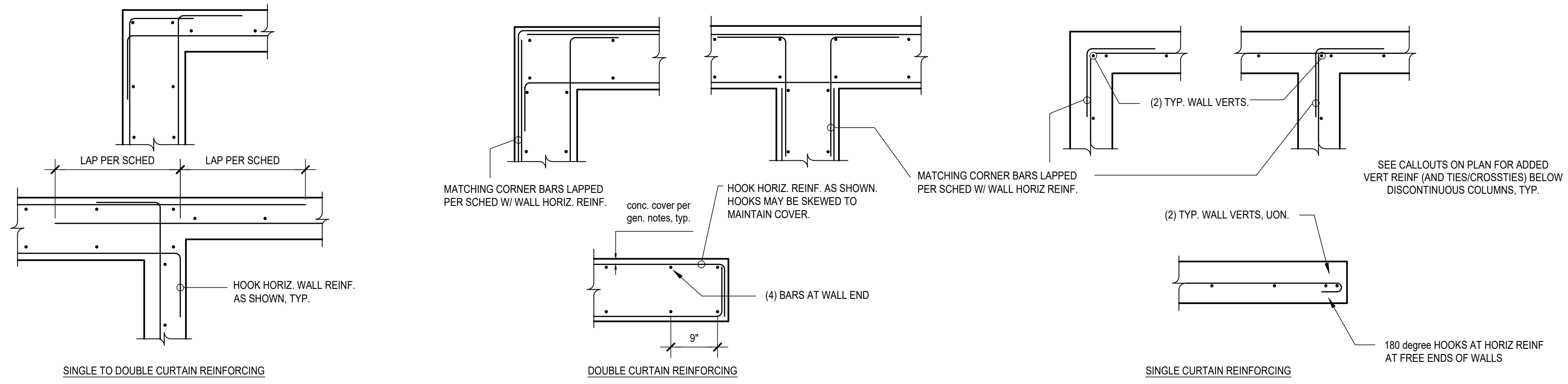
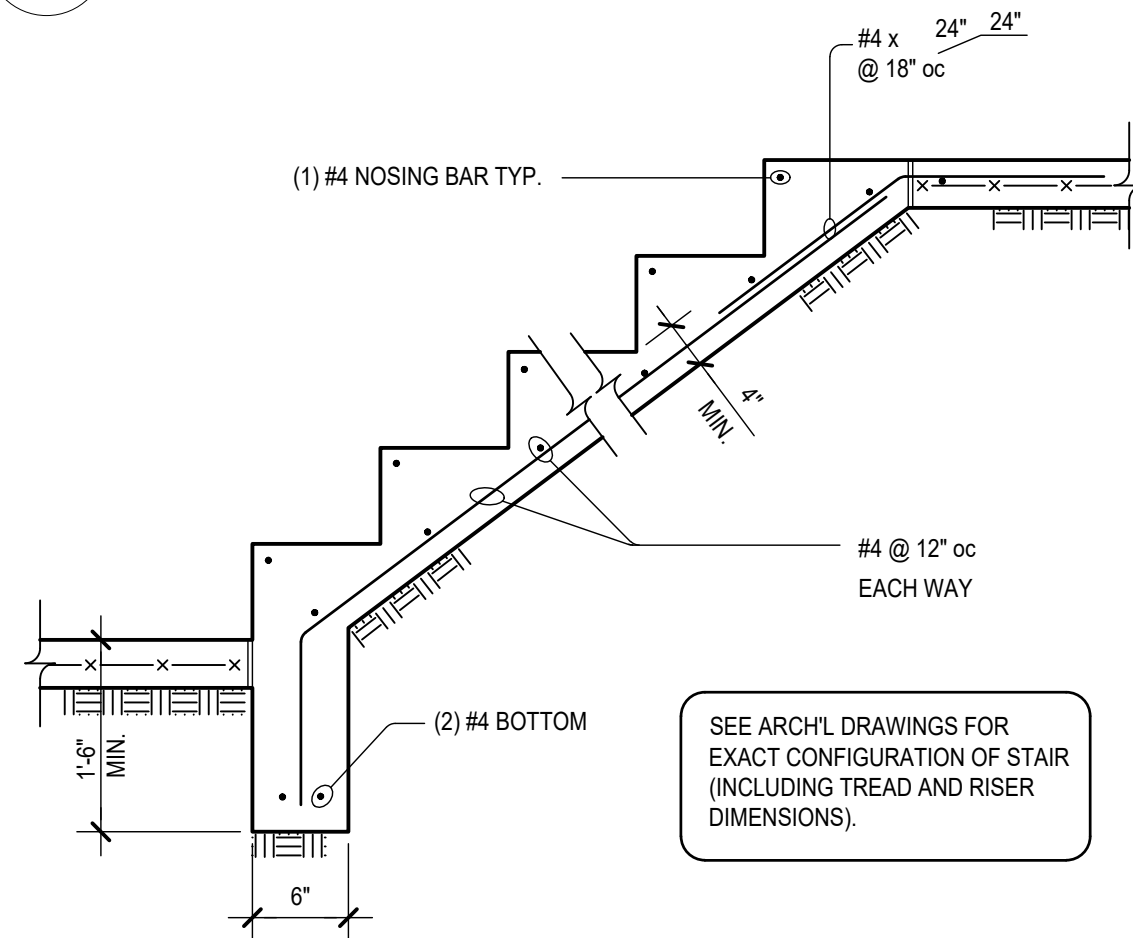


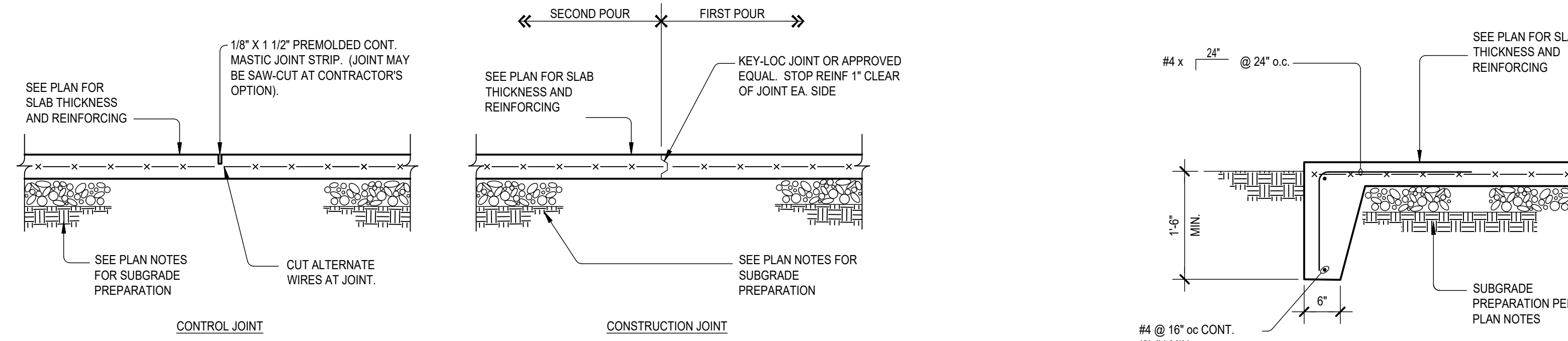
1 STEPPED FOOTING



2 TYPICAL CONCRETE WALL ENDS, CORNERS AND INTERSECTIONS

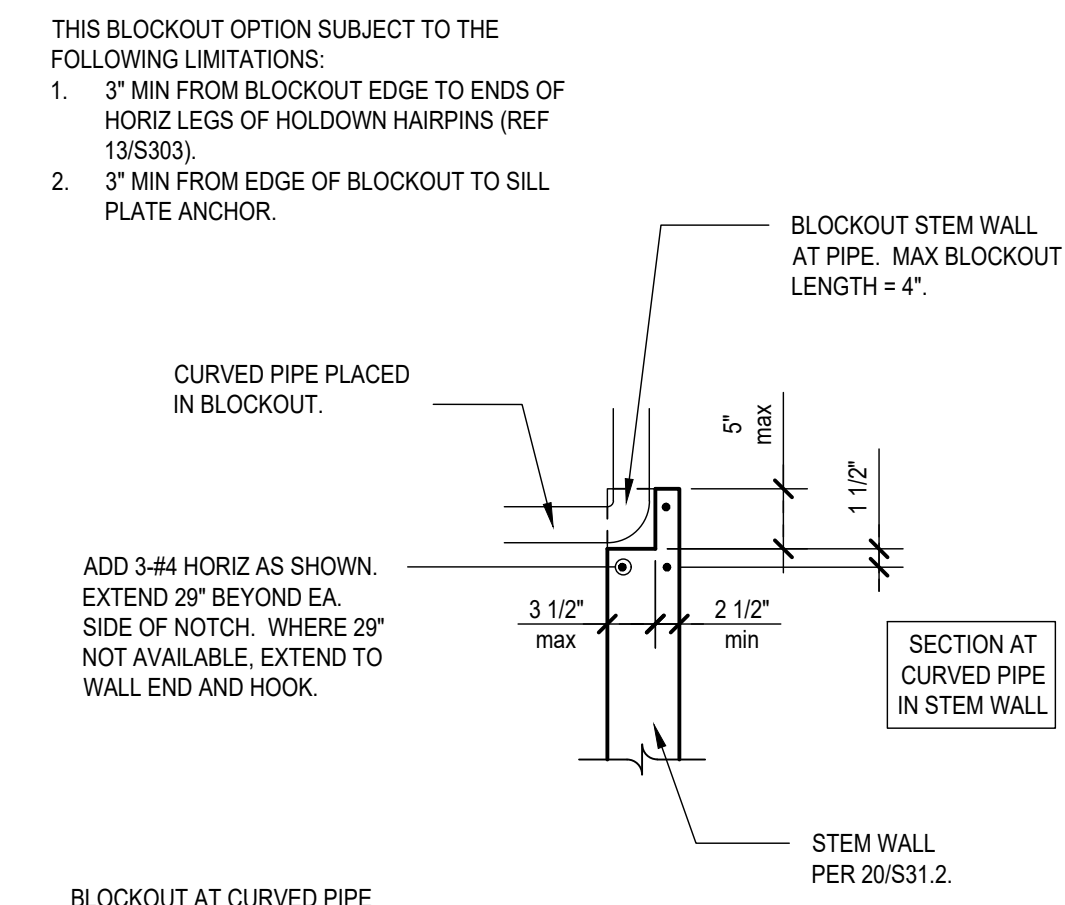


6 CONCRETE STAIR ON GRADE

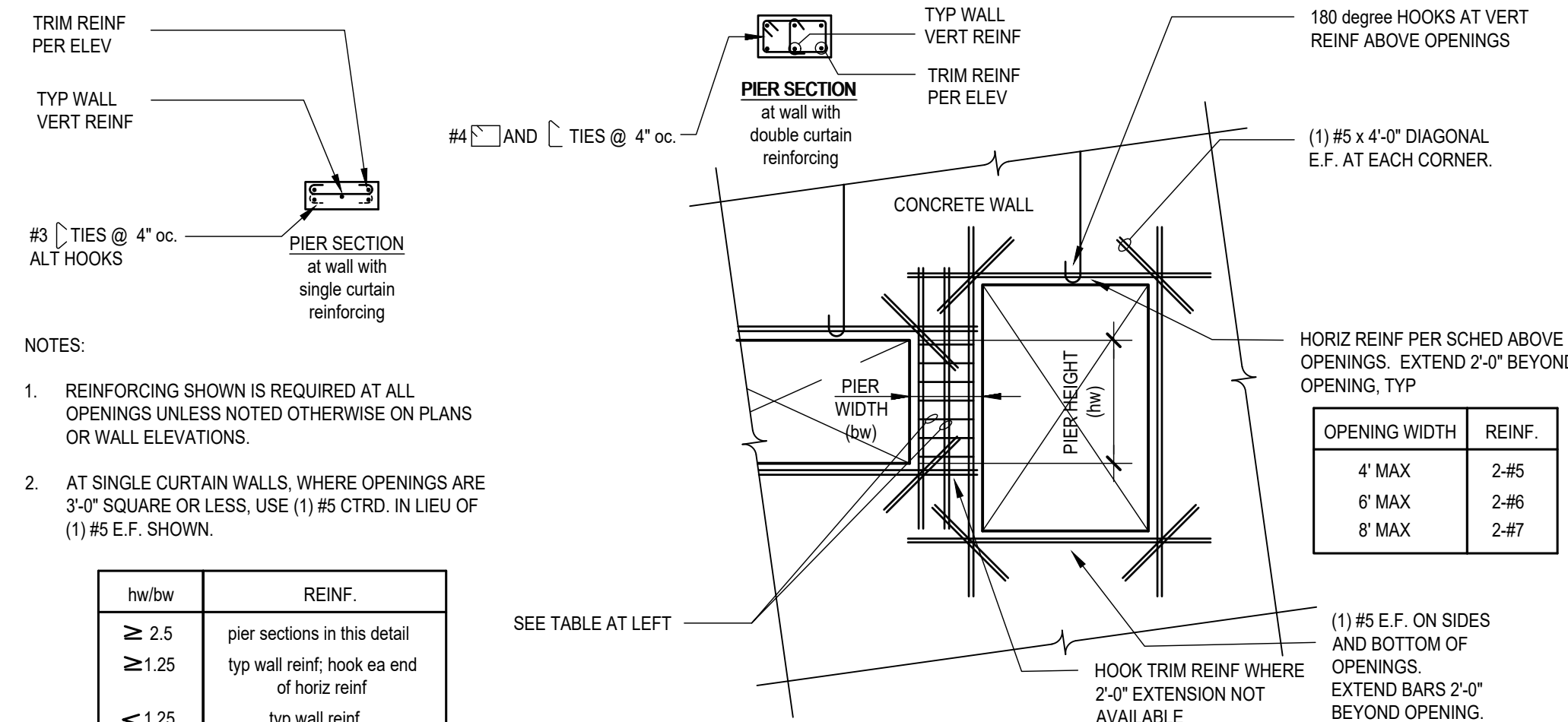


7 SLAB ON GRADE JOINTS

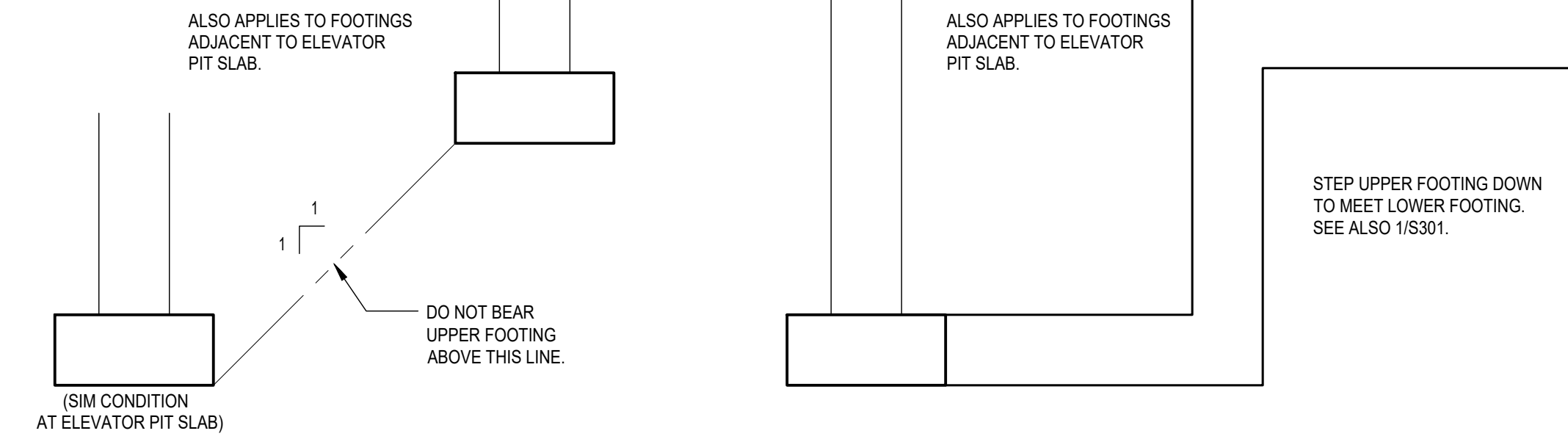
9 THICKENED SLAB EDGE



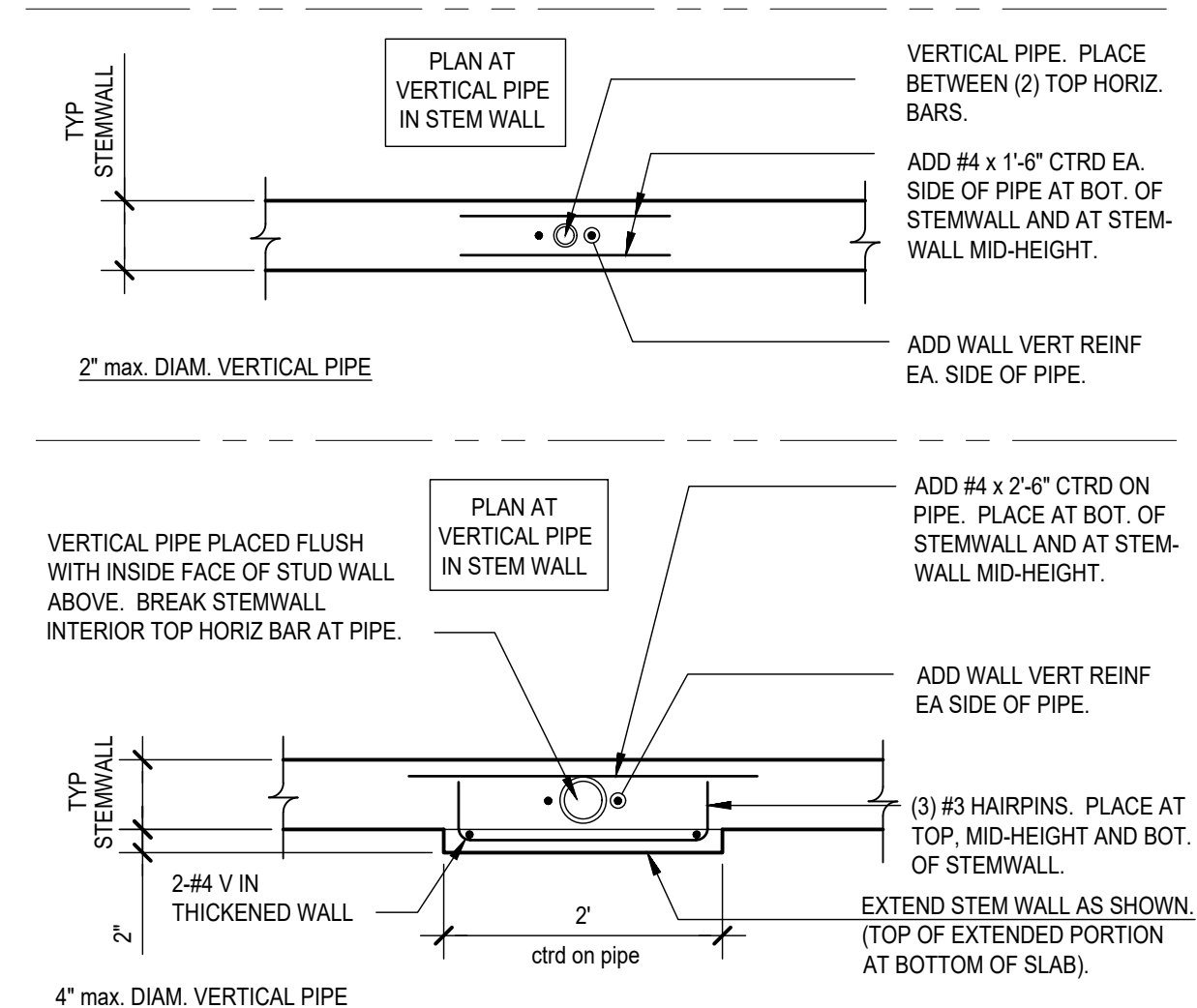
B



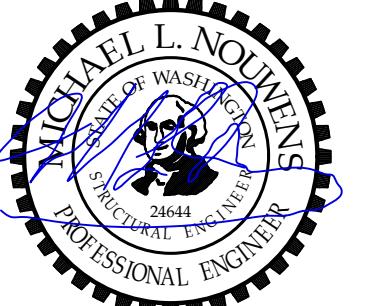
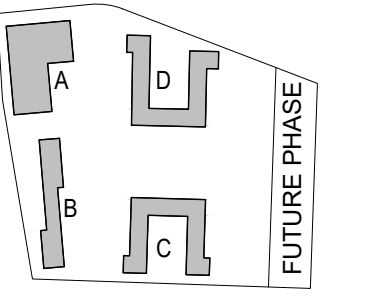
12 CONCRETE WALL OPENING REINFORCING



19 FOOTING DEPTH REQUIREMENTS AND RELATIONSHIPS



17 FOOTING RELATIONSHIP TO PIPES AND TRENCHES



06-22-2020

MICHAEL NOUWENS
Structural Consultants
130 Second Avenue North #921
Edmonds, WA 98020
michael@nouwens-structural.com
www.nouwens-structural.com
P 206.546.8446

PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WASHINGTON 98201

MARK	DATE	DESCRIPTION

B REVISIONS

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B 04/10/2020 DESIGN DEVELOPMENT
A 12/15/2019 SCHEMATIC DESIGN

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ISSUE INFORMATION

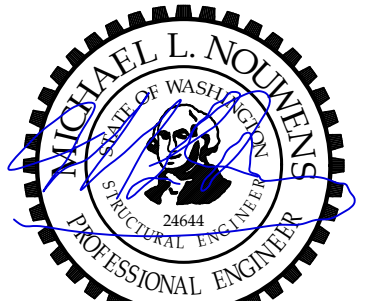
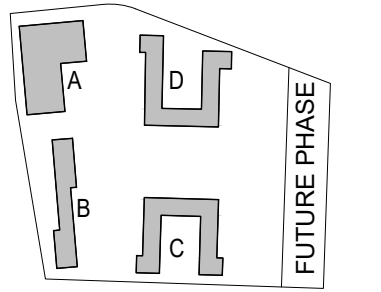
PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE:
PROJECT MANAGER: **Michael Nouwens**
OWNER APPROVAL:

SHEET TITLE
TYPICAL CONCRETE DETAILS

SHEET NO.

S-301

BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL



06-22-2020

MICHAEL L. NOUWENS
Structural Consultants
130 Second Avenue North #921
Edmonds, WA 98020
michael@nouwens-structural.com
www.nouwens-structural.com
P 206.546.8446

PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

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MARK DATE DESCRIPTION

ISSUE INFORMATION

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PRINCIPAL IN CHARGE:

PROJECT MANAGER: **Michael Nouwens**

OWNER APPROVAL:

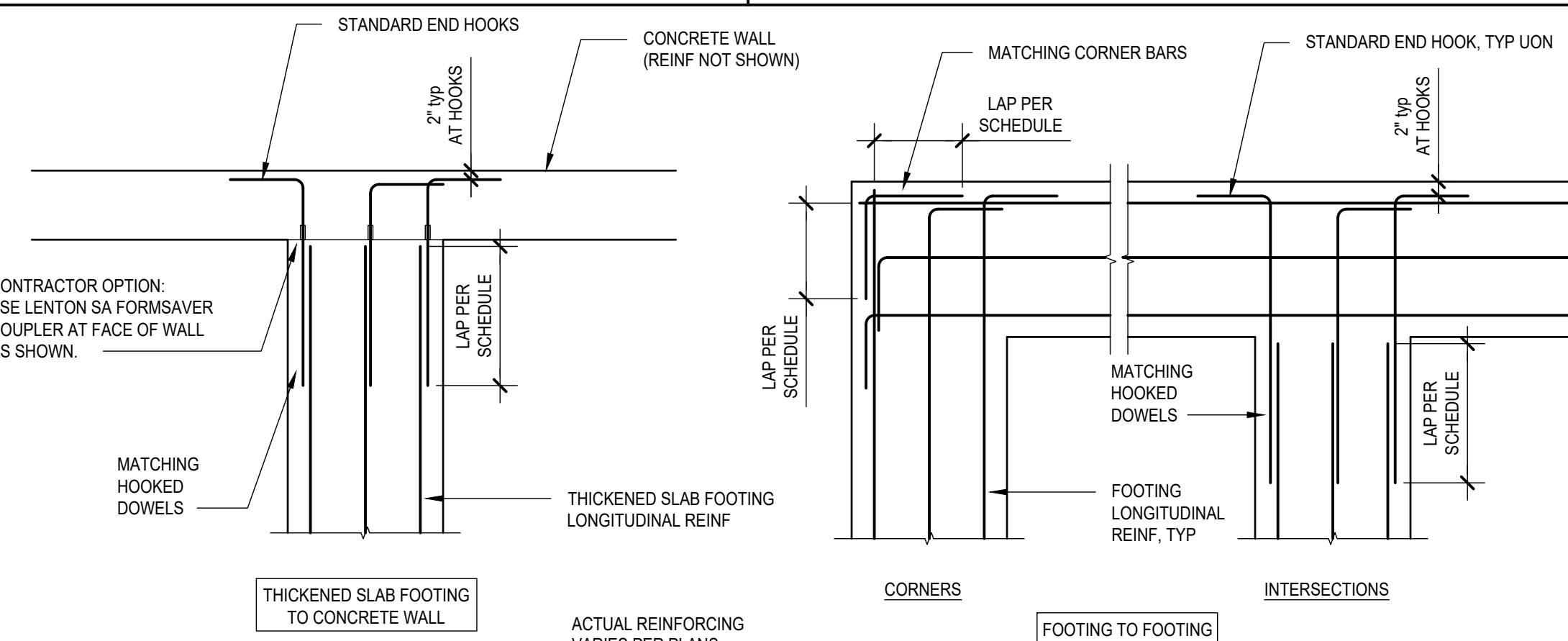
SHEET TITLE

CONCRETE DETAILS

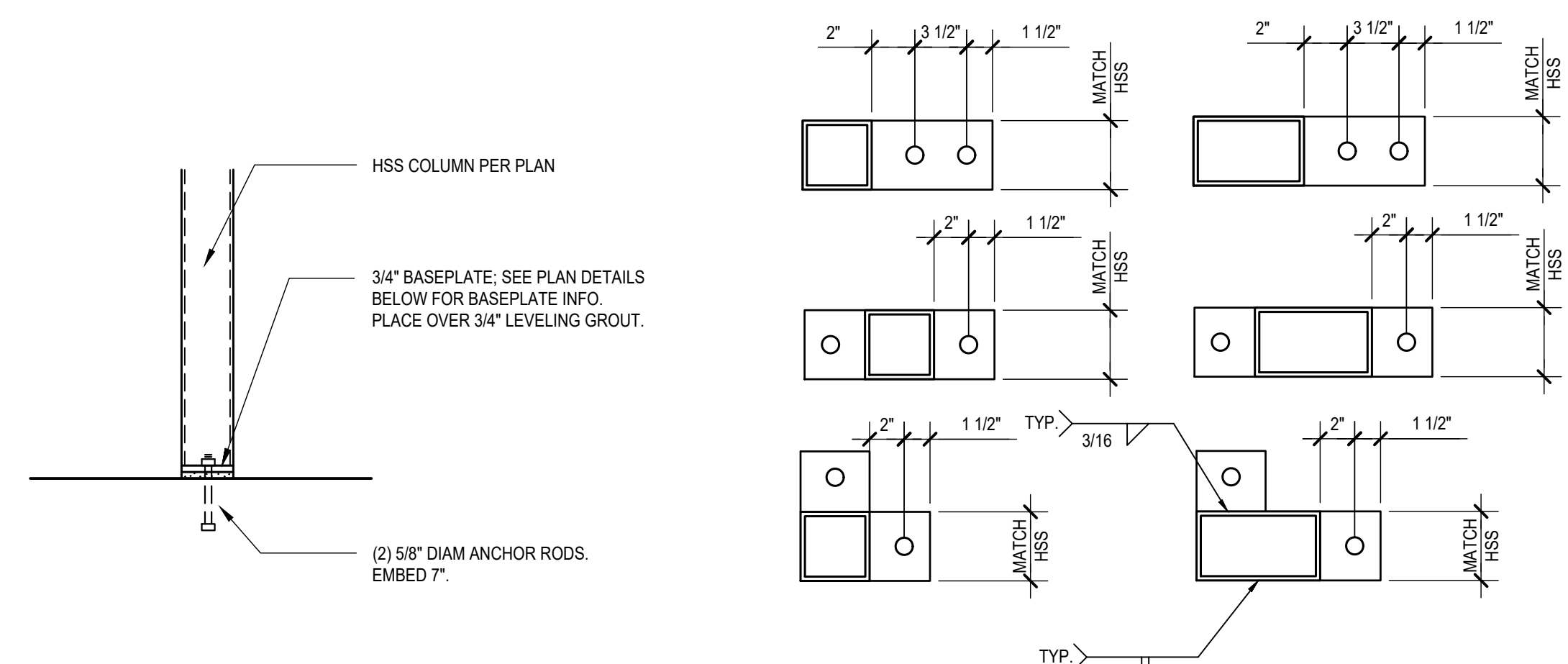
SHEET NO.

S-302

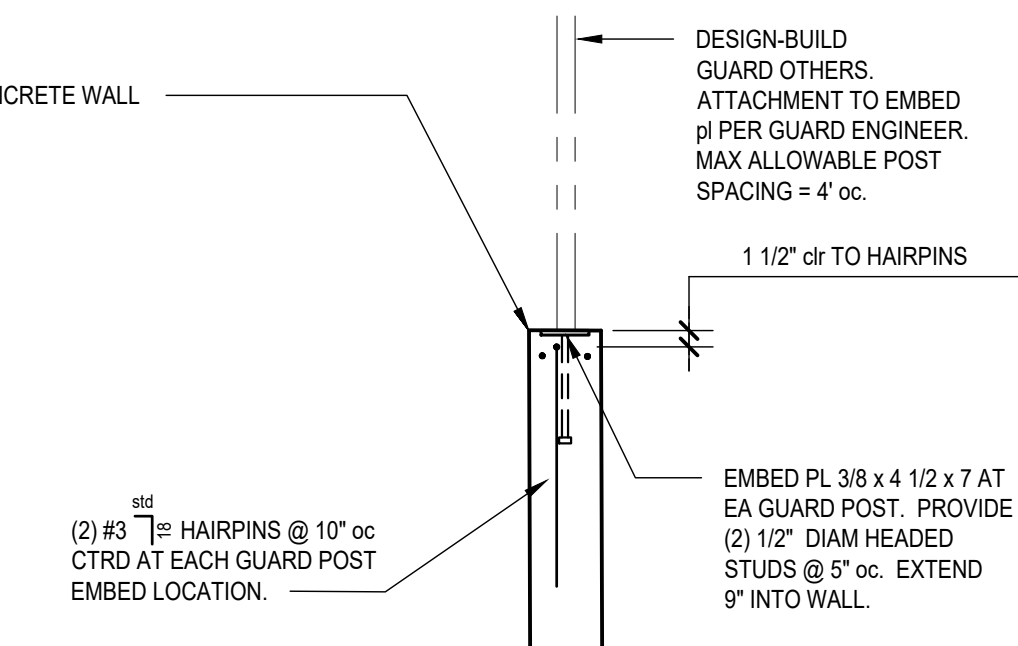
BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL



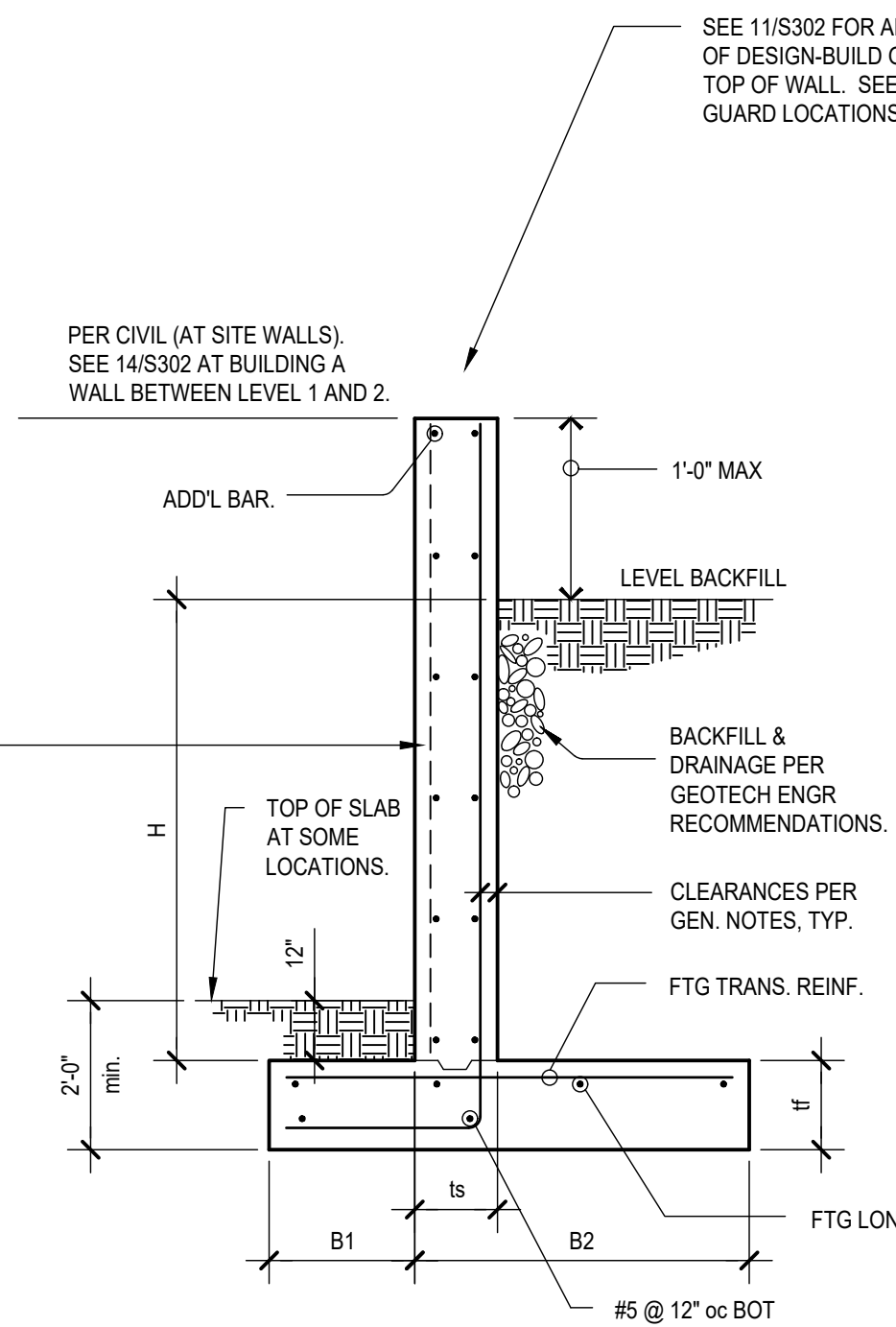
1 TYPICAL CONCRETE FOOTING CORNERS AND INTERSECTIONS FOOTINGS ARE SHOWN; CONDITIONS AT GRADE BEAMS ARE SIM.



6 HSS BASEPLATE CONFIGURATIONS APPLICATION OF THIS DETAIL IS LIMITED TO WHERE SPECIFICALLY REFERENCED ON PLAN OR IN OTHER DETAILS.



11 PEDESTRIAN GUARD AT TOP OF WALL

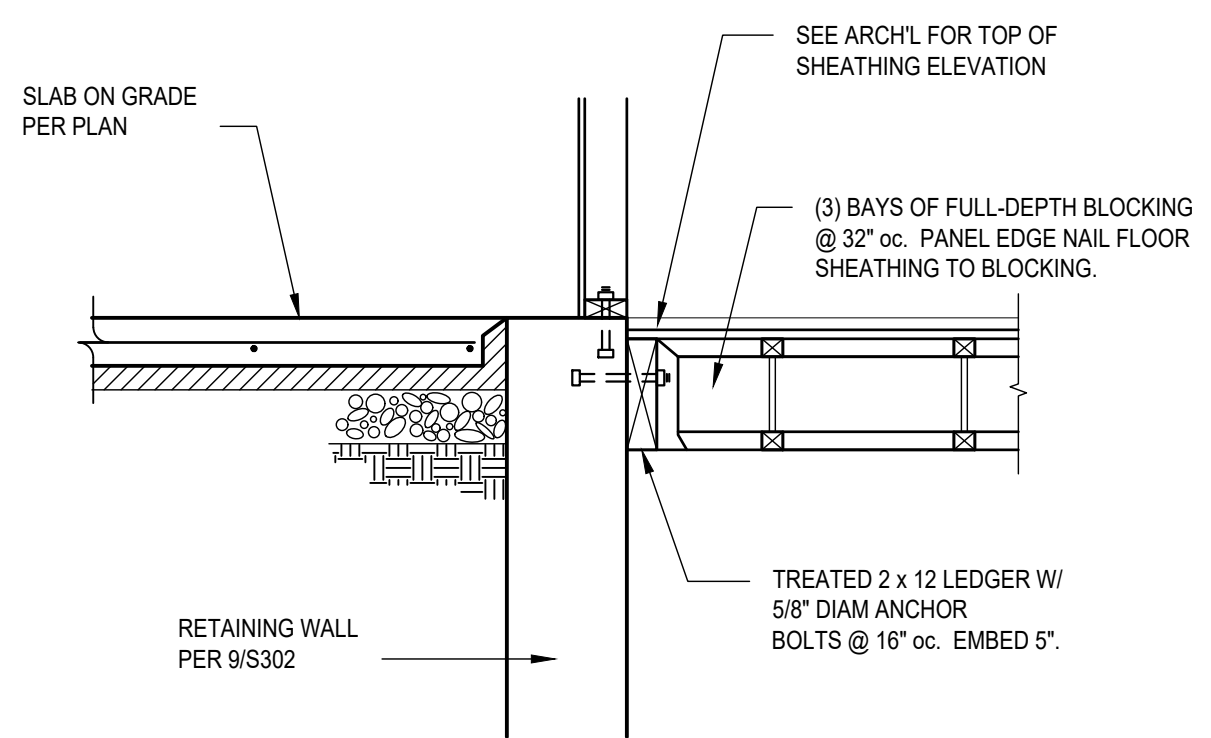


H	B1	ts	B2	tf	STEM REINFORCING		FOOTING REINFORCING		COMMENTS
					VERT.	HORIZ.	TRANS.	LONG.	
UP TO 3'	1'-0"	6"	1'-6"	10"	#4 @ 18" CTRD	#4 @ 16" CTRD			(3) #5
5'	1'-6"	8"	3'-0"	12"	#4 @ 16"	#4 @ 12"	#4 @ 15"		(4) #5
7'	2'-6"	8"	4'-6"	12"	#4 @ 10"	#4 @ 12"	#5 @ 16"		(6) #5
9'	2'-9"	8"	5'-6"	12"	#5 @ 8"	#4 @ 12"	#5 @ 10"		(8) #5
11'	3'-3"	10"	6'-0"	15"	#6 @ 8"	#4 @ 10"	#6 @ 10"		(9) #5 T & B
13'	3'-9"	12"	6'-6"	18"	#7 @ 8"	#5 @ 12"	#7 @ 12"		(10) #5 T & B

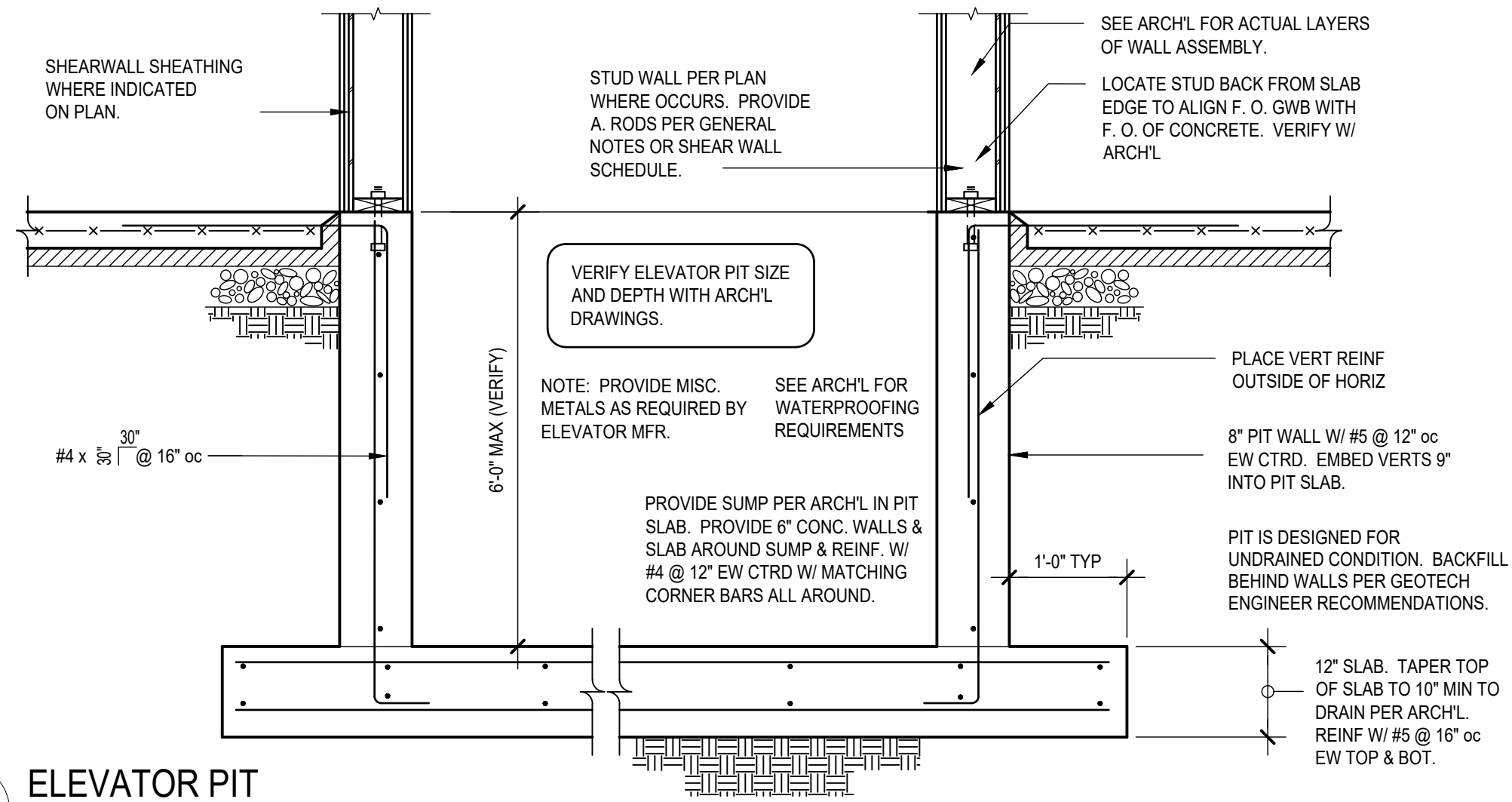
HORIZONTAL ACTIVE PRESSURE = 35 psf (level backfill)
SEISMIC EARTH PRESSURE = 84 psf
BEARING PRESSURE = 6000 psf
COEFFICIENT OF FRICTION = 0.40 (includes 1.5 safety factor)
PASSIVE RESISTANCE = 350 psf (includes 1.5 safety factor)
SURCHARGE - ASSEMBLY = 100 psf (vertical)

RETAINING WALL SCHEDULE - TOE & HEEL

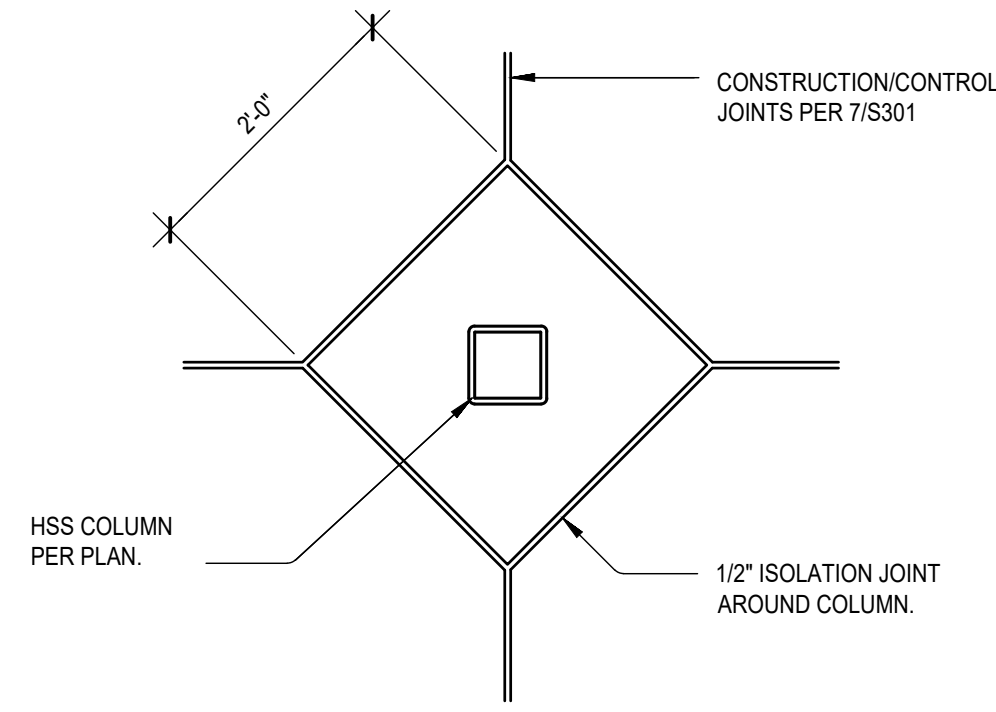
9 SITE RETAINING WALL SCHEDULE



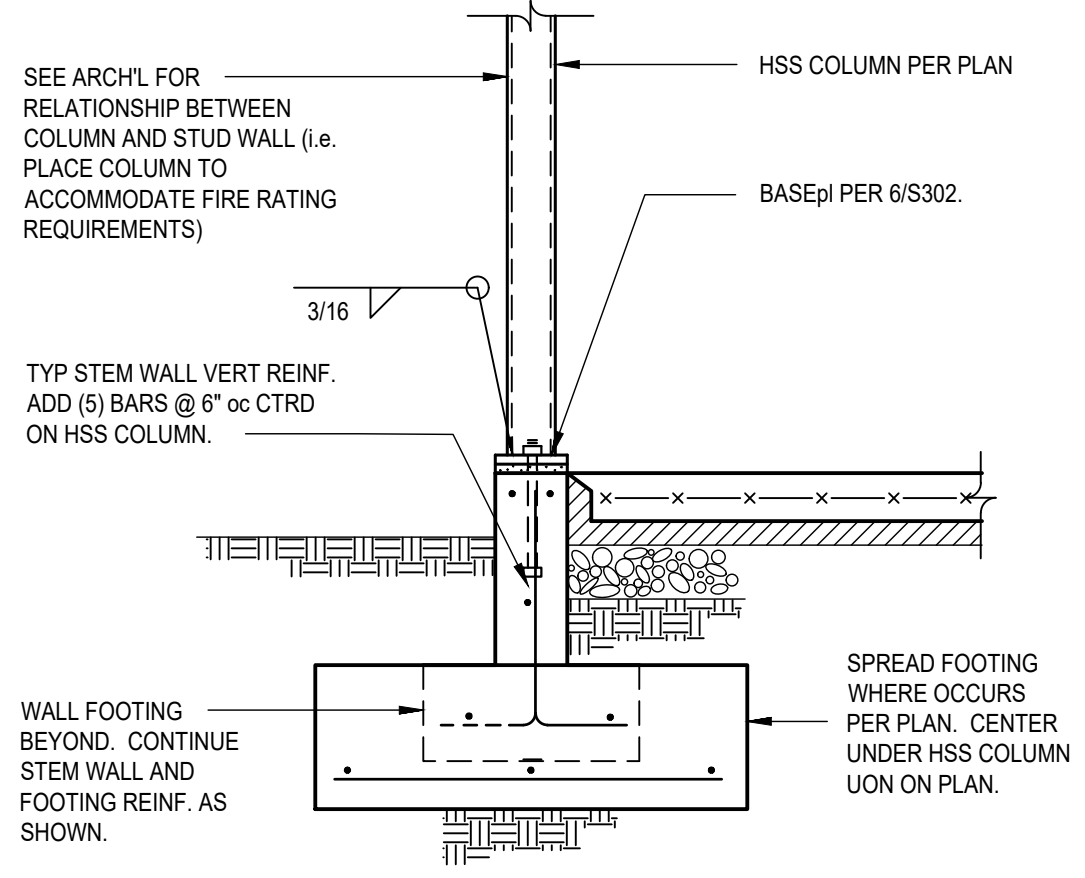
14 TOP OF BUILDING A RETAINING WALL



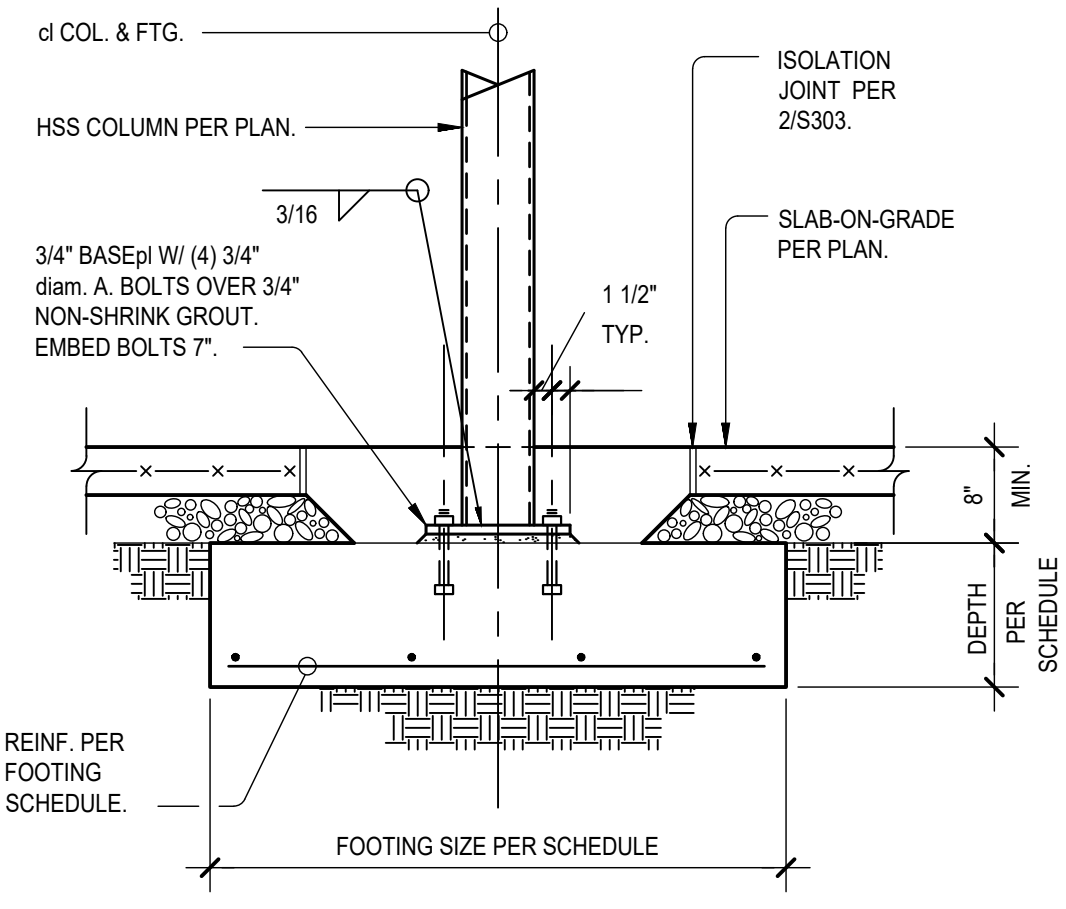
17 ELEVATOR PIT



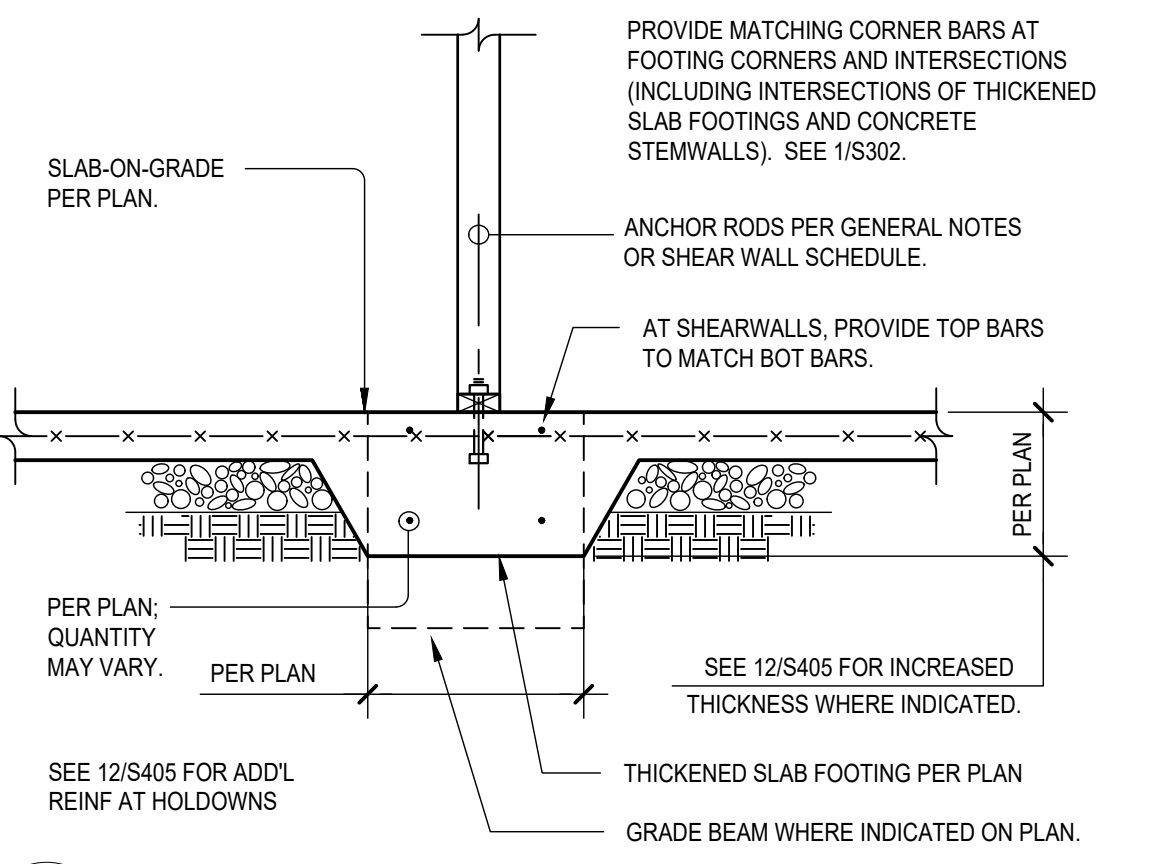
2 SLAB ISOLATION JOINTS at HSS COLUMN



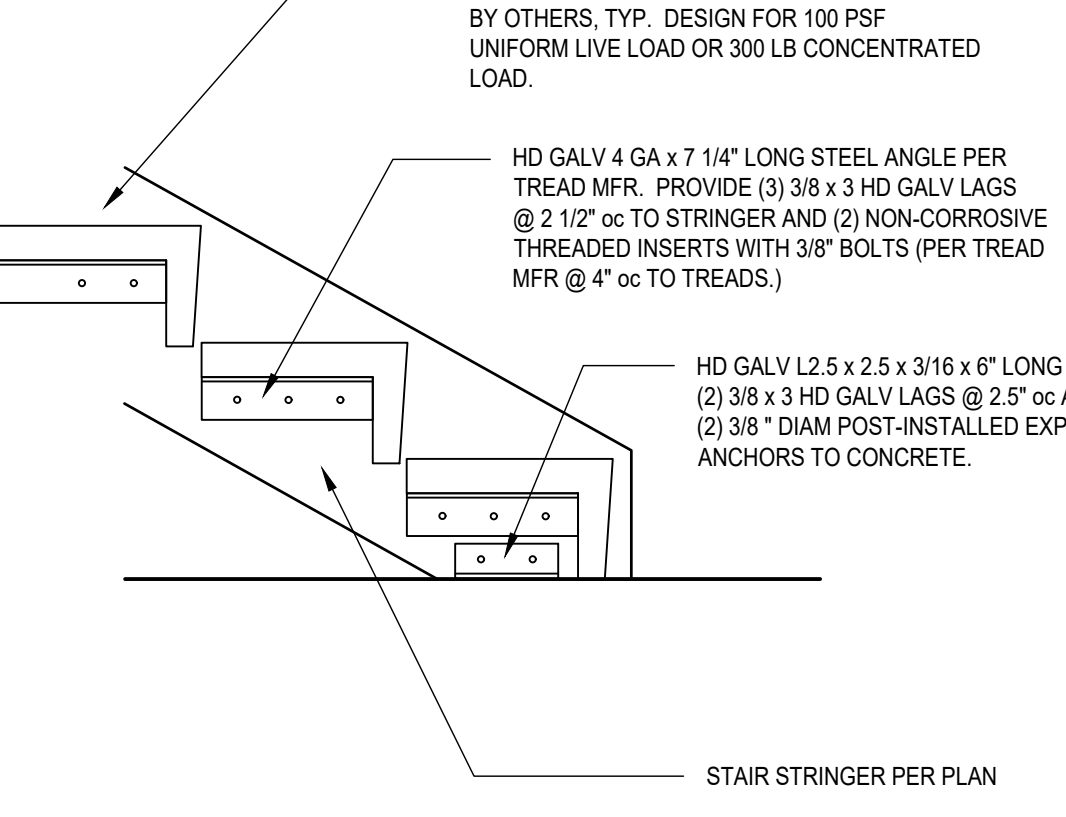
6 PERIMETER HSS COLUMN FOOTING



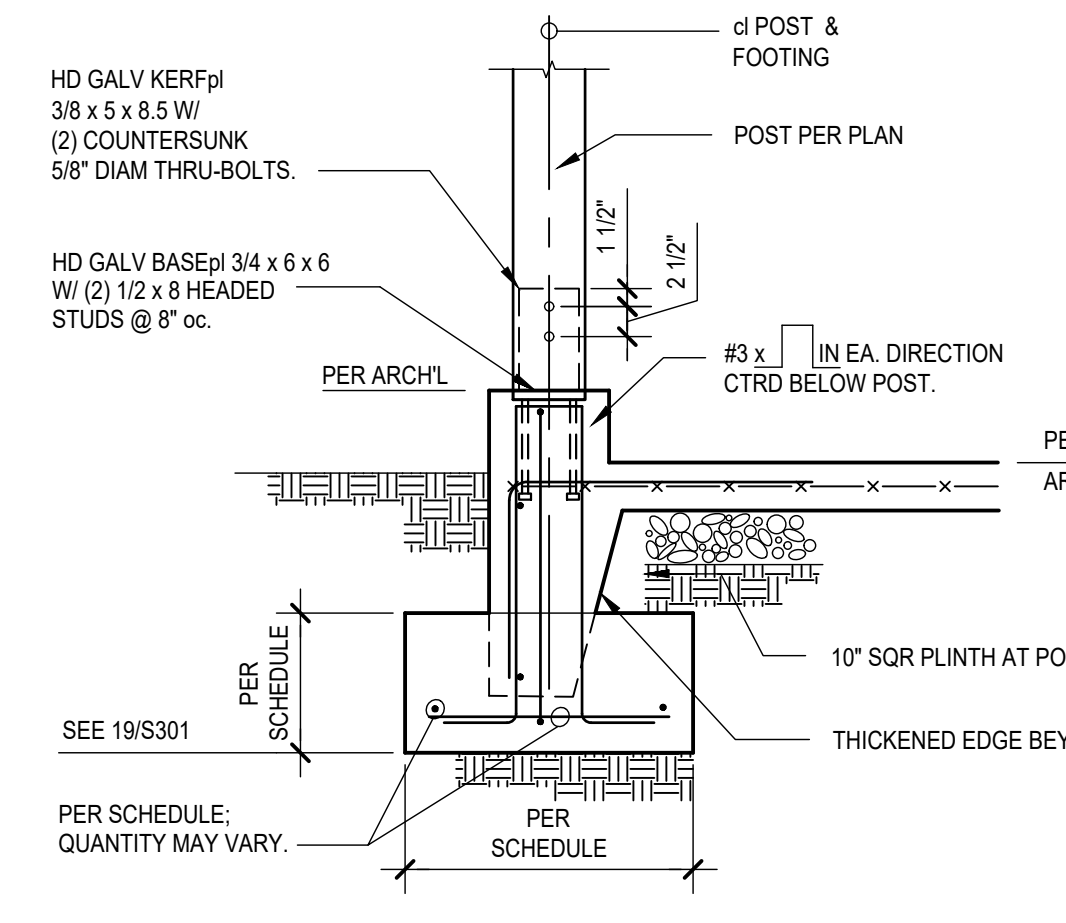
7 INTERIOR HSS COLUMN FOOTING



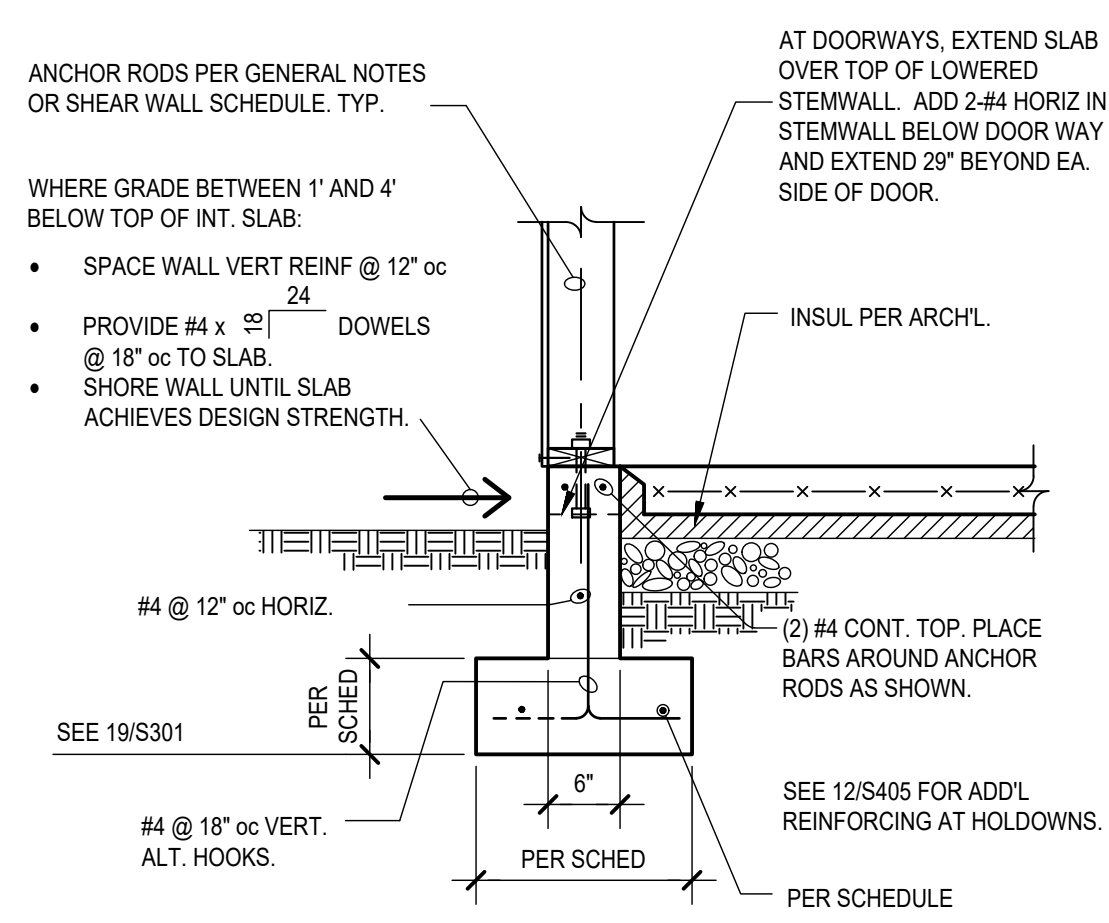
11 INTERIOR STUD WALL FOOTING



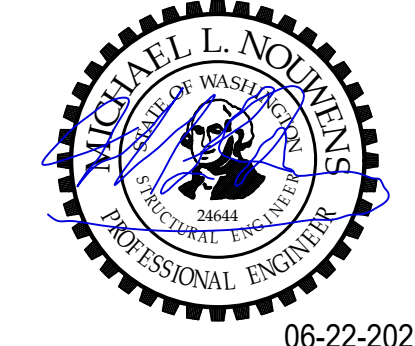
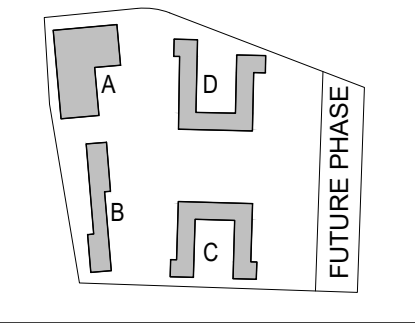
12 EXTERIOR STAIR - TREAD SUPPORT



17 EXTERIOR POST FOOTING



18 EXTERIOR STUD WALL FOOTING



06-22-2020
MICHAEL NOUWENS
 Structural Consultants
 130 Second Avenue North #921
 Edmonds, WA 98020
 michael@nouwens-structural.com
 www.nouwens-structural.com
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B	04/10/2020	DESIGN DEVELOPMENT
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A	12/15/2019	SCHEMATIC DESIGN
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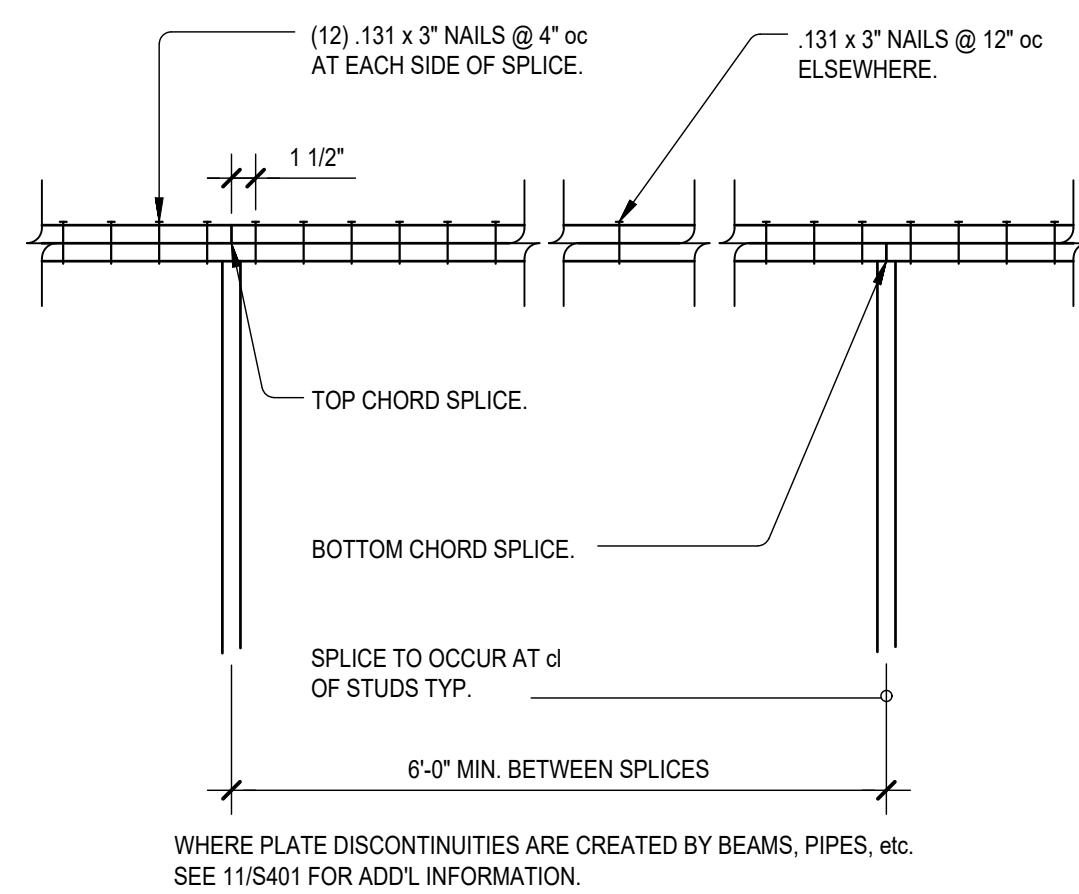
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PROJECT NO.: **2017033**
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 PROJECT MANAGER: **Michael Nouwens**
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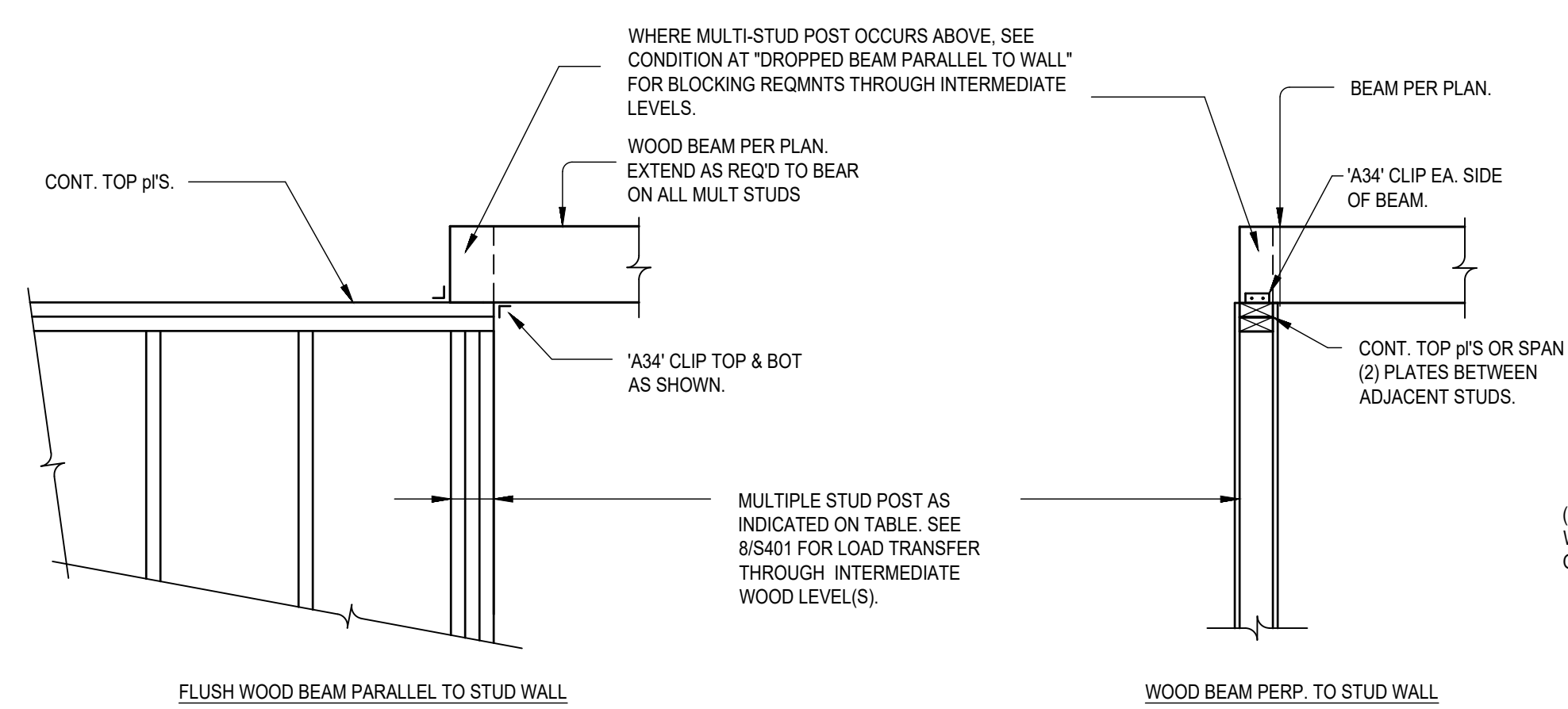
SHEET TITLE
MISC FOUNDATION DETAILS

SHEET NO.
S-303

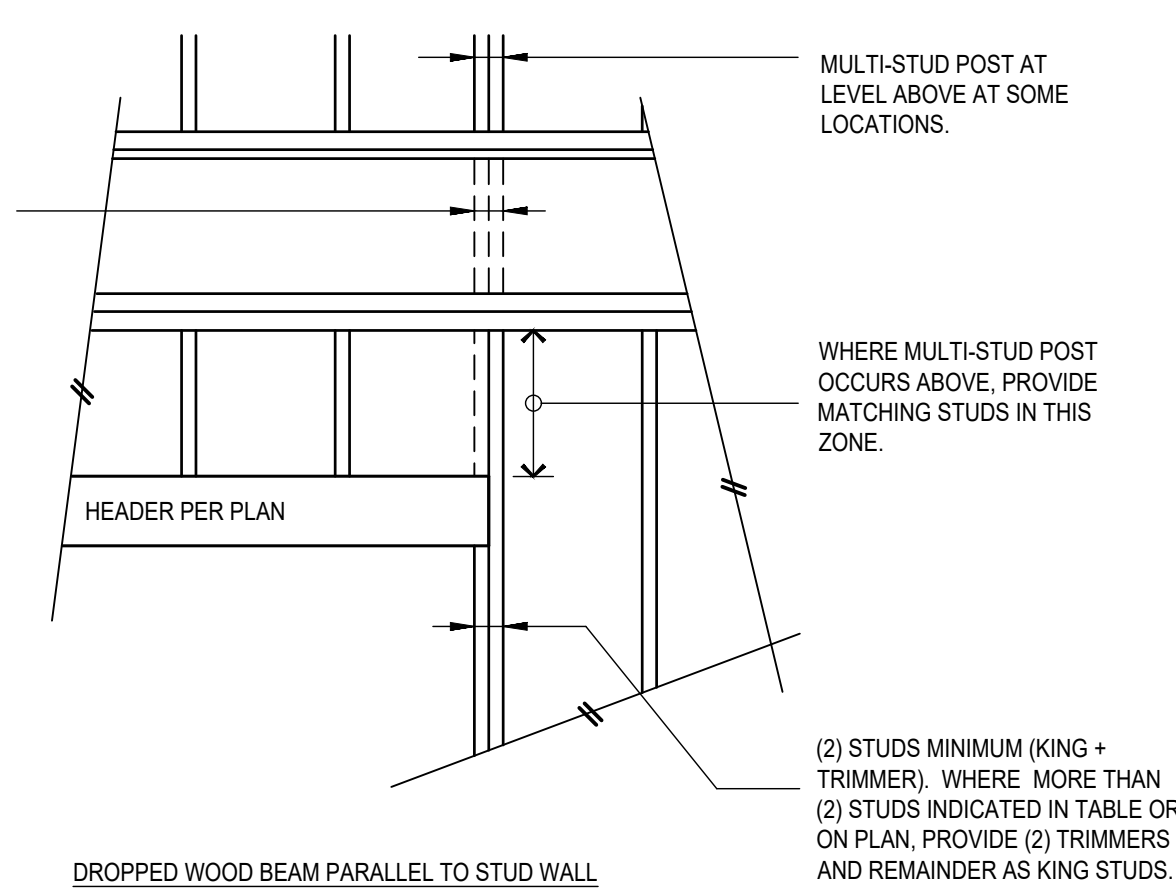
BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL



1 TYPICAL TOP PLATE SPLICE



2 MULTI-STUD POST AT WOOD BEAMS AND HEADERS



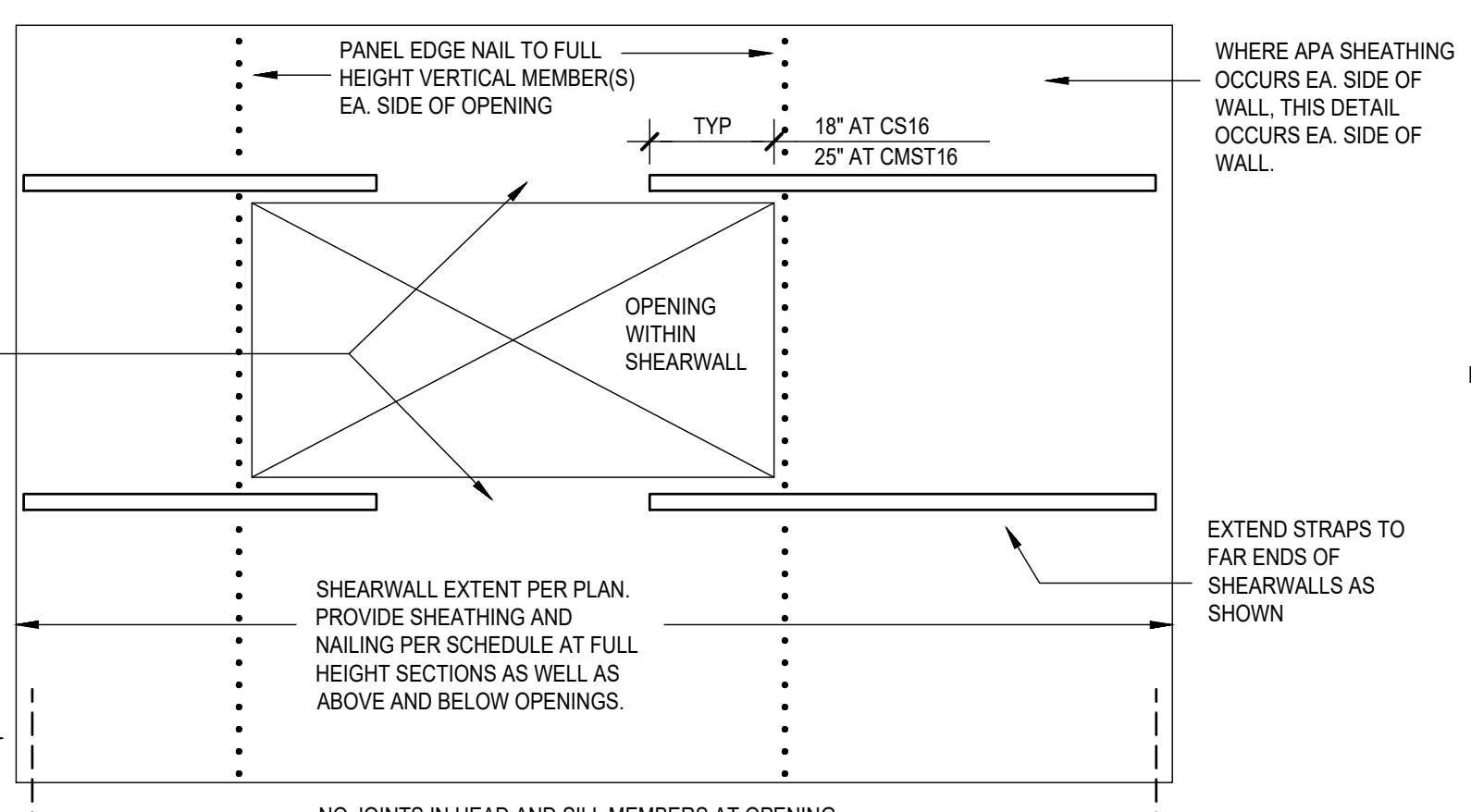
8 THRU-FLOOR BLOCKING AT MULTI-STUD POSTS

BEAM/HEADER SPAN	NO. OF 2x STUDS IN BUILT-UP POST BELOW INDICATED LEVEL				ROOF
	3	4	5	6	
3'-3"	3/2	2/2	2/2	2/2	2/2
3'-4" to 6'-0"	5/3	4/3	3/2	2/2	2/2
6'-1" to 8'-0"	6/4	5/4	4/3	3/2	2/2
8'-1" to 10'-0"	7/4	6/4	5/4	4/3	2/2

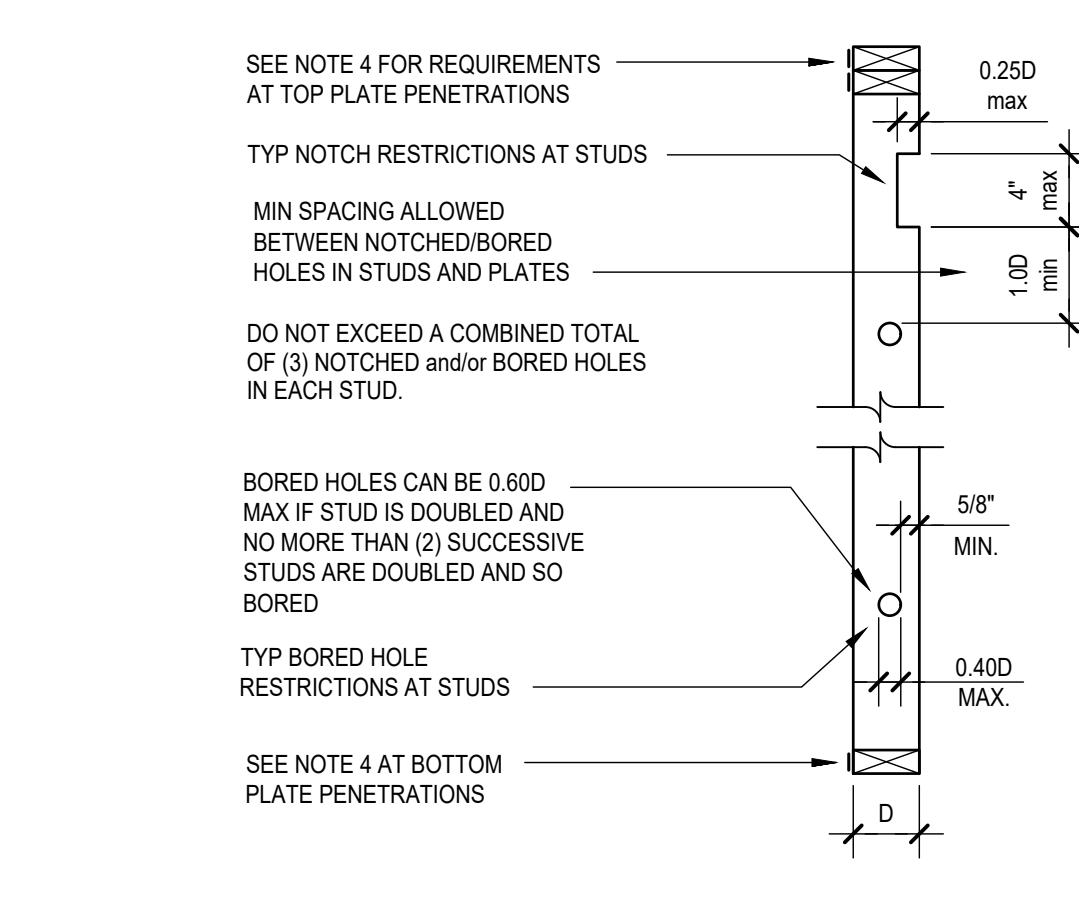
NO. OF 2x6 STUDS, TYP.
NO. OF 2x4 STUDS, TYP.

PROVIDE (2) STUDS MIN UNLESS SPECIFICALLY NOTED IN TABLE OR ON PLAN.

- PLACE STRAPS OVER APA SHEATHING.
 - STRAP NAILS SHALL BE .148 x 2 1/4".
 - PROVIDE 3x BLOCKING PER SECTION AT RIGHT TO RECEIVE STRAP NAILING WHERE NO OTHER FRAMING IS PRESENT.
- AT SHEARWALLS W6A, W6B, W4, 2W4: PROVIDE 2-2x6 CONT. AT HEAD AND SILL AND PROVIDE CS16 STRAP AT EACH CORNER ON 2x6 FURTHEST AWAY FROM OPENING. STAGGER PANEL EDGE NAILING TO 2-2x6. (AT 2x8 WALLS, SUBSTITUTE 2x8 HEAD AND SILL MEMBERS FOR SPECIFIED 2x6 MEMBERS).
- AT REMAINING SHEARWALL MARKS: PROVIDE 3-2x6 CONT. AT HEAD AND SILL AND PROVIDE CMST16 STRAP AT EACH CORNER ON 2-2x6 FURTHEST AWAY FROM OPENING. STAGGER PANEL EDGE NAILING TO 3-2x6. (AT 2x8 WALLS, SUBSTITUTE 2x8 HEAD AND SILL MEMBERS FOR SPECIFIED 2x6 MEMBERS).
- WHERE HOLDOWNS ARE INDICATED ON PLAN OR ON SCHEDULE, PROVIDE AT WALL ENDS UON ON PLAN.

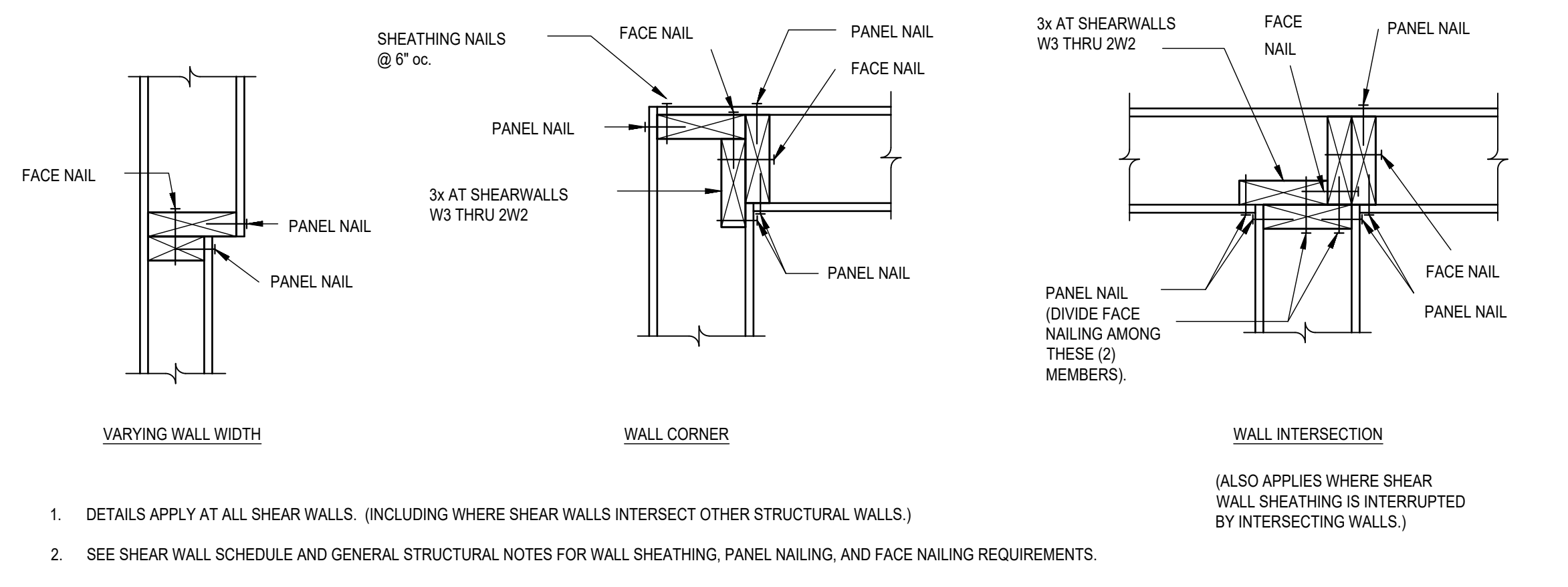


6 OPENINGS WITHIN SHEARWALLS



11 WOOD STUD AND PLATE PENETRATIONS

- PENETRATIONS THROUGH STUDS AND PLATES AT EXTERIOR WALLS AND INTERIOR STRUCTURAL (BEARING AND/OR SHEAR) WALLS SHALL CONFORM TO THE LIMITATIONS IN THESE NOTES. PENETRATIONS NOT CONFORMING TO THE NOTED LIMITATIONS SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW AND POSSIBLE ADDITION OF REINFORCING.
- HARDWARE REQUIRED TO PROTECT PIPING, WIRING, etc FROM FASTENERS IS NOT ADDRESSED IN THIS DETAIL. RECOMMENDATIONS SHALL BE PROVIDED BY OTHERS.
- NO PENETRATIONS ARE ALLOWED IN MULTIPLE STUDS AT HOLDOWNS OR IN MULTIPLE STUDS AT BEARING POSTS.
 - MULTIPLE NOTCHES and/or BORED HOLES SHALL NOT OCCUR WITHIN SAME CROSS SECTION OF STUD OR PLATE.
 - TOP PLATE PENETRATIONS SHALL NOT OCCUR WITHIN STUD BAY THAT SUPPORTS STRUCTURAL MEMBER BEARING ON TOP PLATES IN THAT BAY.
 - TOP PLATE PENETRATIONS CONFORMING TO NOTE 3 AND BOTTOM PLATE PENETRATIONS ARE LIMITED AS FOLLOWS:
 - BOTTOM PLATE PENETRATIONS AT CONCRETE FOUNDATIONS SHALL BE SUBMITTED TO STRUCTURAL ENGINEER FOR REVIEW. STRAPS AT TREATED PLATES SHALL BE RPSZ.
 - PROVIDE RPS22 STRAP ON SIDE OF PLATE AND CENTERED ON 5 1/2" MAX LENGTH HOLES OR NOTCHES GREATER THAN 0.5D IN WIDTH. STRAP NAILS SHALL BE 0.148 x 1 1/2". HOLES/NOTCHES SHALL BE D - 5/8" MAX IN WIDTH.
 - PROVIDE RPS28 STRAP ON SIDE OF PLATE AND CENTERED ON 12" MAX LENGTH HOLES OR NOTCHES GREATER THAN 0.5D IN WIDTH. STRAP NAILS SHALL BE 0.148 x 1 1/2". HOLES/NOTCHES SHALL BE D - 5/8" MAX IN WIDTH.
 - PLATE PENETRATIONS CANNOT OCCUR IN ADJACENT STUD BAYS WITHOUT ADDITIONAL STRUCTURAL REVIEW.



16 SHEARWALL STUD TO STUD NAILING

SW MARK	15/32\"/>	
		W6A
W6B	ONE SIDE	6\"/>
W4	ONE SIDE	4\"/>
W3	ONE SIDE	3\"/>
W2	ONE SIDE	2\"/>
2W4	EACH SIDE	4\"/>
2W3	EACH SIDE	3\"/>
2W2	EACH SIDE	2\"/>

18 SHEARWALL SCHEDULE - DF FRAMING

- INSTALL SHEATHING PANELS EITHER HORIZONTALLY OR VERTICALLY. ALL PANEL EDGES SHALL FALL ON A FRAMING MEMBER. BLOCK ALL UNFRAMED PANEL EDGES. PANEL EDGES ON OPPOSITE SIDES OF WALL SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS. ALLOW 1/8\"/>
- PANEL EDGE NAILING APPLIES TO ALL PANEL EDGES, TOP AND BOTTOM PLATES, AND STUDS AT HOLDOWNS (SEE HOLDOWN DETAILS FOR MORE SPECIFIC REQUIREMENTS). FIELD NAILING SHALL BE AT 12\"/>
- FRAMING AT INTERMEDIATE MEMBERS SHALL BE 2x MINIMUM. AT ADJOINING PANEL EDGES, 2-2x MEMBERS CAN BE SUBSTITUTED FOR SPECIFIED 3x MEMBER IF (1) 2-2x MEMBERS ARE FACENAILED TOGETHER PER \"MEMBER TO MEMBER FACENAILING\" COLUMN AND (2) MEMBERS DO NOT SPLIT WHEN FACENAILED AND EDGE NAILED. THIS SUBSTITUTION IS NOT ALLOWED AT 3x BOLTED SILL PLATES. STAGGER PANEL EDGE NAILING AT ADJOINING PANEL EDGES AT ALL SHEARWALLS.
- PROVIDE .229\"/>
- WHERE MULTIPLE ROWS OF NAILS ARE APPLIED TO A RIM/BLOCKING MEMBER (INCLUDING FLOOR/ROOF DIAPHRAGM NAILING), ROWS SHALL BE OFFSET 1/2\"/>
- MEMBER TO MEMBER FACENAILING REQUIREMENTS APPLY TO \"SHEAR WALL STUD TO STUD NAILING\" DETAIL AND AS INDICATED IN NOTE 3. STAGGER NAILING WHERE MULTIPLE ROWS ARE INDICATED.
- RIM/BLOCKING QUANTITIES AND SIZES SHALL CONFORM TO REQUIREMENTS FOR WALL BELOW RIM/BLOCKING.
- SDWS INDICATES SIMPSON SDWS TIMBER SCREWS EXTENDING FROM UNDERSIDE OF TOP PLATES INTO RIM/BLOCKING ABOVE, CENTER SCREW ON WIDTH OF RIM/BLOCKING. SPACING INDICATED IS MAX SPACING; DO NOT SPACE LESS THAN 4\"/>
- RBC CLIPS SHALL ATTACH FACE OF 2x MEMBER TO EITHER TOP OR SIDE OF TOP PLATES BELOW; FIELD BEND CLIP TO DESIRED ANGLE ONE TIME ONLY. A MAXIMUM 3/4\"/>
- WHERE COLLECTOR STRAP LOCATED OVER WALL, REVISE RIM/BLOCKING MEMBER TO (1) 3 1/2\"/>

GGLO DESIGN

1301 First Avenue, Suite 301
Seattle, WA 98101
http://www.gglo.com

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MICHAEL L. NOUWENS
Structural Consultants

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Edmonds, WA 98020
michael@nouwens-structural.com
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OWNER APPROVAL:

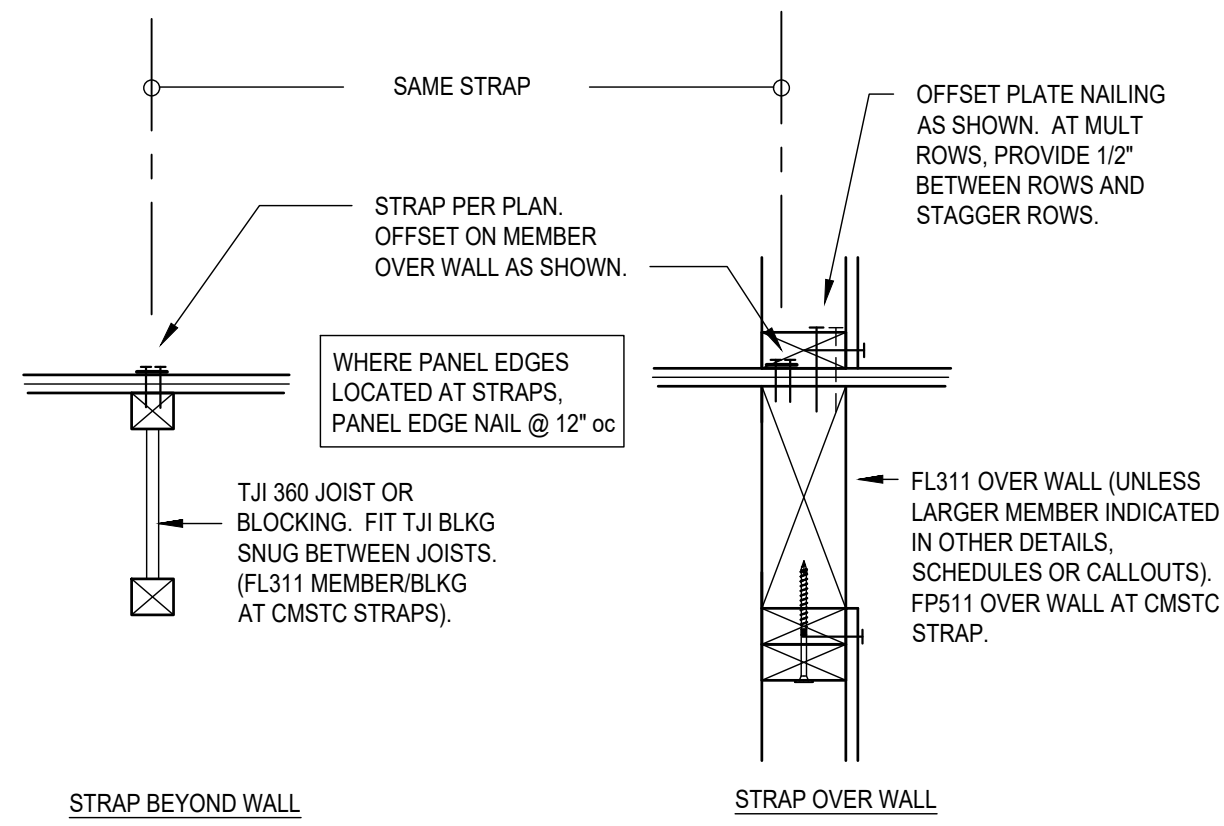
SHEET TITLE

WOOD FRAMING SCHEDULES and DETAILS

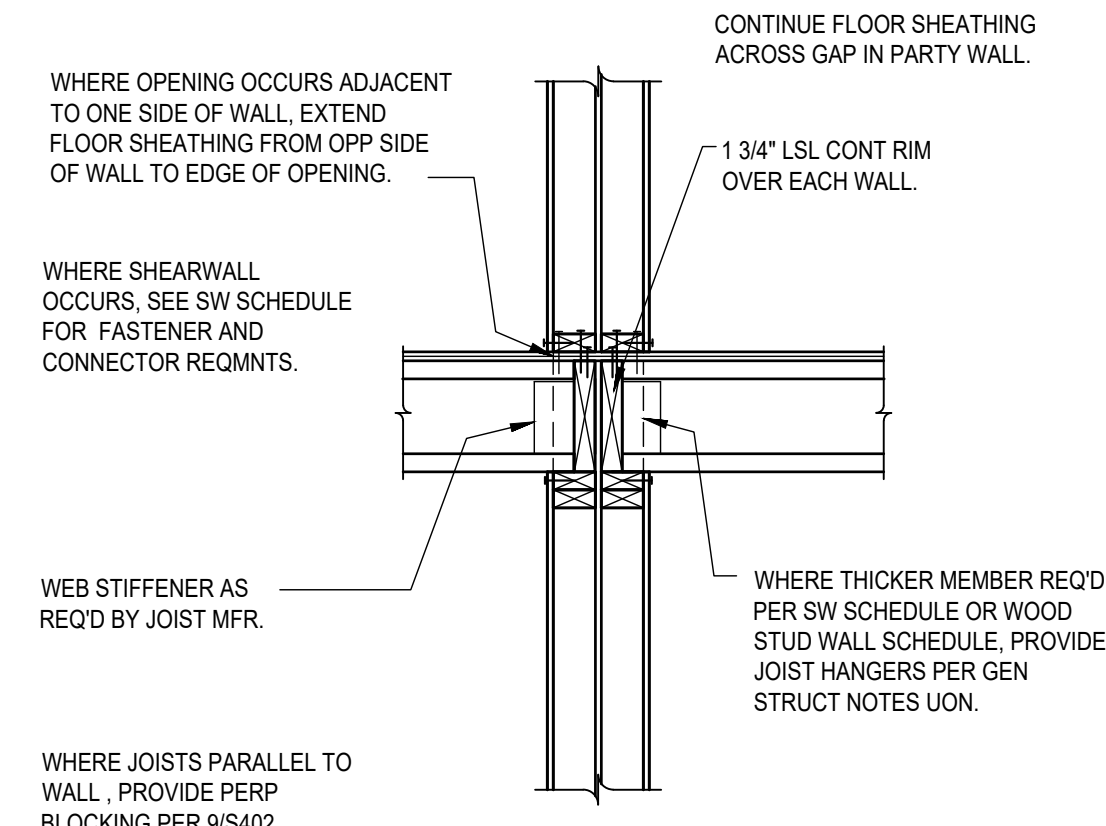
SHEET NO.

S-401

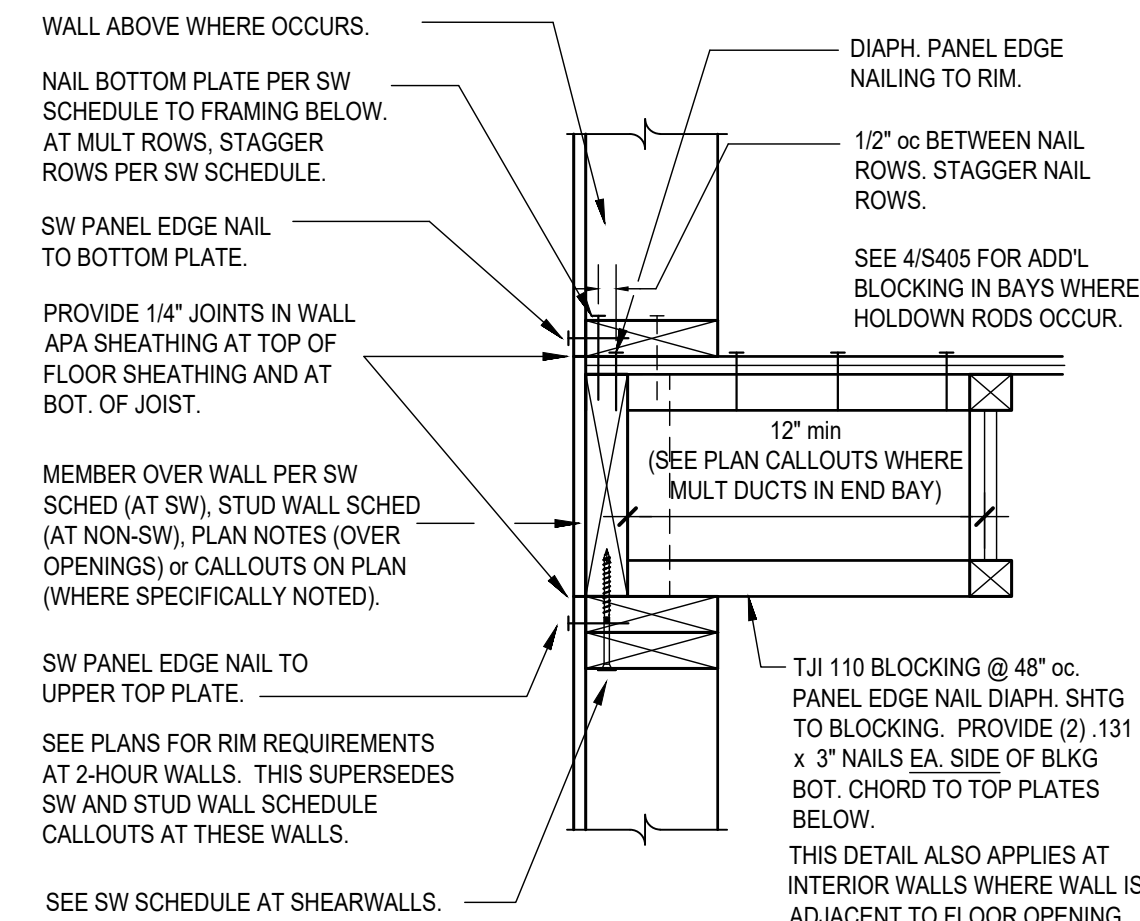
SMALL BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL



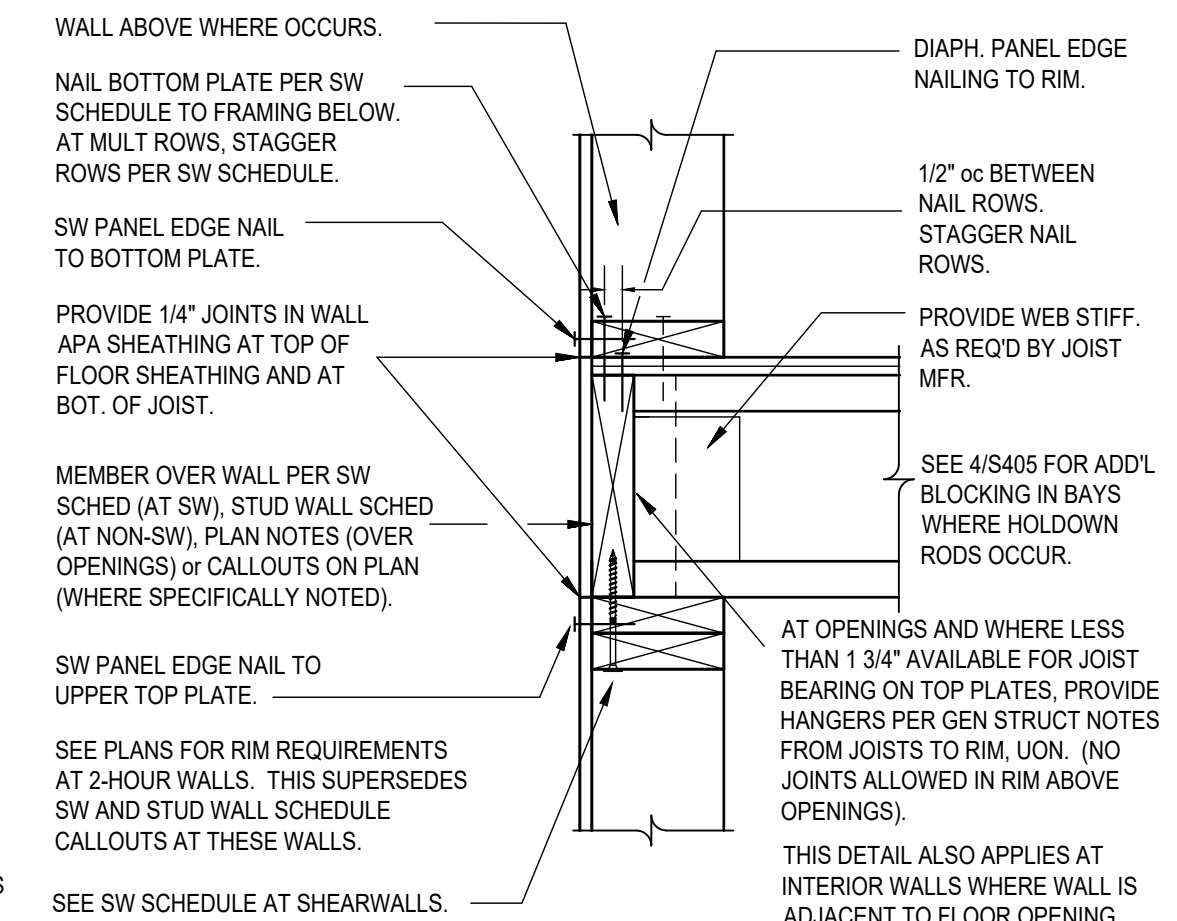
1 COLLECTOR STRAP



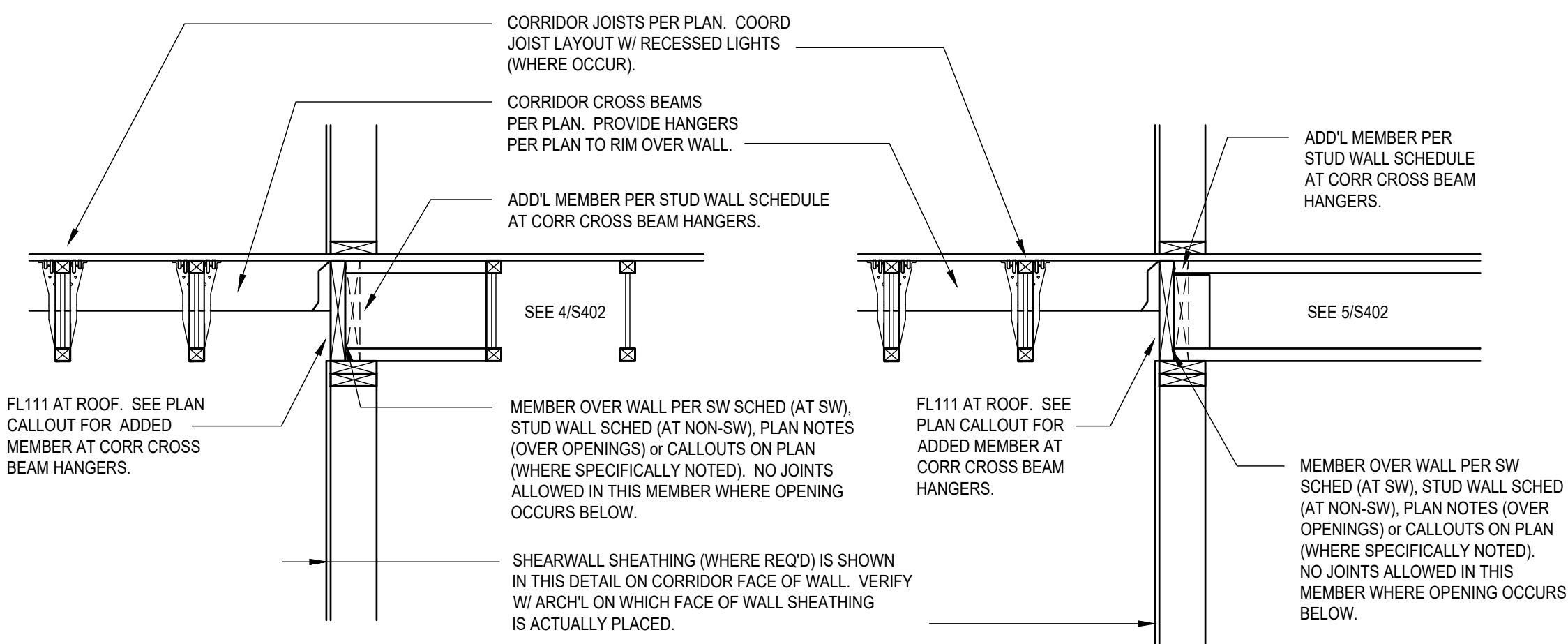
3 I-JOIST TO DOUBLE STUD WALL



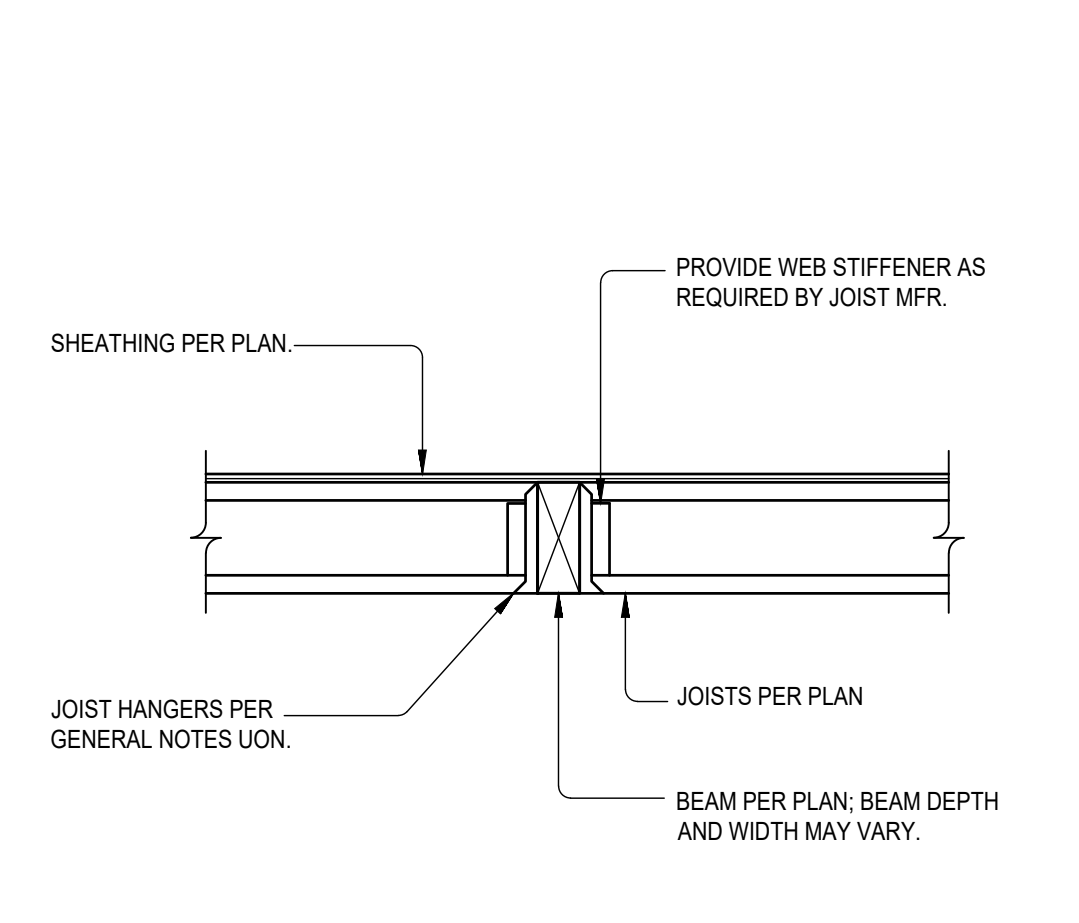
4 I-JOIST PERP TO EXTERIOR WALL



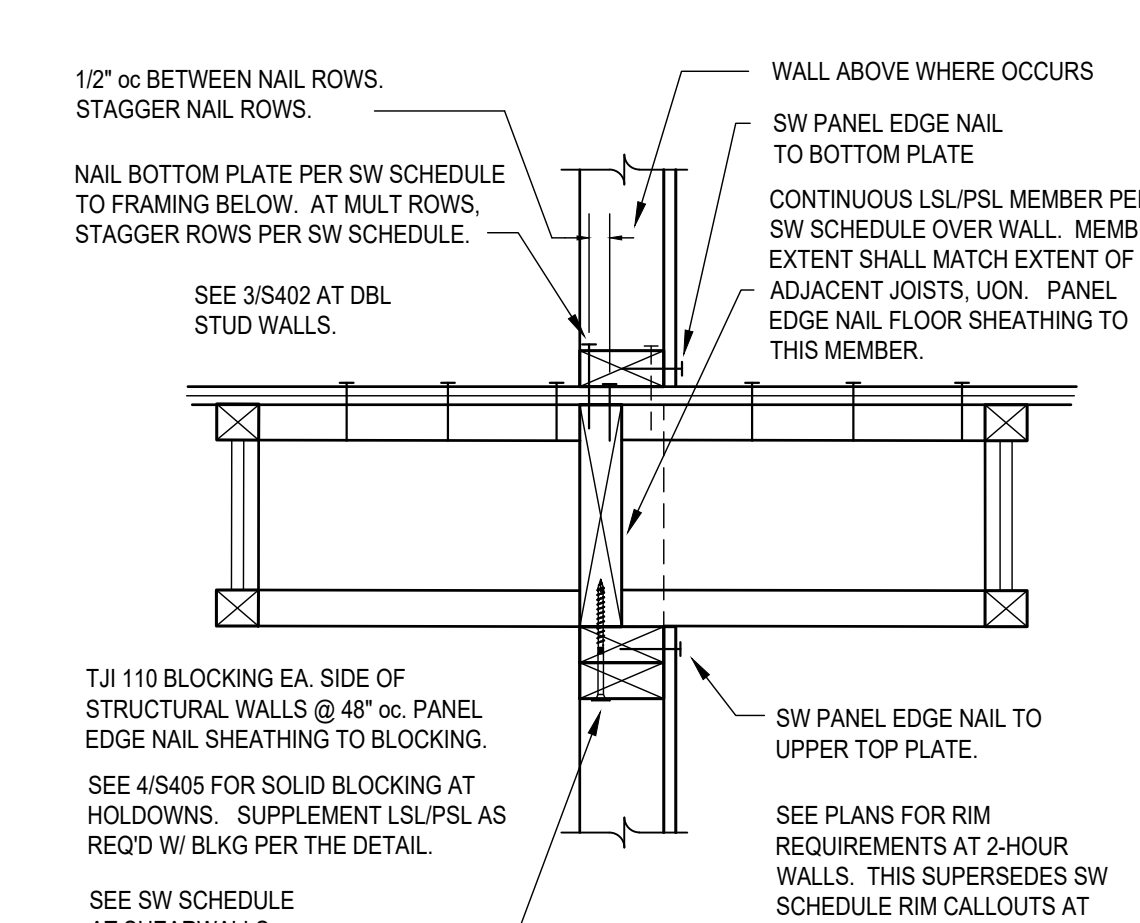
5 I-JOIST PERP TO EXTERIOR WALL



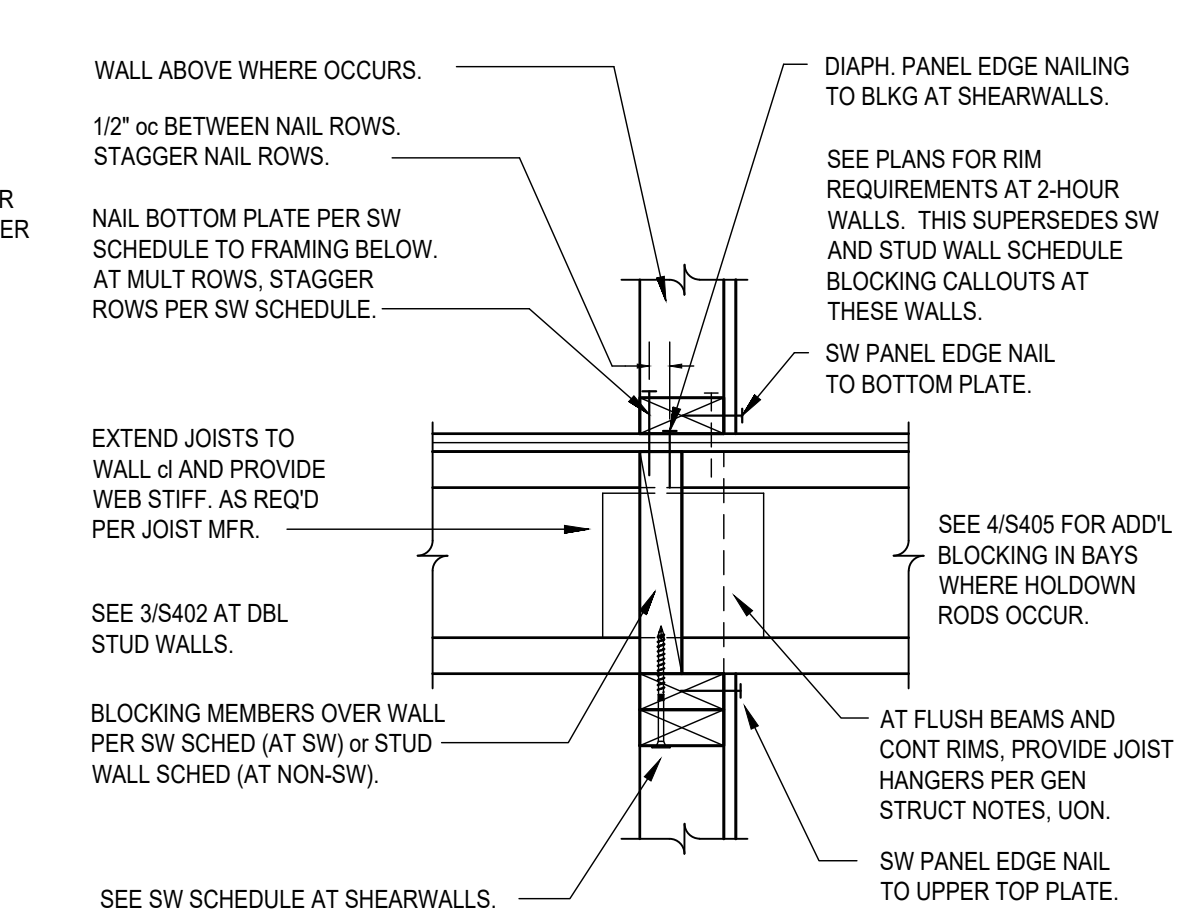
6 SECTIONS AT CORRIDOR WALL



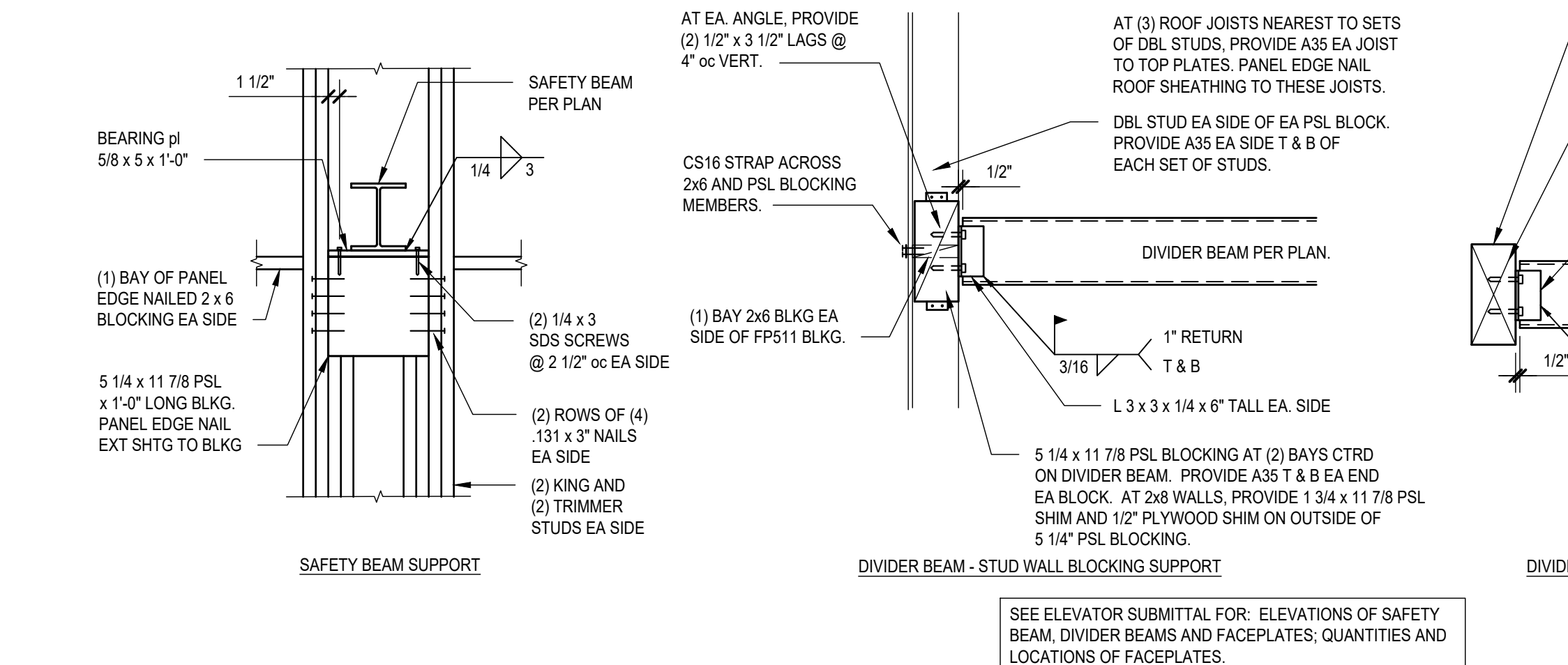
8 I-JOIST TO FLUSH WOOD BEAM



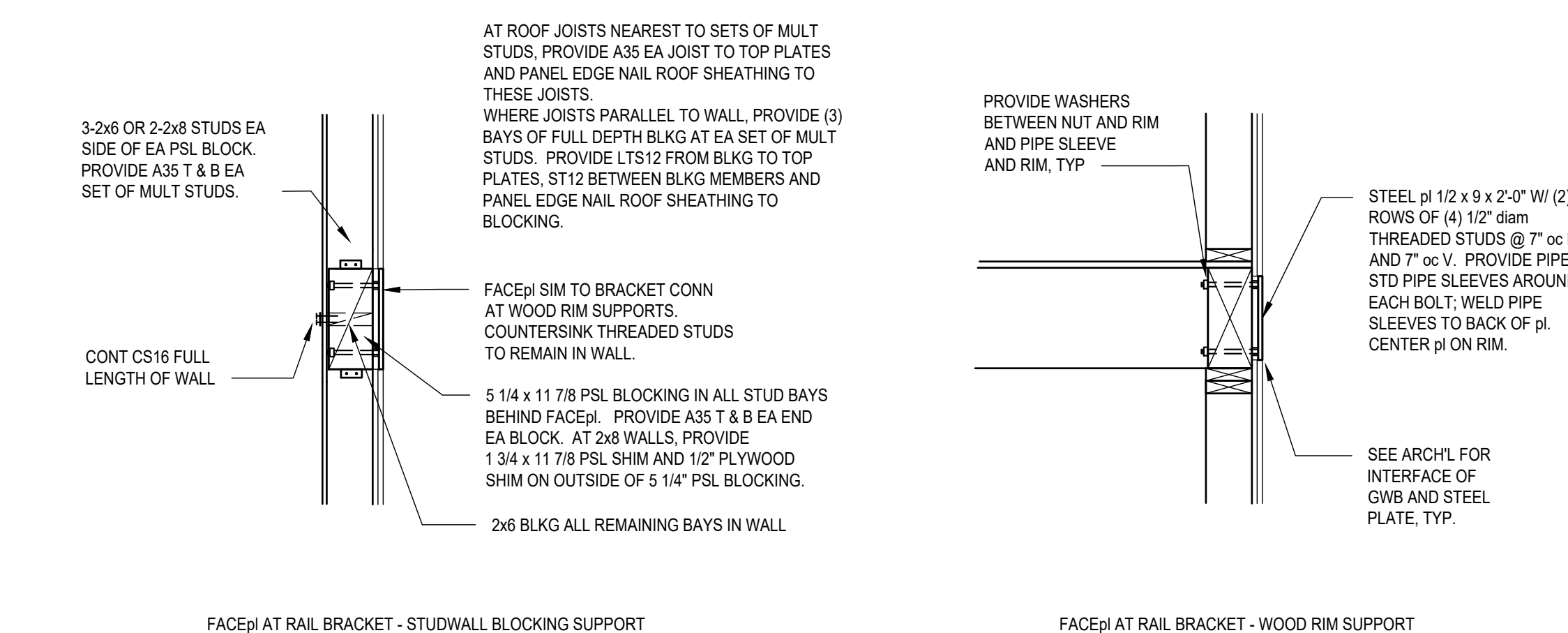
9 I-JOIST PERP TO INTERIOR WALL



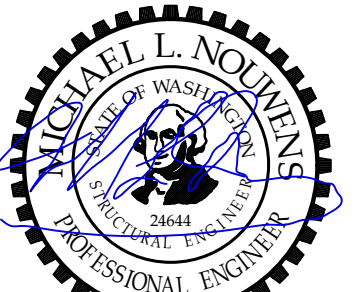
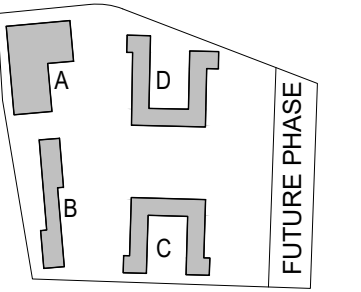
10 I-JOIST PERP TO INTERIOR WALL



14 INTERIOR WOOD STAIR and LANDING FRAMING



16 ELEVATOR DETAILS



MARK	DATE	DESCRIPTION
REVISIONS		

C	06/22/2020	BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
---	------------	---

B	04/10/2020	DESIGN DEVELOPMENT
---	------------	--------------------

A	12/15/2019	SCHEMATIC DESIGN
---	------------	------------------

MARK DATE DESCRIPTION

ISSUE INFORMATION

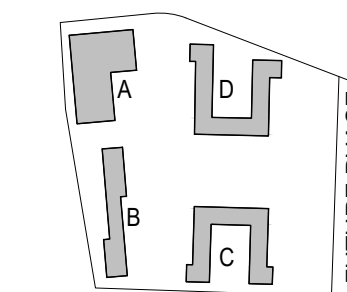
PROJECT NO.:	2017033
PRINCIPAL IN CHARGE:	
PROJECT MANAGER:	Michael Nouwens
OWNER APPROVAL:	

SHEET TITLE
**WOOD FRAMING
DETAILS and
ELEVATOR DETAILS**

SHEET NO.

S-402

BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL



06-22-2020
MICHAEL NOUWENS
Structural Consultants
130 Second Avenue North #921
Edmonds, WA 98020
michael@nouwens-structural.com
www.nouwens-structural.com
P 206.546.8446

PROJECT:
EHA BAKER HEIGHTS



PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WASHINGTON 98201

MARK	DATE	DESCRIPTION
REVISIONS		

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B	04/10/2020	DESIGN DEVELOPMENT
A	12/15/2019	SCHEMATIC DESIGN
MARK DATE DESCRIPTION		

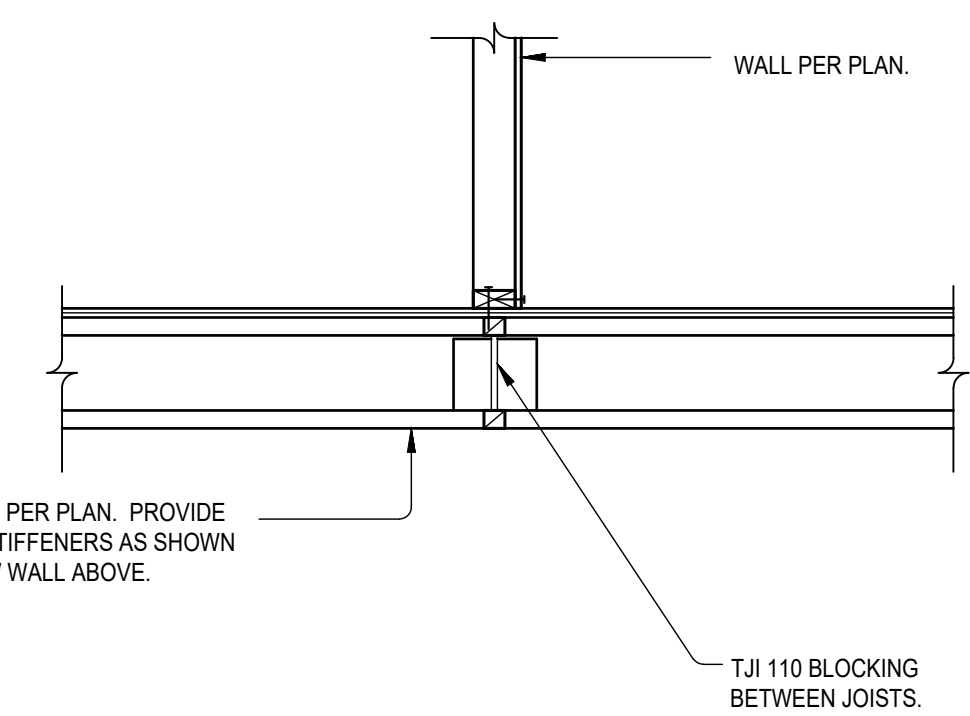
ISSUE INFORMATION

PROJECT NO.: **2017033**
 PRINCIPAL IN CHARGE:
 PROJECT MANAGER: **Michael Nouwens**
 OWNER APPROVAL: _____

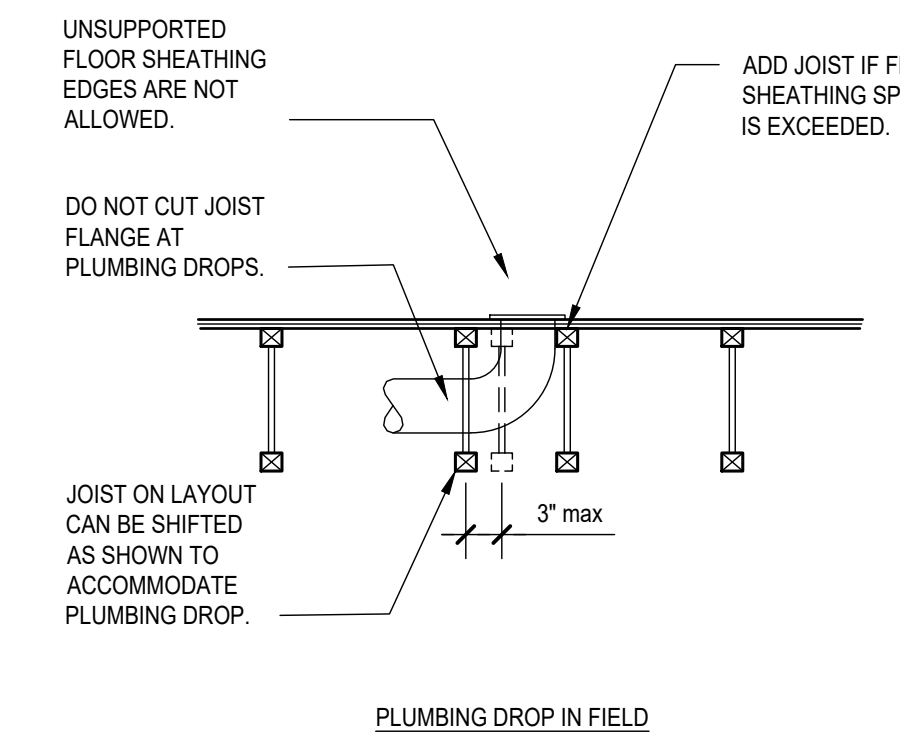
SHEET TITLE
WOOD FRAMING and STEEL FRAMING DETAILS

SHEET NO.
S-403

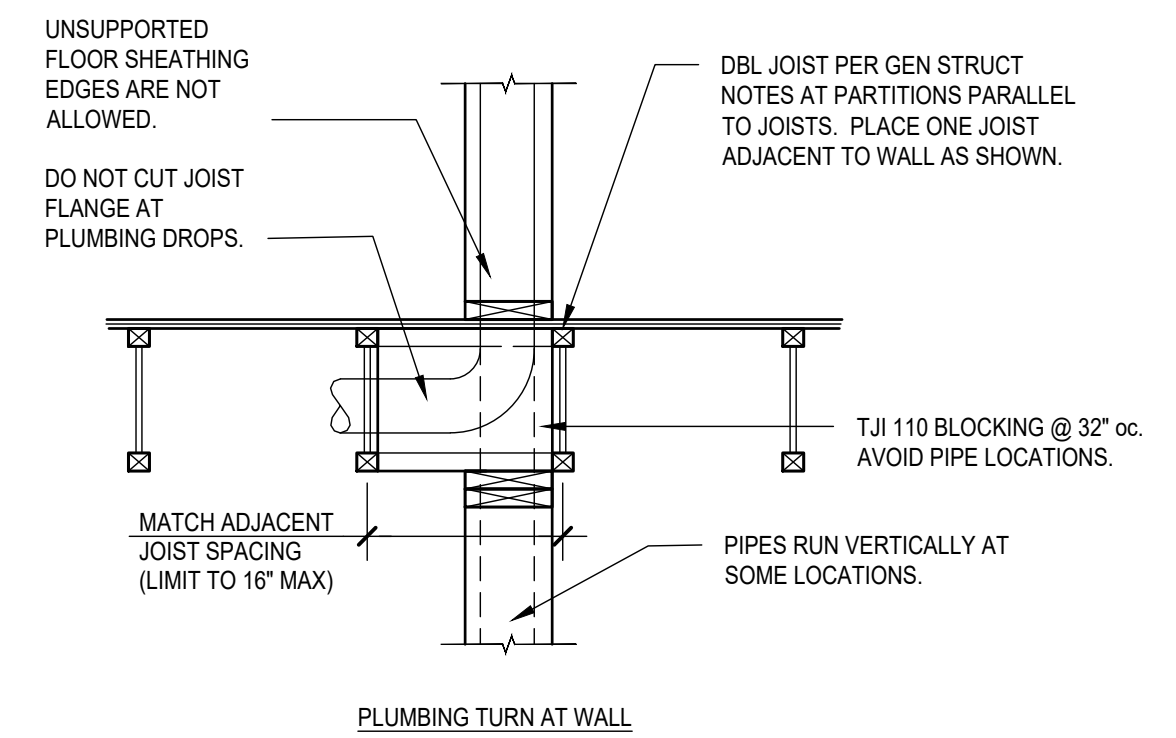
BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL



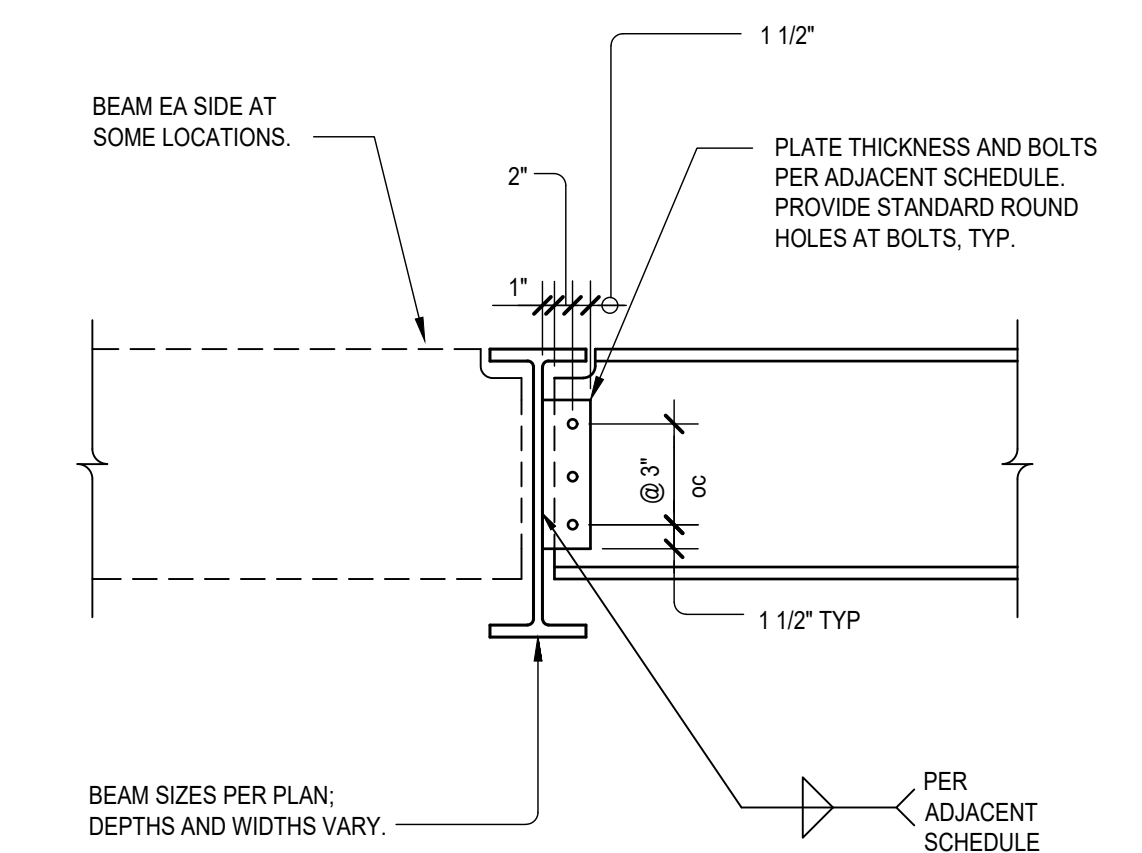
1 DISCONTINUOUS STRUCTURAL STUD WALL



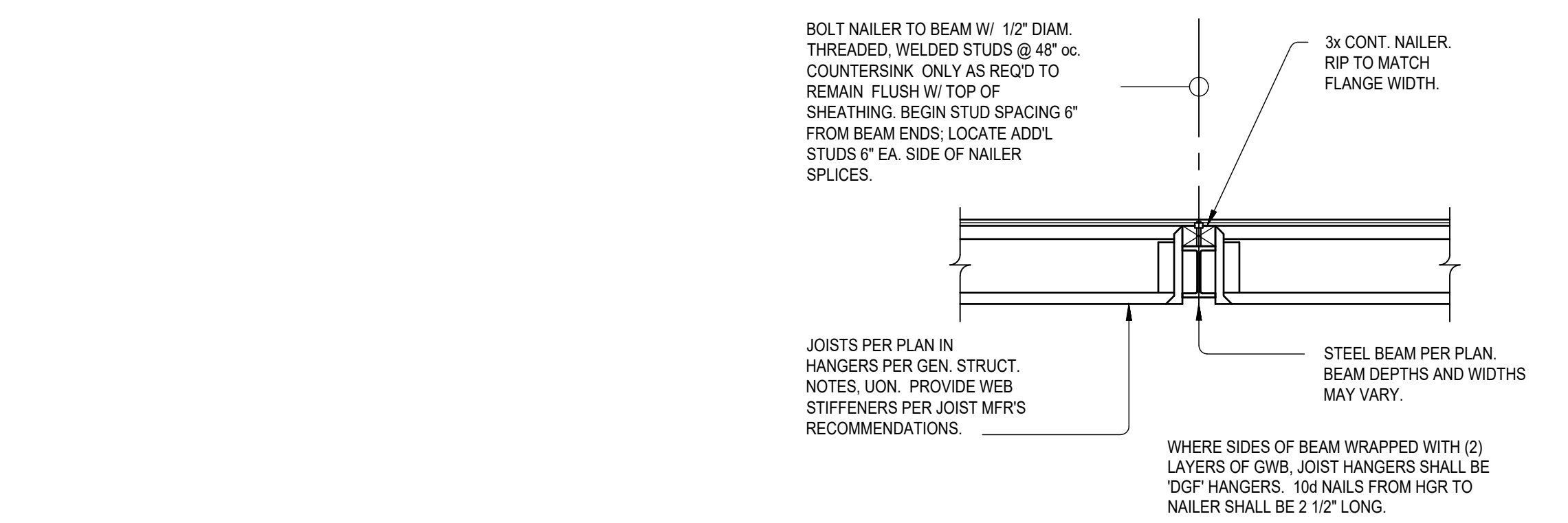
9 JOIST LAYOUT AT PLUMBING DROP



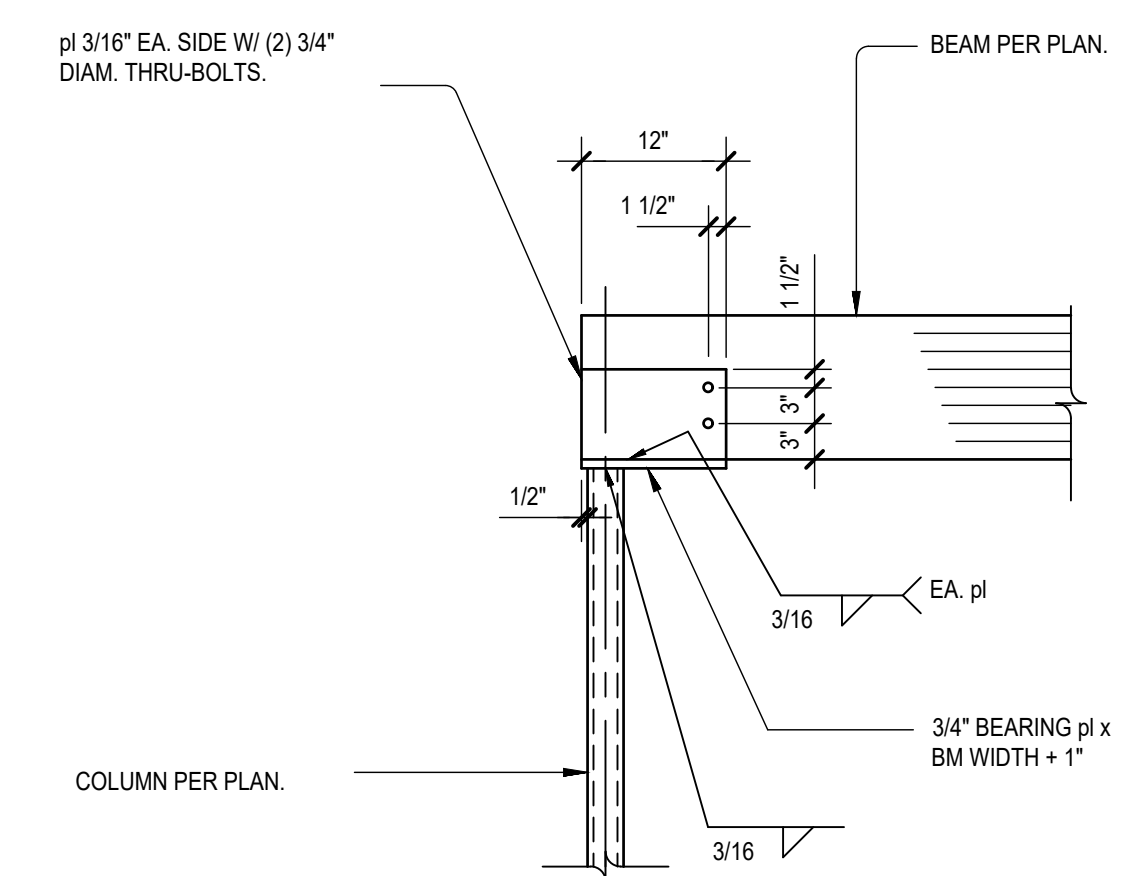
SUPPORTED BEAM SIZE	NO. OF A325N BOLTS	A325-N BOLT SIZE	PLATE THICKNESS	WELD SIZE	CAPACITY (AISC TABLE 10-9a)
W8	2	3/4" diam	1/4"	3/16"	16k
W10	2	3/4" diam	1/4"	3/16"	16k
W12	3	3/4" diam	5/16"	1/4"	31k
W14	3	3/4" diam	5/16"	1/4"	31k
W16	4	3/4" diam	3/8"	1/4"	42k
W18	5	3/4" diam	3/8"	1/4"	53k



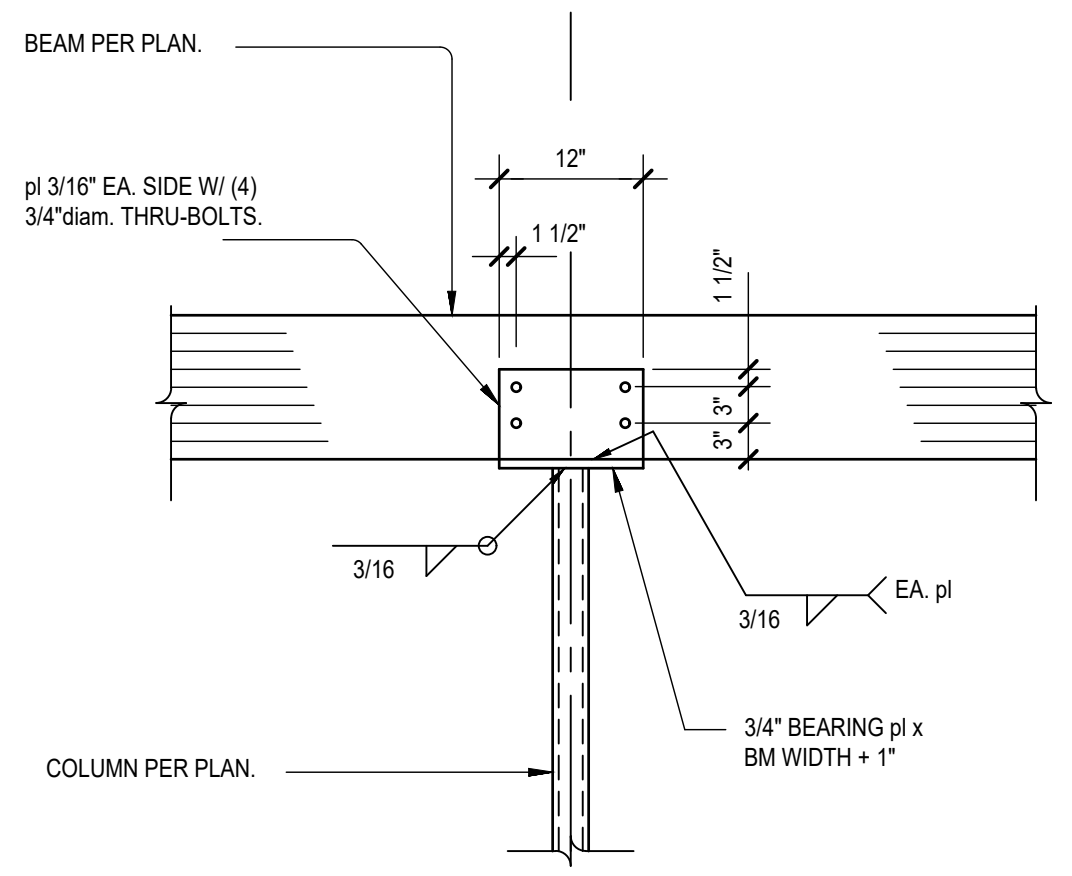
11 STEEL BEAM TO STEEL BEAM



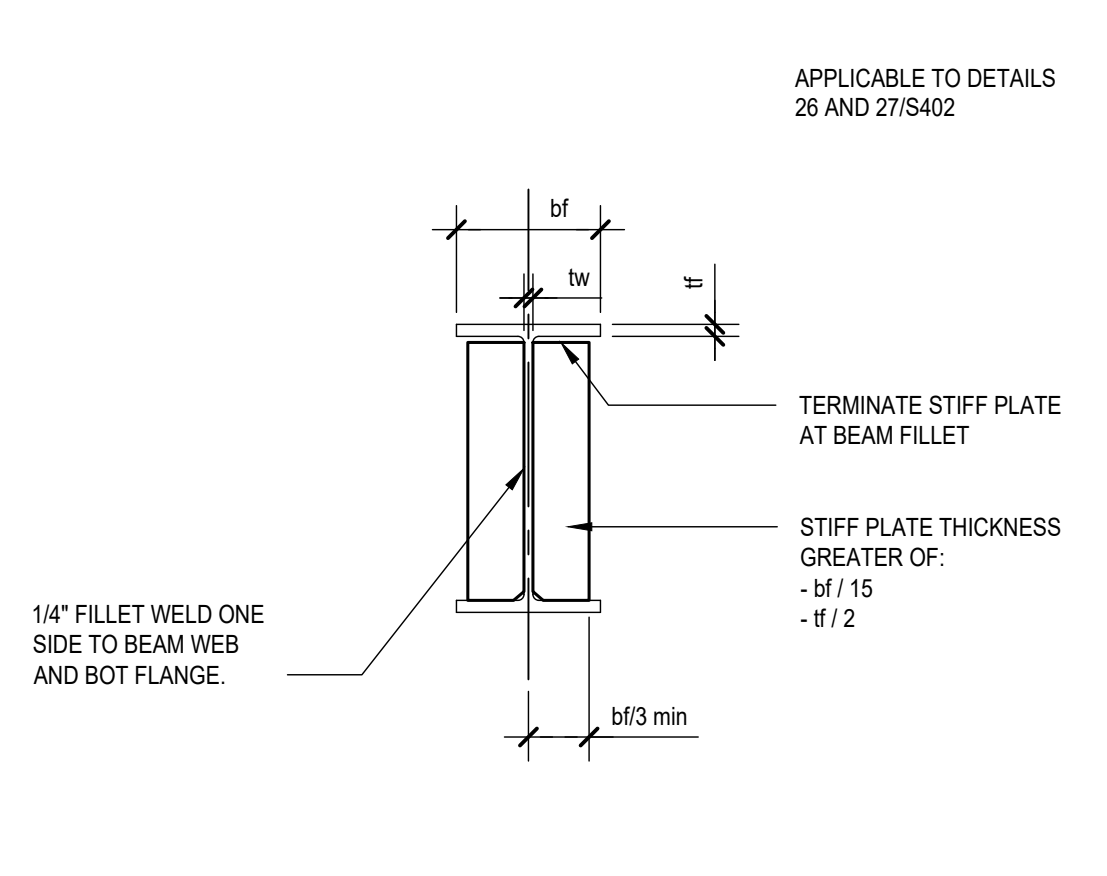
15 I-JOIST TO STEEL BEAM



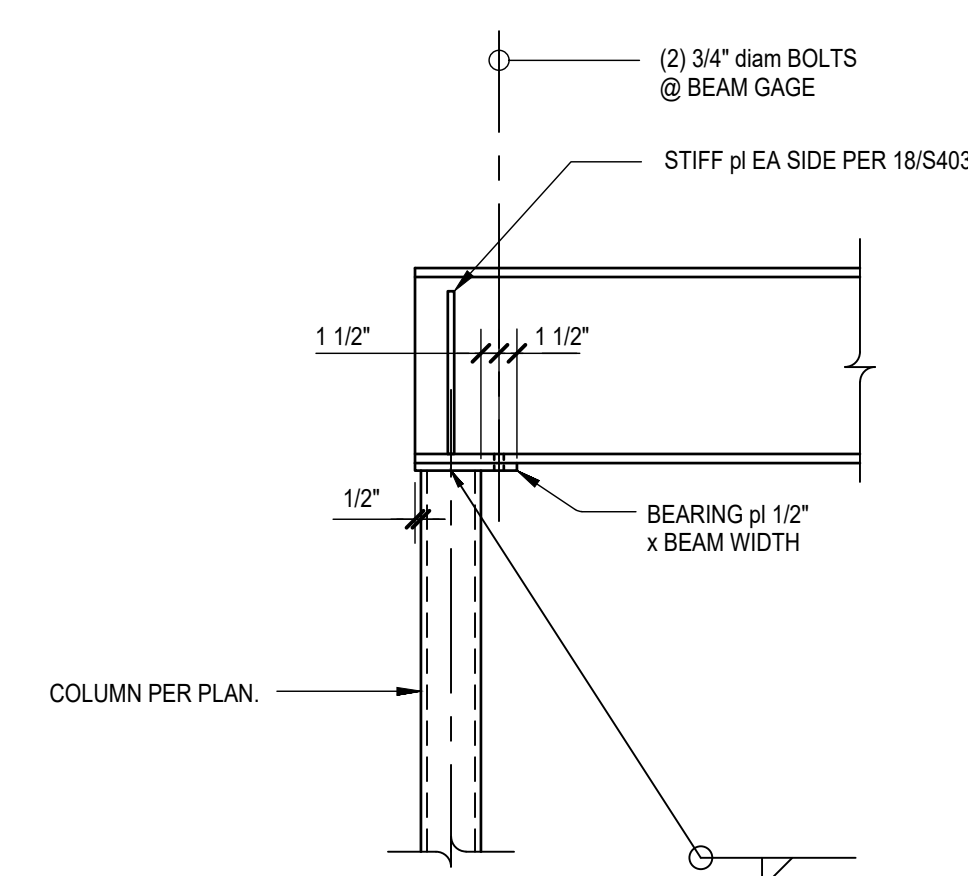
16 END OF WOOD BEAM TO HSS COLUMN



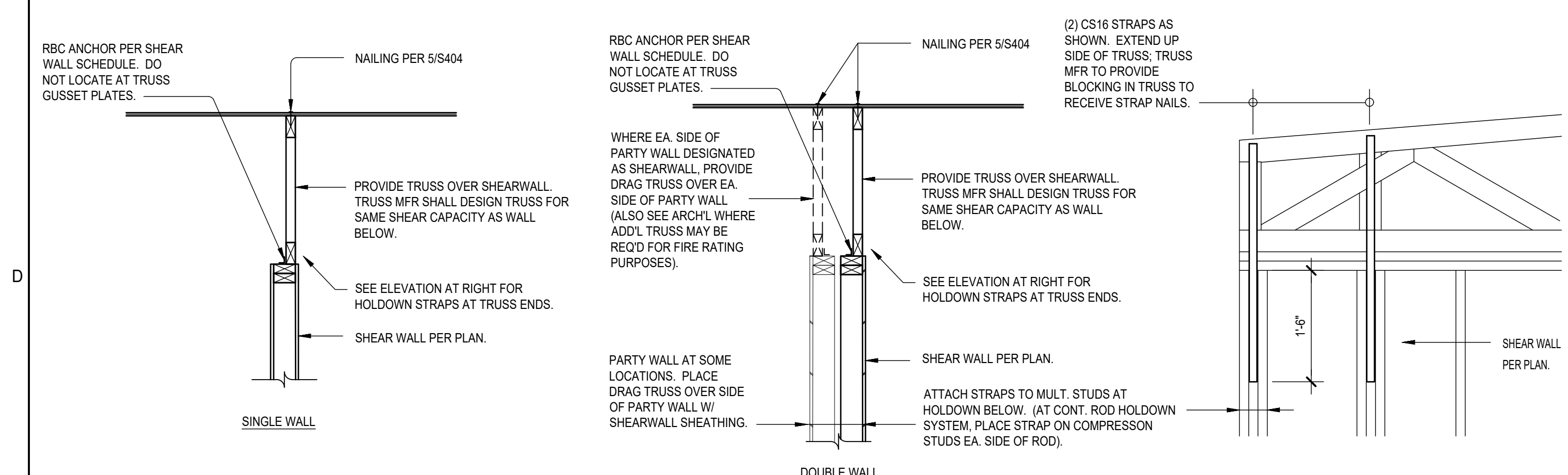
17 CONT WOOD BEAM TO HSS COLUMN



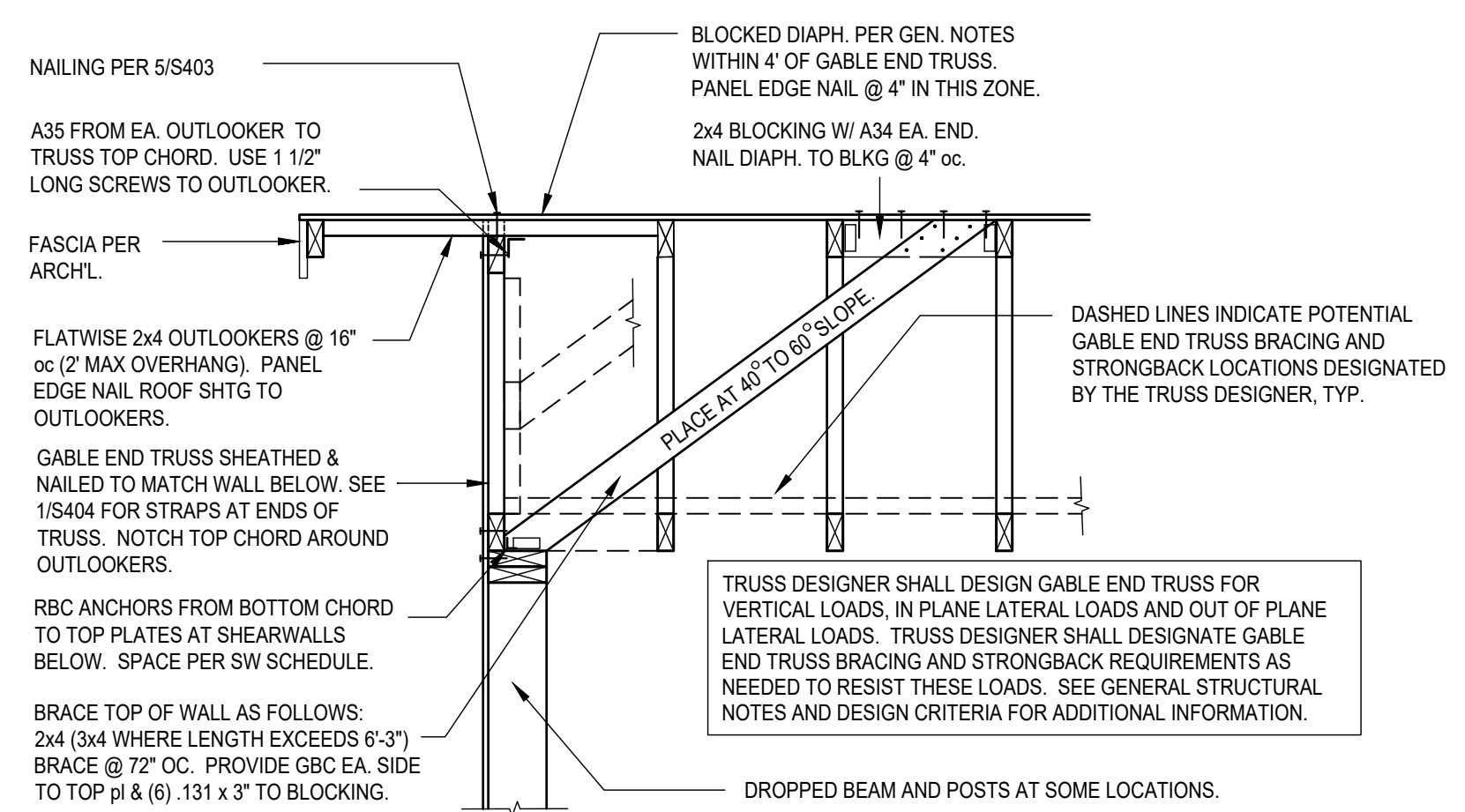
18 STEEL BEAM STIFFENER PLATE DIMENSIONS



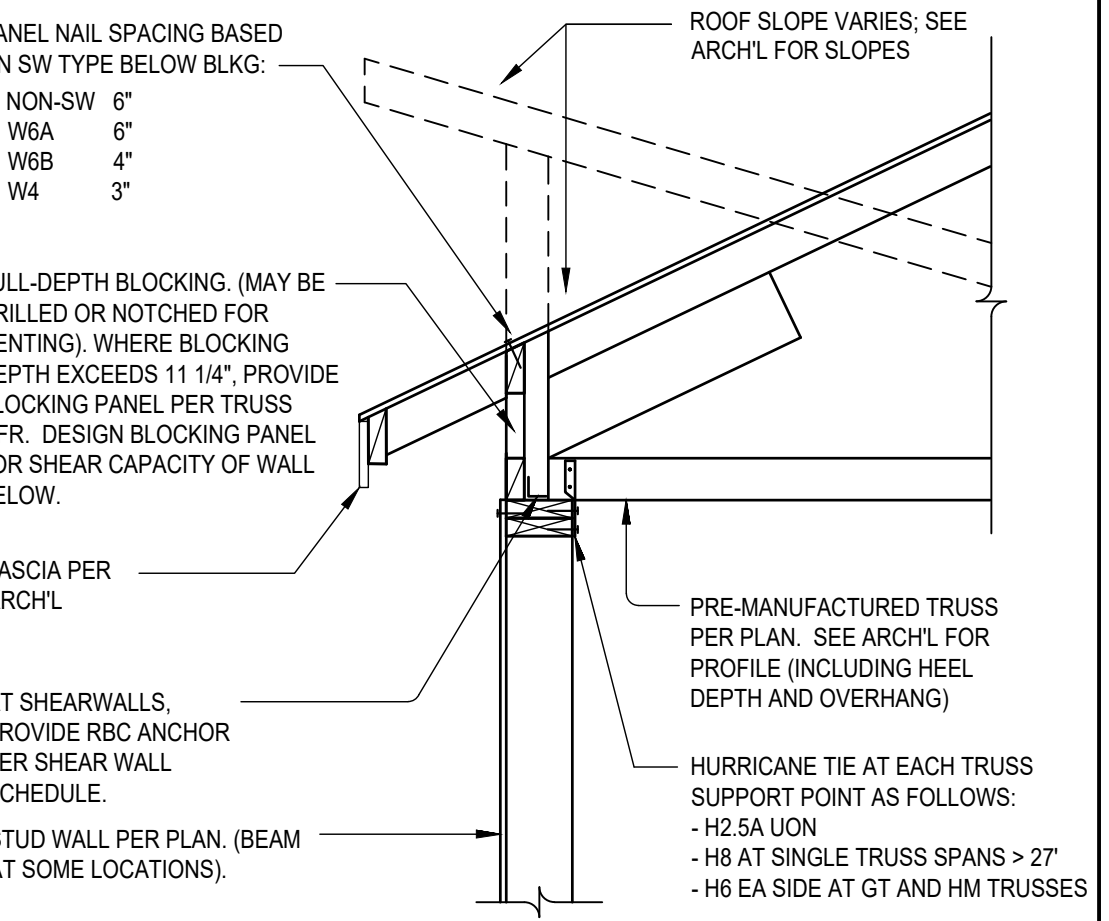
19 END OF STEEL BEAM TO HSS COLUMN



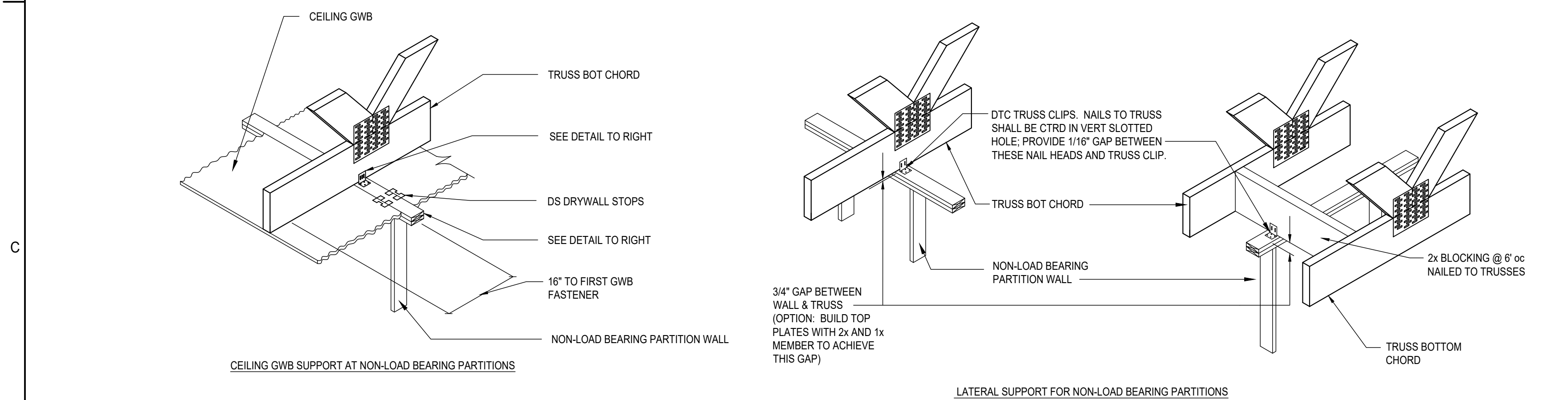
1 ROOF DRAG TRUSS TO PARALLEL SHEARWALL



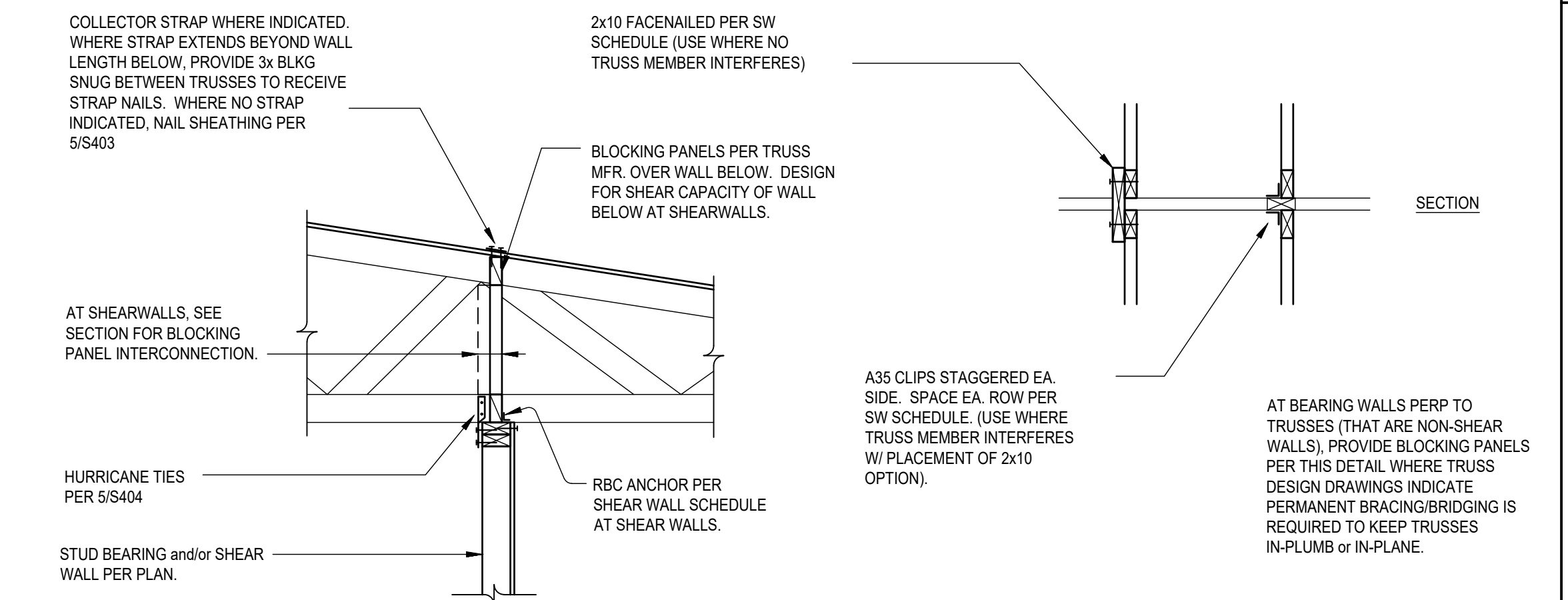
4 ROOF TRUSS PARALLEL TO EXTERIOR WALL



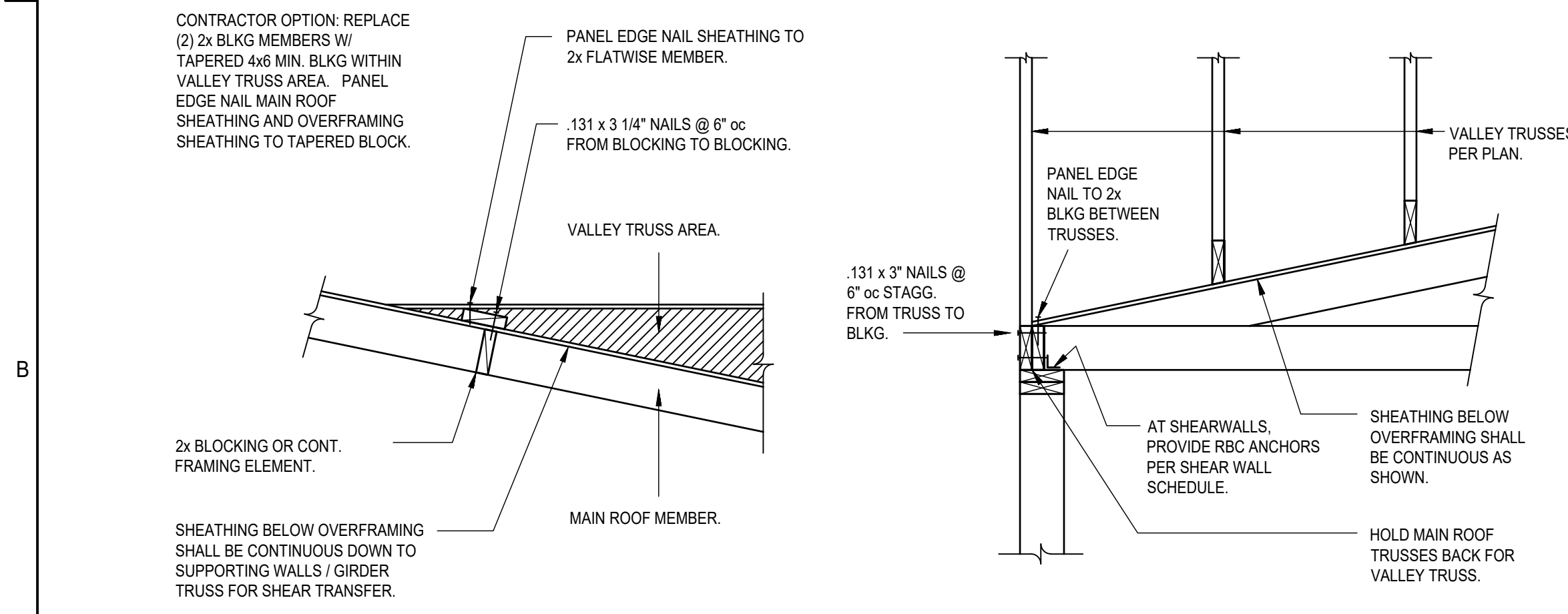
5 ROOF TRUSS PERP TO EXT WALL



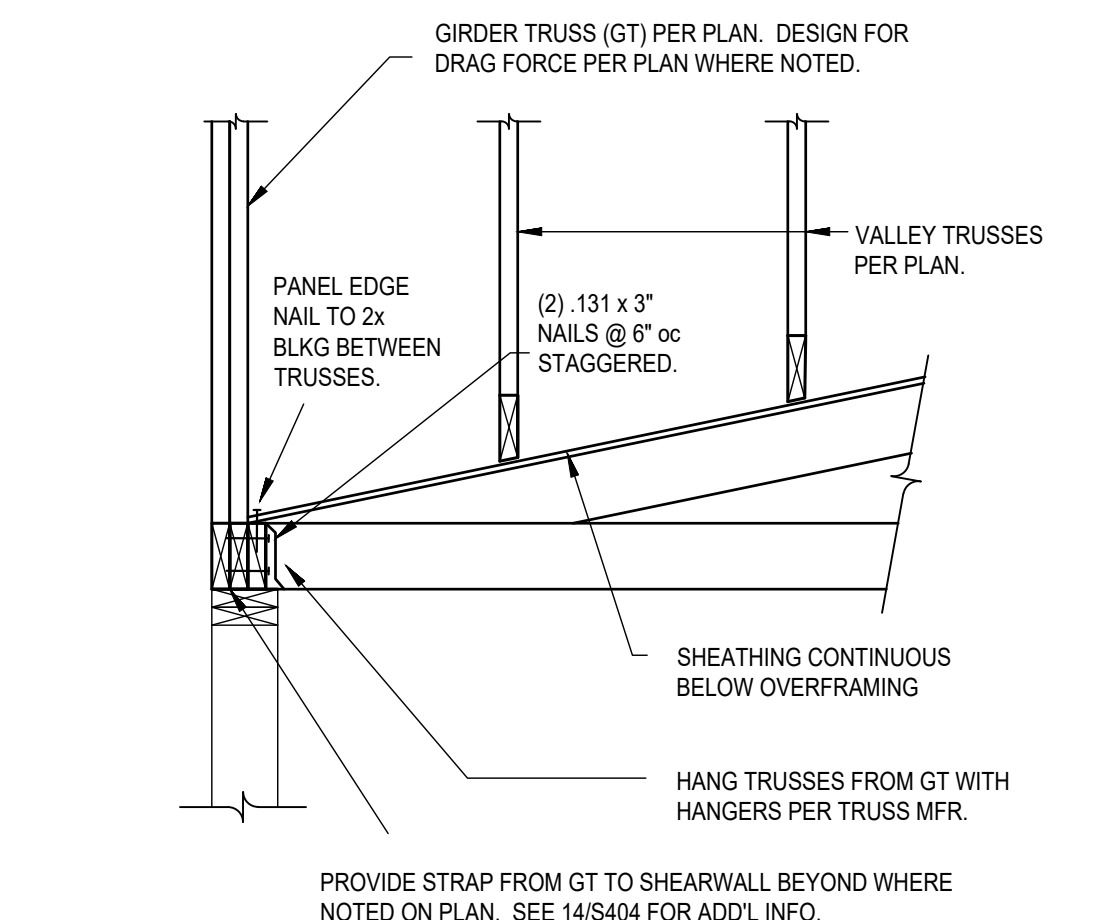
6 ROOF TRUSS TO NON-STRUCTURAL WALL



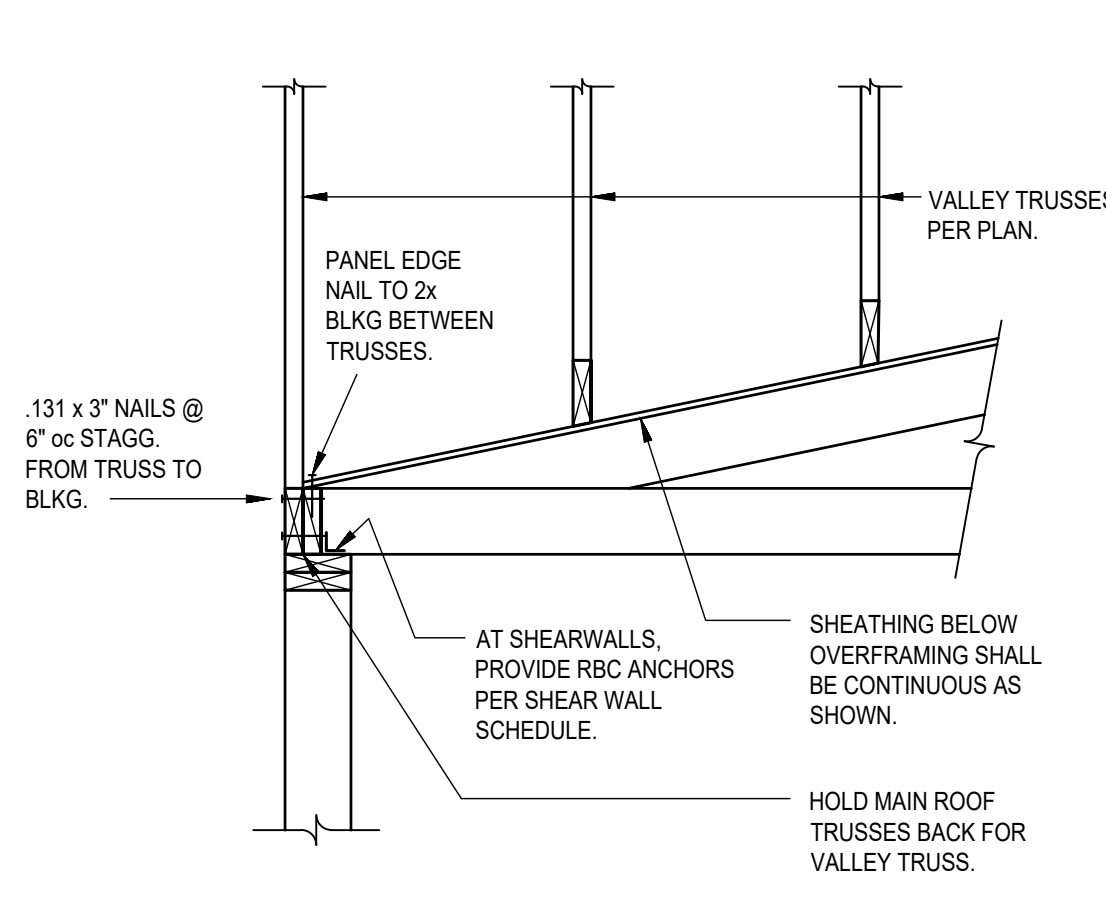
9 ROOF TRUSS PERP TO INTERIOR WALL



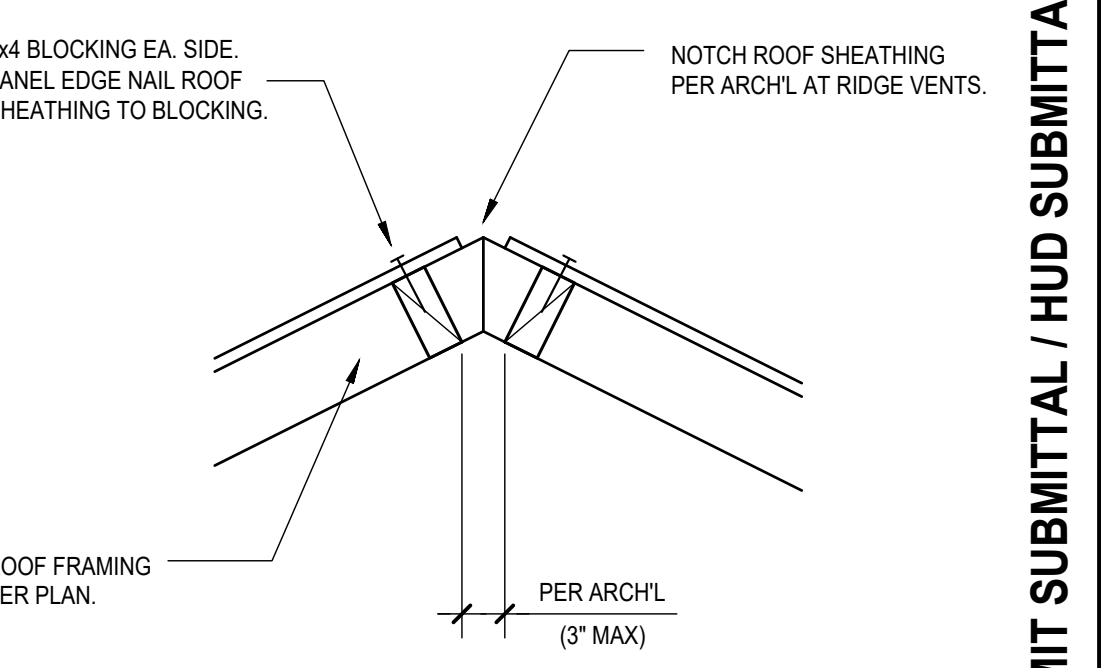
11 VALLEY TRUSSES - TOP EDGE



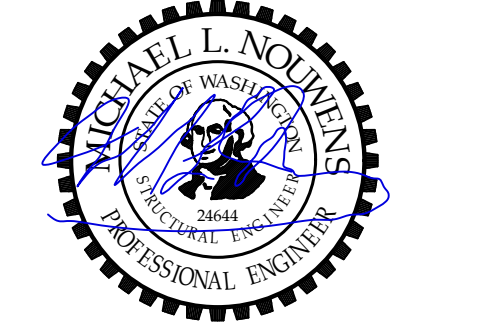
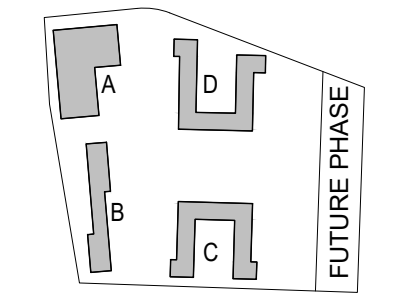
13 VALLEY TRUSSES - GIRDER TRUSS



12 VALLEY TRUSSES - BOTTOM EDGE



20 BLOCKING AT RIDGE VENTS



06-22-2020
MICHAEL NOUWENS
Structural Consultants
130 Second Avenue North #921
Edmonds, WA 98020
michael@nouwens-structural.com
www.nouwens-structural.com
P 206.546.8446

PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
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REVISIONS		

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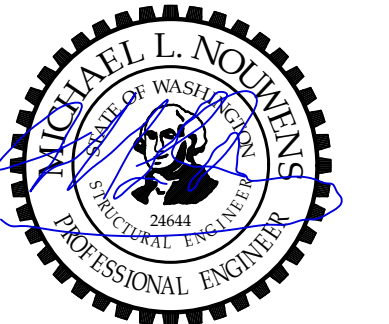
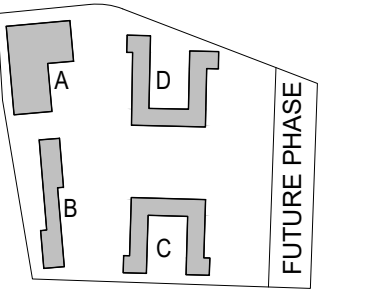
MARK DATE DESCRIPTION
ISSUE INFORMATION

PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE:
PROJECT MANAGER: **Michael Nouwens**
OWNER APPROVAL:

SHEET TITLE
ROOF FRAMING DETAILS

SHEET NO.
S-404

BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL



06-22-2020

MICHAEL NOUWENS
Structural Consultants
130 Second Avenue North #921
Edmonds, WA 98020
michael@nouwens-structural.com
www.nouwens-structural.com
P 206.546.8446

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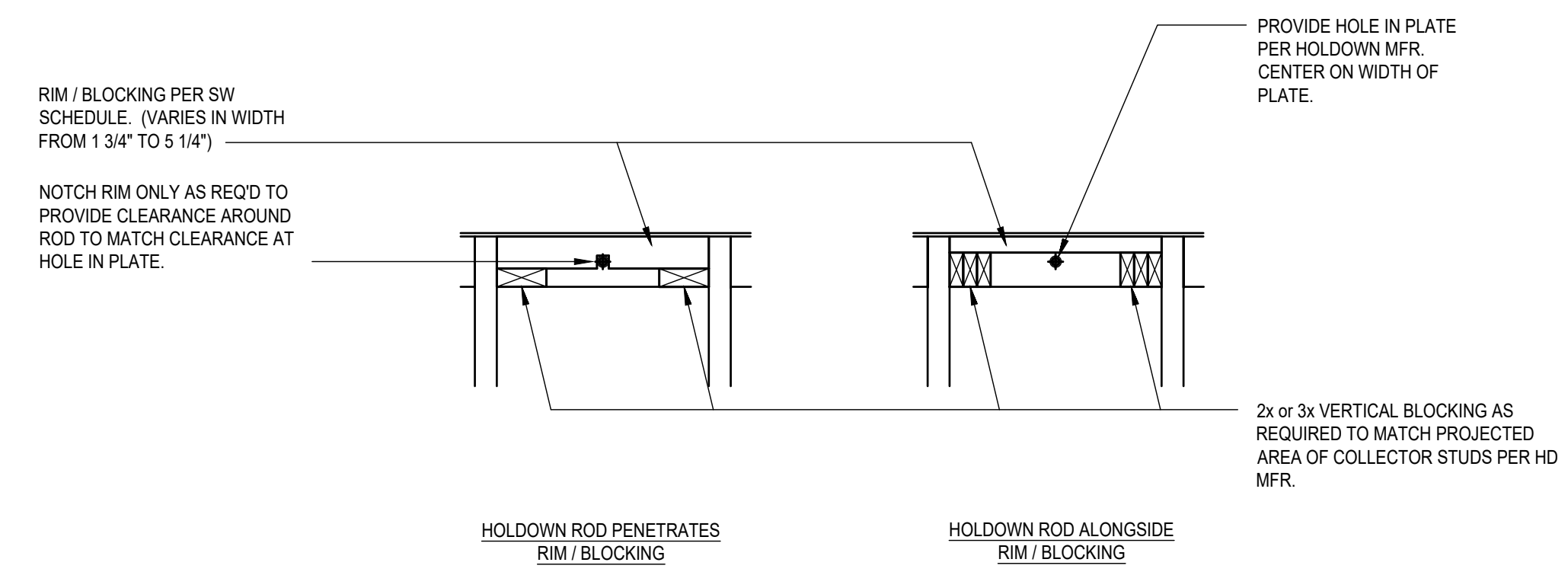
PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE:
PROJECT MANAGER: **Michael Nouwens**
OWNER APPROVAL:

SHEET TITLE
CONTINUOUS ROD HOLDDOWN DETAILS

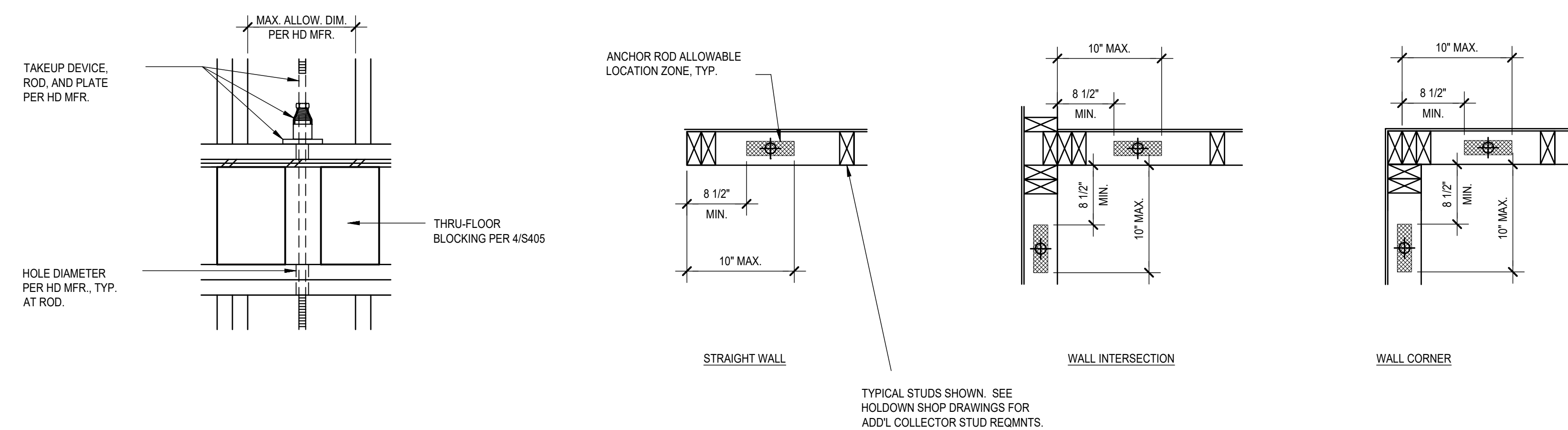
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S-405

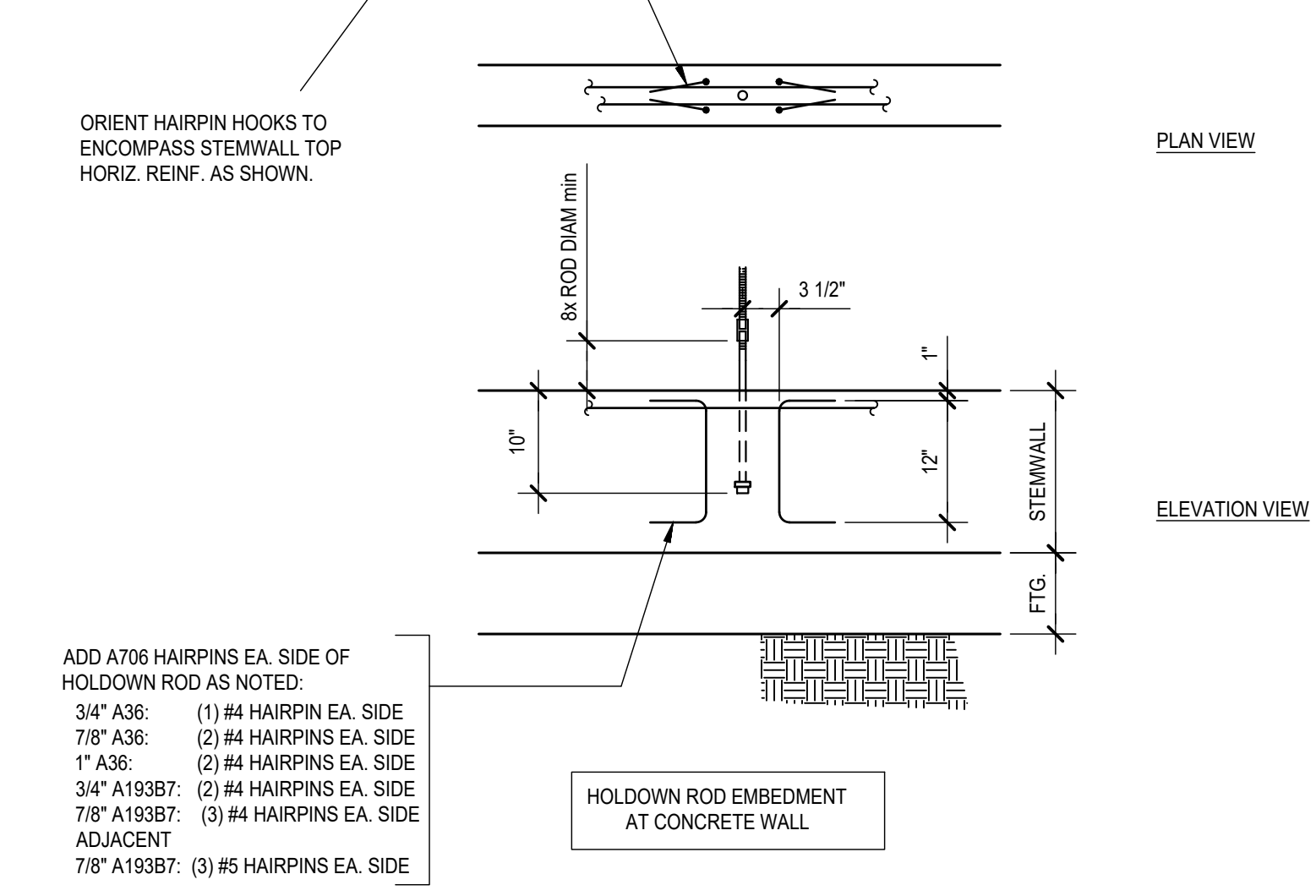
BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL



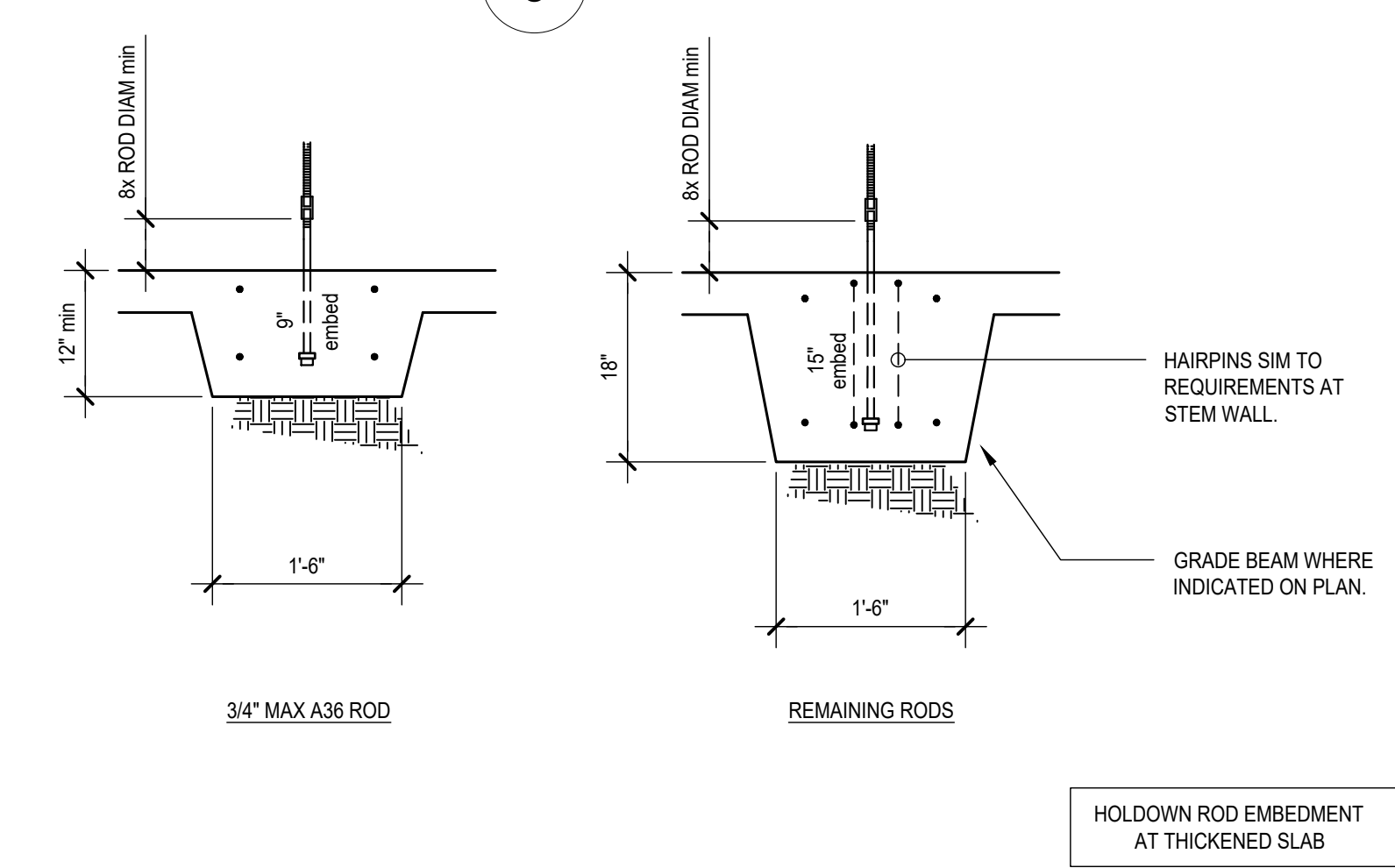
4 CONT ROD HOLDOWN - THRU FLOOR BLOCKING



9 CONT ROD HOLDOWN - ANCHOR ROD PLACEMENT PLAN

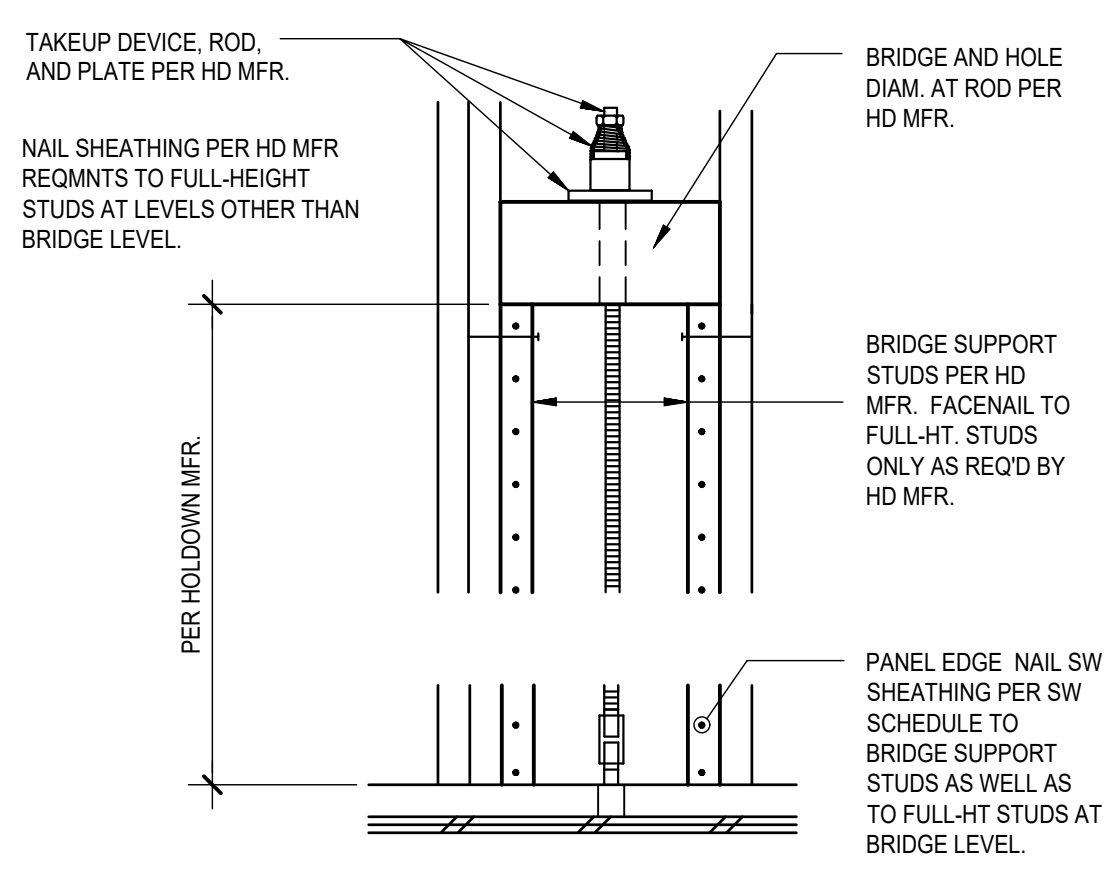


8 CONT ROD HOLDOWN - TAKEUP DEVICE



12 CONT ROD HOLDOWN - ANCHORAGE TO CONCRETE

11 CONT ROD HOLDOWN - BRIDGE



16 CONT ROD HOLDOWN - ROD PLUMBNESS

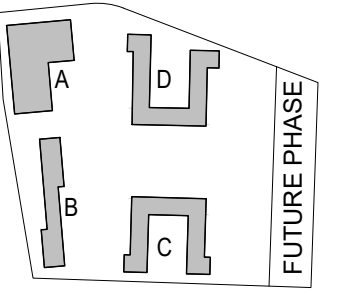
18 CONTINUOUS ROD HOLDOWN TABLE

RUN TYPE	1A		1B		2A		2B		3A		3B		3C		3D		4A		4B		4C		4D			
	tension	compression	tension	compression	tension	compression	tension	compression	tension	compression	tension	compression	tension	compression	tension	compression	tension	compression	tension	compression	tension	compression	tension	compression		
LEVEL 4	-	-	-	-	-	-	-	-	-	-	-	-	-	-	4,700 lb	4,700 lb	2,400 lb	2,400 lb	2,500 lb	2,500 lb	3,200 lb	3,200 lb	4,300 lb	4,300 lb		
LEVEL 3	-	-	-	-	-	-	-	-	3,700 lb	3,700 lb	4,700 lb	4,700 lb	4,300 lb	4,300 lb	8,600 lb	10,300 lb	3,900 lb	5,000 lb	5,500 lb	5,500 lb	7,000 lb	7,000 lb	9,600 lb	9,600 lb		
LEVEL 2	-	-	-	-	3,500 lb	3,500 lb	4,600 lb	4,600 lb	6,000 lb	7,700 lb	8,600 lb	10,300 lb	9,400 lb	9,400 lb	13,600 lb	17,000 lb	6,700 lb	8,900 lb	9,500 lb	9,500 lb	12,200 lb	12,200 lb	16,300 lb	16,300 lb		
LEVEL 1	6,700 lb	7,100 lb	13,600 lb	18,200 lb	6,700 lb	7,100 lb	9,800 lb	9,800 lb	9,200 lb	12,600 lb	13,600 lb	17,000 lb	15,500 lb	15,500 lb	-	-	11,400 lb	14,700 lb	20,400 lb *	20,400 lb *	15,700 lb	15,700 lb	19,800 lb	19,800 lb	26,600 lb	26,600 lb
ANCHOR ROD DIAMETER	3/4" A36		7/8" A36		3/4" A36		3/4" A36		3/4" A36		7/8" A36		1" A36		7/8" A36		7/8" A36		1" A36		3/4" A193B7		7/8" A193B7			
ANCHOR PLATE SIZE	1/2 x 1.5 x 1.5		3/4 x 2 x 2		1/2 x 1.5 x 1.5		1/2 x 1.5 x 1.5		1/2 x 1.5 x 1.5		3/4 x 2 x 2		3/4 x 2 x 2		3/4 x 2 x 2		3/4 x 2 x 2		3/4 x 2 x 2		3/4 x 2 x 2		7/8 x 2.5 x 2.5			

* VALUES APPLY TO BLDG A, GRID A1. VALUES ARE STRENGTH LEVEL AND INCLUDE OMEGA OVERSTRENGTH FACTOR.

SEE DETAILS ON THIS SHEET FOR CONTINUOUS ROD HOLDOWN SYSTEM INFORMATION

- TOTAL HOLDOWN SYSTEM ELONGATION SHALL BE LIMITED TO 0.20" BETWEEN RESTRAINTS (RESTRAINTS PROVIDED AT EVERY LEVEL).
- ANCHOR RODS SHALL BE GALVANIZED PER GENERAL STRUCTURAL NOTES.



06-22-2020

MICHAEL NOUWENS
Structural Consultants
130 Second Avenue North #921
Edmonds, WA 98020
michael@nouwens-structural.com
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PROJECT:

EHA BAKER HEIGHTS



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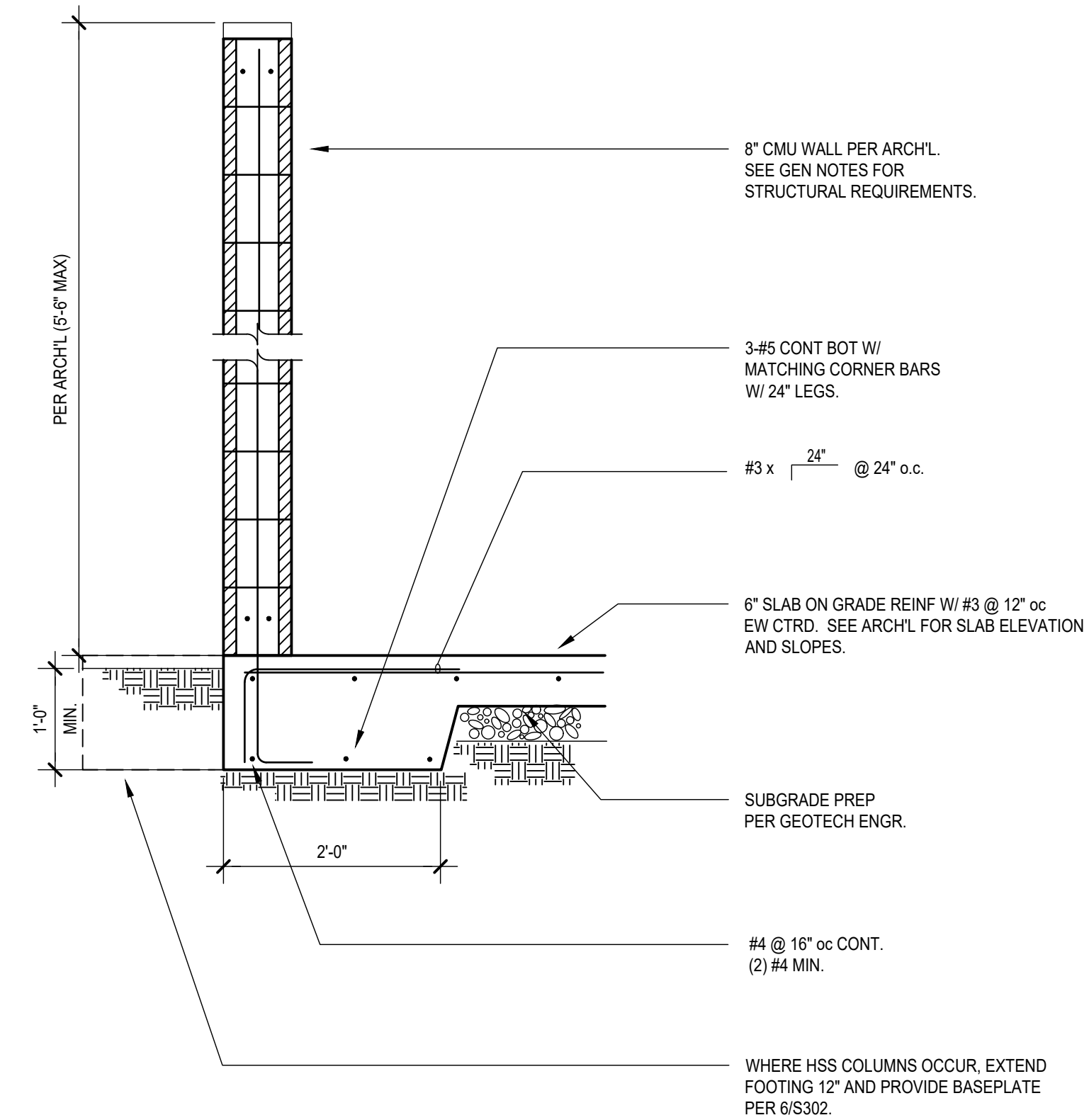
ISSUE INFORMATION

PROJECT NO.: **2017033**
PRINCIPAL IN CHARGE:
PROJECT MANAGER: **Michael Nouwens**
OWNER APPROVAL:

SHEET TITLE
**TRASH ENCLOSURE
STRUCTURAL DETAILS
AND NOTES**

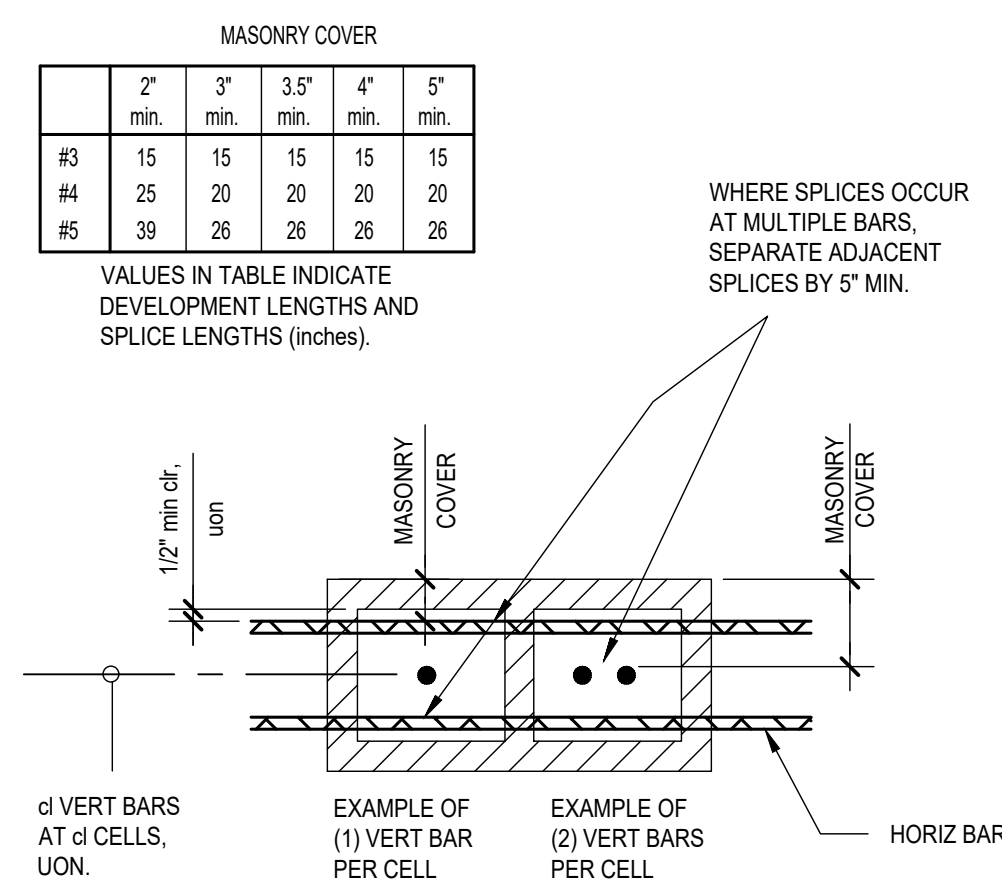
SHEET NO.

S-501



1 THICKENED SLAB FOOTING

3/4" = 1'-0"



2 CMU LAP SPLICES

NTS

MASONRY

CONCRETE MASONRY UNIT WALLS SHALL BE CONSTRUCTED OF MEDIUM WEIGHT UNITS, CONFORMING TO ASTM C90, LAID IN A RUNNING BOND. LINEAR SHRINKAGE OF UNITS SHALL NOT EXCEED 0.065 PERCENT. UNIT DENSITY SHALL BE 110 pcf MINIMUM. MORTAR SHALL CONFORM TO ASTM C270 PROPERTY SPECIFICATION REQUIREMENTS FOR TYPE S (TYPE N AT INTERIOR NON-PARTICIPATING WALLS) PER TABLE SC-2 OF TMS 602-13. MASONRY CEMENT MORTAR SHALL NOT BE USED. GROUT TYPE SHALL BE COARSE AND SHALL CONFORM TO ASTM C476; REQUIRED COMPRESSIVE STRENGTH OF 2,000 psi SHALL BE MEASURED IN ACCORDANCE WITH ASTM C1019. SEE S104 FOR INSPECTION AND VERIFICATION REQUIREMENTS.

COMPRESSIVE STRENGTH REQUIREMENTS: MASONRY UNITS: 2,000 psi; Fm = 2,000 psi

SPECIFIED Fm VALUES SHALL BE VERIFIED IN ACCORDANCE WITH TMS 602-13 1.4 B.2 UNIT STRENGTH METHOD. CONTRACTOR MAY PROPOSE TO SUBSTITUTE PRISM TEST STRENGTH VERIFICATION METHOD PER TMS 602-13 1.4 B.3 PROVIDING RESPONSIBILITY IS ACCEPTED FOR ANY ADDITIONAL COSTS OR SUBMITTALS TO THE BUILDING DEPARTMENT.

WALL REINFORCING SHALL BE AS FOLLOWS:

8" WALLS #5 @ 48" oc V (2) #4 @ 48" oc H

AT ALL WALLS, PROVIDE (2) ADDITIONAL VERTICAL BARS AT EACH SIDE OF OPENINGS, AT WALL CORNERS AND INTERSECTIONS AND AT FREE ENDS OF WALLS AND (2) ADDITIONAL HORIZONTAL BARS AT TOPS AND BOTTOMS OF WALLS AND ABOVE AND BELOW ALL OPENINGS. ALL HORIZONTAL REINFORCEMENT SHALL BE PLACED IN BOND BEAMS. EXTEND HORIZONTAL REINFORCEMENT ABOVE AND BELOW OPENINGS 40 BAR DIAMETERS (2'-0" MIN) BEYOND FACE OF OPENING. IF 40 BAR DIAMETERS (2'-0" MIN) ARE UNAVAILABLE, EXTEND AS FAR AS POSSIBLE AND HOOK. PROVIDE MATCHING CORNER BARS TO LAP HORIZONTAL REINFORCING AT CORNERS AND INTERSECTIONS. SEE DETAIL 3 FOR REQUIRED LAP LENGTHS AT REINFORCING SPLICES.

PROVIDE GROUT IN ALL CELLS CONTAINING REINFORCEMENT OR EMBEDDED ITEMS AND IN ALL CELLS BELOW GRADE. DO NOT PROVIDE GROUT IN OTHER CELLS, UON. PROVIDE CLEANOUTS IN ACCORDANCE WITH TMS 602-13 SECTION 3.2F.

BETWEEN GROUT POURS, STOP ALL WYTHES AT THE SAME ELEVATION AND FORM A GROUT KEY BY TERMINATING THE GROUT A MINIMUM OF 1 1/2" BELOW A MORTAR JOINT, EXCEPT AT THE TOP OF A WALL.

COLD WEATHER CONSTRUCTION SHALL CONFORM TO TMS 602-13 1.8 C AND HOT WEATHER CONSTRUCTION SHALL CONFORM TO TMS 602-13 1.8 D.

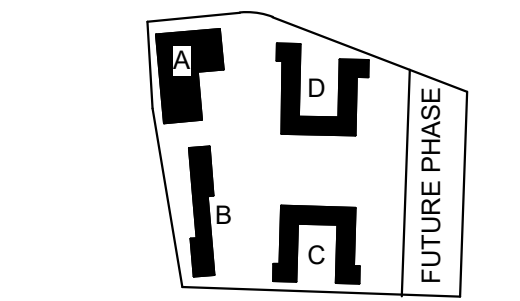
BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

GENERAL SITE PLAN NOTES

1. SITE INFORMATION CONTAINED HEREIN, INCLUDING BUT NOT LIMITED TO, DIMENSIONS AND LOCATIONS OF EXISTING UTILITIES, IS BASED ON THE SURVEY ON SHEET V-201 AND IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THE ARCHITECT TAKES NO RESPONSIBILITY FOR ITS ACCURACY.
2. VERIFY LOCATION OF ALL EXISTING UTILITIES. DO NOT DAMAGE TO OR DISTURB EXISTING UTILITIES.
3. FOR EXISTING INFORMATION SEE SHEET A-XXX.
4. SEE LANDSCAPE PLAN FOR ADDITIONAL INFORMATION NOT ON THIS PLAN.
5. OFF-SITE IMPROVEMENTS



1301 First Avenue, Suite 301
Seattle, WA 98101
http://www.gglo.com



PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
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BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING LEGACY LLLP

EHA - BAKER HEIGHTS: REQUIRED PARKING CALCULATIONS

30% AMI units	no. of units	prkg zone	req'd cars per unit	Total cars req'd	Prkg reduction for 30% AMI or less	Overall total req'd
1BR	20	Outside	1	20	0.5	10
2BR	39	Outside	1.5	58.5	0.5	29.25
3BR	8	Outside	2	16	0.5	8
	67					47.25

60% AMI units	no. of units	prkg zone	req'd cars per unit	Total cars req'd	Prkg reduction for 60% AMI or less	Overall total req'd
1BR	21	Outside	1	21	0.65	13.65
2BR	15	Outside	1.5	22.5	0.65	14.625
3BR	2	Outside	2	4	0.65	2.6
	38					30.875

Residential Required Stalls		
Resid at 30%	67	47.25
Resid at 60%	38	30.875
	105 units	78
ECEAP Required Stalls		3
Office Required Stalls		3
Max. Motorcycle Reduction		-4
Max. Bicycle Reduction		-4
		76
Total Required Stalls		76

PARKING SCHEDULE

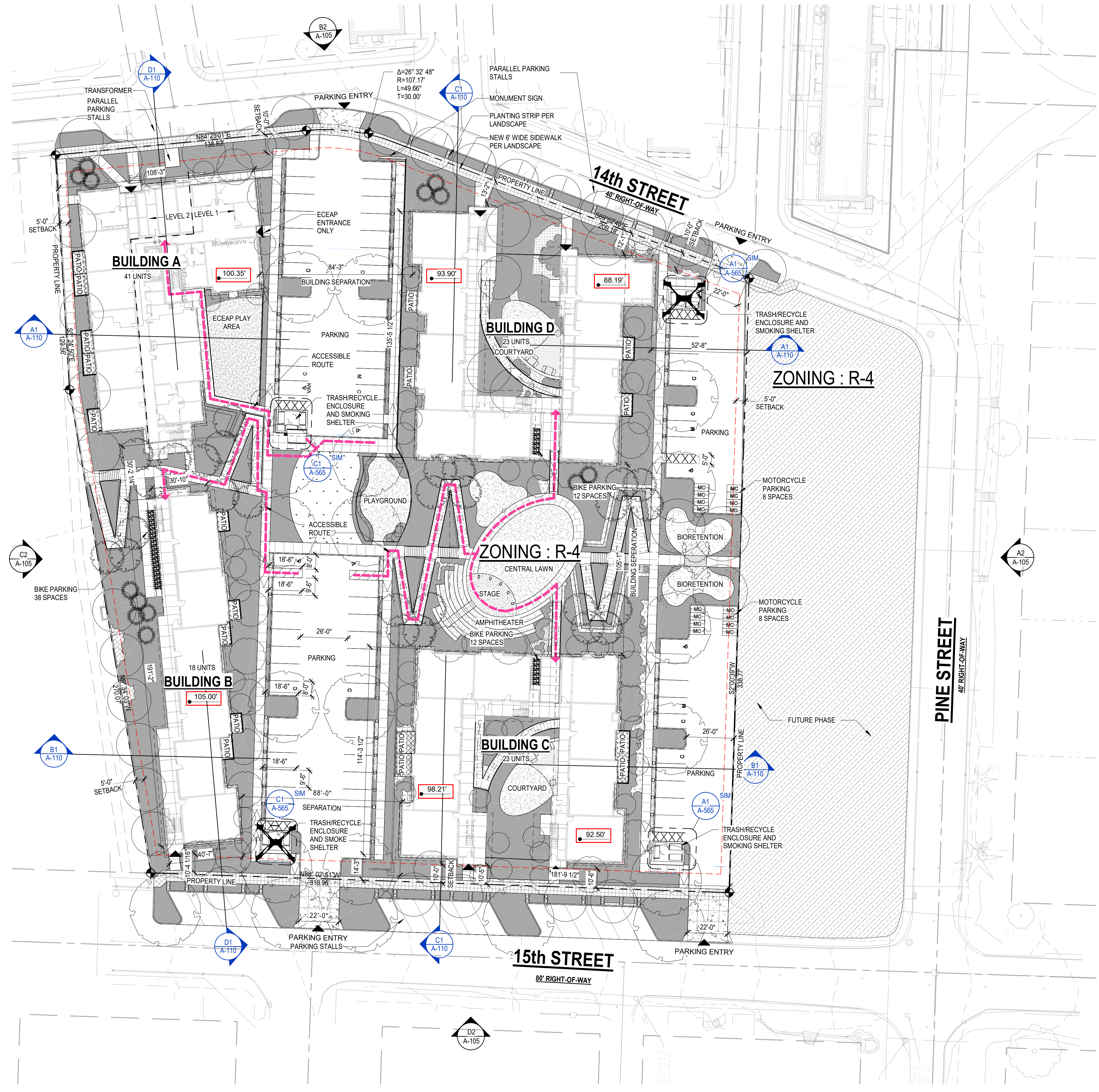
TYPE	STALL COUNT	% STALLS
EVERETT - 8' STALL (COMPACT)	11	12%
EVERETT - 8' STALL ADA VAN	1	1%
EVERETT - 9' STALL (MEDIUM)	3	3%
EVERETT - 9.5' STALL (LARGE)	57	61%
EVERETT - 9.5' STALL (LARGE) ADA	5	5%
EVERETT - MOTORCYCLE STALL	16	17%
TOTAL	93	100%

BIKE PARKING SCHEDULE

BUILDING LOCATION	STALL COUNT
BUILDING B	38
BUILDING C	12
BUILDING D	12
TOTAL	64

Zone standards	R-4 req'd	Notes	Proposed
Min Lot Area	5000 sq ft		138,250 sq ft
Min Required setback:			
Front	10'		10'-2" MIN
Rear	20'		N/A
Side (street)	10'		N/A
Side (interior)	5'	S	10'
Lot width min	50'		318'-11"
Lot depth min	80'		338'-0"
Max lot coverage by building	N/A		
Max building height	60'	B	42'-0 1/2"
Landscape category	A	10	A

- Notes:
- (5) Minimum setback for multiple-family dwellings shall be twenty-five feet when abutting R-5 or R-1 zones, and fifteen feet when abutting R-2 zones. For unit lot subdivisions allowed under Chapter 19.15A, the minimum interior side setback from the exterior property boundary of the parent lot shall be twenty feet. Building setbacks for buildings which are permitted to exceed thirty-five feet in height shall be an additional five feet for each ten feet or fraction thereof by which the building exceeds thirty-five feet in height for only those portions of the building which exceed thirty-five feet in height.
 - (6) Twenty-eight feet for any portion of building within fifty feet of lots located in the R-5, R-1, R-2, R-1(A), or R-2(A) zones. In the R-4 and R-5 zones, forty-five feet when located at least fifty feet but less than two hundred feet from lots located in the R-5, R-1, R-2, R-1(A) or R-2(A) zones.
 - (10) Landscape Category B for permitted nonresidential uses; Landscape Category E for single-family detached or two-family (duplex) dwellings.



A1 OVERALL SITE PLAN - PROPOSED
1" = 30'-0"



BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

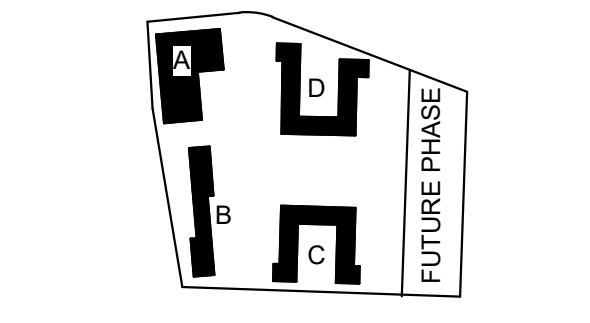
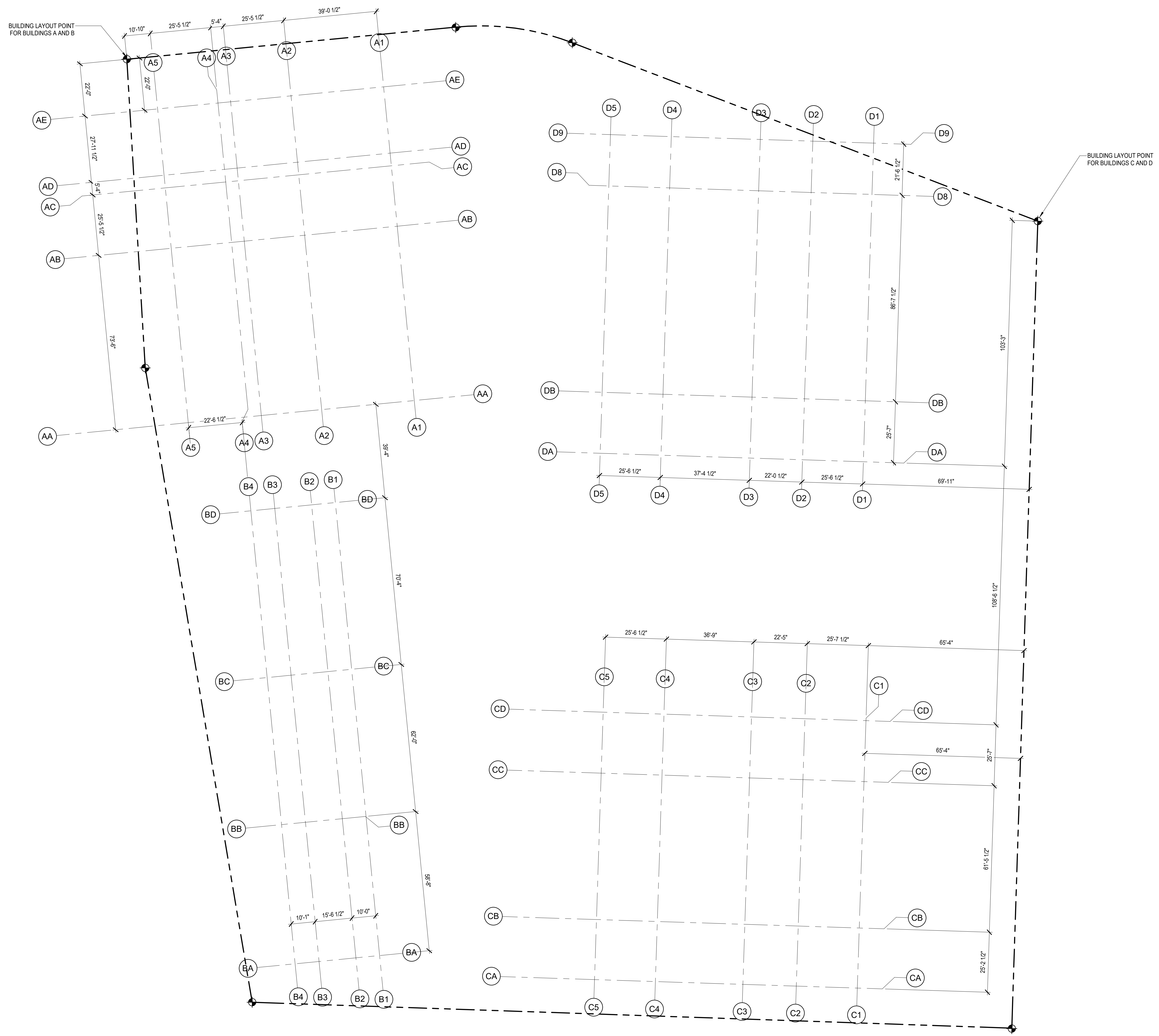
MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
C	06/22/2020	BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **2017033.00**
GGLO PRINCIPAL IN CHARGE: **JON HALL**
GGLO PROJECT MANAGER: **SCOTT SCHREFFLER**
OWNER APPROVAL:

SHEET TITLE
SITE PLAN

SHEET NO.
A-101



PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
 BUILDING A: 2710 14th STREET
 BUILDING B: 2715 15th STREET
 BUILDING C: 2815 15th STREET
 BUILDING D: 2810 14th STREET
 EVERETT, WA 98201
 OWNER:
EVERETT HOUSING LEGACY LLLP

MARK	DATE	DESCRIPTION
REVISIONS		

C	06/22/2020	BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **2017033.00**
 GGLO PRINCIPAL IN CHARGE: **JON HALL**
 GGLO PROJECT MANAGER: **SCOTT SCHREFFLER**
 OWNER APPROVAL:

SHEET TITLE
BUILDING GRID LAYOUT

SHEET NO.
A-102

BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

A2 BUILDING GRID LAYOUT
 1" = 20'-0"

1

2

3

4

5

GGLO
DESIGN

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Seattle, WA 98101

<http://www.gglo.com>

D



D2 BUILDINGS B AND C SOUTH ELEVATION FROM 15TH STREET
1/16" = 1'-0"

C



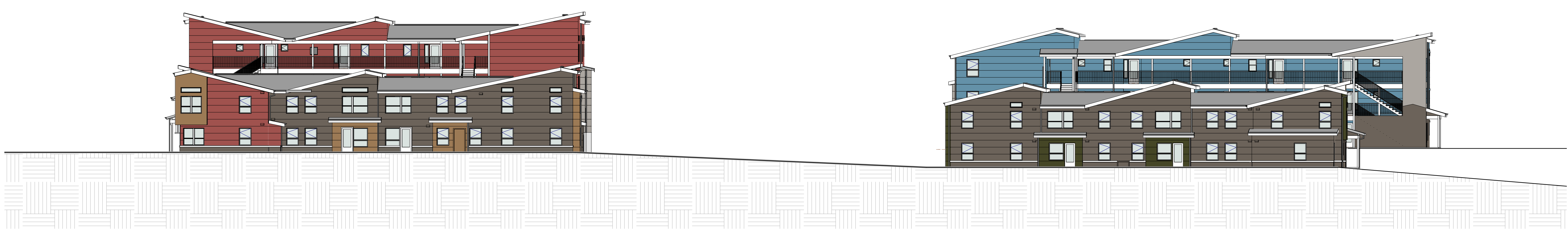
C2 BUILDINGS A AND B WEST ELEVATION
1/16" = 1'-0"

B



B2 BUILDINGS D AND A NORTH ELEVATION FROM 14TH STREET
1/16" = 1'-0"

A



A2 BUILDINGS C AND D EAST ELEVATION FROM PINE STREET
1/16" = 1'-0"

PLOT DATE/TIME: 6/19/2020 4:28:41 PM

1

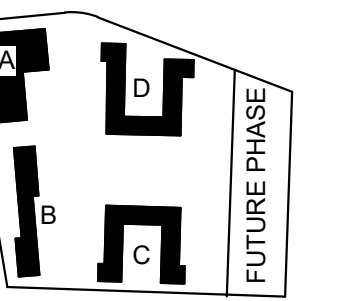
2

3

4

5

D



PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
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EVERETT, WA 98201
OWNER:
EVERETT HOUSING LEGACY LLLP

MARK	DATE	DESCRIPTION
REVISIONS		

B

C	06/22/2020	BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN
MARK	DATE	DESCRIPTION
ISSUE INFORMATION		

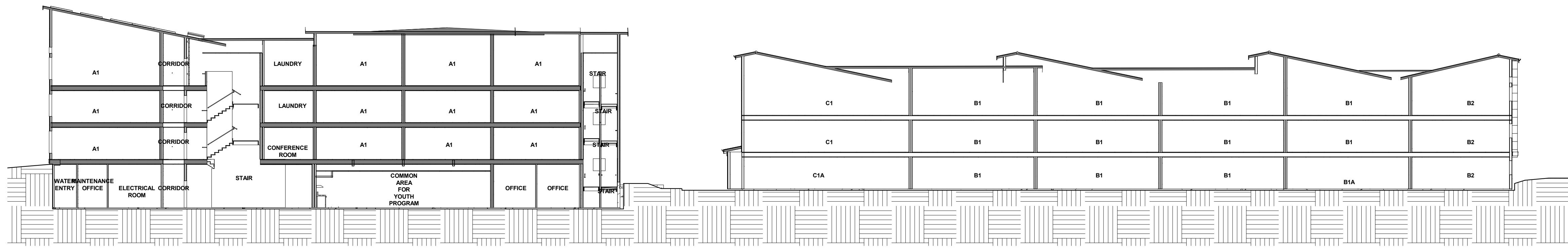
PROJECT NO.: 2017033.00
GGLO PRINCIPAL IN CHARGE: JON HALL
GGLO PROJECT MANAGER: SCOTT SCHREFFLER
OWNER APPROVAL:

SHEET TITLE
OVERALL BUILDING ELEVATIONS

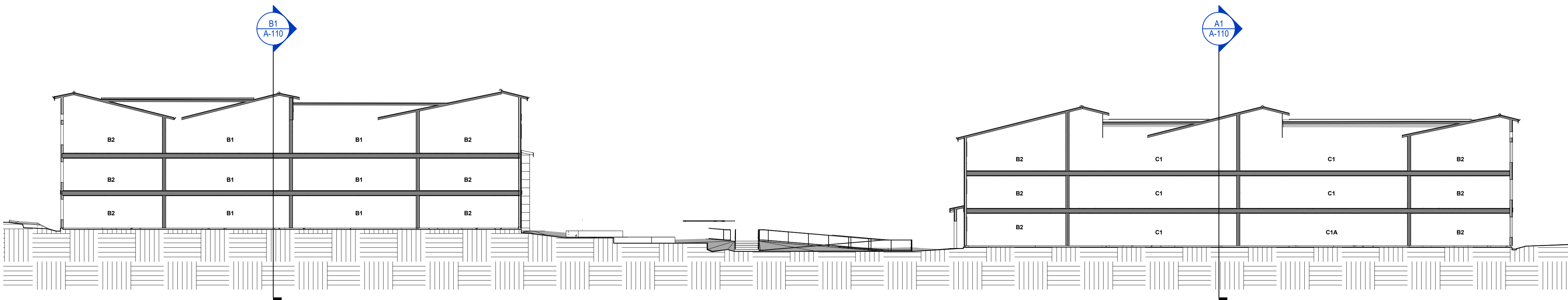
SHEET NO.
A-105

COPYRIGHT GGLO, ALL RIGHTS RESERVED. ORIGINAL SHEET SIZE IS 11'x8'6"

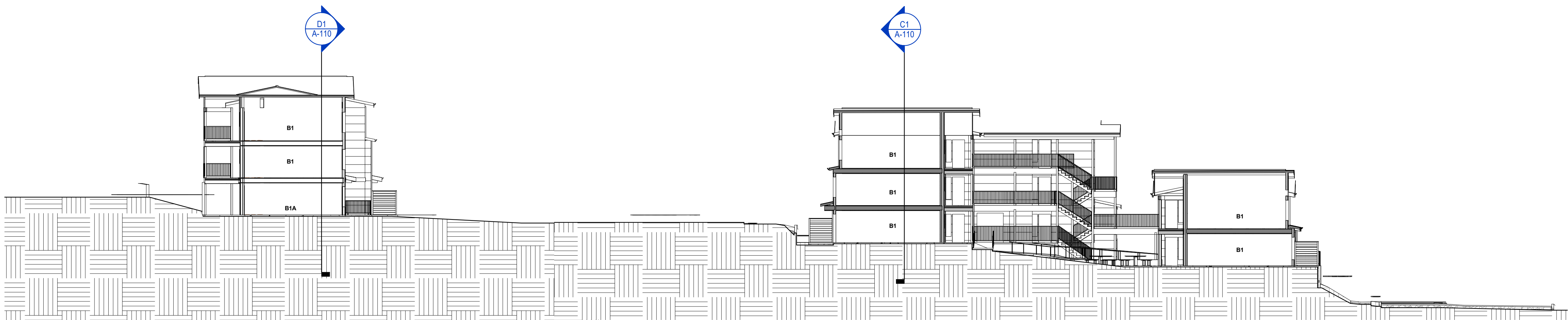
BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL



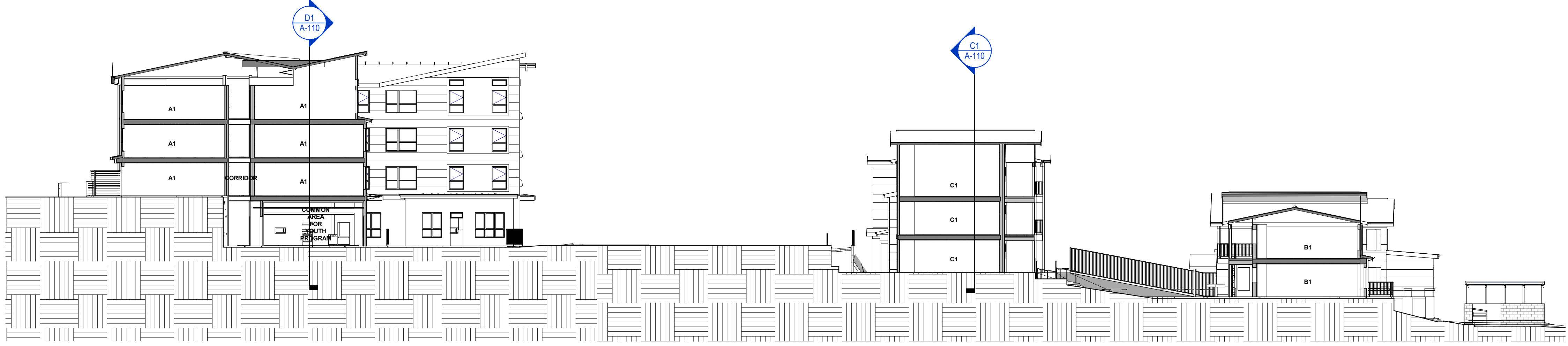
D1 BUILDINGS A AND B - OVERALL SECTION
1/16" = 1'-0"



C1 BUILDINGS C AND D - OVERALL SECTION
1/16" = 1'-0"

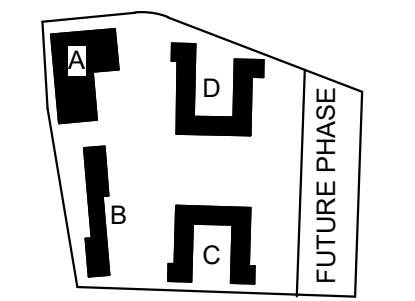


B1 BUILDING B AND C - OVERALL SECTION
1/16" = 1'-0"



A1.. BUILDING A AND D - OVERALL SECTION
1/16" = 1'-0"

PLOT DATE/TIME: 6/19/2020 4:28:48 PM



PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201
OWNER:
EVERETT HOUSING LEGACY LLLP

MARK	DATE	DESCRIPTION
REVISIONS		

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B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN
ISSUE INFORMATION		

PROJECT NO.: **2017033.00**
GGLO PRINCIPAL IN CHARGE: **JON HALL**
GGLO PROJECT MANAGER: **SCOTT SCHREFFLER**
OWNER APPROVAL: _____

SHEET TITLE
OVERALL SITE SECTIONS

SHEET NO.
A-110

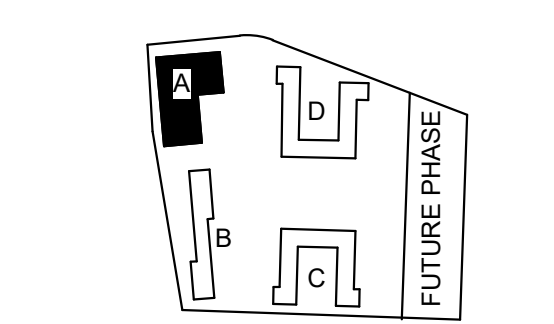
BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

GENERAL FLOOR PLAN NOTES

1. PLAN DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE WALL, CENTERLINE OF COLUMN, OR CENTERLINE OF ROUGH OPENINGS, UNLESS NOTED OTHERWISE. CONTACT ARCHITECT FOR CLARIFICATIONS.
2. DOORS AND CASED OPENINGS INDICATED ADJACENT TO WALL INTERSECTIONS SHALL BE LOCATED WITH THE EDGE OF FINISH OPENING SIX INCHES FROM THE ADJACENT WALL AT THE EXTERIOR AND FOUR INCHES FROM THE ADJACENT WALL.
3. SEE SHEET A-540 & A-620 FOR WINDOW LEGEND AND DETAILS.
4. SEE SHEET A-545 & A-615 FOR DOOR SCHEDULE AND DETAILS.
5. SEE SHEET A-605 FOR WALL ASSEMBLIES.
6. INSTALL BLOCKING FOR GRAB BARS IN ALL BATHROOM WALLS SURROUNDING WATER CLOSET, BATHTUB AND SHOWER. REF A-501.
7. HANDRAILS SHALL RETURN TO A WALL, GUARD OR THE WALKING SURFACE OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT OR RAMP RUN - PER IBC 1012.5.
8. CONTRACTOR SHALL INSTALL FURRING, SHIMS AND ADDITIONAL LAYERS OF GYPSUM BOARD AS NECESSARY TO ACHIEVE FLUSH FINISH WHERE SURFACES OF ADJACENT WALL OR SHAFT ASSEMBLIES ARE NOT, BUT ARE INTENDED TO BE, ALIGNED.
9. SEE SHEETS A-190 THROUGH A-193 FOR TYPICAL UNIT PLANS ENLARGED.



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Seattle, WA 98101
<http://www.gglo.com>



PROJECT:
EHA BAKER HEIGHTS



PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201

MARK	DATE	REVISION	DESCRIPTION
1	Date 1	Revision 1	

MARK	DATE	REVISION	DESCRIPTION
C	06/22/2020		BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
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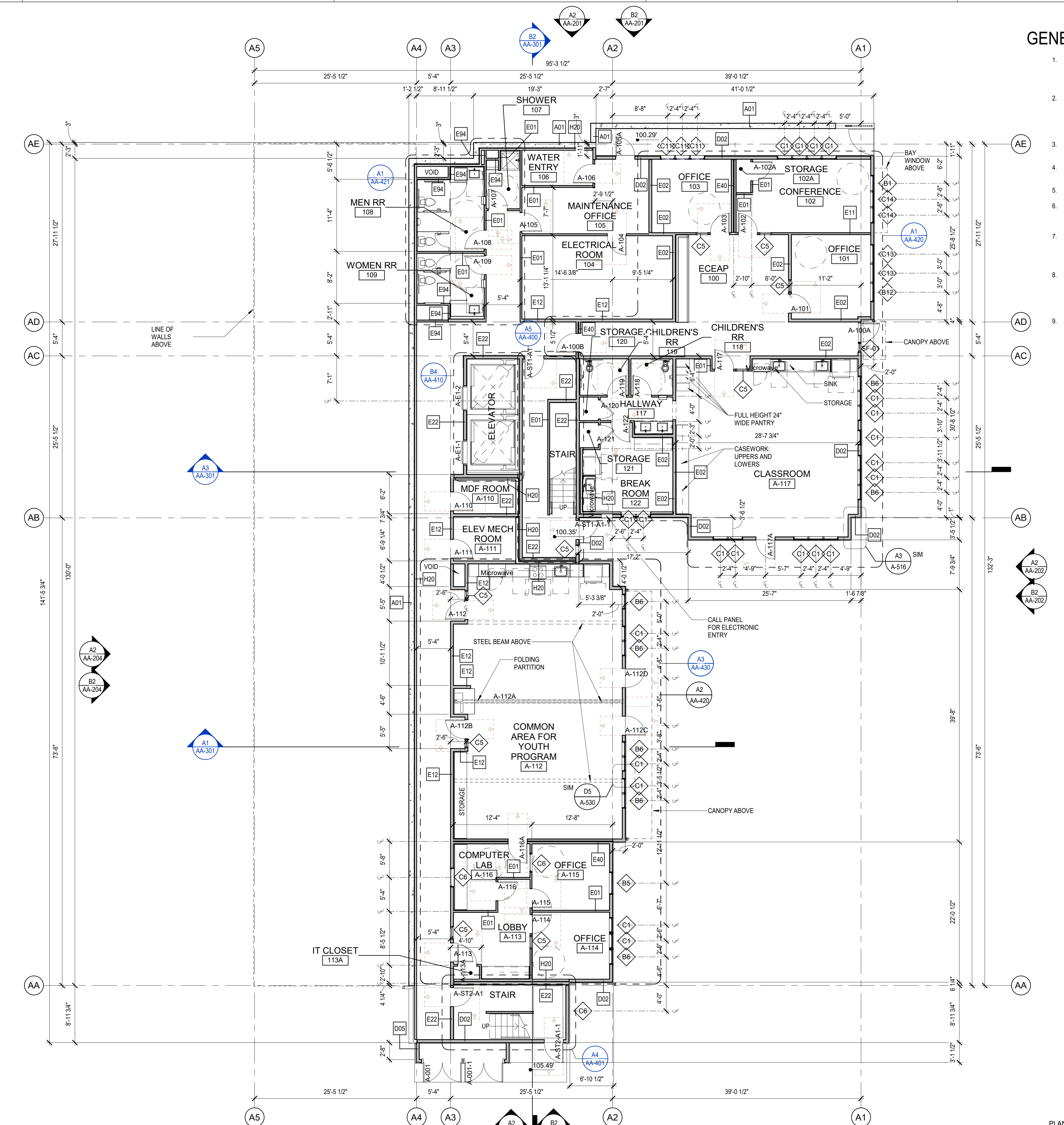
MARK	DATE	REVISION	DESCRIPTION
C	06/22/2020		BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
B	04/10/2020		DESIGN DEVELOPMENT
A	01/07/2020		SCHEMATIC DESIGN

PROJECT NO.: **2017033**
 GGLO PRINCIPAL IN CHARGE: **Jon Hall**
 GGLO PROJECT MANAGER: **Scott Schreffler**
 OWNER APPROVAL:

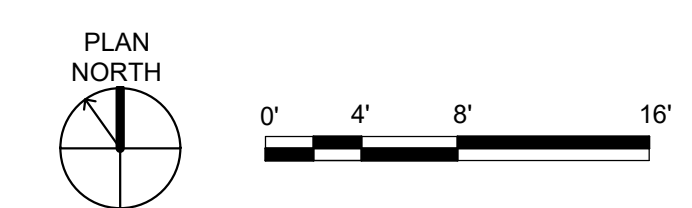
SHEET TITLE
BUILDING A - LEVEL 1 FLOOR PLAN

SHEET NO.
AA-110

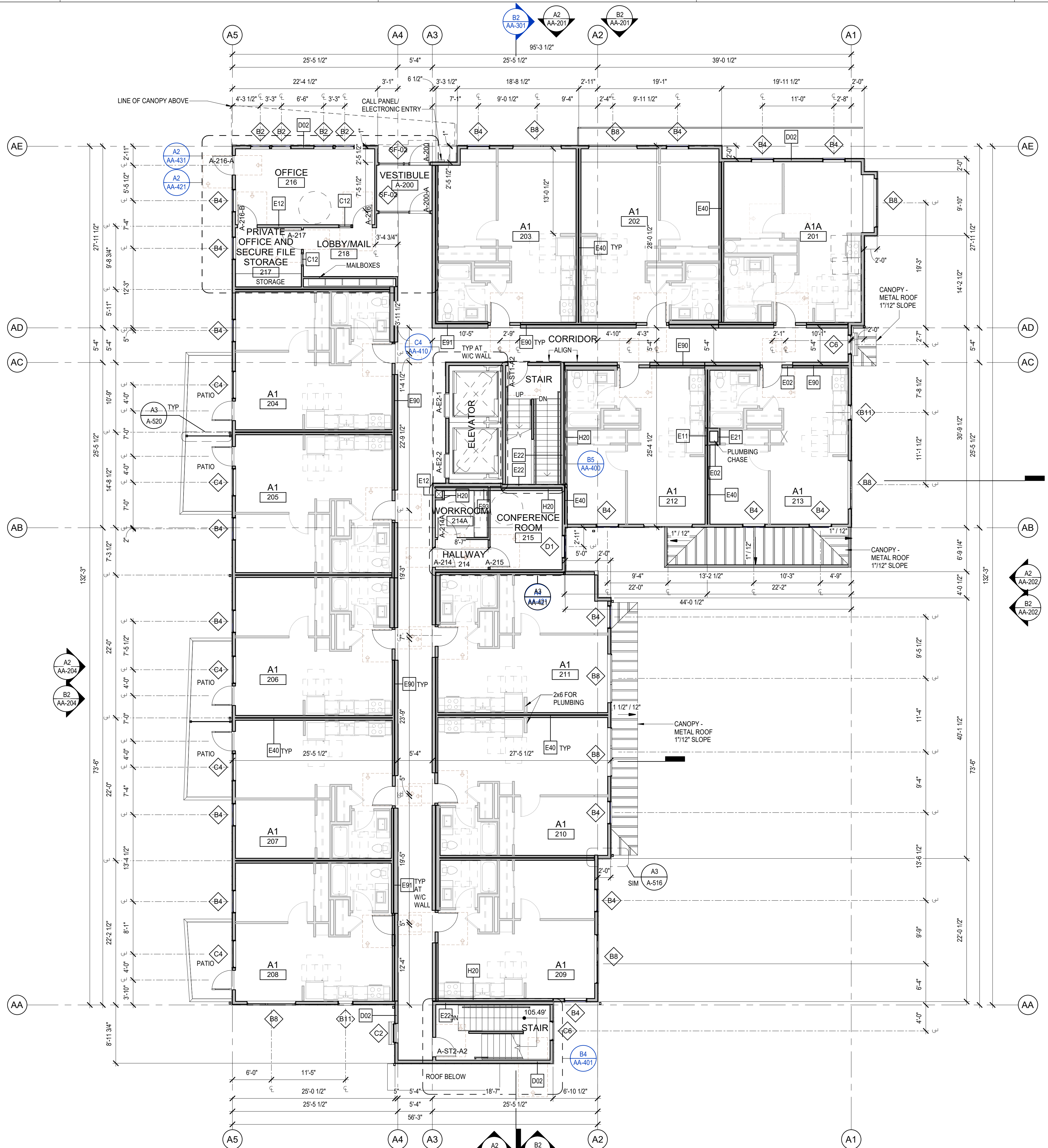
COPYRIGHT GGLO. ALL RIGHTS RESERVED.
 ORIGINAL SHEET SIZE IS 36"X48"



A1 BUILDING A - LEVEL 1 FLOOR PLAN
 1/8" = 1'-0"



BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL



GENERAL FLOOR PLAN NOTES

1. PLAN DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE WALL, CENTERLINE OF COLUMN, OR CENTERLINE OF ROUGH OPENINGS, UN. CONTACT ARCHITECT FOR CLARIFICATIONS.
2. DOORS AND CASED OPENINGS INDICATED ADJACENT TO WALL INTERSECTIONS SHALL BE LOCATED WITH THE EDGE OF FINISH OPENING SIX INCHES FROM THE ADJACENT WALL AT THE EXTERIOR AND FOUR INCHES FROM THE ADJACENT WALL.
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4. SEE SHEET A-545 & A-615 FOR DOOR SCHEDULE AND DETAILS.
5. SEE SHEET A-605 FOR WALL ASSEMBLIES.
6. INSTALL BLOCKING FOR GRAB BARS IN ALL BATHROOM WALLS SURROUNDING WATER CLOSET, BATHTUB AND SHOWER. REF A-501.
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9. SEE SHEETS A-190 THROUGH A-193 FOR TYPICAL UNIT PLANS ENLARGED.

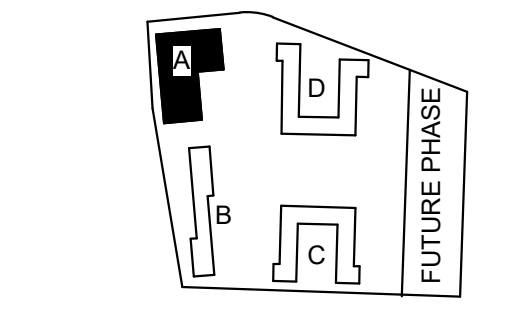
BUILDING A - UNIT COUNT

UNIT NAME	UNIT TYPE	NUMBER OF UNITS
A1	1 BED	37
A1A	1 BED TYPE A	4
TOTAL		41

A1 BUILDING A - LEVEL 2 FLOOR PLAN
1/8" = 1'-0"



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Seattle, WA 98101
<http://www.gglo.com>



PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201

MARK	DATE	REVISION	DESCRIPTION
1	Date 1	Revision 1	

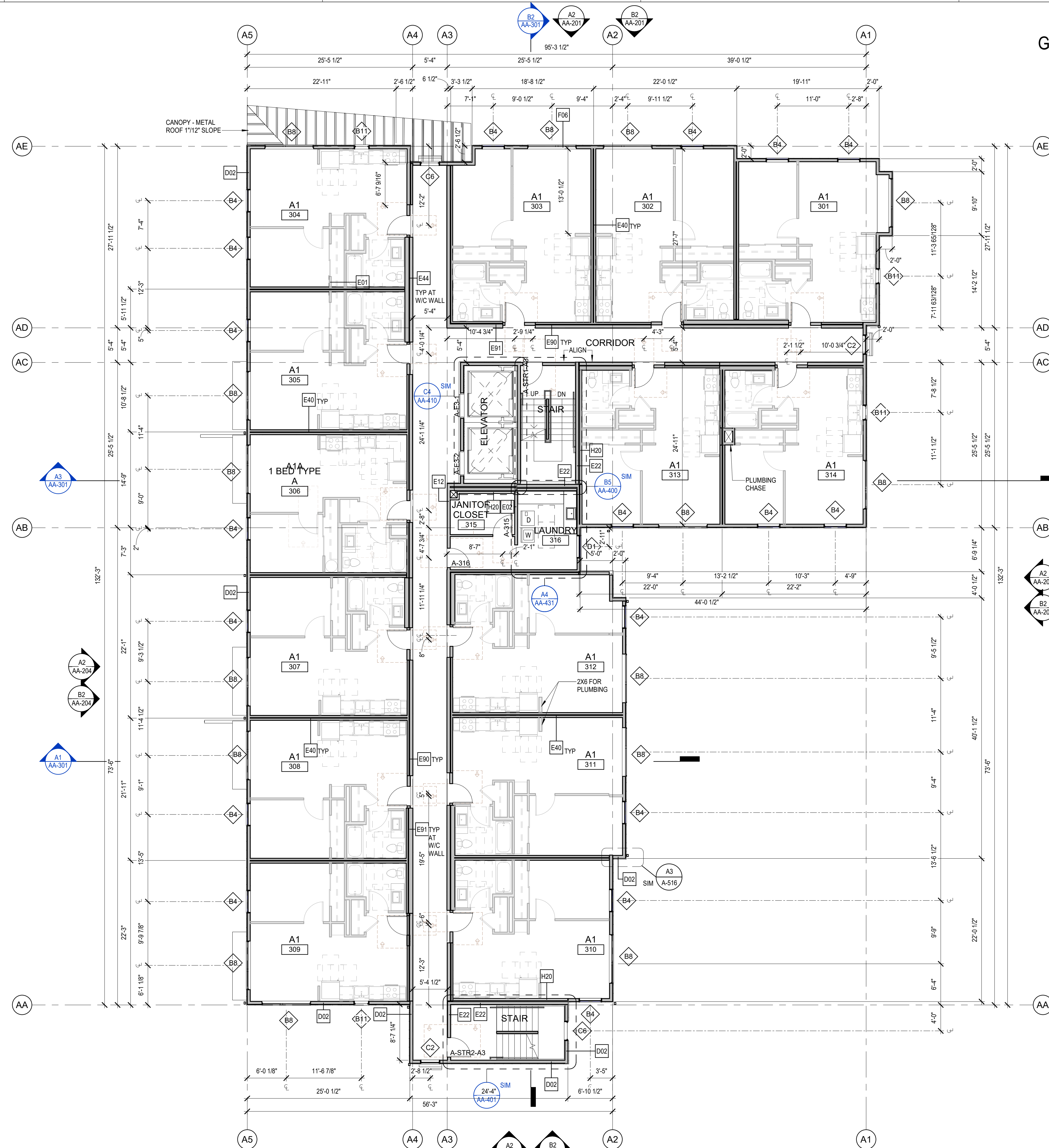
MARK	DATE	DESCRIPTION
C	06/22/2020	BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **2017033**
GGLO PRINCIPAL IN CHARGE: **Jon Hall**
GGLO PROJECT MANAGER: **Scott Schreffler**
OWNER APPROVAL:

SHEET TITLE
BUILDING A - LEVEL 2 FLOOR PLAN

SHEET NO.
AA-111

BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL



GENERAL FLOOR PLAN NOTES

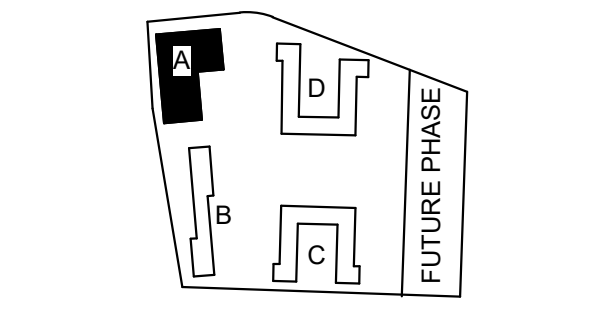
1. PLAN DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE WALL, CENTERLINE OF COLUMN OR CENTERLINE OF ROUGH OPENINGS, UNLESS NOTED OTHERWISE. CONTACT ARCHITECT FOR CLARIFICATIONS.
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4. SEE SHEET A-545 & A-615 FOR DOOR SCHEDULE AND DETAILS.
5. SEE SHEET A-605 FOR WALL ASSEMBLIES.
6. INSTALL BLOCKING FOR GRAB BARS IN ALL BATHROOM WALLS SURROUNDING WATER CLOSET, BATHTUB AND SHOWER. REF A-501.
7. HANDRAILS SHALL RETURN TO A WALL, GUARD OR THE WALKING SURFACE OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT OR RAMP RUN - PER IBC 1012.5.
8. CONTRACTOR SHALL INSTALL FURRING, SHIMS AND ADDITIONAL LAYERS OF GYPSUM BOARD AS NECESSARY TO ACHIEVE FLUSH FINISH WHERE SURFACES OF ADJACENT WALL OR SHAFT ASSEMBLIES ARE NOT, BUT ARE INTENDED TO BE, ALIGNED.
9. SEE SHEETS A-190 THROUGH A-193 FOR TYPICAL UNIT PLANS ENLARGED.

BUILDING A - UNIT COUNT

UNIT NAME	UNIT TYPE	NUMBER OF UNITS
A1	1 BED	37
A1A	1 BED TYPE A	4
TOTAL		41



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<http://www.gglo.com>



PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2815 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201

BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

1 Date 1 Revision 1

MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
C	06/22/2020	BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

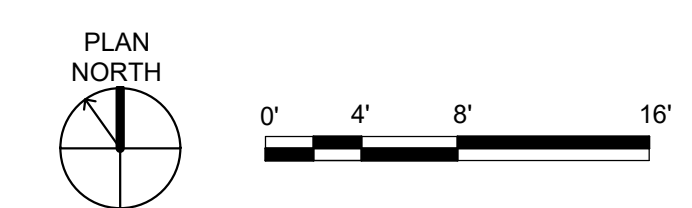
ISSUE INFORMATION

PROJECT NO.: **2017033**
GGLO PRINCIPAL IN CHARGE: **Jon Hall**
GGLO PROJECT MANAGER: **Scott Schreffler**
OWNER APPROVAL:

SHEET TITLE
BUILDING A - LEVEL 3 FLOOR PLAN

SHEET NO.
AA-112

A1 BUILDING A - LEVEL 3 FLOOR PLAN
1/8" = 1'-0"

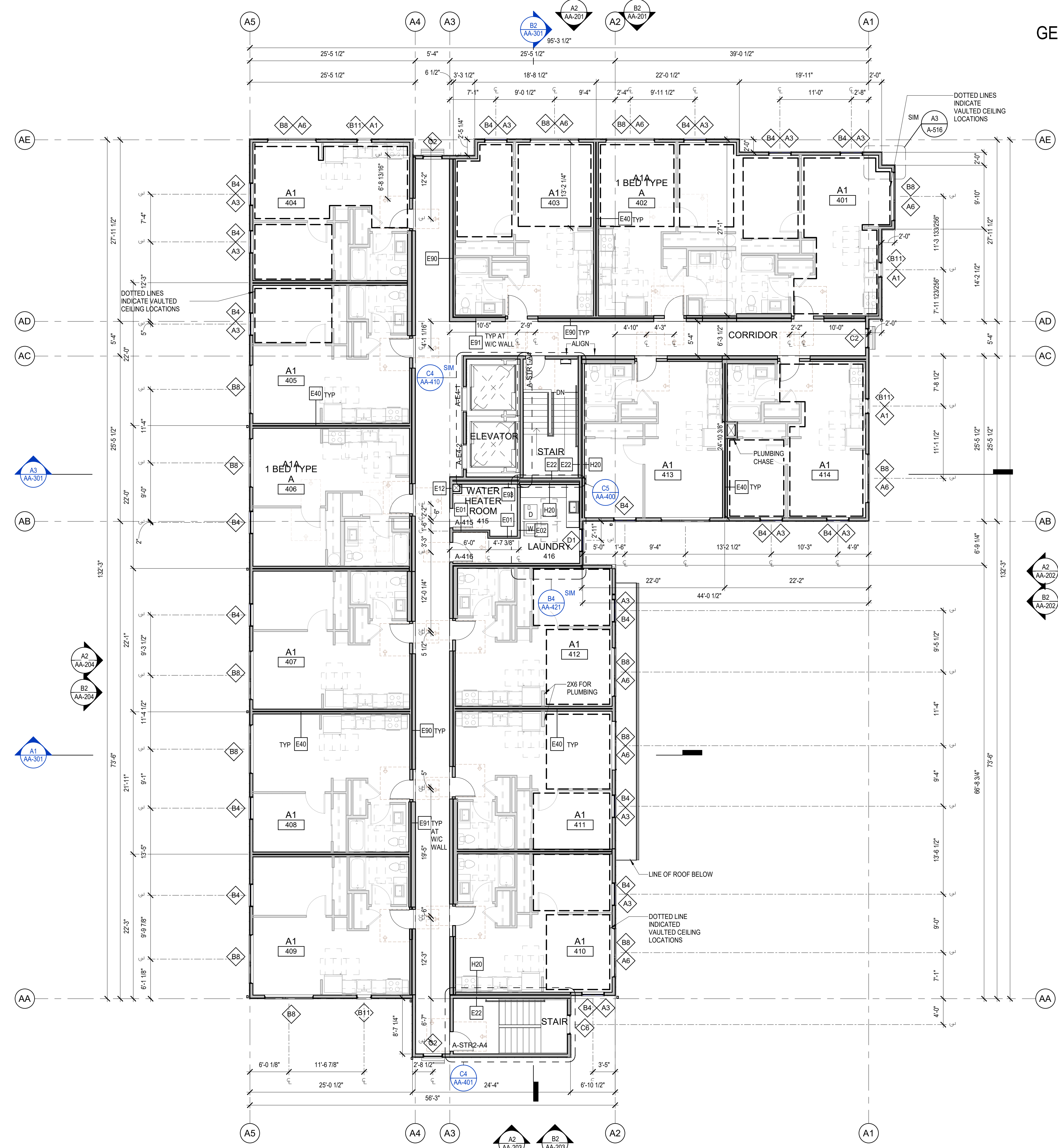


GENERAL FLOOR PLAN NOTES

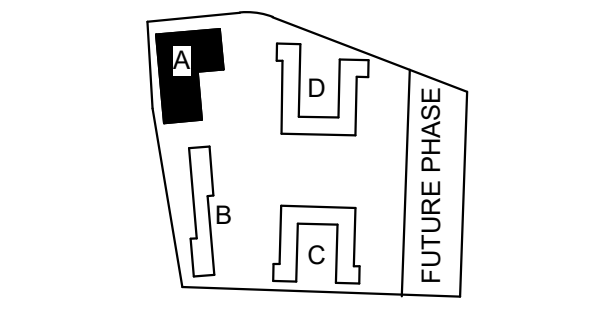
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9. SEE SHEETS A-190 THROUGH A-193 FOR TYPICAL UNIT PLANS ENLARGED.

BUILDING A - UNIT COUNT

UNIT NAME	UNIT TYPE	NUMBER OF UNITS
A1	1 BED	37
A1A	1 BED TYPE A	4
TOTAL		41



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PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2815 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201

MARK	DATE	REVISION	DESCRIPTION
1	Date 1	Revision 1	

MARK	DATE	DESCRIPTION
C	06/22/2020	BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
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A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **2017033**
GGLO PRINCIPAL IN CHARGE: **Jon Hall**
GGLO PROJECT MANAGER: **Scott Schreffler**
OWNER APPROVAL:

SHEET TITLE
BUILDING A - LEVEL 4 FLOOR PLAN

SHEET NO.
AA-113

A1 BUILDING A - LEVEL 4 FLOOR PLAN
1/8" = 1'-0"



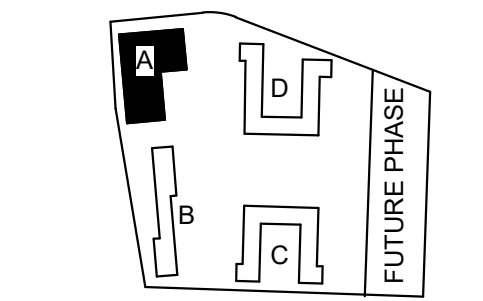
BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

GENERAL ROOF PLAN NOTES

- SEE DETAIL A1/A-525 FOR VENT PIPE PENETRATIONS.
- SEE XXA-XXX FOR SATELLITE CONDUIT.
- PLACE FALL PROTECTION ANCHORS AT SPECIFIED INTERVALS PER MFR INSTRUCTIONS. SEE PROJECT MANUAL SECTION XXXX.



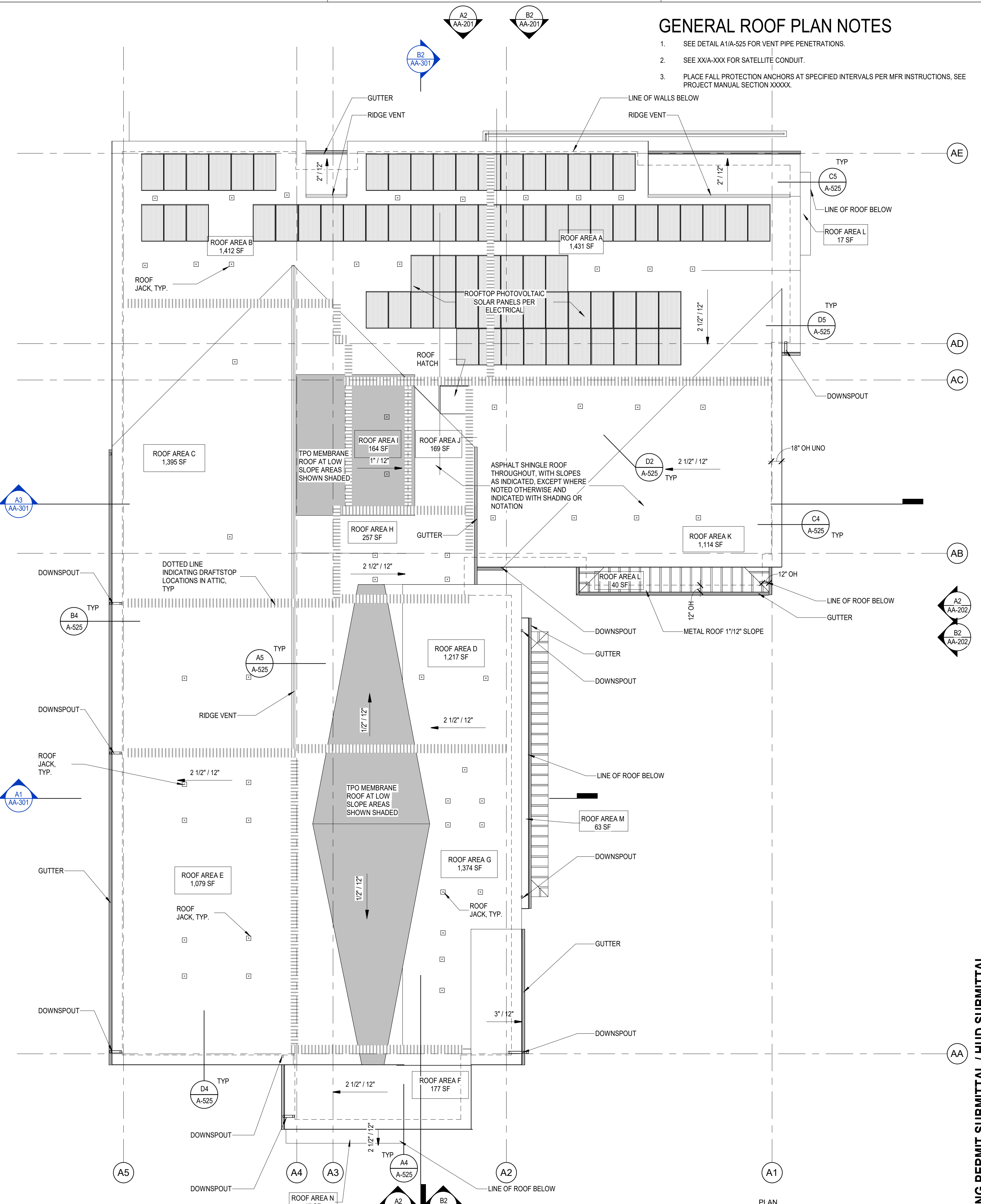
1301 First Avenue, Suite 301
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PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
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OWNER:
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EVERETT, WA 98201

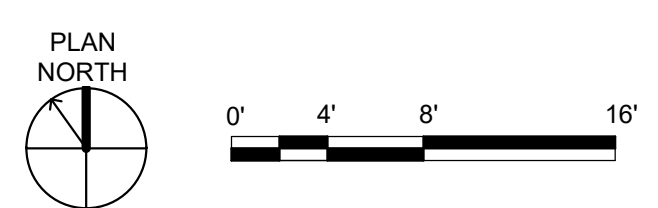


ATTIC VENTILATION - BUILDING A

NAME	AREA	REQUIRED VENT AREA - 1/300	PROVIDED VENT AREA	% OF REQ'D VENTING 3' ABOVE EAVE	% OF TOTAL VENT AREA 3' ABOVE EAVE	RIDGE VENTING	AREA RIDGE VENTING	EAVE VENTING-LOW TWO 2" DIAMETER HOLES/LF	AREA EAVE VENTING-LOW (NFVA 3.14 SQ IN/LF)	EAVE VENTING-HIGH TWO 2" DIAMETER HOLES/LF	AREA EAVE VENTING-HIGH (NFVA 3.14 SQ IN/LF)	LOW ROOF JACKS COUNT	AREA LOW ROOF JACK (NFVA .55 SQ IN PER ROOF JACK)	HIGH ROOF JACKS COUNT	AREA HIGH ROOF JACK (NFVA .55 SQ IN PER JACK)	ROOF TO WALL VENTING	AREA ROOF-TO-WALL VENT (NFVA 8.5 PER L.F.)
ROOF AREA A	1,435 SF	4.8 SF	5.1 SF	65%	61%	22 LF	2 SF	43 LF	0.9 SF	0 LF	0.0 SF	3	1 SF	3	1.1 SF	0 LF	0.0 SF
ROOF AREA B	1,414 SF	4.7 SF	5.0 SF	52%	49%	6 LF	1 SF	33 LF	0.7 SF	0 LF	0.0 SF	5	2 SF	5	1.9 SF	0 LF	0.0 SF
ROOF AREA C	1,394 SF	4.6 SF	5.3 SF	93%	82%	44 LF	4 SF	29 LF	0.6 SF	0 LF	0.0 SF	1	0 SF	1	0.4 SF	0 LF	0.0 SF
ROOF AREA D	1,217 SF	4.1 SF	4.1 SF	68%	67%	22 LF	2 SF	29 LF	0.6 SF	0 LF	0.0 SF	2	1 SF	2	0.8 SF	0 LF	0.0 SF
ROOF AREA E	1,079 SF	3.6 SF	3.6 SF	42%	42%	0 LF	0 SF	29 LF	0.6 SF	0 LF	0.0 SF	4	2 SF	4	1.5 SF	0 LF	0.0 SF
ROOF AREA F	177 SF	0.6 SF	0.9 SF	0%	0%	0 LF	0 SF	44 LF	0.9 SF	0 LF	0.0 SF	0	0 SF	0	0.0 SF	0 LF	0.0 SF
ROOF AREA G	1,374 SF	4.6 SF	4.7 SF	41%	41%	0 LF	0 SF	44 LF	0.9 SF	0 LF	0.0 SF	5	2 SF	5	1.9 SF	0 LF	0.0 SF
ROOF AREA H	257 SF	0.9 SF	1.5 SF	89%	50%	0 LF	0 SF	0 LF	0.0 SF	0 LF	0.0 SF	2	1 SF	2	0.8 SF	0 LF	0.0 SF
ROOF AREA I	163 SF	0.5 SF	1.5 SF	70%	25%	0 LF	0 SF	38 LF	0.8 SF	0 LF	0.0 SF	1	0 SF	1	0.4 SF	0 LF	0.0 SF
ROOF AREA J	169 SF	0.6 SF	0.6 SF	0%	0%	0 LF	0 SF	28 LF	0.6 SF	0 LF	0.0 SF	0	0 SF	0	0.0 SF	0 LF	0.0 SF
ROOF AREA K	1,110 SF	3.7 SF	3.8 SF	41%	40%	0 LF	0 SF	38 LF	0.8 SF	0 LF	0.0 SF	4	2 SF	4	1.5 SF	0 LF	0.0 SF
ROOF AREA L	17 SF	0.1 SF	0.8 SF	0%	0%	0 LF	0 SF	38 LF	0.8 SF	0 LF	0.0 SF	0	0 SF	0	0.0 SF	0 LF	0.0 SF
ROOF AREA M	40 SF	0.1 SF	0.3 SF	0%	0%	0 LF	0 SF	13 LF	0.3 SF	0 LF	0.0 SF	0	0 SF	0	0.0 SF	0 LF	0.0 SF
ROOF AREA N	63 SF	0.2 SF	0.6 SF	0%	0%	0 LF	0 SF	30 LF	0.6 SF	0 LF	0.0 SF	0	0 SF	0	0.0 SF	0 LF	0.0 SF
ROOF AREA O	47 SF	0.2 SF	0.2 SF	0%	0%	0 LF	0 SF	8 LF	0.2 SF	0 LF	0.0 SF	0	0 SF	0	0.0 SF	0 LF	0.0 SF

PER 2015 IBC WITH WASHINGTON AMENDMENTS, SECTION 1203.2, EXCEPTION 1: THE NET FREE CROSS-VENTILATION AREA SHALL BE PERMITTED TO BE REDUCED TO 1/300 PROVIDED THAT A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN WINTER SIDE OF THE CEILING. AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. WITH THE BALANCE OF THE VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.

A1 BUILDING A - ROOF PLAN
1/8" = 1'-0"



BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
.C	06/22/2020	BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

ISSUE INFORMATION

PROJECT NO.: **2017033**
GGLO PRINCIPAL IN CHARGE: **Jon Hall**
GGLO PROJECT MANAGER: **Scott Schreffler**
OWNER APPROVAL:

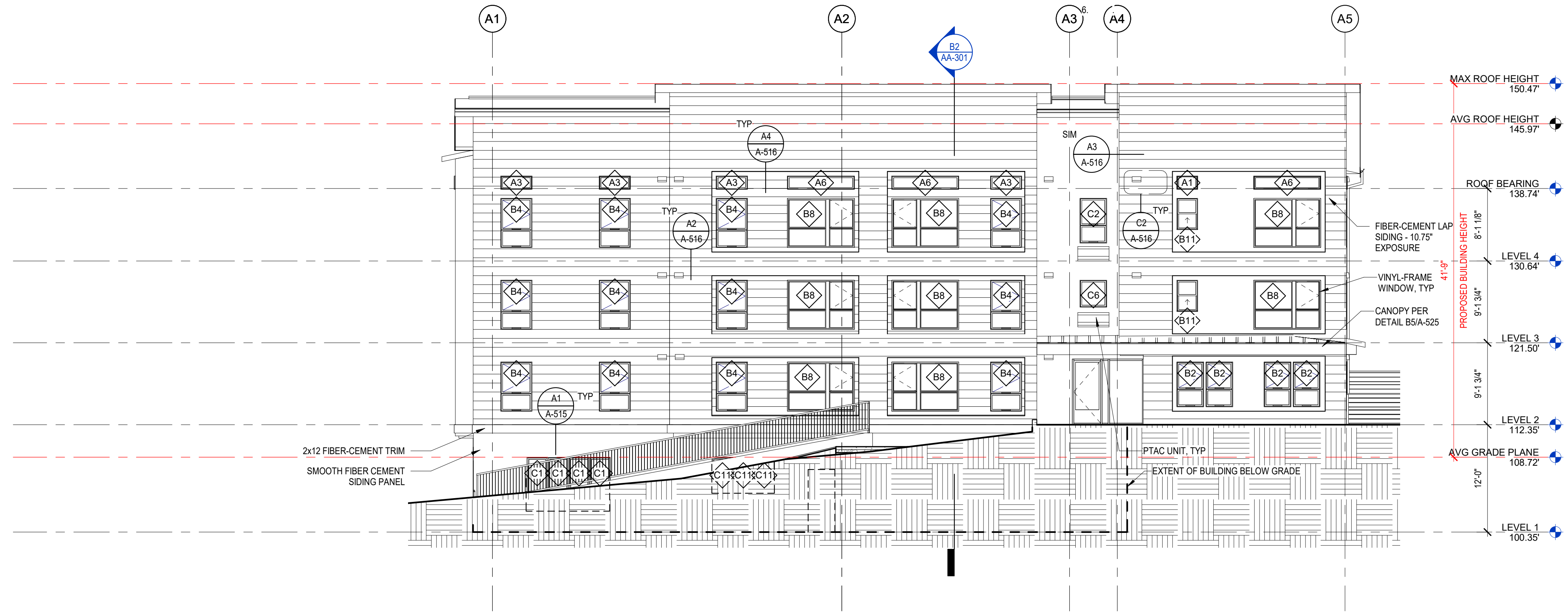
SHEET TITLE
BUILDING A - ROOF PLAN

SHEET NO.
AA-114

EXTERIOR SIDING LEGEND		
TAG	DESCRIPTION	COLOR
G11	SMOOTH FIBER CEMENT SIDING PANEL	SHERWIN WILLIAMS 6360 FOLKSY GOLD
G14	SMOOTH FIBER CEMENT SIDING PANEL	SHERWIN WILLIAMS 6426 BASQUE GREEN
G40	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 6122 CARIBBEAN BAK
G41	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 6124 CARIBBEAN BAK
G42	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 6360 FOLKSY GOLD
G43	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 6426 BASQUE GREEN

GENERAL EXTERIOR ELEVATION NOTES

- EXHAUST VENTS 3 FT. MINIMUM FROM DOORS AND OPERABLE PORTIONS OF WINDOWS.
- SEE RCP FOR SOFFIT COLORS.
-
-
-



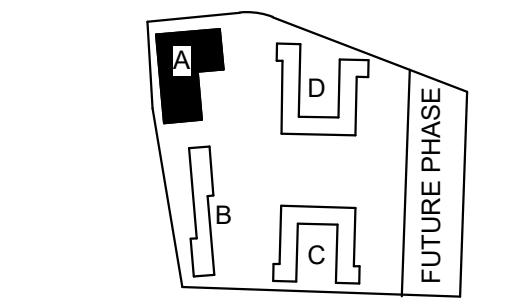
B2 BUILDING A - NORTH ELEVATION
1/8" = 1'-0"



A2 BUILDING A - NORTH ELEVATION RENDERED
1/8" = 1'-0"

GGLO DESIGN

1301 First Avenue, Suite 301
Seattle, WA 98101
<http://www.gglo.com>



PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201

MARK	DATE	DESCRIPTION
REVISIONS		

C	06/22/2020	BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **2017033**
GGLO PRINCIPAL IN CHARGE: **Jon Hall**
GGLO PROJECT MANAGER: **Scott Schreffler**
OWNER APPROVAL:

SHEET TITLE
BUILDING A - BUILDING ELEVATION - NORTH

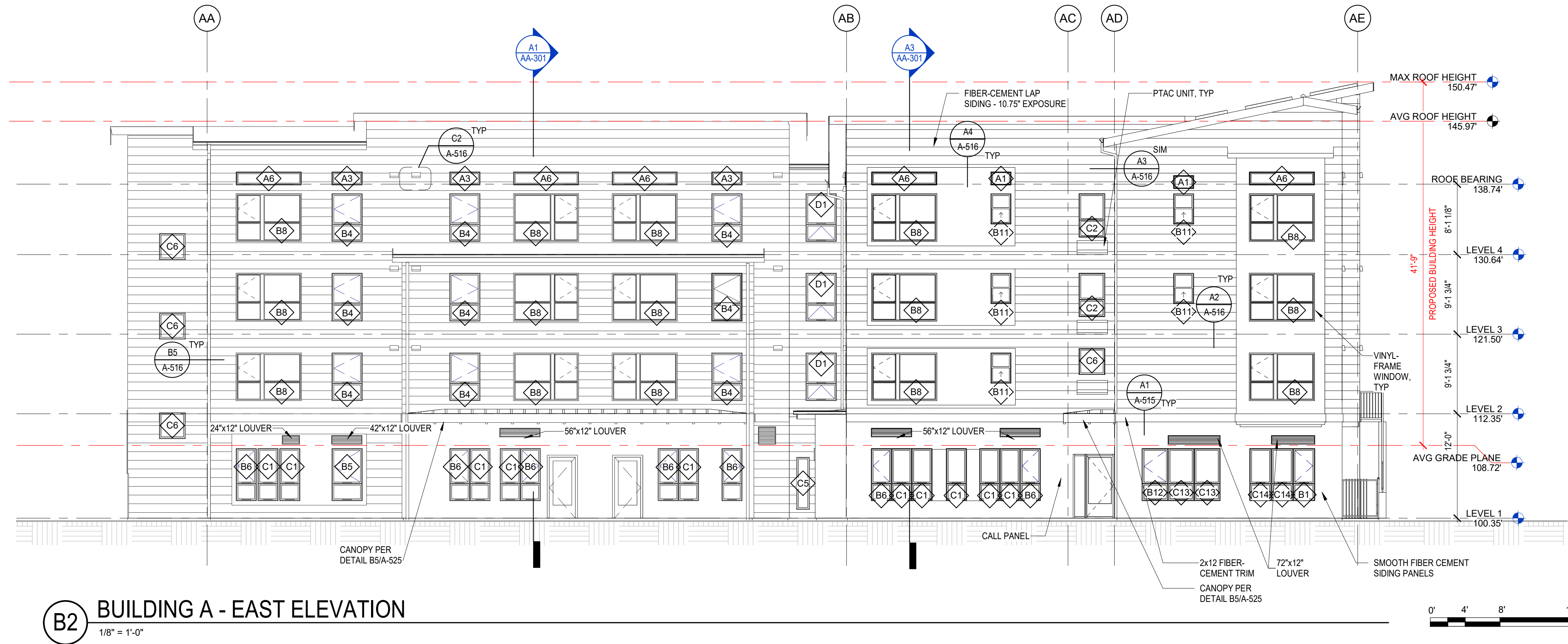
SHEET NO.
AA-201

BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

EXTERIOR SIDING LEGEND		
TAG	DESCRIPTION	COLOR
G11	SMOOTH FIBER CEMENT SIDING PANEL	SHERWIN WILLIAMS 6360 FOLKSY GOLD
G14	SMOOTH FIBER CEMENT SIDING PANEL	SHERWIN WILLIAMS 6426 BASQUE GREEN
G40	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 6122 CAMELBACK
G41	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 6124 CARDBOARD
G42	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 6360 FOLKSY GOLD
G43	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 6426 BASQUE GREEN

GENERAL EXTERIOR ELEVATION NOTES

- EXHAUST VENTS 3 FT. MINIMUM FROM DOORS AND OPERABLE PORTIONS OF WINDOWS.
- SEE RCP FOR SOFFIT COLORS.
-
-
-
-



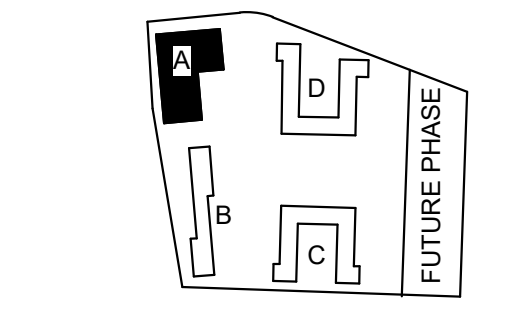
B2 BUILDING A - EAST ELEVATION
1/8" = 1'-0"



A2 BUILDING A - EAST ELEVATION RENDERED
1/8" = 1'-0"

GGLO DESIGN

1301 First Avenue, Suite 301
Seattle, WA 98101
<http://www.gglo.com>



PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201

BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

MARK	DATE	DESCRIPTION
REVISIONS		

C	06/22/2020	BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **2017033**
GGLO PRINCIPAL IN CHARGE: **Jon Hall**
GGLO PROJECT MANAGER: **Scott Schreffler**
OWNER APPROVAL:

SHEET TITLE
BUILDING A - BUILDING ELEVATION - EAST

SHEET NO.
AA-202

1

2

3

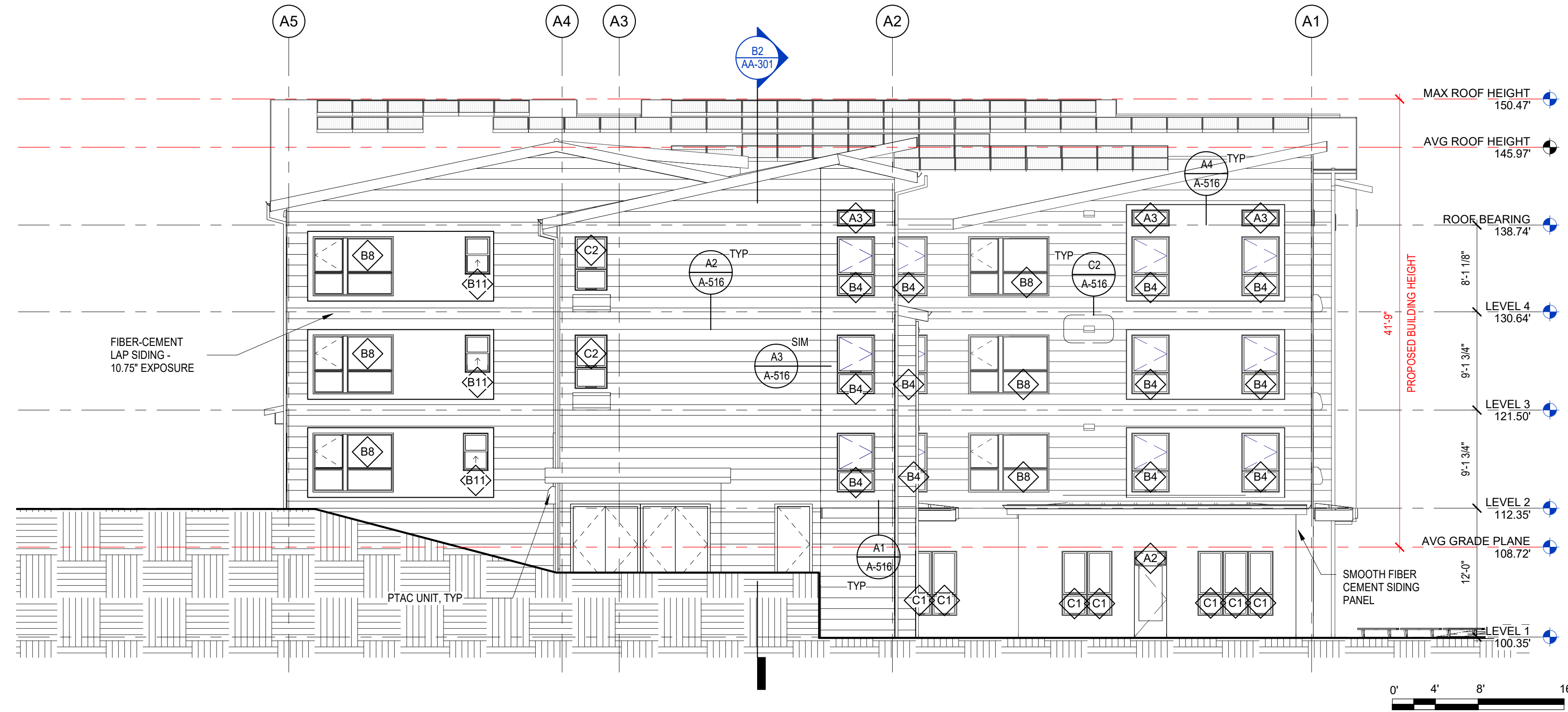
4

5

EXTERIOR SIDING LEGEND		
TAG	DESCRIPTION	COLOR
G11	SMOOTH FIBER CEMENT SIDING PANEL	SHERWIN WILLIAMS 6360 FOLKSY GOLD
G14	SMOOTH FIBER CEMENT SIDING PANEL	SHERWIN WILLIAMS 6426 BASQUE GREEN
G40	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 6122 CAMELBACK
G41	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 6124 CARDBOARD
G42	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 6360 FOLKSY GOLD
G43	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 6426 BASQUE GREEN

GENERAL EXTERIOR ELEVATION NOTES

1. EXHAUST VENTS 3 FT. MINIMUM FROM DOORS AND OPERABLE PORTIONS OF WINDOWS.
2. SEE RCP FOR SOFFIT COLORS.
3. .
4. .
5. .
6. .



B2 BUILDING A - SOUTH ELEVATION
1/8" = 1'-0"

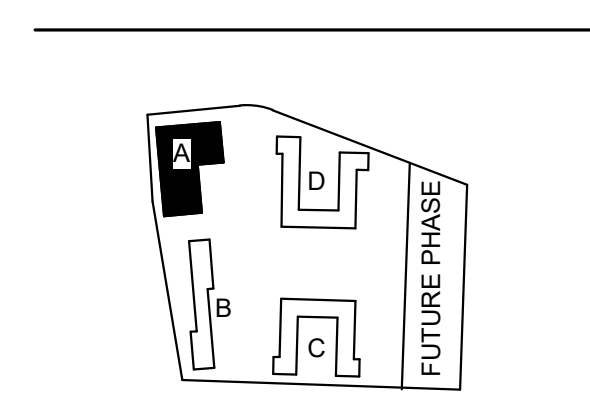


A2 BUILDING A - SOUTH ELEVATION RENDERED
1/8" = 1'-0"

GGLO DESIGN

1301 First Avenue, Suite 301
Seattle, WA 98101

<http://www.gglo.com>



PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201

MARK	DATE	DESCRIPTION
REVISIONS		

C	06/22/2020	BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

MARK DATE DESCRIPTION
ISSUE INFORMATION

PROJECT NO.: **2017033**
GGLO PRINCIPAL IN CHARGE: Jon Hall
GGLO PROJECT MANAGER: Scott Schreffler
OWNER APPROVAL:

SHEET TITLE
BUILDING A - BUILDING ELEVATION - SOUTH

SHEET NO.
AA-203

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ORIGINAL SHEET SIZE IS 11x17"

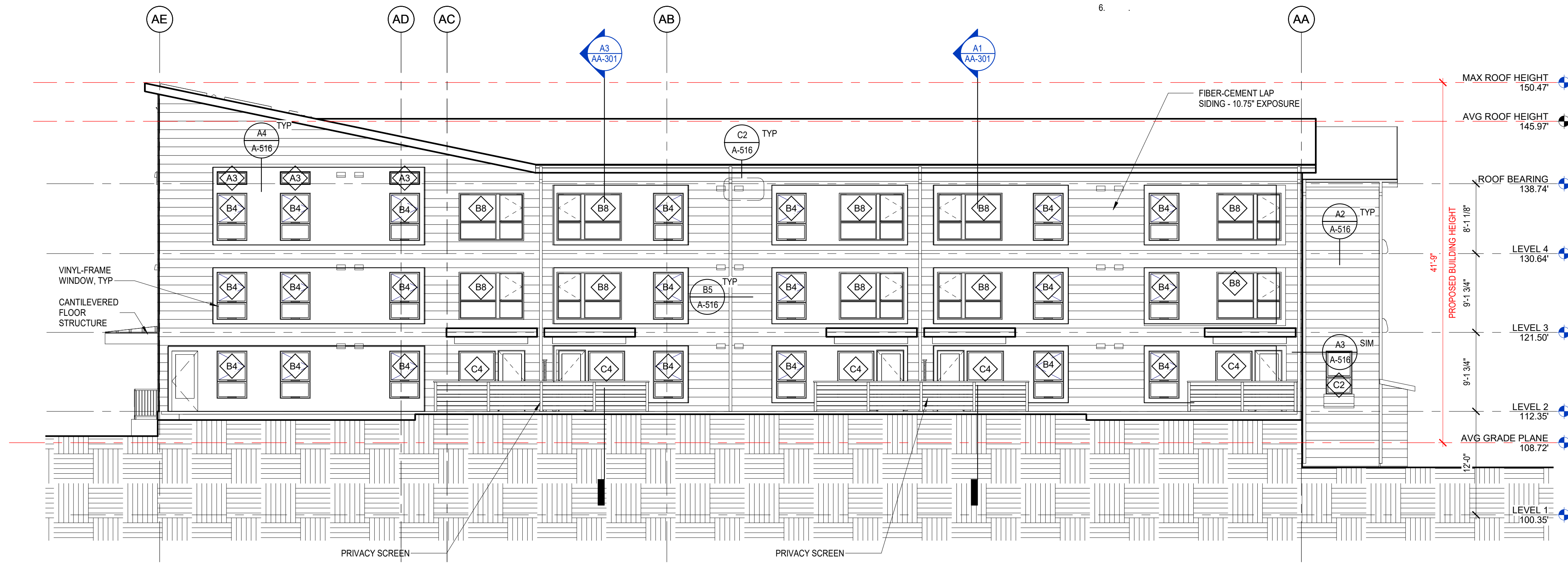
BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

PLOT DATE/TIME: 6/19/2020 3:46:58 PM

EXTERIOR SIDING LEGEND		
TAG	DESCRIPTION	COLOR
G11	SMOOTH FIBER CEMENT SIDING PANEL	SHERWIN WILLIAMS 6360 FOLKSY GOLD
G14	SMOOTH FIBER CEMENT SIDING PANEL	SHERWIN WILLIAMS 6426 BASQUE GREEN
G40	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 6122 CAMELBACK
G41	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 6124 CARDBOARD
G42	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 6360 FOLKSY GOLD
G43	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 6426 BASQUE GREEN

GENERAL EXTERIOR ELEVATION NOTES

- EXHAUST VENTS 3 FT. MINIMUM FROM DOORS AND OPERABLE PORTIONS OF WINDOWS.
- SEE RCP FOR SOFFIT COLORS.
-
-
-
-



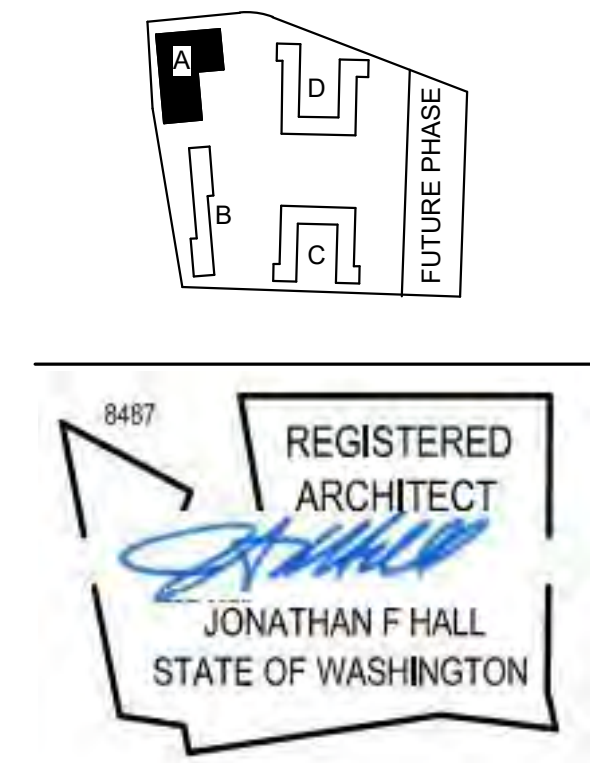
B2 BUILDING A - WEST ELEVATION
1/8" = 1'-0"



A2 BUILDING A - WEST ELEVATION RENDERED
1/8" = 1'-0"



GGLO DESIGN
1301 First Avenue, Suite 301
Seattle, WA 98101
<http://www.gglo.com>



PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201

BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

MARK	DATE	DESCRIPTION
REVISIONS		
C	06/22/2020	BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

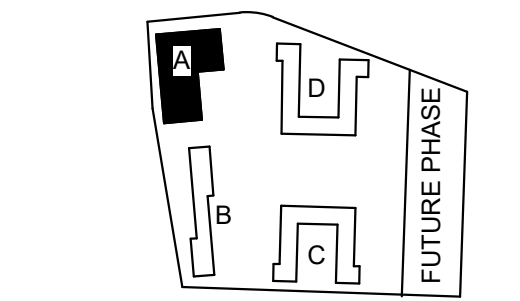
ISSUE INFORMATION

PROJECT NO.: **2017033**
GGLO PRINCIPAL IN CHARGE: **Jon Hall**
GGLO PROJECT MANAGER: **Scott Schreffler**
OWNER APPROVAL:

SHEET TITLE
BUILDING A - BUILDING ELEVATION - WEST

SHEET NO.
AA-204

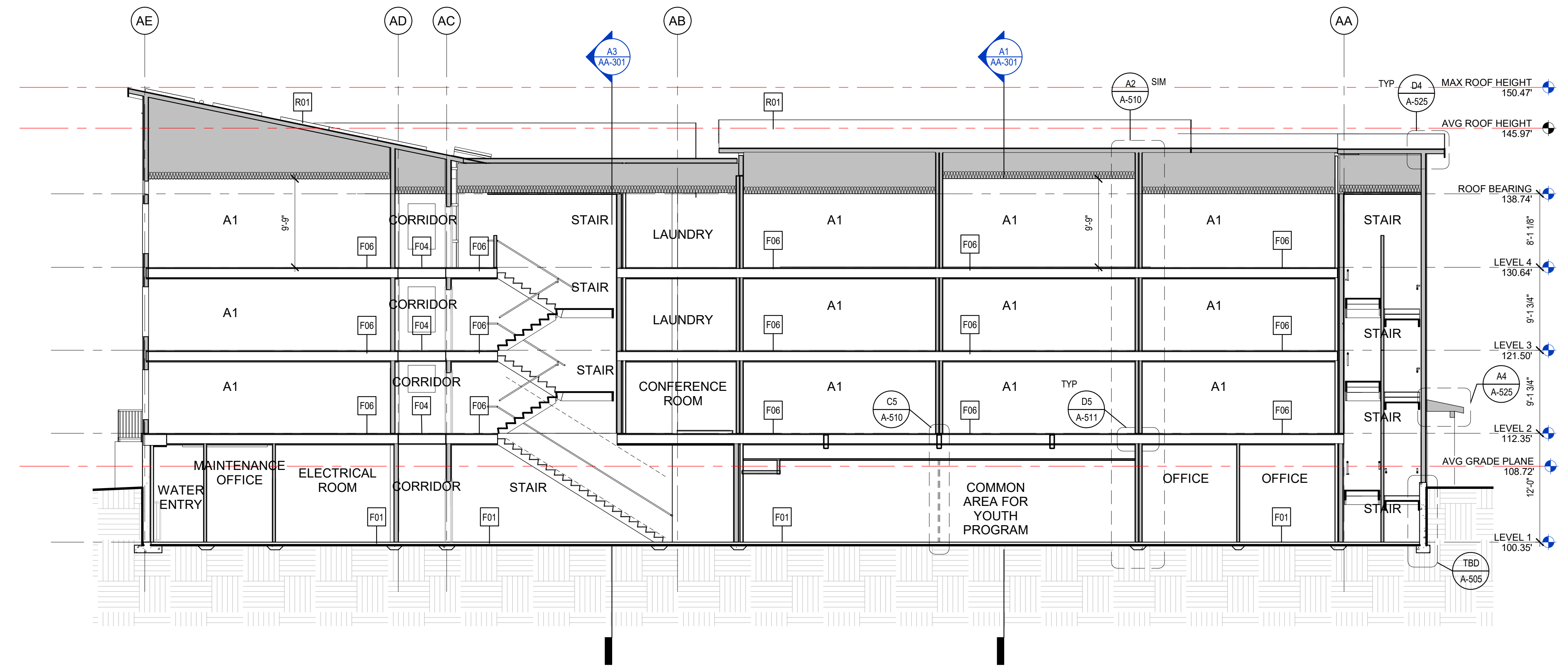
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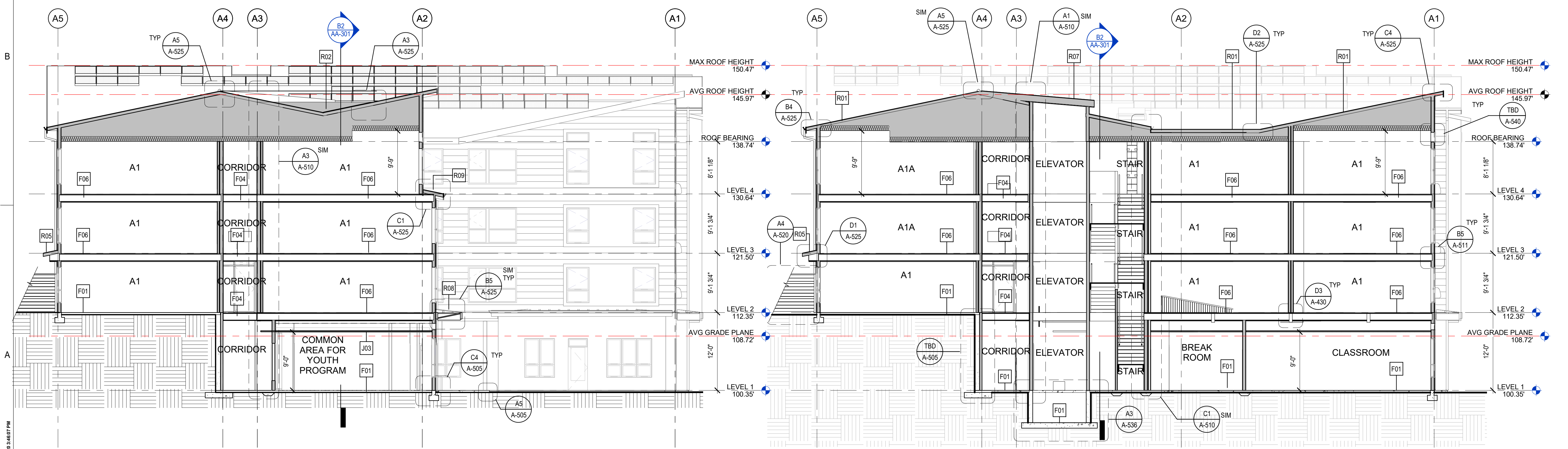
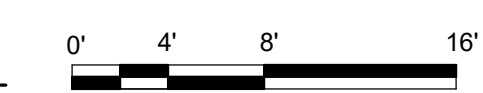
PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201



B2 BUILDING A - N/S SECTION
1/8" = 1'-0"



A1 BUILDING A - E/W SECTION 1
1/8" = 1'-0"

A3 BUILDING A - E/W SECTION 2
1/8" = 1'-0"



BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
C	06/22/2020	BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **2017033**
GGLO PRINCIPAL IN CHARGE: **Jon Hall**
GGLO PROJECT MANAGER: **Scott Schreffler**
OWNER APPROVAL:

SHEET TITLE
BUILDING A - BUILDING SECTIONS

SHEET NO.
AA-301

GENERAL STAIR NOTES

1. MIN HEADROOM CLEARANCE IN STAIRS - 80" MEASURED VERTICALLY FROM THE STAIR NOSING.
2. HANDRAIL HEIGHT - 34"-38", MEASURED VERTICALLY FROM THE NOSING.
3. TOP HANDRAIL EXTENSIONS - NON CONTINUOUS HANDRAILS SHOULD EXTEND 12" HORIZONTALLY BEYOND THE TOP RISER.
4. BOTTOM HANDRAIL EXTENSIONS - CONTINUE TO SLOPE FOR THE DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER.
5. TREADS AND RISERS IN MEANS OF EGRESS - TREADS 11" MIN AND RISERS 7" MAX
6. PROVIDE SIGN AT EACH LANDING OF EACH INTERIOR EXIT STAIRWAY PER IBC 1023.8 AS SHOWN IN DETAIL.

D

C

B

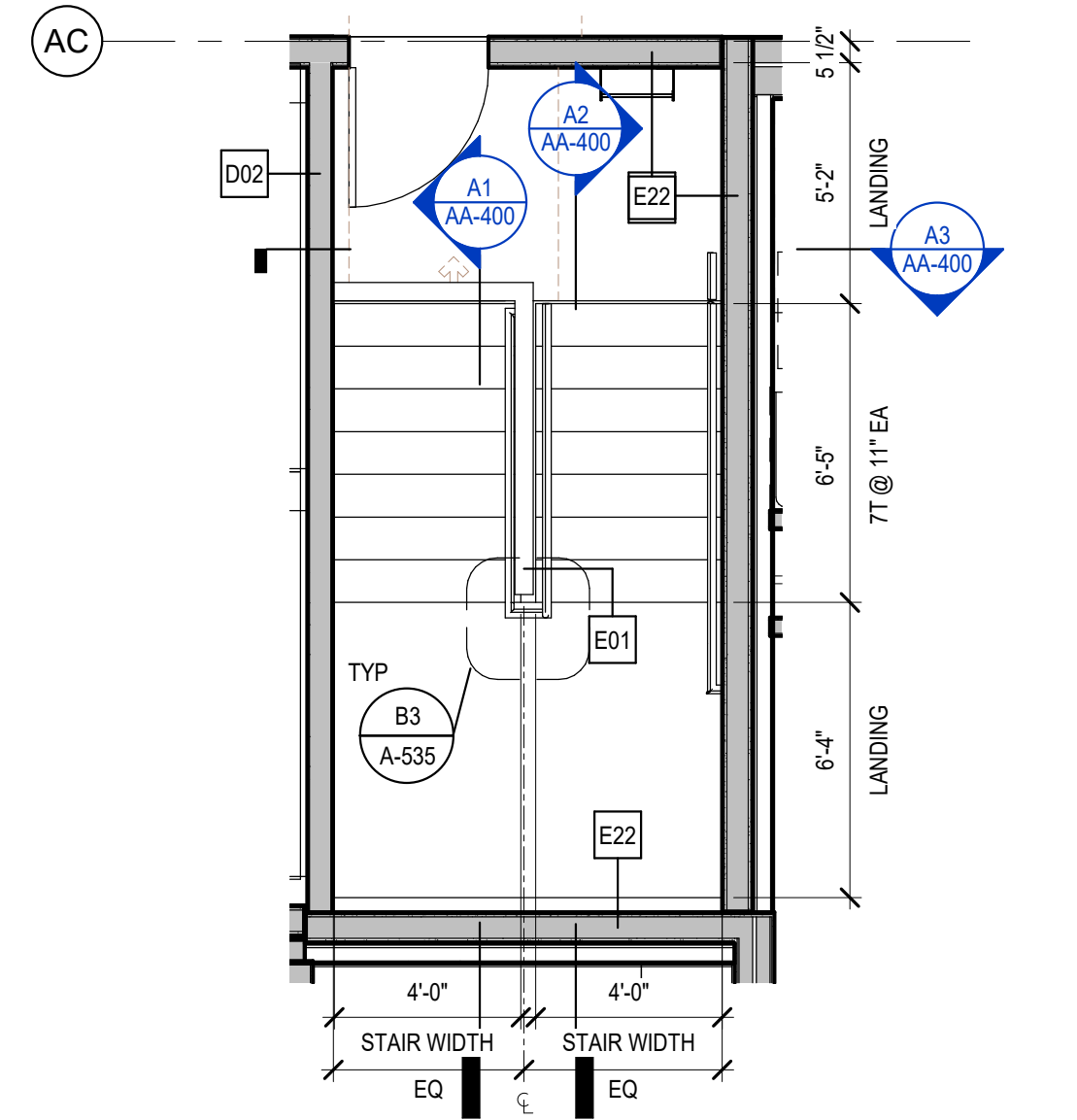
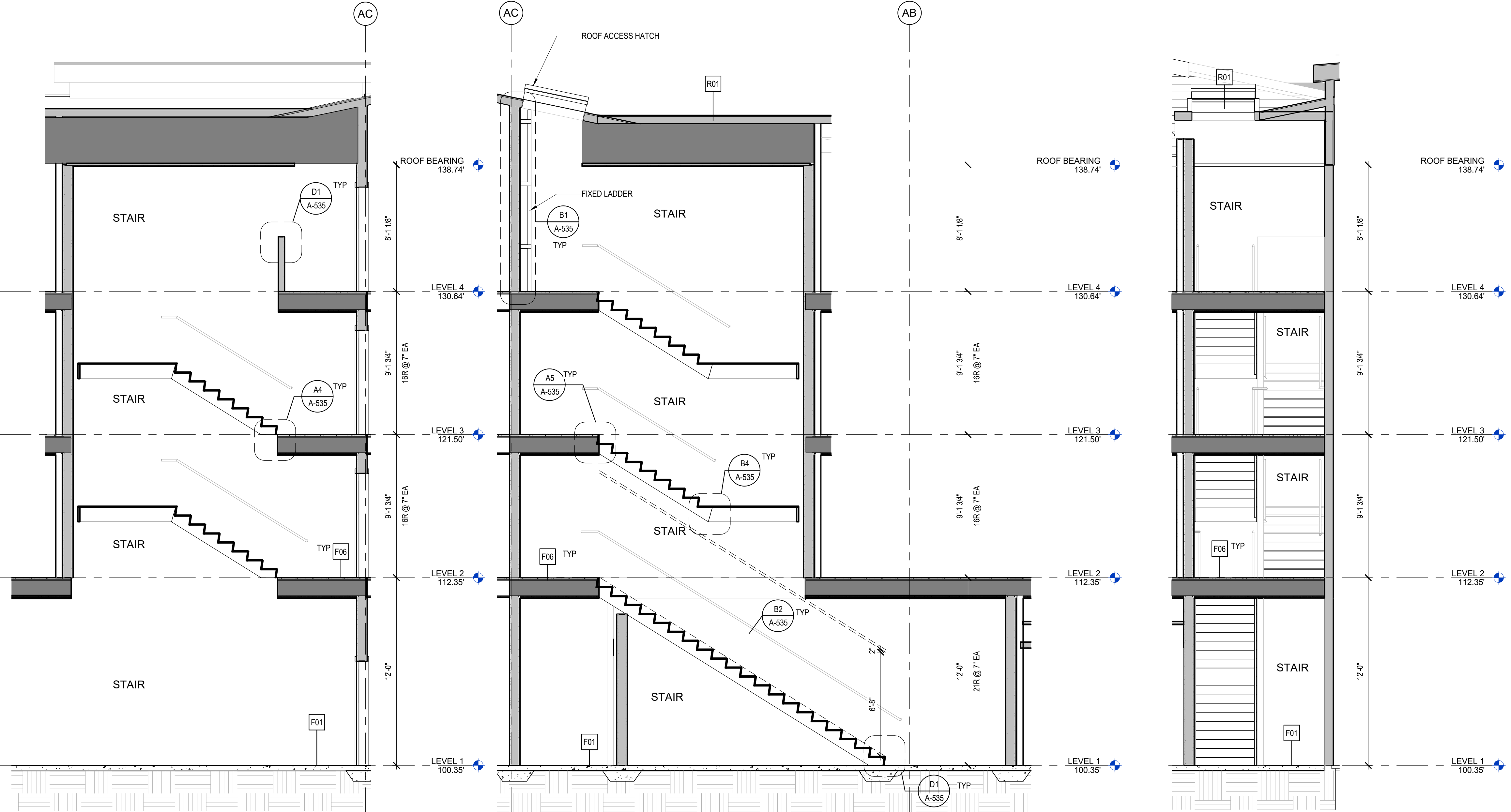
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A1 BUILDING A - NORTH STAIR - N/S SECTION 1
1/4" = 1'-0"

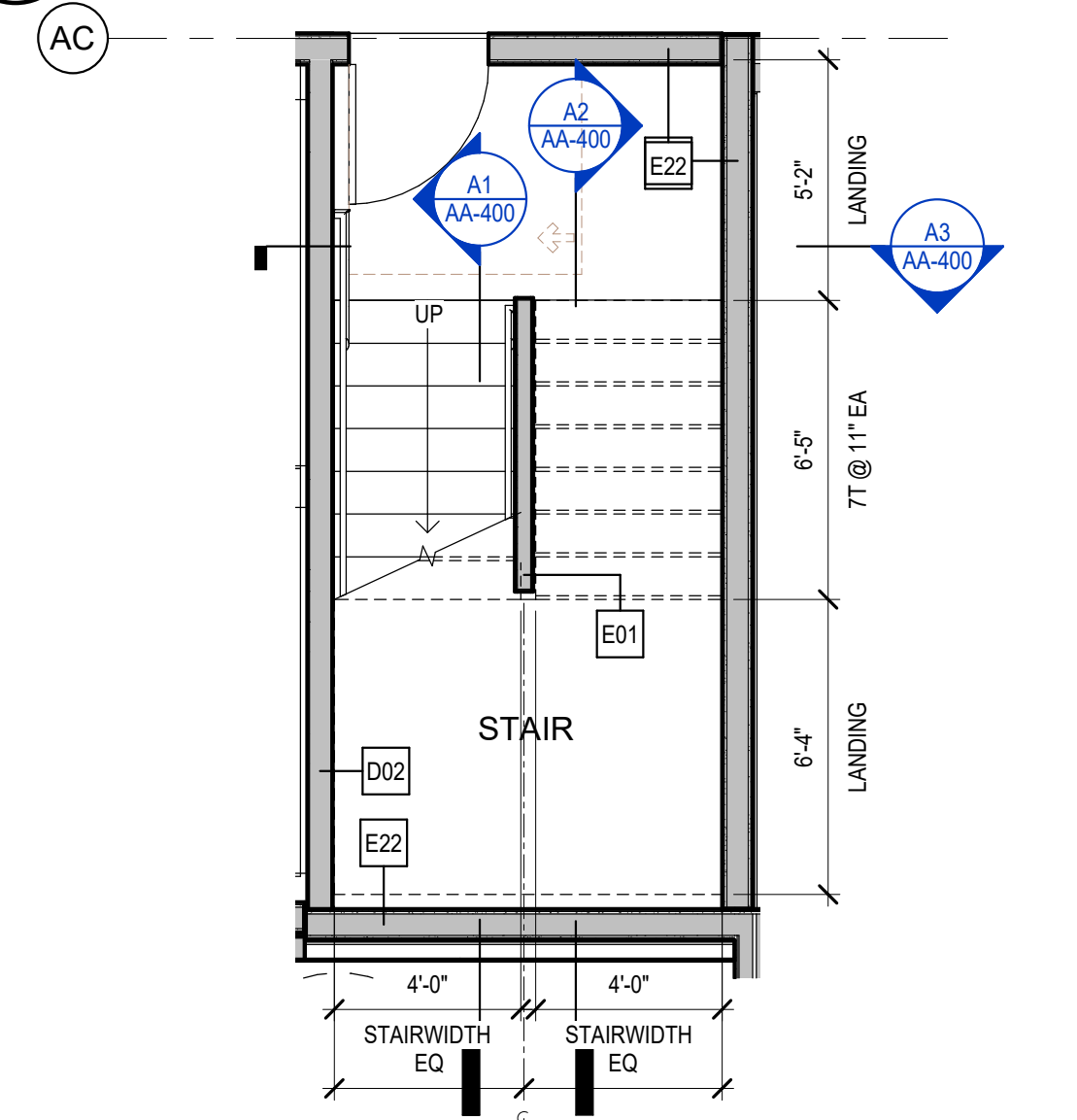
A2 BUILDING A - NORTH STAIR - N/S SECTION 2
1/4" = 1'-0"

A3 BUILDING A - NORTH STAIR - E/W SECTION
1/4" = 1'-0"

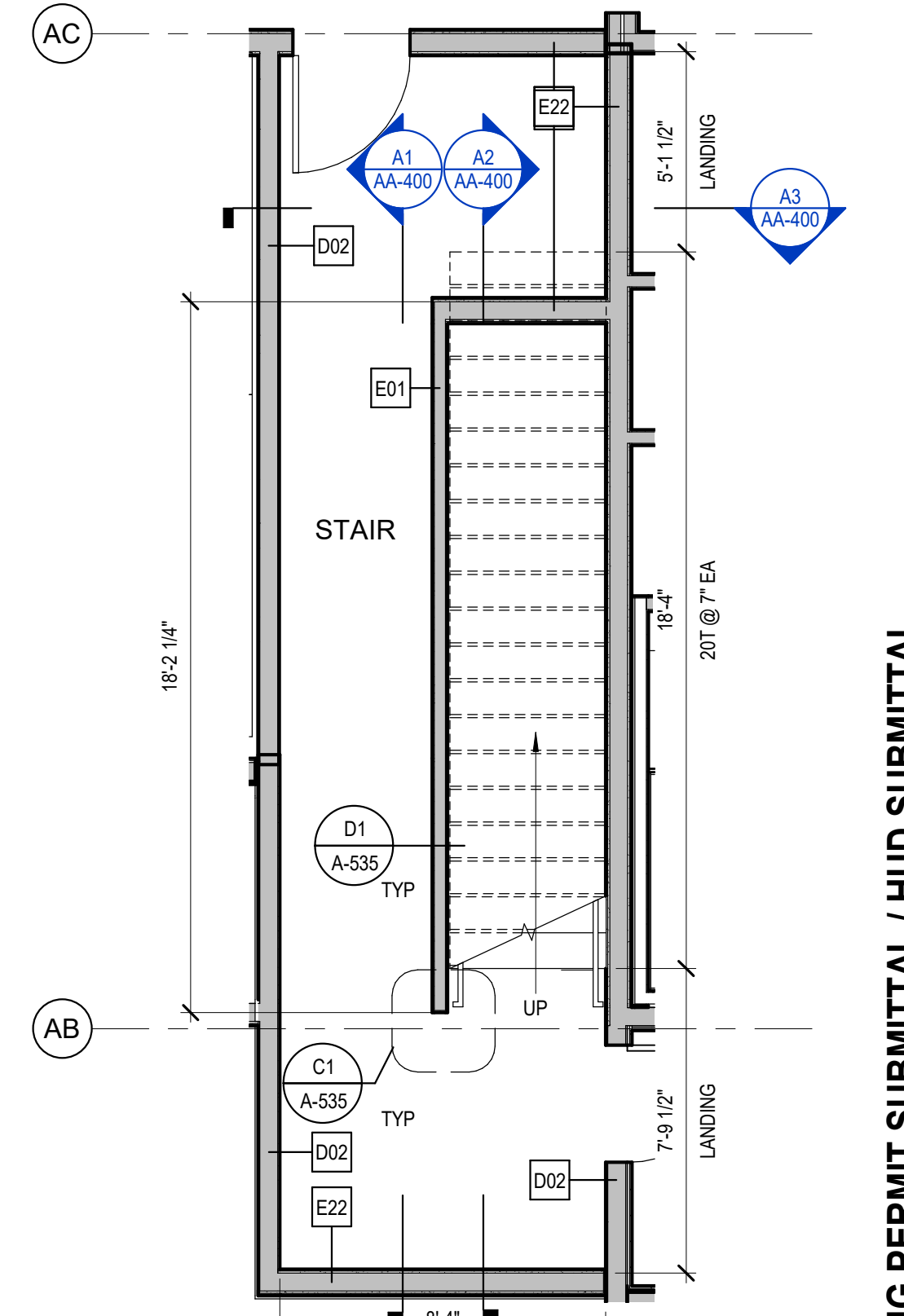
A5 BUILDING A - NORTH STAIR - LEVEL 1
1/4" = 1'-0"



C5 BUILDING A - NORTH STAIR - LEVEL 4
1/4" = 1'-0"



B5 BUILDING A - NORTH STAIR - LEVEL 2-3
1/4" = 1'-0"

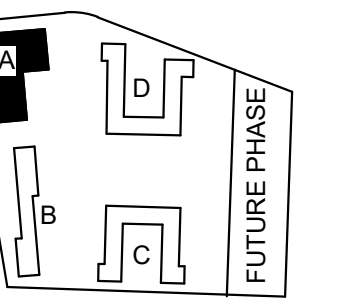


A5 BUILDING A - NORTH STAIR - LEVEL 1
1/4" = 1'-0"

GGLO DESIGN

1301 First Avenue, Suite 301
Seattle, WA 98101

http://www.gglo.com



8487 REGISTERED ARCHITECT
Jonathan F. Hall
JONATHAN F. HALL
STATE OF WASHINGTON

PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201

MARK DATE DESCRIPTION

REVISIONS

C 06/22/2020 BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

B 04/10/2020 DESIGN DEVELOPMENT

A 01/07/2020 SCHEMATIC DESIGN

MARK DATE DESCRIPTION

ISSUE INFORMATION

PROJECT NO.: **2017033**
GGLO PRINCIPAL IN CHARGE: Jon Hall
GGLO PROJECT MANAGER: Scott Schreffler
OWNER APPROVAL:

SHEET TITLE
BUILDING A - STAIRS - PLANS AND SECTIONS

SHEET NO.

AA-400

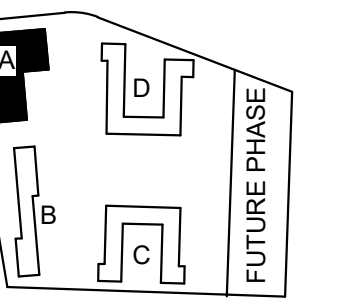
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BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

PLOT DATE/TIME: 6/19/2020 3:46:10 PM

GENERAL STAIR NOTES

1. MIN HEADROOM CLEARANCE IN STAIRS - 8'0" MEASURED VERTICALLY FROM THE STAIR NOSING.
2. HANDRAIL HEIGHT - 34"-38" MEASURED VERTICALLY FROM THE NOSING.
3. TOP HANDRAIL EXTENSIONS - NON CONTINUOUS HANDRAILS SHOULD EXTEND 12" HORIZONTALLY BEYOND THE TOP RISER.
4. BOTTOM HANDRAIL EXTENSIONS - CONTINUE TO SLOPE FOR THE DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER.
5. TREADS AND RISERS IN MEANS OF EGRESS - TREADS 11" MIN AND RISERS 7" MAX
6. PROVIDE SIGN AT EACH LANDING OF EACH INTERIOR EXIT STAIRWAY PER IBC 1023.8 AS SHOWN IN DETAIL.



PROJECT:
EHA BAKER HEIGHTS

EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201

MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
C	06/22/2020	BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **2017033**
 GGLO PRINCIPAL IN CHARGE: **Jon Hall**
 GGLO PROJECT MANAGER: **Scott Schreffler**
 OWNER APPROVAL:

SHEET TITLE
BUILDING A - STAIRS - PLANS AND SECTIONS

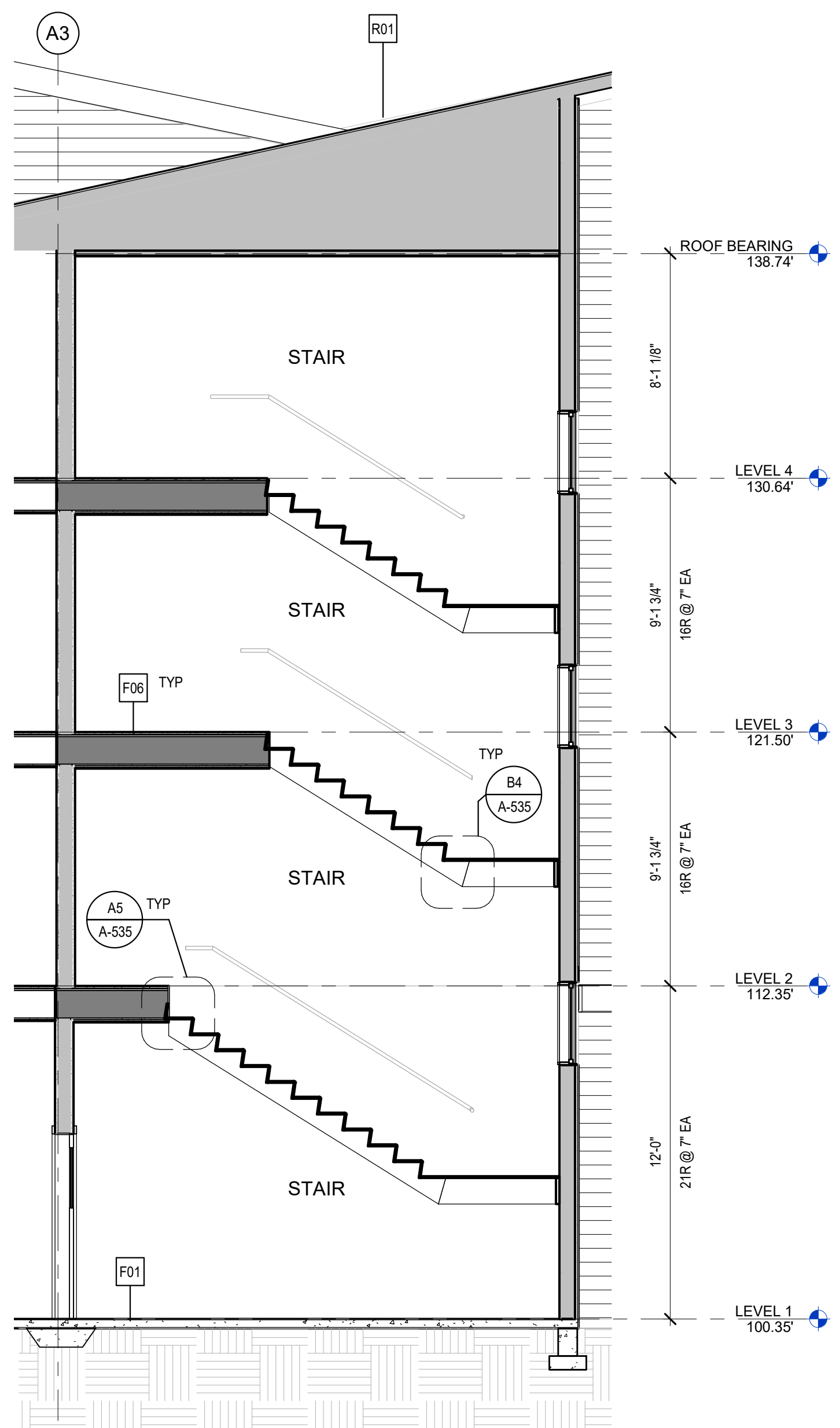
SHEET NO.
AA-401

D

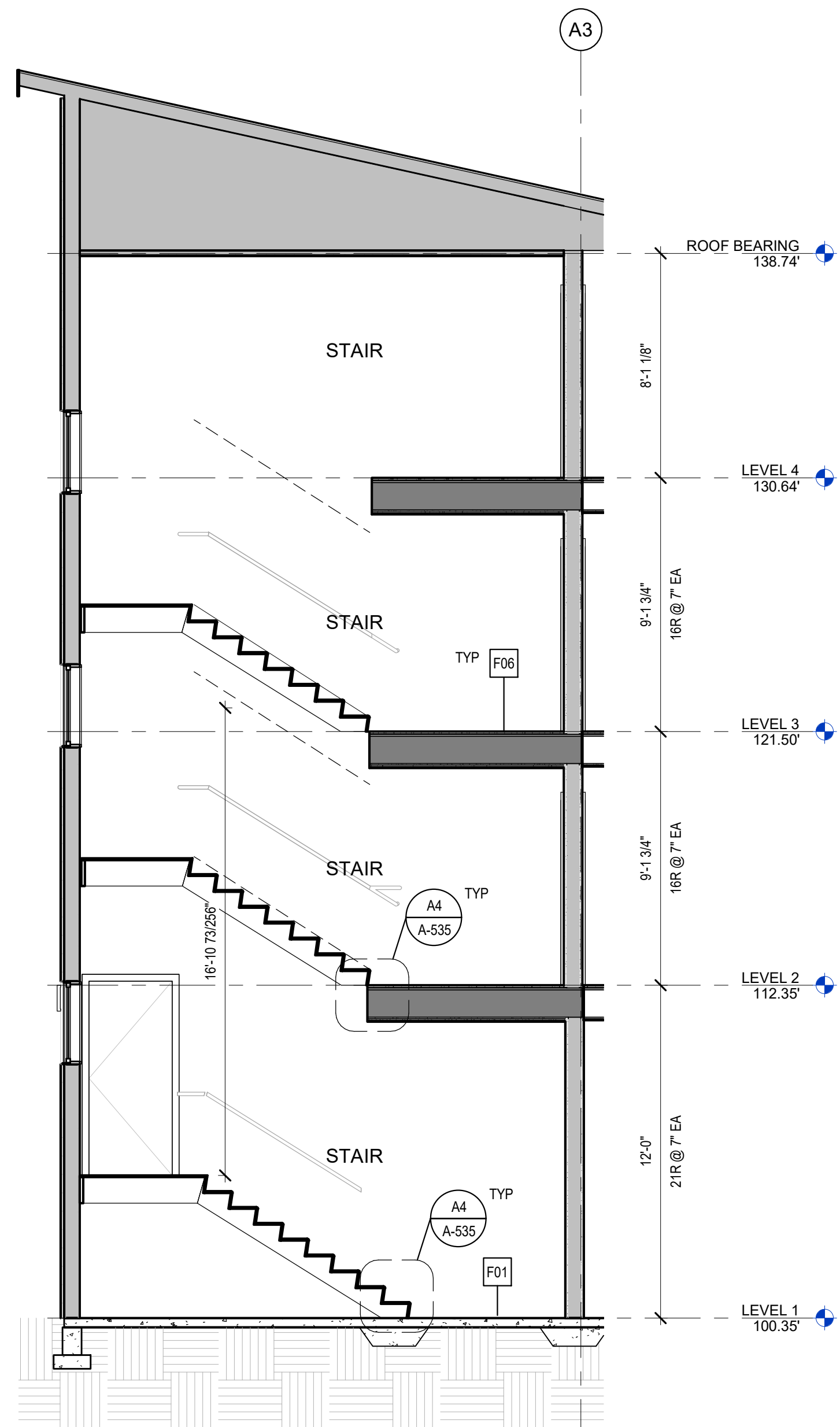
C

B

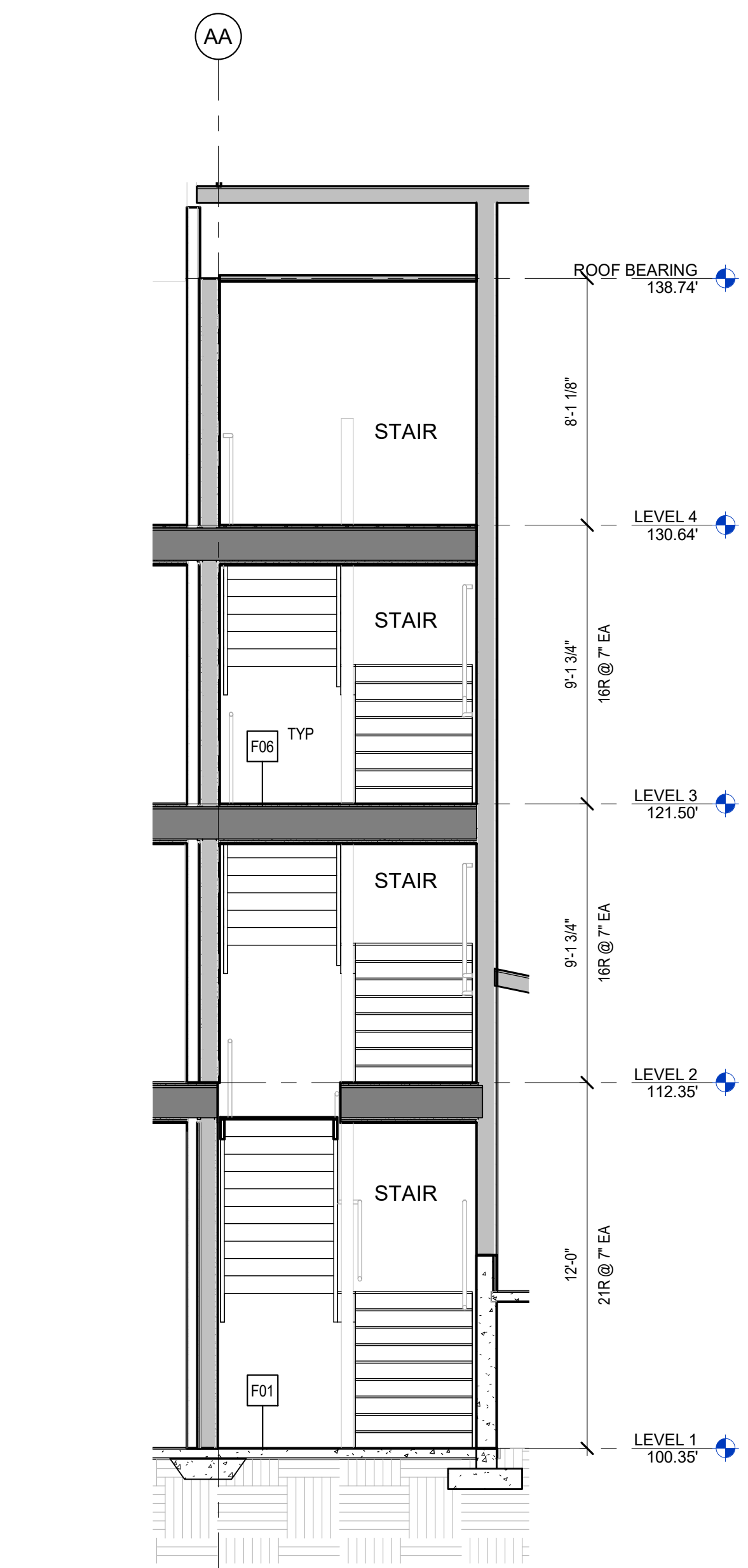
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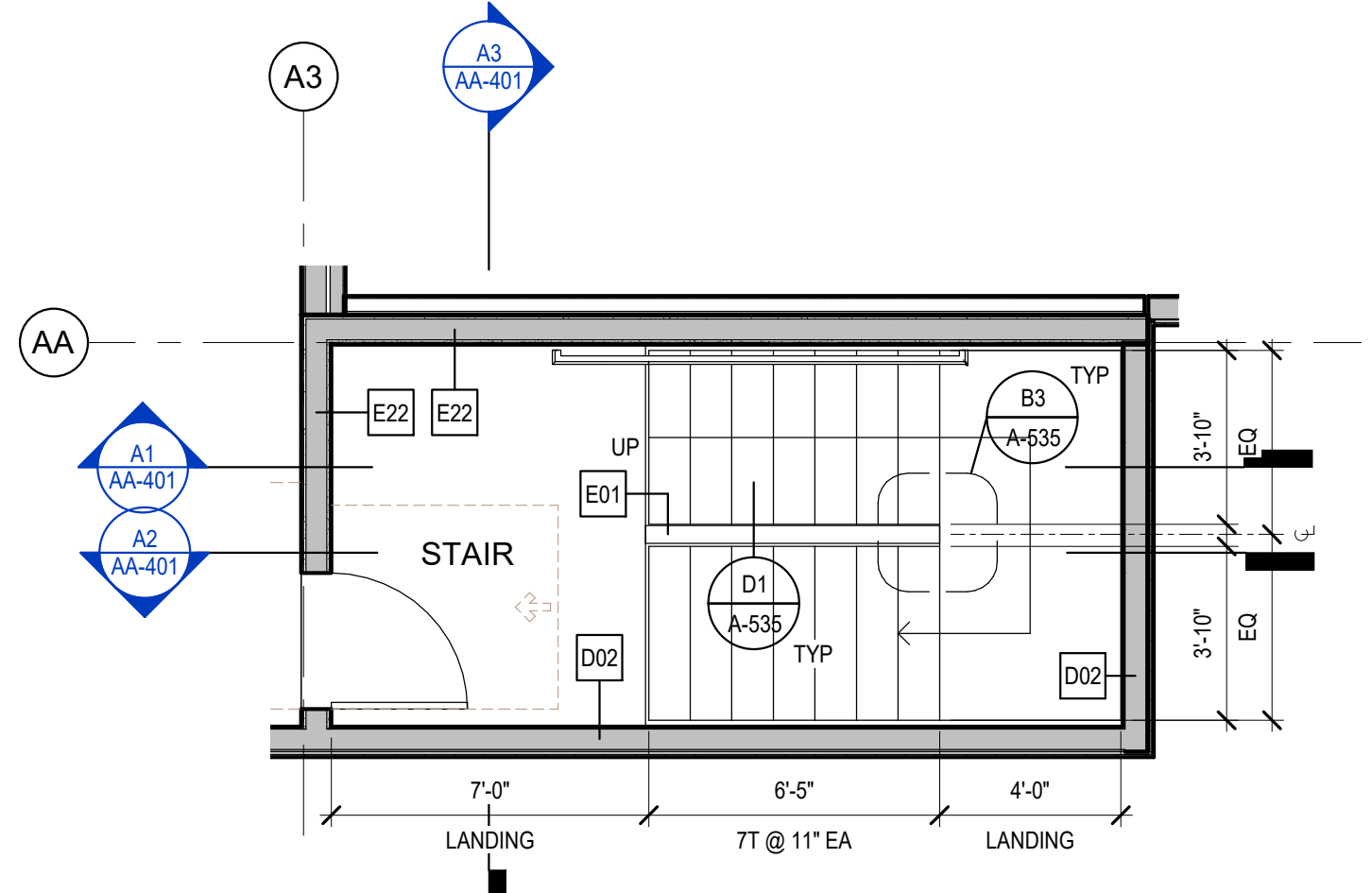
A1 BUILDING A - SOUTH STAIR - E/W SECTION 1
 1/4" = 1'-0"



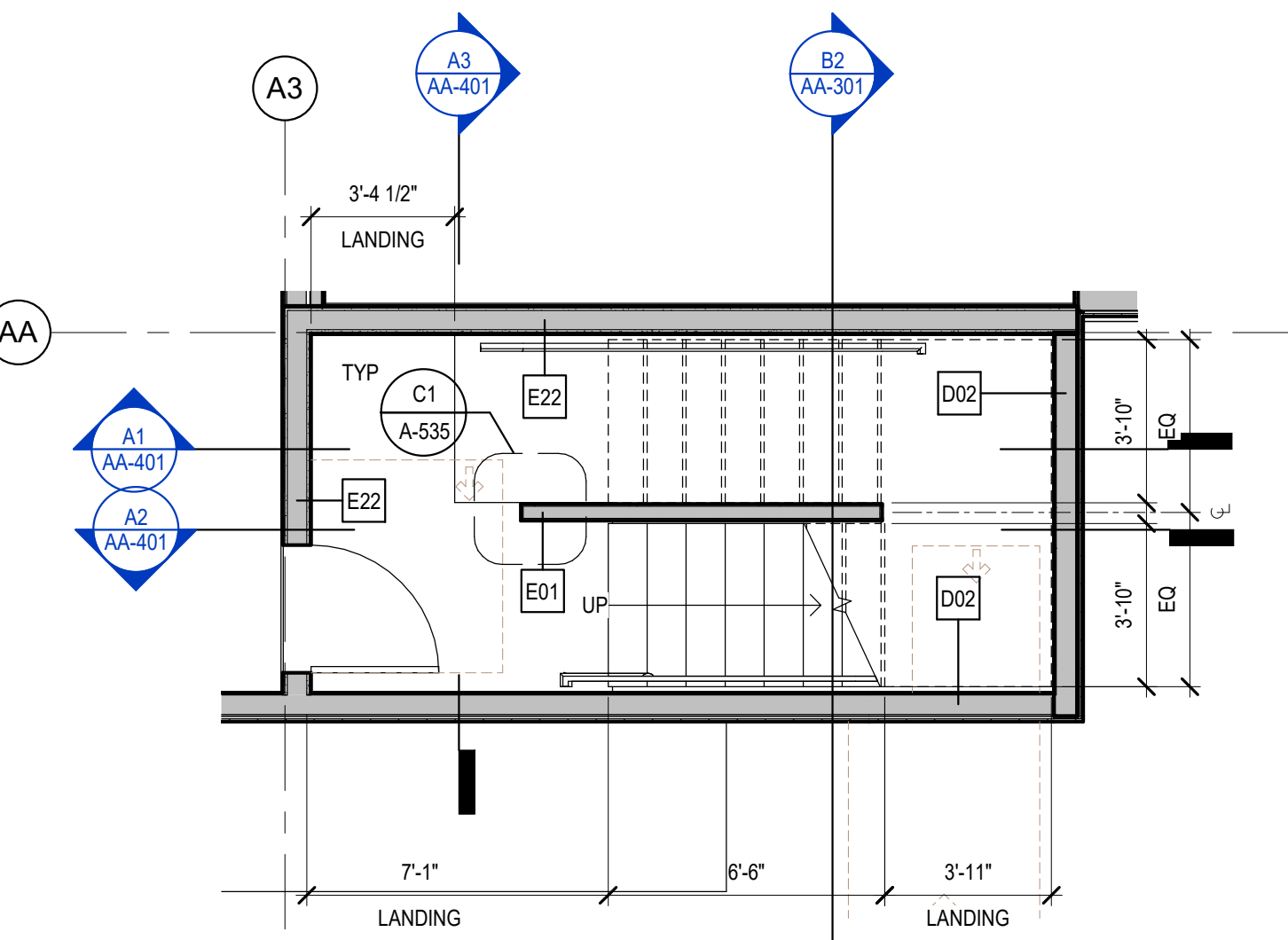
A2 BUILDING A - SOUTH STAIR - E/W SECTION 2
 1/4" = 1'-0"



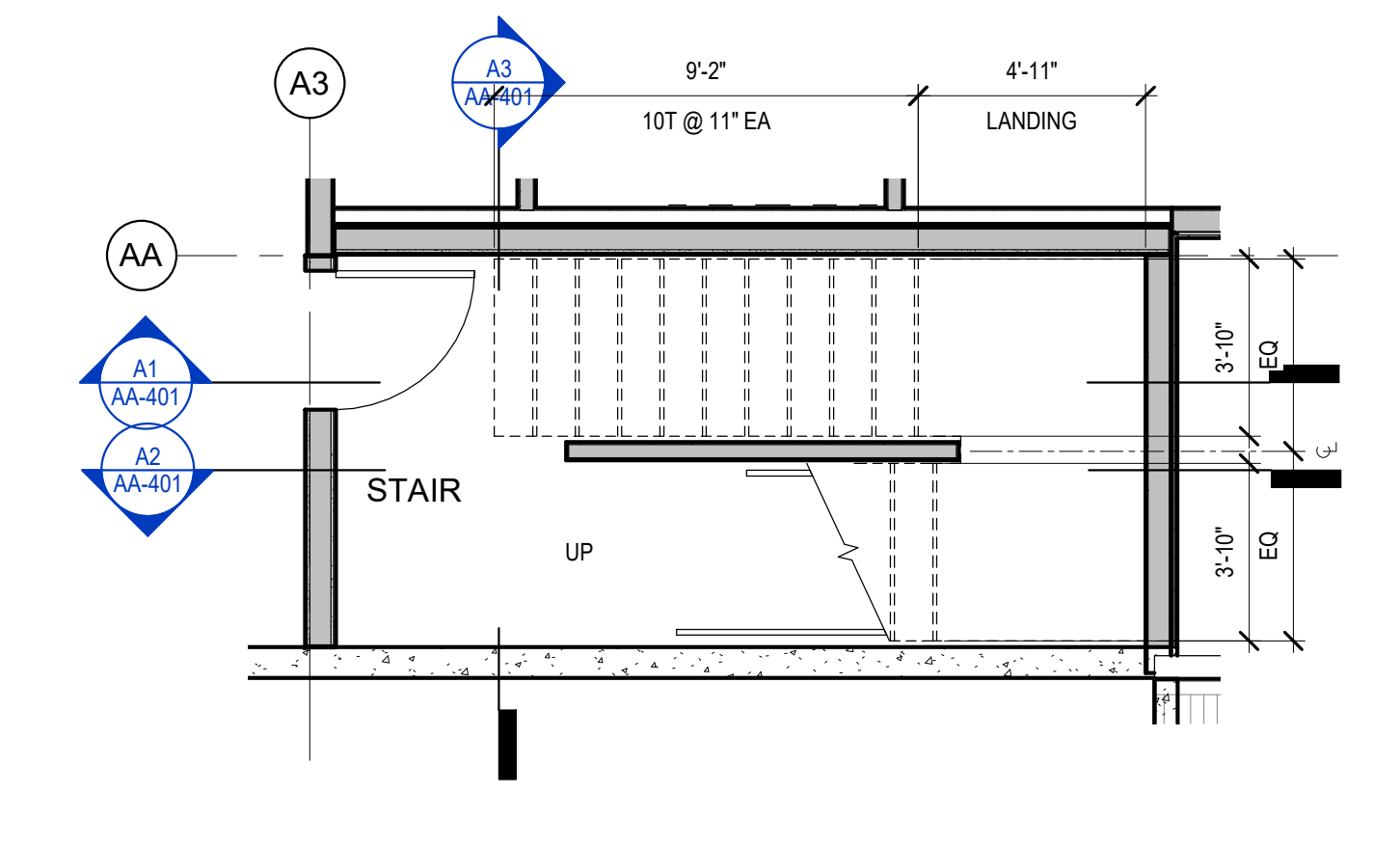
A3 BUILDING A - SOUTH STAIR - N/S SECTION
 1/4" = 1'-0"



C4 BUILDING A - SOUTH STAIR - LEVEL 3-4
 1/4" = 1'-0"



B4 BUILDING A - SOUTH STAIR - LEVEL 2
 1/4" = 1'-0"



A4 BUILDING A - SOUTH STAIR - LEVEL 1
 1/4" = 1'-0"

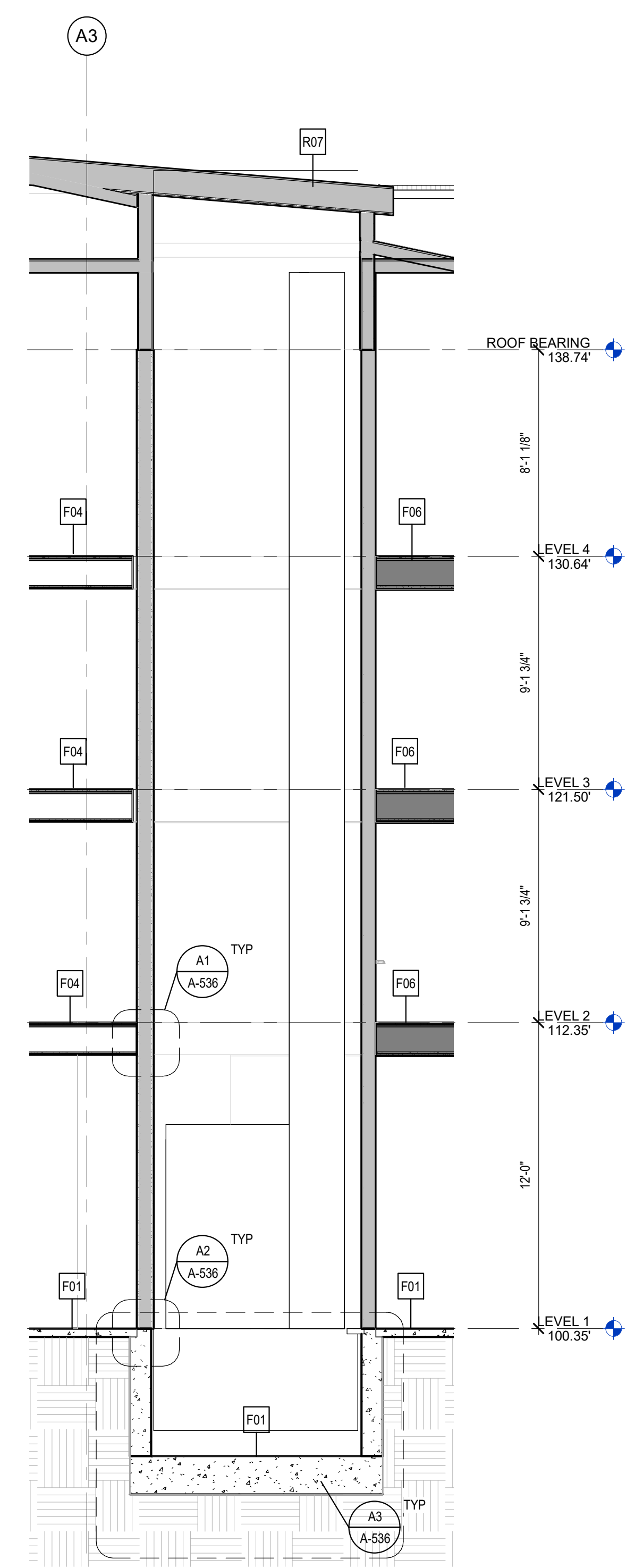
BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

D

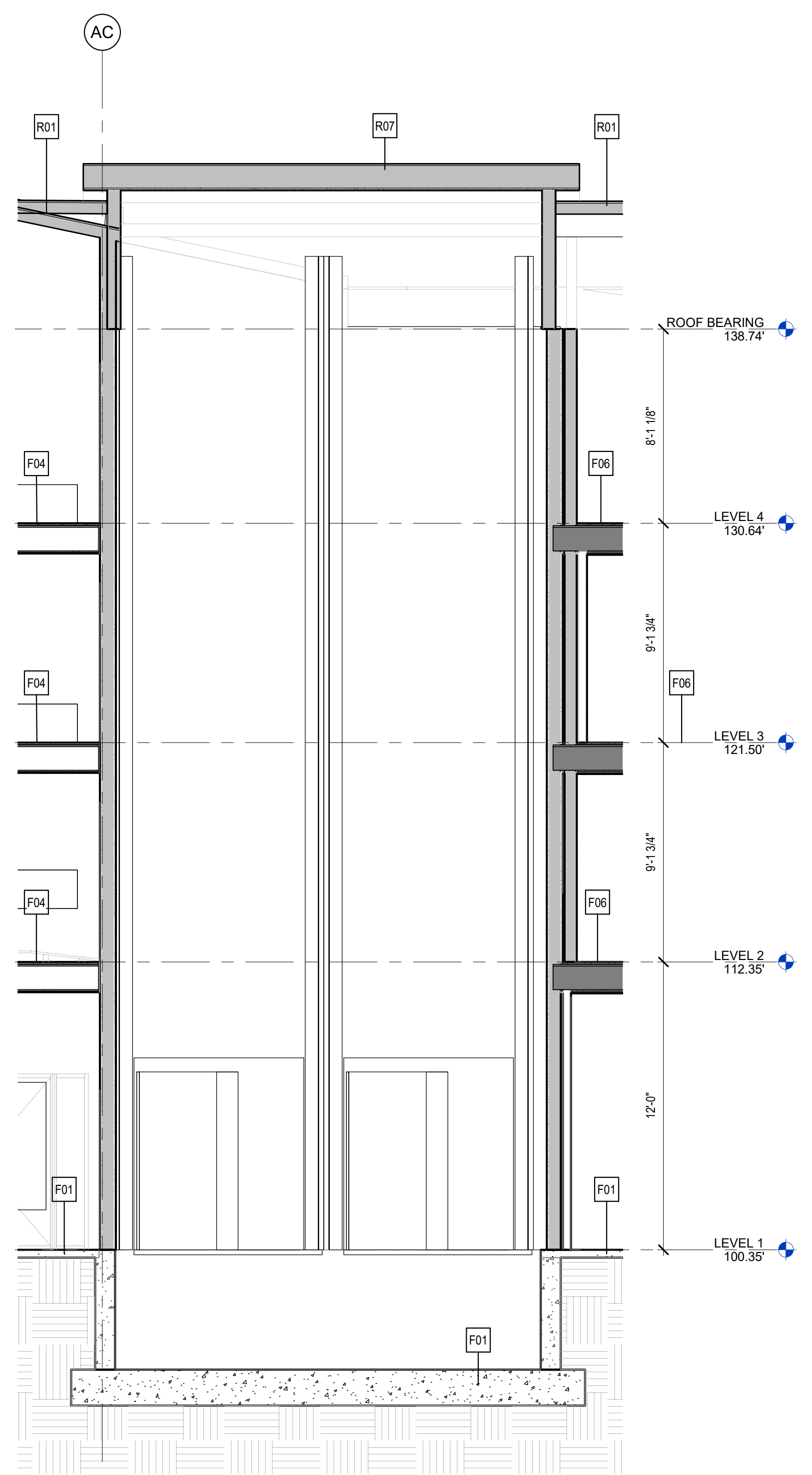
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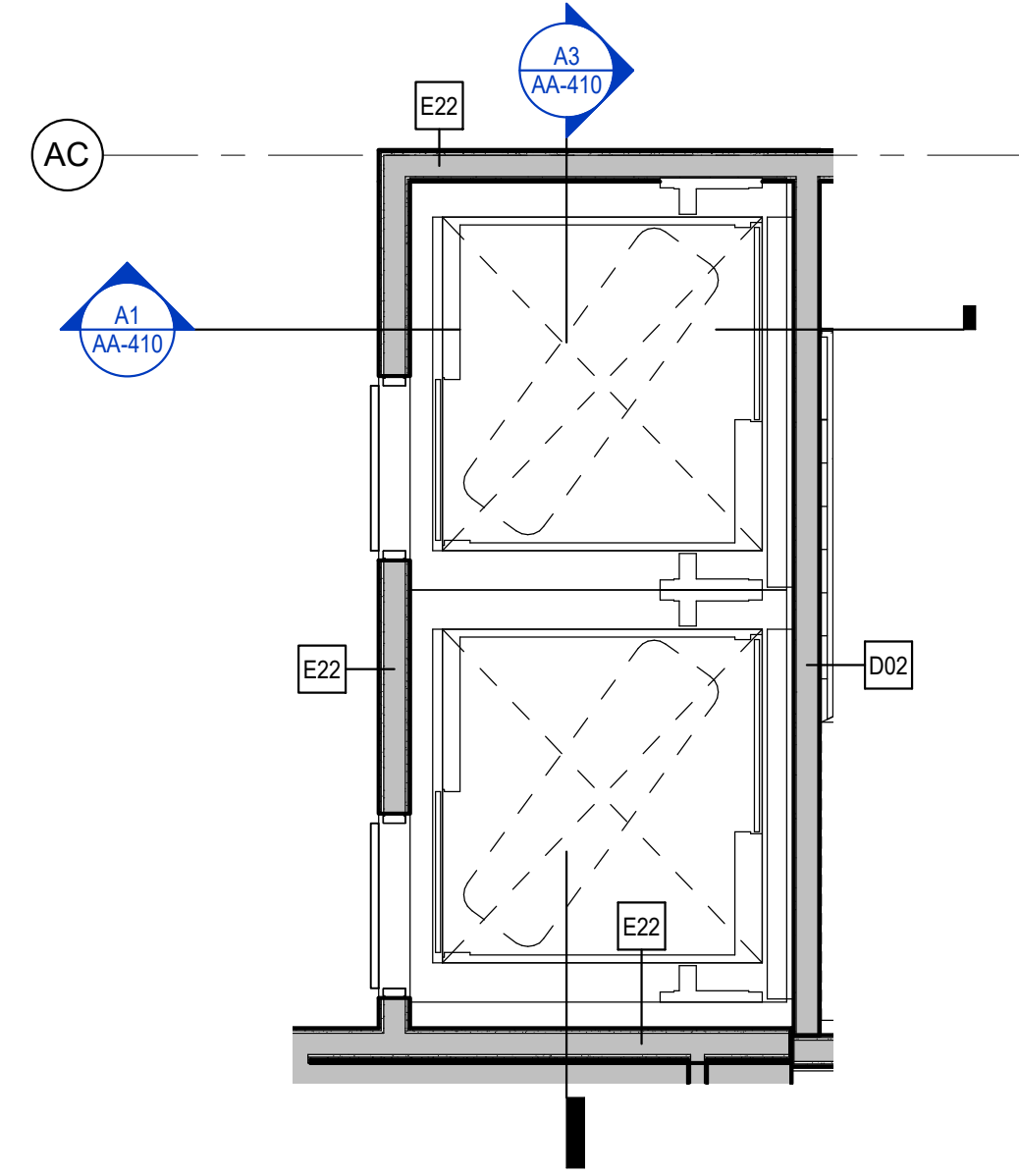
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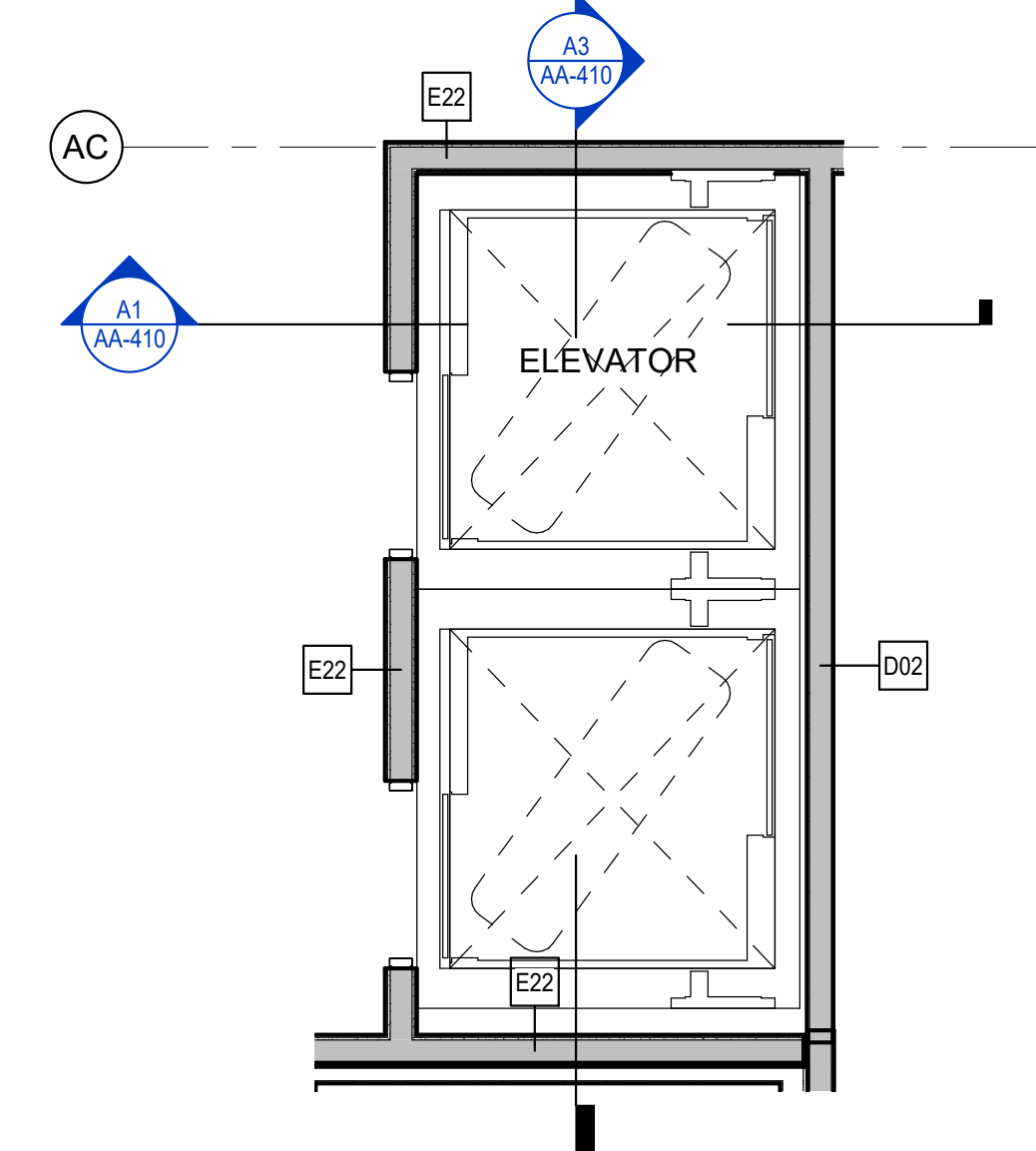
A1 BUILDING A - ELEVATOR E/W SECTION
1/4" = 1'-0"



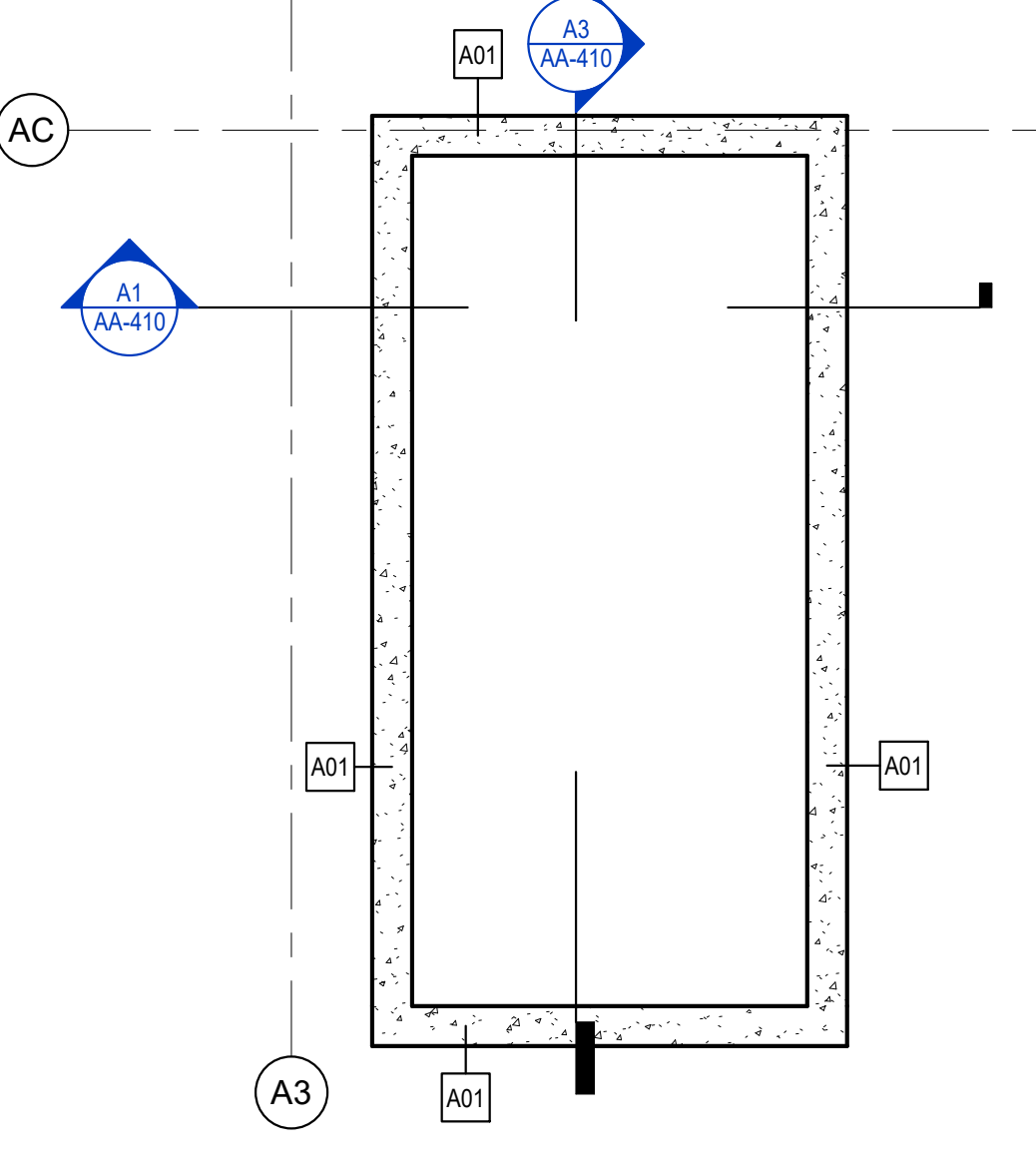
A3 BUILDING A - ELEVATOR N/S SECTION
1/4" = 1'-0"



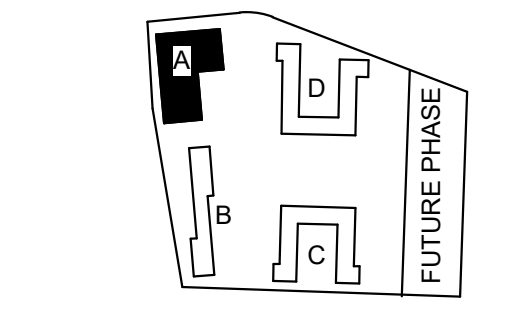
C4 BUILDING A - ELEVATOR PLAN - LEVEL 2-4
1/4" = 1'-0"



B4 BUILDING A - ELEVATOR PLAN - LEVEL 1
1/4" = 1'-0"



A4 BUILDING A - ELEVATOR PIT
1/4" = 1'-0"



PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201
OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201

MARK	DATE	DESCRIPTION
REVISIONS		

C	06/22/2020	BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **2017033**
GGLO PRINCIPAL IN CHARGE: **Jon Hall**
GGLO PROJECT MANAGER: **Scott Schreffler**
OWNER APPROVAL:

SHEET TITLE
**BUILDING A - ELEVATOR
- ENLARGED PLANS &
SECTIONS**

SHEET NO.
AA-410

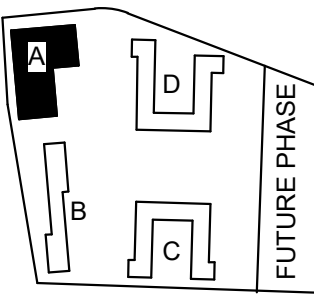
BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

GENERAL NOTES- FINISH PLAN

1. REFER TO FINISH LEGEND FOR ADDITIONAL INFORMATION
2. INSTALL CORNER GUARD AT ALL EXPOSED CORNERS IN PUBLIC AREAS



1301 First Avenue, Suite 301
Seattle, WA 98101
http://www.gglo.com



PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201

MARK	DATE	DESCRIPTION
REVISIONS		

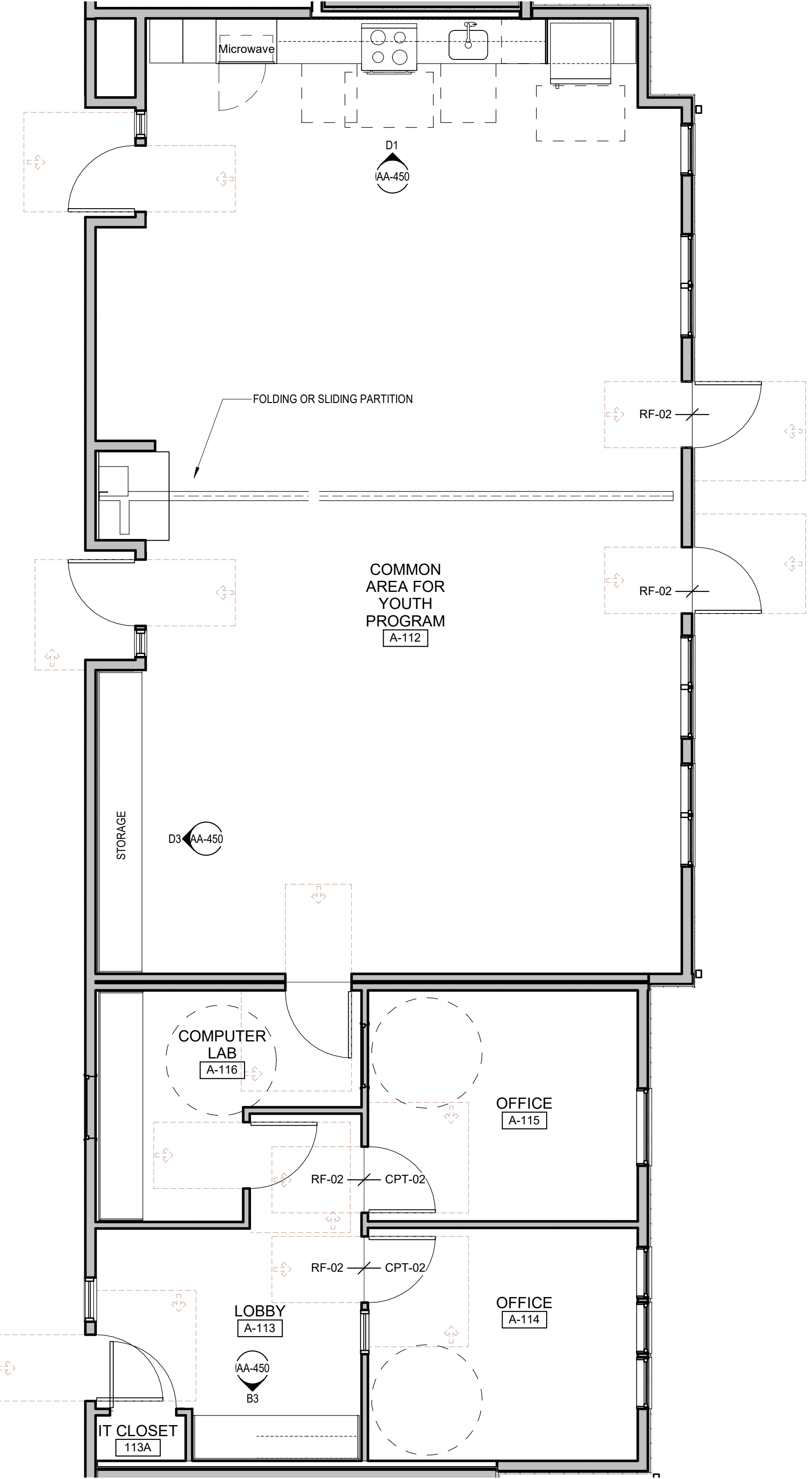
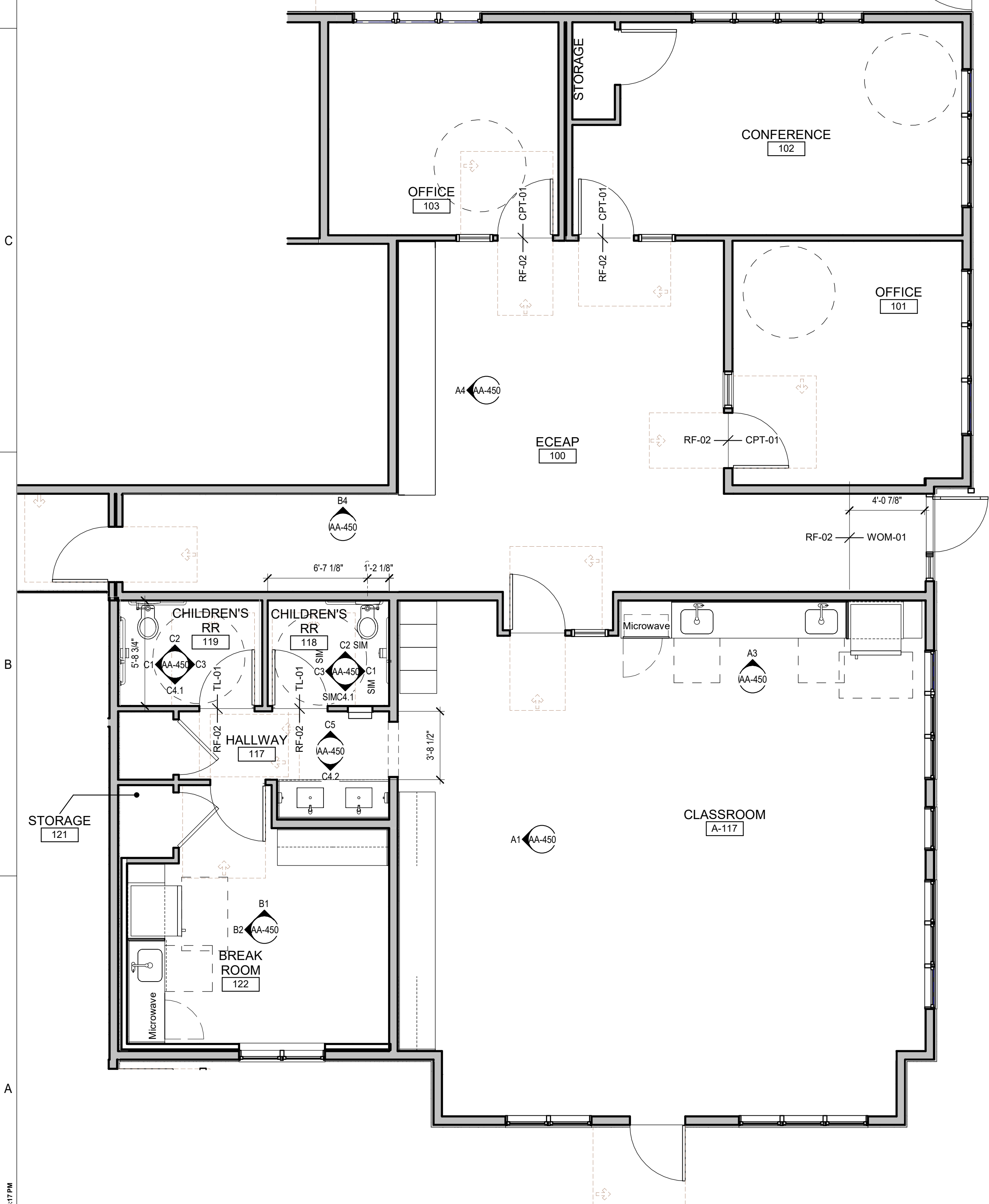
.C	06/22/2020	BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN
ISSUE INFORMATION		

PROJECT NO.: **2017033**
GGLO PRINCIPAL IN CHARGE: **Jon Hall**
GGLO PROJECT MANAGER: **Scott Schreffler**
OWNER APPROVAL:

SHEET TITLE
BUILDING A - ENLARGED FINISH PLANS - LEVEL 1 AND LEVEL 2

SHEET NO.
AA-420

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A1 BUILDING A - ENLARGED FINISH PLANS - ECEAP
1/4" = 1'-0"

A3 BUILDING A - ENLARGED FINISH PLANS - COMMON AREA & OFFICES
1/4" = 1'-0"

BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

PLOT DATE/TIME: 06/02/2020 3:46:57 PM

D

C

B

A

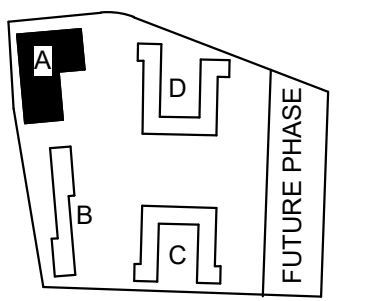
GENERAL NOTES- FINISH PLAN

- 1. REFER TO FINISH LEGEND FOR ADDITIONAL INFORMATION
- 2. INSTALL CORNER GUARD AT ALL EXPOSED CORNERS IN PUBLIC AREAS



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Seattle, WA 98101

http://www.gglo.com



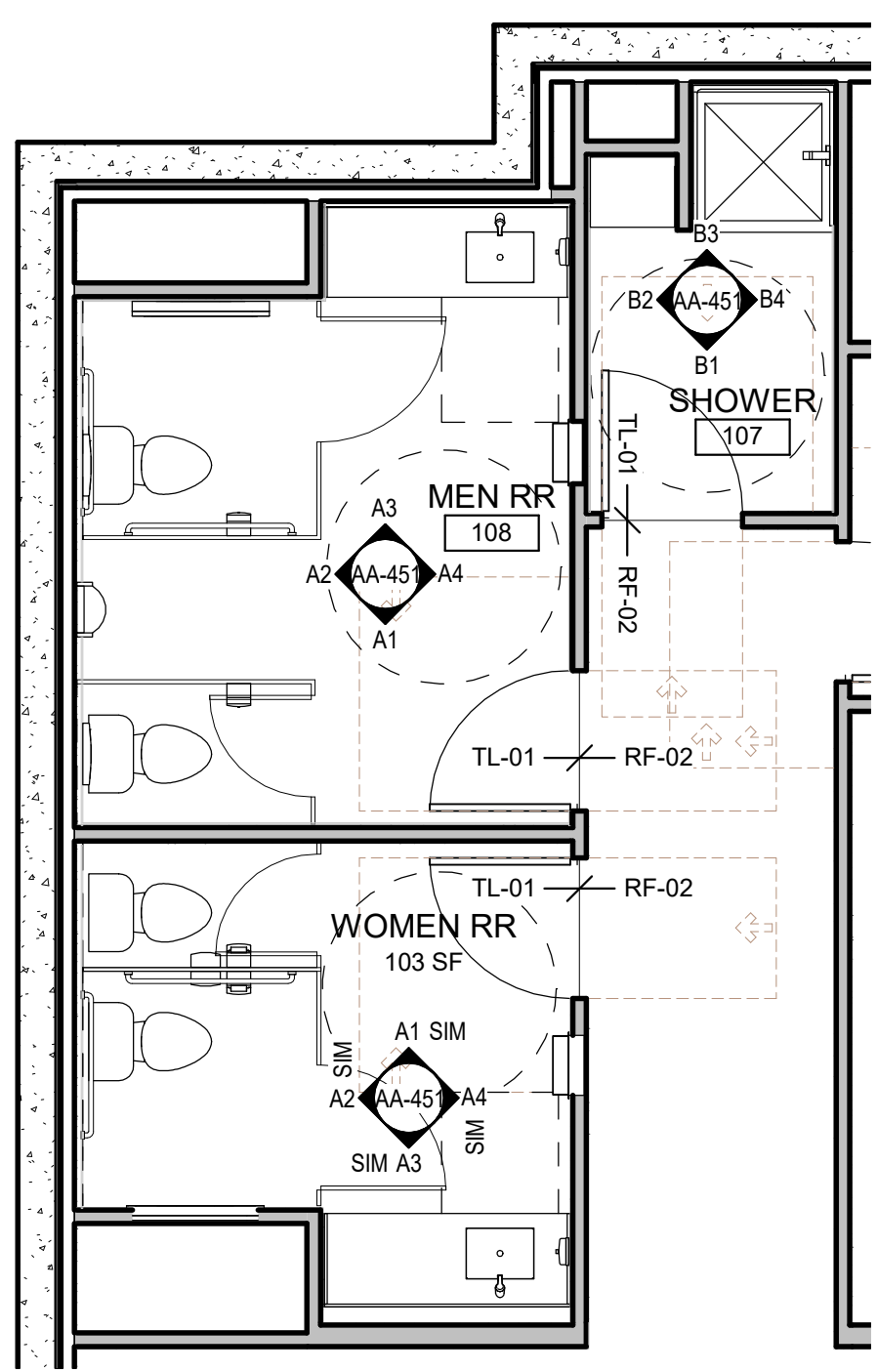
PROJECT:
EHA BAKER HEIGHTS

EVERETT
HOUSING AUTHORITY

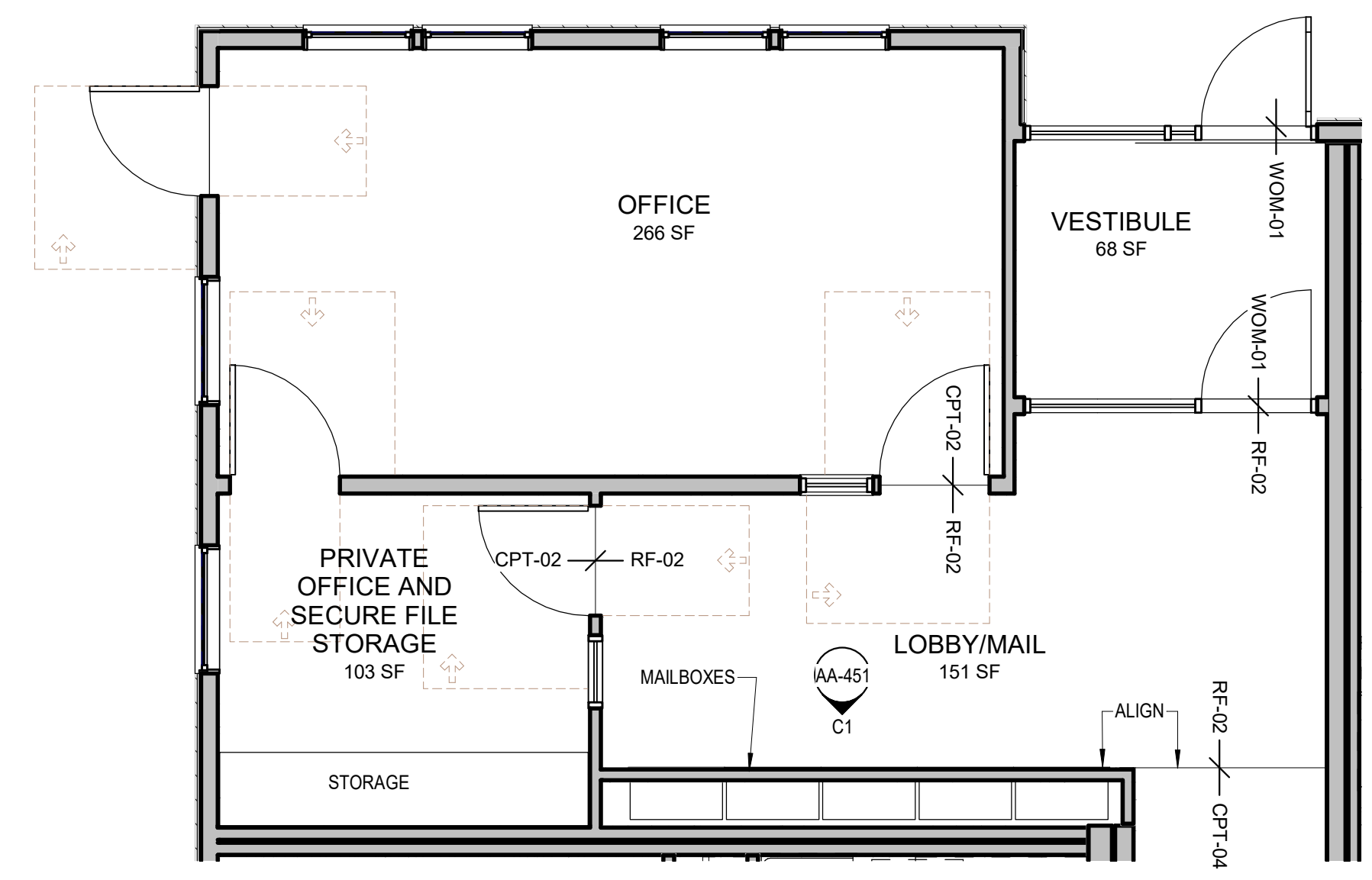
PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201

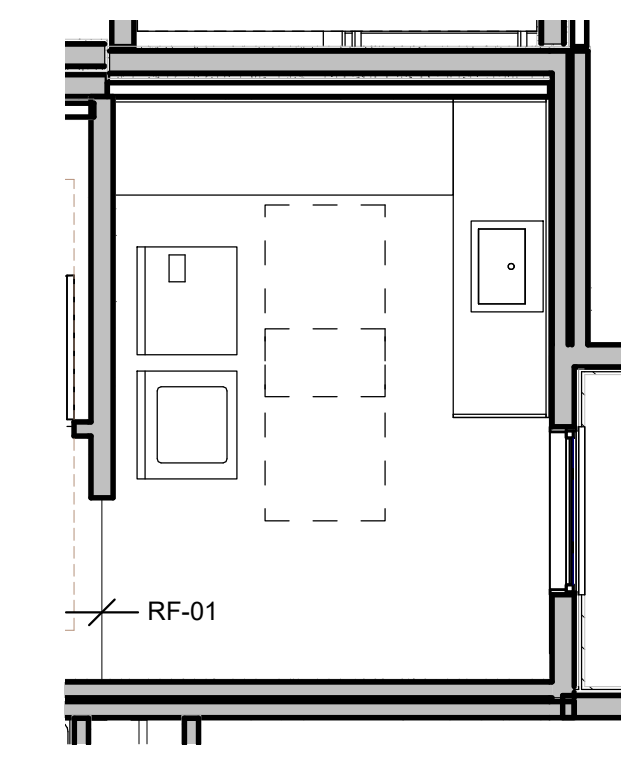
MARK	DATE	DESCRIPTION
REVISIONS		



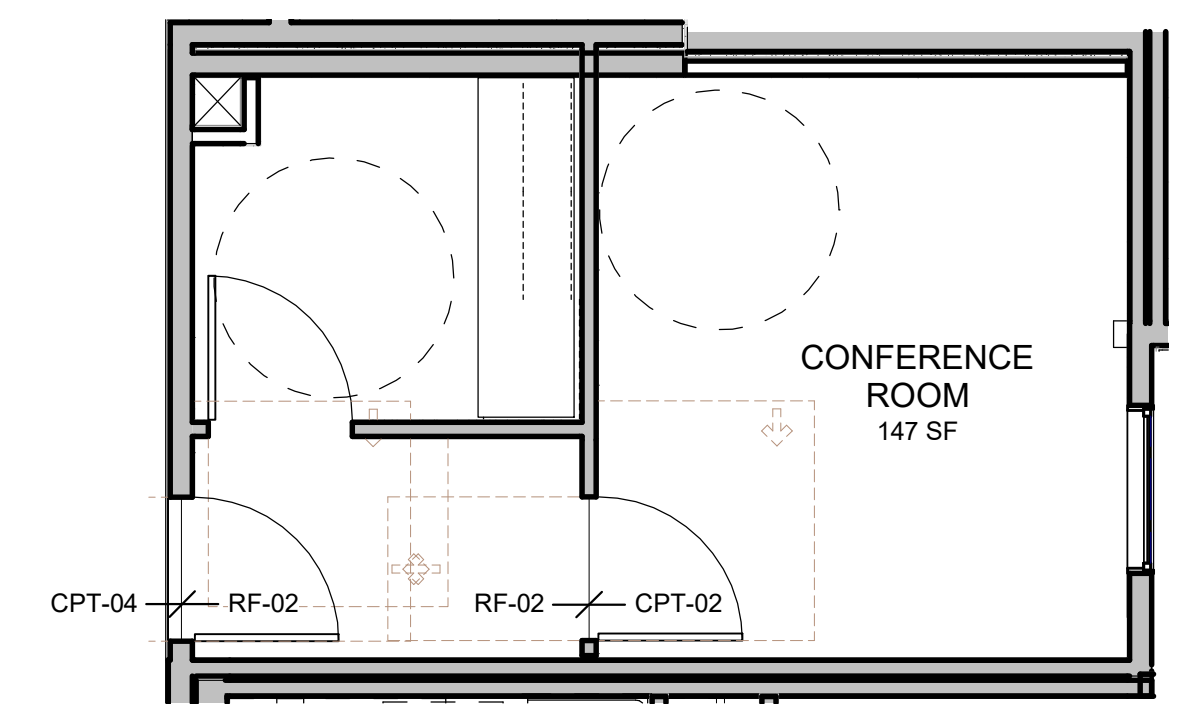
(A1) BUILDING A - LEVEL 1 RESTROOMS AND SHOWER
1/4" = 1'-0"



(A2) BUILDING A - LEVEL 2 OFFICES, LOBBY / MAIL
1/4" = 1'-0"



(B4) BUILDING A - LEVEL 3 LAUNDRY ROOM
1/4" = 1'-0"



(A4) BUILDING A - LEVEL 2 CONFERENCE ROOM
1/4" = 1'-0"

PLOT DATE/TIME: 8/10/2020 2:46:58 PM

BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

MARK	DATE	DESCRIPTION
C	06/22/2020	BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN
ISSUE INFORMATION		

PROJECT NO.: **2017033**
 GGLO PRINCIPAL IN CHARGE: Jon Hall
 GGLO PROJECT MANAGER: Scott Schreffler
 OWNER APPROVAL: _____

SHEET TITLE
BUILDING A - ENLARGED FINISH PLANS - LEVEL 1, 2, AND 3

SHEET NO.
AA-421

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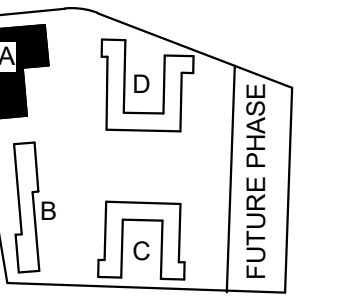
GENERAL NOTES- FFE PLAN

1. FOR REFERENCE ONLY; FFE PROVIDED BY OWNER



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Seattle, WA 98101

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PROJECT:
EHA BAKER HEIGHTS
 EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201
OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201

MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
C	06/22/2020	BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN
ISSUE INFORMATION		

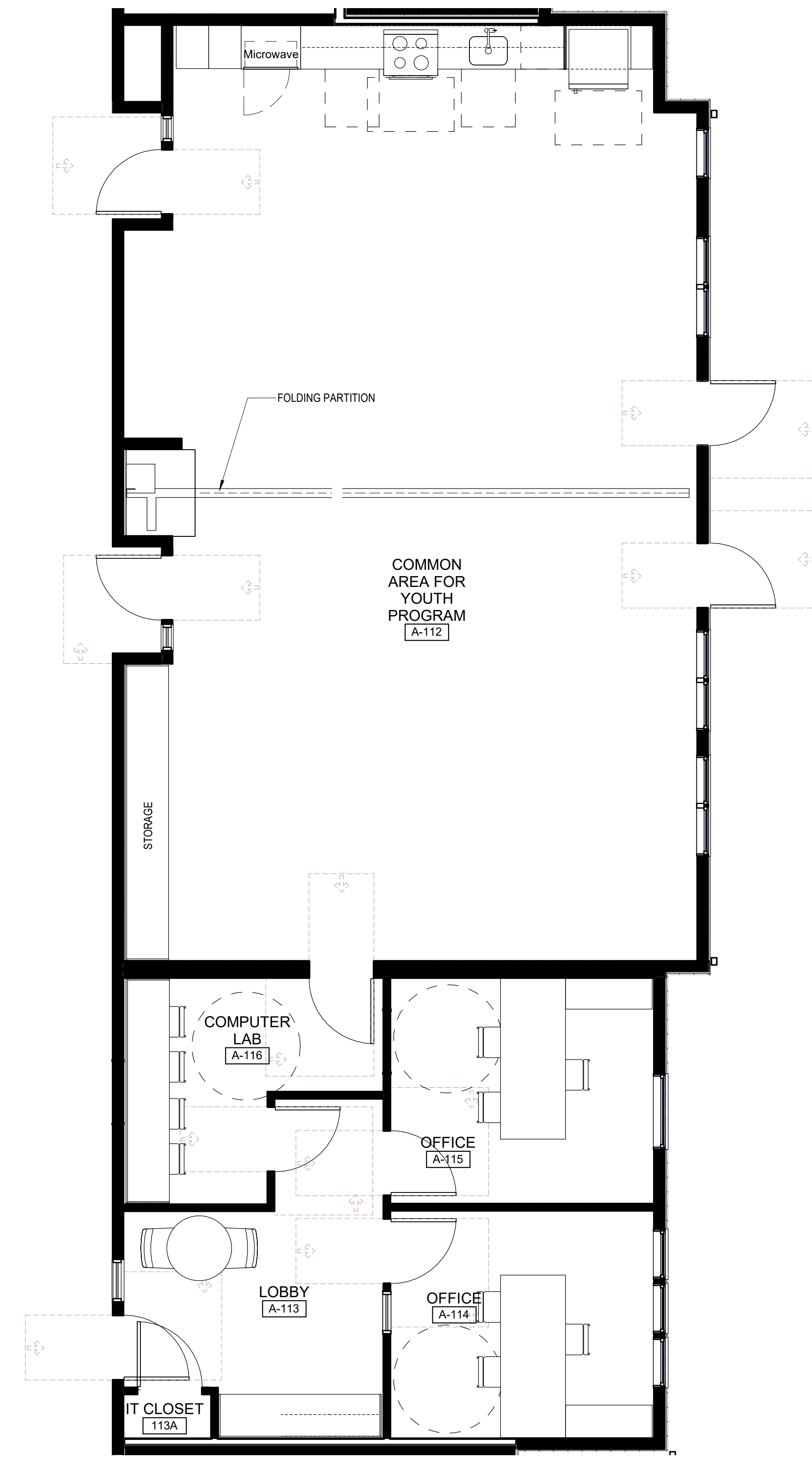
PROJECT NO.: **2017033**
GGLO PRINCIPAL IN CHARGE: **Jon Hall**
GGLO PROJECT MANAGER: **Scott Schreffler**
OWNER APPROVAL: _____

SHEET TITLE
BUILDING A - FURNISHING PLANS

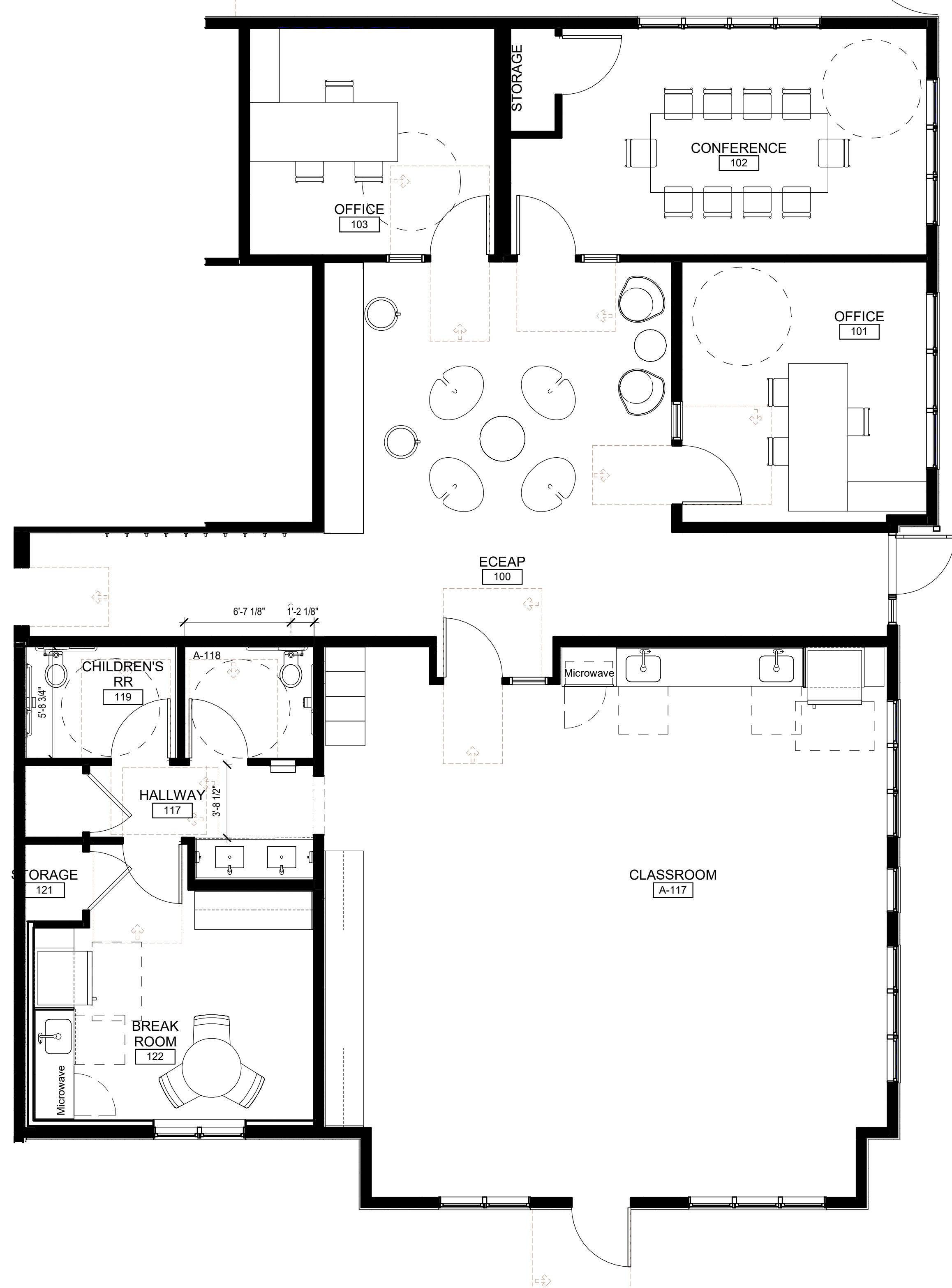
SHEET NO.
AA-430

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BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL



A3 BUILDING A - ENLARGED FFE PLANS - COMMON AREA & OFFICES
1/4" = 1'-0"



A1 BUILDING A - ENLARGED FFE PLANS - ECEAP
1/4" = 1'-0"

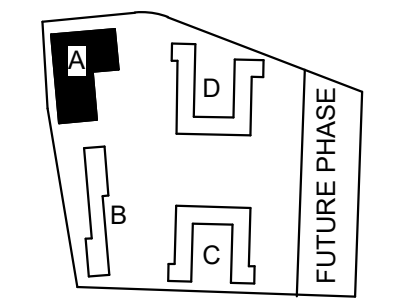
PLLOT DATE/TIME: 6/18/2020 3:48:20 PM

GENERAL NOTES- FFE PLAN

1. FOR REFERENCE ONLY; FFE PROVIDED BY OWNER



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<http://www.gglo.com>



PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

**BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201**

OWNER:

**EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201**

MARK	DATE	DESCRIPTION
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REVISIONS

C	06/22/2020	BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
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B	04/10/2020	DESIGN DEVELOPMENT
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A	01/07/2020	SCHEMATIC DESIGN
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MARK	DATE	DESCRIPTION
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ISSUE INFORMATION

PROJECT NO.: **2017033**

GGLO PRINCIPAL IN CHARGE: **Jon Hall**

GGLO PROJECT MANAGER: **Scott Schreffler**

OWNER APPROVAL: _____

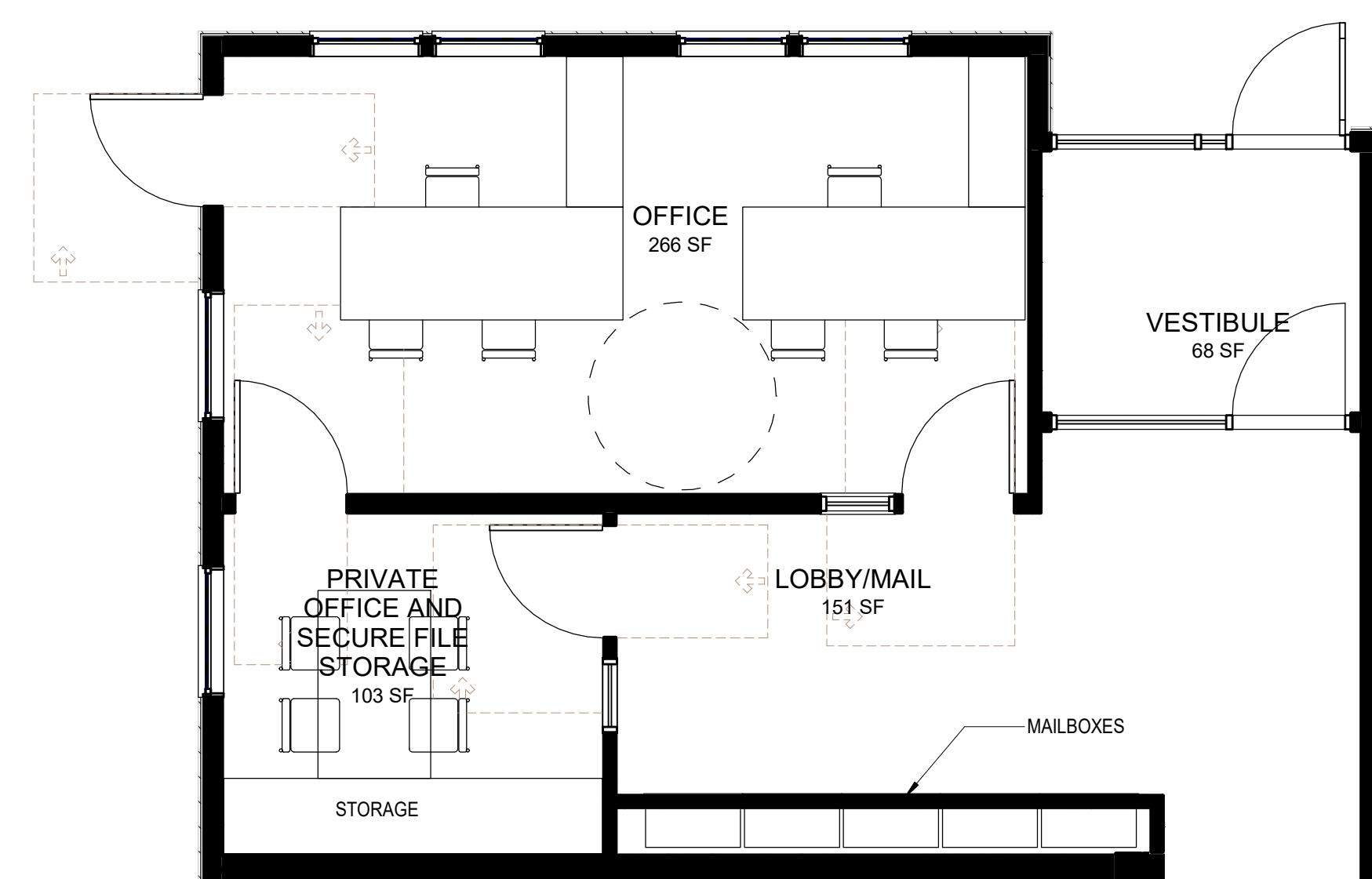
SHEET TITLE

BUILDING A - FURNISHING PLANS

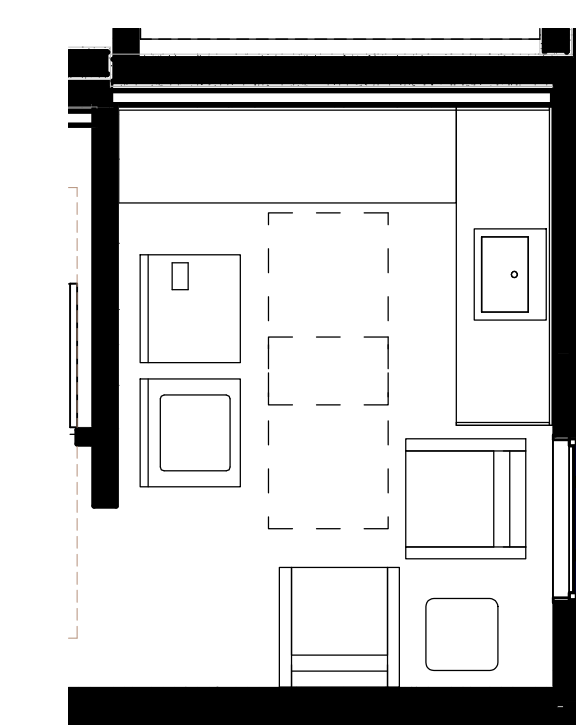
SHEET NO.

AA-431

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(A2) BUILDING A - LEVEL 2 OFFICES, LOBBY / MAIL FFE
1/4" = 1'-0"



(A4) BUILDING A - LEVEL 3 LAUNDRY ROOM FFE
1/4" = 1'-0"

BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

PLOT DATE/TIME: 6/19/2020 3:46:51 PM

D

C

B

A

PLANT DATE/TIME: 06/22/2020 3:46:28 PM

FINISH LEGEND: PUBLIC SPACES

MARK	TYPE	LOCATION (GENERAL)	MANUFACTURER	PRODUCT NAME	COLOR NAME	FINISH	SIZE	NOTES / PRODUCT REPRESENTATIVE
APC-01	ACOUSTIC PANEL CEILING							
CAB-02	CABINETS	PUBLIC	CERO WORKS	FRAMELESS FLAT FRONT BIRCH PLYWOOD CUSTOM CASEWORK		HYDRO-PURE CLEAR FINISH or GEMINI LACQUER...	PER ELEVATIONS	AMY DEL OLMO amy@creoworks.com 206.922.8007
CG-01	CORNER GUARD	ALL PUBLIC CORNERS	KOROSEAL	F SERIES			CORNER WING LENGTH: 1.5"	
CPT-01	CARPET	ECEAP OFFICE	SHAW CONTRACT	OBSERVE COLOR TILE 5T309	MOUNTAIN LAKE 05327		PLANK: 9" X 36"	MATT CHAMBERS: matt.chambers@shawcontract.com 206 499 8847
CPT-02	CARPET	OFFICES	SHAW CONTRACT	OBSERVE TILE 5T306	FRAGILE 05760		PLANK: 9" X 36"	MATT CHAMBERS: matt.chambers@shawcontract.com 206 499 8847
CPT-03	CARPET	OFFICES	SHAW CONTRACT	OBSERVE TILE 5T306	WILD 05557		PLANK: 9" X 36"	MATT CHAMBERS: matt.chambers@shawcontract.com 206 499 8847
CPT-04	CARPET	CORRIDORS	SHAW CONTRACT	PAVERS II TILE 5T201	STONE 98595		PLANK: 9" X 36"	MATT CHAMBERS: matt.chambers@shawcontract.com 206 499 8847
FAB-01	FABRIC	ECEAP	ARCHITEX	ULTRAPOSH	ISLE		54"W NO REPEAT	STEPHANIE DESHAIES stephaniedeshaies@architex-ijh.com 206.383.7215
HDW-02	HARDWARE	PUBLIC						
PT-03	PAINT	TYPICAL WALLS & CEILING, UNO	SHERWIN WILLIAMS		SW2844 ROY/CROFT MIST GRAY	SATIN		
PT-04	PAINT	ECEAP LOBBY WALL ACCENT	SHERWIN WILLIAMS		SW6193 PRIVILEGE GREEN	SATIN		
PT-05	PAINT	ECEAP BATHROOMS ACCENT	SHERWIN WILLIAMS		SW7741 WILLOW TREE	SATIN		
PT-06	PAINT	CASEWORK LOBBY ACCENT	SHERWIN WILLIAMS		SW0012 EMPIRE GOLD	SATIN		
PT-07	PAINT	CASEWORK OFFICES	SHERWIN WILLIAMS		SW0045 ANTIQUARIAN BROWN	SATIN		
PT-08	PAINT	SUPPORT OFFICES ACCENT	SHERWIN WILLIAMS		SW6054 CANYON CLAY	SATIN		
PT-09	PAINT	CORRIDOR ENTRY RECESS	SHERWIN WILLIAMS		SW6209 RIPE OLIVE	SATIN		
PT-10	PAINT	CORRIDOR ENTRY WOOD TRIM	SHERWIN WILLIAMS		SW 7069 IRON ORE	SATIN		
RB-01	RUBBER BASE	ALL PUBLIC SPACES	JOHNSONITE	DURACOVE	TBD		6" HIGH	
RF-01	RUBBER FLOORING	ELEVATOR CAB FLOOR						
RF-02	RESILIENT FLOORING	ECEAP/ ELEVATOR LANDINGS	FORBO	TI9103			THICKNESS: .1" LENGTH: 39.4" WIDTH: 9.8"	
SSC-01	SOLID SURFACE COUNTERTOP	ECEAP	PENTAL GRANITE AND MARBLE	PENTAL QUARTZ	BQ201P CASCADE WHITE...		THICKNESS: 2CM	FLAT POLISHED EDGE
ST-01	STAIN	UNIT ENTRY DOORS	CUSTOM TO MATCH DESIGNERS...	LANZ CABINETS	JAVA ON BEACH	SATIN		
TL-01	TILE	ECEAP	DALTILE	VOLUME 1.0	VL70 AMPLIFY BLACK		FIELD TILE 12" X 24"	CHUCK HILL: chuck.hill@daltille.com 206.999.6890
TL-02	TILE	ECEAP	DALTILE	VOLUME 1.0 P36C9TP36C9T	VL70 AMPLIFY BLACK		COVE BASE TILE: 6" X 12"	
TL-03	TILE	ECEAP	DALTILE	VOLUME 1.0 P43C9P43C9	VL70 AMPLIFY BLACK		BULLNOSE TILE: 3" X 12"	
WC-01	BULLETIN BOARD	ECEAP	FORBO	BULLETIN BOARD	2209 BLACK OLIVE		THICKNESS: .25" LENGTH: 90" WIDTH: 48"	
WD-01	WOOD	DOOR TRIM	GC TO SPECIFY	FLAT STOCK	PT-10		4" WIDTH	
WOM-01	WALK OFF MAT	ENTRY FLOOR/ VESTIBULES	TANDUS CENTIVA	ABRASIVE ACTION II	TBD			
WT-02	WINDOW TREATMENT	TBD		VERTICAL BLINDS	WHITE			

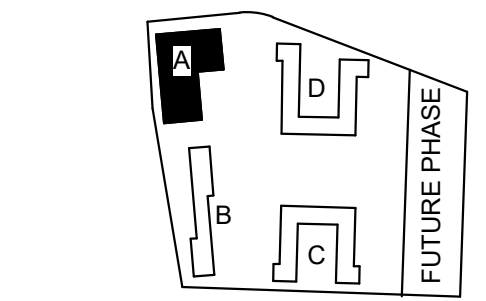
FINISH LEGEND: RESIDENTIAL UNITS - SCHEME A

MARK	TYPE	LOCATION (GENERAL)	MANUFACTURER	PRODUCT NAME /	COLOR NAME /	FINISH	SIZE	NOTES / PRODUCT REPRESENTATIVE
CAB-01	CABINETS	KITCHEN & BATH	LANZ CABINETS	FRAMELESS FLAT FRONT DOORS AND DRAWERS WITH PLYWOOD BOXES	SERIA TEAK	THERMAFOIL WITH PLYWOOD BOXES	PER ELEVATIONS	JULIE GREEN JulieGreen@lanzcabineets.com (541) 485-4050 ext 257
HDW-01	HARDWARE	TYPICAL THROUGHOUT	LANZ CABINETS	SQUARE PULL	SATIN NICKEL		96MM	JULIE GREEN JulieGreen@lanzcabineets.com (541) 485-4050 ext 257
PT-01	PAINT	TYPICAL WALL & CEILING	SHERWIN WILLIAMS		SW7009 PEARLY WHITE	SATIN		
PT-02	PAINT	TYPICAL TRIM	SHERWIN WILLIAMS		SW7009 PEARLY WHITE	SEMI GLOSS		
RF-01	RESILIENT FLOOR	THROUGHOUT	CASCADE LUXURY VINYL	CREATIVE OPTIONS	ALMOND TOFFEE		9" X 48" PLANK X 5MM THICK	MAXWELL LARKIN maxwell.larkin@wanke.com
RF-03	RESILIENT FLOOR	TYPE A BATHROOMS	CASCADE LUXURY VINYL	TBD				
PLM-01	PLASTIC LAMINATE	KITCHEN & BATH COUNTER	WILSON ART		SLATE GREY D91	60 MATTE FINISH		
WT-01	WINDOW TREATMENT	EXTERIOR WINDOWS		VERTICAL BLINDS	WHITE			

BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL



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Seattle, WA 98101
http://www.gglo.com



PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201
OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201

MARK DATE DESCRIPTION

REVISIONS

.C 06/22/2020 BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

B 04/10/2020 DESIGN DEVELOPMENT

A 01/07/2020 SCHEMATIC DESIGN

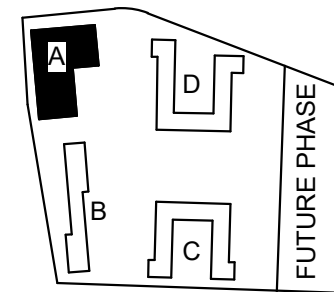
MARK DATE DESCRIPTION

ISSUE INFORMATION

PROJECT NO.: **2017033**
GGLO PRINCIPAL IN CHARGE: **Jon Hall**
GGLO PROJECT MANAGER: **Scott Schreffler**
OWNER APPROVAL:

SHEET TITLE
BUILDING A - INTERIOR FINISH LEGENDS

SHEET NO.
AA-630



PROJECT:

EHA BAKER HEIGHTS



PROJECT ADDRESS:

**BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201**

OWNER:

**EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201**

BATH ACCESSORIES LEGEND: PUBLIC SPACES

MARK	TYPE	LOCATION (GENERAL)	MANUFACTURER	PRODUCT NAME /	COLOR NAME /	FINISH	SIZE	NOTES / PRODUCT REPRESENTATIVE
BC-01	BABY CHANGING STATION	PUBLIC RESTROOMS	KOALA KARE	KB200	01 GREY		35 3/16"W X 4"D X 22 1/4"H	
PT-01	PAPER TOWEL DISPENSER	PUBLIC RESTROOMS	BOBRICK	B-3944	STAINLESS STEEL			
RB HK-02	CLOTHES HOOK	PUBLIC RESTROOMS	BOBRICK	B-233	STAINLESS STEEL			
SCD-01	SEAT COVER DISPENSER	PUBLIC RESTROOMS	BOBRICK	B-4221	STAINLESS STEEL		15 3/4"W X 2 3/16"D X 11 1/4"H	SURFACE MOUNTED
SD-01	SOAP DISPENSER	PUBLIC RESTROOMS	BOBRICK	B-4112	STAINLESS STEEL		7"W X 3 5/16" D X 6 1/8" H	
SND-01	SANITARY NAPKIN DISPOSAL	PUBLIC RESTROOMS	BOBRICK	B-270	STAINLESS STEEL		7 1/2"W X 3 13/16" D X 10"H	
TPD-01	TOILET PAPER DISPENSER - SINGLE	PUBLIC RESTROOMS	BOBRICK	B-4288	STAINLESS STEEL		6 1/16" W X 5 15/16" D X 11"H	
TLP-01	TOILET PARTITION	PUBLIC RESTROOMS	BOBRICK	1541 FLOOR ANCHORED	HIGH PRESSURE LAMINATE BLACK 1595-60			

BATH ACCESSORIES LEGEND: RESIDENTIAL UNITS - TYP ALL SCHEMES

MARK	TYPE	LOCATION (GENERAL)	MANUFACTURER	PRODUCT NAME /	COLOR NAME /	FINISH	SIZE	NOTES / PRODUCT REPRESENTATIVE
RB HK-01	ROBE HOOK	BATHROOM	TAYMOR	SPELLBOUND 04-32101	POLISHED CHROME		2 3/8"W X 1 7/8"D X 2"H	
SR-01	SHOWER CURTAIN ROD	BATHROOM	MOEN	55-5	POLISHED CHROME		60"W x 1"D	
TB-01	24" TOWEL BAR	BATHROOM	TAYMOR	SPELLBOUND 04-32124	POLISHED CHROME		26 3/8"W X 2 3/4"D X 1 5/8"H	
TR-01	HAND TOWEL BAR	BATHROOM	TAYMOR	SPELLBOUND 04-32110	POLISHED CHROME		12 3/8"W X 2 3/4"D X 1 5/8"H	
TPD-01	TOILET PAPER HOLDER	BATHROOM	TAYMOR	SPELLBOUND 04-32148	POLISHED CHROME		7 1/16"W X 2 3/4"D X 1 5/8"H	

ENERGY STAR RATED APPLIANCES AND LIGHTING FIXTURES HAVE BEEN PROVIDED WITHIN THE PROJECT DESIGN DOCUMENTS WHERE THESE COMPONENTS ARE READILY AVAILABLE IN THE MARKETPLACE.

APPLIANCE LEGEND: PUBLIC SPACES

MARK	TYPE	LOCATION (GENERAL)	MANUFACTURER	PRODUCT NAME / MODEL NUMBER	FINISH	SIZE	NOTES / PRODUCT REPRESENTATIVE
DW-03	DISHWASHER	PUBLIC	GE	GDT226SSLSS ADA COMPLIANT STAINLESS STEEL INTERIOR...	STAINLESS STEEL	32 1/4"H X 23 3/4"W X 23 1/2"D	
DR-03	DRYER	PUBLIC	GE		WHITE		
DISP-01	DISPOSAL	PUBLIC	INSINKARATOR	SEE UNITS LEGEND	NA		
MICRO-03	BUILT IN MICROWAVE	PUBLIC	GE	PEB7227ANDD 2.2 BUILT IN MICROWAVE OVEN	STAINLESS STEEL	14"H X 24 1/8"W X 19 3/4"D	INSTALL WITH TRIM KIT: JX7230SLSS 30" BUILT IN TRIM KIT 18 7/8"H X 29 3/4"W
RAN-03	RANGE	PUBLIC	GE	JB480SMSS 30" FREE STANDING RADIANT SMOOT...	STAINLESS STEEL	47"H X 30"W X 29"D	
REF-03	REFRIGERATOR	PUBLIC	GE	GTE22JNSRSS ENERGY STAR 21.9 CU. FT. TOP FREEZER REFRIGERATOR	STAINLESS STEEL	66 3/8"H X 32 3/4"W X 34 1/2"D	
REF-04	REFRIGERATOR	BOH	GE	GTE22JNRRWW ENERGY STAR 21.9 CU. FT. TOP FREEZER REFRIGERATOR	WHITE	66 3/8"H X 32 3/4"W X 34 1/2"D	
WASH-03	WASHER	PUBLIC	GE		WHITE		
HOOD-01	HOOD VENT	PUBLIC	GE	JVX5305SJS ENERGY STAR UNDER THE CABINET HOOD	STAINLESS STEEL	5 1/2"H X 29 7/8"W X 20"D	HARD WIRED TO SWITCH

APPLIANCE LEGEND: RESIDENTIAL UNITS - TYP ALL UNITS

MARK	TYPE	LOCATION (GENERAL)	MANUFACTURER	PRODUCT NAME / MODEL NUMBER	FINISH	SIZE	NOTES / PRODUCT REPRESENTATIVE
DW-01	DISHWASHER	TYPICAL	GE	GSD3300KWW	WHITE	34 H x 24 W x 25 3/4 D	
DW-02	DISHWASHER	TYPE A	GE		WHITE		
DISP-01	DISPOSAL	TYPICAL	INSINKERATOR	405300 BADGER 5 1/2 HP	NA		
DR-01	DRYER	TYPICAL	GE		WHITE		
DR-02	DRYER	TYPICAL	GE		WHITE		STACKING
RAN-01	RANGE	TYPICAL	HOT POINT	RBS160DMWW	WHITE	30"W X 28 3/4"D X 46 3/4"H	
RAN-02	RANGE	TYPE A	HOT POINT		WHITE		
REF-01	REFRIGERATOR	TYPICAL	GE	GTE19DTNRWW	WHITE	66 3/8"H X 34 1/2" D X 29 3/4"W	
VENT-01	VENT	TYPE A	GE		WHITE		
WASH-01	WASHING MACHINE	TYPICAL	GE		WHITE		
WASH-02	WASHING MACHINE	TYPICAL	GE		WHITE		STACKING

MARK DATE DESCRIPTION

REVISIONS

.C 06/22/2020 BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

B 04/10/2020 DESIGN DEVELOPMENT

A 01/07/2020 SCHEMATIC DESIGN

MARK DATE DESCRIPTION

ISSUE INFORMATION

PROJECT NO.: **2017033**
GGLO PRINCIPAL IN CHARGE: **Jon Hall**
GGLO PROJECT MANAGER: **Scott Schreffler**
OWNER APPROVAL:

SHEET TITLE

BUILDING A - INTERIOR LEGENDS

SHEET NO.

AA-631

BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

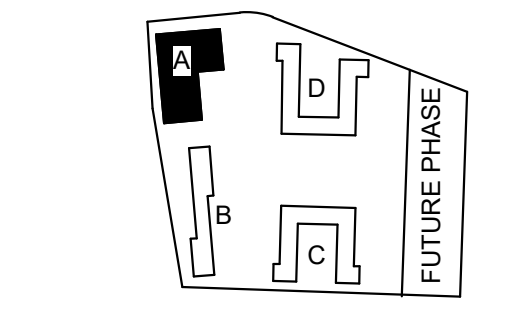


B1 BUILDING A - VIEW FROM 14TH STREET



A1 BUILDING A - VIEW FROM SOUTHEAST

PLOT DATE/TIME: 6/19/2020 3:47:52 PM



PROJECT:
EHA BAKER HEIGHTS

EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVE
EVERETT, WA 98201

MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
.C	06/22/2020	BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

ISSUE INFORMATION

PROJECT NO.: **2017033**
 GGLO PRINCIPAL IN CHARGE: **Jon Hall**
 GGLO PROJECT MANAGER: **Scott Schreffler**
 OWNER APPROVAL: _____

SHEET TITLE
BUILDING A - 3D REPRESENTATIONS

SHEET NO.
AA-700

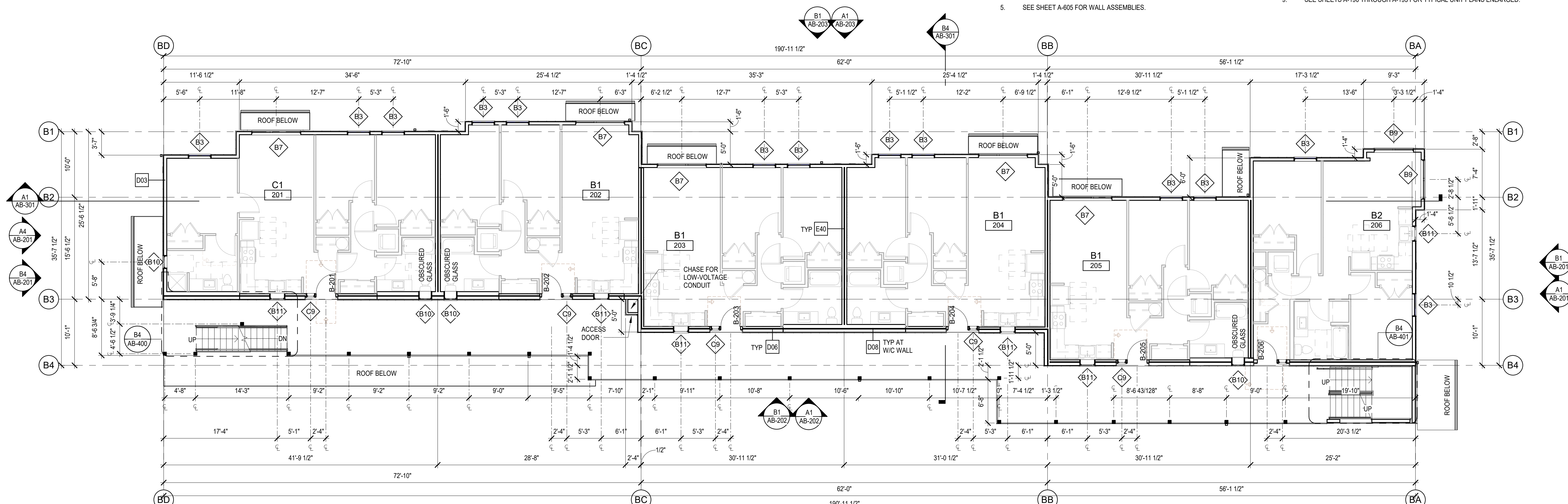
BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

BUILDING B - UNIT COUNT

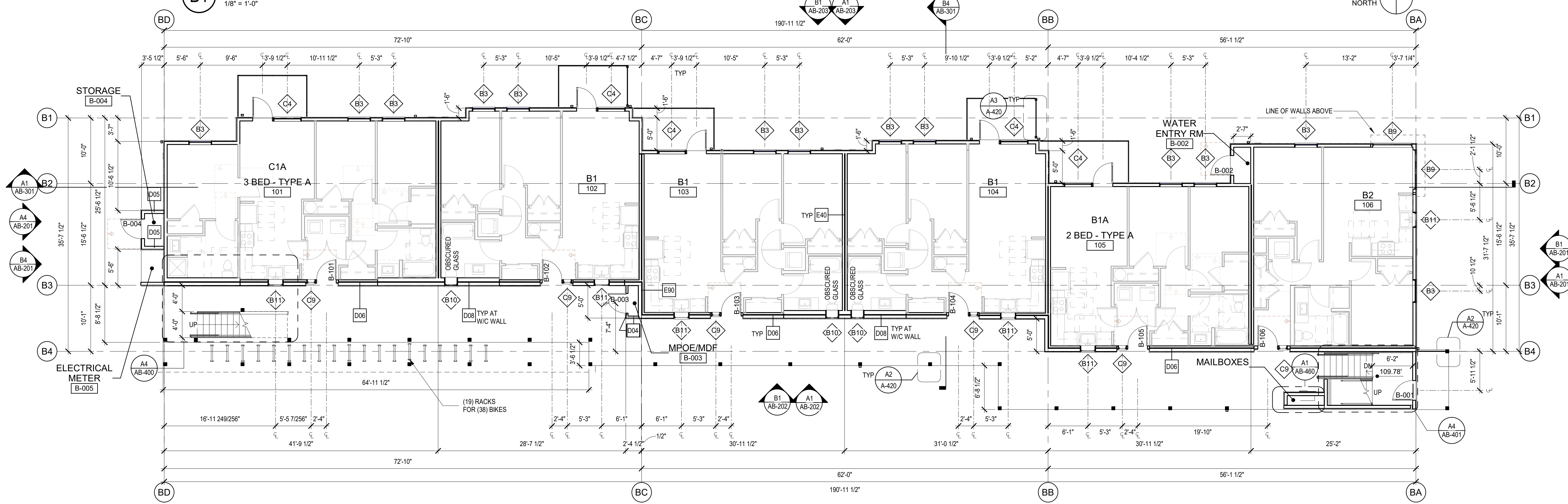
NAME	UNIT TYPE	NUMBER OF UNITS
B1	2 BED - STANDARD	11
B1A	2 BED - TYPE A	1
B2	2 BED - CORNER	3
C1	3 BED - STANDARD	2
C1A	3 BED - TYPE A	1
TOTAL		18

GENERAL FLOOR PLAN NOTES

- PLAN DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE WALL, CENTERLINE OF COLUMN, OR CENTERLINE OF ROUGH OPENINGS, UNLESS OTHERWISE NOTED. CONTACT ARCHITECT FOR CLARIFICATIONS.
- DOORS AND CASED OPENINGS INDICATED ADJACENT TO WALL INTERSECTIONS SHALL BE LOCATED WITH THE EDGE OF FINISH OPENING SIX INCHES FROM THE ADJACENT WALL AT THE EXTERIOR AND FOUR INCHES FROM THE ADJACENT WALL, UNLESS OTHERWISE NOTED.
- SEE SHEET A-540 & A-620 FOR WINDOW LEGEND AND DETAILS.
- SEE SHEET A-545 & A-615 FOR DOOR SCHEDULE AND DETAILS.
- SEE SHEET A-605 FOR WALL ASSEMBLIES.
- INSTALL BLOCKING FOR GRAB BARS IN ALL BATHROOM WALLS SURROUNDING WATER CLOSET, BATHTUB AND SHOWER. REF A-501.
- HANDRAILS SHALL RETURN TO A WALL, GUARD OR THE WALKING SURFACE OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT OR RAMP RUN - PER IBC 1012.5.
- CONTRACTOR SHALL INSTALL FURRING, SHIMS AND ADDITIONAL LAYERS OF GYPSUM BOARD AS NECESSARY TO ACHIEVE FLUSH FINISH WHERE SURFACES OF ADJACENT WALL OR SHAFT ASSEMBLIES ARE NOT, BUT ARE INTENDED TO BE, ALIGNED.
- SEE SHEETS A-190 THROUGH A-193 FOR TYPICAL UNIT PLANS ENLARGED.



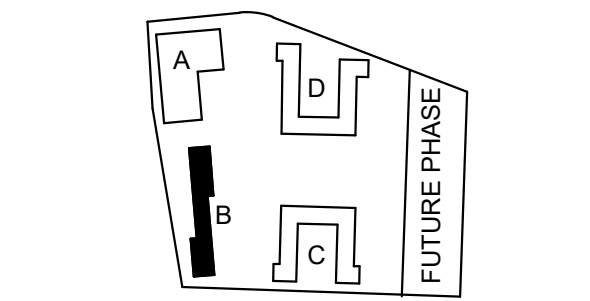
B1 BUILDING B - LEVEL 2 FLOOR PLAN
1/8" = 1'-0"



A1 BUILDING B - LEVEL 1 FLOOR PLAN
1/8" = 1'-0"



1301 First Avenue, Suite 301
Seattle, WA 98101
http://www.gglo.com



PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
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BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

MARK	DATE	REVISION	DESCRIPTION
1	Date 1	Revision 1	

MARK	DATE	REVISION	DESCRIPTION
C	06/22/2020		BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
B	04/10/2020		DESIGN DEVELOPMENT
A	01/07/2020		SCHEMATIC DESIGN

MARK	DATE	REVISION	DESCRIPTION
			ISSUE INFORMATION

PROJECT NO.: **2017033**
GGLO PRINCIPAL IN CHARGE: **Jon Hall**
GGLO PROJECT MANAGER: **Scott Schreffler**
OWNER APPROVAL:

SHEET TITLE
BUILDING B - LEVEL 1 & 2 - FLOOR PLAN

SHEET NO.
AB-110

ATTIC VENTILATION - BUILDING B																	
NAME	AREA	REQUIRED VENT AREA - 1/300	PROVIDED VENT AREA	% OF REQ'D VENTING 3' ABOVE EAVE	% OF TOTAL VENT AREA 3' ABOVE EAVE	RIDGE VENTING	AREA RIDGE VENTING	EAVE VENTING-LOW TWO 2" DIAMETER HOLES/ LF	AREA EAVE VENTING-LOW (NFVA 3.14 SQ IN/ LF)	EAVE VENTING-HIGH TWO 2" DIAMETER HOLES/ LF	AREA EAVE VENTING-HIGH	LOW ROOF JACKS COUNT	AREA LOW ROOF JACK COUNT	HIGH ROOF JACKS COUNT	AREA HIGH ROOF JACK COUNT	ROOF TO WALL LENGTH	AREA ROOF-TO-WALL
ROOF AREA A	1,628 SF	5.4 SF	5.6 SF	80%	77%	40 LF	4 SF	26 LF	0.5 SF	0 LF	0.0 SF	2	1 SF	2	0.8 SF	0 LF	0.0 SF
ROOF AREA B	1,948 SF	6.5 SF	6.6 SF	79%	78%	44 LF	4 SF	17 LF	0.3 SF	0 LF	0.0 SF	3	1 SF	3	1.1 SF	0 LF	0.0 SF
ROOF AREA C	2,432 SF	8.1 SF	8.1 SF	72%	72%	44 LF	4 SF	17 LF	0.3 SF	0 LF	0.0 SF	3	2 SF	5	1.9 SF	0 LF	0.0 SF
ROOF AREA D	22 SF	0.1 SF	0.1 SF			0 LF	0 SF	17 LF	0.3 SF	0 LF	0.0 SF					0 LF	0.0 SF
ROOF AREA E	14 SF	0.0 SF	0.0 SF			0 LF	0 SF	17 LF	0.3 SF	0 LF	0.0 SF					0 LF	0.0 SF
ROOF AREA F	14 SF	0.0 SF	0.0 SF			0 LF	0 SF										
ROOF AREA G	28 SF	0.1 SF	0.1 SF			0 LF	0 SF										
ROOF AREA H	14 SF	0.0 SF	0.0 SF			0 LF	0 SF										
ROOF AREA I	14 SF	0.0 SF	0.0 SF			0 LF	0 SF										
ROOF AREA J	18 SF	0.1 SF	0.1 SF			0 LF	0 SF										
ROOF AREA K	50 SF	0.2 SF	0.2 SF			0 LF	0 SF										

BUILDING B - UNIT COUNT		
NAME	UNIT TYPE	NUMBER OF UNITS
B1	2 BED - STANDARD	11
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B2	2 BED - CORNER	3
C1	3 BED - STANDARD	2
C1A	3 BED - TYPE A	1
TOTAL		18

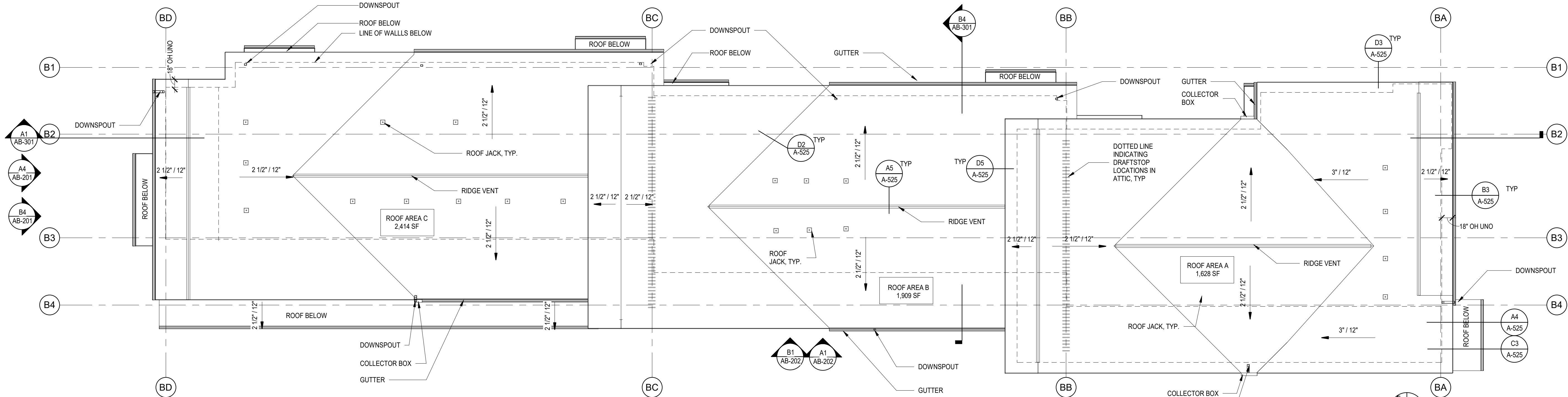
GENERAL ROOF PLAN NOTES

- SEE DETAIL XXX-XXX FOR VENT PIPE PENETRATIONS.
- SEE XXV-XXX FOR SATELLITE CONDUIT.
- PLACE FALL PROTECTION ANCHORS AT SPECIFIED INTERVALS PER MFR INSTRUCTIONS, SEE PROJECT MANUAL SECTION XXXXX.

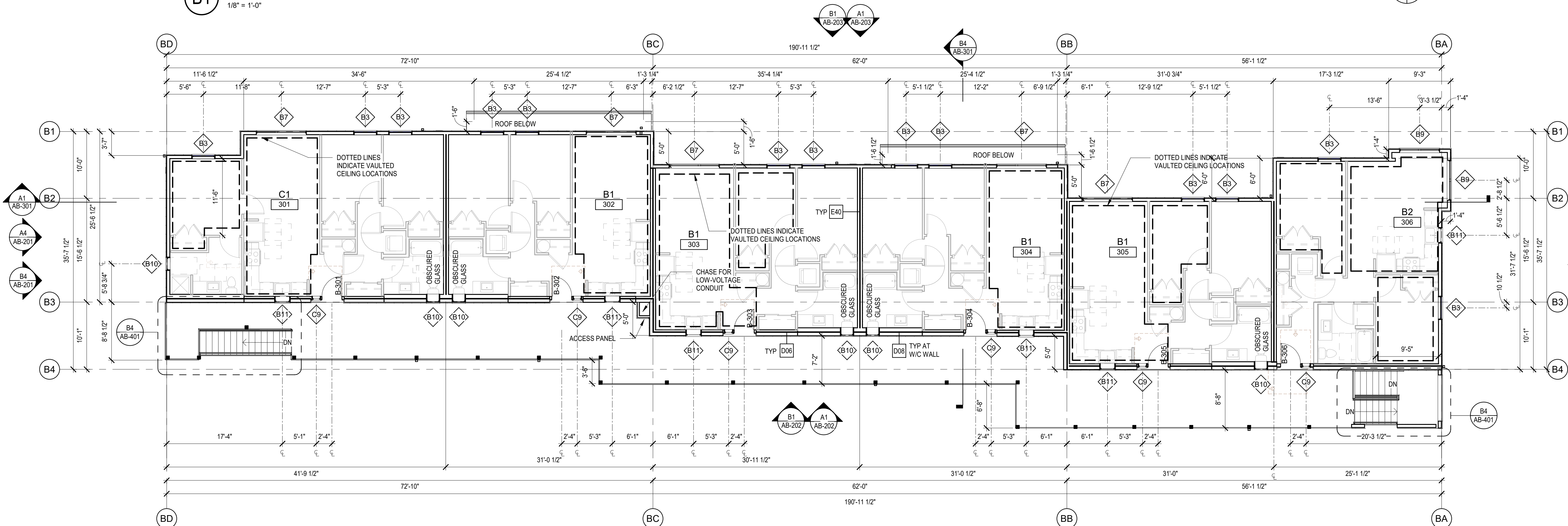
GENERAL FLOOR PLAN NOTES

- PLAN DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE WALL, CENTERLINE OF COLUMN, OR CENTERLINE OF ROUGH OPENINGS, UNLESS OTHERWISE NOTED.
- DOORS AND CASED OPENINGS INDICATED ADJACENT TO WALL INTERSECTIONS SHALL BE LOCATED WITH THE EDGE OF FINISH OPENING SIX INCHES FROM THE ADJACENT WALL AT THE EXTERIOR AND FOUR INCHES FROM THE ADJACENT WALL, UNLESS OTHERWISE NOTED.
- SEE SHEET A-540 & A-620 FOR WINDOW LEGEND AND DETAILS.
- SEE SHEET A-545 & A-615 FOR DOOR SCHEDULE AND DETAILS.
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- INSTALL BLOCKING FOR GRAB BARS IN ALL BATHROOM WALLS SURROUNDING WATER CLOSET, BATHTUB AND SHOWER. REF A-501.
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- SEE SHEETS A-190 THROUGH A-193 FOR TYPICAL UNIT PLANS ENLARGED

PER 2015 IBC WITH WASHINGTON AMENDMENTS, SECTION 1203.2, EXCEPTION 1: THE NET FREE CROSS-VENTILATION AREA SHALL BE PERMITTED TO BE REDUCED TO 1/300 PROVIDED THAT A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN WINTER SIDE OF THE CEILING, AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.



B1 BUILDING B - ROOF PLAN
1/8" = 1'-0"



A1 BUILDING B - LEVEL 3 FLOOR PLAN
1/8" = 1'-0"

GGLO DESIGN
1301 First Avenue, Suite 301
Seattle, WA 98101
http://www.gglo.com

8487 REGISTERED ARCHITECT
Jonathan F. Hall
JONATHAN F. HALL
STATE OF WASHINGTON

PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

MARK	DATE	REVISION	DESCRIPTION
1	Date 1	Revision 1	

MARK	DATE	REVISION	DESCRIPTION
C	06/22/2020		BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
B	04/10/2020		DESIGN DEVELOPMENT
A	01/07/2020		SCHEMATIC DESIGN

PROJECT NO.: **2017033**
GGLO PRINCIPAL IN CHARGE: **Jon Hall**
GGLO PROJECT MANAGER: **Scott Schreffler**
OWNER APPROVAL:

SHEET TITLE
BUILDING B - LEVEL 3 & ROOF PLAN

SHEET NO.
AB-111

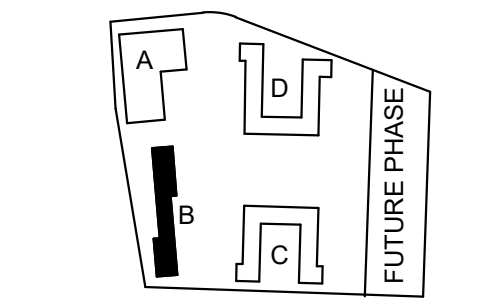
EXTERIOR FINISH LEGEND		
TAG	DESCRIPTION	COLOR
G10	SMOOTH FIBER-CEMENT SIDING PANELS	SHERWIN WILLIAMS 7017 DORIAN GRAY
G40	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 6122 CAMELBACK
G41	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 6124 CARBOARD
G43	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 6426 BASQUE GREEN
G44	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 7017 DORIAN GRAY
G45	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 7606 BLUE CRUISE
G46	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 7047 PORPOISE

GENERAL EXTERIOR ELEVATION NOTES

- EXHAUST VENTS 3 FT. MINIMUM FROM DOORS AND OPERABLE PORTIONS OF WINDOWS.
- SEE RCP FOR SOFFIT COLORS.
-
-
-
-



1301 First Avenue, Suite 301
Seattle, WA 98101
<http://www.gglo.com>



PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

MARK	DATE	DESCRIPTION
REVISIONS		

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A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **2017033**
 GGLO PRINCIPAL IN CHARGE: **Jon Hall**
 GGLO PROJECT MANAGER: **Scott Schreffler**
 OWNER APPROVAL:

SHEET TITLE
BUILDING B - BUILDING ELEVATION - SOUTH AND NORTH

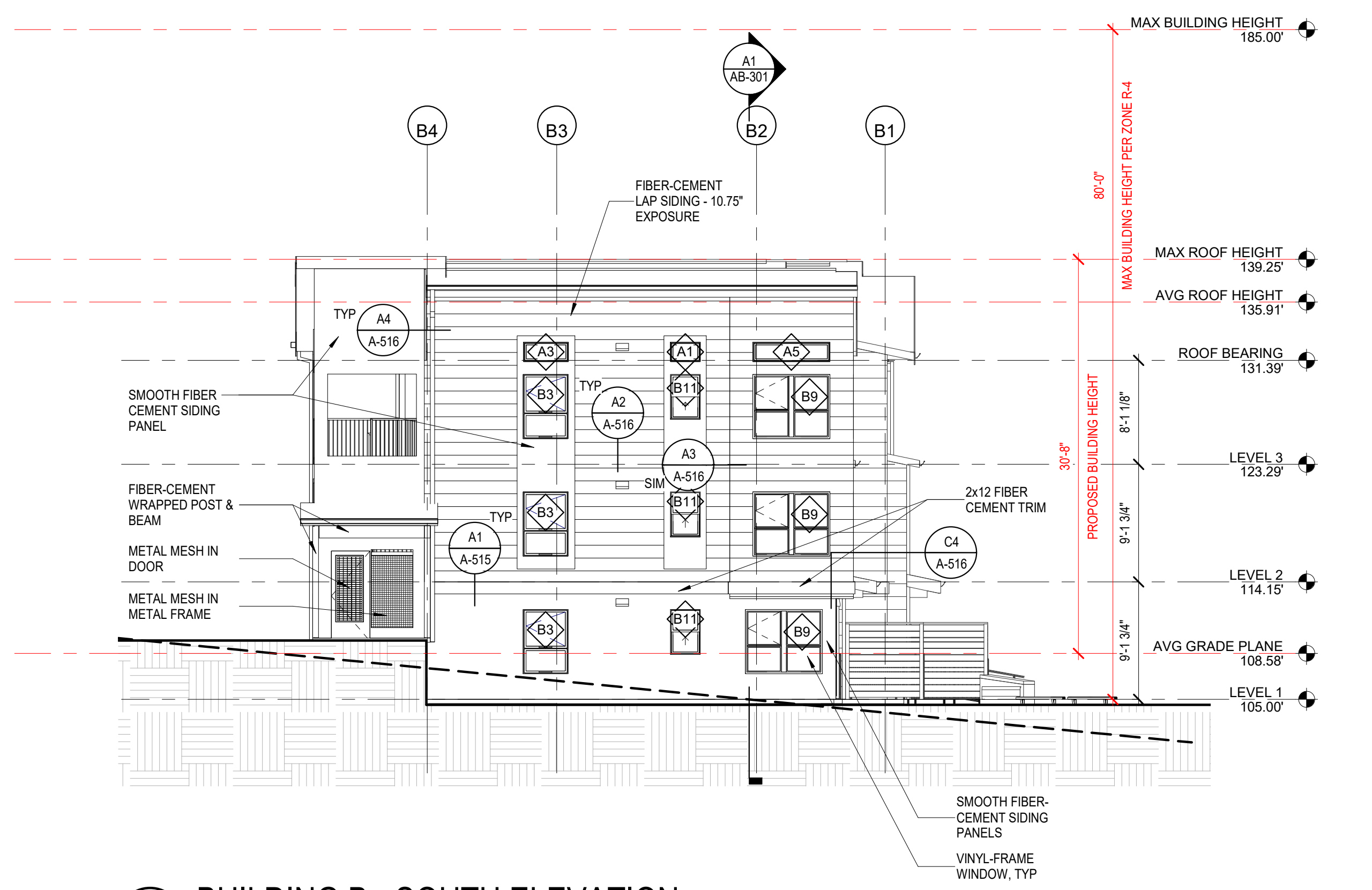
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AB-201

D

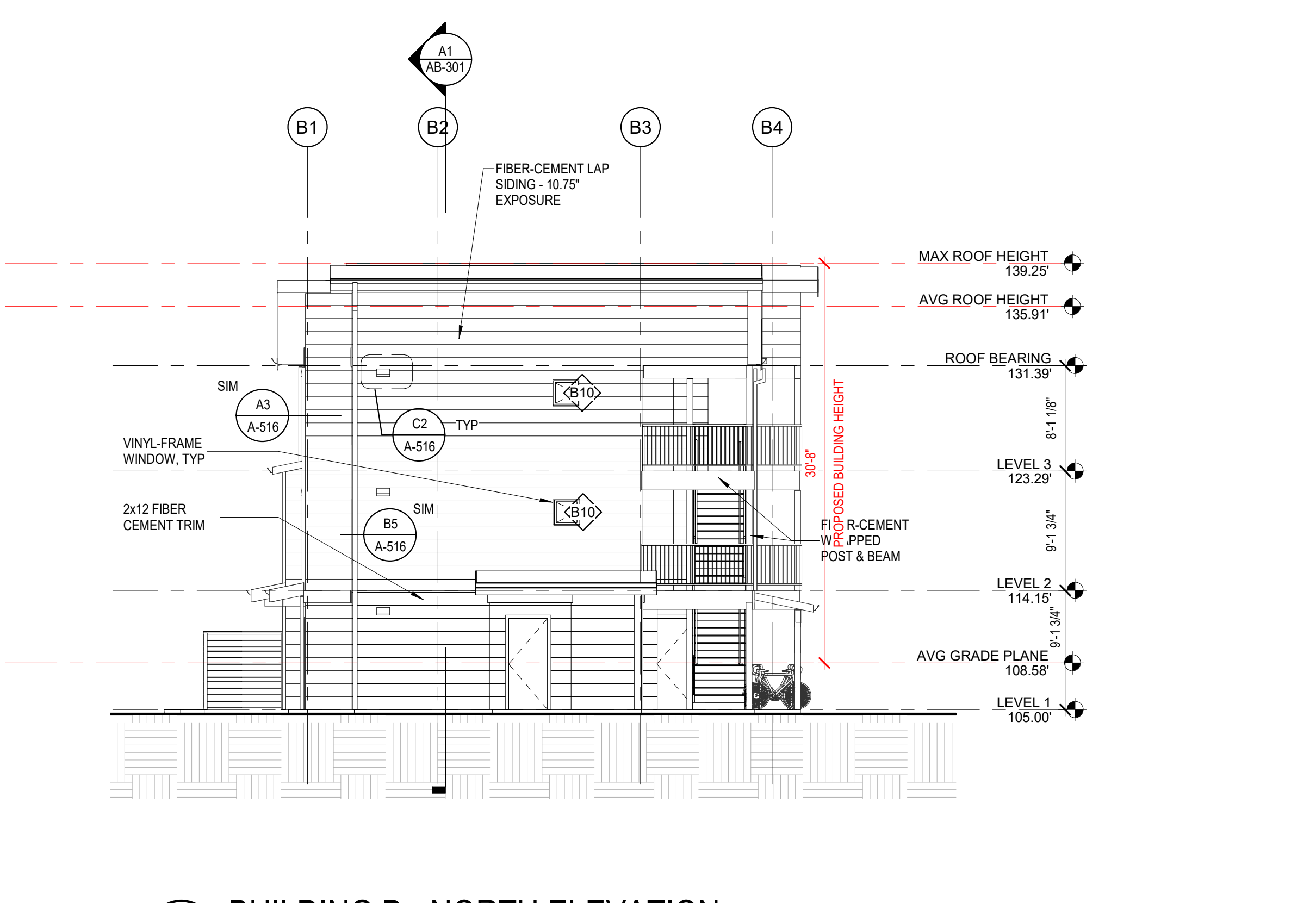
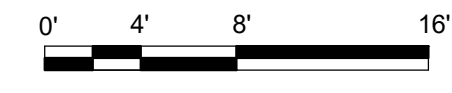
C

B

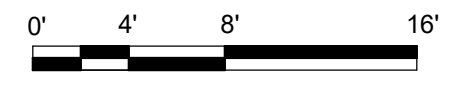
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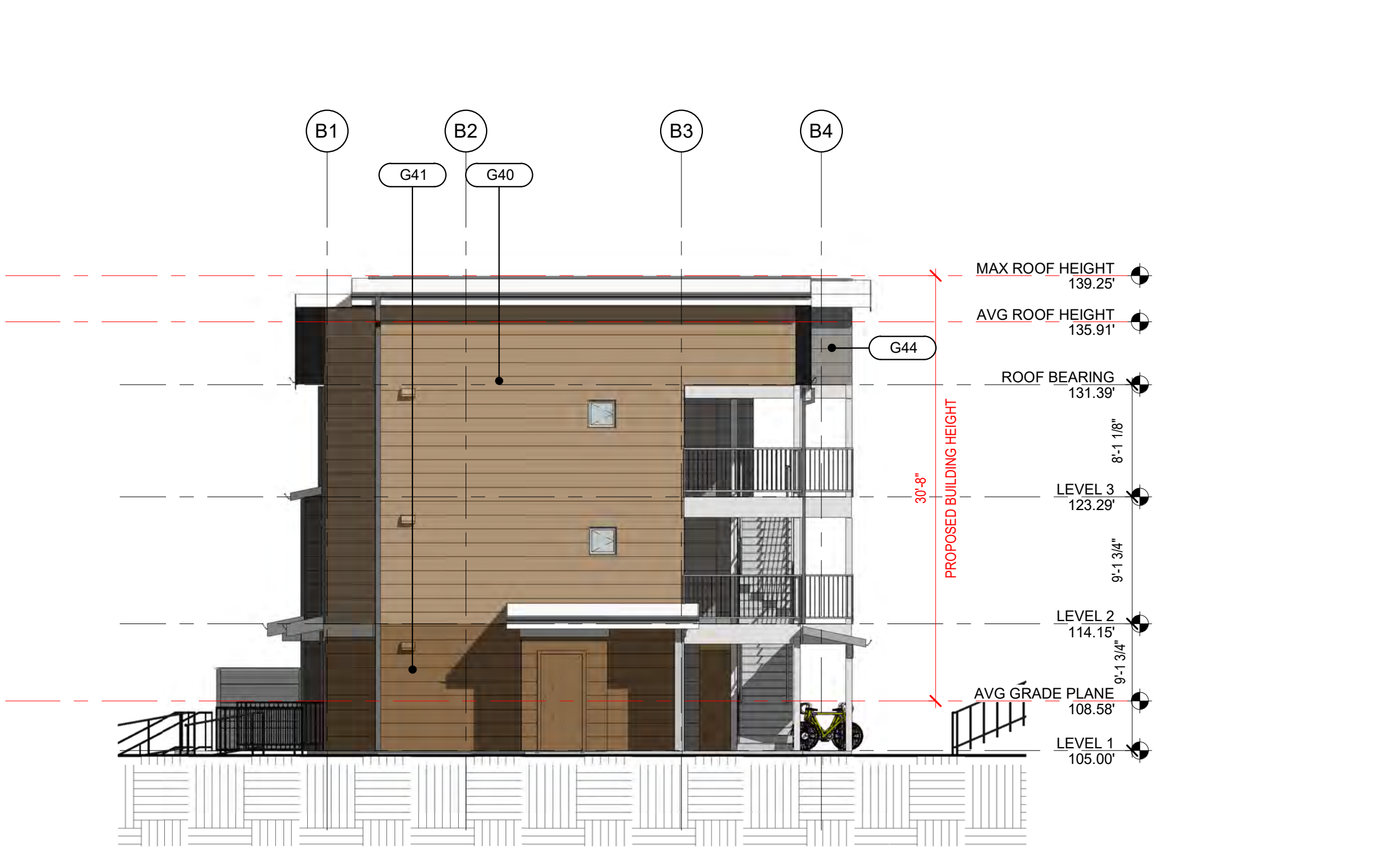
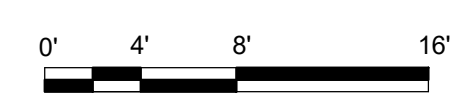
B1 BUILDING B - SOUTH ELEVATION
 1/8" = 1'-0"



B4 BUILDING B - NORTH ELEVATION
 1/8" = 1'-0"



A1 BUILDING B - SOUTH ELEVATION RENDERED
 1/8" = 1'-0"



A4 BUILDING B - NORTH ELEVATION RENDERED
 1/8" = 1'-0"

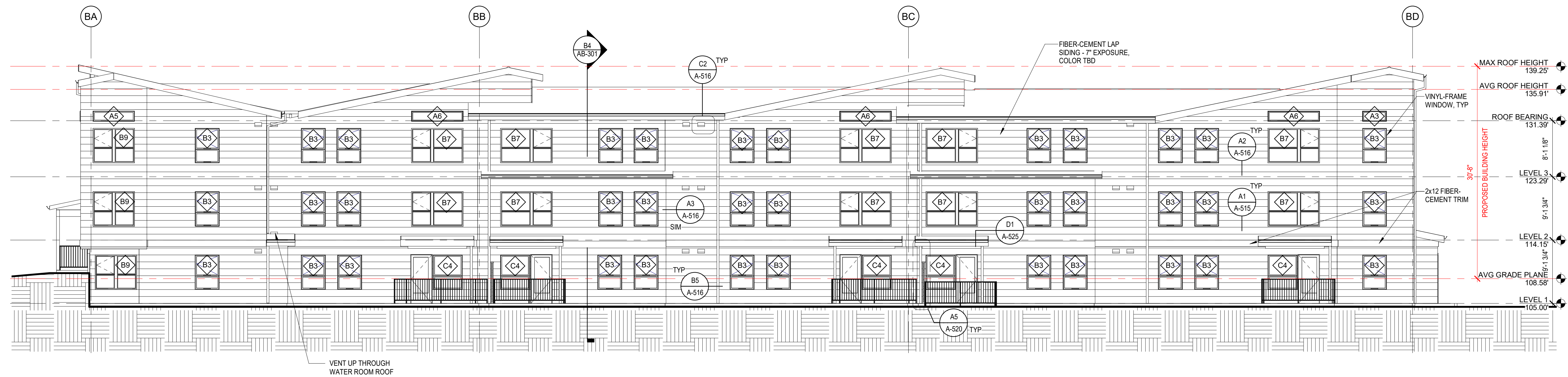


BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

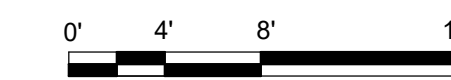
EXTERIOR FINISH LEGEND		
TAG	DESCRIPTION	COLOR
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G43	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 6426 BASQUE GREEN
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G45	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 7606 BLUE CRUISE
G46	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 7047 PORPOISE

GENERAL EXTERIOR ELEVATION NOTES

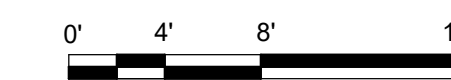
- EXHAUST VENTS 3 FT. MINIMUM FROM DOORS AND OPERABLE PORTIONS OF WINDOWS.
- SEE RCP FOR SOFFIT COLORS.
-
-
-
-



B1 BUILDING B - EAST ELEVATION
1/8" = 1'-0"

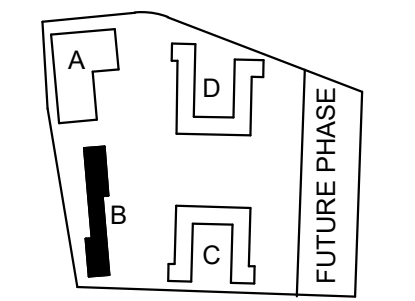


A1 BUILDING B - EAST ELEVATION RENDERED
1/8" = 1'-0"



GGLO DESIGN

1301 First Avenue, Suite 301
Seattle, WA 98101
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8487
REGISTERED ARCHITECT
Jonathan F Hall
STATE OF WASHINGTON

PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
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EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

MARK	DATE	DESCRIPTION
REVISIONS		

C 06/22/2020 BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

B 04/10/2020 DESIGN DEVELOPMENT

A 01/07/2020 SCHEMATIC DESIGN

MARK	DATE	DESCRIPTION
ISSUE INFORMATION		
PROJECT NO.:	2017033	
GGLO PRINCIPAL IN CHARGE:	Jon Hall	
GGLO PROJECT MANAGER:	Scott Schreffler	
OWNER APPROVAL:		

SHEET TITLE:
BUILDING B - BUILDING ELEVATION - EAST

SHEET NO.
AB-203

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ORIGINAL SHEET SIZE IS A1/8" X 11"

BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

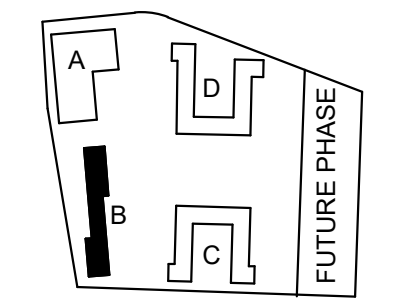
GENERAL STAIR NOTES

1. MIN HEADROOM CLEARANCE IN STAIRS - 80" MEASURED VERTICALLY FROM THE STAIR NOSING.
2. HANDRAIL HEIGHT - 34"-36" MEASURED VERTICALLY FROM THE NOSING.
3. TOP HANDRAIL EXTENSIONS - NON CONTINUOUS HANDRAILS SHOULD EXTEND 12" HORIZONTALLY BEYOND THE TOP RISER.
4. BOTTOM HANDRAIL EXTENSIONS - CONTINUE TO SLOPE FOR THE DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER.
5. TREADS AND RISERS IN MEANS OF EGRESS - TREADS 11" MIN AND RISERS 7" MAX.
6. PROVIDE SIGN AT EACH LANDING OF EACH INTERIOR EXIT STAIRWAY PER IBC 1023.8 AS SHOWN IN DETAIL - / - / -



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Seattle, WA 98101

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PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201
 OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

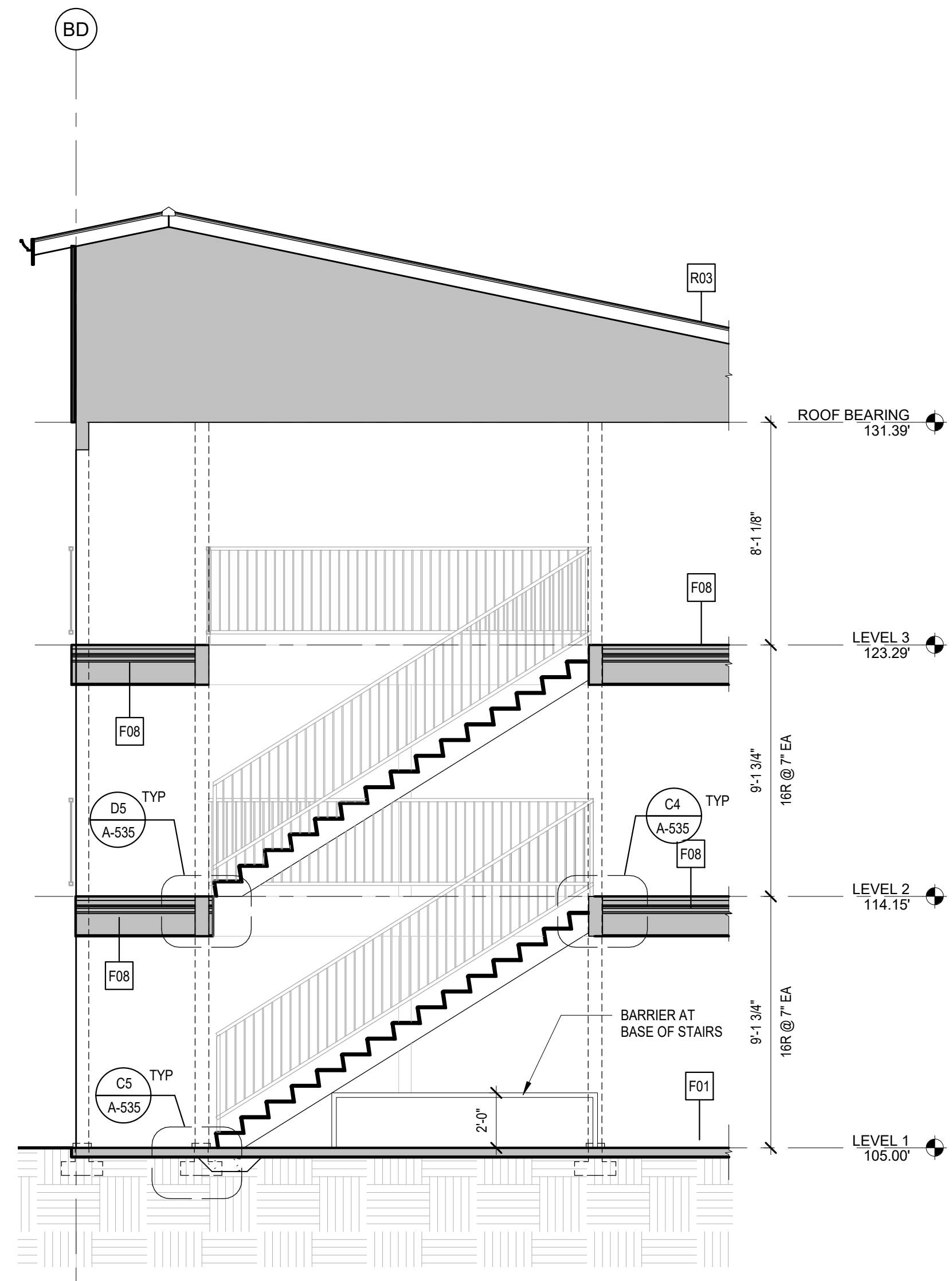
MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
C	06/22/2020	BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
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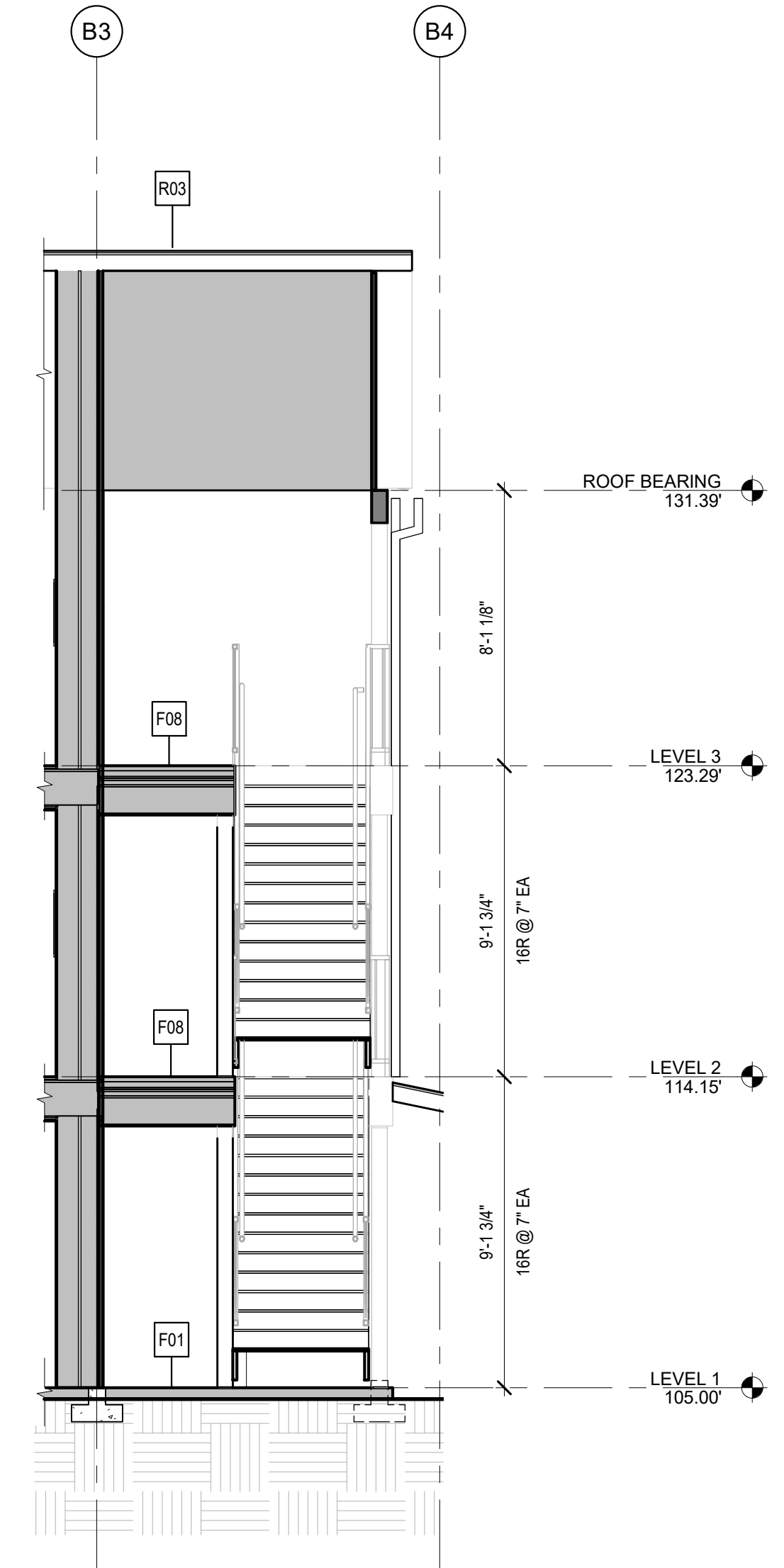
PROJECT NO.: **2017033**
 GGLO PRINCIPAL IN CHARGE: **Jon Hall**
 GGLO PROJECT MANAGER: **Scott Schreffler**
 OWNER APPROVAL:

SHEET TITLE
BUILDING B - STAIRS - PLANS & SECTIONS

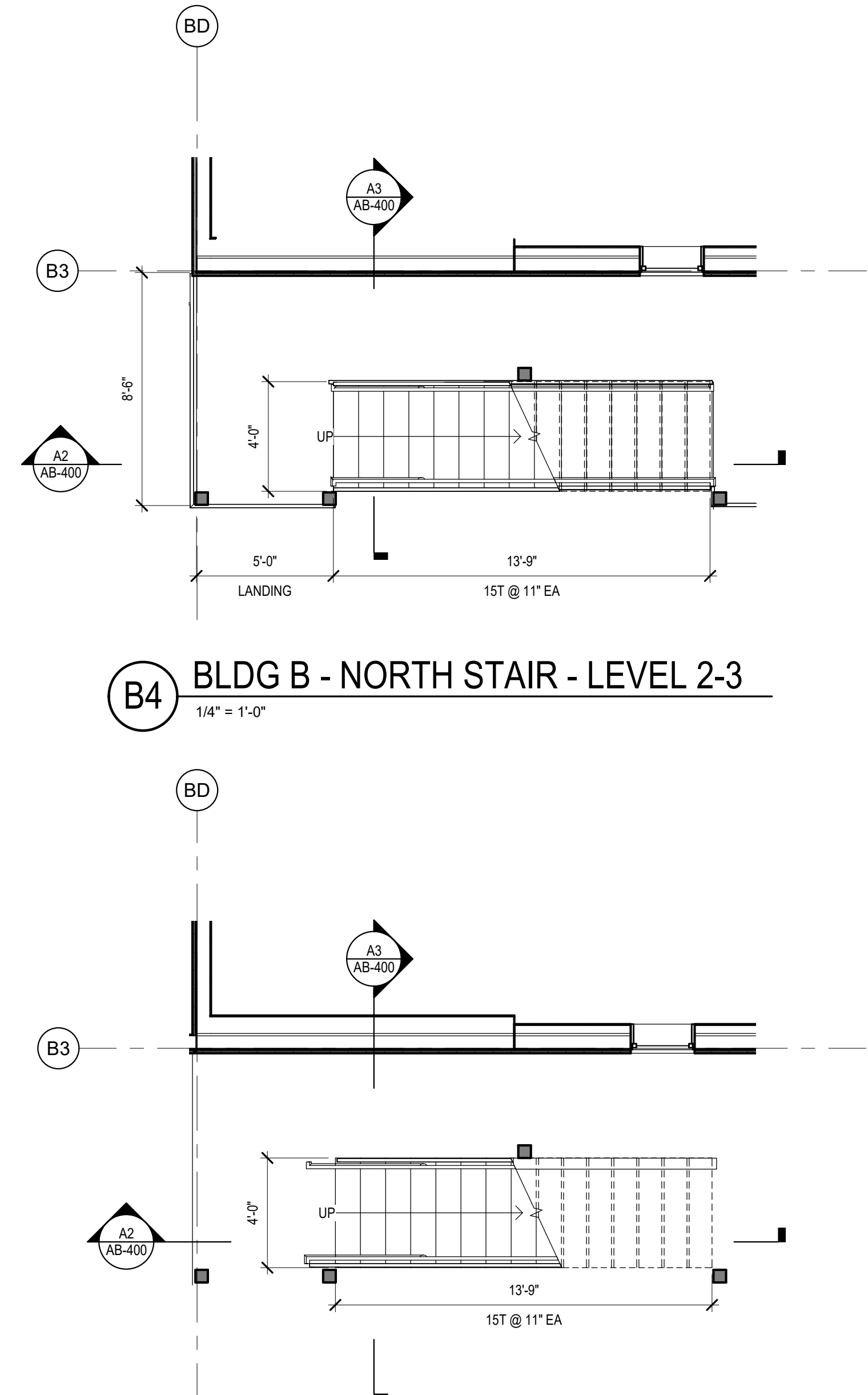
SHEET NO.
AB-400



A2 BLDG B - NORTH STAIR - N/S SECTION
 1/4" = 1'-0"



A3 BLDG B - NORTH STAIR - W/E SECTION
 1/4" = 1'-0"



A4 BLDG B - NORTH STAIR - LEVEL 1
 1/4" = 1'-0"

B4 BLDG B - NORTH STAIR - LEVEL 2-3
 1/4" = 1'-0"

BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

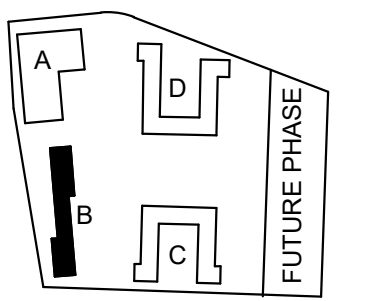
GENERAL STAIR NOTES

1. MIN HEADROOM CLEARANCE IN STAIRS - 8'0" MEASURED VERTICALLY FROM THE STAIR NOSING.
2. HANDRAIL HEIGHT - 34"-38" MEASURED VERTICALLY FROM THE NOSING.
3. TOP HANDRAIL EXTENSIONS - NON CONTINUOUS HANDRAILS SHOULD EXTEND 12" HORIZONTALLY BEYOND THE TOP RISER.
4. BOTTOM HANDRAIL EXTENSIONS - CONTINUE TO SLOPE FOR THE DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER.
5. TREADS AND RISERS IN MEANS OF EGRESS - TREADS 11" MIN AND RISERS 7" MAX
6. PROVIDE SIGN AT EACH LANDING OF EACH INTERIOR EXIT STAIRWAY PER IBC 1023.8 AS SHOWN IN DETAIL - / - -



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Seattle, WA 98101

<http://www.gglo.com>



PROJECT:
EHA BAKER HEIGHTS



PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
C	06/22/2020	BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **2017033**
 GGLO PRINCIPAL IN CHARGE: **Jon Hall**
 GGLO PROJECT MANAGER: **Scott Schreffler**
 OWNER APPROVAL:

SHEET TITLE
BUILDING B - STAIRS - PLANS & SECTIONS

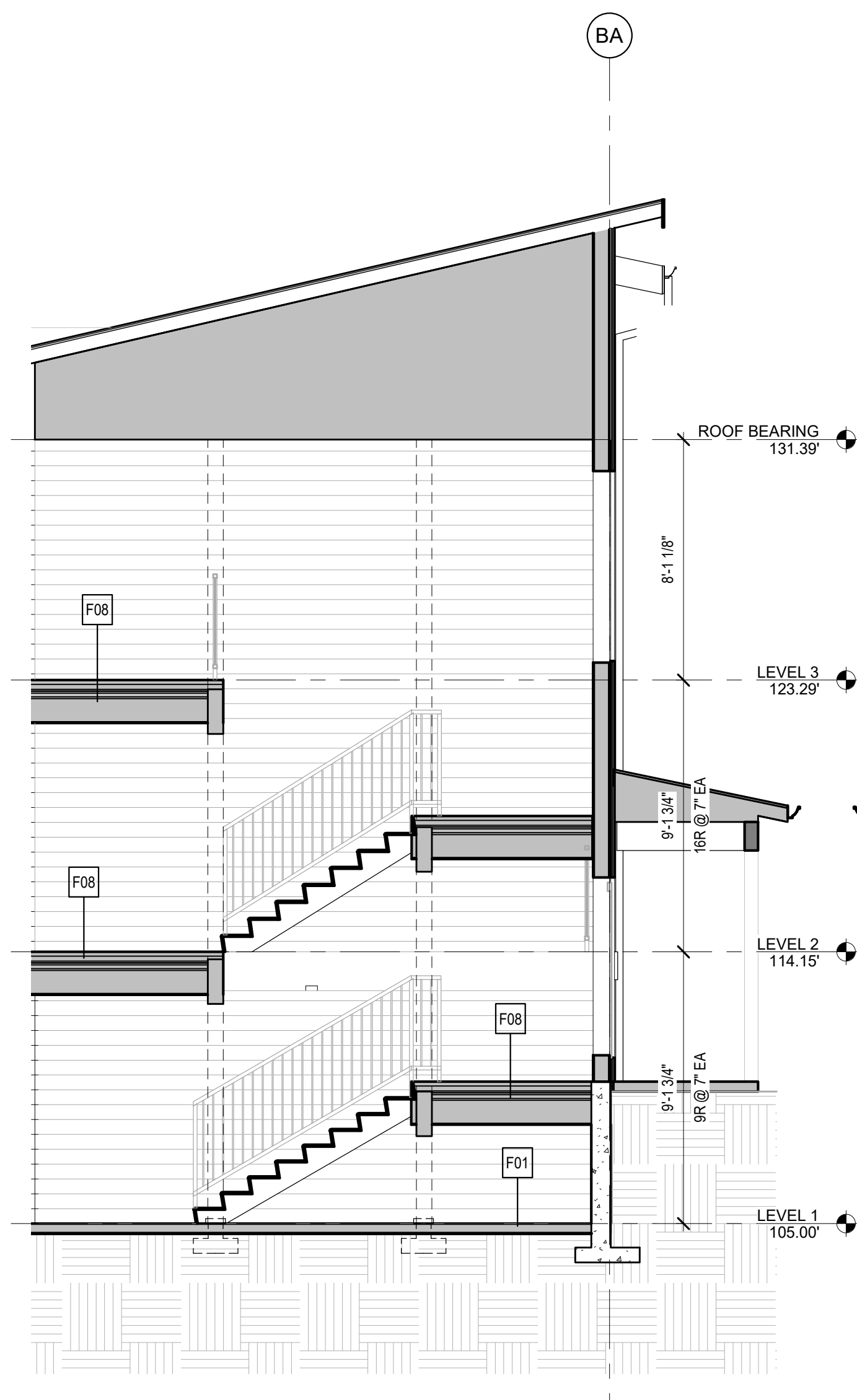
SHEET NO.
AB-401

D

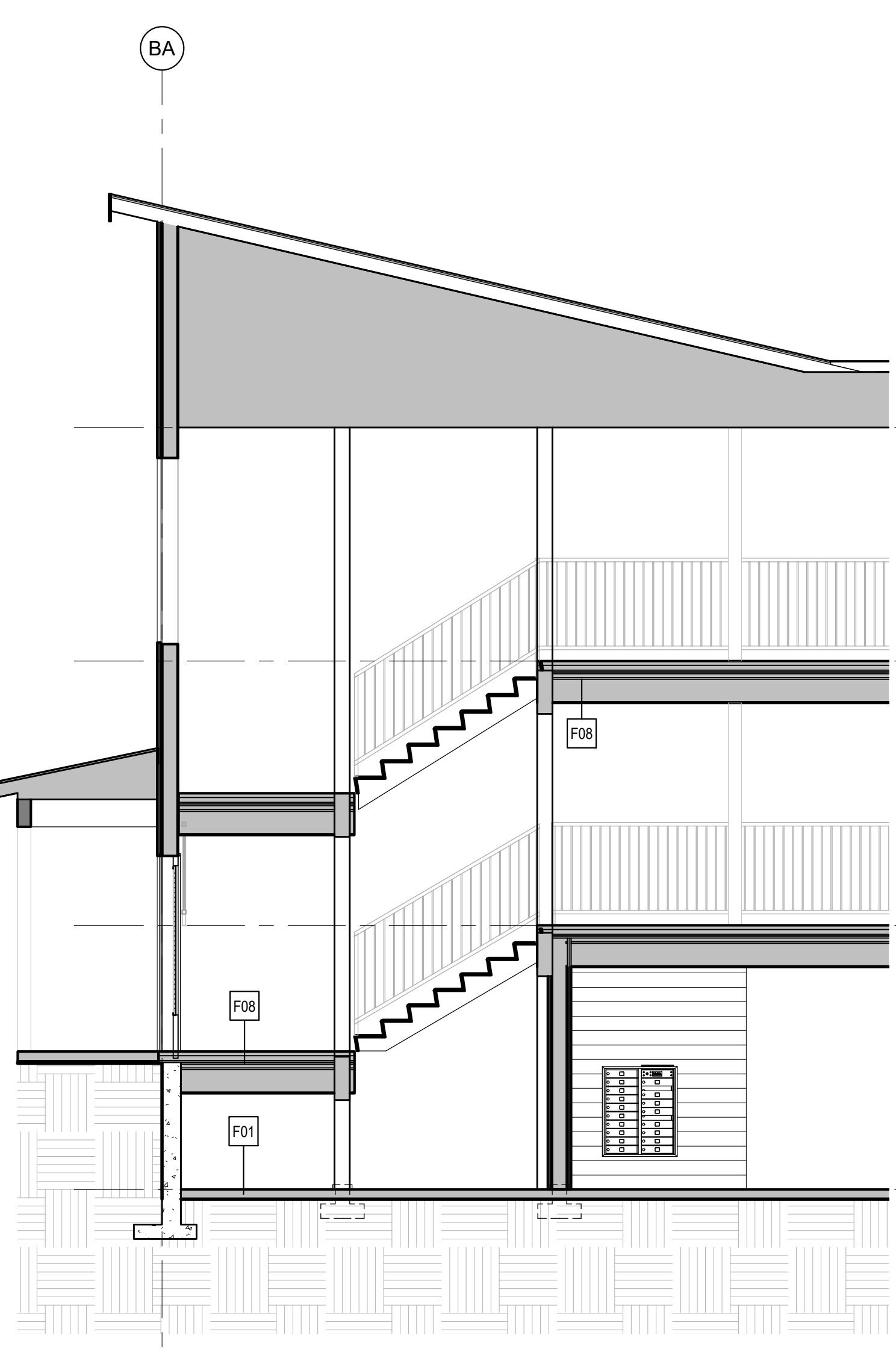
C

B

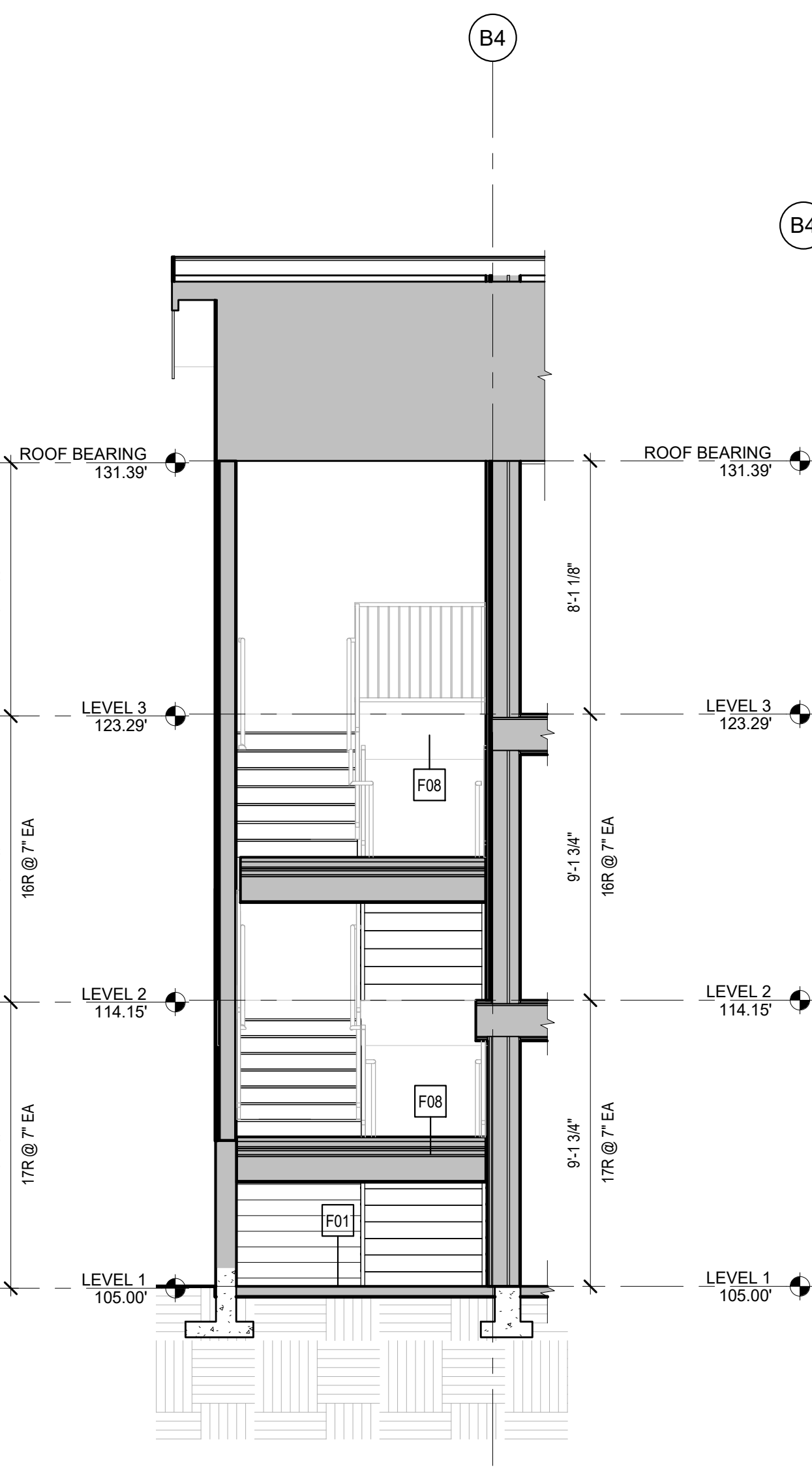
A



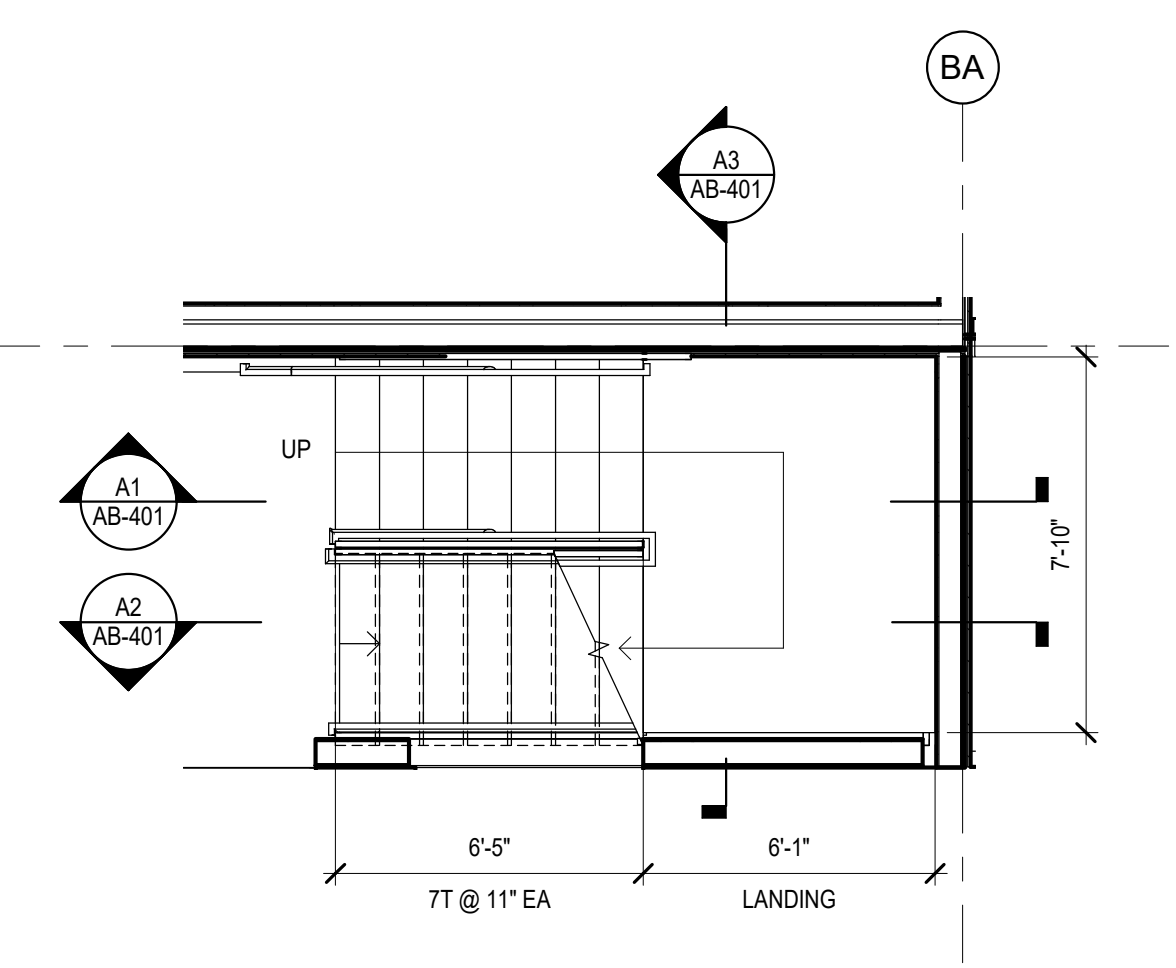
A1 BUILDING B - SOUTH STAIR - N/S SECTION A
 1/4" = 1'-0"



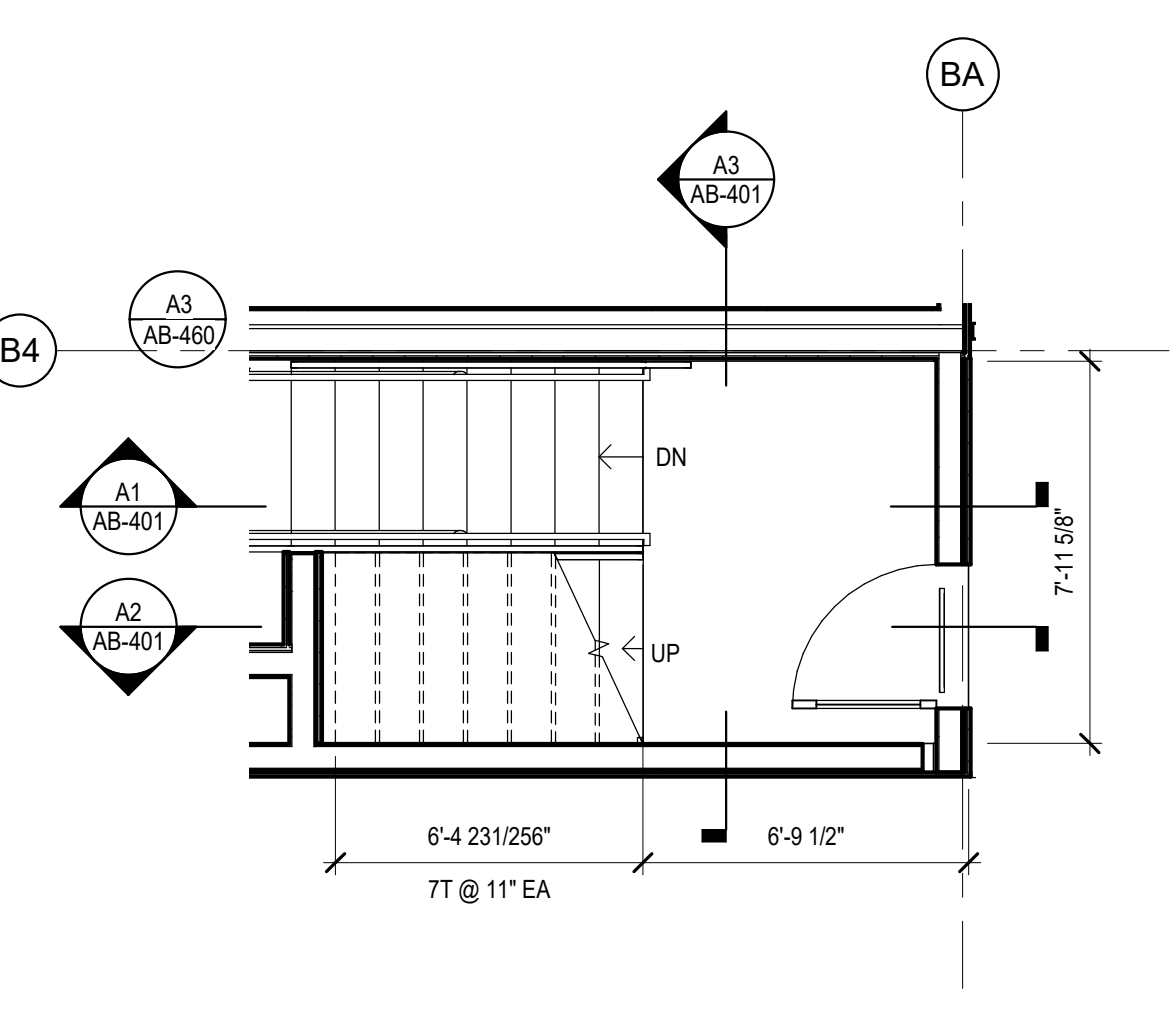
A2 BUILDING B - SOUTH STAIR - N/S SECTION B
 1/4" = 1'-0"



A3 BUILDING B - SOUTH STAIR - E/W SECTION
 1/4" = 1'-0"

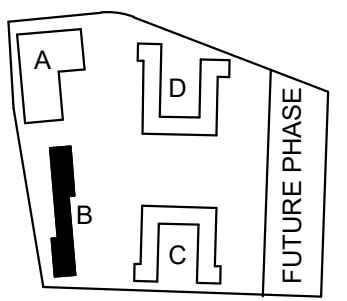


B4 BUILDING B - SOUTH STAIR - LEVEL 2-3
 1/4" = 1'-0"



A4 BUILDING B - SOUTH STAIR - LEVEL 1
 1/4" = 1'-0"

BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL



PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201
 OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
C	06/22/2020	BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

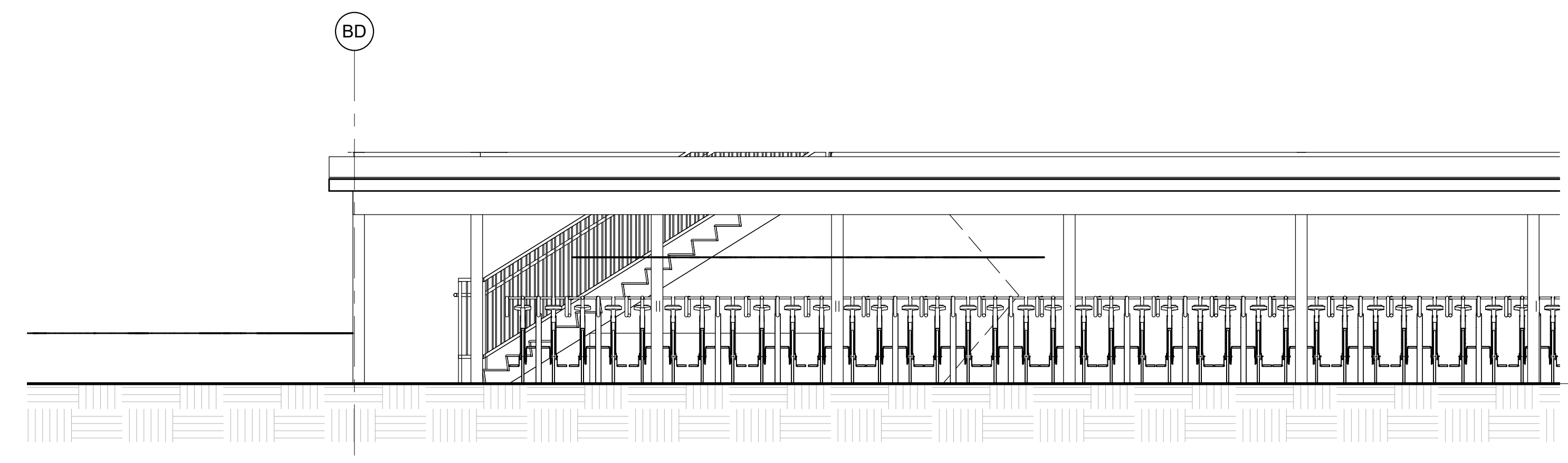
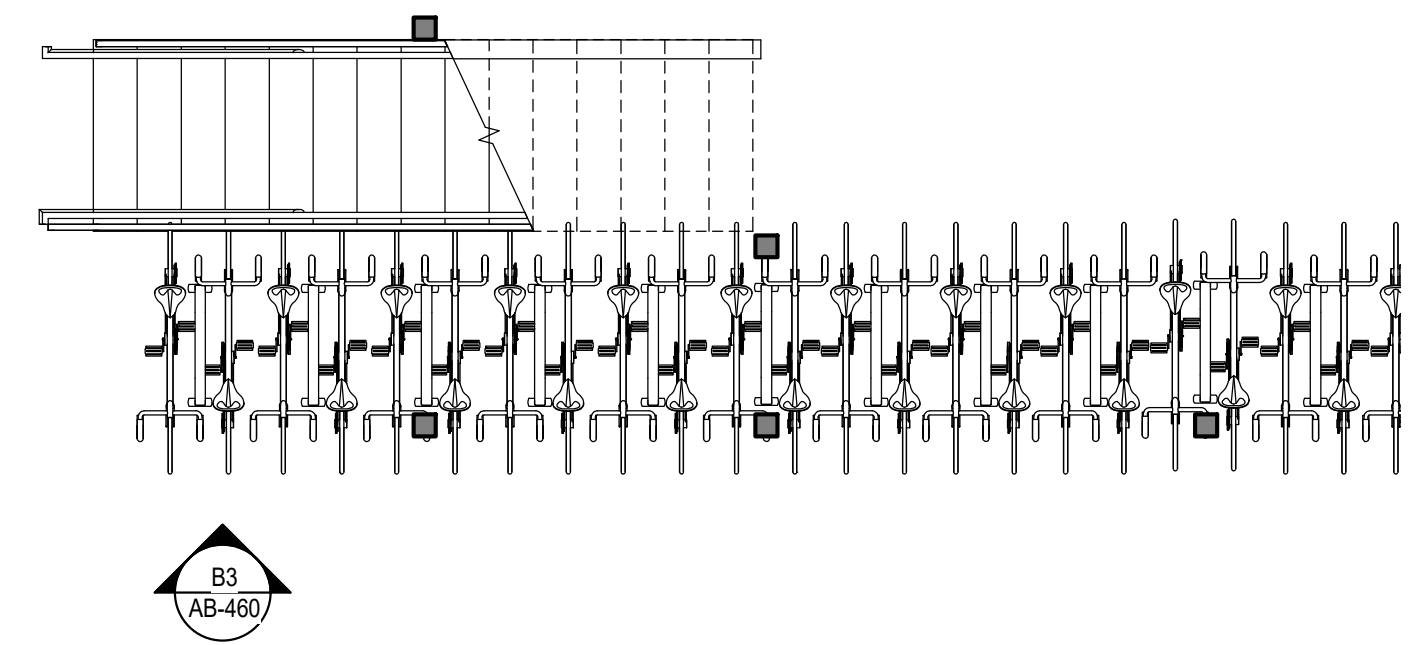
ISSUE INFORMATION

PROJECT NO.: **2017033**
 GGLO PRINCIPAL IN CHARGE: **Jon Hall**
 GGLO PROJECT MANAGER: **Scott Schreffler**
 OWNER APPROVAL:

BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

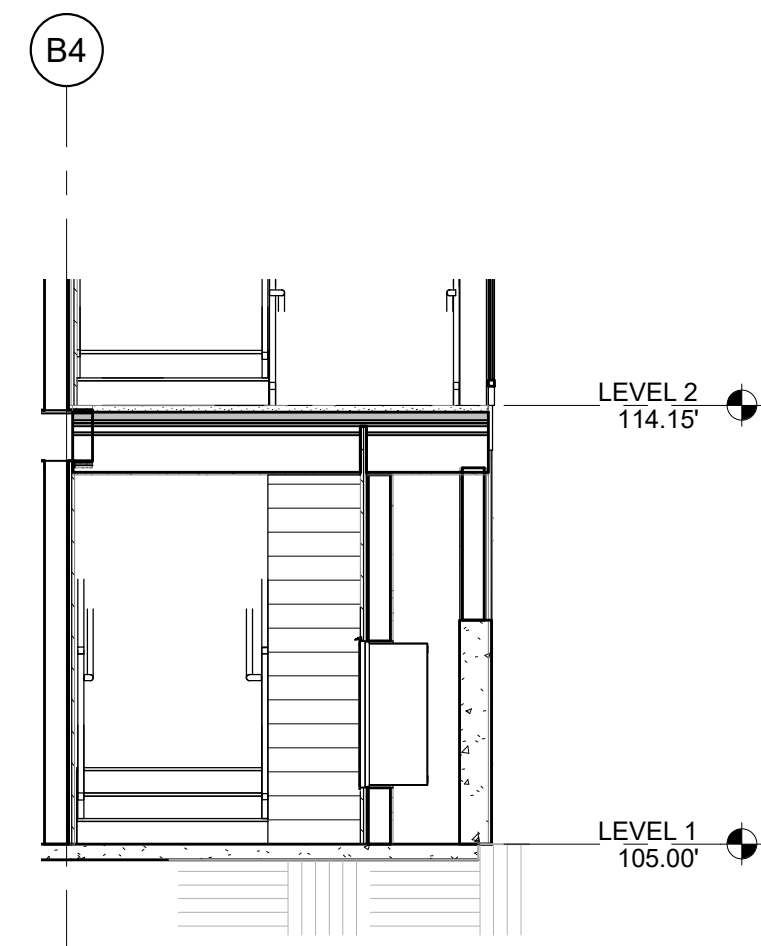
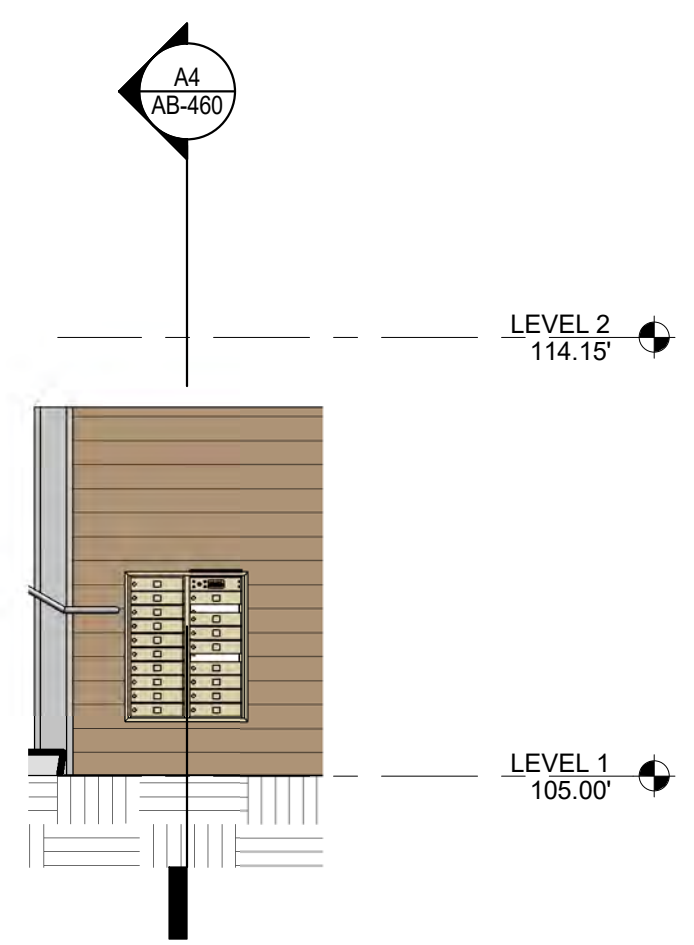
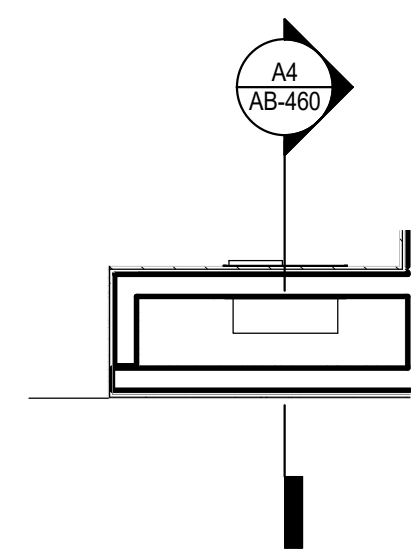
SHEET TITLE
BUILDING B - ENLARGED PLANS, SECTIONS AND ELEVATIONS

SHEET NO.
AB-460



B1 BUILDING B - BIKE PARKING - PLAN
 1/4" = 1'-0"

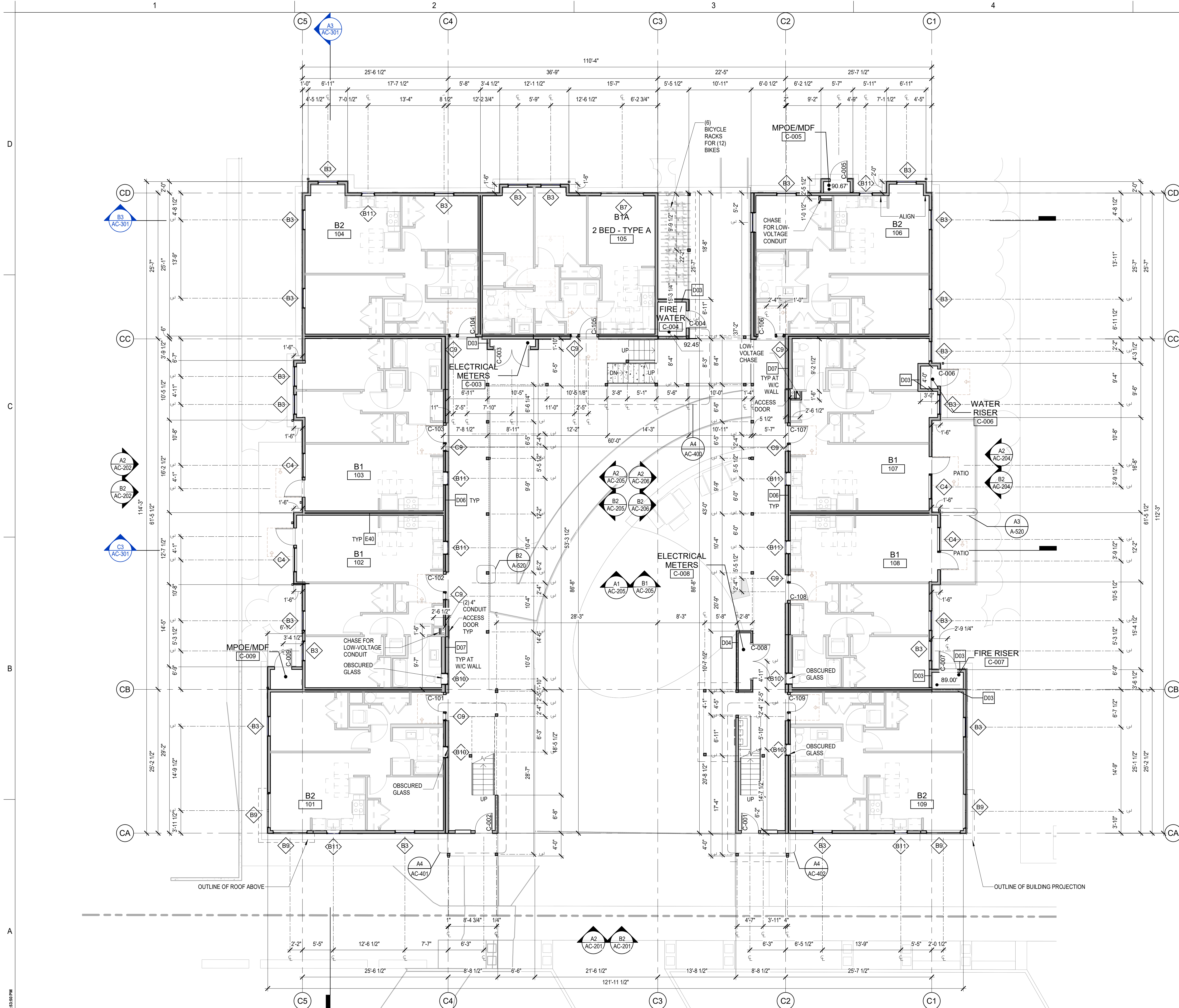
B3 BUILDING B - BIKE PARKING - ELEVATION
 1/4" = 1'-0"



A1 BUILDING B - MAILBOXES - PLAN
 1/4" = 1'-0"

A3 BUILDING B - MAILBOXES - ELEVATION
 1/4" = 1'-0"

A4 BUILDING B - MAILBOXES - SECTION
 1/4" = 1'-0"



GENERAL FLOOR PLAN NOTES

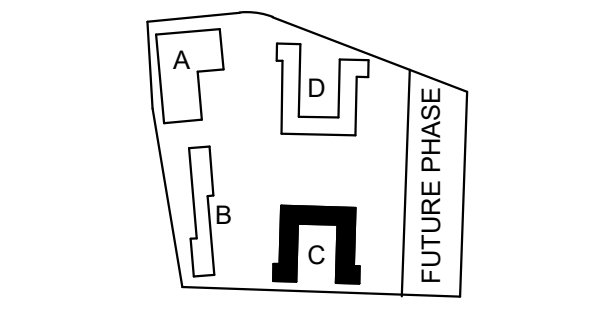
1. PLAN DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE WALL, CENTERLINE OF COLUMN, OR CENTERLINE OF ROUGH OPENINGS. UON, CONTACT ARCHITECT FOR CLARIFICATIONS.
2. DOORS AND CASED OPENINGS INDICATED ADJACENT TO WALL INTERSECTIONS SHALL BE LOCATED WITH THE EDGE OF FINISH OPENING SIX INCHES FROM THE ADJACENT WALL AT THE EXTERIOR AND FOUR INCHES FROM THE ADJACENT WALL.
3. SEE SHEET A-540 & A-620 FOR WINDOW LEGEND AND DETAILS.
4. SEE SHEET A-545 & A-615 FOR DOOR SCHEDULE AND DETAILS.
5. SEE SHEET A-605 FOR WALL ASSEMBLIES.
6. INSTALL BLOCKING FOR GRAB BARS IN ALL BATHROOM WALLS SURROUNDING WATER CLOSET, BATHTUB AND SHOWER. REF A-501.
7. HANDRAILS SHALL RETURN TO A WALL, GUARD OR THE WALKING SURFACE OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT OR RAMP RUN - PER IBC 1012.5.
8. CONTRACTOR SHALL INSTALL FURRING, SHIMS AND ADDITIONAL LAYERS OF GYPSUM BOARD AS NECESSARY TO ACHIEVE FLUSH FINISH WHERE SURFACES OF ADJACENT WALL OR SHAFT ASSEMBLIES ARE NOT, BUT ARE INTENDED TO BE, ALIGNED.
9. SEE SHEETS A-190 THROUGH A-193 FOR TYPICAL UNIT PLANS ENLARGED.

BUILDING C - UNIT COUNT

NAME	UNIT TYPE	NUMBER OF UNITS
B1	2 BED - STANDARD	12
B1A	2 BED - TYPE A	1
B2	2 BED - CORNER	10
TOTAL		23



1301 First Avenue, Suite 301
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PROJECT:
EHA BAKER HEIGHTS



PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

MARK	DATE	REVISION 1	DESCRIPTION
1	Date 1	Revision 1	

MARK	DATE	DESCRIPTION
1	06/22/2020	BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
2	04/10/2020	DESIGN DEVELOPMENT
3	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **2017033**
 GGLO PRINCIPAL IN CHARGE: **Jon Hall**
 GGLO PROJECT MANAGER: **Scott Schreffler**
 OWNER APPROVAL:

SHEET TITLE
BUILDING C - LEVEL 1 - FLOOR PLAN

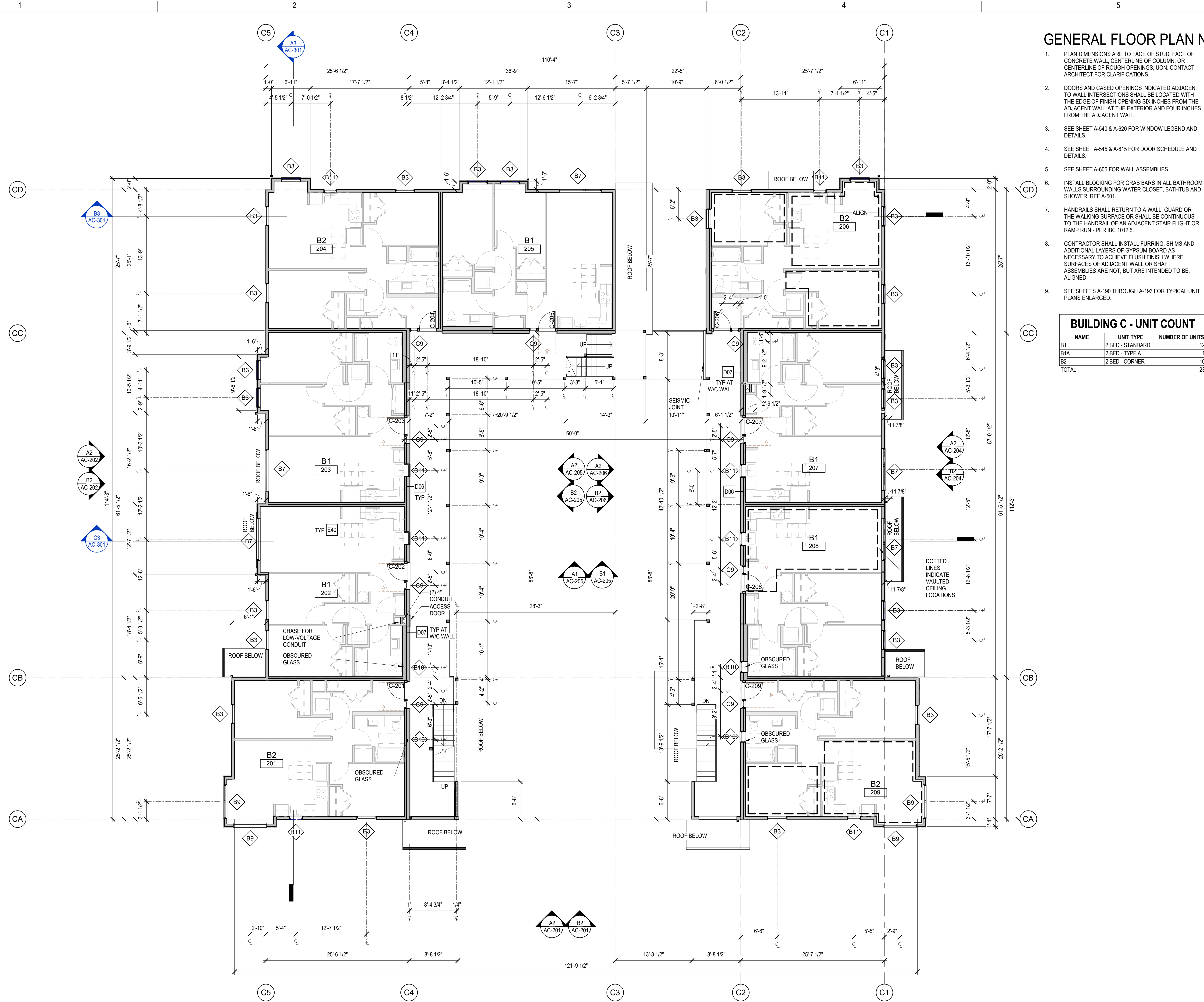
SHEET NO.
AC-110

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 ORIGINAL SHEET SIZE IS 36"X48"

A1 BUILDING C - LEVEL 1 FLOOR PLAN
 1/8" = 1'-0"



BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL



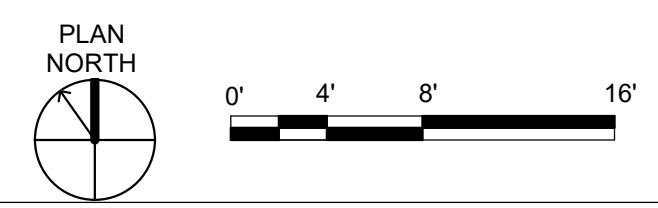
GENERAL FLOOR PLAN NOTES

1. PLAN DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE WALL, CENTERLINE OF COLUMN, OR CENTERLINE OF ROUGH OPENINGS, UNO. CONTACT ARCHITECT FOR CLARIFICATIONS.
2. DOORS AND CASED OPENINGS INDICATED ADJACENT TO WALL INTERSECTIONS SHALL BE LOCATED WITH THE EDGE OF FINISH OPENING SIX INCHES FROM THE ADJACENT WALL AT THE EXTERIOR AND FOUR INCHES FROM THE ADJACENT WALL.
3. SEE SHEET A-540 & A-620 FOR WINDOW LEGEND AND DETAILS.
4. SEE SHEET A-545 & A-615 FOR DOOR SCHEDULE AND DETAILS.
5. SEE SHEET A-605 FOR WALL ASSEMBLIES.
6. INSTALL BLOCKING FOR GRAB BARS IN ALL BATHROOM WALLS SURROUNDING WATER CLOSET, BATHTUB AND SHOWER. REF A-501.
7. HANDRAILS SHALL RETURN TO A WALL, GUARD OR THE WALKING SURFACE OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT OR RAMP RUN - PER IBC 1012.5.
8. CONTRACTOR SHALL INSTALL FURRING, SHIMS AND ADDITIONAL LAYERS OF GYPSUM BOARD AS NECESSARY TO ACHIEVE FLUSH FINISH WHERE SURFACES OF ADJACENT WALL OR SHAFT ASSEMBLIES ARE NOT, BUT ARE INTENDED TO BE, ALIGNED.
9. SEE SHEETS A-190 THROUGH A-193 FOR TYPICAL UNIT PLANS ENLARGED.

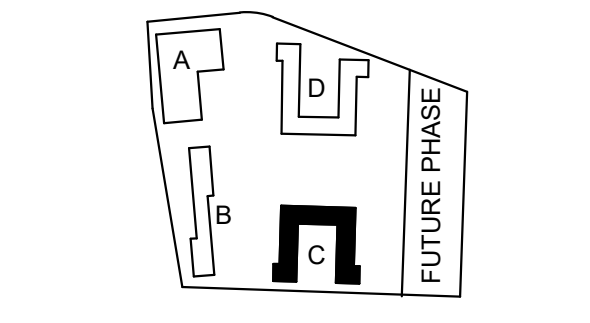
BUILDING C - UNIT COUNT

NAME	UNIT TYPE	NUMBER OF UNITS
B1	2 BED - STANDARD	12
B1A	2 BED - TYPE A	1
B2	2 BED - CORNER	10
TOTAL		23

A1 BUILDING C - LEVEL 2 FLOOR PLAN
1/8" = 1'-0"



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PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

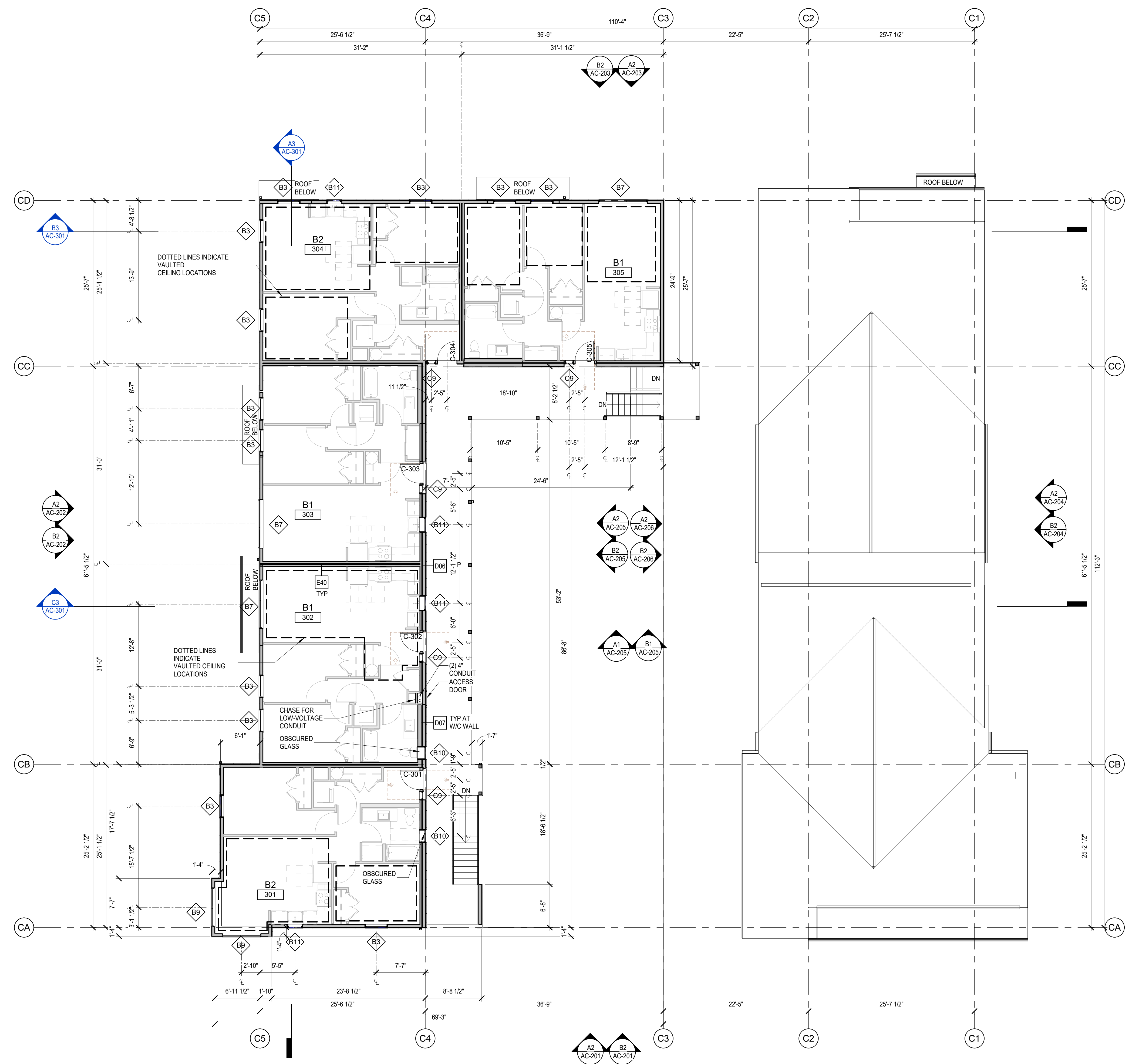
MARK	DATE	DESCRIPTION
1	Date 1	Revision 1

MARK	DATE	DESCRIPTION
C	06/22/2020	BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **2017033**
GGLO PRINCIPAL IN CHARGE: **Jon Hall**
GGLO PROJECT MANAGER: **Scott Schreffler**
OWNER APPROVAL:

SHEET TITLE
BUILDING C - LEVEL 2 - FLOOR PLAN

SHEET NO.
AC-111



GENERAL FLOOR PLAN NOTES

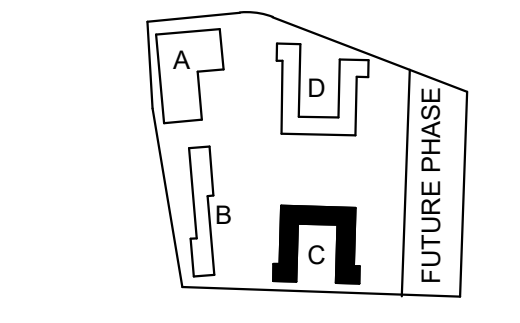
1. PLAN DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE WALL, CENTERLINE OF COLUMN, OR CENTERLINE OF ROUGH OPENINGS, UON. CONTACT ARCHITECT FOR CLARIFICATIONS.
2. DOORS AND CASED OPENINGS INDICATED ADJACENT TO WALL INTERSECTIONS SHALL BE LOCATED WITH THE EDGE OF FINISH OPENING SIX INCHES FROM THE ADJACENT WALL AT THE EXTERIOR AND FOUR INCHES FROM THE ADJACENT WALL.
3. SEE SHEET A-540 & A-620 FOR WINDOW LEGEND AND DETAILS.
4. SEE SHEET A-545 & A-615 FOR DOOR SCHEDULE AND DETAILS.
5. SEE SHEET A-605 FOR WALL ASSEMBLIES.
6. INSTALL BLOCKING FOR GRAB BARS IN ALL BATHROOM WALLS SURROUNDING WATER CLOSET, BATHTUB AND SHOWER. REF A-501.
7. HANDRAILS SHALL RETURN TO A WALL, GUARD OR THE WALKING SURFACE OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT OR RAMP RUN - PER IBC 1012.5.
8. CONTRACTOR SHALL INSTALL FURRING, SHIMS AND ADDITIONAL LAYERS OF GYPSUM BOARD AS NECESSARY TO ACHIEVE FLUSH FINISH WHERE SURFACES OF ADJACENT WALL OR SHAFT ASSEMBLIES ARE NOT, BUT ARE INTENDED TO BE, ALIGNED.
9. SEE SHEETS A-190 THROUGH A-193 FOR TYPICAL UNIT PLANS ENLARGED.

BUILDING C - UNIT COUNT

NAME	UNIT TYPE	NUMBER OF UNITS
B1	2 BED - STANDARD	12
B1A	2 BED - TYPE A	1
B2	2 BED - CORNER	10
TOTAL		23



1301 First Avenue, Suite 301
Seattle, WA 98101
<http://www.gglo.com>



PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

MARK	DATE	REVISION	DESCRIPTION
1	Date 1	Revision 1	

MARK	DATE	REVISION	DESCRIPTION
C	06/22/2020		BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
B	04/10/2020		DESIGN DEVELOPMENT
A	01/07/2020		SCHEMATIC DESIGN

PROJECT NO.: **2017033**
GGLO PRINCIPAL IN CHARGE: **Jon Hall**
GGLO PROJECT MANAGER: **Scott Schreffler**
OWNER APPROVAL:

SHEET TITLE
BUILDING C - LEVEL 3 - FLOOR PLAN

SHEET NO.
AC-112

PLAN NORTH
0' 4' 8' 16'
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ORIGINAL SHEET SIZE 8.5X11

A1 BUILDING C - LEVEL 3 FLOOR PLAN
1/8" = 1'-0"

BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

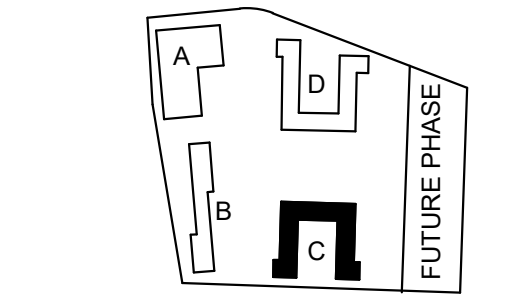
GENERAL ROOF PLAN NOTES

- SEE DETAIL XXX-XXX FOR VENT PIPE PENETRATIONS.
- SEE XXX-XXX FOR SATELLITE CONDUIT.
- PLACE FALL PROTECTION ANCHORS AT SPECIFIED INTERVALS PER MFR INSTRUCTIONS, SEE PROJECT MANUAL SECTION XXXXX.

GGLO DESIGN

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Seattle, WA 98101

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PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2815 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

MARK	DATE	DESCRIPTION
REVISIONS		

C 06/22/2020 BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

B 04/10/2020 DESIGN DEVELOPMENT

A 01/07/2020 SCHEMATIC DESIGN

MARK DATE DESCRIPTION
ISSUE INFORMATION

PROJECT NO.: **2017033**
GGLO PRINCIPAL IN CHARGE: **Jon Hall**
GGLO PROJECT MANAGER: **Scott Schreffler**
OWNER APPROVAL:

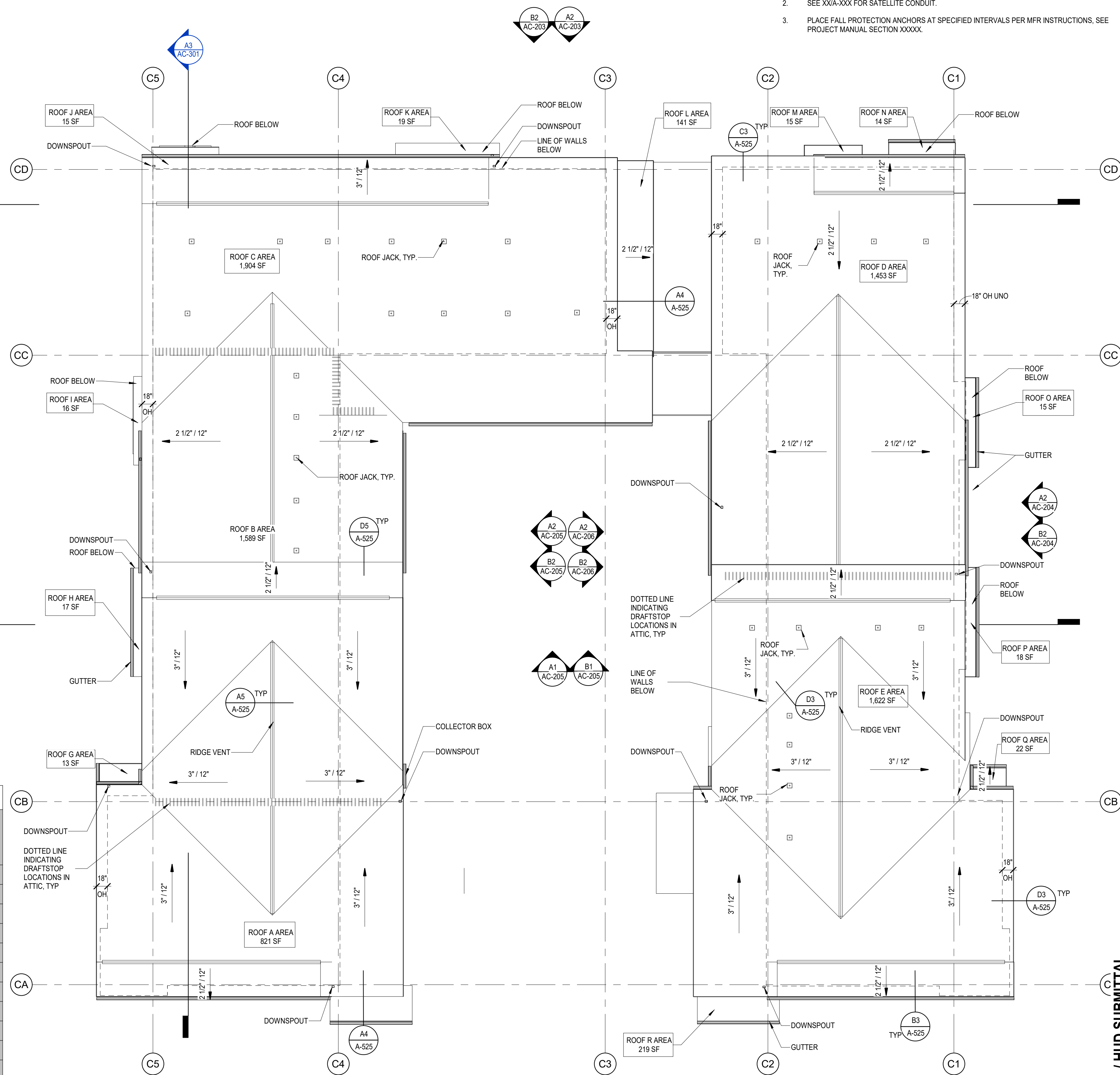
SHEET TITLE
BUILDING C - ROOF PLAN

SHEET NO.
AC-113

COPYRIGHT GGLO. ALL RIGHTS RESERVED.
ORIGINAL SHEET SIZE 18" X 24"

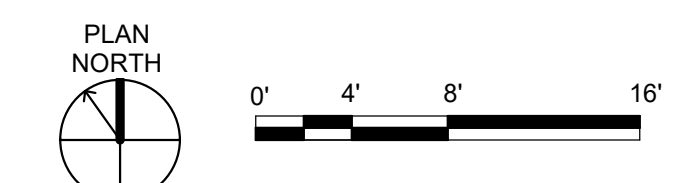
D
C
B
A

ATTIC VENTILATION - BUILDING C																	
NAME	AREA	REQUIRED VENT AREA - 1/300	PROVIDED VENT AREA	% OF REQ'D VENTING 3' ABOVE EAVES	% OF TOTAL VENT AREA 3' ABOVE EAVES	RIDGE VENTING	AREA RIDGE VENTING	EAVE VENTING-LOW TWO 2" DIAMETER HOLES/LF	AREA EAVE VENTING-LOW (NFPA 3.14 SQ IN/LF)	EAVE VENTING-HIGH TWO 2" DIAMETER HOLES/LF	AREA EAVE VENTING-HIGH	LOW ROOF JACKS COUNT	AREA LOW ROOF JACK	HIGH ROOF JACKS COUNT	AREA HIGH ROOF JACK	ROOF TO WALL LENGTH	AREA ROOF-TO-WALL
ROOF AREA A	821 SF	2.7 SF	3.0 SF	99%	89%	30 LF	3 SF	17 LF	0.3 SF	0 LF	0.0 SF	0	0 SF	0	0.0 SF	0 LF	0.0 SF
ROOF AREA B	1,975 SF	6.6 SF	7.0 SF	73%	68%	32 LF	3 SF	18 LF	0.4 SF	0 LF	0.0 SF	5	2 SF	5	1.9 SF	0 LF	0.0 SF
ROOF AREA C	1,905 SF	6.3 SF	6.9 SF	82%	76%	45 LF	4 SF	26 LF	0.5 SF	0 LF	0.0 SF	3	1 SF	3	1.1 SF	0 LF	0.0 SF
ROOF AREA D	1,795 SF	6.0 SF	5.4 SF	69%	77%	38 LF	3 SF	23 LF	0.5 SF	0 LF	0.0 SF	2	1 SF	2	0.8 SF	0 LF	0.0 SF
ROOF AREA E	2,057 SF	6.9 SF	6.9 SF	72%	71%	38 LF	3 SF	23 LF	0.5 SF	0 LF	0.0 SF	4	2 SF	4	1.5 SF	0 LF	0.0 SF
ROOF AREA F	223 SF	0.7 SF	0.9 SF	51%	40%	0 LF	0 SF	9 LF	0.2 SF	0 LF	0.0 SF	1	0 SF	1	0.4 SF	0 LF	0.0 SF
ROOF AREA G	25 SF	0.1 SF	0.3 SF	0%	0%	0 LF	0 SF	17 LF	0.3 SF	0 LF	0.0 SF	0	0 SF	0	0.0 SF	0 LF	0.0 SF
ROOF AREA H	17 SF	0.1 SF	0.4 SF	0%	0%	0 LF	0 SF	18 LF	0.4 SF	0 LF	0.0 SF	0	0 SF	0	0.0 SF	0 LF	0.0 SF
ROOF AREA I	16 SF	0.1 SF	0.4 SF	0%	0%	0 LF	0 SF	18 LF	0.4 SF	0 LF	0.0 SF	0	0 SF	0	0.0 SF	0 LF	0.0 SF
ROOF AREA J	15 SF	0.0 SF	0.4 SF	0%	0%	0 LF	0 SF	18 LF	0.4 SF	0 LF	0.0 SF	0	0 SF	0	0.0 SF	0 LF	0.0 SF
ROOF AREA K	19 SF	0.1 SF	0.4 SF	0%	0%	0 LF	0 SF	18 LF	0.4 SF	0 LF	0.0 SF	0	0 SF	0	0.0 SF	0 LF	0.0 SF
ROOF AREA L	190 SF	0.6 SF	0.3 SF	0%	0%	0 LF	0 SF	17 LF	0.3 SF	0 LF	0.0 SF	0	0 SF	0	0.0 SF	0 LF	0.0 SF
ROOF AREA M	15 SF	0.0 SF	0.2 SF	0%	0%	0 LF	0 SF	8 LF	0.2 SF	0 LF	0.0 SF	0	0 SF	0	0.0 SF	0 LF	0.0 SF
ROOF AREA N	14 SF	0.0 SF	0.3 SF	0%	0%	0 LF	0 SF	15 LF	0.3 SF	0 LF	0.0 SF	0	0 SF	0	0.0 SF	0 LF	0.0 SF
ROOF AREA O	15 SF	0.0 SF	0.2 SF	0%	0%	0 LF	0 SF	9 LF	0.2 SF	0 LF	0.0 SF	0	0 SF	0	0.0 SF	0 LF	0.0 SF
ROOF AREA P	18 SF	0.1 SF	0.2 SF	0%	0%	0 LF	0 SF	9 LF	0.2 SF	0 LF	0.0 SF	0	0 SF	0	0.0 SF	0 LF	0.0 SF
ROOF AREA Q	22 SF	0.1 SF	0.2 SF	0%	0%	0 LF	0 SF	11 LF	0.2 SF	0 LF	0.0 SF	0	0 SF	0	0.0 SF	0 LF	0.0 SF
ROOF AREA R	68 SF	0.2 SF	0.2 SF	0%	0%	0 LF	0 SF	9 LF	0.2 SF	0 LF	0.0 SF	0	0 SF	0	0.0 SF	0 LF	0.0 SF



PER 2015 IBC WITH WASHINGTON AMENDMENTS, SECTION 1203.2, EXCEPTION 1, THE NET FREE CROSS-VENTILATION AREA SHALL BE PERMITTED TO BE REDUCED TO 1/300 PROVIDED THAT A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-UP WINTER SIDE OF THE CEILING. AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.

A1 BUILDING C - ROOF PLAN
1/8" = 1'-0"

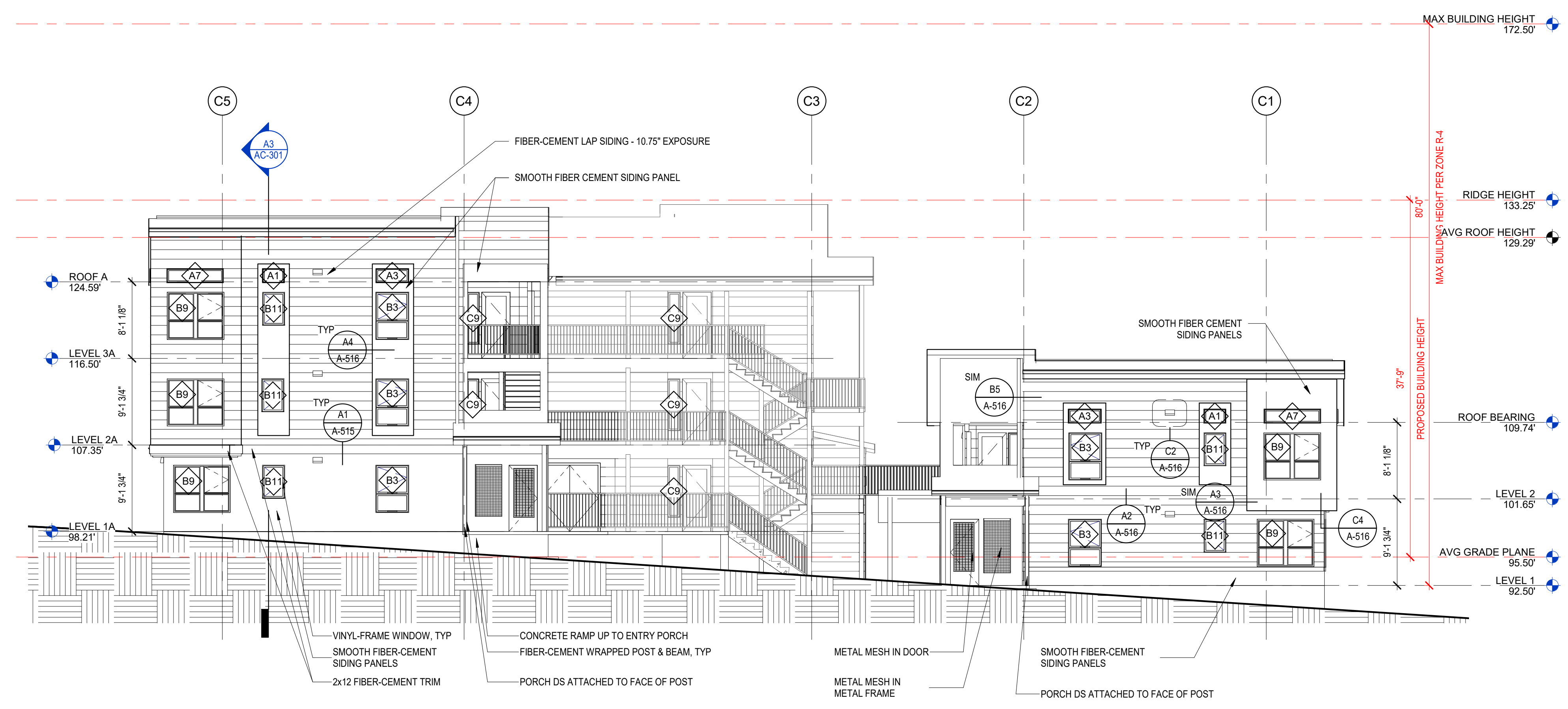


BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

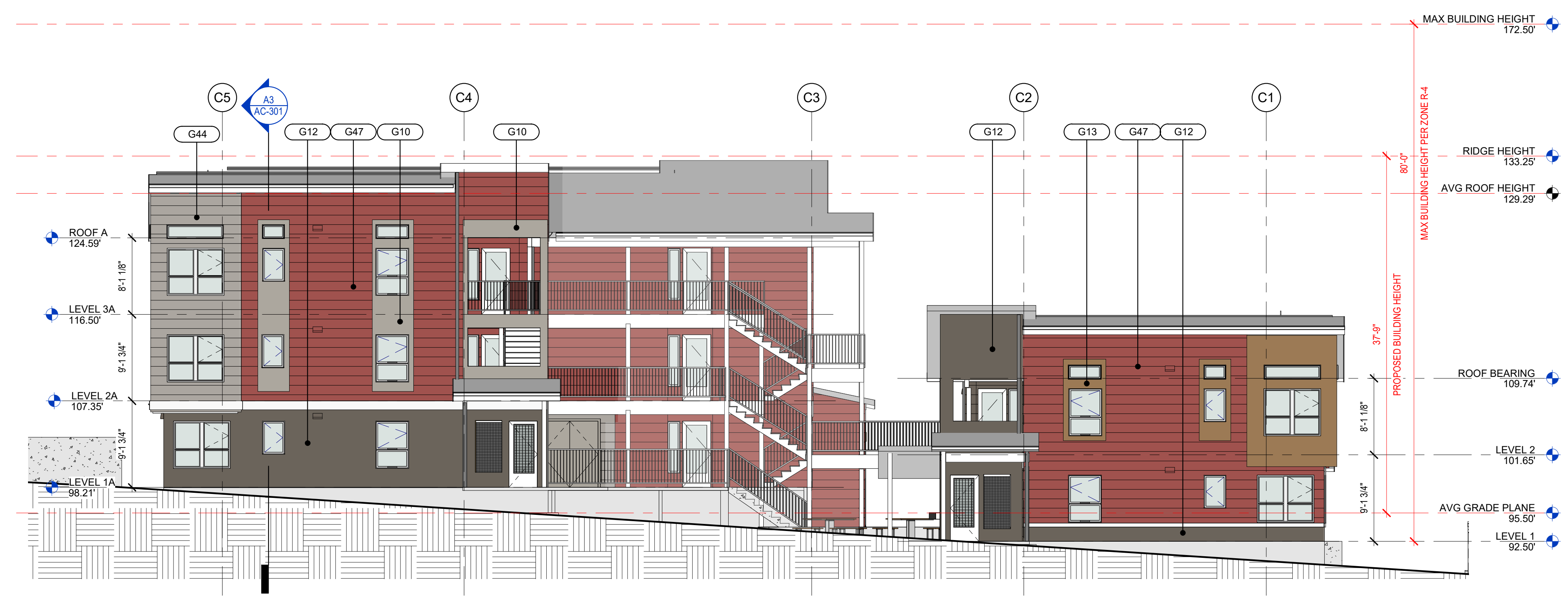
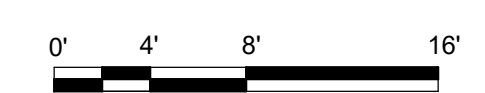
TAG	DESCRIPTION	COLOR
G10	SMOOTH FIBER CEMENT SIDING PANEL	SHERWIN WILLIAMS 7017 DORIAN GRAY
G12	SMOOTH FIBER CEMENT SIDING PANEL	SHERWIN WILLIAMS 7047 PORPOISE
G13	SMOOTH FIBER CEMENT SIDING PANEL	SHERWIN WILLIAMS 6124 CARDBOARD
G41	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 6124 CARDBOARD
G42	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 7047 PORPOISE
G44	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 7017 DORIAN GRAY
G47	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 6320 BRAVADO RED

GENERAL EXTERIOR ELEVATION NOTES

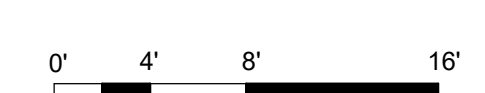
- EXHAUST VENTS 3 FT. MINIMUM FROM DOORS AND OPERABLE PORTIONS OF WINDOWS.
- SEE RCP FOR SOFFIT COLORS.
-
-
-
-



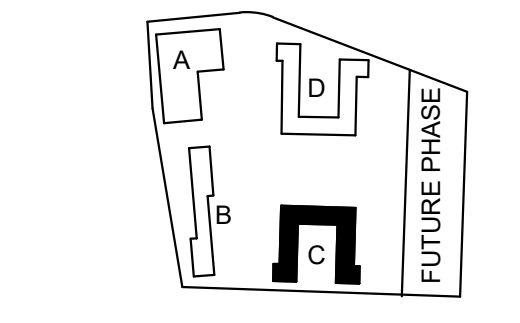
B2 BUILDING C - SOUTH ELEVATION
1/8" = 1'-0"



A2 BUILDING C - SOUTH ELEVATION RENDERED
1/8" = 1'-0"



1301 First Avenue, Suite 301
Seattle, WA 98101
<http://www.gglo.com>



PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

MARK	DATE	DESCRIPTION
REVISIONS		

C	06/22/2020	BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **2017033**
GGLO PRINCIPAL IN CHARGE: **Jon Hall**
GGLO PROJECT MANAGER: **Scott Schreffler**
OWNER APPROVAL:

SHEET TITLE
BUILDING C - BUILDING ELEVATION - SOUTH

SHEET NO.
AC-201

BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

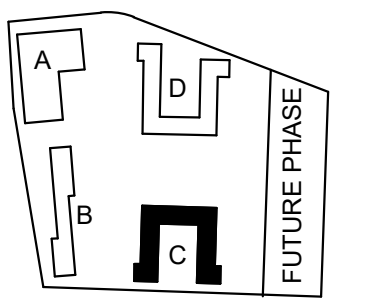
EXTERIOR SIDING LEGEND		
TAG	DESCRIPTION	COLOR
G10	SMOOTH FIBER CEMENT SIDING PANEL	SHERWIN WILLIAMS 7017 DORIAN GRAY
G12	SMOOTH FIBER CEMENT SIDING PANEL	SHERWIN WILLIAMS 7047 PORPOISE
G13	SMOOTH FIBER CEMENT SIDING PANEL	SHERWIN WILLIAMS 6124 CARDBOARD
G41	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 6124 CARDBOARD
G42	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 7047 PORPOISE
G44	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 7017 DORIAN GRAY
G47	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 6320 BRAVADO RED

GENERAL EXTERIOR ELEVATION NOTES

- EXHAUST VENTS 3 FT. MINIMUM FROM DOORS AND OPERABLE PORTIONS OF WINDOWS.
- SEE RCP FOR SOFFIT COLORS.
-
-
-
-

GGLO DESIGN

1301 First Avenue, Suite 301
Seattle, WA 98101
<http://www.gglo.com>



PROJECT:
EHA BAKER HEIGHTS



PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

MARK	DATE	DESCRIPTION
REVISIONS		

C 06/22/2020 BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

B 04/10/2020 DESIGN DEVELOPMENT

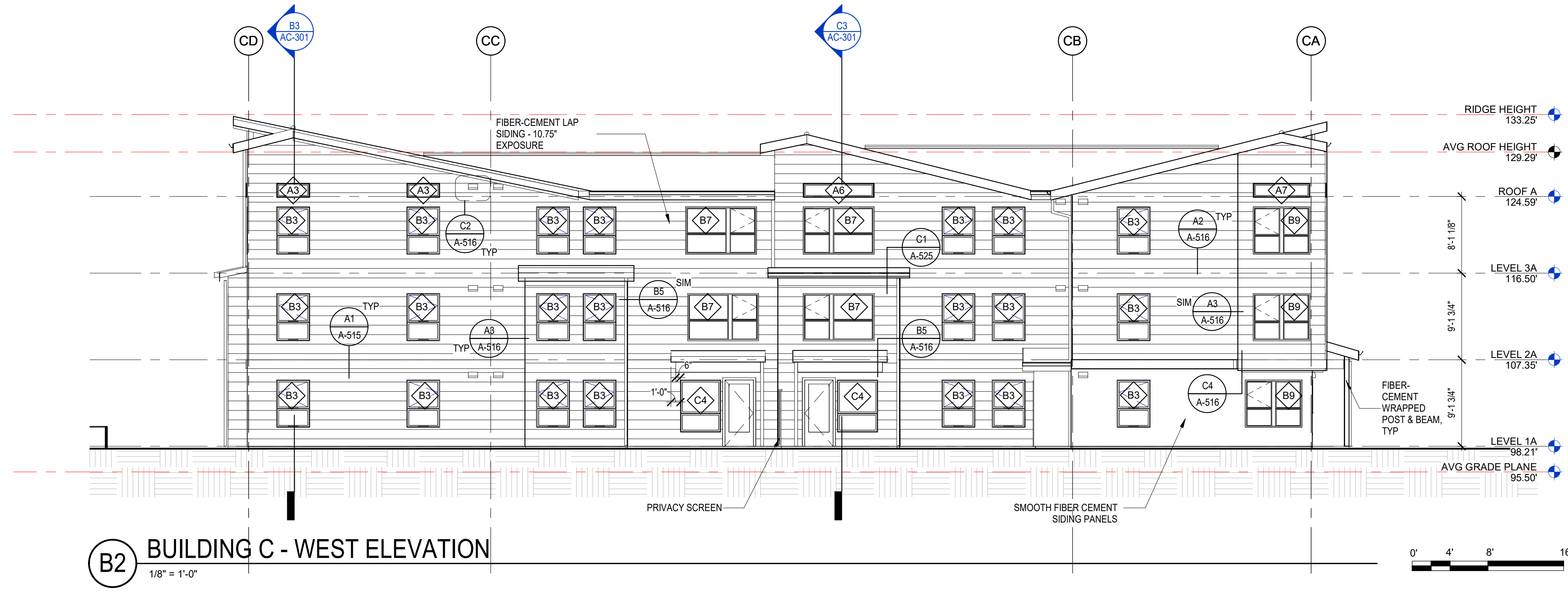
A 01/07/2020 SCHEMATIC DESIGN

MARK DATE DESCRIPTION
ISSUE INFORMATION

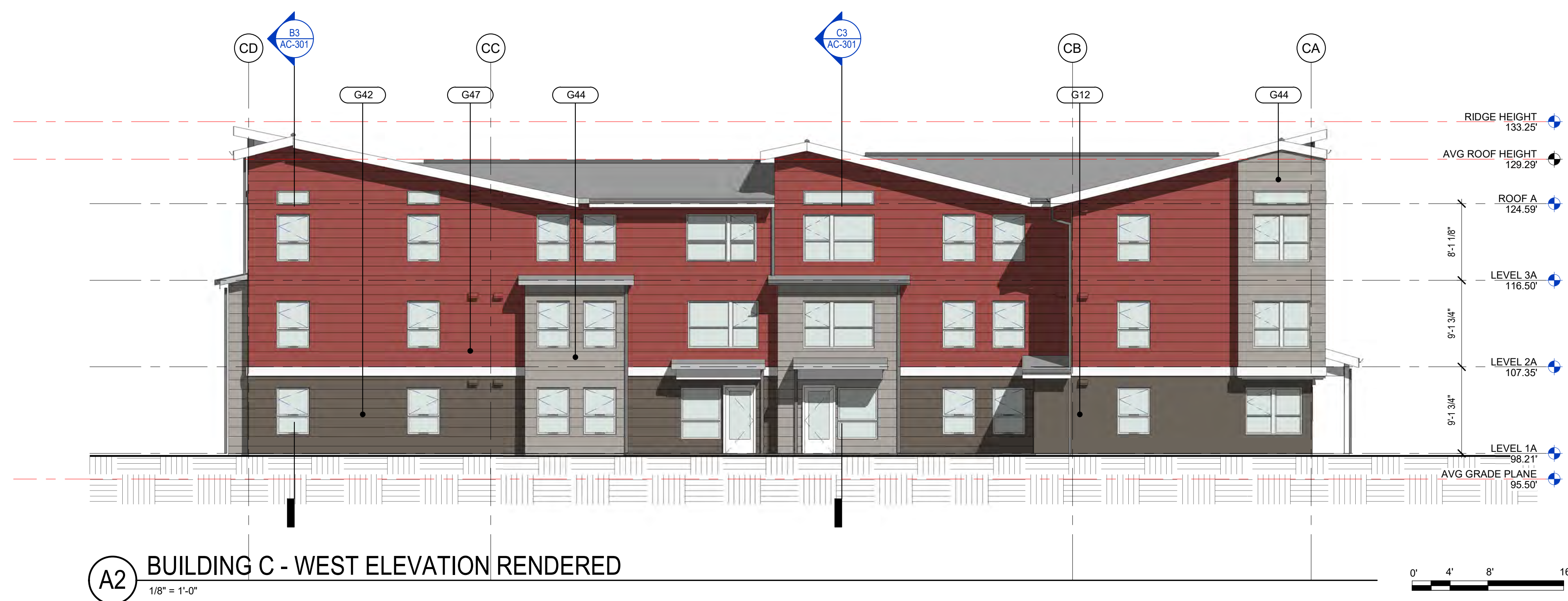
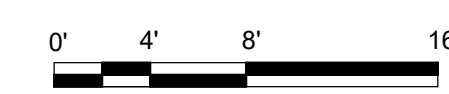
PROJECT NO.: **2017033**
 GGLO PRINCIPAL IN CHARGE: **Jon Hall**
 GGLO PROJECT MANAGER: **Scott Schreffler**
 OWNER APPROVAL:

SHEET TITLE
BUILDING C - BUILDING ELEVATION - WEST

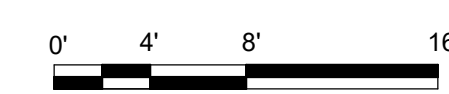
SHEET NO.
AC-202



B2 BUILDING C - WEST ELEVATION
1/8" = 1'-0"



A2 BUILDING C - WEST ELEVATION RENDERED
1/8" = 1'-0"



BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

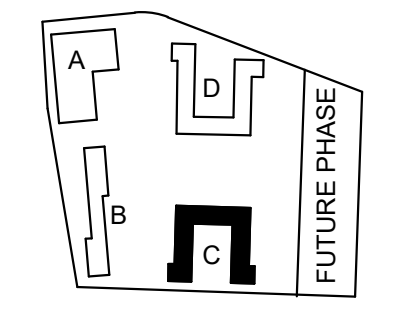
EXTERIOR SIDING LEGEND		
TAG	DESCRIPTION	COLOR
G10	SMOOTH FIBER CEMENT SIDING PANEL	SHERWIN WILLIAMS 7017 DORIAN GRAY
G12	SMOOTH FIBER CEMENT SIDING PANEL	SHERWIN WILLIAMS 7047 PORPOISE
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G42	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 7047 PORPOISE
G44	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 7017 DORIAN GRAY
G47	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 6320 BRAVADO RED

GENERAL EXTERIOR ELEVATION NOTES

- EXHAUST VENTS 3 FT. MINIMUM FROM DOORS AND OPERABLE PORTIONS OF WINDOWS.
- SEE RCP FOR SOFFIT COLORS.
-
-
-
-

GGLO DESIGN

1301 First Avenue, Suite 301
Seattle, WA 98101
<http://www.gglo.com>



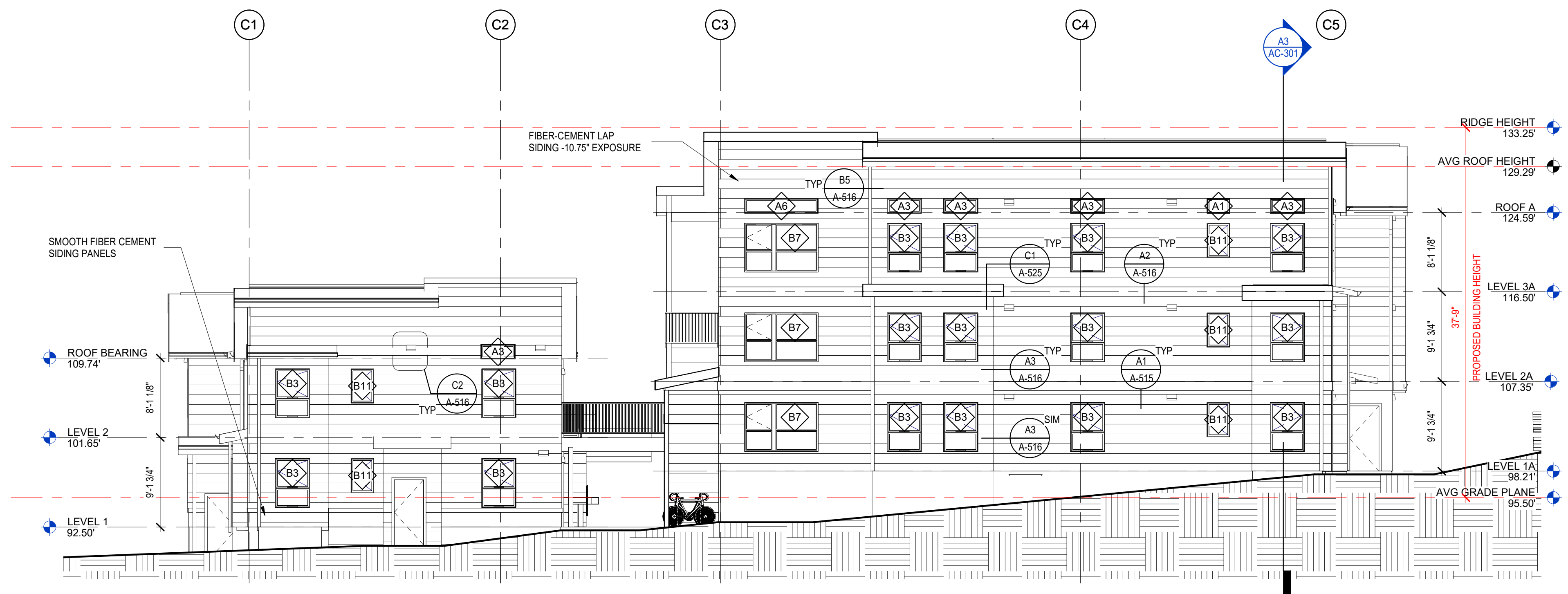
8487 REGISTERED ARCHITECT
Jonathan F. Hall
JONATHAN F HALL
STATE OF WASHINGTON

PROJECT:
EHA BAKER HEIGHTS

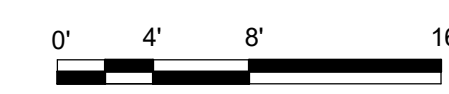
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

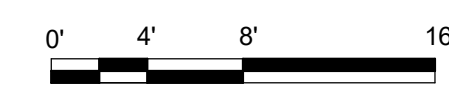
OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201



B2 BUILDING C - NORTH ELEVATION
1/8" = 1'-0"



A2 BUILDING C - NORTH ELEVATION RENDERED
1/8" = 1'-0"



MARK	DATE	DESCRIPTION
REVISIONS		

C	06/22/2020	BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **2017033**
GGLO PRINCIPAL IN CHARGE: **Jon Hall**
GGLO PROJECT MANAGER: **Scott Schreffler**
OWNER APPROVAL:

SHEET TITLE
BUILDING C - BUILDING ELEVATION - NORTH

SHEET NO.
AC-203

BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

TAG	DESCRIPTION	COLOR
G10	SMOOTH FIBER CEMENT SIDING PANEL	SHERWIN WILLIAMS 7017 DORIAN GRAY
G12	SMOOTH FIBER CEMENT SIDING PANEL	SHERWIN WILLIAMS 7047 PORPOISE
G13	SMOOTH FIBER CEMENT SIDING PANEL	SHERWIN WILLIAMS 6124 CARDBOARD
G41	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 6124 CARDBOARD
G42	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 7047 PORPOISE
G44	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 7017 DORIAN GRAY
G47	FIBER-CEMENT LAP SIDING - 10.75" EXPOSURE	SHERWIN WILLIAMS 6320 BRAVADO RED

GENERAL EXTERIOR ELEVATION NOTES

- EXHAUST VENTS 3 FT. MINIMUM FROM DOORS AND OPERABLE PORTIONS OF WINDOWS.
- SEE RCP FOR SOFFIT COLORS.
-
-
-
-

GGLO DESIGN

1301 First Avenue, Suite 301
Seattle, WA 98101
<http://www.gglo.com>

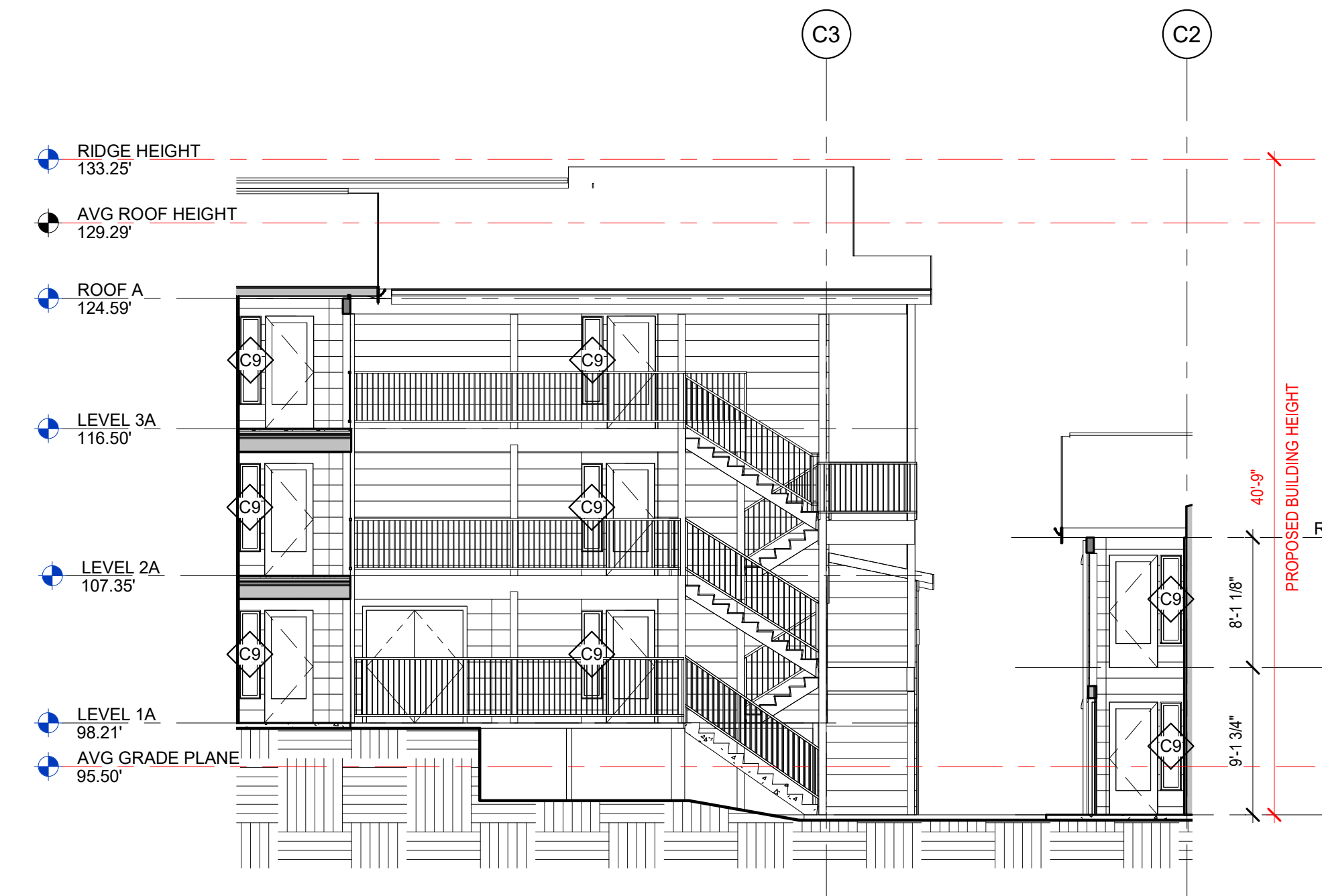
8487 REGISTERED ARCHITECT
Jonathan F. Hall
JONATHAN F. HALL
STATE OF WASHINGTON

PROJECT:
EHA BAKER HEIGHTS

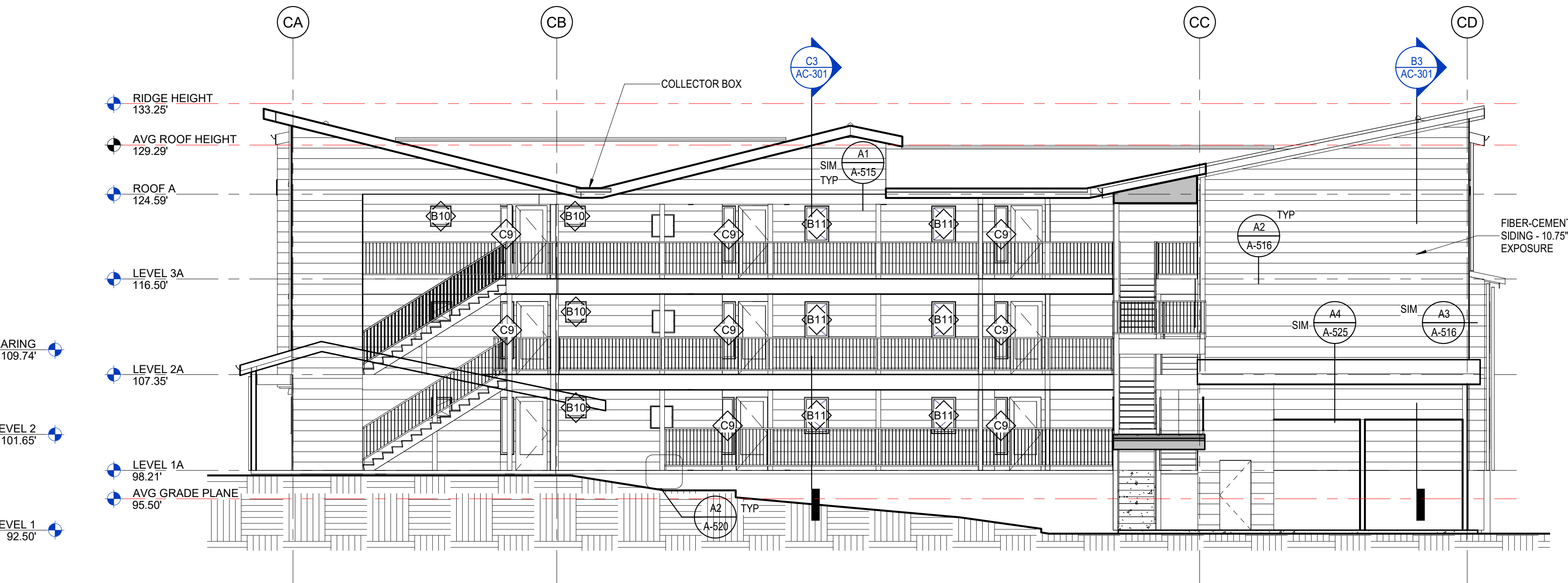
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

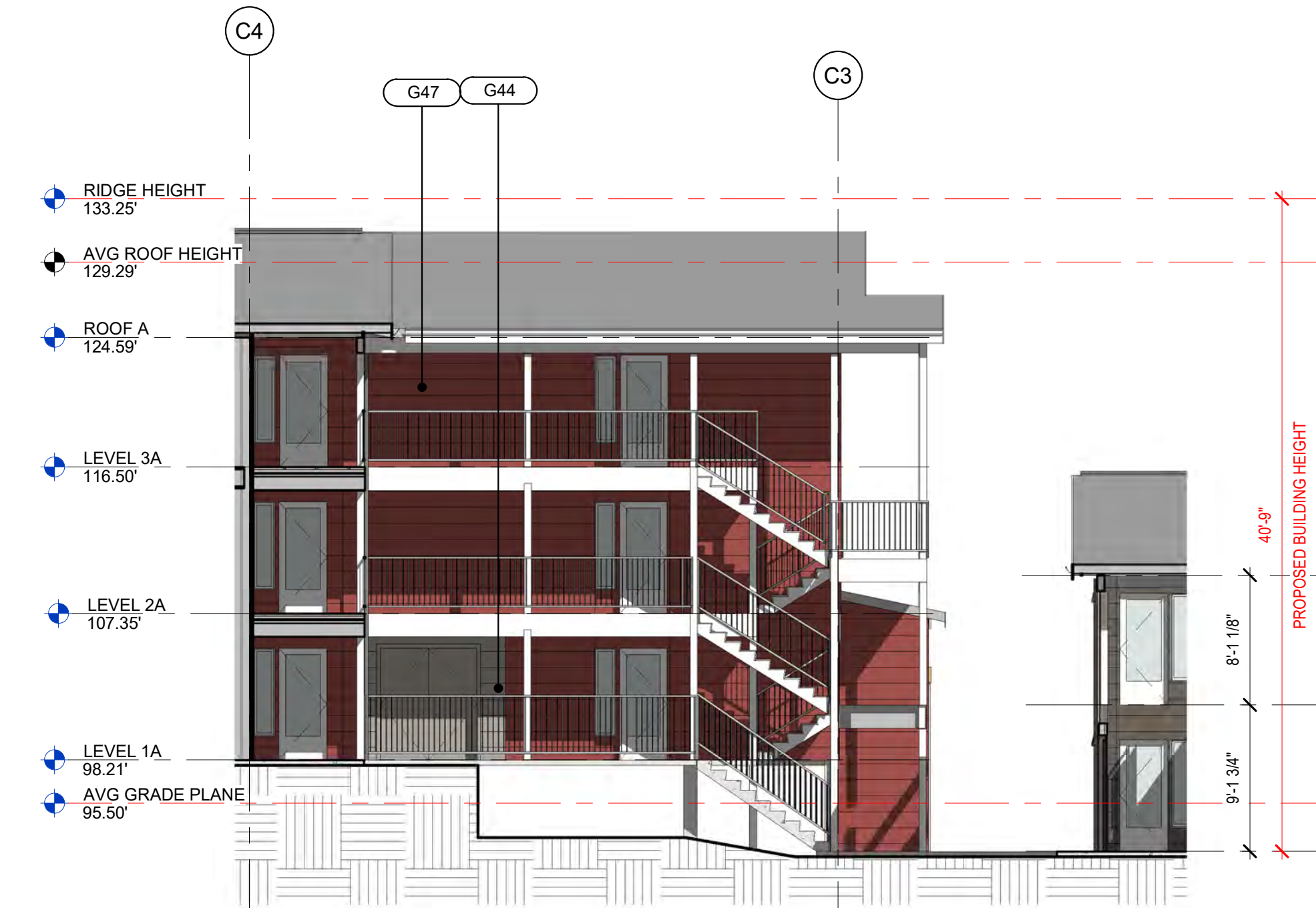
OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201



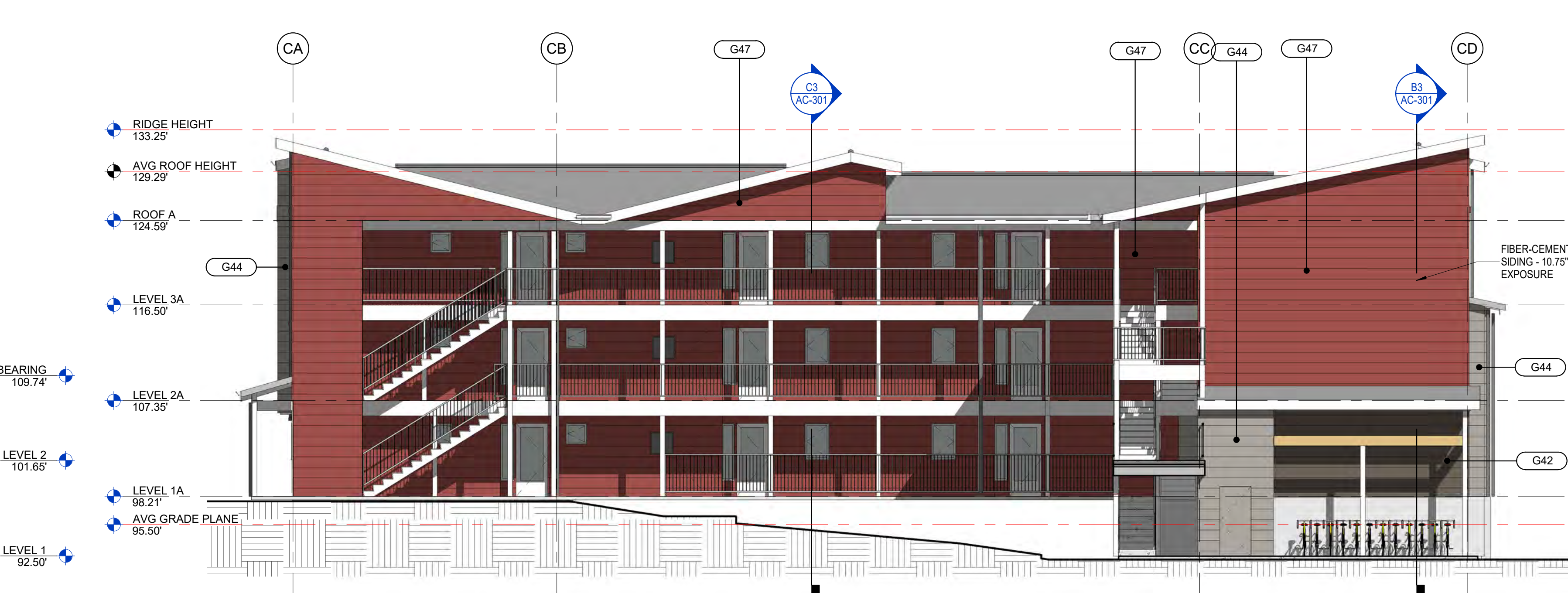
B1 BUILDING C - COURTYARD ELEVATION LOOKING NORTH
1/8" = 1'-0"



B2 BUILDING C - COURTYARD ELEVATION LOOKING WEST
1/8" = 1'-0"



A1 BUILDING C - COURTYARD ELEVATION LOOKING NORTH RENDERED
1/8" = 1'-0"



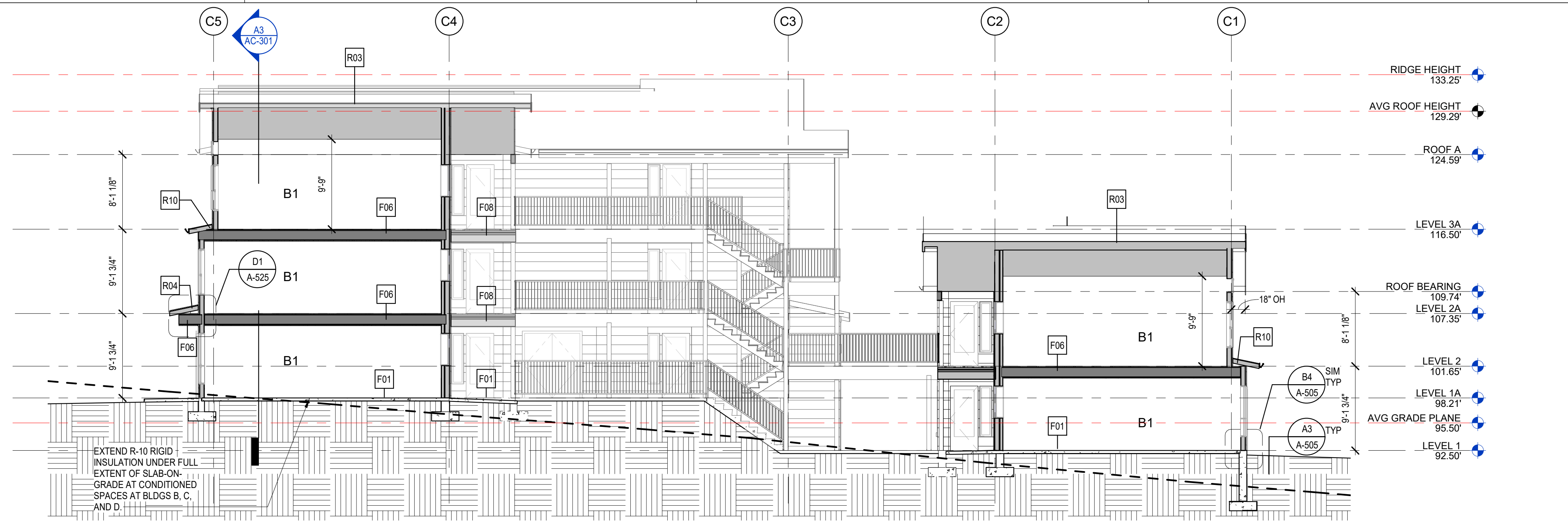
A2 BUILDING C - COURTYARD ELEVATION LOOKING WEST RENDERED
1/8" = 1'-0"

BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

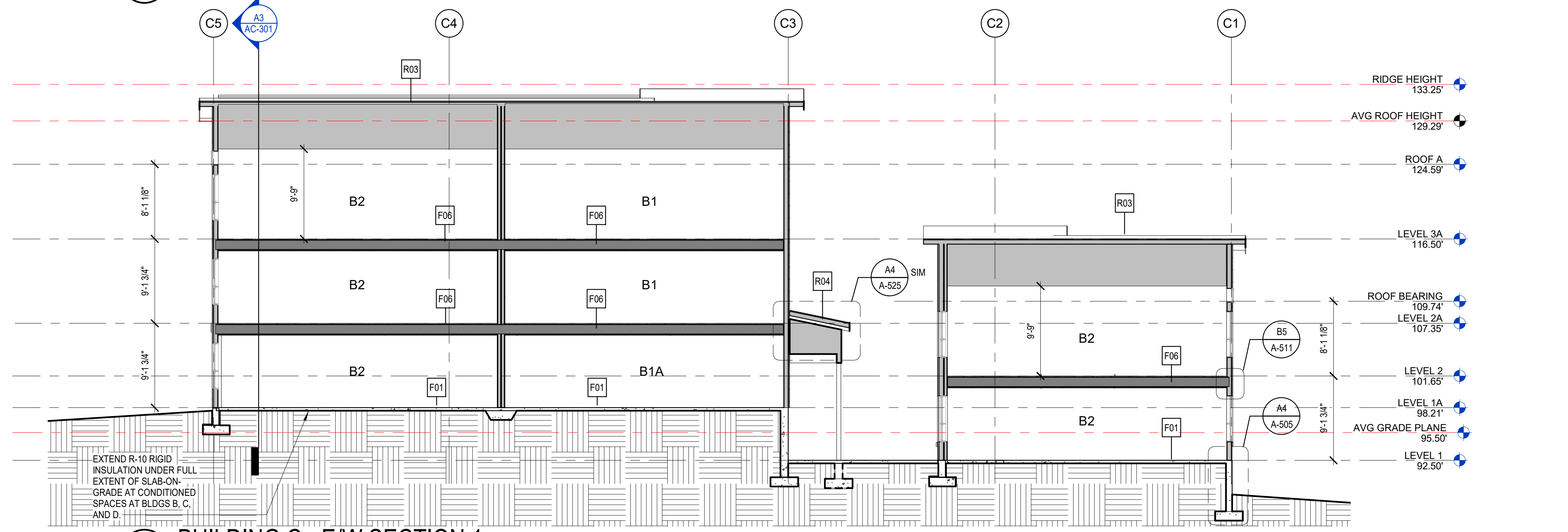
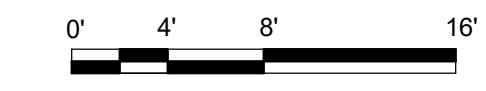
MARK	DATE	DESCRIPTION
REVISIONS		
C	06/22/2020	BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **2017033**
GGLO PRINCIPAL IN CHARGE: Jon Hall
GGLO PROJECT MANAGER: Scott Schreffler
OWNER APPROVAL:

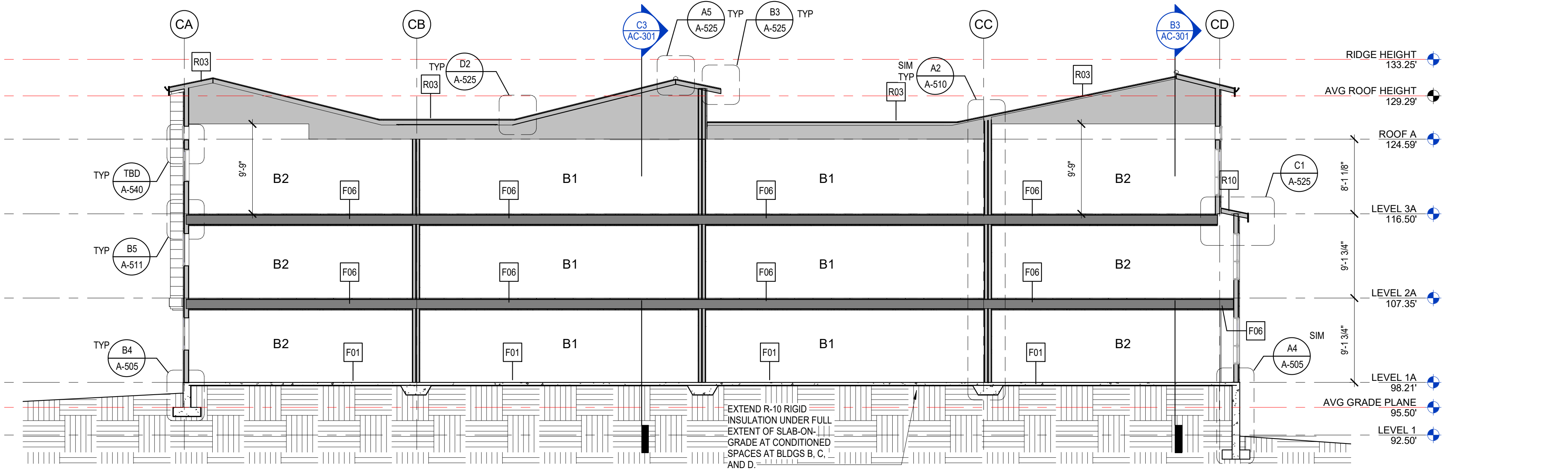
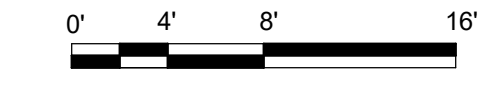
SHEET TITLE
BUILDING C - BUILDING ELEVATION - COURTYARD - WEST & NORTH
SHEET NO. **AC-205**



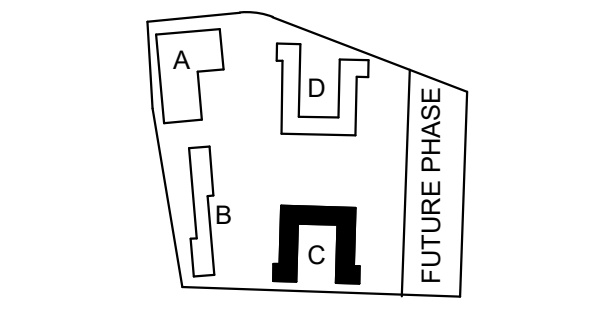
C3 BUILDING C - E/W SECTION 2
1/8" = 1'-0"



B3 BUILDING C - E/W SECTION 1
1/8" = 1'-0"



A3 BUILDING C - N/S SECTION
1/8" = 1'-0"



PROJECT:
EHA BAKER HEIGHTS
EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

MARK	DATE	DESCRIPTION
REVISIONS		

C	06/22/2020	BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **2017033**
GGLO PRINCIPAL IN CHARGE: **Jon Hall**
GGLO PROJECT MANAGER: **Scott Schreffler**
OWNER APPROVAL:

SHEET TITLE
BUILDING C - BUILDING SECTIONS

SHEET NO.
AC-301

BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

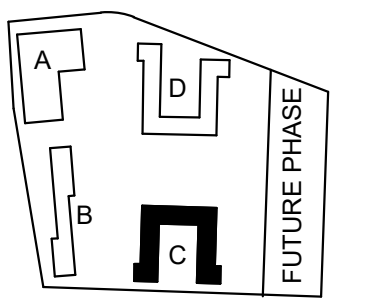
GENERAL STAIR NOTES

1. MIN HEADROOM CLEARANCE IN STAIRS - 80" MEASURED VERTICALLY FROM THE STAIR NOSING.
2. HANDRAIL HEIGHT - 34"-38", MEASURED VERTICALLY FROM THE NOSING.
3. TOP HANDRAIL EXTENSIONS - NON CONTINUOUS HANDRAILS SHOULD EXTEND 12" HORIZONTALLY BEYOND THE TOP RISER.
4. BOTTOM HANDRAIL EXTENSIONS - CONTINUE TO SLOPE FOR THE DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER.
5. TREADS AND RISERS IN MEANS OF EGRESS - TREADS 11" MIN AND RISERS 7" MAX
6. PROVIDE SIGN AT EACH LANDING OF EACH INTERIOR EXIT STAIRWAY PER IBC 1023.8 AS SHOWN IN DETAIL - / ---

GGLO DESIGN

1301 First Avenue, Suite 301
Seattle, WA 98101

http://www.gglo.com



8487
 REGISTERED ARCHITECT
 JONATHAN F HALL
 STATE OF WASHINGTON

PROJECT:
EHA BAKER HEIGHTS
 EVERETT HOUSING AUTHORITY

PROJECT ADDRESS:
 BUILDING A: 2710 14th STREET
 BUILDING B: 2715 15th STREET
 BUILDING C: 2815 15th STREET
 BUILDING D: 2810 14th STREET
 EVERETT, WA 98201

OWNER:
 EVERETT HOUSING AUTHORITY
 3107 COLBY AVENUE
 EVERETT, WASHINGTON 98201

MARK	DATE	DESCRIPTION
REVISIONS		

C	06/22/2020	BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL
B	04/10/2020	DESIGN DEVELOPMENT
A	01/07/2020	SCHEMATIC DESIGN

PROJECT NO.: **2017033**
 GGLO PRINCIPAL IN CHARGE: Jon Hall
 GGLO PROJECT MANAGER: Scott Schreffler
 OWNER APPROVAL:

SHEET TITLE
BUILDING C - STAIRS - PLANS AND SECTIONS

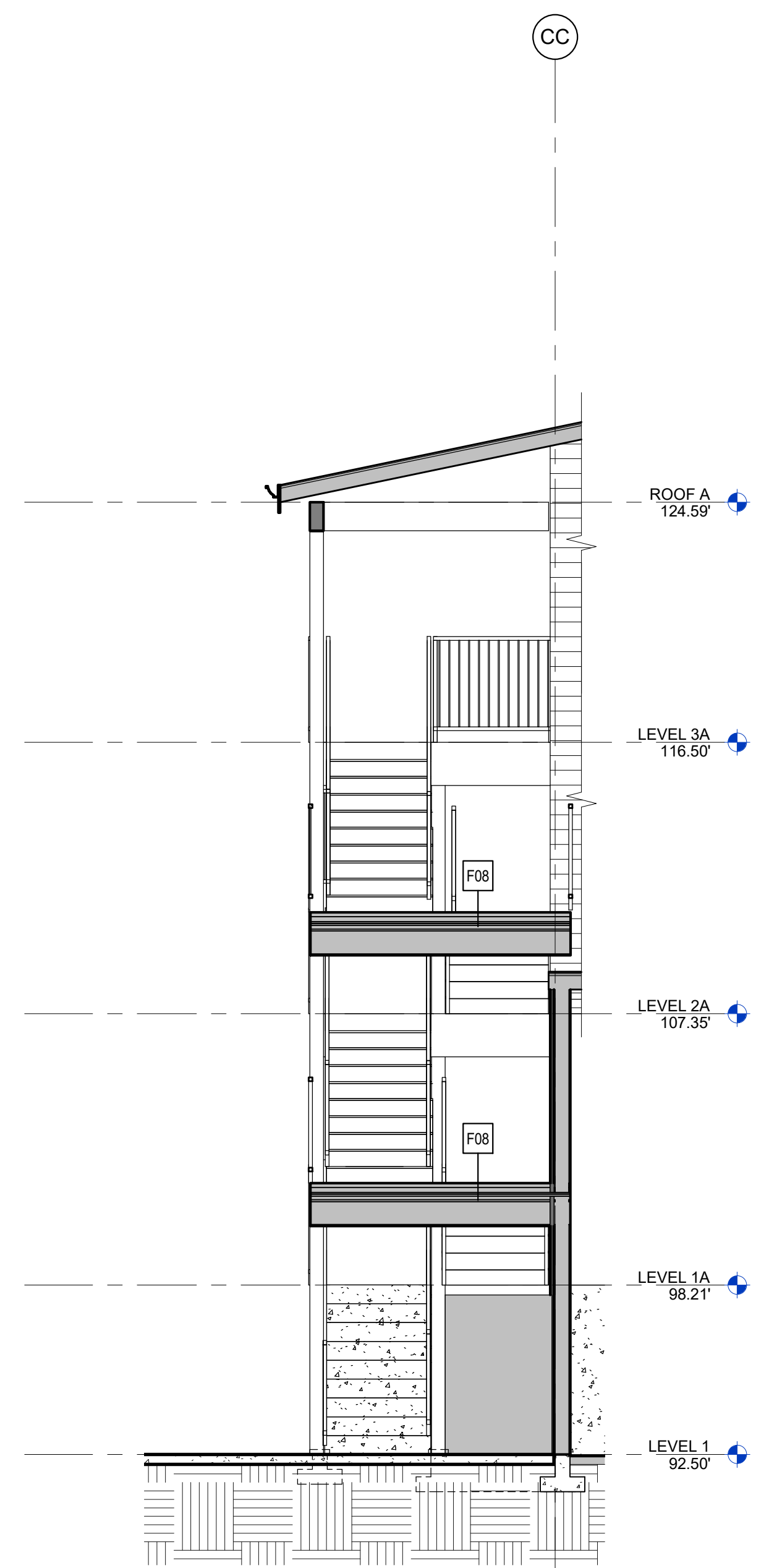
SHEET NO.
AC-400

D

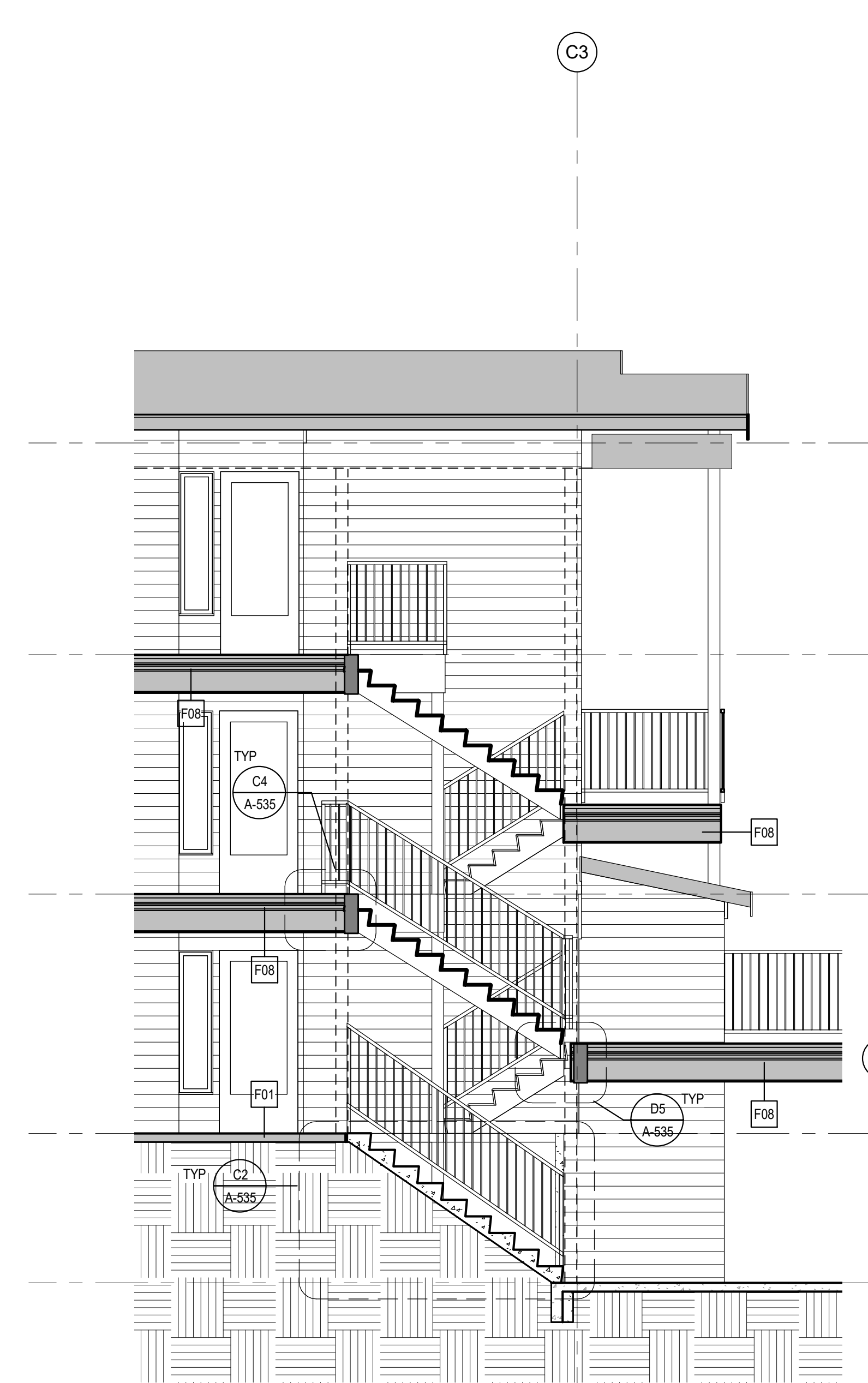
C

B

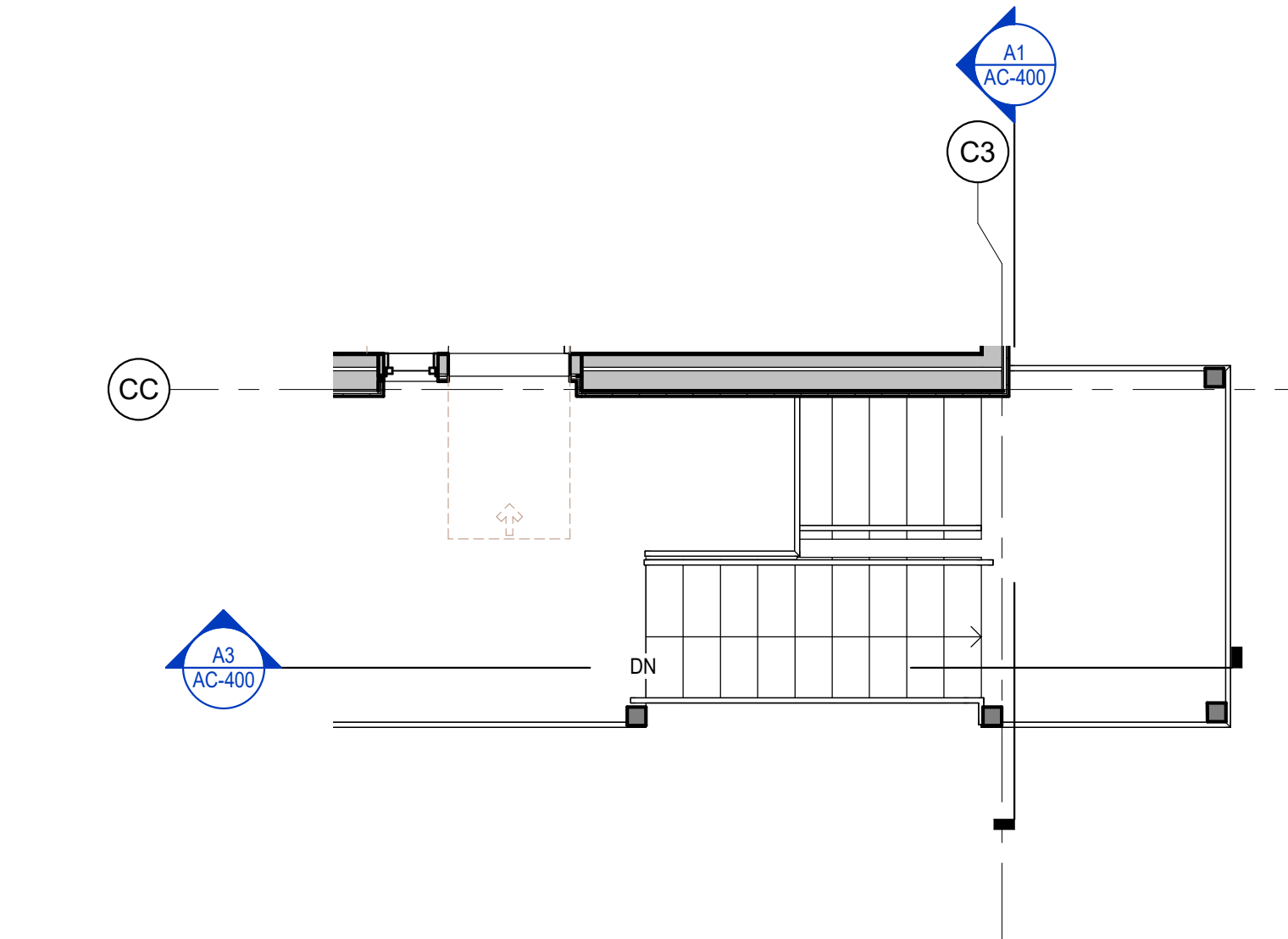
A



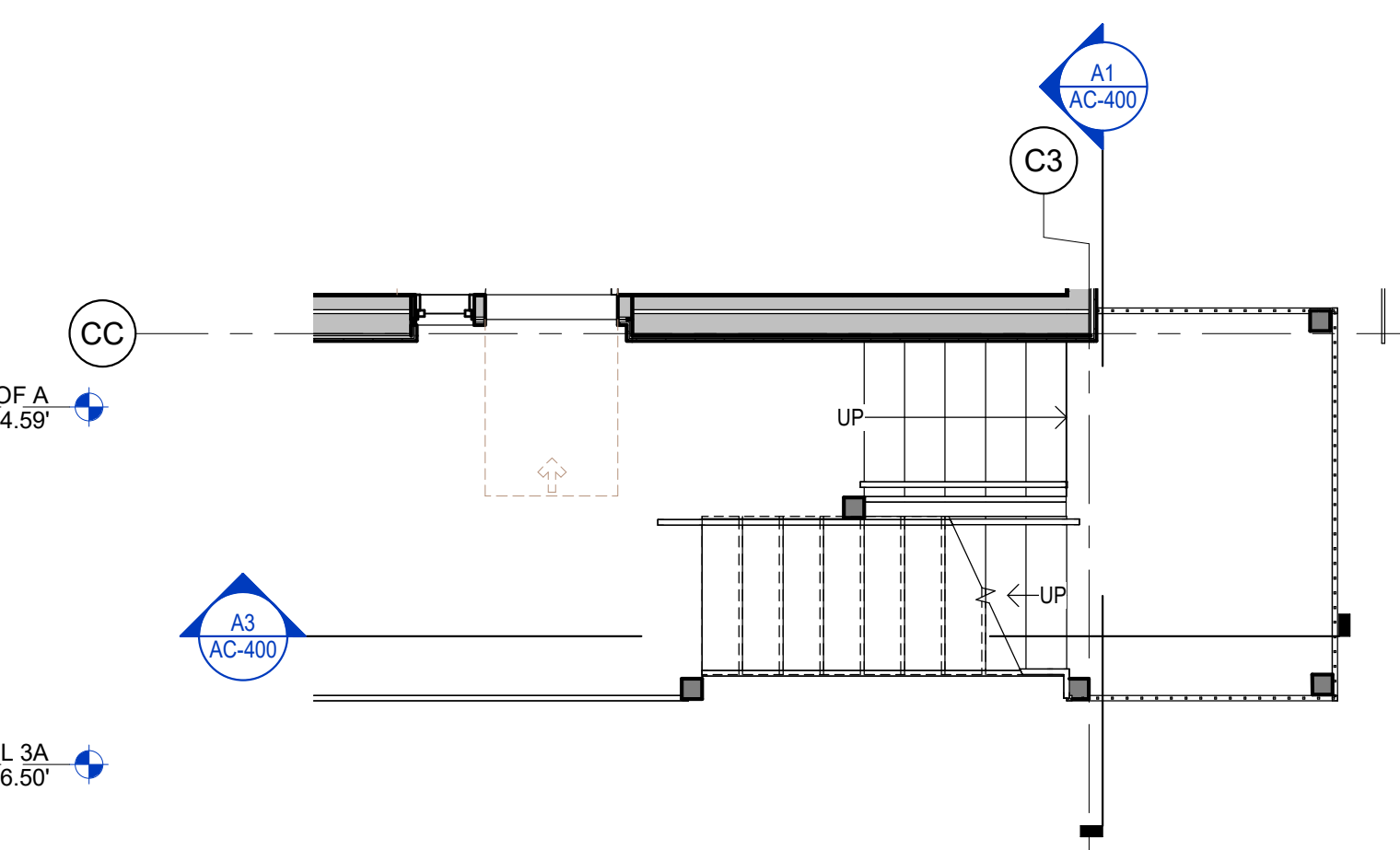
A1 BUILDING C - NORTH STAIR N/S SECTION
 1/4" = 1'-0"



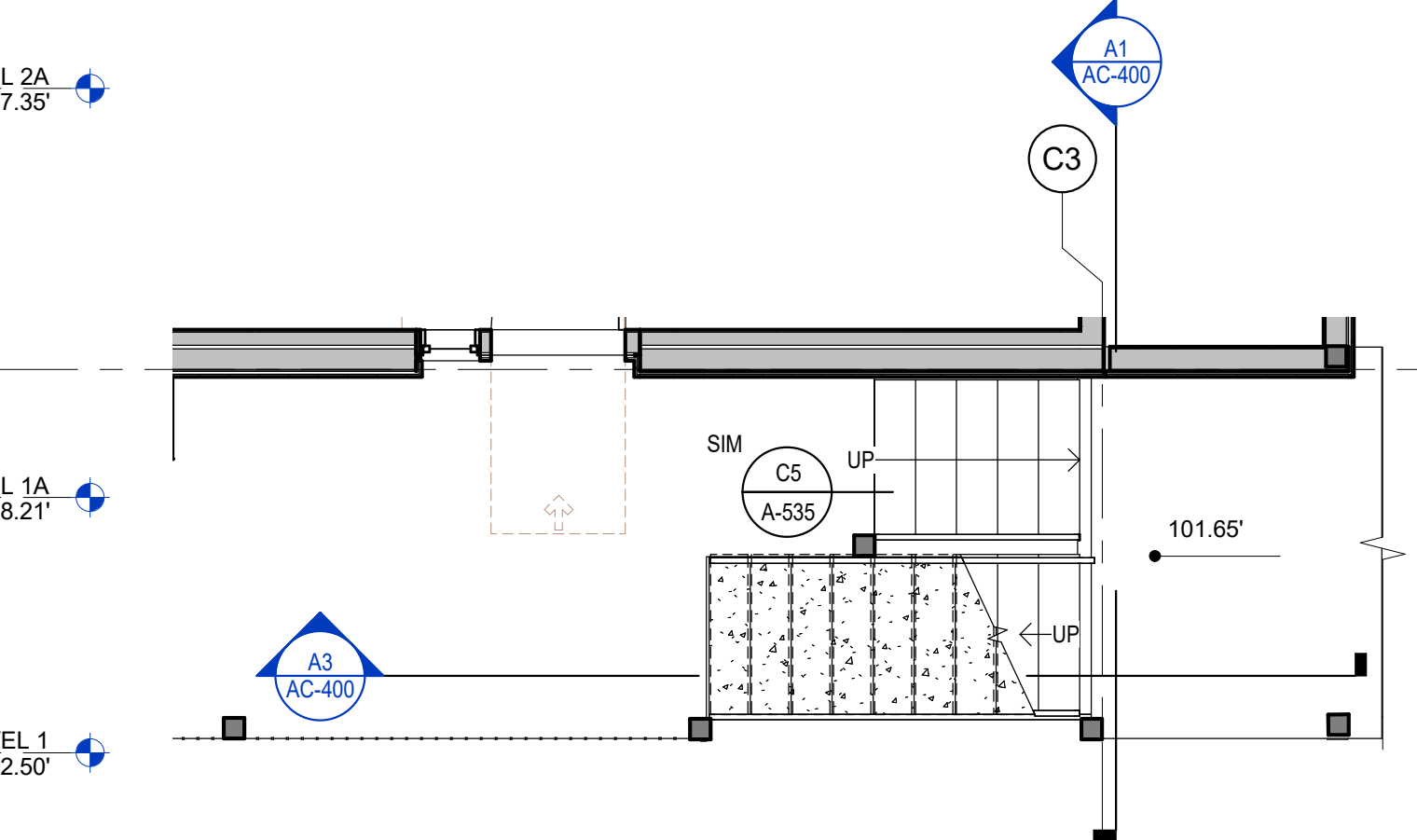
A3 BUILDING C - NORTH STAIR E/W SECTION
 1/4" = 1'-0"



C4 BUILDING C - LEVEL 3 NORTH STAIR
 1/4" = 1'-0"



B4 BUILDING C - LEVEL 2 NORTH STAIR
 1/4" = 1'-0"



A4 BUILDING C - LEVEL 1 NORTH STAIR
 1/4" = 1'-0"

BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

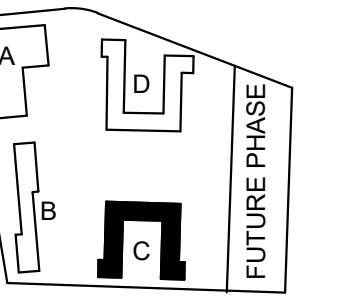
GENERAL STAIR NOTES

1. MIN HEADROOM CLEARANCE IN STAIRS - 80" MEASURED VERTICALLY FROM THE STAIR NOSING.
2. HANDRAIL HEIGHT - 34"-38", MEASURED VERTICALLY FROM THE NOSING.
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5. TREADS AND RISERS IN MEANS OF EGRESS - TREADS 11" MIN AND RISERS 7" MAX
6. PROVIDE SIGN AT EACH LANDING OF EACH INTERIOR EXIT STAIRWAY PER IBC 1023.8 AS SHOWN IN DETAIL - / ---

GGLO DESIGN

1301 First Avenue, Suite 301
Seattle, WA 98101

<http://www.gglo.com>



PROJECT:
EHA BAKER HEIGHTS



PROJECT ADDRESS:
BUILDING A: 2710 14th STREET
BUILDING B: 2715 15th STREET
BUILDING C: 2815 15th STREET
BUILDING D: 2810 14th STREET
EVERETT, WA 98201

OWNER:
EVERETT HOUSING AUTHORITY
3107 COLBY AVENUE
EVERETT, WASHINGTON 98201

MARK	DATE	DESCRIPTION
REVISIONS		

C 06/22/2020 BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

B 04/10/2020 DESIGN DEVELOPMENT

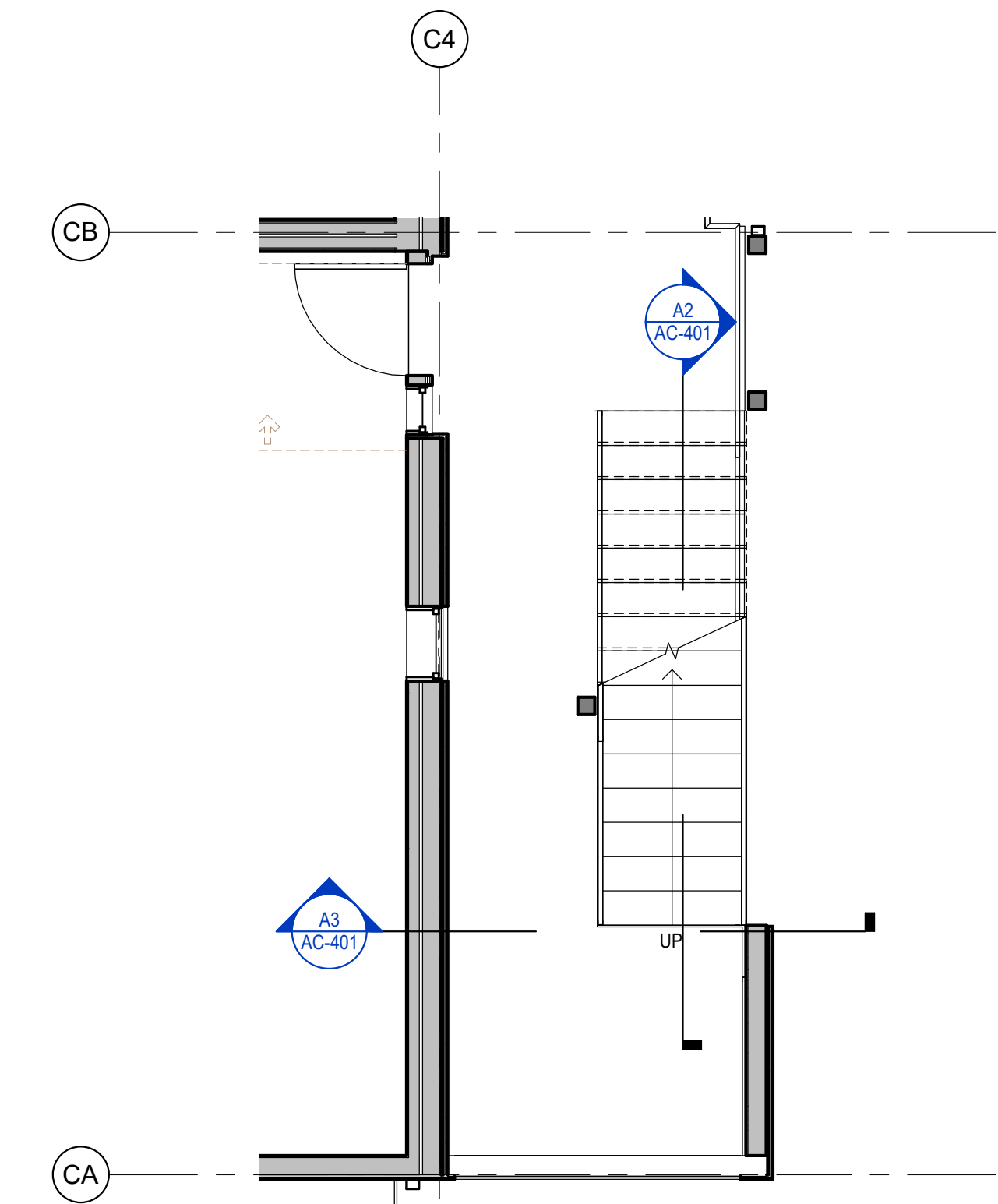
A 01/07/2020 SCHEMATIC DESIGN

MARK	DATE	DESCRIPTION
ISSUE INFORMATION		

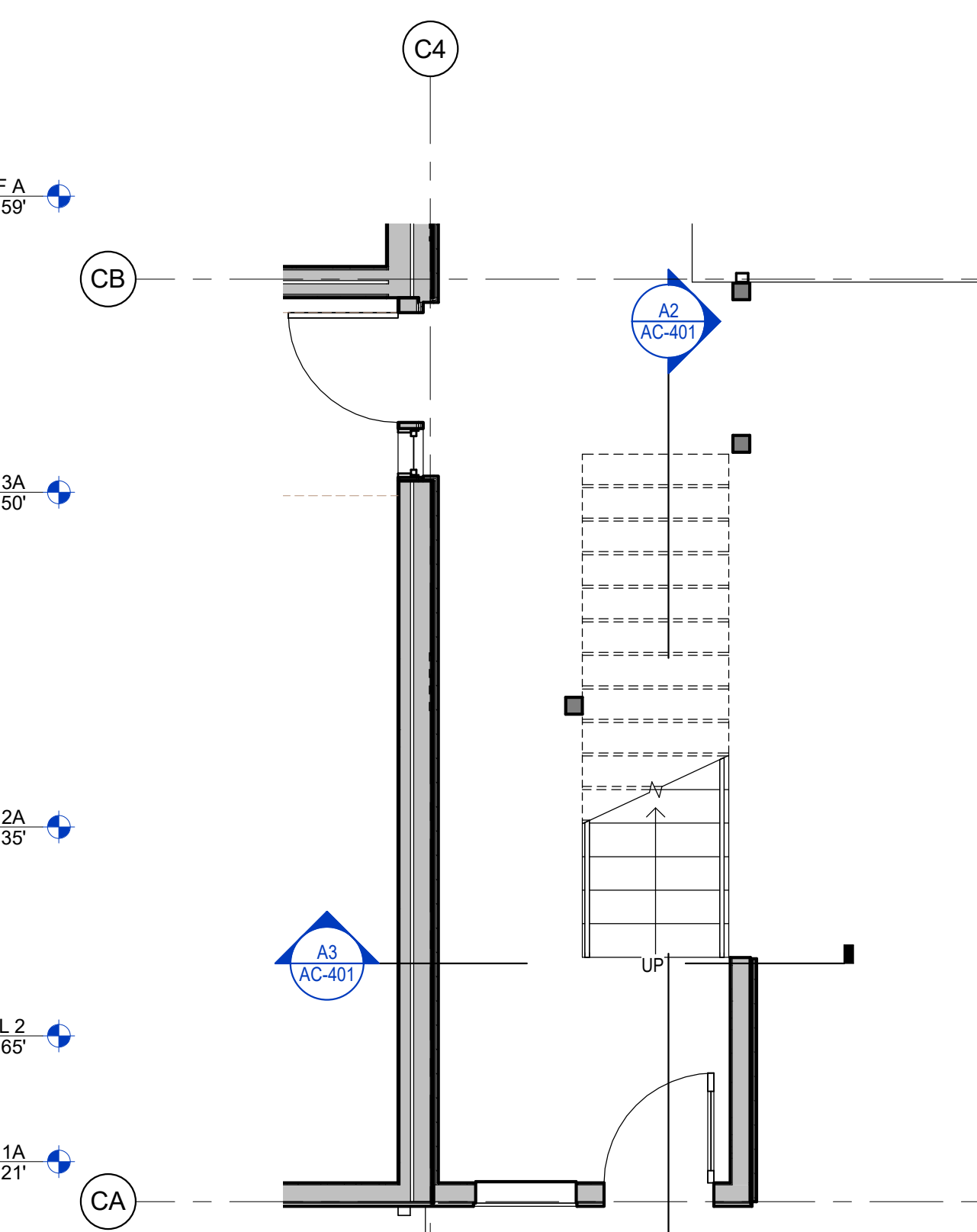
PROJECT NO.: **2017033**
 GGLO PRINCIPAL IN CHARGE: **Jon Hall**
 GGLO PROJECT MANAGER: **Scott Schreffler**
 OWNER APPROVAL:

SHEET TITLE
BUILDING C - STAIRS - PLANS AND SECTIONS

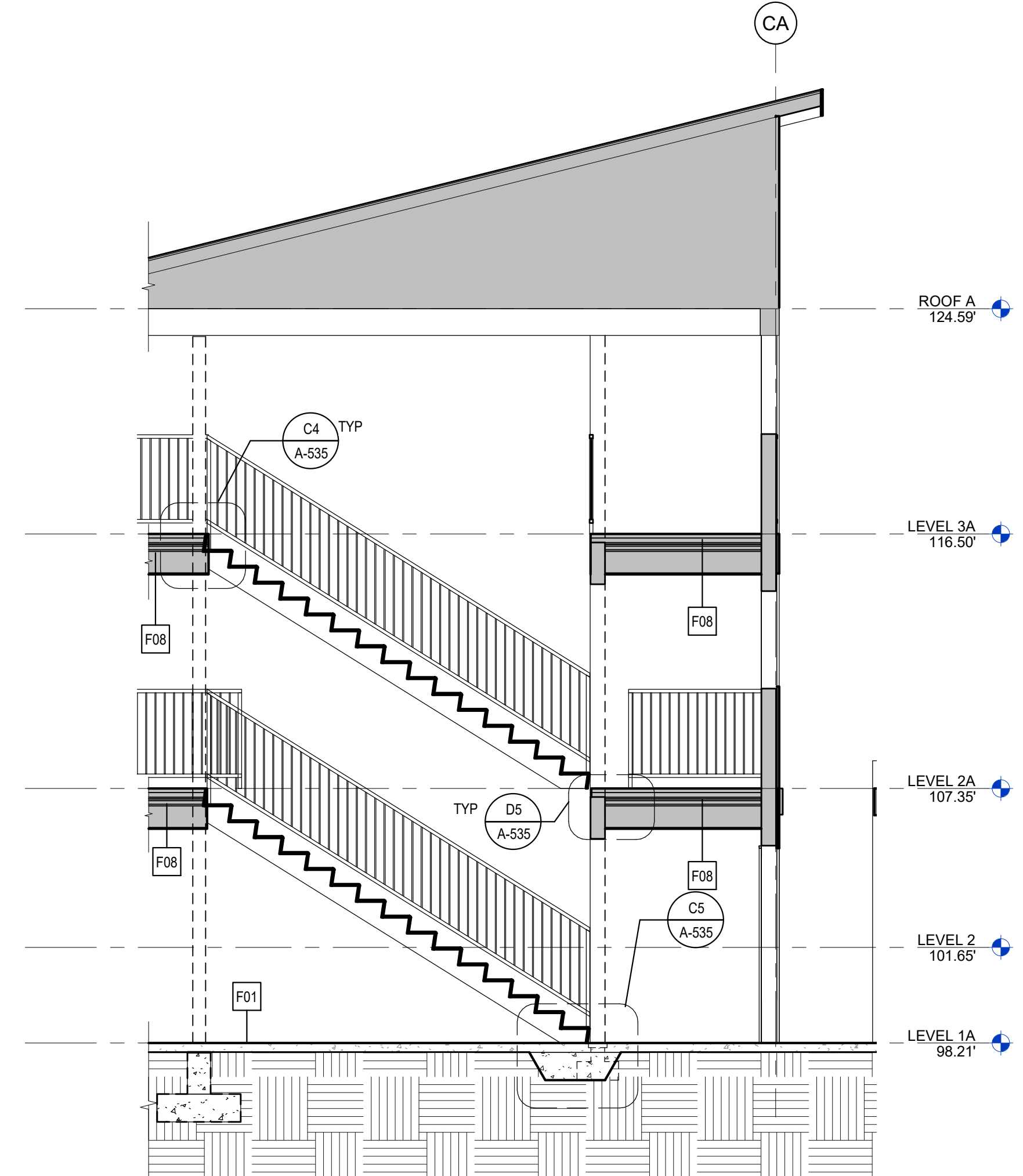
SHEET NO.
AC-401



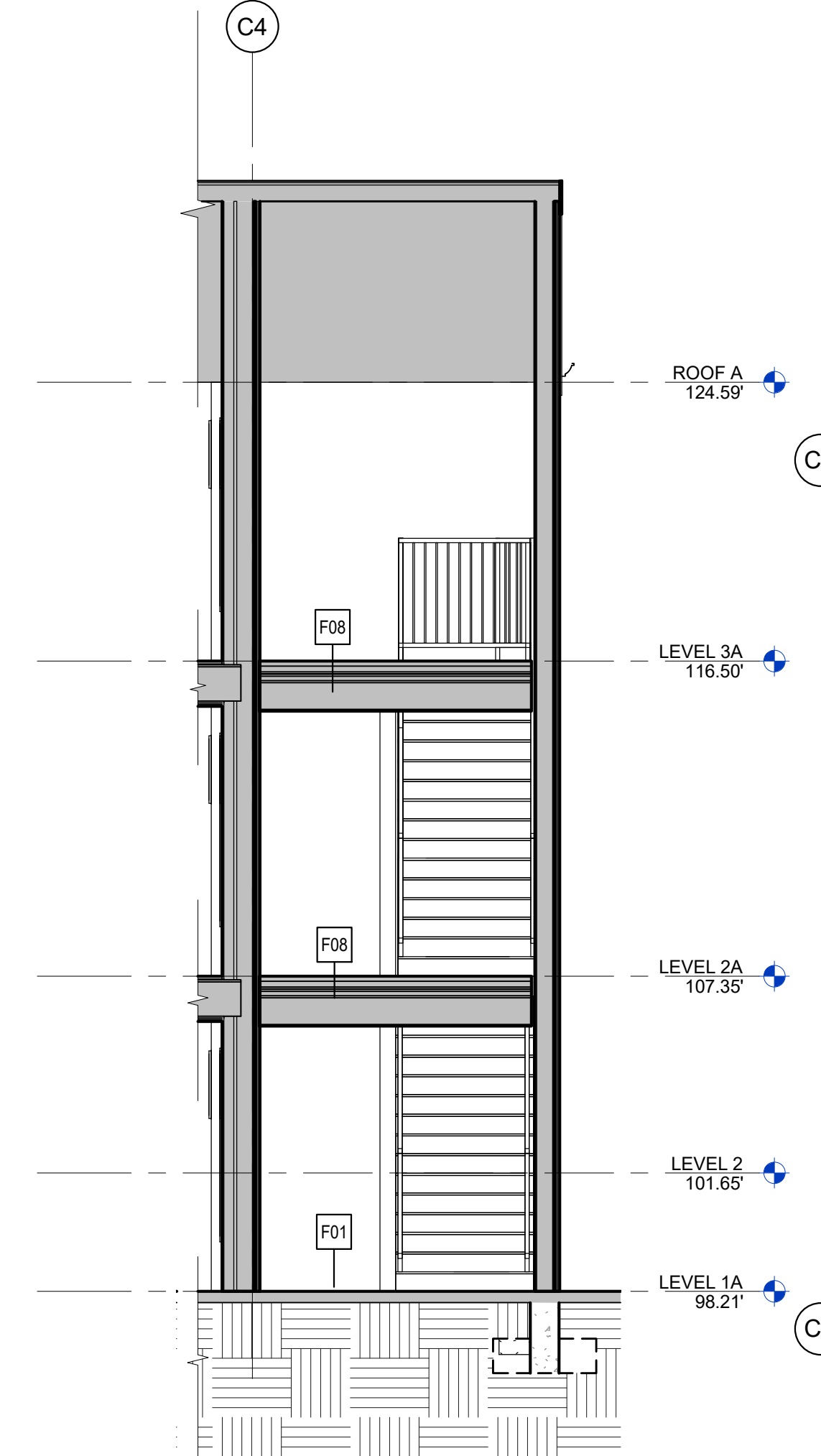
B4 BUILDING C - LEVEL 2 - 3 SOUTH STAIR 1
 1/4" = 1'-0"



A4 BUILDING C - LEVEL 1 SOUTH STAIR 1
 1/4" = 1'-0"



A2 BUILDING C - SOUTH STAIR 1 - N/S SECTION
 1/4" = 1'-0"



A3 BUILDING C - SOUTH STAIR 1 - E/W SECTION
 1/4" = 1'-0"

BUILDING PERMIT SUBMITTAL / HUD SUBMITTAL

