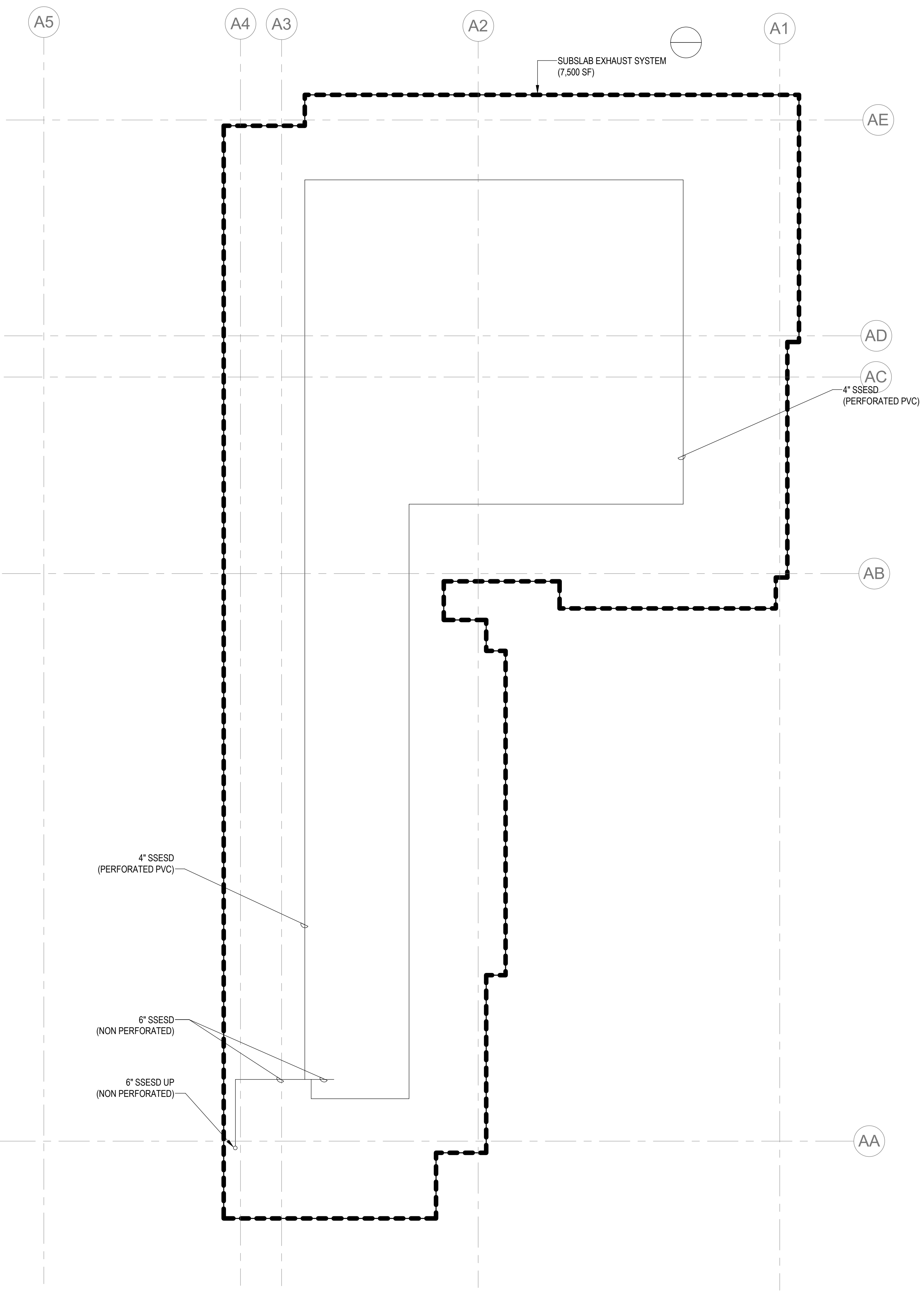
PROJECT NO.: **2017033**
 PRINCIPAL IN CHARGE: **Jon Hall**
 PROJECT MANAGER: **Scott Schreffler**
 OWNER APPROVAL: _____

SHEET TITLE
MECHANICAL SCHEDULES

SHEET NO.
M-004



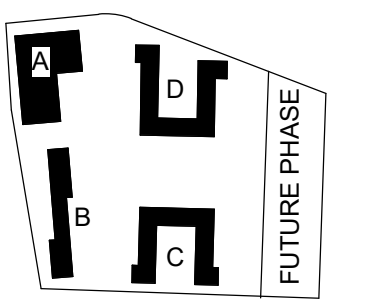
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PROJECT:
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EVERETT HOUSING AUTHORITY

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 PROJECT MANAGER: Scott Schreffler
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SHEET TITLE
BUILDING A - UNDERGROUND - HVAC

SHEET NO.
MA-110



1 BUILDING A - UNDERGROUND PLAN - MECHANICAL

SCALE: 1/8" = 1'-0"

PLOT DATE/TIME: 6/10/2020 12:06:41 PM

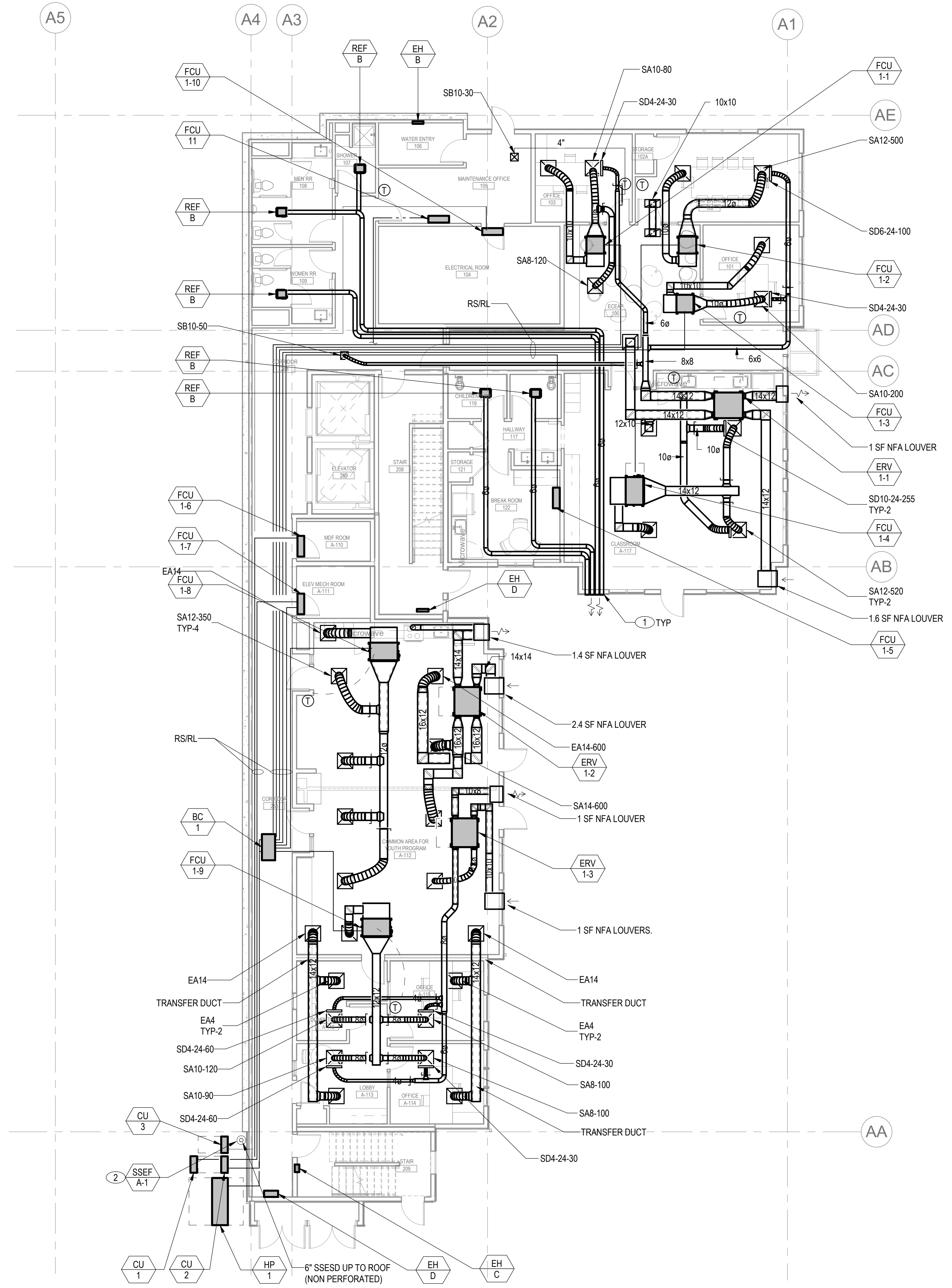
BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

SHEET NOTES

- A. PROVIDE 3/4" CONDENSATE FOR ALL FAN COIL UNITS. ROUTE TO NEAREST DRAIN TAILPIECE.
- B. PROVIDE 5' OF DUCT LINGING DOWNSTREAM AND UPSTREAM OF ALL DUCTED FAN COILS AND ERV UNITS.

KEYED NOTES

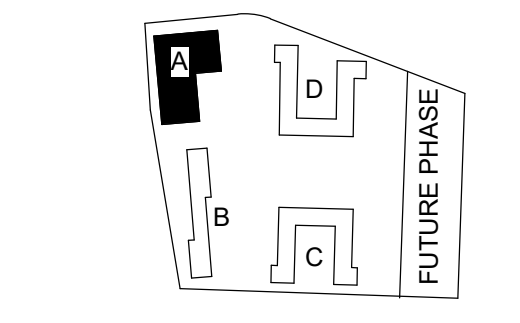
- 1. EXHAUST TO TERMINATE 3' FROM ALL BLDG OPENINGS AND 10' FROM ALL MECHANICAL INTAKES. PROVIDE VENT CAPS AT PERIMETER WALL TERMINATIONS. TYPICAL FOR ALL BLDG EXHAUST.
- 2. MOUNT FAN 8" ABOVE GRADE.



1 BUILDING A - LEVEL 1 FLOOR PLAN - HVAC
SCALE: 1/8" = 1'-0"



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PROJECT:
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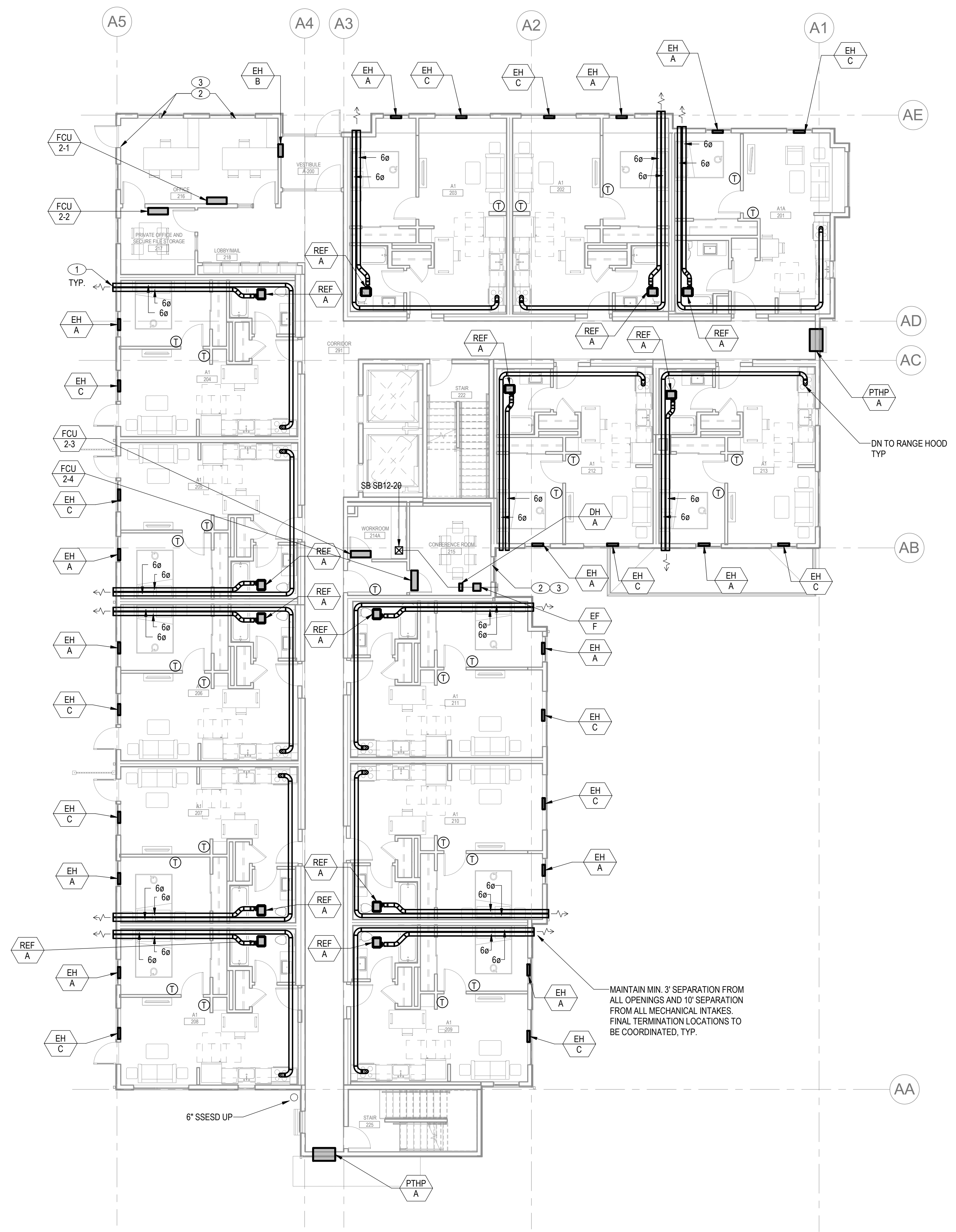
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PRINCIPAL IN CHARGE: Jon Hall
PROJECT MANAGER: Scott Schreffler
OWNER APPROVAL:

SHEET TITLE
BUILDING A - LEVEL 1 - HVAC

SHEET NO.
MA-111

BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

D
C
B
A



SHEET NOTES

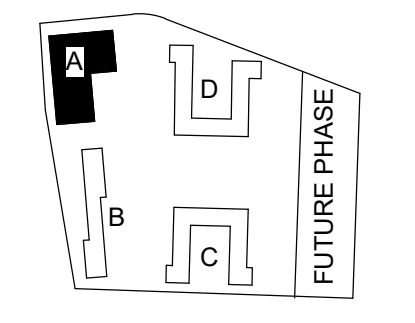
- A. PROVIDE 3/4" CONDENSATE FOR ALL FAN COIL UNITS. ROUTE TO NEAREST DRAIN TAILPIECE.
- B. LIVING UNITS TO BE VENTILATED BY CONTINUOUS OPERATING FAN AND TRICKLE VENTS.
- C. EXHAUST TERMINATION SHALL BE ROUTED TO A HORIZONTAL VENT WITH BACKDRAFT DAMPER AND 3FT FROM OPERABLE OPENINGS (COORD WITH ARCH).
- D. LIVING UNITS TO BE HEATED WITH WALL HEATER AND PROGRAMMABLE THERMOSTAT IN THE LIVING ROOM.
- E. PROVIDE 5' OF DUCT LINGING DOWNSTREAM AND UPSTREAM OF ALL DUCTED FAN COILS AND ERV UNITS.

KEYED NOTES

- 1. EXHAUST TO TERMINATE 3' FROM ALL BLDG OPENINGS AND 10' FROM ALL MECHANICAL INTAKES. PROVIDE EXHAUST TERMINATIONS AT PERIMETER WALL VENT CAPS.
- 2. NATURAL VENTILATION FOR OFFICES & CONFERENCE ROOM VIA OPERABLE WINDOWS. WINDOW OPENING TO BE 5.5 SF MIN TO MEET MINIMUM VENTILATION REQUIREMENTS.
- 3. 5.5 SF MINIMUM OPENING FOR MIN VENTILATION REQUIREMENTS.
- 4. 4 SF MINIMUM OPENING PER OPERABLE WINDOW FOR MIN VENTILATION REQUIREMENTS.



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Job No.: 20U500169

PROJECT:
EHA BAKER HEIGHTS



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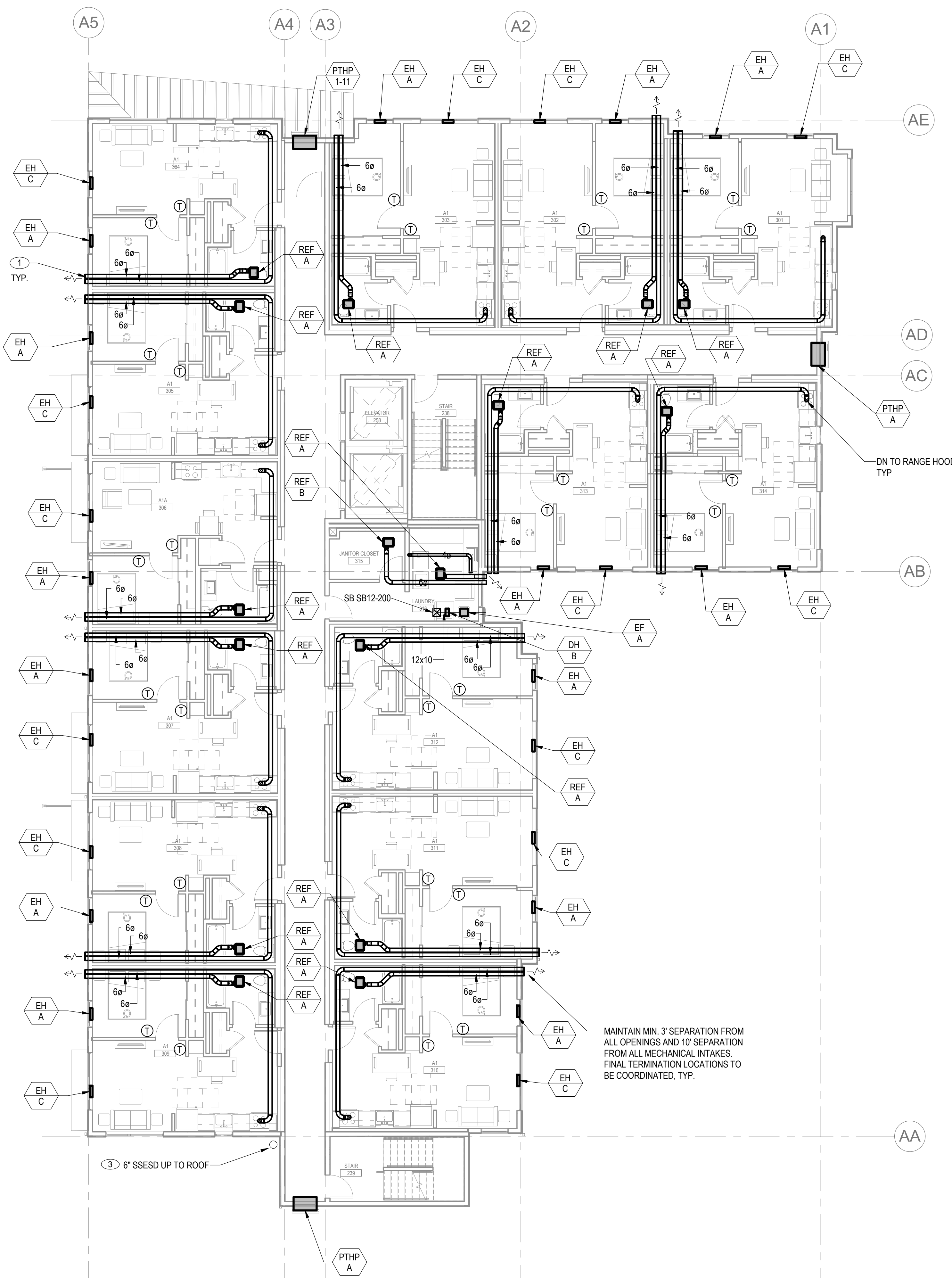
SHEET TITLE
BUILDING A - LEVEL 2 - HVAC

SHEET NO.
MA-112

BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

1 BUILDING A - LEVEL 2 FLOOR PLAN - HVAC
SCALE: NONE





SHEET NOTES

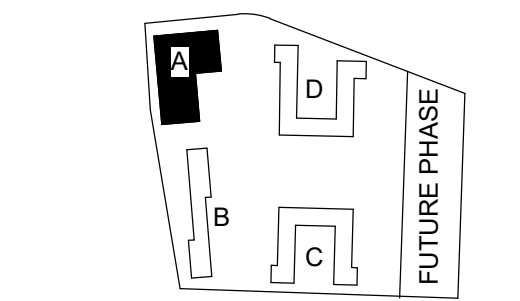
- A. LIVING UNITS TO BE VENTILATED BY CONTINUOUS OPERATING FAN AND TRICKLE VENTS.
- B. EXHAUST TERMINATION SHALL BE ROUTED TO A HORIZONTAL VENT WITH BACKDRAFT DAMPER AND 3FT FROM OPERABLE OPENINGS (COORD WITH ARCH).
- C. LIVING UNITS TO BE HEATED WITH WALL HEATER AND PROGRAMMABLE THERMOSTAT IN THE LIVING ROOM.

KEYED NOTES

- 1. EXHAUST TO TERMINATE 3' FROM ALL BLDG OPENINGS AND 10' FROM ALL MECHANICAL INTAKES. PROVIDE EXHAUST TERMINATIONS AT PERIMETER WALL VENT CAPS.
- 2. JANITOR CLOSET EXHAUST FAN TO RUN CONTINUOUS. PASSIVE VENTILATION FOR LAUNDRY ROOM VIA TRICKLE VENTS AT WINDOW AND CONTINUOUS EXHAUST FAN IN JANITORS CLOSET.
- 3. RADON VENT TO TERMINATE 12" ABOVE ROOF.



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T: 206.262.1010
Project Manager: DeNayne Glenn
Job No.: 20US00169

PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14TH STREET
BUILDING B: 2745 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201

MARK	DATE	DESCRIPTION
REVISIONS		

C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: Jon Hall
PROJECT MANAGER: Scott Schreffler
OWNER APPROVAL:

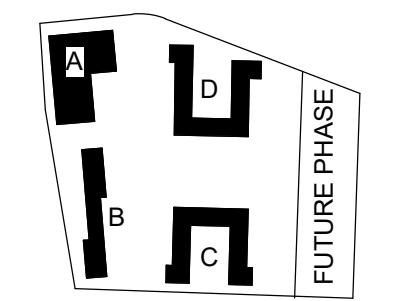
SHEET TITLE
BUILDING A - TYPICAL LEVELS 3 & 4 - HVAC

SHEET NO.
MA-113

BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL



1 BUILDING A - LEVEL 3 & 4 FLOOR PLAN - HVAC
SCALE: 1/8" = 1'-0"



PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:

EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

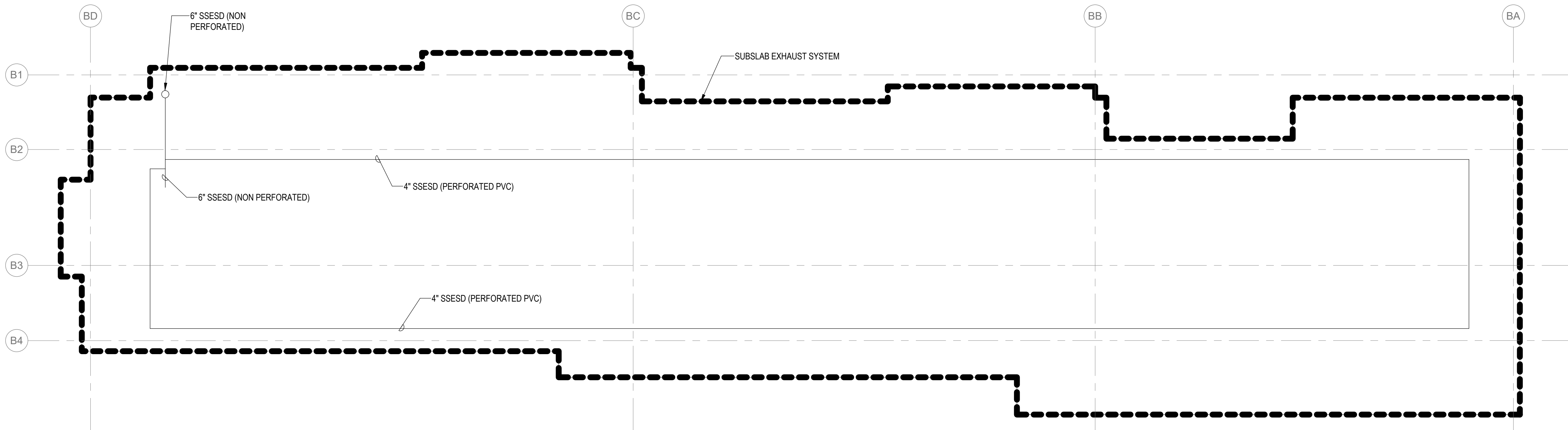
MARK	DATE	DESCRIPTION
REVISIONS		

C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

MARK	DATE	DESCRIPTION
ISSUE INFORMATION		
PROJECT NO.:	2018000.00	
PRINCIPAL IN CHARGE:	Scott Vollmoeller	
PROJECT MANAGER:	DeNayne Glenn	
OWNER APPROVAL:		

SHEET TITLE
BUILDING B - UNDERGROUND - HVAC

SHEET NO.
MB-110



1 BUILDING B - UNDERGROUND PLAN - HVAC
SCALE: 1/8" = 1'-0"



BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

SHEET NOTES

- A. LIVING UNITS TO BE VENTILATED BY CONTINUOUS OPERATING FAN AND TRICKLE VENTS.
- B. EXHAUST TERMINATION SHALL BE ROUTED TO A HORIZONTAL VENT WITH BACKDRAFT DAMPER AND 3FT FROM OPERABLE OPENINGS (COORD WITH ARCH).
- C. LIVING UNITS TO BE HEATED WITH WALL HEATER AND PROGRAMMABLE THERMOSTAT IN THE LIVING ROOM.

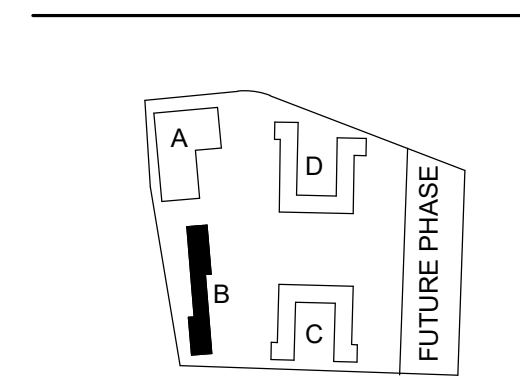
KEYED NOTES

- 1. EXHAUST TO TERMINATE 3' FROM ALL BLDG OPENINGS AND 10' FROM ALL MECHANICAL INTAKES. PROVIDE EXHAUST TERMINATIONS AT PERIMETER WALL VENT CAPS.
- 2. RADON VENT TO TERMINATE 12" ABOVE ROOF.



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Project Manager: DeNayne Glenn
Job No.: 20U900169

PROJECT:
EHA BAKER HEIGHTS



PROJECT ADDRESS:
BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

MARK	DATE	DESCRIPTION
REVISIONS		

C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

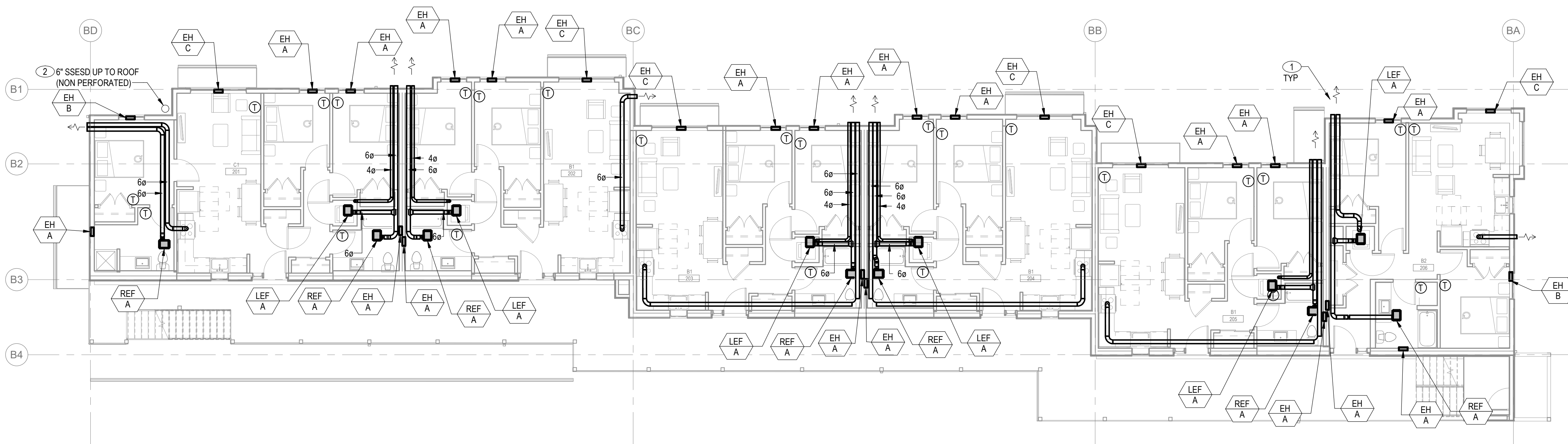
MARK DATE DESCRIPTION
ISSUE INFORMATION

PROJECT NO.: **2018000.00**
 PRINCIPAL IN CHARGE: **Scott Vollmoeller**
 PROJECT MANAGER: **DeNayne Glenn**
 OWNER APPROVAL:

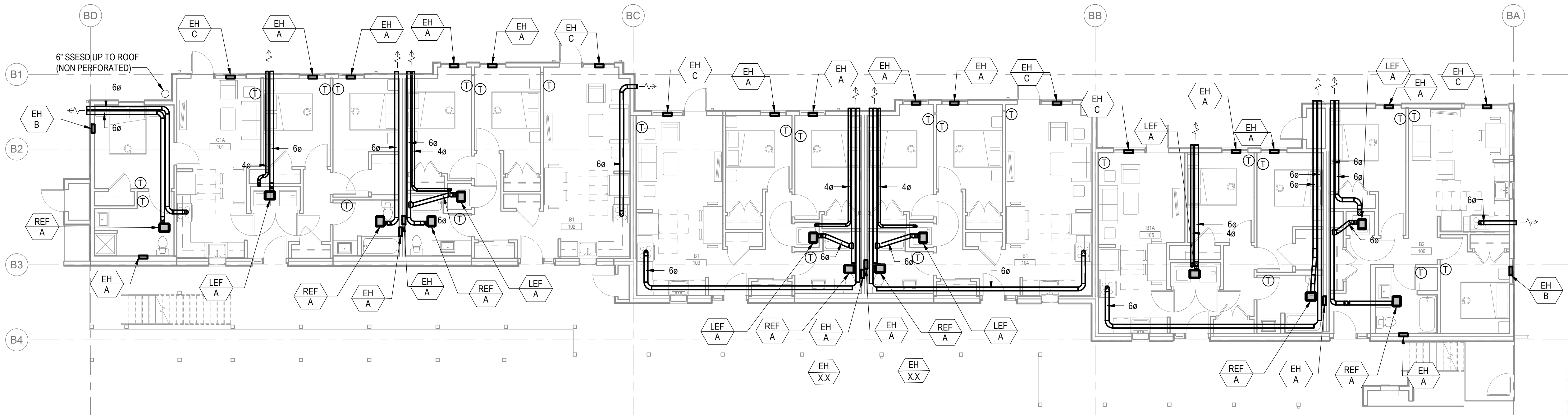
SHEET TITLE
BUILDING B - LEVEL 1 AND 2 - HVAC

SHEET NO.
MB-111

COPYRIGHT GGLO. ALL RIGHTS RESERVED. ORIGINAL SHEET SIZE IS 36"X48"



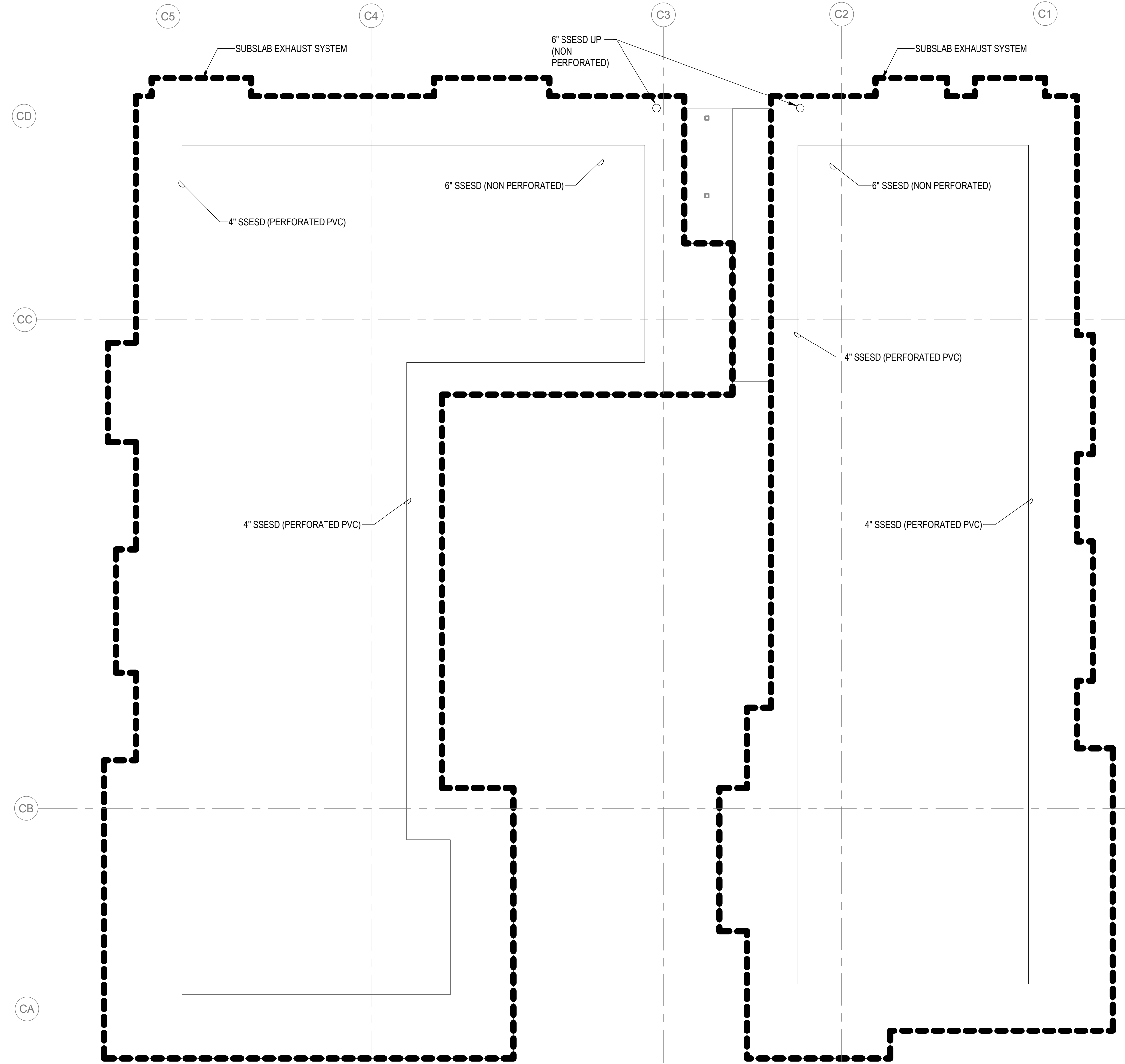
2 BUILDING B - LEVEL 2 & 3 FLOOR PLAN - HVAC
SCALE: 1/8" = 1'-0"



1 BUILDING B - LEVEL 1 FLOOR PLAN - HVAC
SCALE: 1/8" = 1'-0"

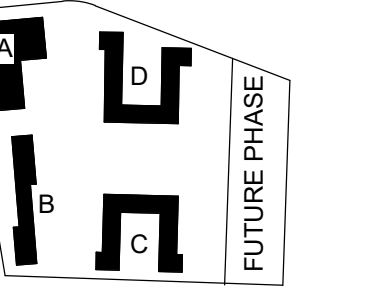


BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL



1 BUILDING C - UNDERGROUND PLAN - HVAC
SCALE: 1/8" = 1'-0"

PLOT DATE/TIME: 06/08/2020 12:14:55 PM



PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

**BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201**

OWNER:

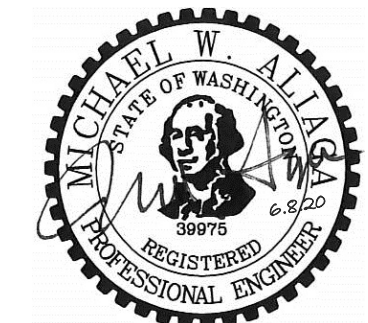
**EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201**

MARK	DATE	DESCRIPTION
REVISIONS		

C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

MARK	DATE	DESCRIPTION
ISSUE INFORMATION		

PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: **Scott Vollmoeller**
PROJECT MANAGER: **DeNayne Glenn**
OWNER APPROVAL: _____



BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

SHEET TITLE
BUILDING C - UNDERGROUND - HVAC

SHEET NO.
MC-110

SHEET NOTES

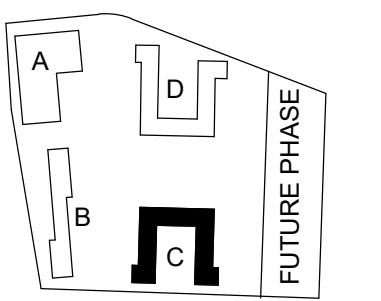
- A. LIVING UNITS TO BE VENTILATED BY CONTINUOUS OPERATING FAN AND TRICKLE VENTS.
- B. EXHAUST TERMINATION SHALL BE ROUTED TO A HORIZONTAL VENT WITH BACKDRAFT DAMPER AND 3FT FROM OPERABLE OPENINGS (COORD WITH ARCH).
- C. LIVING UNITS TO BE HEATED WITH WALL HEATER AND PROGRAMMABLE THERMOSTAT IN THE LIVING ROOM.

KEYED NOTES

- 1. EXHAUST TO TERMINATE 3' FROM ALL BLDG OPENINGS AND 10' FROM ALL MECHANICAL INTAKES. PROVIDE EXHAUST TERMINATIONS AT PERIMETER WALL VENT CAPS.



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Job No.: 20US900169

PROJECT:
EHA BAKER HEIGHTS



PROJECT ADDRESS:
BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

MARK	DATE	DESCRIPTION
REVISIONS		

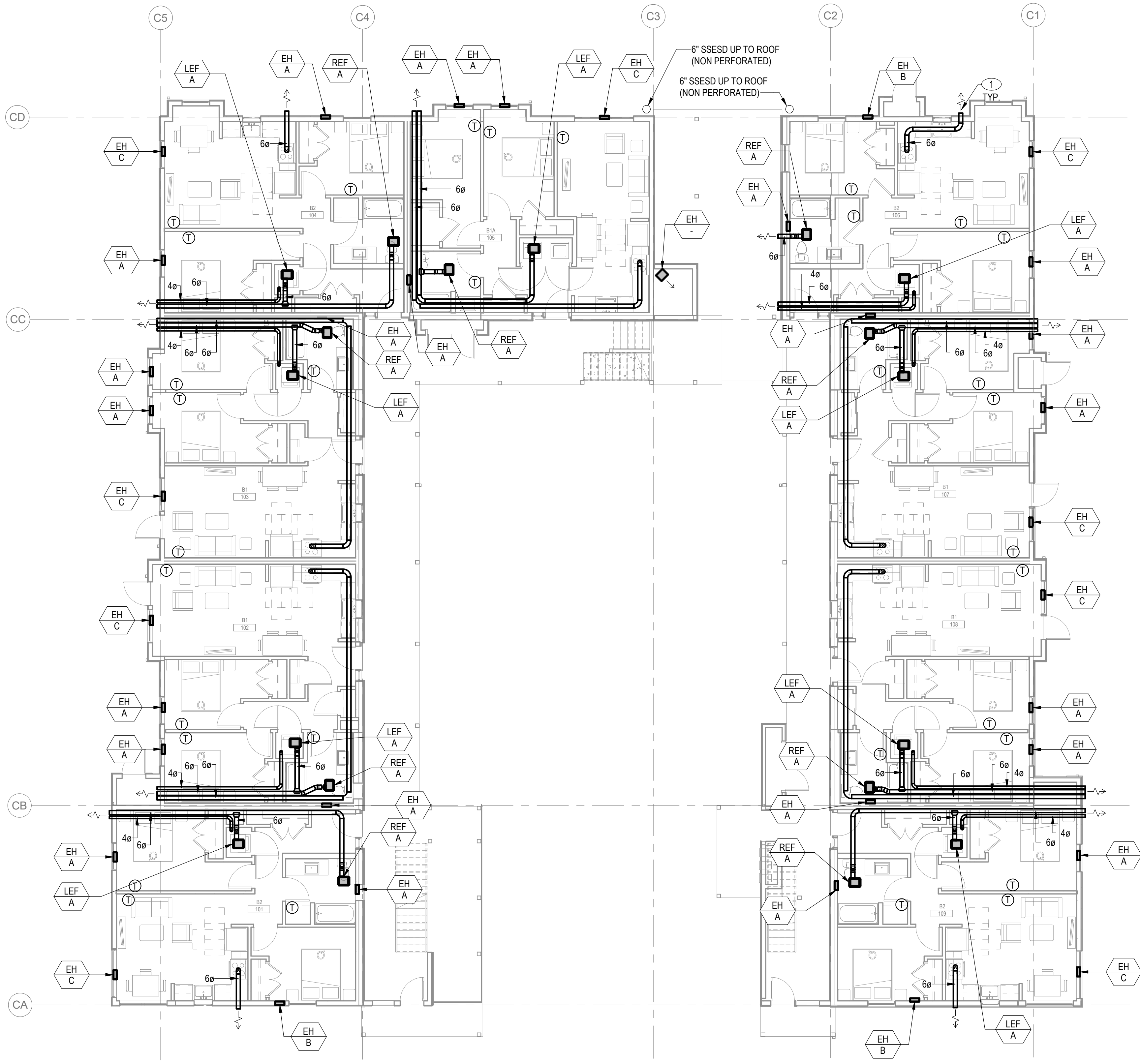
C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

MARK	DATE	DESCRIPTION
ISSUE INFORMATION		

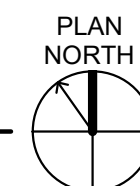
PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: **Scott Vollmoeller**
PROJECT MANAGER: **DeNayne Glenn**
OWNER APPROVAL: _____

SHEET TITLE
BUILDING C - LEVEL 1 - HVAC

SHEET NO.
MC-111



1 BUILDING C - LEVEL 1 FLOOR PLAN - HVAC
SCALE: 1/8" = 1'-0"



BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

SHEET NOTES

- A. LIVING UNITS TO BE VENTILATED BY CONTINUOUS OPERATING FAN AND TRICKLE VENTS.
- B. EXHAUST TERMINATION SHALL BE ROUTED TO A HORIZONTAL VENT WITH BACKDRAFT DAMPER AND 3FT FROM OPERABLE OPENINGS (COORD WITH ARCH).
- C. LIVING UNITS TO BE HEATED WITH WALL HEATER AND PROGRAMMABLE THERMOSTAT IN THE LIVING ROOM.

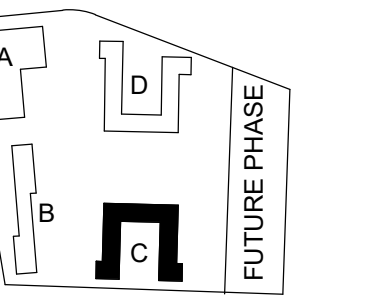
KEYED NOTES

- 1. EXHAUST TO TERMINATE 3' FROM ALL BLDG OPENINGS AND 10' FROM ALL MECHANICAL INTAKES. PROVIDE EXHAUST TERMINATIONS AT PERIMETER WALL VENT CAPS.
- 2. RADON VENT TO TERMINATE 12" ABOVE ROOF.



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Project Manager: DeNayne Glenn
Job No.: 20US00169

PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

**BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201**

OWNER:

**EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201**

MARK DATE DESCRIPTION

REVISIONS

C 06/08/2020 BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

B 04/10/2020 DESIGN DEVELOPMENT

A 01/07/2020 SCHEMATIC DESIGN

MARK DATE DESCRIPTION

ISSUE INFORMATION

PROJECT NO.: **2017033**

PRINCIPAL IN CHARGE: **Scott Vollmoeller**

PROJECT MANAGER: **DeNayne Glenn**

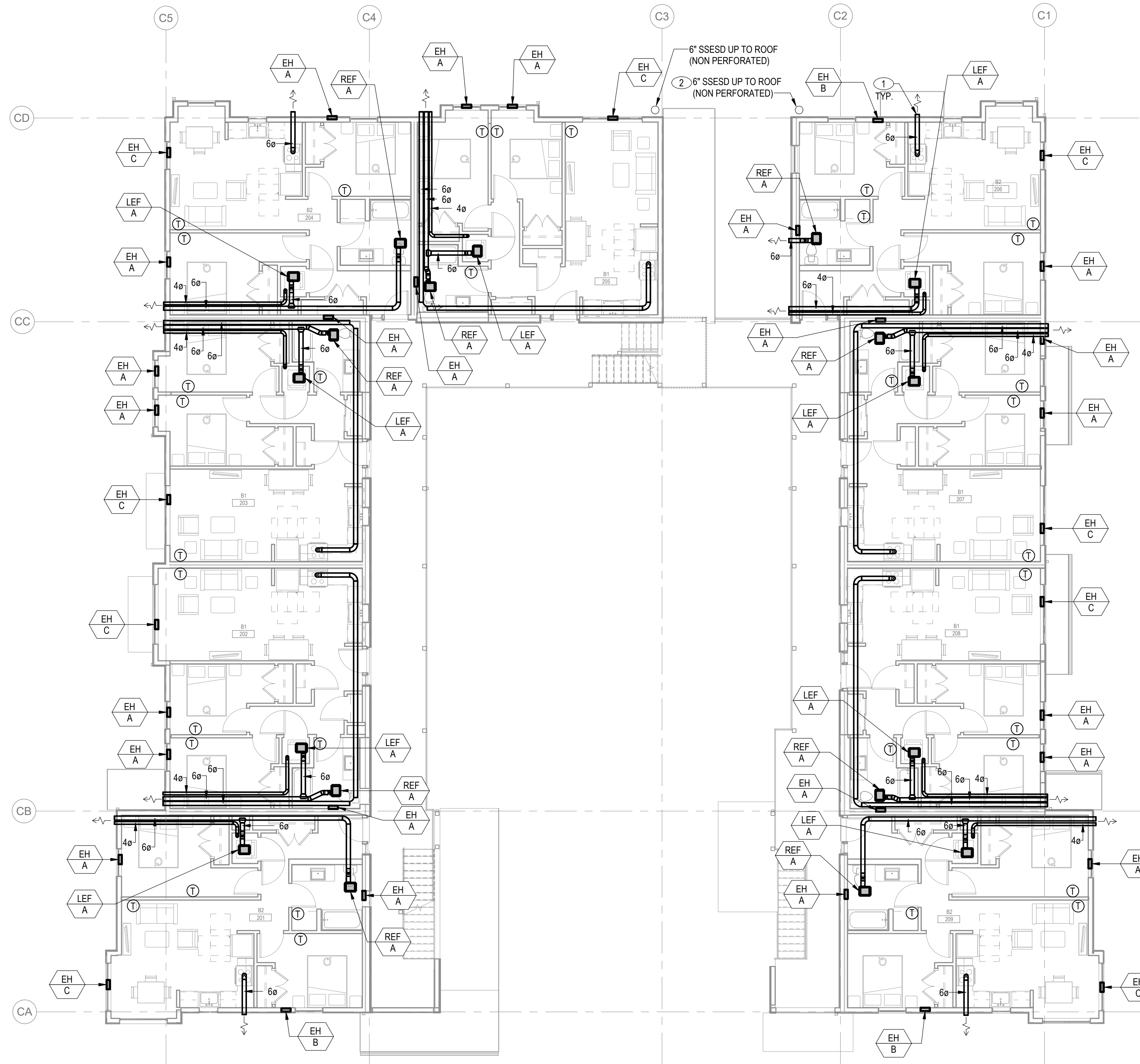
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SHEET TITLE

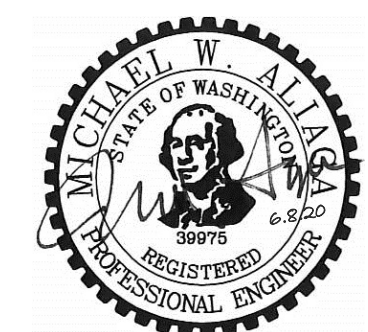
BUILDING C - LEVEL 2 - HVAC

SHEET NO.

MC-112



1 BUILDING C - LEVEL 2 FLOOR PLAN - HVAC
SCALE: 1/8" = 1'-0"



BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

SHEET NOTES

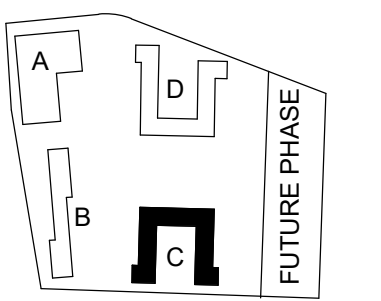
- A. LIVING UNITS TO BE VENTILATED BY CONTINUOUS OPERATING FAN AND TRICKLE VENTS.
- B. EXHAUST TERMINATION SHALL BE ROUTED TO A HORIZONTAL VENT WITH BACKDRAFT DAMPER AND 3FT FROM OPERABLE OPENINGS (COORD WITH ARCH).
- C. LIVING UNITS TO BE HEATED WITH WALL HEATER AND PROGRAMMABLE THERMOSTAT IN THE LIVING ROOM.

KEYED NOTES

- 1. EXHAUST TO TERMINATE 3' FROM ALL BLDG OPENINGS AND 10' FROM ALL MECHANICAL INTAKES. PROVIDE EXHAUST TERMINATIONS AT PERIMETER WALL VENT CAPS.
- 2. RADON VENT TO TERMINATE 12' ABOVE ROOF.



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Project Manager: DeNayne Glenn
Job No.: 20US900169

PROJECT:
EHA BAKER HEIGHTS



PROJECT ADDRESS:
BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

MARK	DATE	DESCRIPTION
REVISIONS		

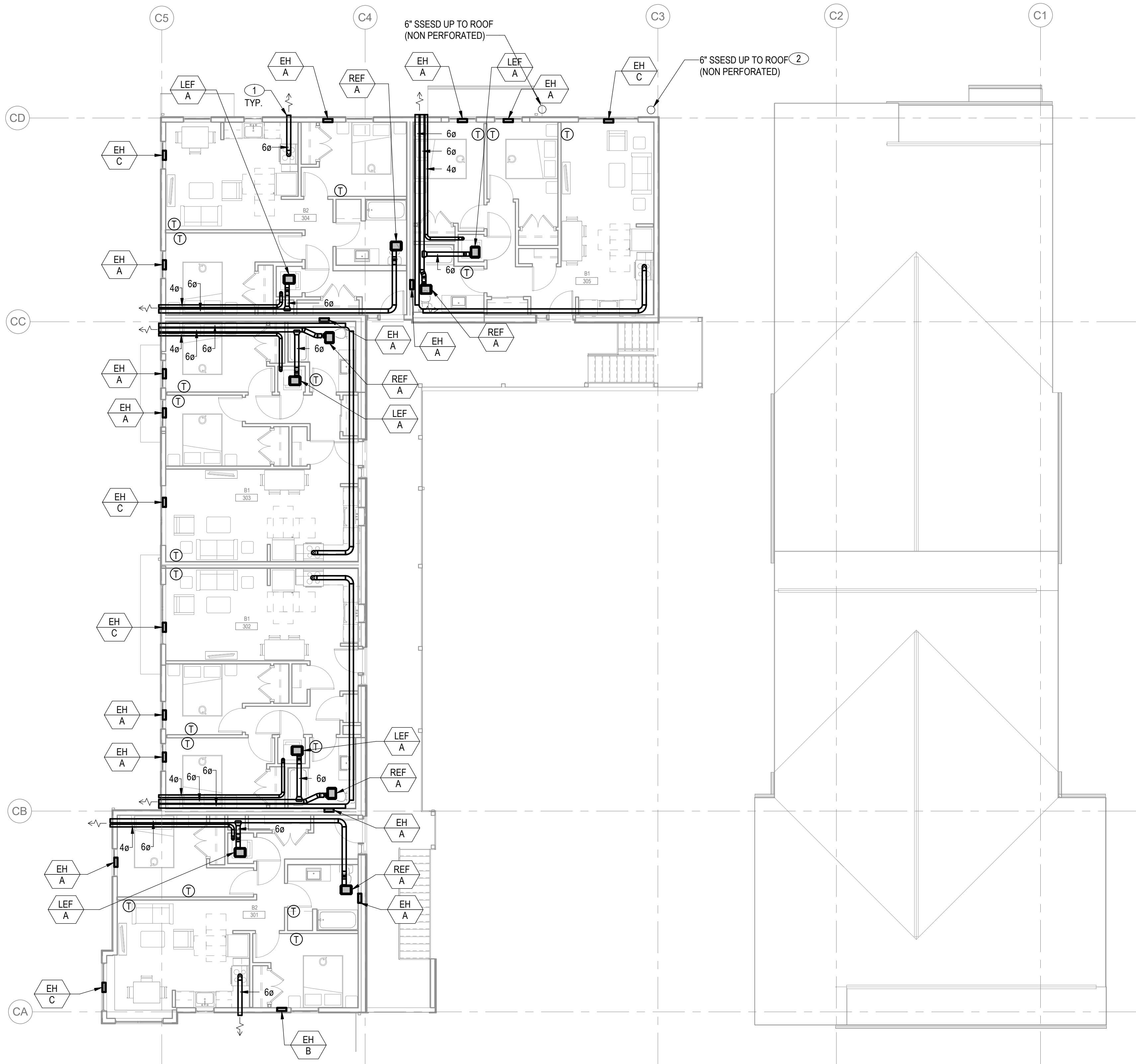
C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

MARK DATE DESCRIPTION
ISSUE INFORMATION

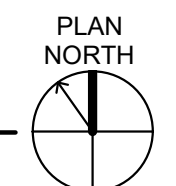
PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: **Scott Vollmoeller**
PROJECT MANAGER: **DeNayne Glenn**
OWNER APPROVAL: _____

SHEET TITLE
BUILDING C - LEVEL 3 - HVAC

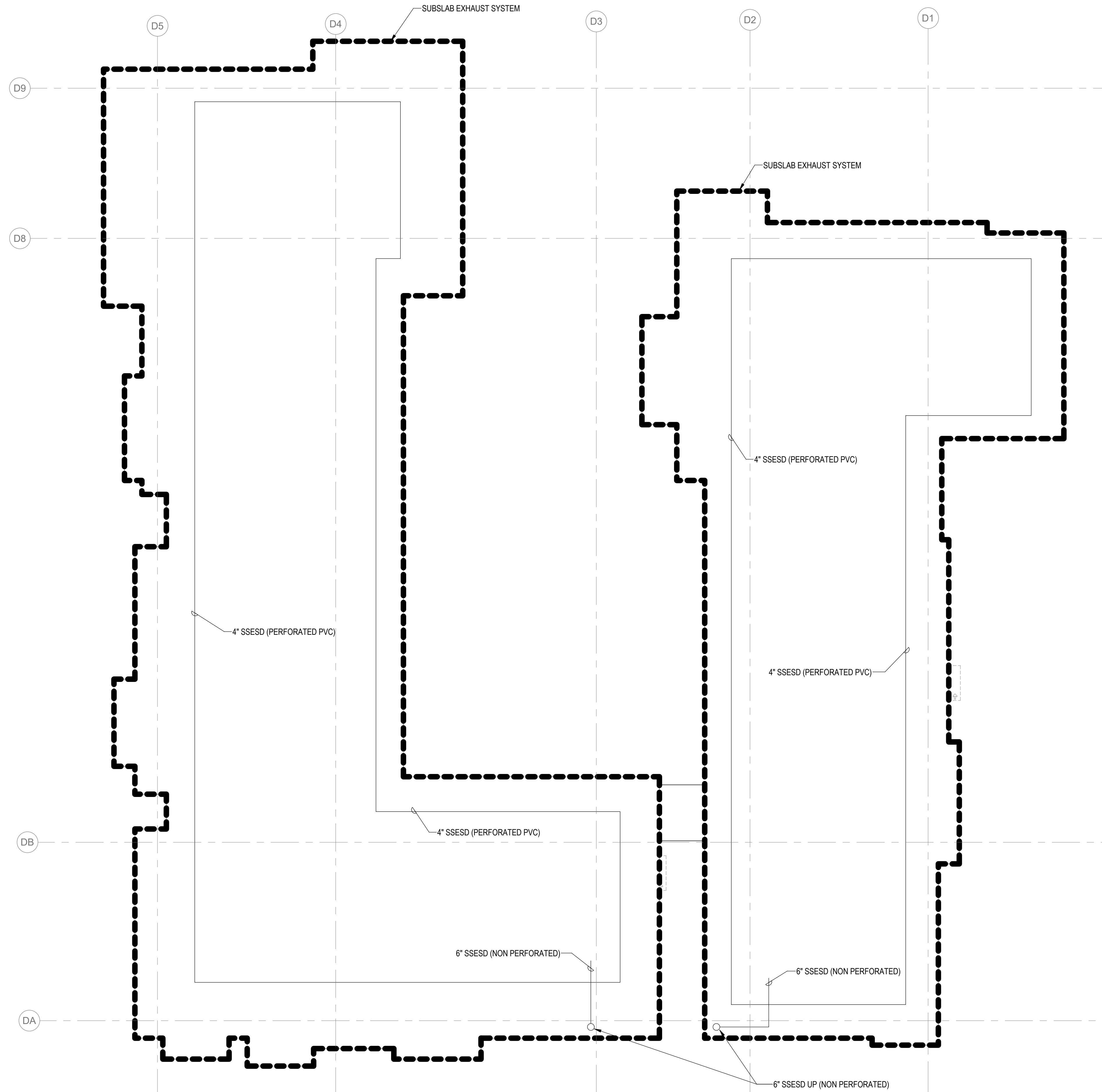
SHEET NO.
MC-113



1 BUILDING C - LEVEL 3 FLOOR PLAN - HVAC
SCALE: 1/8" = 1'-0"

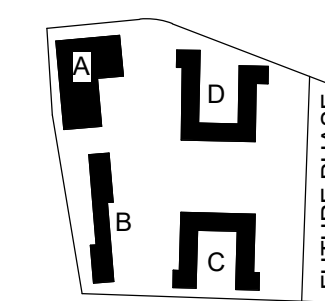


BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL



1 BUILDING D - UNDERGROUND PLAN - HVAC
SCALE: 1/8\"/>

PLOT DATE: 06/10/2020 11:16:27 PM



PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:

EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

MARK	DATE	DESCRIPTION
REVISIONS		

C	DATE	DESCRIPTION

MARK	DATE	DESCRIPTION
ISSUE INFORMATION		
PROJECT NO.:	2017033	
PRINCIPAL IN CHARGE:	Scott Vollmoeller	
PROJECT MANAGER:	DeNayne Glenn	
OWNER APPROVAL:		

SHEET TITLE
BUILDING D - UNDERGROUND - HVAC

SHEET NO.
MD-110



BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

SHEET NOTES

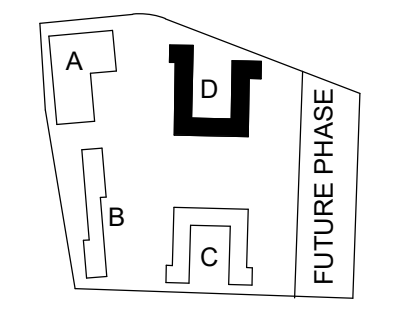
- A. LIVING UNITS TO BE VENTILATED BY CONTINUOUS OPERATING FAN AND TRICKLE VENTS.
- B. EXHAUST TERMINATION SHALL BE ROUTED TO A HORIZONTAL VENT WITH BACKDRAFT DAMPER AND 3FT FROM OPERABLE OPENINGS (COORD WITH ARCH).
- C. LIVING UNITS TO BE HEATED WITH WALL HEATER AND PROGRAMMABLE THERMOSTAT IN THE LIVING ROOM.

KEYED NOTES

- 1. EXHAUST TO TERMINATE 3' FROM ALL BLDG OPENINGS AND 10' FROM ALL MECHANICAL INTAKES. PROVIDE EXHAUST TERMINATIONS AT PERIMETER WALL VENT CAPS.



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Project Manager: DeNayne Glenn
Job No.: 20US00169

PROJECT:
EHA BAKER HEIGHTS



PROJECT ADDRESS:
BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

MARK	DATE	DESCRIPTION
REVISIONS		

C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: **Scott Vollmoeller**
PROJECT MANAGER: **DeNayne Glenn**
OWNER APPROVAL:

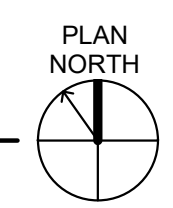
SHEET TITLE
BUILDING D - LEVEL 1 - HVAC

SHEET NO.
MD-111

BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL



1 BUILDING D - LEVEL 1 FLOOR PLAN - HVAC
SCALE: 1/8" = 1'-0"



SHEET NOTES

- A. LIVING UNITS TO BE VENTILATED BY CONTINUOUS OPERATING FAN AND TRICKLE VENTS.
- B. EXHAUST TERMINATION SHALL BE ROUTED TO A HORIZONTAL VENT WITH BACKDRAFT DAMPER AND 3FT FROM OPERABLE OPENINGS (COORD WITH ARCH).
- C. LIVING UNITS TO BE HEATED WITH WALL HEATER AND PROGRAMMABLE THERMOSTAT IN THE LIVING ROOM.

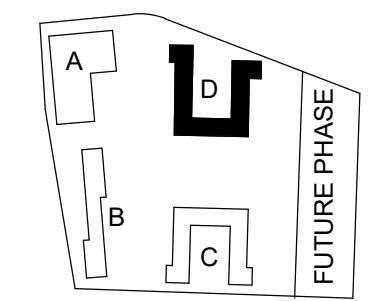
KEYED NOTES

- 1. EXHAUST TO TERMINATE 3' FROM ALL BLDG OPENINGS AND 10' FROM ALL MECHANICAL INTAKES. PROVIDE EXHAUST TERMINATIONS AT PERIMETER WALL VENT CAPS.
- 2. RADON VENT TO TERMINATE 12" ABOVE ROOF.



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Job No.: 20US00169

PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

BUILDING A: 2710 14TH STREET
BUILDING B: 2715 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:

EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

MARK	DATE	DESCRIPTION
REVISIONS		

C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN
ISSUE INFORMATION		

PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE: **Scott Vollmoeller**
PROJECT MANAGER: **DeNayne Glenn**
OWNER APPROVAL:

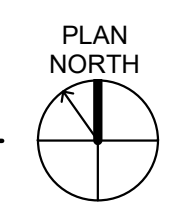
SHEET TITLE
BUILDING D - LEVEL 2 - HVAC

SHEET NO.

MD-112



1 BUILDING D - LEVEL 2 FLOOR PLAN - HVAC
SCALE: 1/8" = 1'-0"



BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL

SHEET NOTES

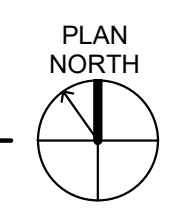
- A. LIVING UNITS TO BE VENTILATED BY CONTINUOUS OPERATING FAN AND TRICKLE VENTS.
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- C. LIVING UNITS TO BE HEATED WITH WALL HEATER AND PROGRAMMABLE THERMOSTAT IN THE LIVING ROOM.

KEYED NOTES

- 1. RADON VENT TO TERMINATE 12" ABOVE ROOF.



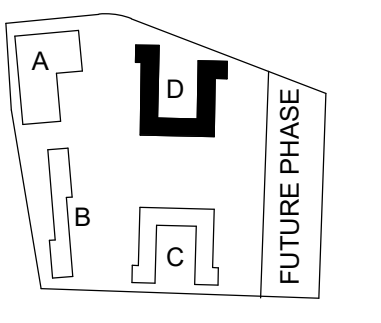
1 BUILDING D - LEVEL 3 FLOOR PLAN - HVAC
 SCALE: 1/8" = 1'-0"



BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL



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 T: 206.252.1010
 Project Manager: DeNayne Glenn
 Job No.: 20US00169

PROJECT:
EHA BAKER HEIGHTS



PROJECT ADDRESS:
BUILDING A: 2710 14TH STREET
BUILDING B: 2745 15TH STREET
BUILDING C: 2815 15TH STREET
BUILDING D: 2810 14TH STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

MARK	DATE	DESCRIPTION
REVISIONS		

C	06/08/2020	BUILDING PERMIT SUBMITTAL / 80% HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

MARK	DATE	DESCRIPTION
ISSUE INFORMATION		

PROJECT NO.: **2017033**
 PRINCIPAL IN CHARGE: **Scott Vollmoeller**
 PROJECT MANAGER: **DeNayne Glenn**
 OWNER APPROVAL:

SHEET TITLE
BUILDING D - LEVEL 3 - HVAC

SHEET NO.
MD-113