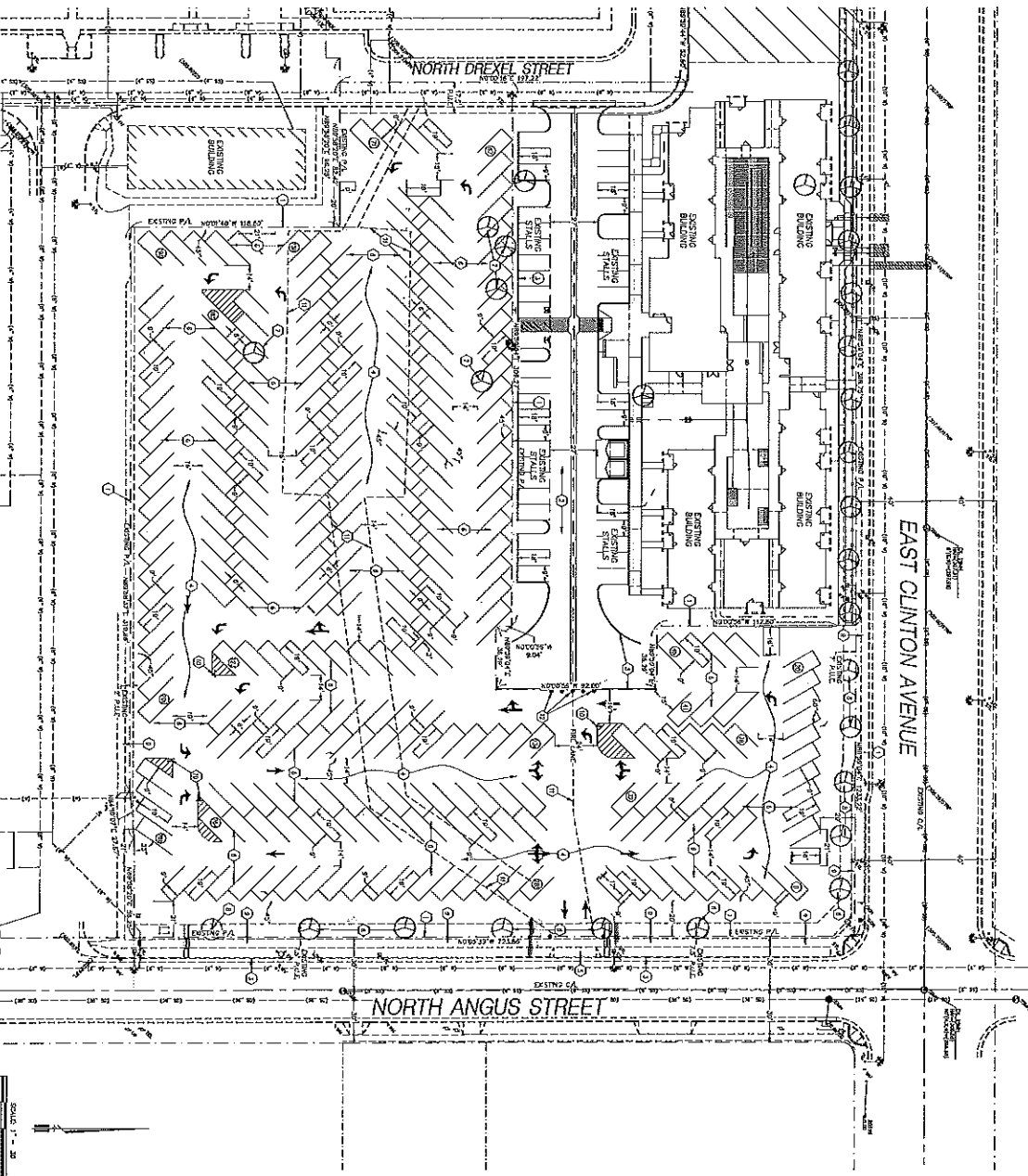



[illegible]

FRENO, CA 93703  
 204145  
 414-41  
 PLANNED LAND USE RESIDENTIAL MEDIUM DENSITY

EXISTING BUILDING AREA:	0 S.F.
PROPOSED BUILDING AREA:	0 S.F.
BUILDING COVERAGE:	0 S.F.
PAVED AREA:	11,807 S.F.
LANDSCAPE AREA:	0 S.F.

PROVIDER	2
STANDARD (Part)	4
COMPACT	2
TOTAL	8
REQUIRE	
MANICAP PLANNING	2
PROVIDER	2
REORDERED	2
MOBILE PLANNING	2
PROVIDER	2
REORDERED	2



PROJECT TITLE	VA HOSPITAL - TEMPORARY PARKING LOT CLINTON AVENUE - APN: 446-020-42T	 <b>Yamabe &amp; Horn</b> <b>CIVIL ENGINEERS • LAND SURVEYORS</b> <small>2045 PL. BUREL AVENUE SUITE 101 PASADENA CA 91327 TEL: (951) 242-1444 FAX: (951) 242-1445</small>
SHEET DESCRIPTION	DEVELOPMENT PERMIT SUBMITTAL PROPOSED SITE PLAN	



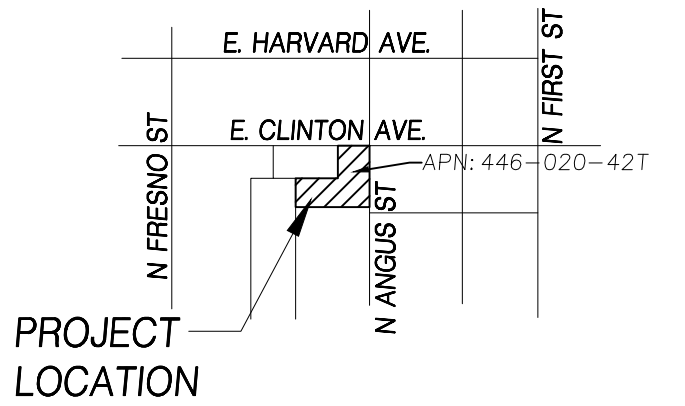
SITE PLAN KEY NOTES:

- APPROVAL OF THIS SPECIAL PERMIT MAY BECOME NULL AND VOID IN THE EVENT THAT DEVELOPMENT IS NOT COMPLETED IN ACCORDANCE WITH ALL THE CONDITIONS AND REQUIREMENTS IMPOSED ON THIS SPECIAL PERMIT, THE ZONING ORDINANCE, AND ALL PUBLIC WORKS STANDARDS AND SPECIFICATIONS. THIS SPECIAL PERMIT IS GRANTED, AND THE CONDITIONS IMPOSED, BASED UPON THE OPERATION STATEMENT PROVIDED BY THE APPLICANT. THE OPERATION STATEMENT IS MATERIAL TO THE ISSUANCE OF THIS SPECIAL PERMIT, UNLESS THE CONDITIONS OF APPROVAL SPECIFICALLY REQUIRE OPERATION INCONSISTENT WITH THE OPERATION STATEMENT, A NEW OR REVISED SPECIAL PERMIT IS REQUIRED IF THE OPERATION OF THIS ESTABLISHMENT CHANGES OR BECOMES INCONSISTENT WITH THE OPERATION STATEMENT. FAILURE TO OPERATE IN ACCORDANCE WITH THE CONDITIONS AND REQUIREMENTS IMPOSED MAY RESULT IN REVOCATION OF THE SPECIAL PERMIT OR ANY OTHER ENFORCEMENT REMEDY AVAILABLE UNDER THE LAW. THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT SHALL NOT ASSUME RESPONSIBILITY FOR ANY DELETIONS OR OMISSIONS RESULTING FROM THE SPECIAL PERMIT REVIEW PROCESS OR FOR ADDITIONS OR ALTERATIONS TO CONSTRUCTION PLANS NOT SPECIFICALLY SUBMITTED AND REVIEWED AND APPROVED PURSUANT TO THIS SPECIAL PERMIT OR SUBSEQUENT AMENDMENTS OR REVISIONS.
- NO USES OF LAND, BUILDINGS, OR STRUCTURES OTHER THAN THOSE SPECIFICALLY APPROVED PURSUANT TO THIS SITE PLAN SHALL BE PERMITTED.
- DEVELOPMENT SHALL TAKE PLACE IN ACCORDANCE WITH THE STANDARDS, SPECIFICATIONS, AND STANDARD DRAWINGS OF THE CITY OF FRESNO PUBLIC WORKS DEPARTMENT, [HTTP://WWW.FRESNO.GOV/GOVERNMENT/DEPARTMENTS/DIRECTORY/PUBLICWORKS/DEVELOPMENTDOORWAYTECHNICAL-LIBRARY/STANDARDS/SPECIFICATIONSANDDRAWINGS.HTM](http://www.fresno.gov/government/departmentsdirectory/publicworks/developmentdoorwaytechnical-library/standards/specificationsanddrawings.htm)
- DEVELOPMENT SHALL TAKE PLACE IN ACCORDANCE WITH ALL CITY, COUNTY, STATE AND FEDERAL LAWS AND REGULATIONS.
- OWNERS AND PERSONS HAVING OWNERSHIP INTEREST IN BUSINESSES OPERATING IN THE CITY OF FRESNO (INCLUDING LEASING OUT ANY COMMERCIAL OR INDUSTRIAL PROPERTY, OR RENTING OUT FOUR OR MORE DWELLING UNITS) ARE REQUIRED BY THE FRESNO MUNICIPAL CODE TO OBTAIN A BUSINESS TAX CERTIFICATE. CONTACT THE CITY OF FRESNO FINANCE DEPARTMENT'S BUSINESS TAX DIVISION AT (559) 621-6880 FOR MORE INFORMATION. INFORMATION AND AN APPLICATION FORM IS AVAILABLE AT THE FOLLOWING WEBSITE: [HTTP://WWW.FRESNO.GOV/GOVERNMENT/DEPARTMENTS/DIRECTORY/FINANCE/BUSINESSLICENSEANDTAX/BUSINESSSTAXAPPLICATION.HTM](http://www.fresno.gov/government/departmentsdirectory/finance/businesslicenseandtax/businessstaxapplication.htm)
- ALL PROPOSED BUILDING(S) OR STRUCTURE(S) CONSTRUCTED ON THE PROPERTY MUST COMPLY WITH THE PREVAILING CALIFORNIA BUILDING CODE STANDARDS.
- ANY BUILDING MODIFICATIONS AND/OR ADDITIONS NOT INCLUDED WITH THIS APPLICATION ARE NOT APPROVED WITH THIS SPECIAL PERMIT AND WOULD BE SUBJECT TO A NEW SPECIAL PERMIT. CITY OF FRESNO NOTES AND REQUIREMENTS FOR ENTITLEMENT APPLICATIONS PAGE 2 OF 9
- FOR PROJECTS INITIATED IN RESPONSE TO CODE ENFORCEMENT ACTION, THE EXERCISE OF RIGHTS GRANTED BY THIS SPECIAL PERMIT MUST BE COMMENCED BY SIX MONTHS. COMPLETION OF THE PROJECT, INCLUDING IMPROVEMENTS, SHALL OCCUR BY 12 MONTHS.
- TEMPORARY FENCES TO SECURE PROJECTS UNDER CONSTRUCTION ARE ALLOWED. ANY TEMPORARY FENCE SHALL BE ADEQUATELY SECURED AND CONSTRUCTED TO PREVENT OVERTURNING DUE TO WIND, VANDALISM, AND/OR CASUAL CONTACT BY THE GENERAL PUBLIC. THE CONSTRUCTION SHALL BE PERFORMED IN SUCH A MANNER AS TO MINIMIZE ANY POTENTIAL SAFETY HAZARD, WHICH MAY OCCUR AS A RESULT OF IMPROPER FENCE INSTALLATION OR DAMAGE TO THE FENCE.
- FUTURE FENCES SHALL BE REVIEWED AND APPROVED BY THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT PRIOR TO INSTALLATION.
- NO STRUCTURES OF ANY KIND (INCLUDING SIGNS AND/OR FENCES) MAY BE INSTALLED OR MAINTAINED WITHIN THE REQUIRED-LANDSCAPED AREAS. NO EXPOSED UTILITY BOXES, TRANSFORMERS, METEORIC PIPING (EXCEPTING THE BACKFLOW PREVENTION DEVICE), ETC., ARE ALLOWED TO BE LOCATED IN THE LANDSCAPE AREAS OR SETBACKS OR ON THE STREET FRONTS OF THE BUILDINGS. ALL TRANSFORMERS, ETC., SHALL BE SHOWN ON THE SITE PLAN. THE BACKFLOW DEVICE SHALL BE SCREENED BY LANDSCAPING OR SUCH OTHER MEANS AS MAY BE APPROVED.
- PROVIDE SHADE CALCULATIONS ON THE LANDSCAPE PLAN FOR PARKING LOT SHADING IN ACCORDANCE WITH THE ATTACHED DEVELOPMENT DEPARTMENT, PERFORMANCE STANDARDS FOR PARKING LOT SHADING INCLUDING TREE SPECIES AND TREE COUNTS.
- DISPERSE TREES OVER THE PARKING LOT AREA TO PROVIDE 50 PERCENT SHADING OF THE PARKING AREA SURFACE WITHIN 15 YEARS. (THIS REQUIREMENT MAY BE REDUCED TO 40 PERCENT FOR EXISTING DEVELOPMENT IF IT IS DEMONSTRATED THAT THE CONSTRAINTS OF AN EXISTING SITE WOULD MAKE IT IMPOSSIBLE TO MEET THE NORMAL STANDARDS.) TREES SHALL ALSO BE PLANTED IN THE REQUIRED LANDSCAPED AREA ALONG THE PERIPHERY OF THE DEVELOPMENT IN ORDER TO SHADE AND ENHANCE ADJACENT PROPERTY AND PUBLIC RIGHTS-OF-WAY. REFER TO THE ATTACHED PERFORMANCE STANDARDS FOR PARKING LOT SHADING FOR THE TREE LIST AND FURTHER DETAILS.
- TREES SHALL BE MAINTAINED IN GOOD HEALTH. HOWEVER, TREES MAY NOT BE TRIMMED OR PRUNED TO REDUCE THE NATURAL HEIGHT OR OVERALL CROWN OF THE TREE, EXCEPT AS NECESSARY FOR THE HEALTH OF THE TREE AND PUBLIC SAFETY, OR AS MAY OTHERWISE BE APPROVED BY THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT.
- LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. A HOLD ON OCCUPANCY SHALL BE PLACED ON THE PROPOSED DEVELOPMENT UNTIL SUCH TIME THAT LANDSCAPING HAS BEEN APPROVED AND VERIFIED FOR PROPER INSTALLATION BY THE DEVELOPMENT SERVICES DIVISION (INCLUDE THIS NOTE ON THE SITE AND LANDSCAPE PLANS.) CITY OF FRESNO NOTES AND REQUIREMENTS FOR ENTITLEMENT APPLICATIONS PAGE 3 OF 9
- PRIOR TO FINAL INSPECTION, A WRITTEN CERTIFICATION, SIGNED BY A LANDSCAPE PROFESSIONAL APPROVED BY THE DIRECTOR, SHALL BE SUBMITTED STATING THAT THE REQUIRED LANDSCAPING AND IRRIGATION SYSTEM WAS INSTALLED IN ACCORDANCE WITH THE LANDSCAPING AND IRRIGATION PLANS APPROVED BY THE DEVELOPMENT SERVICES DIVISION, DEVELOPMENT DEPARTMENT.
- FUTURE TENANT IMPROVEMENTS SHALL BE REVIEWED AND APPROVED BY THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT TO ENSURE THAT ADEQUATE OFF-STREET PARKING IS PROVIDED.
- THE PARKING LOT DESIGN MUST ACCOMMODATE THE PROVISION OF TREES IN ACCORDANCE WITH THE ATTACHED PARKING LOT SHADING POLICY.
- A MINIMUM NUMBER OF ACCESSIBLE PARKING STALLS ARE REQUIRED FOR THE PROPOSED PROJECT PER STATE OF CALIFORNIA BUILDING CODE, DEVELOPMENT REQUIREMENTS FOR HANDICAPPED ACCESSIBILITY.
- ALL ACCESSIBLE STALLS SHALL BE MARKED WITH THE INTERNATIONAL SYMBOL OF SPACES AND A WARNING THAT VEHICLES IN VIOLATION OF SECTION 10-1017 OF THE MUNICIPAL CODE SHALL BE TOWED AWAY. THE INTERNATIONAL SYMBOL AND TOW-AWAY WARNING SHALL BE POSTED CONSPICUOUSLY ON SEVEN-FOOT POLES. (INCLUDE THIS NOTE ON THE SITE PLAN.)
- ALL ACCESSIBLE PARKING STALLS SHALL BE PLACED ADJACENT TO FACILITY ACCESS RAMPS OR IN STRATEGIC AREAS WHERE THE HANDICAPPED SHALL NOT HAVE TO WHEEL OR WALK BEHIND PARKED VEHICLES WHILE TRAVELING TO OR FROM ACCESSIBLE PARKING STALLS AND RAMPS. (INCLUDE THIS NOTE ON THE SITE PLAN.)
- LIGHTING WHERE PROVIDED TO ILLUMINATE PARKING, SALES OR DISPLAY AREAS SHALL BE HOODED AND SO ARRANGED AND CONTROLLED SO AS NOT TO CAUSE A NUISANCE EITHER TO HIGHWAY TRAFFIC OR TO THE LIVING ENVIRONMENT. THE AMOUNT OF LIGHT SHALL BE PROVIDED ACCORDING TO THE STANDARDS OF THE DEPARTMENT OF PUBLIC WORKS. DEPICT ALL PROPOSED LIGHTS ON THE SITE PLAN.
- BICYCLE PARKING SPACES SHALL BE SUPPLIED AT A RATE OF 10% OF THE AUTOMOBILE SPACES PROVIDED PURSUANT TO SECTION 12-306-I-2.1C OF THE FRESNO MUNICIPAL CODE (FMC). BICYCLE PARKING SPACES SHALL EACH CONSIST OF ONE SLOT IN A BIKE RACK. THEY SHALL BE GROUPED IN RACKS WHICH ALLOW FOUR FEET OF CLEARANCE ON ALL SIDES. THERE SHALL BE ADEQUATE SPACE BETWEEN RACK SLOTS TO PARK, LOCK, AND REMOVE BICYCLES. BICYCLE PARKING SPACES AND THE REQUIRED FOUR-FOOT CLEARANCE SHALL BE PROTECTED FROM MOTOR VEHICLE ENCRoACHMENT BY MEANS OF FIXED BARRIERS NOT LESS THAN SIX INCHES OR MORE THAN THREE IN HEIGHT. BICYCLE PARKING SPACES SHALL NOT ENCRoACH INTO PEDESTRIAN WAYS, LANDSCAPED AREAS, OR OTHER REQUIRED OPEN SPACES, AND SHALL BE LOCATED PROXIMAL TO STRUCTURES.
- ALL GENERAL PROVISIONS OF SECTION 12-306-I OF THE FMC SHALL APPLY TO ALL PARKING AREAS. [HTTP://LIBRARY.MUNICODE.COM/HTML/14478/LEVELS/MUCOFR\\_CH12LAUSPLZ0\\_ART3GECOMP20.HTML#MUCOFR\\_CH12LAUSPLZ0\\_ART3GECOMP20\\_S12-306PRODEST](http://library.municode.com/html/14478/levels/mucofr_ch12lausplz0_art3gecomp20.html#mucofr_ch12lausplz0_art3gecomp20_s12-306prodest) CITY OF FRESNO NOTES AND REQUIREMENTS FOR ENTITLEMENT APPLICATIONS

SITE PLAN KEY NOTES:

- EXISTING PROPERTY LINE.
- EXISTING ASPHALT PAVEMENT
- EXISTING 6" CURB OR CURB AND GUTTER PER CITY STD. P-5 TO REMAIN.
- PROPOSED PARKING PAVEMENT PER CITY STD. P-21, P-22, & P-23
- EXISTING DRIVE APPROACH PER CITY STD. P-2 & P-6
- PROPOSED PARKING STALLS (TYP.)
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN
- EXISTING SIDEWALK TO REMAIN
- PROPOSED PARKING SIGNAGE
- EXISTING GRAVEL ROAD & PARKING LOT TO BE REMOVED
- EXISTING BOLLARDS AND CURB TO BE REMOVED FOR PROPOSED FIRE LANE

VICINITY MAP:



PROPERTY INFORMATION

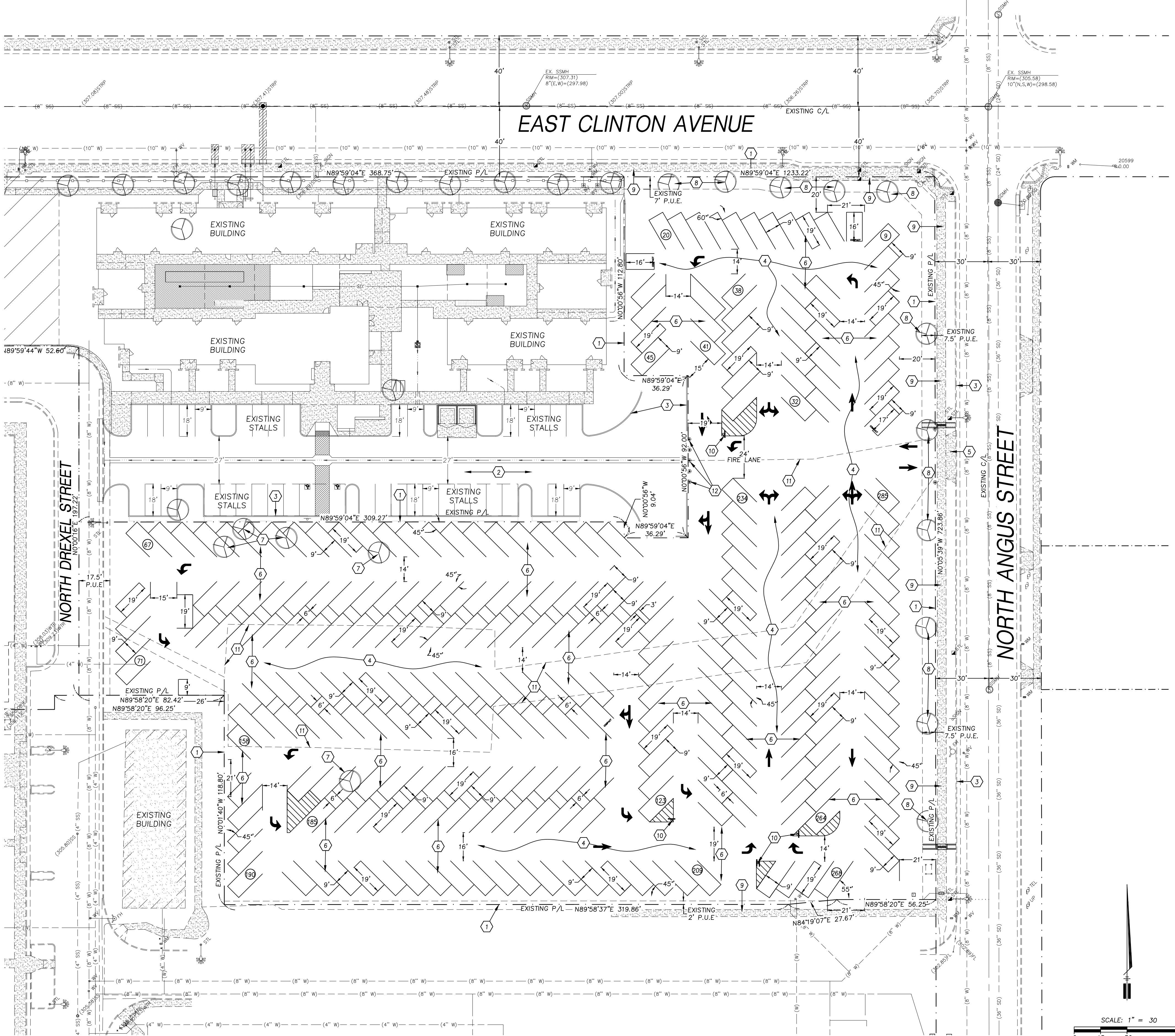
ADDRESS: 2243 N ANGUS ST  
FRESNO, CA 937033  
ZONING: RM-1  
PLANNED LAND USE: RESIDENTIAL MEDIUM HIGH

SITE PLAN INFORMATION

PROJECT SITE AREA: 2.75 AC.  
EXISTING BUILDING AREA: 0 S.F.  
PROPOSED BUILDING AREA: 0 S.F.  
BUILDING COVERAGE: 0 S.F.  
PAVED AREA: 119,807 S.F.  
LANDSCAPE AREA: 0 S.F.

PARKING LOT INFORMATION

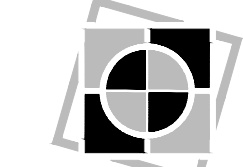
PARKING SPACES  
PROVIDED:  
STANDARD (9x19): 281  
COMPACT : 4  
TOTAL  
REQUIRED:  
HANDICAP PARKING-  
PROVIDED: 0  
REQUIRED: 0  
BICYCLE PARKING-  
PROVIDED: 0  
REQUIRED: 0



SCALE: 1" = 30'

Ref. & Rev.

**Yamabe & Horn**  
**Engineering, Inc.**  
CIVIL ENGINEERS • LAND SURVEYORS  
2085 N. BURL AVENUE SUITE 101 FRESNO, CA 93727  
TEL (559) 244-3723 WEB SITE YANDHENGRCOR.COM



VA HOSPITAL - TEMPORARY PARKING LOT  
CLINTON AVENUE - APN: 446-020-42T  
DEVELOPMENT PERMIT SUBMITTAL  
PROPOSED SITE PLAN

PROJECT TITLE  
SHEET DESCRIPTION

Dr. By: KR  
Ch. By: GS  
Date: 09-20-2018  
Scale: As Noted

YH Job No. 18-267

Sheet No. 1

of 1 Sheets



UNDERGROUND SERVICE ALERT



Know what's below.  
Call before you dig.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

SPECIAL NOTE:

WHERE UNDERGROUND AND SURFACE STRUCTURES ARE SHOWN ON THE PLANS, THE LOCATIONS, DEPTH AND DIMENSIONS OF STRUCTURES ARE BELIEVED TO BE REASONABLY CORRECT, BUT ARE NOT GUARANTEED. SUCH STRUCTURES ARE SHOWN FOR THE INFORMATION OF THE CONTRACTOR, BUT INFORMATION SO GIVEN IS NOT TO BE CONSTRUED AS A REPRESENTATION THAT SUCH STRUCTURES WILL, IN ALL CASES, BE FOUND WHERE SHOWN, OR THAT THEY REPRESENT ALL OF THE STRUCTURES WHICH MAY BE ENCOUNTERED.

CONTRACTOR SHALL NOTIFY "USA" (UNDERGROUND SERVICE ALERT) AT 811, TWO WORKING DAYS BEFORE COMMENCING EXCAVATION AND ALL UTILITY AUTHORITIES OR UTILITY COMPANIES HAVING POSSIBLE INTEREST IN THE WORK, OF CONTRACTOR'S INTENTION TO EXCAVATE PROXIMATE TO EXISTING FACILITIES, AND CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITIES WITHIN THE WORK AREA.

GRADING NOTES:

- CONTRACTOR SHALL OBTAIN A GRADING PERMIT AND PAY THE PLAN CHECK FEE FROM THE CITY OF FRESNO BUILDING DIVISION PRIOR TO ANY GRADING.
- ALL CONSTRUCTION SHALL BE PERFORMED IN CONFORMANCE WITH THE CITY OF FRESNO STANDARD SPECIFICATIONS AND THE APPLICABLE PORTIONS OF THE CALIFORNIA BUILDING CODE 2016 (CBC 2016).
- ANY PERSON, CONTRACTOR OR SUBCONTRACTOR PLANNING TO CONDUCT ANY EXCAVATION SHALL CONTACT USA NORTH AT 811 AT LEAST TWO (2) DAYS, BUT NO MORE THAN 14 CALENDAR DAYS, PRIOR TO COMMENCING THAT EXCAVATION.
- PERMITS FOR ALL REQUIRED WALLS SHALL BE OBTAINED PRIOR TO APPROVAL OF AS-GRADED PLANS. PERMITS FOR RETAINING WALLS SHALL BE OBTAINED WITHIN 30 DAYS OF GRADING PERMIT ISSUANCE.
- THE CONTRACTOR SHALL MAKE ADEQUATE PROVISION FOR DUST CONTROL FOR THE DURATION OF THE WORK. DUST CONTROL MEASURES SHALL BE FULLY AND ADEQUATELY CARRIED OUT ON WEEKDAYS, WEEKENDS AND HOLIDAYS, AND WHEN NECESSARY, BEFORE OR AFTER NORMAL WORKING HOURS.
- ALL SIDEWALKS SHALL MAINTAIN A MAXIMUM SLOPE OF 5% IN THE DIRECTION OF TRAVEL AND A MAXIMUM CROSS SLOPE OF 2% TO ADHERE TO ADA REQUIREMENTS.
- THE GROUND IMMEDIATELY ADJACENT TO ALL FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 2% FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE FROM THE FOUNDATION, THEN A SWALE THAT RUNS PARALLEL TO THE FOUNDATION MAY BE USED AND WILL BE REQUIRED TO BE A MINIMUM SLOPE 2% WITHIN 10 FEET OF THE BUILDING FOUNDATION. ALL OTHER SITE GRADING OUTSIDE OF THE BUILDING ENVELOPE IS REQUIRED TO BE A MINIMUM OF 0.5%. IN ADDITION, THE CITY OF FRESNO PERMITS CONCRETE CHANNELS WITH 0.2% MIN. SLOPE WITHIN 10' OF THE BUILDING ENVELOPE AS AN ALTERNATIVE TO THE 2% MIN. SLOPE REQUIREMENT WHEN LOT LINES OR PHYSICAL OBSTRUCTIONS EXIST.
- THE SITE SHALL HAVE AN OVERALL MINIMUM SLOPE OF 0.5% TO AN APPROVED DRAINAGE FACILITY.
- NO PERMANENT ON-SITE WATER RETENTION IS ALLOWED.
- NO SURFACE DRAINAGE SHALL BE PERMITTED ONTO ADJACENT PROPERTIES.
- ANY SURVEY MONUMENTS WITHIN THE AREA OF WORK SHALL BE PRESERVED OR RESET BY A REGISTERED CIVIL ENGINEER OR A LICENSED LAND SURVEYOR.
- GRADING NEXT TO ADJACENT PROPERTIES, WHERE DIFFERENCES EXCEED ONE (1) FOOT IN ELEVATION, SHALL CONFORM TO CITY STANDARD OR A RECORDED SLOPE EASEMENT FROM ADJOINING PROPERTY OWNERS AFFECTED SHALL BE PROVIDED. DIFFERENCES IN ELEVATION LESS THAN ONE (1) FOOT SHALL REQUIRE, AT A MINIMUM, A RETAINING BOARD (1"x12") MADE OF REDWOOD OR APPROVED EQUAL, TO BE USED TO RETAIN ALL SOIL ON THE PROPERTY BEING DEVELOPED OR ADJACENT TO THE DEVELOPMENT DEPENDING ON WHICH PROPERTY HAS HIGHER GRADES.
- ANY RETAINING WALL AND/OR FENCE CONSTRUCTED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE OF A MASONRY DESIGN AND CONSTRUCTION. A BUILDING PERMIT WILL BE REQUIRED FOR ANY RETAINING WALL/FENCE, BLOCK WALL OR WOOD FENCE TO BE CONSTRUCTED.
- THE GRADING CONTRACTOR SHALL REMOVE ALL ORGANIC MATTER, DEBRIS, AND OTHER DELETERIOUS MATERIAL FROM THE SITE.
- ESTIMATED EARTHWORK QUANTITIES:  
EXCAVATION 2,000 C.Y.  
ENBANKMENT 250 C.Y.  
FOR PERMIT PURPOSES ONLY

- ALL FILL TO BE COMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTION, INCLUDING UNDER SIDEWALKS, PAVEMENT AREAS, CURBS AND VALLEY GUTTERS SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION, PER ASTM-D1557-91.
- PROVIDE COMPACTION REPORTS PREPARED BY AN APPROVED TESTING AGENCY FOR ALL LOOSE FILLS, PAVEMENT SECTIONS, TRENCH BACKFILL, AND RETAINING WALL BACKFILLS.
- THE OWNER ACKNOWLEDGES THE CITY'S APPROVAL OF THIS GRADING PLAN DOES NOT EXPRESS OR IMPLY THE SITE IS FREE OF CONTAMINANTS OR HAZARDOUS MATERIALS OR THAT THE CITY IS RESPONSIBLE OR LIABLE, IN ANY WAY, FOR THE CLEANUP OF THIS SITE.
- THE CITY SHALL BE PROVIDED WITH AN "AS-GRADED" PLAN, CERTIFIED BY A REGISTERED ENGINEER PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT. A "HOLD ON OCCUPANCY" WILL BE IN EFFECT UNTIL SUCH TIME AS THIS DEVELOPMENT IS CERTIFIED "AS GRADED" BY THE ENGINEER OF RECORD.
- THIS GRADING PLAN IS FOR APPROVAL OF ON-SITE ELEVATIONS ONLY. THE ELEVATIONS SHOWN WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRE SEPARATE PUBLIC WORKS DEPARTMENT APPROVAL & PERMIT. ANY NOTES THAT APPLY TO THE PUBLIC RIGHT-OF-WAY ARE FOR REFERENCE ONLY. IF ON-SITE ELEVATIONS SHOWN DO NOT COINCIDE WITH APPROVED STREET PLANS, AN APPROVED AMENDMENT IS REQUIRED.
- REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY.
- GRADING AND FILLING WILL NOT ALTER OR DIVERT EXISTING DRAINAGE PATTERNS ON ADJACENT PROPERTY AND WILL NOT CAUSE DRAINAGE TO OCCUR TOWARD ANY EXISTING BUILDING (S). ALL SITE GRADING SHALL COMPLY WITH THE 2013 CALIFORNIA BUILDING CODE.
- ALL EXISTING OVERHEAD AND/OR ANY NEW UTILITY FACILITIES LOCATED ONSITE OR WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE UNDERGROUND UNLESS OTHERWISE APPROVED BY THE CIVIL ENGINEER IN WRITING.
- ALL REQUIRED RETAINING WALLS AND BLOCK WALLS WILL NEED TO BE FINALED BEFORE AS-GRADE CAN BE APPROVED.
- RECOMMENDATIONS AS OUTLINED IN SOILS REPORT PREPARED BY REPORT NO. XXX-XXXX, DATED SHALL BECOME REQUIREMENT FOR SITE PREPARATION, GRADING AND DEVELOPMENT.
- A SEPARATE GRADING PERMIT WILL BE REQUIRED FOR PHASED PROJECTS. IF GRADING IS NOT COMPLETED PER APPROVED GRADING PLAN, ANY BUILDINGS NOT GRANTED A "SAFE-TO-OCCUPY" WILL REQUIRE A SEPARATE SUBMITTAL AND APPROVAL.
- ALL ON-SITE UTILITY IMPROVEMENTS ARE TO BE PRIVATE.
- A POST-CONSTRUCTION ELEVATION CERTIFICATION IS REQUIRED TO BE REVIEWED AND APPROVED PRIOR TO OCCUPANCY.

SHEET INDEX:

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	GRADING PLAN
3	DETAIL SHEET

STORM DRAIN NOTES:

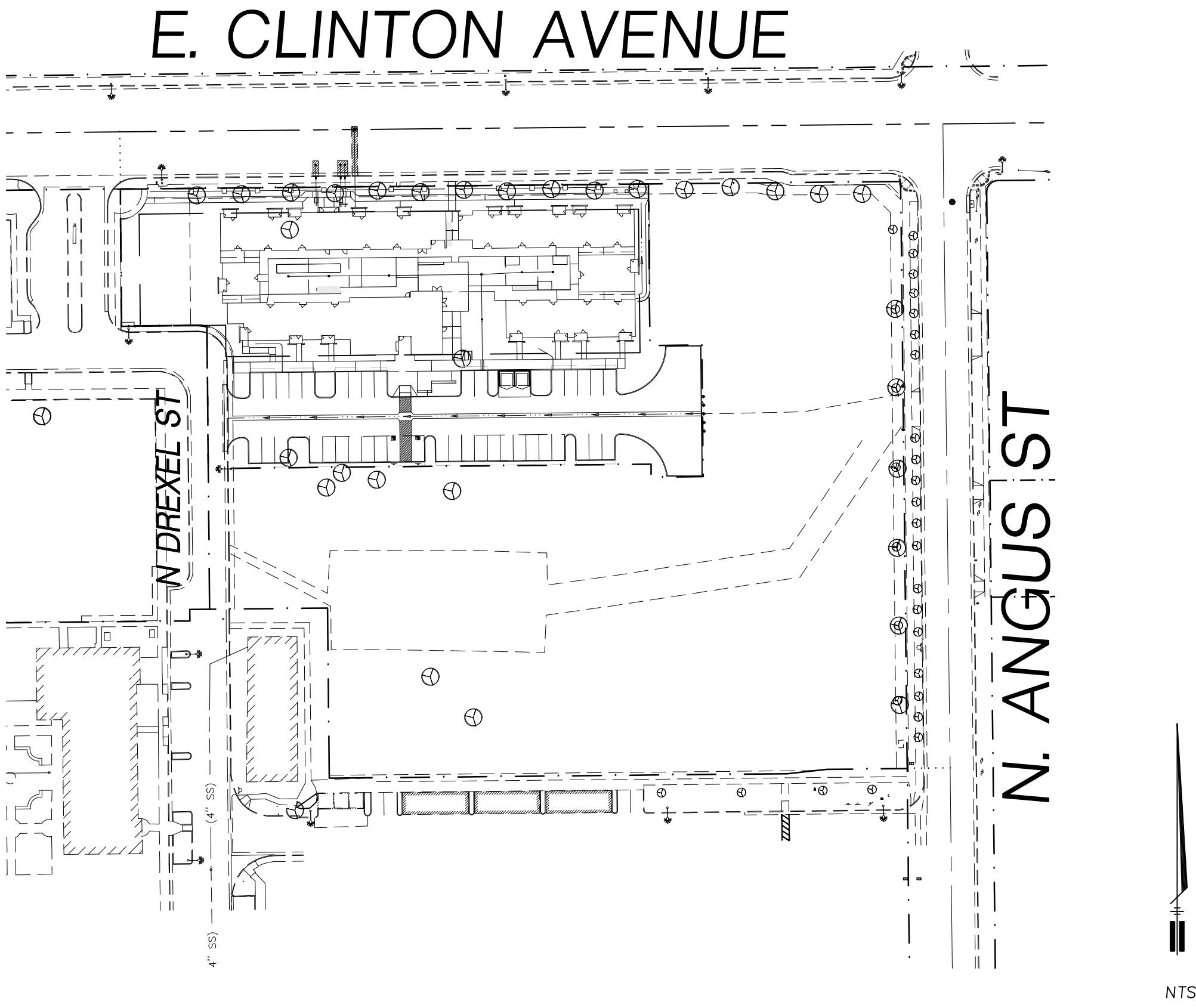
- CONTRACTOR SHALL NOTIFY FMFCD CONSTRUCTION MANAGER AT (559)456-3292 PRIOR TO CONNECTING TO ANY STORM DRAIN FACILITY.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD PLANS AND SPECIFICATIONS OF THE FRESNO METROPOLITAN FLOOD CONTROL DISTRICT, DATED APRIL 1, 2011 AND REVISIONS THERETO.

# CITY OF FRESNO

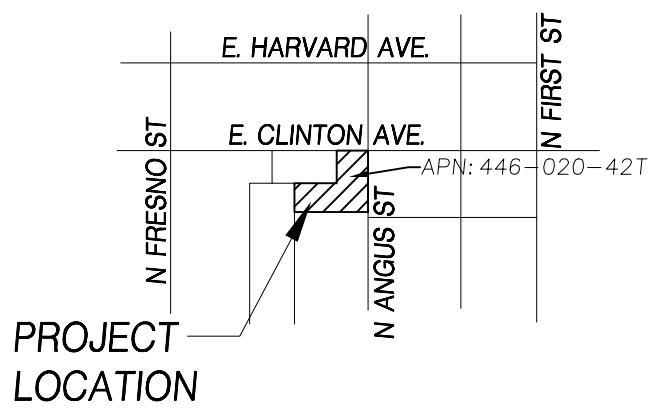
## PLANS FOR

### VETERANS PARKING LOT

#### X-XX-XXX



VICINITY MAP :



LEGEND:

---	EXISTING SECTION LINE	AP	ANGLE POINT
----	EXISTING CENTER LINE	BLDG	BUILDING
-.-.-	EXISTING PROPERTY LINE	C	CONCRETE
-.-.-.-	EXISTING RIGHT-OF-WAY LINE	CATV	CABLE TELEVISION
=====	EXISTING CURB & GUTTER	CL	CENTER LINE
=====	PROPOSED CURB & GUTTER	ELB	ELECTRIC BOX
-----	EXISTING EDGE OF PAVEMENT	EP	EDGE OF PAVEMENT
-----	EXISTING WATER LINE	FD	FINISH DIRT
-----	EXISTING STORM DRAIN LINE	FF	FINISH FLOOR
-----	PROPOSED STORM DRAIN LINE	FH	FIRE HYDRANT
-----	EXISTING SEWER LINE	FL	FLOWLINE
-----	EXISTING IRRIGATION LINE	FNC	FENCE
-----	SAWCUT LINE	GB	GRADE BREAK
-----	GRADE BREAK	GW	GUY WIRE
-----	EXISTING WATER VALVE	HP	HINGE POINT
-----	EXISTING FIRE HYDRANT	LIP	LIP OF GUTTER
-----	EXISTING WATER METER	OG	ORIGINAL GROUND
-----	EXISTING SANITARY SEWER MANHOLE	P	PAVEMENT
-----	EXISTING STORM DRAIN MANHOLE	PL	PROPERTY LINE
-----	PROPOSED STORM DRAIN MANHOLE	PP	POWER POLE
-----	EXISTING STORM DRAIN INLET	RET	RETURN
-----	PROPOSED STORM DRAIN INLET	R/W	RIGHT-OF-WAY LINE
-----	EXISTING STREET LIGHT	S	SLOPE
-----	PROPOSED STREET LIGHT	SDMH	STORM DRAIN MANHOLE
-----	EXISTING UTILITY POLE	SL	SECTION LINE
-----	EXISTING TRANSFORMER POLE	SSMH	SANITARY SEWER MANHOLE
-----	EXISTING POWER POLE	SW	SIDEWALK
-----	EXISTING ANCHOR POLE	TC	TOP OF CURB
-----	EXISTING TREE	TELB	TELEPHONE BOX
-----	EXISTING HANDICAP RAMP	TELR	TELEPHONE RISER
-----	EXISTING DRIVE APPROACH	TOE	TOE OF SLOPE
-----		TOP	TOP OF SLOPE
-----		TP	TELEPHONE POLE
-----		VP	VENT PIPE/STAND PIPE
-----		WM	WATER METER
-----		WV	WATER VALVE

BENCHMARK:

FRESNO CITY BM 970  
BRASS CAP ON CURB, WEST RETURN, SOUTHWEST CORNER OF PERRIN & WILLOW  
ELEVATION = 373.263 FEET

SITE ADDRESS:

2243 N ANGUS ST  
FRESNO, CA 93703  
APN: 446-020-42T

PROPERTY OWNER

FRESNO HOUSING AUTHORITY  
1331 FULTON MALL  
FRESNO, CA 93721

SITE AREA:

±2.75 AC

WDID:

APPROVED  
FRESNO METROPOLITAN FLOOD CONTROL DISTRICT FMFCD APPROVAL IS LIMITED TO:  
1. ONSITE DRAINAGE AREA BOUNDARIES  
2. LOCATION OF DRAINAGE ENTRY INTO PUBLIC STREETS

DATE

NOTE:

AS-GRADE PLANS, FINAL SOILS REPORT (IF APPLICABLE) AND COMPACTION REPORTS ARE REQUIRED TO BE SUBMITTED AND APPROVED PRIOR TO RECEIVING A "FINAL". A "SAFE-TO-OCCUPY" CAN BE GRANTED BUT WILL REQUIRE A \$15,000.00 CASH DEPOSIT. THE DEPOSIT WILL BE FULLY REFUNDED ONCE THE "AS-GRADE" HAS BEEN APPROVED AND ALL OTHER HOLDS HAVE BEEN CLEARED FOR THE ENTIRE PROJECT. DEPOSITS ARE TYPICALLY REFUNDED FROM THE FINANCE DEPARTMENT IN THE FORM OF A CHECK APPROXIMATELY 1 WEEK AFTER THE REFUND IS REQUESTED. THERE WILL BE A ONE-TIME \$60.00 HANDLING FEE FOR THE "SAFE-TO-OCCUPY" TRANSACTION SHOULD IT BE REQUESTED.

Ref. & Rev.

**Yamabe & Horn**  
**Engineering, Inc.**  
CIVIL ENGINEERS • LAND SURVEYORS  
2985 N. BURL AVENUE SUITE 101 FRESNO, CA 93727  
TEL (559) 244-3123 WEBSITE YANDHENGCR.COM



VA HOSPITAL - TEMPORARY PARKING LOT  
CLINTON AVENUE - APN: 446-020-42T

COVER SHEET

PROJECT TITLE

SHEET DESCRIPTION

Dr. By: KR

Ch. By: GS

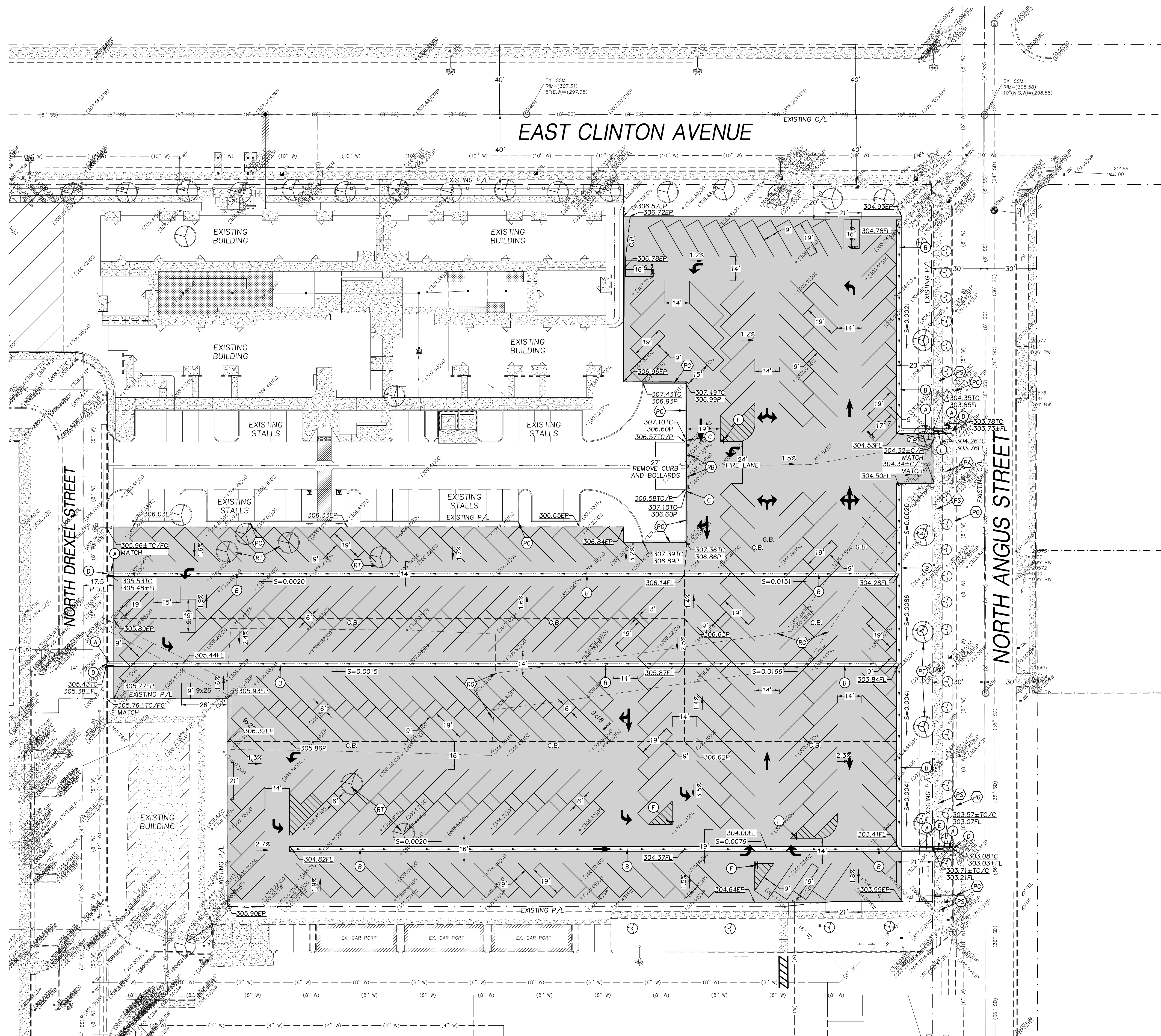
Date: 09-24-2018

Scale: As Noted

YH Job No. 18-267

Sheet No. 1

of 3 Sheets

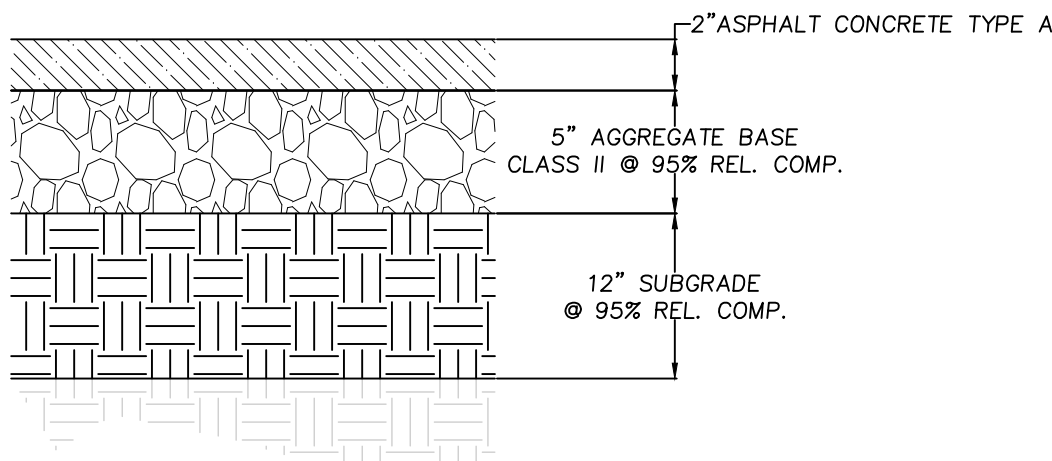


PAVEMENT SECTION:

- PAVEMENT SECTION (T.I.=6, R-VALUE=56)  
2" ASPHALT CONCRETE TYPE A  
5" AGGREGATE BASE CLASS II WITH 95% REL. COMP.  
12.0" SUBGRADE COMPACTED TO 95% REL. COMP.  
SEE SECTION DETAIL THIS SHEET.
- EXISTING CONCRETE IMPROVEMENTS

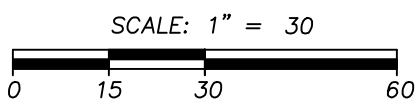
KEYNOTES:

- (A) CONSTRUCT 2" WIDE CONC. CHANNEL PER DETAIL D1-3  
(B) CONSTRUCT 3" WIDE CONC. VALLEY GUTTER PER DETAIL D2-3  
(C) CONSTRUCT 24" CURB TRANSITION PER DETAIL D3-3  
(D) CONSTRUCT 6" CURB CUT OUT PER DETAIL D4-3  
(E) INSTALL CONCRETE SIDEWALK DRAINS (CHANNEL) PER CITY STD. P-23  
(F) PROPOSED PARKING SIGNAGE  
(PG) EXISTING CURB AND GUTTER TO REMAIN  
(PC) EXISTING CURB TO REMAIN  
(PA) EXISTING DRIVE APPROACH TO REMAIN  
(RT) EXISTING TREE TO BE REMOVED  
(PT) EXISTING TREE TO REMAIN  
(PS) EXISTING SIDEWALK TO REMAIN  
(RG) EXISTING GRAVEL ROAD & PARKING LOT TO BE REMOVED  
(RB) EXISTING BOLLARDS AND CURB TO BE REMOVED FOR PROPOSED FIRE LANE



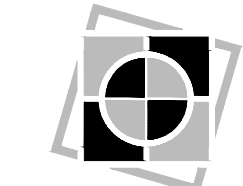
PAVEMENT SECTION SECTION (T.I.=6, R-VALUE=56) DETAIL

N.T.S.



Ref. & Rev.

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REGISTERED PROFESSIONAL ENGINEER  
GREGORY N. SMITH  
No. 80702  
CIVIL  
STATE OF CALIFORNIA

VA HOSPITAL - TEMPORARY PARKING LOT  
CLINTON AVENUE - APN: 446-020-42T

GRADING PLAN

PROJECT TITLE

SHEET DESCRIPTION

Dr. By: KR

Ch. By: GS

Date: 09-24-2018

Scale: As Noted

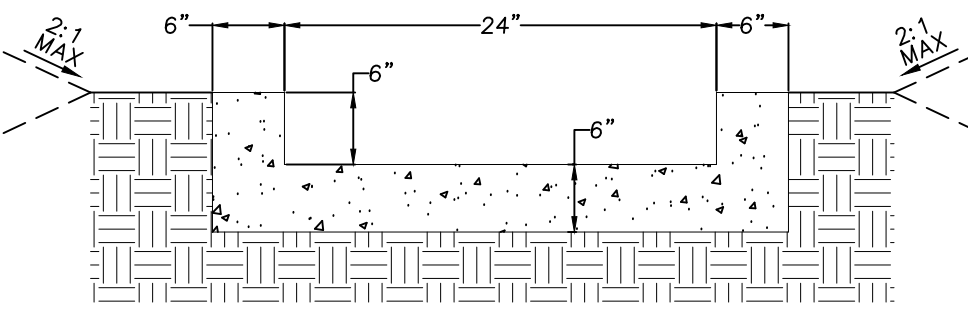
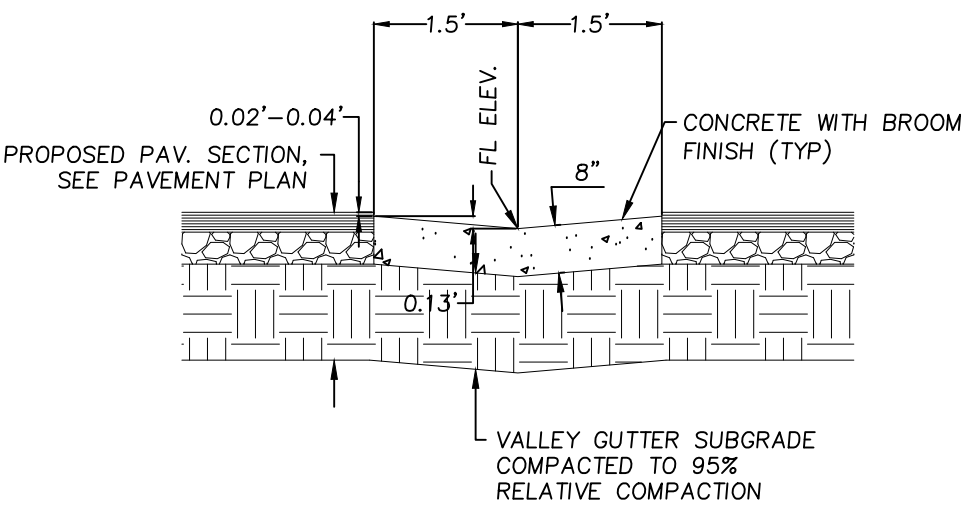
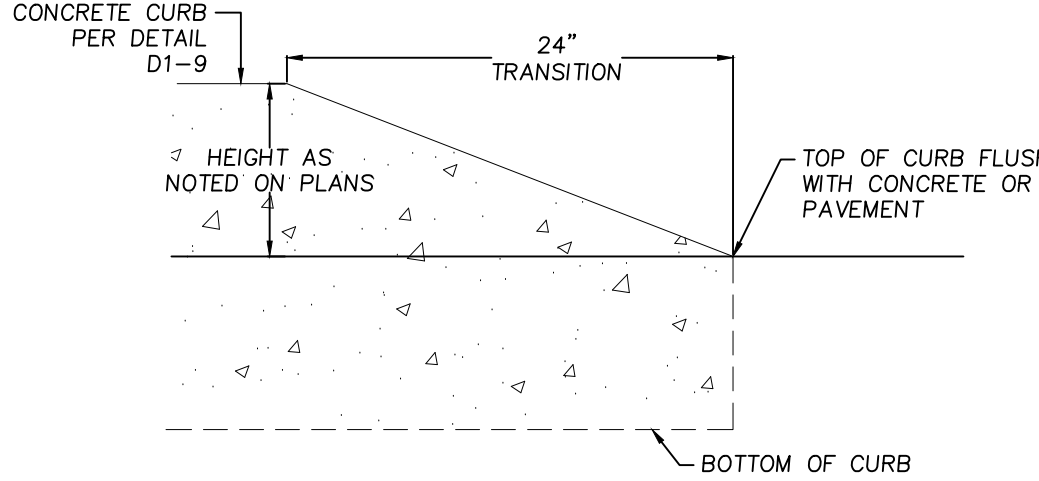
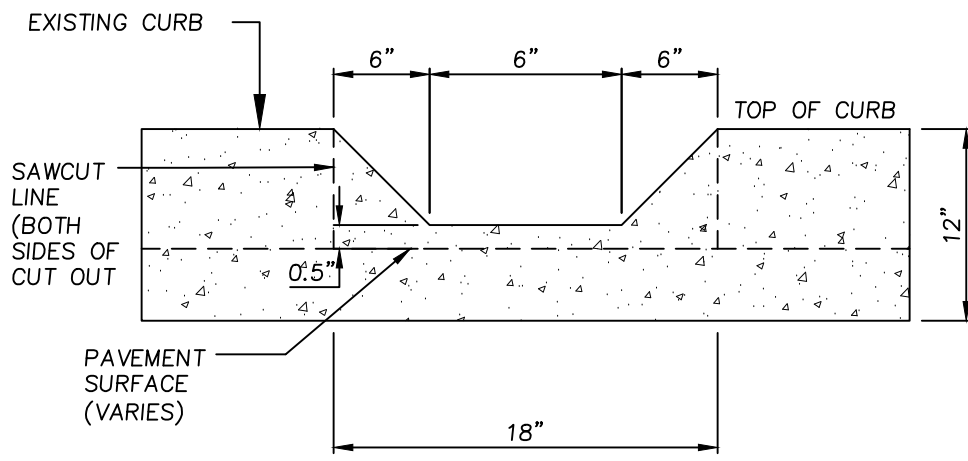
YH Job No. 18-267

Sheet No. 2

of 3 Sheets

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<div></div> <div><div>D13</div><div>24" WIDE CONCRETE CHANNEL DETAIL</div><div>N.T.S.</div></div>	<div></div> <div><div>D23</div><div>36" WIDE VALLEY GUTTER DETAIL</div><div>NO SCALE</div></div>	<div></div> <div><div>D33</div><div>24" CURB TRANSITION DETAIL</div><div>NO SCALE</div></div>	<div></div> <div><div>D43</div><div>6" CURB CUT-OUT DETAIL</div><div>NO SCALE</div></div>		<div>Ref. &amp; Rev.</div> <div><div><div>Yamabe &amp; Horn</div><div>Engineering, Inc.</div><div>CIVIL ENGINEERS • LAND SURVEYORS</div></div><div>2985 N. BURL AVENUE SUITE 101 FRESNO, CA 93727 TEL 559/244-3123 WEBSTE YANDHNGR.COM</div></div>
<div><div>PROJECT TITLE</div><div>VA HOSPITAL - TEMPORARY PARKING LOT CLINTON AVENUE - APN: 446-020-42T</div></div> <div><div>SHEET DESCRIPTION</div><div>DETAIL SHEET</div></div> <div><div>Dr. By: KR</div><div>Ch. By: GS</div><div>Date: 09-24-2018</div><div>Scale: As Noted</div></div> <div><div>YH Job No. 18-267</div><div>Sheet No. 3</div><div>of 3 Sheets</div></div>					