

# VENTURA HOUSING AUTHORITY "BALCONIES REPAIR"

123 S. Ventura Ave.  
VENTURA, CA

## INDEX OF DRAWINGS

### ARCHITECTURAL

G001	TITLE SHEET, PROJECT NOTES, SCOPE OF WORK, GENERAL NOTES, INDEX TO DRAWINGS, CONSULTANTS, ABBREVIATIONS, LEGEND AND VICINITY MAP
A101	NOT USED
A102	2ND FLOOR BALCONIES - DEMOLITION PLAN
A103	2ND FLOOR BALCONIES - PROPOSED PLAN
A104	DETAILS

## PROJECT NOTES

CONSTRUCTION HOURS:  
CONSTRUCTION WORK HOURS SHALL BE LIMITED TO MONDAY THROUGH FRIDAY 7:30 A.M. TO 5 P.M. EXCEPT CITY OF SAN BUENA VENTURA LEGAL HOLIDAYS.

PROGRESS SCHEDULE:  
THE CONTRACTORS SHALL PREPARE AND SUBMIT TO THE HOUSING AUTHORITY A CONSTRUCTION PROGRESS SCHEDULE TO BE FOLLOWED. THIS SCHEDULE SHALL BE IN A FORM AND FORMAT ACCEPTABLE TO THE HOUSING AUTHORITY AND SHALL DELINEATE ALL MAJOR OR CRITICAL CRITICAL WORK OPERATIONS. THE SCHEDULE SHALL BE KEPT CURRENT.

SANITARY FACILITIES:  
THE CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES FOR WORKERS.

SANITARY FACILITIES IN THE HOUSING UNITS ARE NOT TO BE USED BY WORKERS.

PHASING:  
CONTRACTOR SHALL COORDINATE WORK SCHEDULE WITH OWNER SO THAT INTERRUPTION OF ACCESS TO TENANT'S APARTMENTS IS KEPT TO A MINIMUM.

## SCOPE OF WORK

- REMOVE THE 6x12 DAMAGED WOOD BEAMS SUPPORTING THE BALCONIES (ALL 4).
- REPLACE THE BEAMS WITH NEW ONES SIMILAR TO EXISTING.
- REMOVE BALCONIES DOORS AND REINSTALL AFTER THE JOB IS DONE.
- REPLACE THE BALCONIES POLYMER COMPONENT DECK WITH NEW ONE.
- REINSTALL THE EXISTING WROUGHT IRON PARAPET. REPAIR AND PAINT AS REQUIRED.
- FLOORING GYPCRETE, PLYWOOD SHEATHING AND GYP BOARD CLG OF 1st FLOOR TO BE REMOVED AS REQUIRED AND REPLACED AFTER BEAMS INSTALLATION. PATCH & PAINT TO MATCH EXISTING.

## PAINTING NOTES

- PATCH AND REPAIR ALL SURFACES AFFECTED BY THE REMODEL. REPAINT TO MATCH EXISTING.
- NEW PAINT FINISH SHALL BE: PRIMER PLUS 2 COATS SHERWIN-WILLIAMS MACROPOXY 646-100, COLOR TO MATCH EXISTING

## GENERAL NOTES

- ALL CONSTRUCTION SHALL CONFORM WITH THE CALIFORNIA BUILDING CODE (C.B.C) 2013 AND ALL OTHER STATE AND LOCAL ORDINANCES.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND REPORT ALL DISCREPANCIES TO THE HOUSING AUTHORITY REPRESENTATIVE AND THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL PATCH AND REPAIR ALL DAMAGED SURFACES, REFINISH ALL PATCHED SURFACES TO MATCH ADJACENT SURFACES IN FINISH AND TEXTURE.
- THE CONTRACTOR SHALL REMOVE ALL DEBRIS DAILY FROM SITE AND PRIOR TO FINAL ACCEPTANCE.
- SMOKING IS PERMITTED ON PREMISES.
- FLAMMABLE TOXIC, ASBESTOS CONTAINING, HIGH ODOR CARCINOGENIC MATERIALS SHALL NOT BE USED ON THE PROJECT ESPECIALLY, INCLUDING PAINTS AND ADHESIVES.
- CONTRACTOR IS RESPONSIBLE FOR DUST AND DIRT CONTROL AND NOISE CONTROL DURING CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE THE CONSTRUCTION AREA WEATHER TIGHT AT THE END OF EVERY WORKING DAY.

NOTE: THIS SHEET IS ONE OF A SET OF DOCUMENTS WHICH INCLUDES, BUT IS NOT LIMITED TO, DRAWINGS AND SPECIFICATIONS ADDRESSING ALL TRADES. GENERAL CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL BIDDERS WITH A FULL SET OF CONSTRUCTION DOCUMENTS. ALL BIDDERS SHALL REVIEW THE ENTIRE SET OF DOCUMENTS. IF THERE IS A CONFLICT BETWEEN DISCIPLINES, THE MOST EXPENSIVE OPTION SHALL BE BID.

## CONSULTANTS

### STRUCTURAL

ORION STRUCTURAL GROUP, INC.  
223 EAST THOUSAND OAKS BLVD.  
SUITE 304  
THOUSAND OAKS, CA 91360  
PHONE (805) 390-9242

WILL LAMBERT  
e-mail will@orionstructural.com

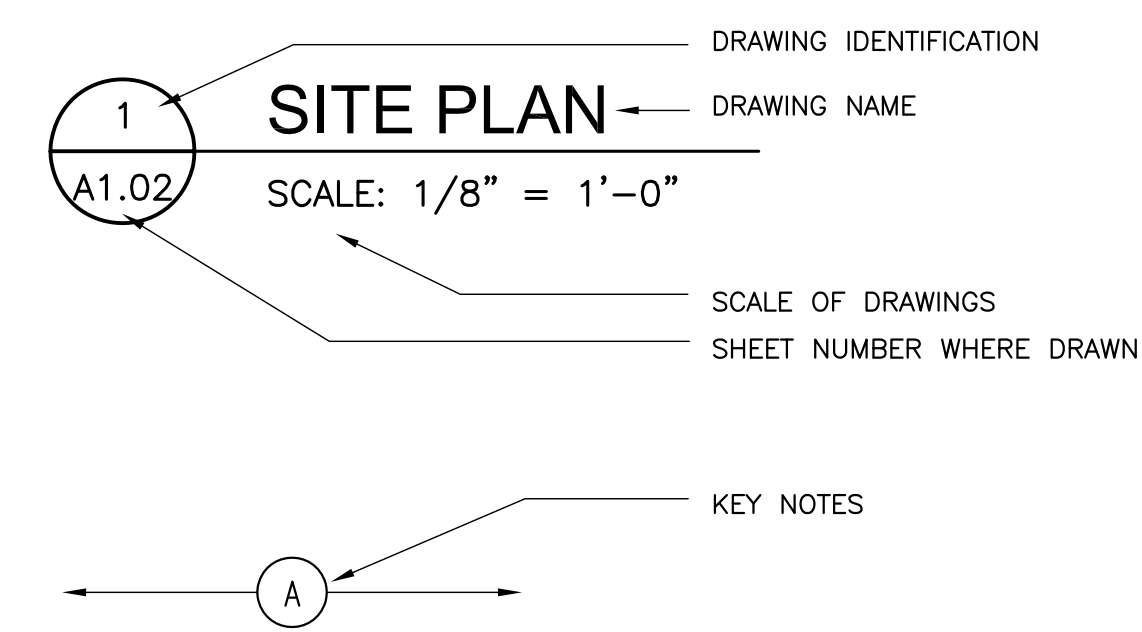
## PROJECT SUMMARY

APN: 073-0-111-200  
ZONED: DOWNTOWN RESIDENTIAL (DR) ZONE  
CONSTRUCTION TYPE: V-N  
OCCUPANCY/GROUP: R-1  
SITE SIZE: 23,188 S.F. (.53 AC.)  
BUILDING AREA: 14,155 S.F.  
ALLOWABLE AREA:  
BASIC - 6,000 S.F.  
MULTI-STORY INCREASE - 12,000 S.F.  
2 SIDES SEPARATION (50% INCREASE) - 18,000 S.F.  
BUILDING AREA (14,155 S.F.) < ALLOWABLE AREA (18,000 S.F.)  
NUMBER OF FLOORS: 2  
PARKING REQUIRED: 18 SPACES  
PARKING PROVIDED: 14 SPACES PER ADMINISTRATIVE VARIANCE  
AM-4119

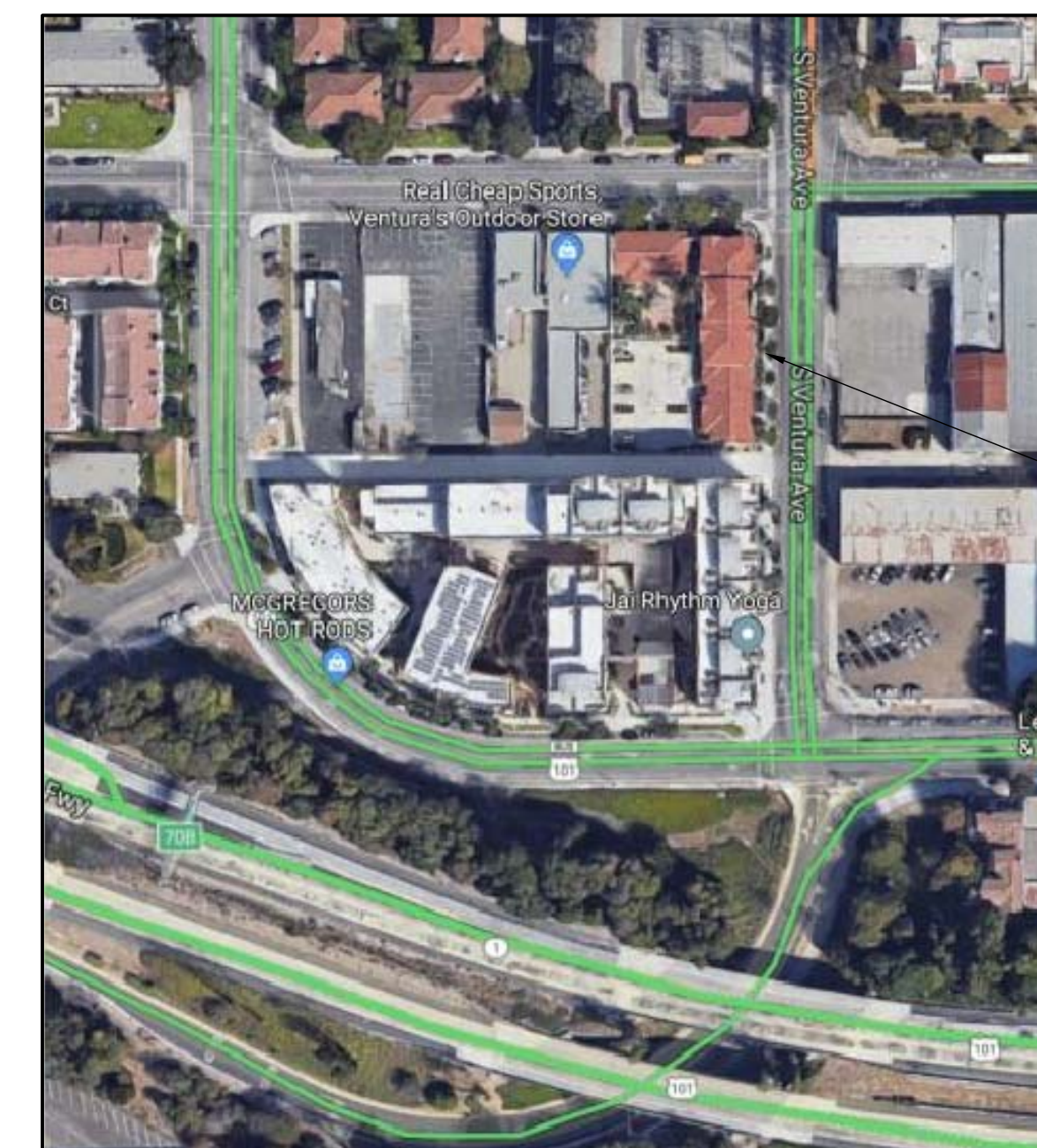
## ABBREVIATIONS

A.B.	ANCHOR BOLT	HT	HEIGHT
A.C.	ASPHALTIC CONCRETE	INSUL	INSULATION
ALUM	ALUMINUM	INT	INTERIOR
&	AND	LAM	LAMINATE
@	AT	LAV	LAVATORY
BLDG	BUILDING	LBS	POUNDS
BOT	BOTTOM	MAX	MAXIMUM
B.U.R.	BUILT UP ROOF	MECH	MECHANICAL
CAB	CABINET	MFR	MANUFACTURER
C.I.	CAST IRON	MIN	MINIMUM
C.J.	CEILING JOIST	M.O.	MASONRY OPENING
C.L.	CHAIN LINK	MTL	METAL
COL	COLUMN	N.I.C.	NOT IN CONTRACT
CONC	CONCRETE	N.T.S.	NOT TO SCALE
CONT	CONTINUOUS	O.C.	ON CENTER
C.M.U.	CONCRETE MASONRY UNIT	OPP	OPPOSITE
C.T.	CERAMIC TILE	PWD	PLYWOOD
d	PENNY	PR	PAIR
D.F.	DOUGLAS FIR	PT	POINT
DIA	DIAMETER	REF	REFERENCE
DIM	DIMENSION	REINF	REINFORCING
DV	DIVISION	REQ'D	REQUIRED
DWG	DRAWING	REV	REVISION
(E)	EXISTING	RM	ROOM
EA	EACH	R.O.	ROUGH OPENING
E.J.	EXPANSION JOINT	SCHED	SCHEDULE
ELEC	ELECTRICAL	SHT	SHEET
EQ	EQUAL	SIM	SIMILAR
EQUIP	EQUIPMENT	S & P	SHELF AND POLE
E.W.C.	ELECTRIC WATER COOLER	SQ	SQUARE
EXH	EXHAUST	S.S.	STAINLESS STEEL
EXT	EXTERIOR	STD	STANDARD
F.D.	FLOOR DRAIN	STL	STEEL
F.E.C.	FIRE EXTINGUISHER CABINET	STRUCT	STRUCTURAL
F.E.	FIRE EXTINGUISHER	TEL	TELEPHONE
F.F.	FINISH FLOOR	T & G	TONGUE AND GROOVE
F.G.	FINISH GRADE	THK	THICK
F.H.C.	FIRE HOSE CABINET	T.O.C.	TOP OF CURB
FIN	FINISH	T.O.W.	TOP OF WALL
F.O.C.	FACE OF CONCRETE	TYP	TYPICAL
F.O.S.	FACE OF STUD	U.N.O.	UNLESS NOTED OTHERWISE
F.S.	FINISHED SURFACE	V.C.T.	VINYL COMPOSITION TILE
FT	FOOT OR FEET	VERT	VERTICAL
FTG	FOOTING	VEST	VESTIBULE
GA	GAUGE	W.C.	WATER CLOSET
GALV	GALVANIZED	WD	WOOD
G.I.	GALVANIZED IRON	W.H.	WATER HEATER
GYP	GYPSUM	WDW	WINDOW
HDR	HEADER	W/	WITH
H.M.	HOLLOW METAL	W.W.M.	WELDED WIRE MESH

## LEGEND



## VICINITY MAP



AMADOR WHITTLE  
ARCHITECTS, INC.

28328 AGOURA ROAD, SUITE 203  
AGOURA HILLS, CALIFORNIA 91301  
TEL (805) 530-3938 FAX (805) 530-3942

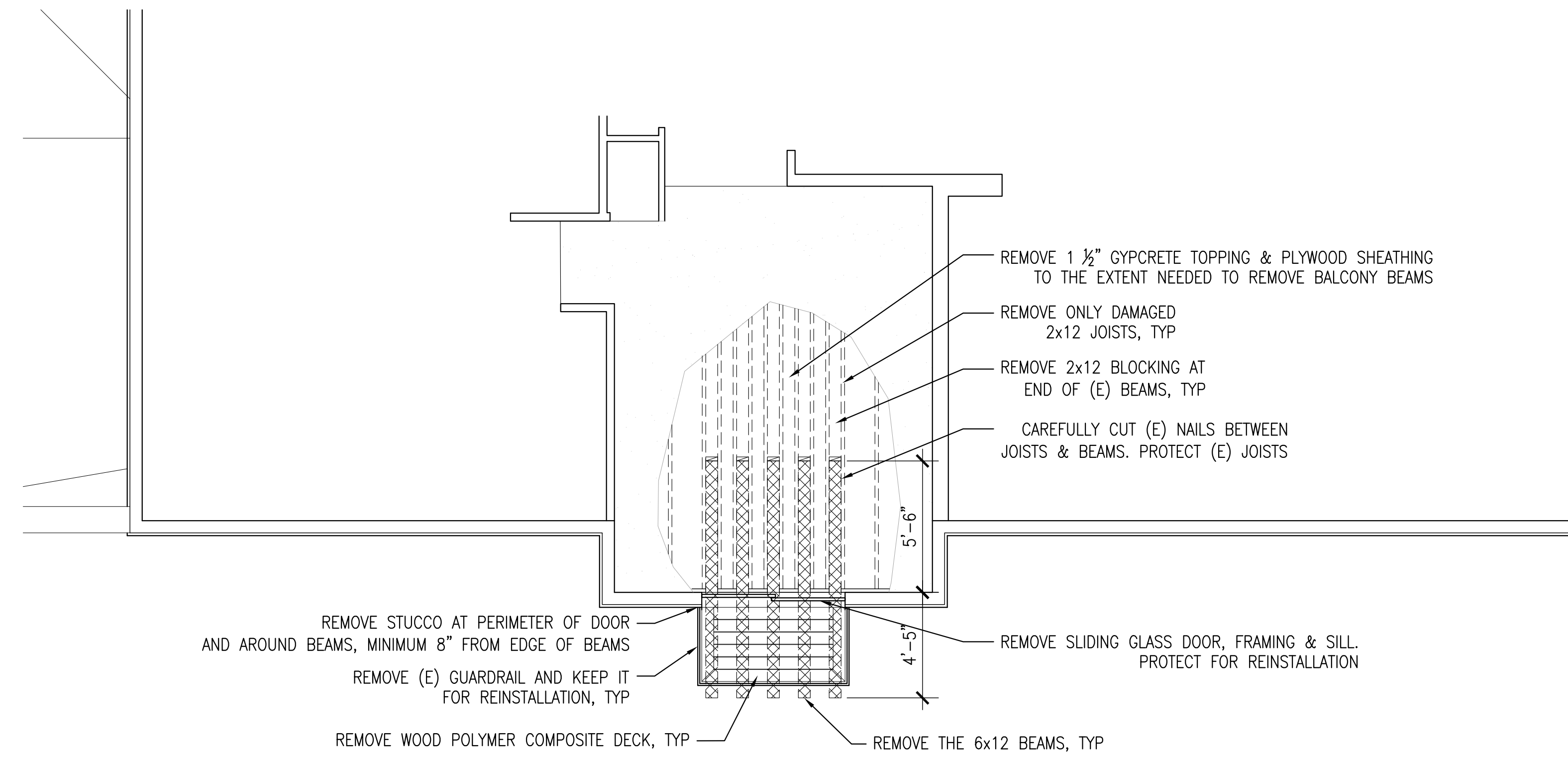
VENTURA HOUSING AUTHORITY  
"BALCONIES REPAIR"  
123 S. Ventura Avenue  
Ventura, California

NOTE: THIS SHEET IS ONE OF A SET OF DOCUMENTS WHICH INCLUDES, BUT IS NOT LIMITED TO, DRAWINGS AND SPECIFICATIONS ADDRESSING ALL TRADES. GENERAL CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL BIDDERS WITH A FULL SET OF CONSTRUCTION DOCUMENTS. ALL BIDDERS SHALL REVIEW THE ENTIRE SET OF DOCUMENTS. IF THERE IS A CONFLICT BETWEEN DISCIPLINES, THE MOST EXPENSIVE OPTION SHALL BE BID.

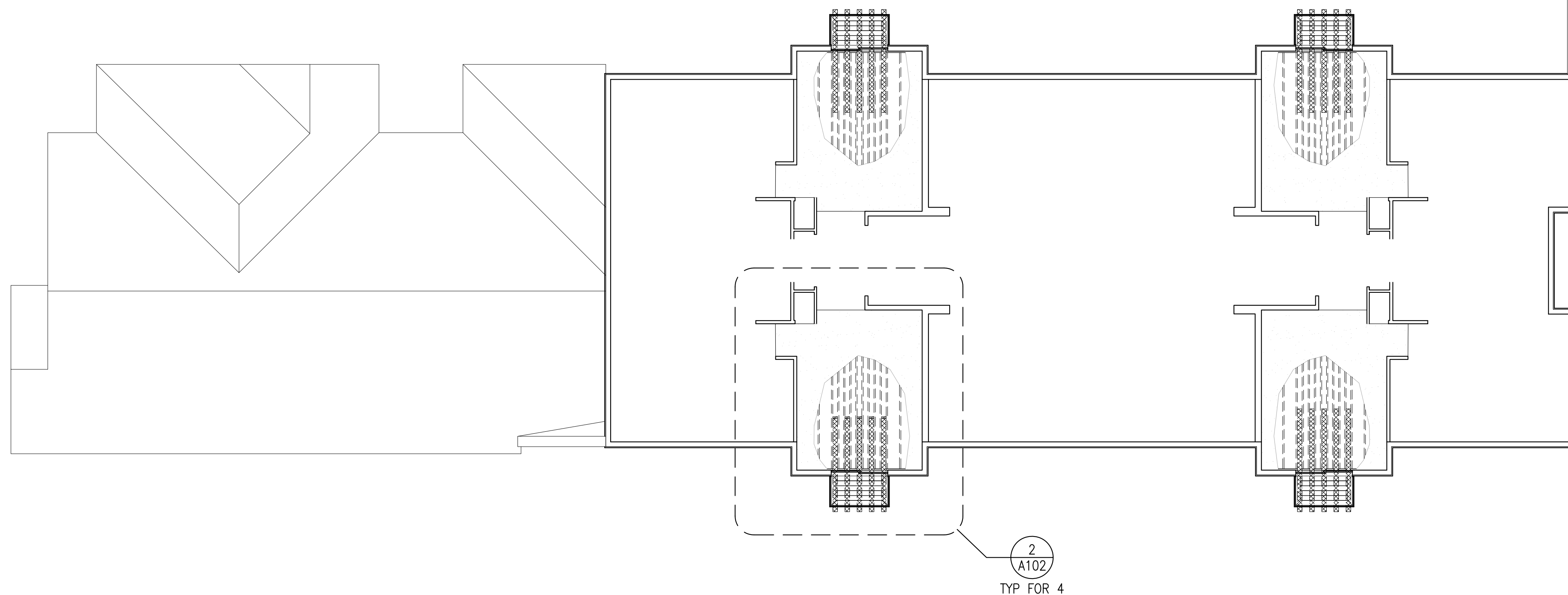
REVISIONS	DATE: 11-01-18
	DRAWN: JR
	CHECK: WJA
	JOB NO: VHA-045

TITLE SHEET  
G001  
1 OF 5

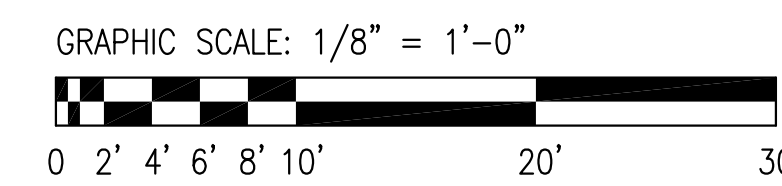
IF THIS SHEET IS NOT 36" X 24", IT IS NOT FULL SIZE, SCALE DRAWINGS ACCORDINGLY



**2 ENLARGED DEMOLITION PLAN**  
SCALE: 1/4"=1'-0"



**1 2ND FLOOR - DEMOLITION PLAN**  
SCALE: 1/8"=1'-0"



**NOTES**

1. NOTES APPLY TO FOUR LOCATIONS.
2. PROTECT EXISTING 2x12 JOISTS IN PLACE. CONTACT ARCHITECT FOR OBSERVATION OF JOISTS CONDITION, PRIOR TO INSTALLATION OF NEW 6x12 BEAMS

**AMADOR WHITTLE**  
**ARCHITECTS, INC.**

28328 AGOURA ROAD, SUITE 203  
AGOURA HILLS, CALIFORNIA 91301  
TEL (805) 530-3938 FAX (805) 530-3942

**VENTURA HOUSING AUTHORITY**  
**"BALCONIES REPAIR"**

123 S. Ventura Avenue  
Ventura, California

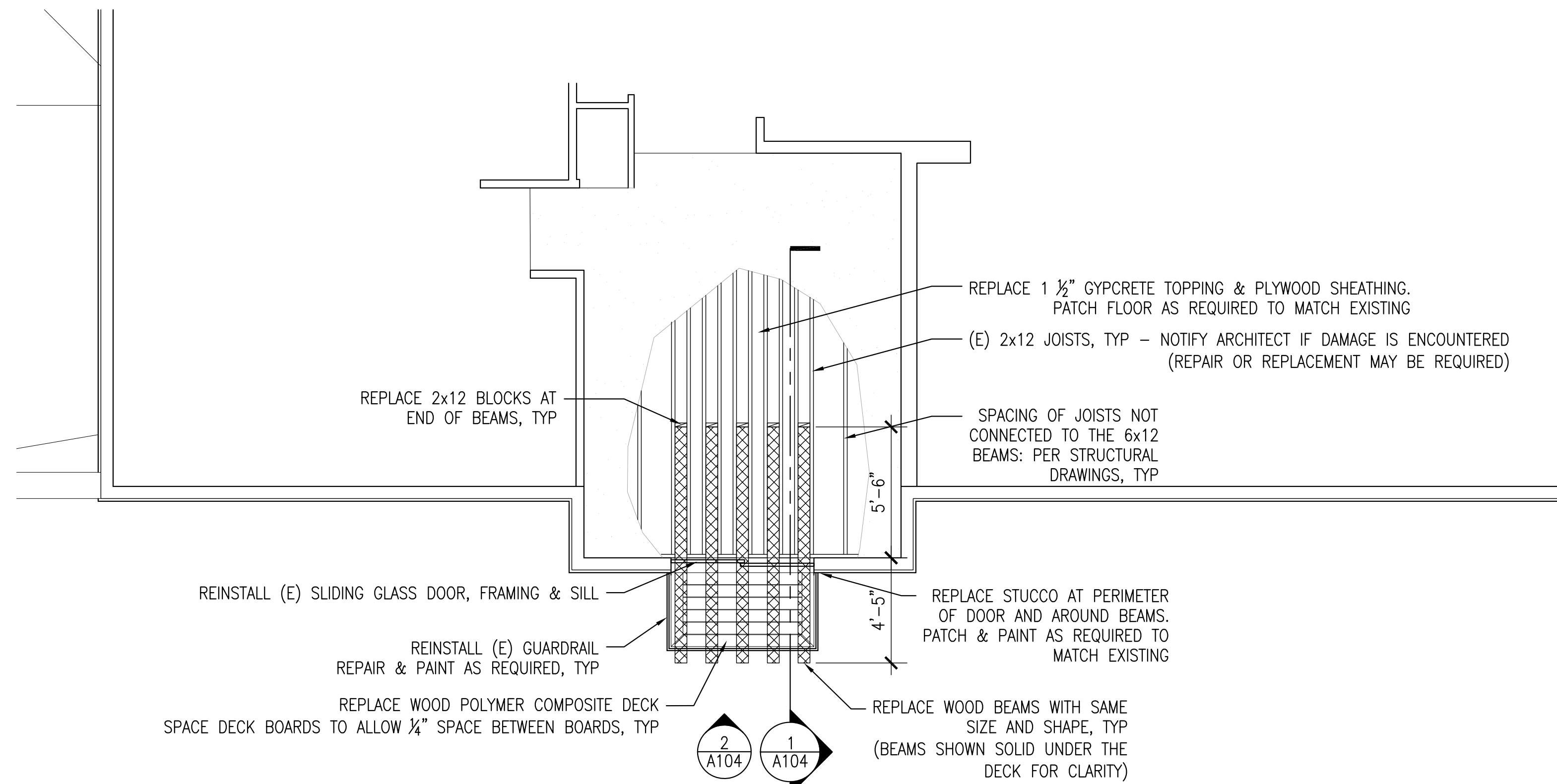
NOTE: THIS SHEET IS ONE OF A SET OF DOCUMENTS WHICH INCLUDES, BUT IS NOT LIMITED TO, DRAWINGS AND SPECIFICATIONS ADDRESSING ALL TRADES. GENERAL CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL BIDDERS WITH A FULL SET OF CONSTRUCTION DOCUMENTS. ALL BIDDERS SHALL REVIEW THE ENTIRE SET OF DOCUMENTS. IF THERE IS A CONFLICT BETWEEN DISCIPLINES, THE MOST EXPENSIVE OPTION SHALL BE BID.

REVISIONS	DATE: 11-01-18
	DRAWN: JR
	CHECK: WJA
	JOB NO: VHA-045

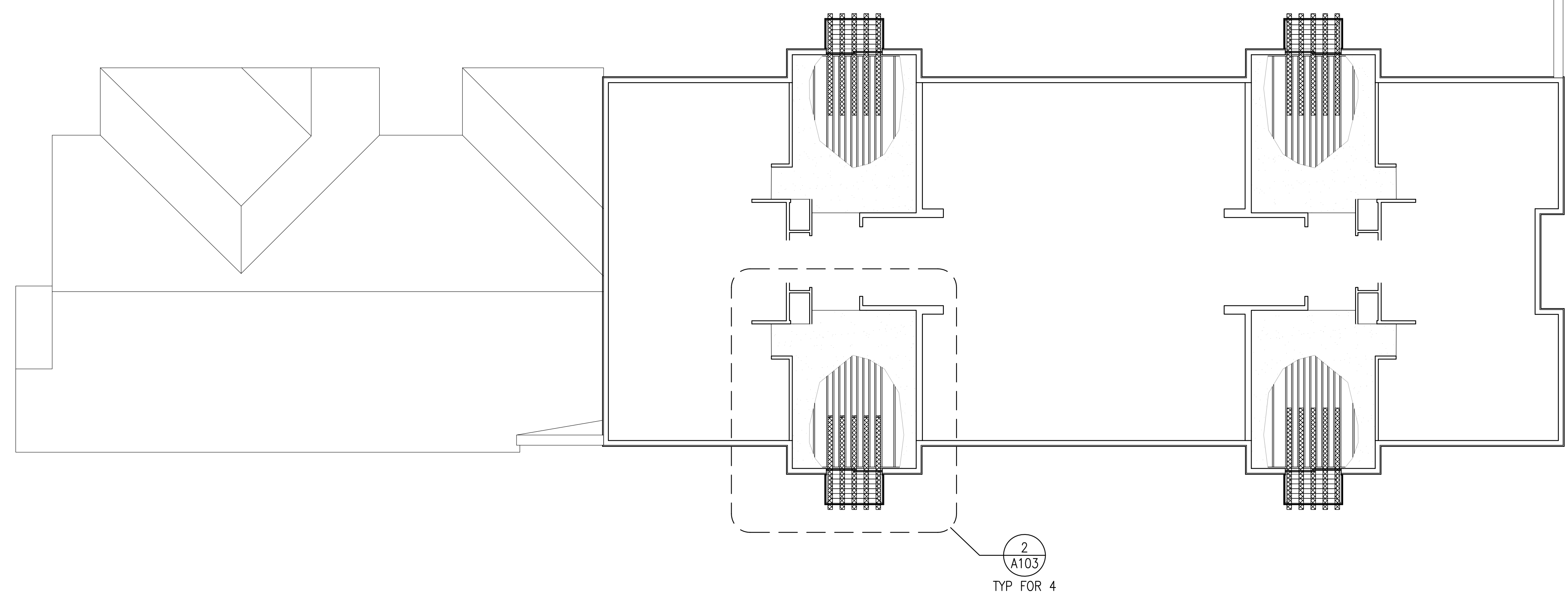
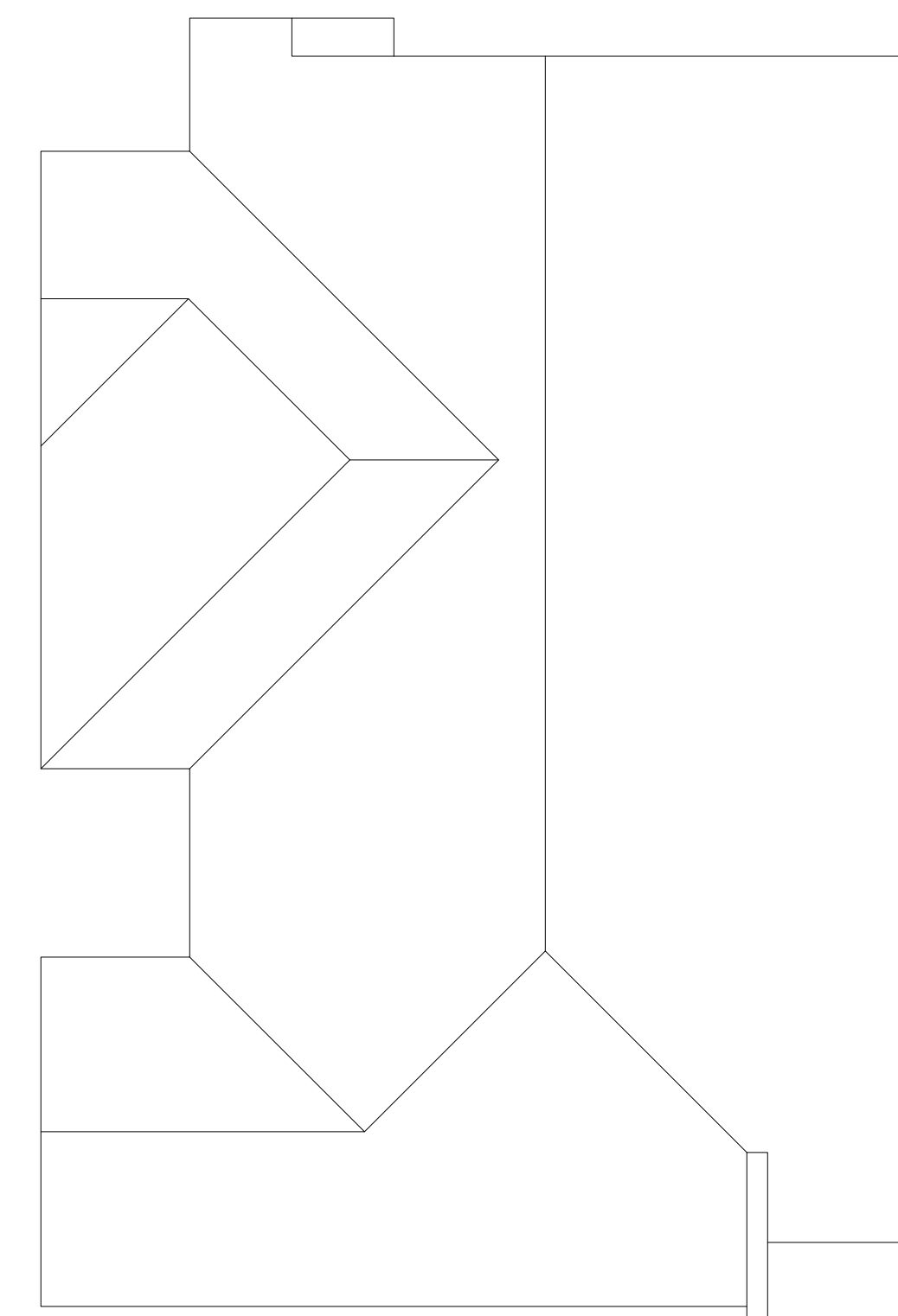
**2ND FLOOR BALCONIES**  
**DEMOLITION PLAN**

IF THIS SHEET IS NOT 36" X 24", IT IS NOT FULL SIZE. SCALE DRAWINGS ACCORDINGLY

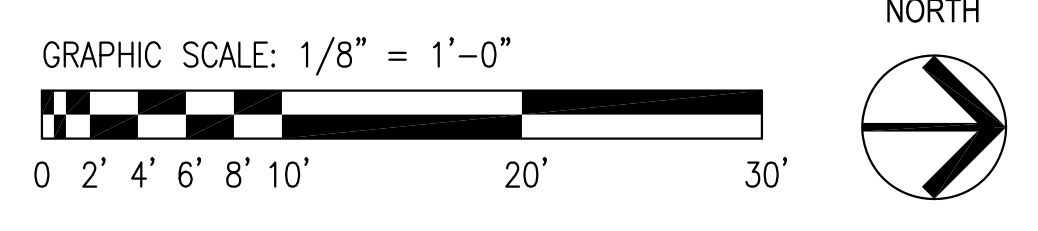
**A102**  
3 OF 5

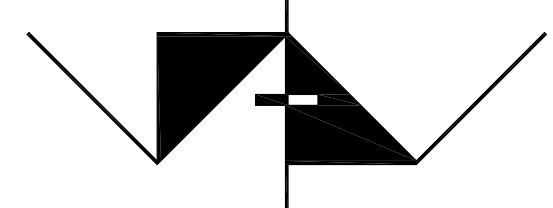


**2** BALCONY/ROOM ENLARGED PLAN  
SCALE: 1/4"=1'-0"



**1** 2ND FLOOR PARTIAL PLAN  
SCALE: 1/8"=1'-0"





**AMADOR WHITTLE  
ARCHITECTS, INC.**

28328 AGOURA ROAD, SUITE 203  
AGOURA HILLS, CALIFORNIA 91301  
TEL (805) 530-3938 FAX (805) 530-3942

**VENTURA HOUSING AUTHORITY  
"BALCONIES REPAIR"**

123 S. Ventura Avenue  
Ventura, California

NOTE: THIS SHEET IS ONE OF A SET OF DOCUMENTS WHICH INCLUDES, BUT IS NOT LIMITED TO, DRAWINGS AND SPECIFICATIONS ADDRESSING ALL TRADES. GENERAL CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL BIDDERS WITH A FULL SET OF CONSTRUCTION DOCUMENTS. ALL BIDDERS SHALL REVIEW THE ENTIRE SET OF DOCUMENTS. IF THERE IS A CONFLICT BETWEEN DISCIPLINES, THE MOST EXPENSIVE OPTION SHALL BE BID.

REVISIONS	DATE: 11-01-18
	DRAWN: JR
	CHECK: WJA
	JOB NO: VHA-045

**2ND FLOOR BALCONIES  
PROPOSED PLAN**

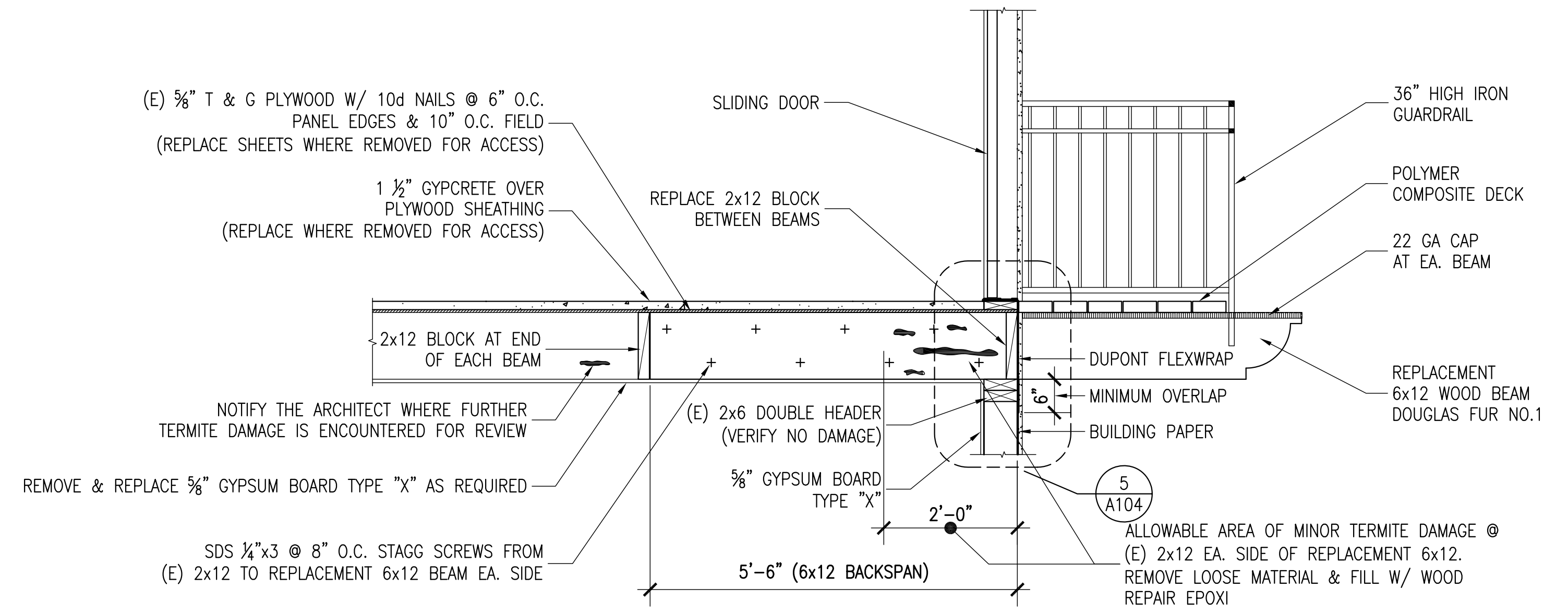
IF THIS SHEET IS NOT 36" X 24", IT IS NOT FULL SIZE. SCALE DRAWINGS ACCORDINGLY

**A103**

4 OF 5



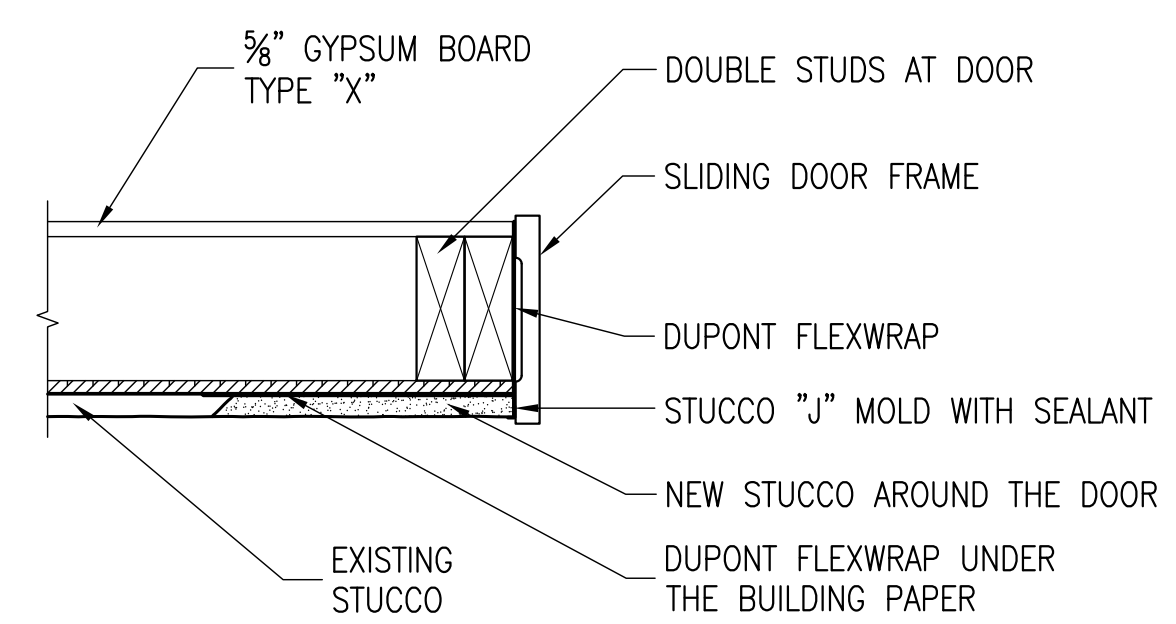
**6 BALCONY PERSPECTIVE**  
NOT TO SCALE



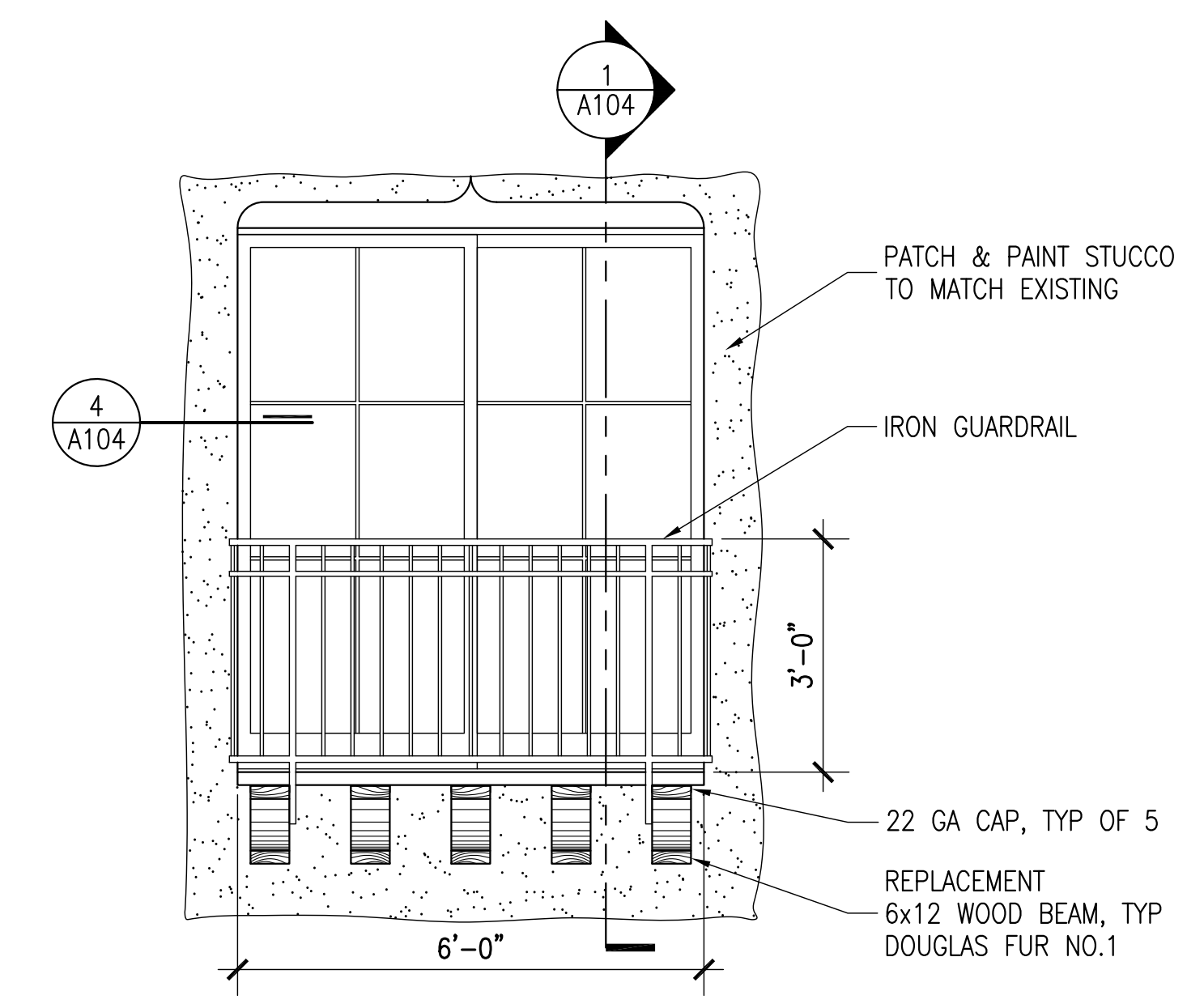
**1 BALCONY DETAIL SECTION**  
SCALE: 3/4"=1'-0"



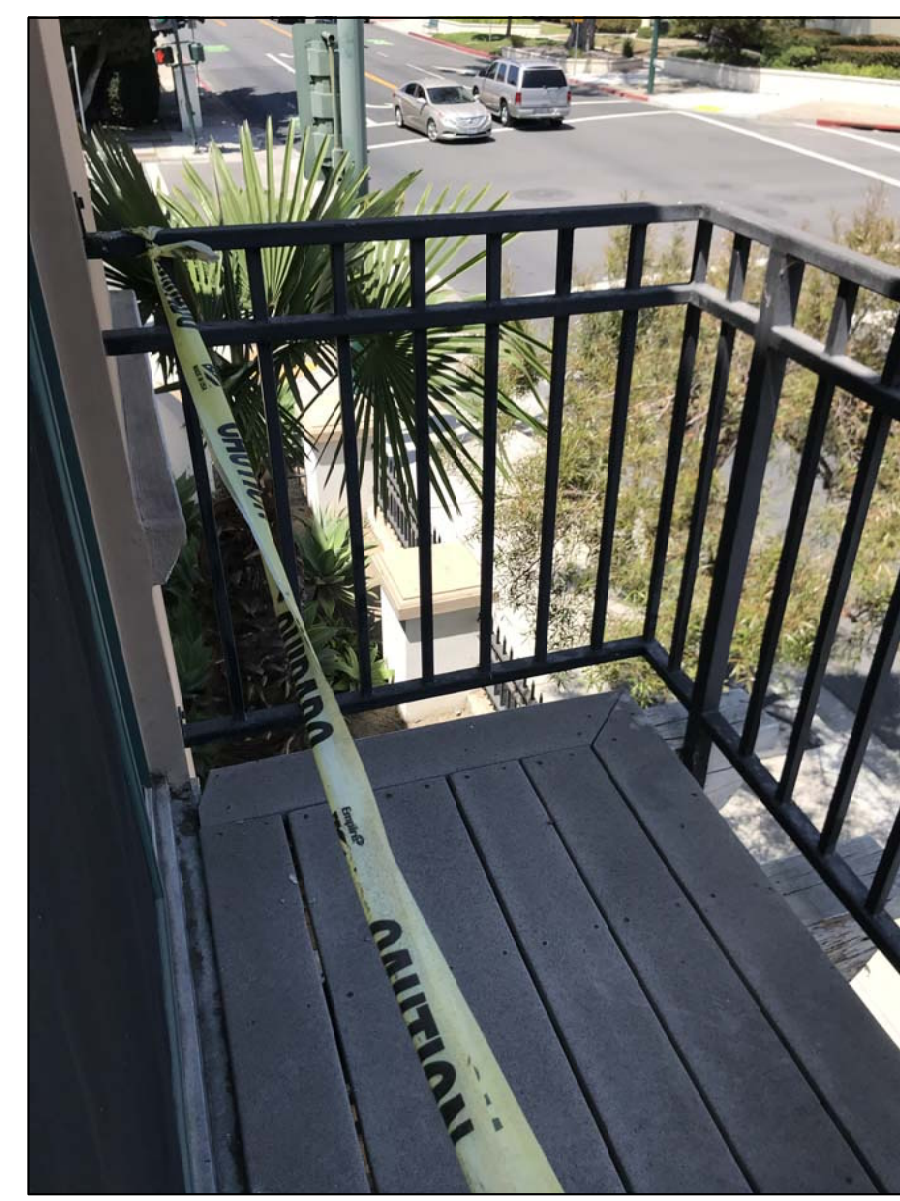
**7 BALCONY FRONT VIEW**  
NOT TO SCALE



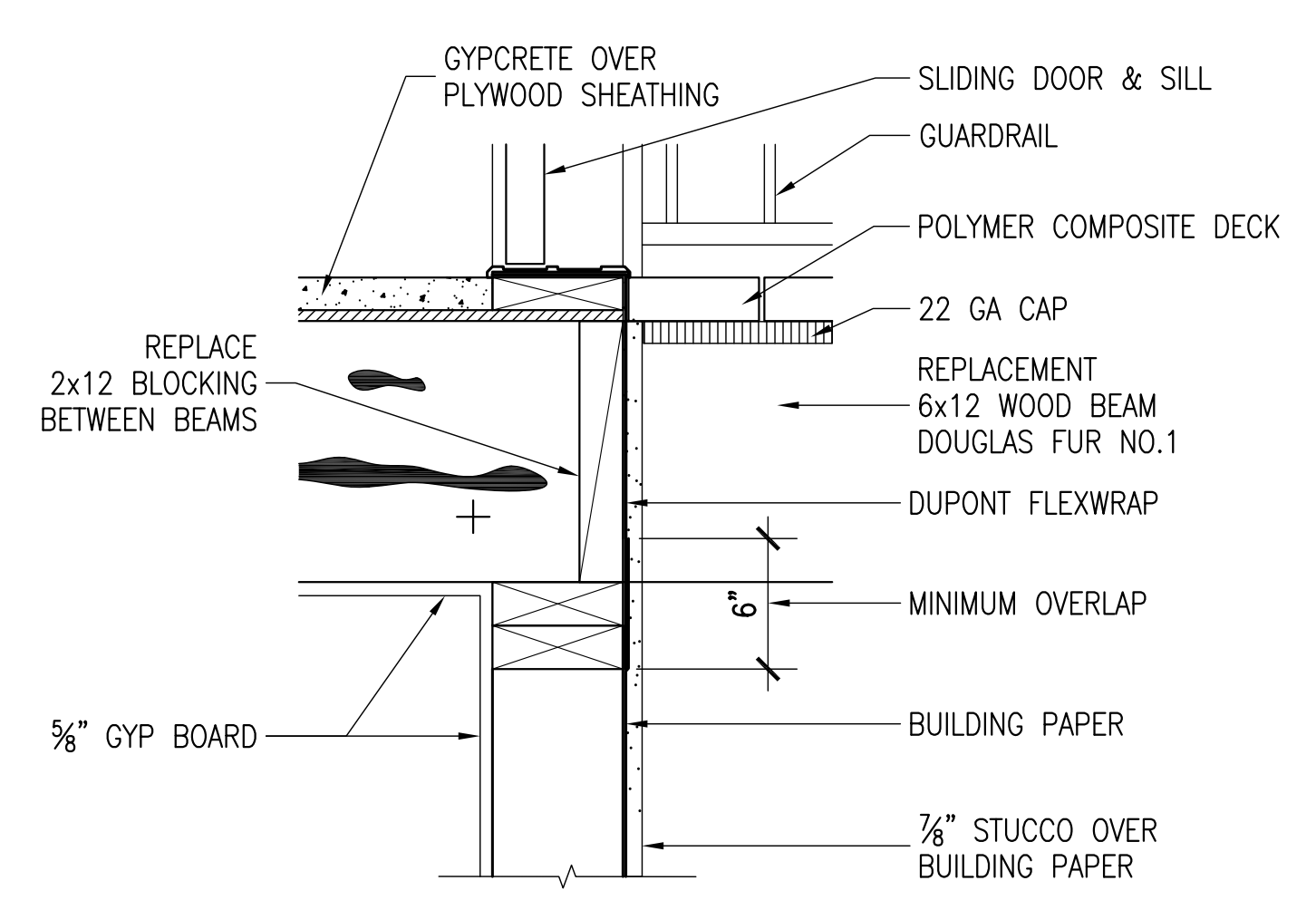
**4 WALL AT SLIDING DOOR FRAME**  
SCALE: 1 1/2"=1'-0"



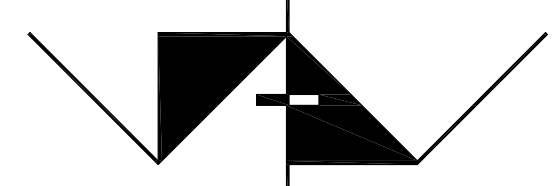
**2 BALCONY DETAIL ELEVATION**  
SCALE: 1/2"=1'-0"



**8 BALCONY VIEW**  
NOT TO SCALE



**5 BEAM AT WALL DETAIL**  
SCALE: 1 1/2"=1'-0"



**AMADOR WHITTLE ARCHITECTS, INC.**

28328 AGOURA ROAD, SUITE 203  
AGOURA HILLS, CALIFORNIA 91301  
TEL (805) 530-3938 FAX (805) 530-3942

**VENTURA HOUSING AUTHORITY**

**"BALCONIES REPAIR"**

123 S. Ventura Avenue  
Ventura, California

NOTE: THIS SHEET IS ONE OF A SET OF DOCUMENTS WHICH INCLUDES, BUT IS NOT LIMITED TO, DRAWINGS AND SPECIFICATIONS ADDRESSING ALL TRADES. GENERAL CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL BIDDERS WITH A FULL SET OF CONSTRUCTION DOCUMENTS. ALL BIDDERS SHALL REVIEW THE ENTIRE SET OF DOCUMENTS. IF THERE IS A CONFLICT BETWEEN DISCIPLINES, THE MOST EXPENSIVE OPTION SHALL BE BID.

REVISIONS	DATE: 11-01-18
	DRAWN: JR
	CHECK: WJA
	JOB NO: VHA-045

**DETAILS**

A104

IF THIS SHEET IS NOT 36" X 24", IT IS NOT FULL SIZE, SCALE DRAWINGS ACCORDINGLY

5 OF 5