



JACKSONVILLE HOUSTING AUTHORITY

VICTORY POINTE APARTMENTS

UNIT 404 - BUILDING REPAIRS

6750 RAMONA BOULEVARD JACKSONVILLE, FL 32205

GLE PROJECT NO. 18000-19651

DESIGN DEVELOPMENT

SEPTEMBER 21, 2018

CLIENT

JACKSONVILLE HOUSING AUTHORITY
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- NASHVILLE, TN

GLE ASSOCIATES
AA 002269 - CA 5453

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JACKSONVILLE HOUSING AUTHORITY
 VICTORY POINTE APARTMENTS
 UNIT 404 BUILDING REPAIRS
 5023 53rd AVE. E.
 BRADENTON, FL 34203

NO.	REVISIONS	DATE

JOB NUMBER:
18000-19651

ISSUE DATE: 09-20-18
DRAWN BY: JG
CHECKED BY: CD/AP
ISSUE: 100% DD

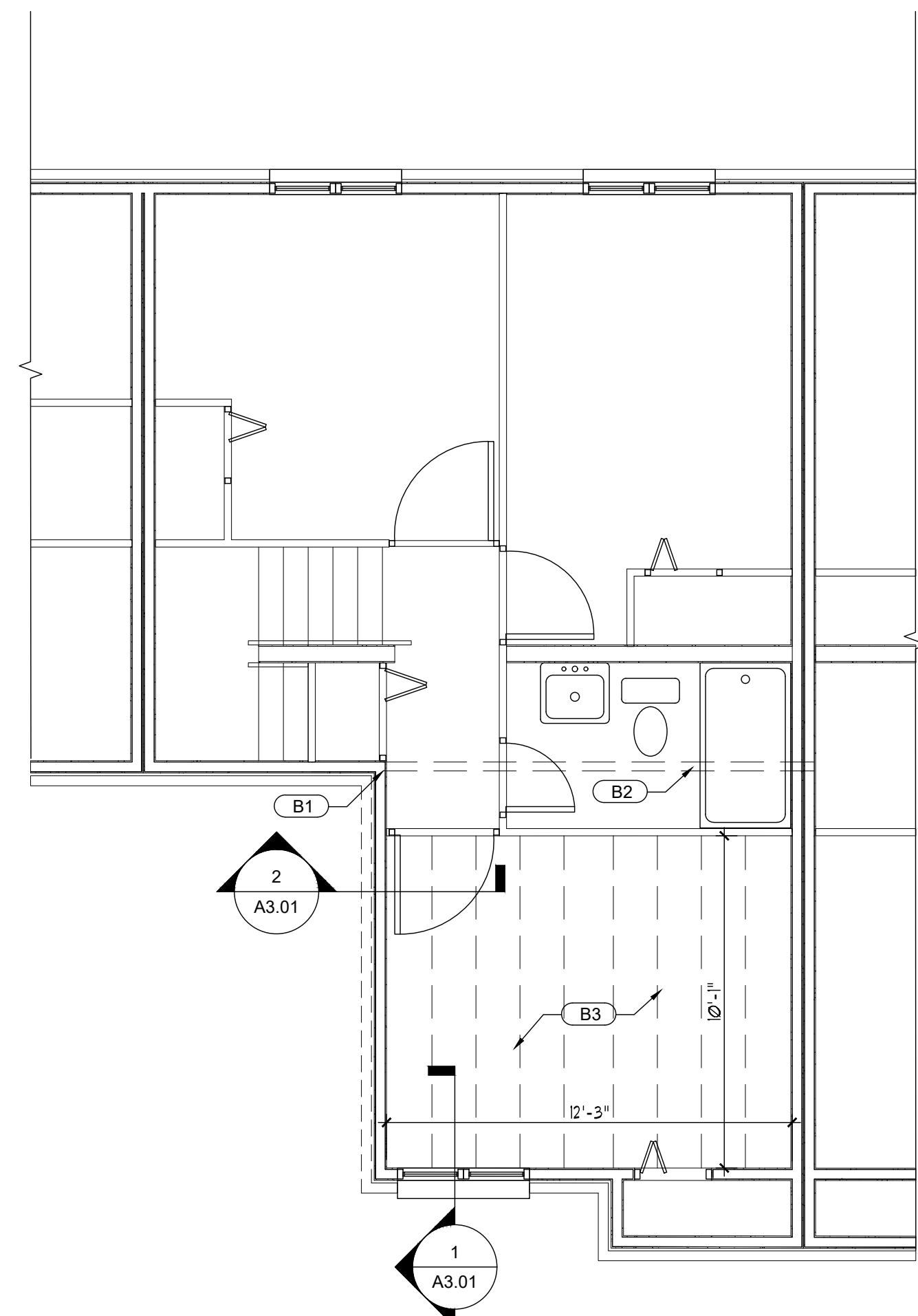
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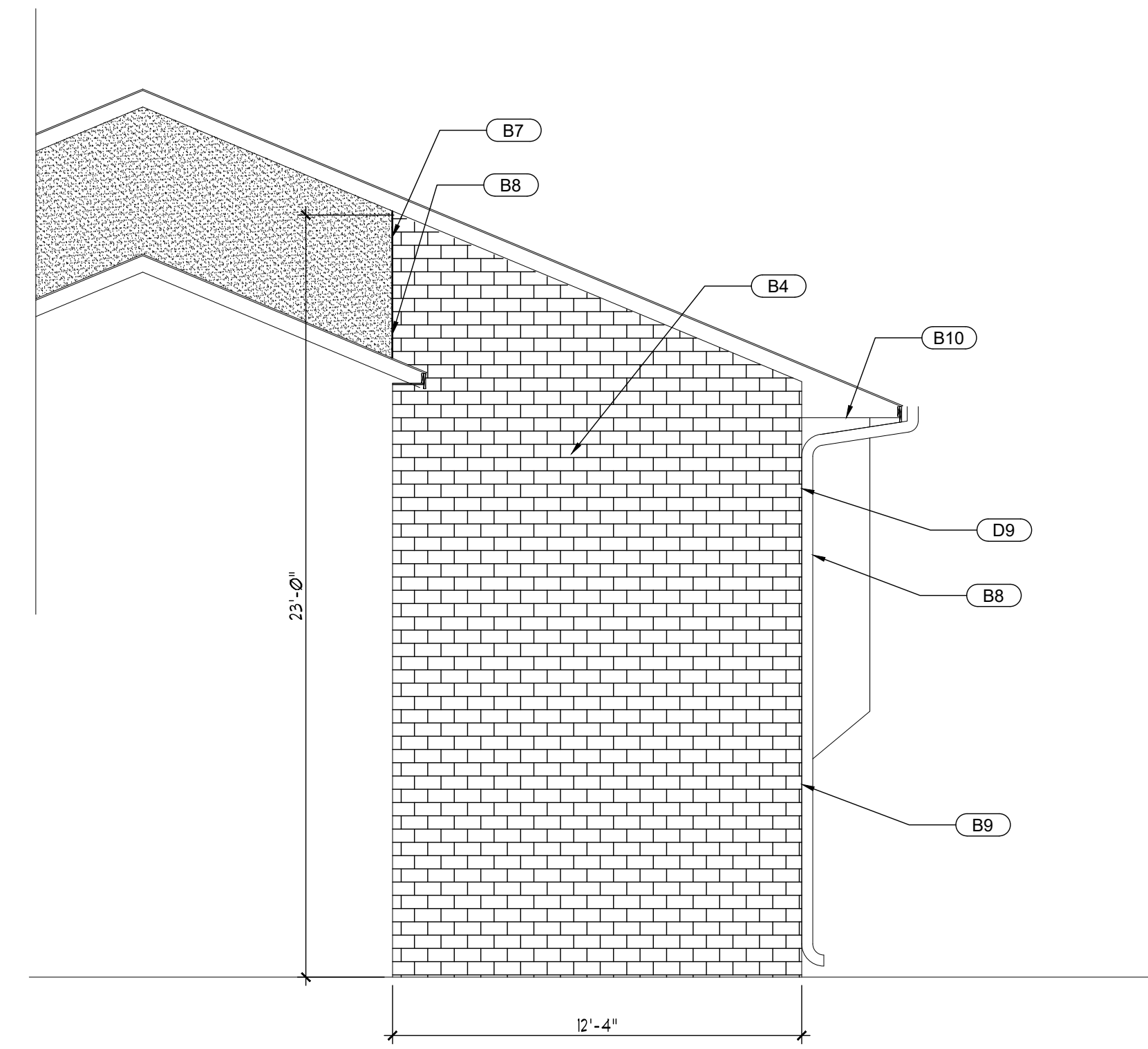
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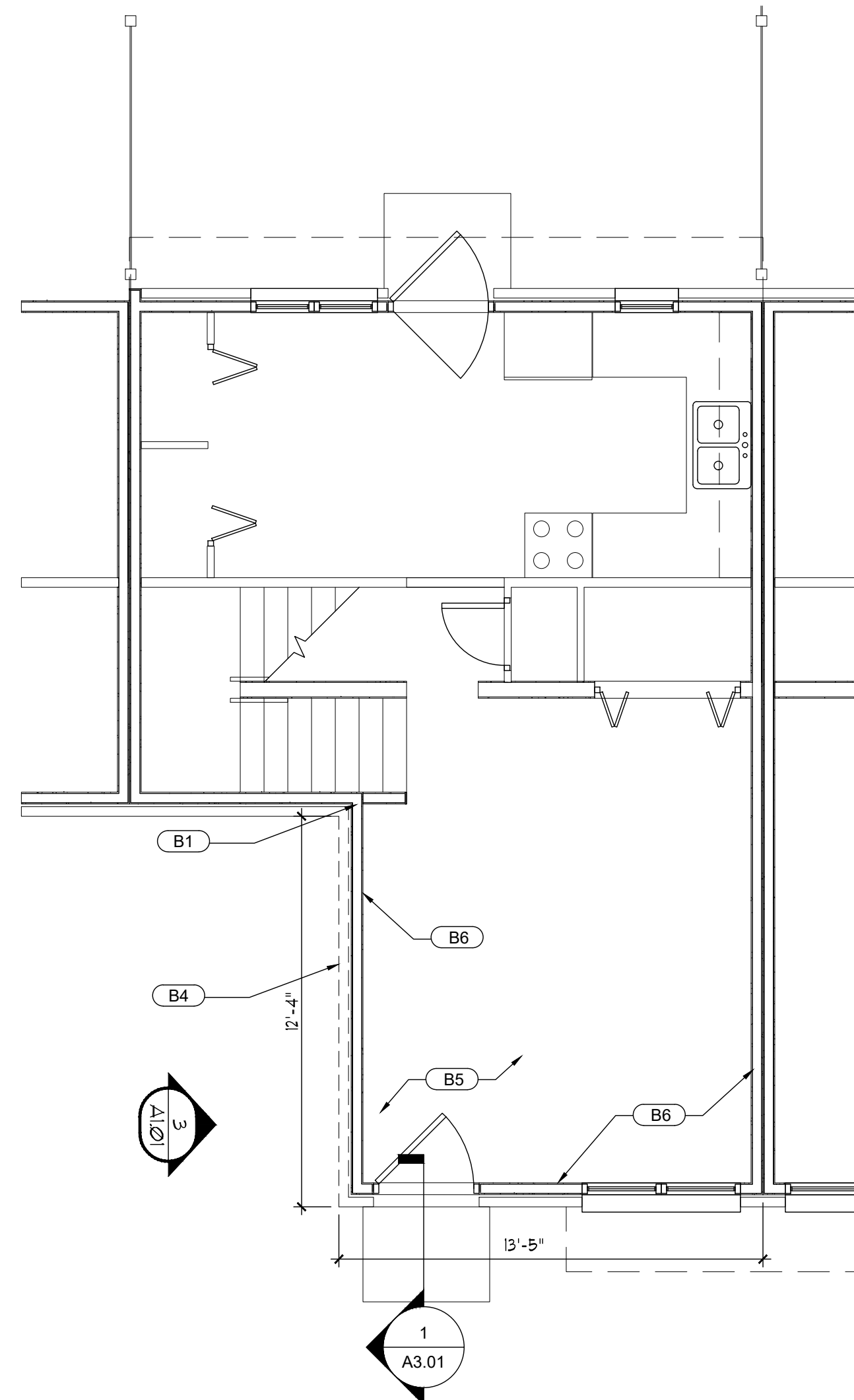
4 EXISTING PHOTOS
SCALE: 1/4" = 1'-0"



2 ENLARGED 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



1 ENLARGED 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL DEMOLITION NOTES

- THIS PLAN SHOWS GENERAL ARCHITECTURAL DEMOLITION WORK TO BE PERFORMED. IT DOES NOT RELIEVE THE CONTRACTOR FROM OTHER DEMOLITION WORK REQUIRED TO PRODUCE THE BUILDING MODIFICATIONS SHOWN ON THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL DISPOSE OF DEMOLITION MATERIALS PROPERLY, OFF SITE. IN AN EXPEDITIOUS MANNER WORK AREA(S) SHALL BE CLEANED AT THE END OF EACH DAY.
- THE CONTRACTOR SHALL REMOVE ALL ITEMS AS OUTLINED IN THE DRAWINGS. ALL ITEMS LISTED FOR DEMOLITION ARE TO BE REMOVED. NO ITEMS WILL BE ABANDONED, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL PROVIDE MEANS OF PREVENTING DUST, FUMES AND DEBRIS FROM DEMOLITION AND CONSTRUCTION ACTIVITIES PENETRATING INTERIOR OF BUILDING.
- PROTECT ITEMS TO REMAIN AND ITEMS TO BE REINSTALLED FROM DAMAGE. IF DAMAGED DURING CONSTRUCTION ACTIVITIES, ITEMS SHALL BE REPLACED WITH NEW AT NO ADDITIONAL COST.
- ALL ITEMS NOTED TO BE REMOVED SHALL INCLUDE ANY MATERIALS ASSOCIATED WITH ITEM.
- SEE OTHER DISCIPLINES DRAWINGS FOR ADDITIONAL INFORMATION.
- VERIFY ALL STRUCTURAL ELEMENTS BEFORE ANY CUTTING, DRILLING, ETC. STRUCTURAL ELEMENTS ARE TO REMAIN IN TACT. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY FIELD CONDITION WHICH WOULD PRESENT A HAZARDOUS CONDITION TO THE STRUCTURE OR ITS OCCUPANTS BEFORE PROCEEDING. CONTRACTOR SHALL USE CAUTION DURING THE DEMOLITION, CUTTING, DRILLING, REMOVAL, ETC. OF ANY ITEM.
- COORDINATE ALL WORK AND ACCESS TO THE SITE WITH THE JACKSONVILLE HOUSING AUTHORITY.

KEYED DEMOLITION NOTES

- (B1) REFER TO STRUCTURAL FOR POST REPAIR.
- (B2) REFER TO STRUCTURAL FOR BEAM REPAIR.
- (B3) REFER TO STRUCTURAL FOR FLOOR JOIST REPAIR.
- (B4) EXTERIOR BRICK VENEER AND SHEATHING TO BE REMOVED TO SUBSTRATE. INSTALL NEW EXTERIOR SHEATHING, INSULATION, AND BRICK COLOR AND FINISH TO MATCH EXISTING ADJACENT BRICK.
- (B5) PATCH AND REPAIR CRACKED CONCRETE AS NECESSARY TO RECEIVE NEW VCT FINISH AS SELECTED BY THE OWNER.
- (B6) NEW PAINTED GYB BOARD TO MATCH EXISTING. REFER TO STRUCTURAL FOR TERMITES DAMAGE REPAIRS.
- (B7) NEW CONTROL JOINT AND SEALANT.
- (B8) SEAL ALL JOINTS BETWEEN NEW BRICK VENEER AND EXISTING WALL.
- (B9) PATCH AND REPAIR BRICK AROUND DOOR JAMB AS NECESSARY TO CREATE A FLUSH AND WATERPROOF CONDITION. REPOINT MORTAR AS NECESSARY.
- (B10) PROTECT ADJACENT SOFFIT, FASCIA, GUTTER AND DOWNSPOUTS FROM DAMAGE DURING CONSTRUCTION.

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GLE ASSOCIATES
AA 0002369 - CA 5483

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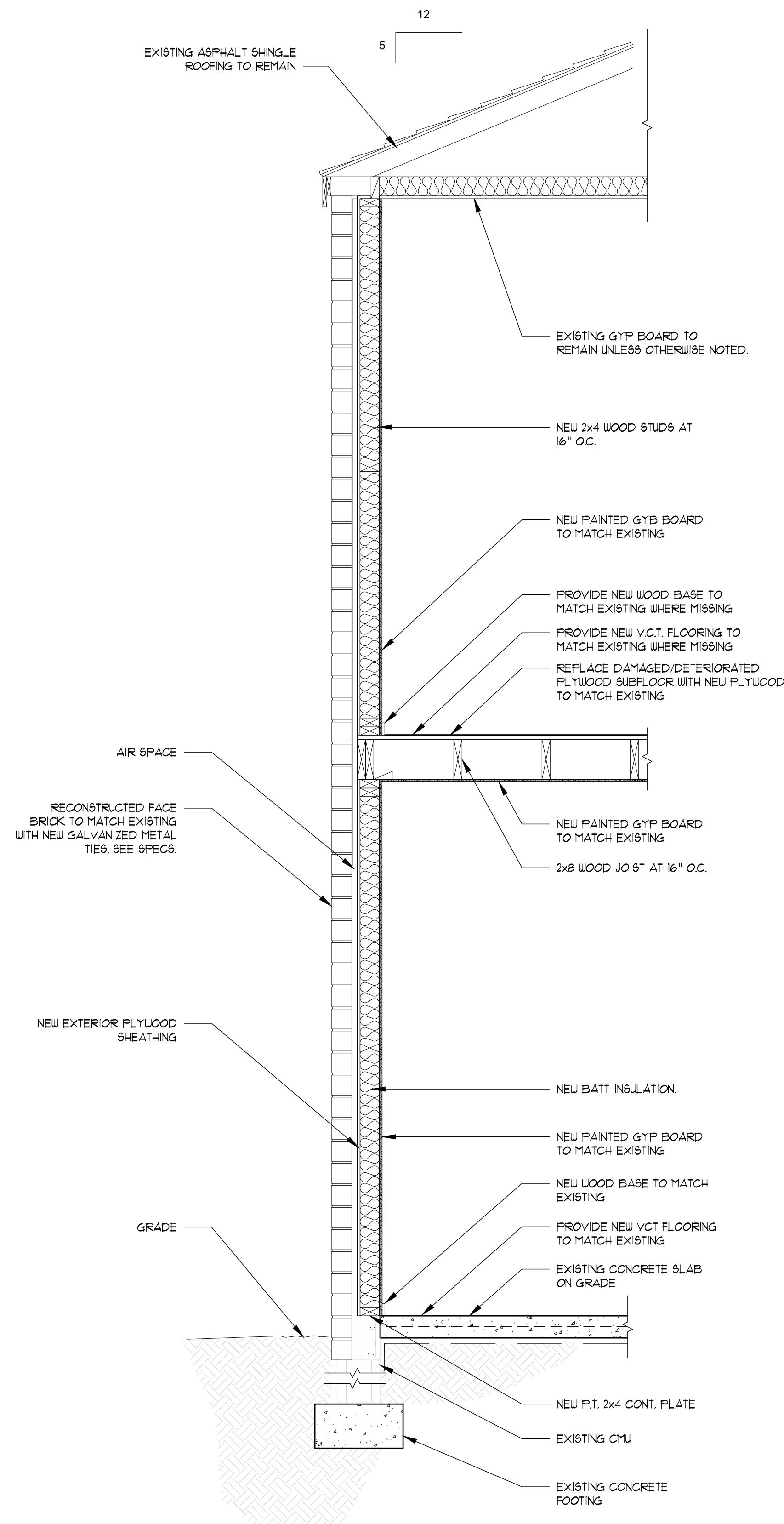
FLOOR PLANS
AND ELEVATIONS

A1.01

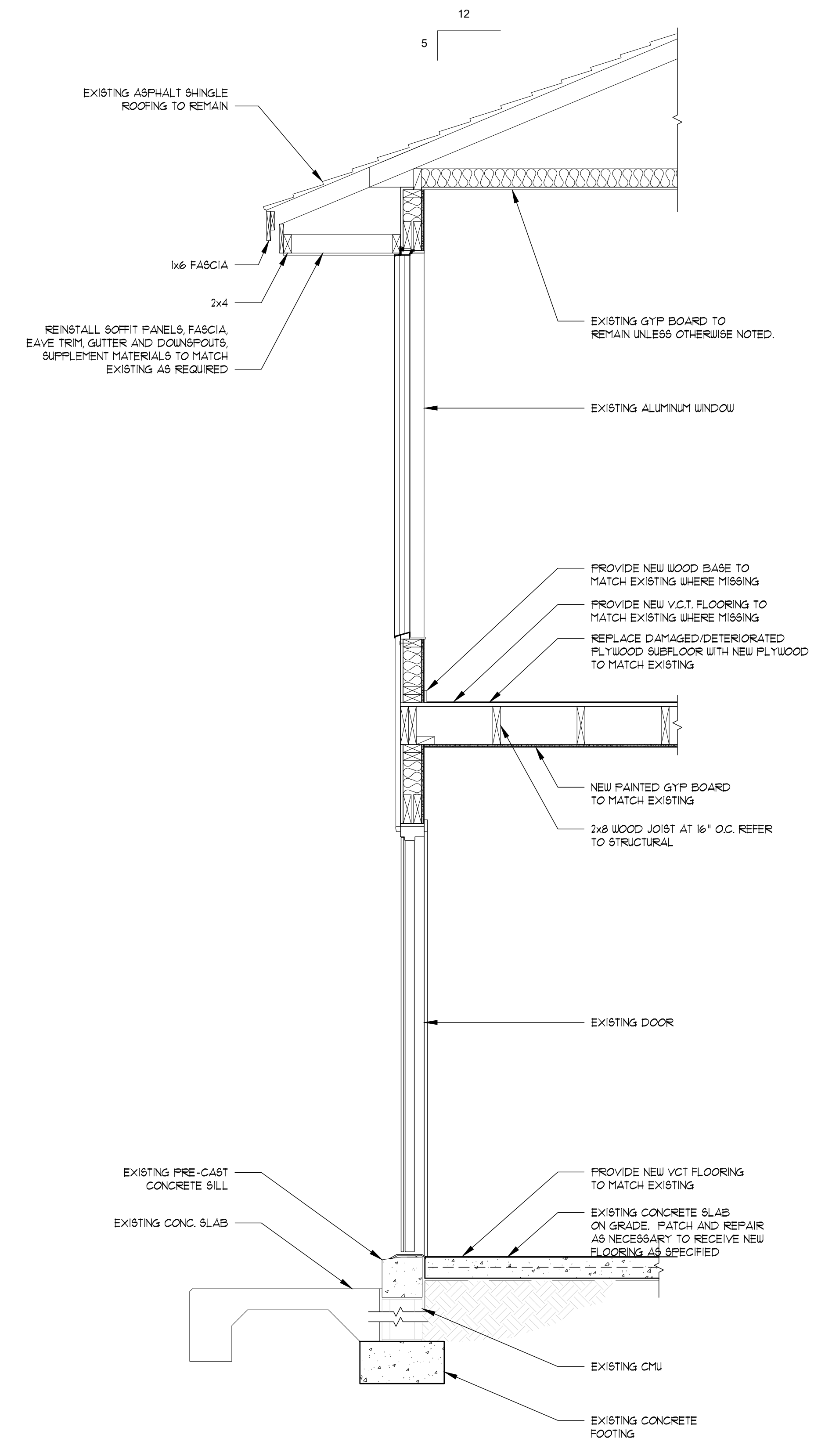
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2 WALL SECTION
SCALE: 3/4" = 1'-0"



1 WALL SECTION
SCALE: 3/4" = 1'-0"

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10. SCREW PILE TESTING

- A) TESTING SHALL BE REQUIRED ONLY IF SPECIFIED ON THE SHOP DRAWINGS OR IF DEEMED NECESSARY BY THE GEOTECHNICAL ENGINEER OR ENGINEER OF RECORD DUE TO UNUSUAL SUBSURFACE CONDITIONS.
B) TESTING, IF REQUIRED, SHALL BE PERFORMED IN ACCORDANCE WITH THE TEST PLAN CONTAINED IN THE SHOP DRAWINGS OR, IF REQUIRED BY THE GEOTECHNICAL ENGINEER DUE TO UNUSUAL SUBSURFACE CONDITIONS AND/OR IN ACCORDANCE WITH THE TEST PLAN SET FORTH BY THE ENGINEER OF RECORD PRIOR TO THE BEGINNING OF THE TEST.
C) THE TEST PLAN SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:
1) THE NUMBER AND LOCATIONS OF TESTS, BASED ON SITE AND SUBSURFACE CONDITIONS.
2) THE MAXIMUM LOAD TO BE APPLIED DURING THE TEST.
3) THE ACCEPTANCE CRITERIA INCLUDING LOAD VERSUS DISPLACEMENT.
D) THE TEST EQUIPMENT SHALL BE CAPABLE OF APPLYING A COMPRESSION LOAD EQUAL TO THE MAXIMUM TEST LOAD SPECIFIED IN THE TEST PLAN.
E) IF THE COMPRESSION TEST REQUIRES ADDITIONAL SCREW PILES FOR REACTION, THESE SCREW PILES SHALL BE INSTALLED TO THE SAME TORQUE REQUIREMENTS AS THE TEST SCREW PILE.
F) THE SCREW PILE SHALL BE TESTED TO THE GREATER OF THE SAFETY FACTORED LOAD OR ITS ULTIMATE CAPACITY, DEFINED AS THE MAXIMUM LOAD THE SCREW PILE CAN RESIST AT CONTINUOUS CREEP CONDITIONS.
G) TEST RECORDS SHALL INCLUDE THE FOLLOWING:
1) ITEMS AS OUTLINED IN SECTION 8 OF THIS SPECIFICATION.
2) MAGNITUDES OF APPLIED LOADS AND CORRESPONDING DISPLACEMENTS.

DRILL-IN BOLTS, SCREWS AND DOWELS

- 1. ADHESIVE DOWELING RODS/BOLTS SHALL BE CARBON STEEL THREADED ROD CONFORMING TO ISO 898 5.8 WITH A MINIMUM TENSILE STRENGTH OF 72.5 KSI (500MPA) AND A MINIMUM YIELD OF 58 KSI (400MPA). THREADED RODS WITH NUTS AND WASHERS INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
2. ANCHORING ADHESIVE SHALL BE A TWO-COMPONENT SYSTEM SUPPLIED IN MANUFACTURER'S STANDARD SIDE-BY-SIDE FOIL PACKAGE AND DISPENSED THROUGH A STATIC-MIXING NOZZLE SUPPLIED BY THE MANUFACTURER. ADHESIVE SHALL BE TESTED AND APPROVED TO MEET THE MINIMUM REQUIREMENTS OF ACI 355.4 FOR CRACKED AND UNCRACKED CONCRETE RECOGNITION. PROVIDE HILTI HY 200 SAFE SET (ESR 3187) OR RE 500 V3 (ESR 3814) ANCHORS BY HILTI OR EQUAL (E.G. SIMPSON SET-XP, ATC ULTRABOND 365CC) UNLESS SPECIFIED OTHERWISE IN THE STRUCTURAL DOCUMENT.
3. DRILL-IN REBAR DOWELS SHALL BE SET USING A TWO-PART ADHESIVE AS DESCRIBED ABOVE.
4. EXPANSION BOLTS SHALL BE HILTI KB TZ (ESR 1917) OR EQUAL BOLT SHALL MEET DUCTILITY REQUIREMENTS OF ACI 318 SECTION D1.
5. EXPANSION BOLTS SHALL HAVE CARBON STEEL ANCHOR BODY AND NUT AND WASHER SHALL BE ELECTROPLATED ZINC COATING CONFORMING TO ASTM B633 TO A MINIMUM OF 5MM. THE STAINLESS STEEL ANCHOR BODY, NUT AND WASHER, AND EXPANSION SLEEVE SHALL CONFORM TO TYPE 316 STAINLESS STEEL. EXPANSION ANCHORS SHALL MEET THE MINIMUM REQUIREMENTS OF ACI 355.2 FOR CRACKED AND UNCRACKED CONCRETE. INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
6. MASONRY SCREWS SHALL BE 1/4" DIAMETER WITH 1-5/8" MINIMUM EMBEDMENT INSTALLED IN DRILLED HOLES USING AN APPROPRIATE BIT DIAMETER.
7. SCREWS SHALL HAVE A BODY MADE OF CARBON STEEL AND SHALL BE HEAT TREATED AND SHALL HAVE 8MM ZINC COATING IN ACCORDANCE WITH EN ISO 4042. PROVIDE HUS EZ (ESR 3027) SCREWS BY HILTI OR EQUAL.
8. HEAVY-DUTY CONCRETE AND MASONRY SCREWS SHALL BE TESTED AND APPROVED TO MEET THE MINIMUM REQUIREMENTS OF ACI 355.2. HILTI KWICK HUS EZ (ESR-3027 FOR CONCRETE, ESR-3056 FOR GROUT FILLED MASONRY). HEAVY DUTY SCREWS BY HILTI OR EQUAL.
9. THE CONTRACTOR SHALL ARRANGE FOR AN ANCHOR MANUFACTURER'S REPRESENTATIVE TO PROVIDE ONSITE INSTALLATION TRAINING FOR ALL OF THE ANCHORING PRODUCTS SPECIFIED. MCCARTHY AND ASSOCIATES TO RECEIVE DOCUMENTED CONFIRMATION THAT ALL OF THE CONTRACTOR'S PERSONNEL WHO ARE TO INSTALL ANCHORS ARE TRAINED PRIOR TO THE COMMENCEMENT OF INSTALLATION.

CARPENTRY

- 1. DIMENSIONED LUMBER SHALL BE DRESSED S4S, AND SHALL BEAR THE GRADE STAMP OF THE MANUFACTURER'S ASSOCIATION.

- 2. LUMBER SHALL BE SOUND, SEASONED, AND FREE FROM WARP.
3. LUMBER SHALL BE SOUTHERN PINE NO. 2 GRADE OR BETTER; WITH 19% MAXIMUM MOISTURE CONTENT, UNLESS NOTED OTHERWISE ON THE PLANS.
4. LUMBER IN CONTACT WITH MASONRY OR CONCRETE, OR EXPOSED TO WEATHER, SHALL BE PRESSURE TREATED.
5. MINIMUM COATING REQUIREMENTS FOR METAL CONNECTORS AND FASTENERS:
A) INTERIOR - ZINC GALVANIZED (G90)
B) EXTERIOR - GALVANIZED (G185) OR HOT DIP GALVANIZED (HDG)
6. WHEN USING STAINLESS STEEL CONNECTORS, USE STAINLESS STEEL FASTENERS. WHEN USING G185 OR HDG CONNECTORS, USE FASTENERS GALVANIZED PER ASTM A153.
7. PLYWOOD SHEATHING SHALL BE DFPA CD WITH EXTERIOR GLUE. ALL ROOF SHEATHING TO BE INSTALLED WITH PLYCLIPS.
8. INSTALL BRIDGING IN ALL FLOOR OR ROOF JOISTS AT 10'-0" O.C. MAXIMUM. INSTALL BLOCKING IN ALL WALL STUDS AT 4'-0" ON CENTER TO COINCIDE WITH PLYWOOD JOISTS.
9. NAILING AND BOLTING SHALL COMPLY WITH AMERICAN INSTITUTE OF TIMBER CONSTRUCTION REQUIREMENTS.
10. CONNECTION HARDWARE SHALL BE SUPPLIED BY SIMPSON STRONG-TIE CO., INC. OR EQUIVALENT. SUBMIT CUT SHEETS OF ALTERNATIVE CONNECTION HARDWARE TO ENGINEER FOR APPROVAL.
11. STUDS SHALL BE DOUBLED AT ALL ANGLES, AROUND ALL OPENINGS, AND BELOW ALL BEAMS AND GIRDER TRUSSES UNLESS NOTED OTHERWISE. STUDS SHALL BE TRIPLED AT ALL CORNERS.
12. OUTSIDE CORNERS SHALL BE BRACED WITH A DIAGONAL 1 X 4 LET INTO OUTSIDE EDGE OF 2 X 4 STUDS, UNLESS PLYWOOD SHEATHING IS SHOWN ON DRAWINGS.
13. WOOD LINTELS OVER OPENINGS SHALL BE 2 X 6 HEADERS FOR SPANS UP TO 6'-0" AND 2 X 8 HEADERS FROM 6'-0" TO 7'-0". SEE PLANS FOR SPANS GREATER THAN 7'-0". ALSO PROVIDE 1/2" PLYWOOD SPACER PLATE BETWEEN BEAMS PLYS. FINISHED HEADER WIDTH SHALL MATCH WALL WIDTH. NAIL TOGETHER WITH 16D NAILS AT 12" ON CENTER TOP AND BOTTOM.
14. FLITCH BEAMS, WHERE SPECIFIED, SHALL BE BOLTED TOGETHER WITH ONE 3/4" DIAMETER BOLT TOP AND BOTTOM OVER SUPPORT OR AT END OF BEAM. INTERMEDIATE BOLTS TO BE SPACED AT 2'-0" O.C. TOP AND BOTTOM, STAGGERED FULL LENGTH OF BEAM (1/2" DIAMETER BOLTS). STEEL PLATES FOR FLITCH BEAMS SHALL CONFORM TO ASTM A_36.
15. PLACE A SINGLE PLATE AT THE BOTTOM AND A DOUBLE PLATE AT THE TOP OF ALL LOAD-BEARING STUD WALLS. 2X SOLE PLATES AT THE EDGES OF SLABS SHALL BE ATTACHED TO THE SLAB WITH SIMPSON MAS MUDSILL ANCHORS (WITH 6 10D NAILS) AT 2'-8" O.C. AT INTERIOR STUD WALLS, PROVIDE EITHER HILTI DN72 (WITH 7/8" DIAMETER 5/64" THICK WASHERS) POWDER DRIVEN FASTENERS AT 0'-10" ON CENTER, OR 1/2" DIAMETER HILTI KWIK-BOLTS (EXPANSION ANCHORS(WITH 6" EMBEDMENT, AT 4'-0" O.C. RED-HEAD FASTENERS OF EQUIVALENT SIZE MAY BE USED. ALL OTHER SUBSTITUTIONS MUST BE APPROVED BY MCCARTHY AND ASSOCIATES, INC. PRIOR TO INSTALLATION. SEE THE SHEAR WALL SCHEDULE FOR SPECIAL SOLE PLATE ATTACHMENT AT SHEAR WALLS.
16. WALL SHEATHING SHALL BE: (SEE SHEAR WALL SCHEDULE FOR REQUIREMENTS AT SHEAR WALLS)
A) AT INTERIOR WALLS PROVIDE 1/2" OR 4/8" GYPSUM WALLBOARD. (SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS) EACH SIDE OF STUDS, NAILED WITH 5D COOLER NAILS AT 7" O.C. (USE 6D COOLER NAILS FOR 5/8" WALLBOARD) AT ALL SUPPORTS. PROVIDE SOLID 2X BLOCKING AT ALL SHEET EDGES. BLOCKING IS NOT REQUIRED AT NON-LOAD BEARING PARTITIONS.
B) AT EXTERIOR WALLS SHEATH THE INTERIOR FACE OF WALLS WITH GYPSUM WALLBOARD AS NOTED ABOVE FOR INTERIOR WALLS. SHEATH THE EXTERIOR FACE OF WALLS WITH 5/8" C-DX PLYWOOD NAILED WITH 10D NAILS AT 6" ON CENTER AT EDGES AND AT 12" O.C. AT ALL INTERMEDIATE SUPPORTS. PROVIDE SOLID DOUBLE 2X BLOCKING AT ALL SHEET EDGES. BLOCKING IS NOT REQUIRED AT NON-LOAD BEARING PARTITIONS.

- 17. FLOOR SHEATHING IS 3/4" TONGUE AND GROOVE PLYWOOD, GLUED AND NAILED WITH 10D NAILS AT 6" O.C. AT SUPPORTED EDGES, AND 10D NAILS AT 12" O.C. AT INTERMEDIATE SUPPORTS. DO NOT USE OSB FLOORING.

- 18. ROOF SHEATHING SHALL BE 5/8" EXTERIOR GRADE PLYWOOD OR OSB NAILED WITH 10D NAILS AT 4" O.C. AT SUPPORTED EDGES, AND 10D NAILS AT 6" O.C. AT INTERMEDIATE SUPPORTS. PROVIDE ONE PLYWOOD CLIP PER SPAN BETWEEN SHEET EDGES.

PROVIDE SOLID 2X BLOCKING BETWEEN SUPPORTS AT ALL HIPS, RIDGES, VALLEYS, AND CHANGES IN ROOF SLOPE. USE RING SHANK NAILS WHERE MEAN ROOF HEIGHT EXCEEDS 25'-0".

19. NAILING SCHEDULE

Table with columns: CONNECTION SPACING, COMMON NAIL, OR, NUMBER. Rows include SOLE PLATE TO TRUSS OR BLOCKING, STUD TO SOLE PLATE, TOE NAIL, DOUBLE STUDS, FACE NAIL, DOUBLE TOP PLATES, FACE NAIL, TOP PLATES LAPS AND INTERSECTIONS, TRUSSES, LAPS OVER WALLS, FACE NAIL, BUILT-UP CORNER STUDS, STUDS TO SOLE PLATE, END NAIL.

20. FASTENER SUBSTITUTIONS

ALL NAILS ARE COMMON NAILS, UNLESS NOTED OTHERWISE. THE FOLLOWING FASTENERS ARE ACCEPTABLE SUBSTITUTIONS. ALL ALTERNATE FASTENERS SHALL BE SPACED AT THE SAME SPACING AS THE SCHEDULED FASTENERS.

Table with columns: SCHEDULED FASTENER, ALTERNATE FASTENER. Rows include 8D COMMON NAIL, 10D COMMON NAIL, 6D COOLER NAIL, 8D RING SHANK NAIL, 8D SCREW SHANK NAIL, 0.131 P-NAIL, 10D RING SHANK NAIL, 10D SCREW SHANK NAIL, 0.148 P-NAIL.

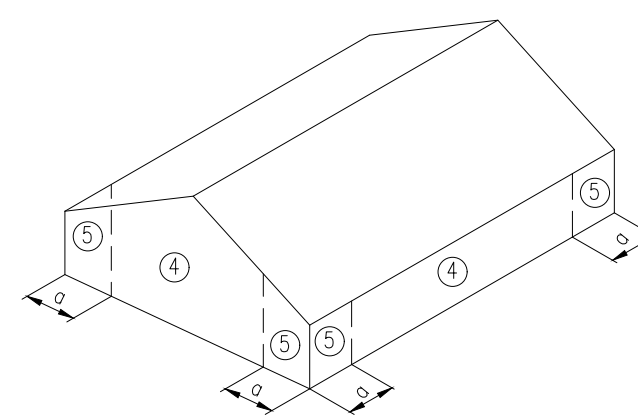
- 21. GUN DRIVEN NAILS MUST BE SUBMITTED FOR REVIEW WITH APPROPRIATE BACK-UP DATA.

- 22. OSB SHALL NOT HAVE A MOISTURE CONTENT GREATER THAN 15%. PROLONGED EXPOSURE TO WETTING & MOISTURE WILL DAMAGE AND REDUCE THE STRUCTURAL CAPACITY OF THE SHEATHING. SPECIAL CARE SHALL BE TAKEN DURING CONSTRUCTION TO KEEP THE OSB DRY AT ALL TIMES (INCLUDING DURING TRANSPORTATION, STORAGE, INSTALLATION, ETC.)

23. PRESSURE TREATED WOOD TABLE: AWWA STANDARD U1-11

Table with columns: PRESERVATIVE, COMMODITY, APPLICATION, EXPOSURE ABOVE, CATEGORY, SECTION, USE, SPECIFICATION AND RETENTION. Rows include DECKING, JOISTS AND BEAMS, POSTS SAWN, PLYWOOD FLOOR, PLYWOOD FLOOR, SILL PLATES.

NOTES: 1. REFER TO AWWA U1-11 FOR ALLOWABLE PRESERVATIVES AND RETENTIONS.



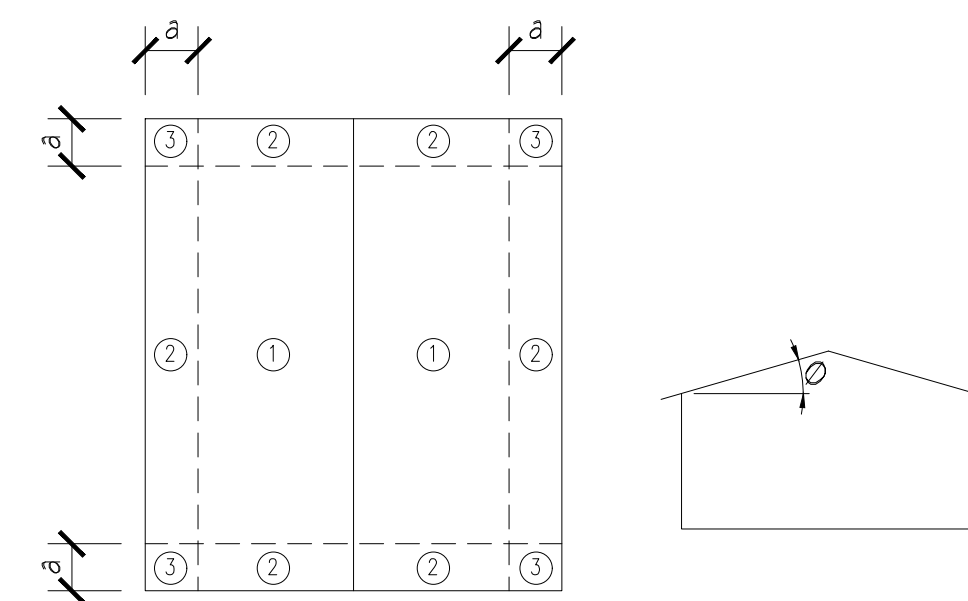
DOORS, WINDOWS AND WALLS

ULTIMATE GROSS WIND LOADS MAIN ROOF ROOFING MATERIALS. Table with columns: COMPONENTS AND CLADDING, ROOF ZONE (1, 2, 3), PRESSURE (psf), SUCTION (psf).

ULTIMATE GROSS WIND LOADS MAIN ROOF JOISTS OR TRUSSES. Table with columns: COMPONENTS AND CLADDING, ROOF ZONE (1, 2, 3), PRESSURE (psf), SUCTION (psf).

ULTIMATE NET WIND LOADS OVERHANGS AND CANOPIES JOISTS OR TRUSSES. Table with columns: COMPONENTS AND CLADDING, ROOF ZONE (1, 2, 3), PRESSURE (psf), SUCTION (psf).

ULTIMATE GROSS WIND PRESSURES (PSF) EXTERIOR DOORS, WINDOWS, WALLS. Table with columns: EFFECTIVE AREA (ft^2), ZONE 4 (PRESSURE, SUCTION), ZONE 5 (PRESSURE, SUCTION).



GABLE ROOF (theta <= 10 degrees)

COMPONENT AND CLADDING LOADING DIAGRAMS

- 1. a=7'-3"
2. THIS BUILDING IS DESIGNED AS AN ENCLOSED STRUCTURE. ALL EXTERIOR COMPONENTS (DOORS, WINDOWS, ETC.) MUST BE DESIGNED TO WITHSTAND THE WIND LOADINGS SPECIFIED FOR THE DESIGN OF COMPONENTS AND CLADDING IN THE TABLES. IN ADDITION, ALL AREAS OF EXTERIOR GLAZING MUST BE CERTIFIED FOR MISSILE IMPACT OR PROTECTED BY WIND-BORNE DEBRIS BY A SCREEN BARRIER.

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James Vincent Barnes III, P.E.
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NOT FOR CONSTRUCTION - NOT FOR FINAL PRICING - SUBJECT TO CHANGE

Table with columns: NO., REVISIONS, DATE. Rows for tracking changes.

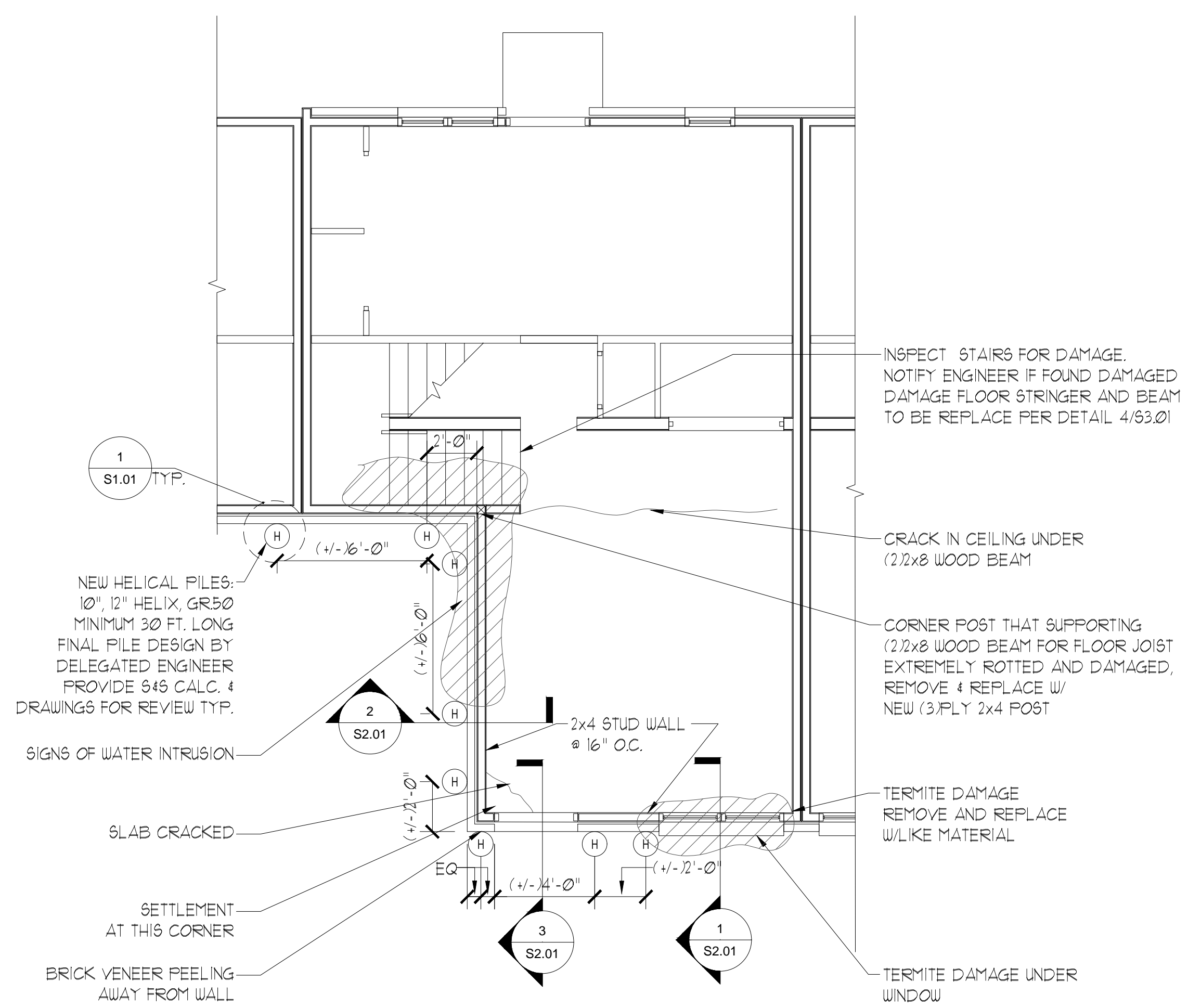
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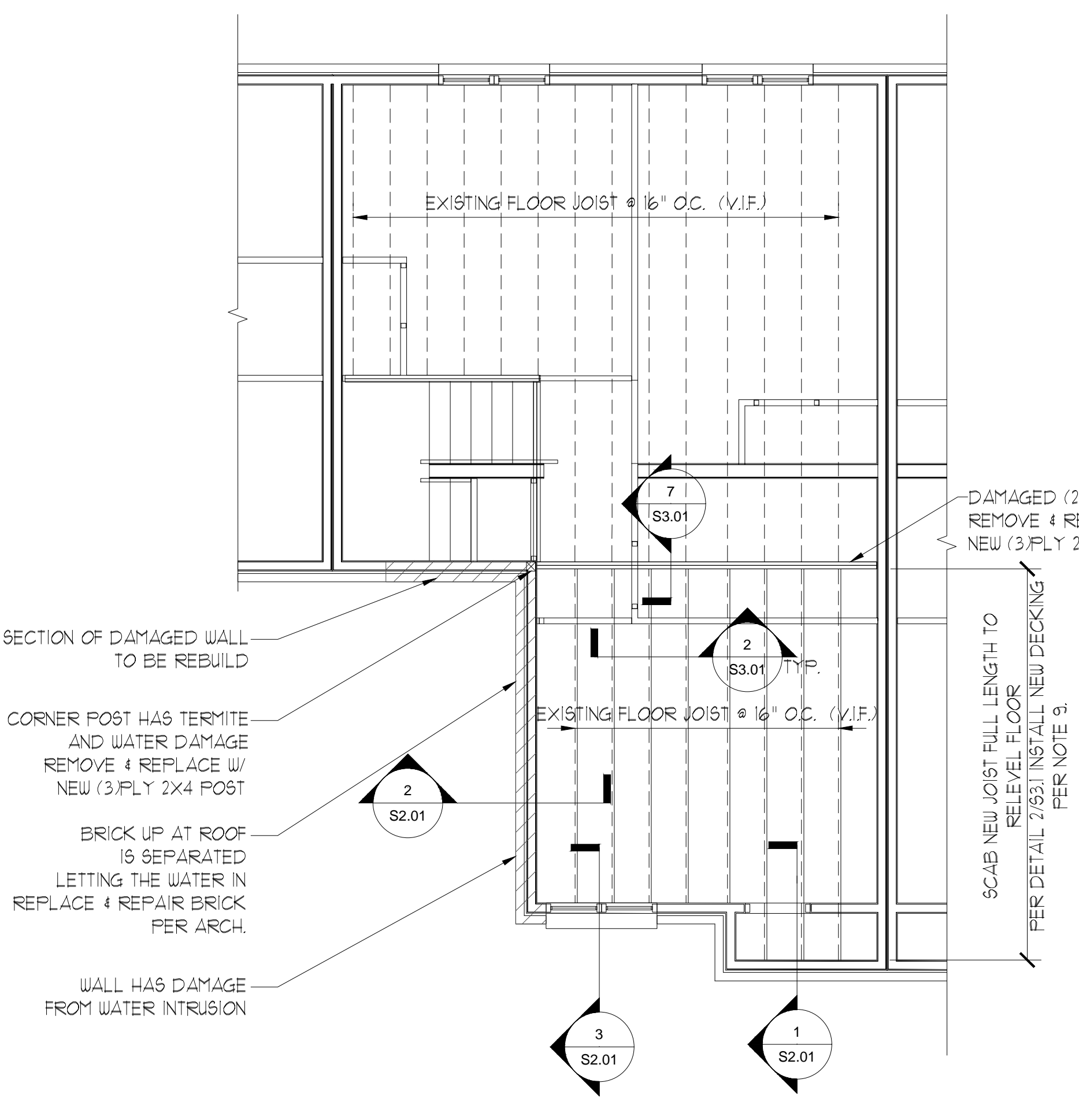
STRUCTURAL SPECIFICATION, WIND LOAD TABLES

S0.02

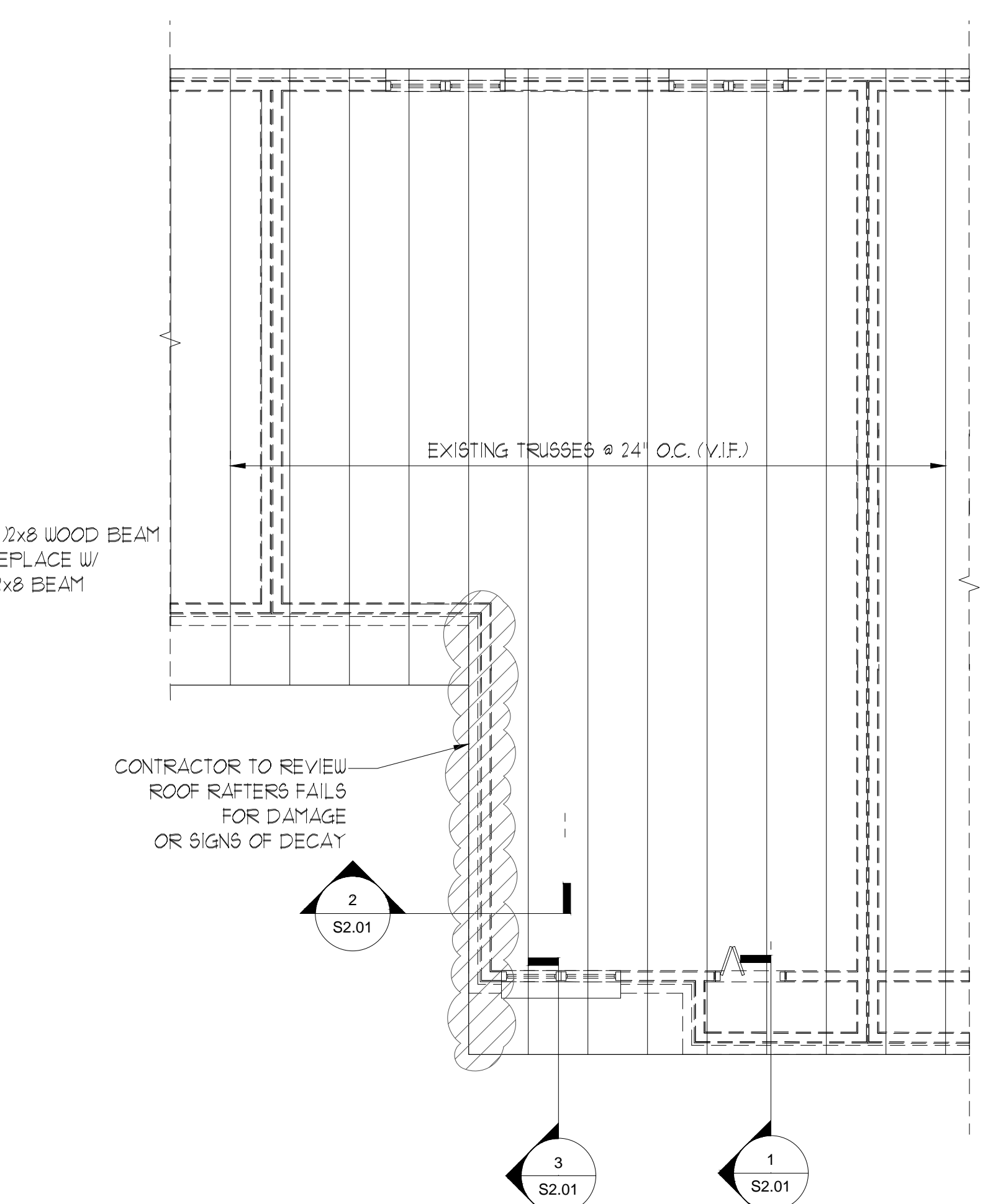
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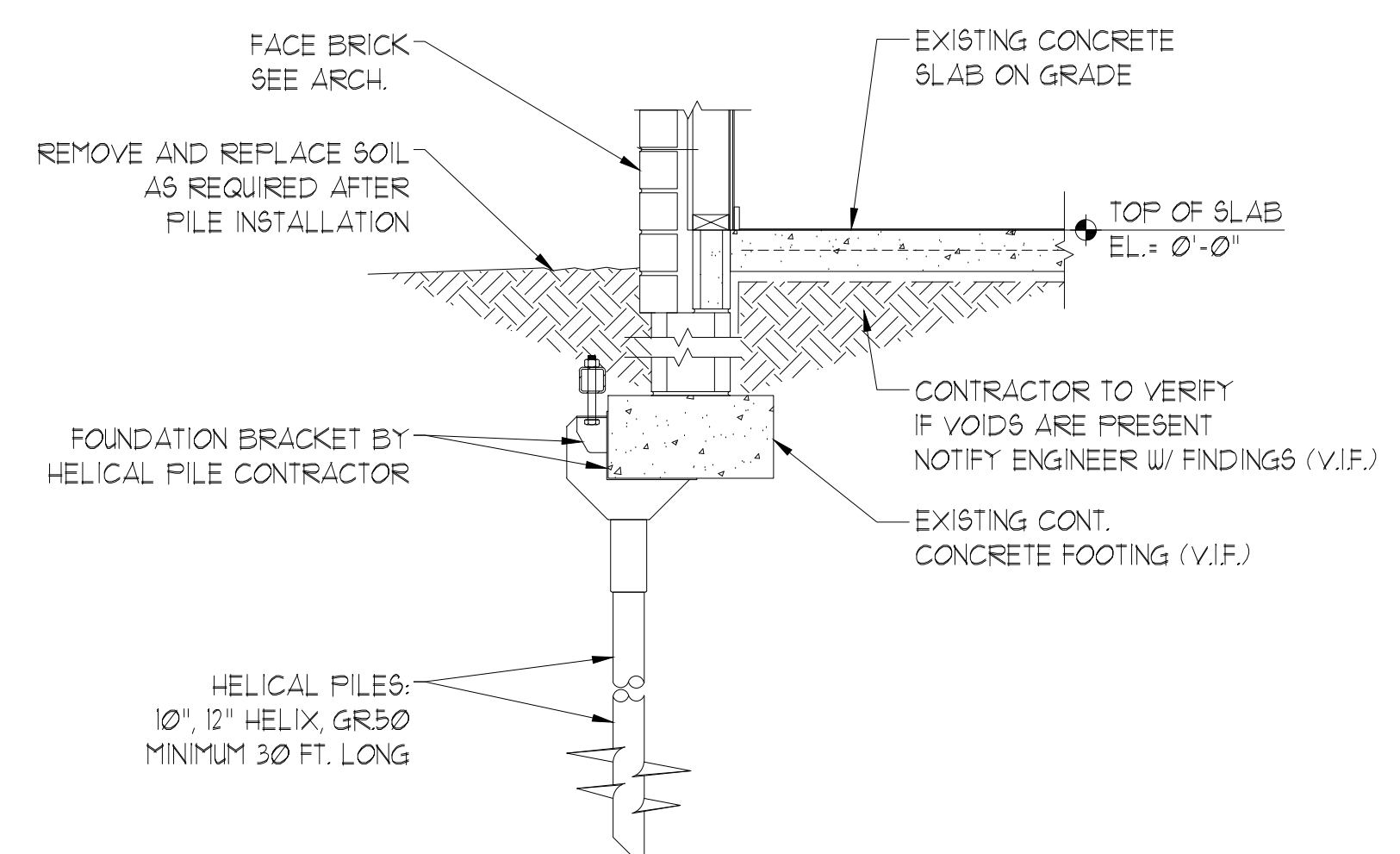
**FIRST FLOOR PLAN
 (UNIT #404)**
 SCALE: 1/4" = 1'-0"



**SECOND FLOOR PLAN
 (UNIT #404)**
 SCALE: 1/4" = 1'-0"



**ROOF FRAMING PLAN
 (UNIT #404)**
 SCALE: 1/4" = 1'-0"



**FOUNDATION STABILIZATION
 DETAIL**
 1

- FOUNDATION NOTES**
1. (H) HELICAL PILE W/FOUNDATION BRACKET BY DELEGATED ENGINEER PROVIDE S4S CALCULATION & DRAWINGS FOR REVIEW. ACTUAL LOCATION OF PILE WILL BE BASED ON FIELD CONDITION.
 2. EXISTING FOUNDATION IS 12"x24" CONT. W/MASONRY STEM WALL (V.I.F.)
 3. CONTRACTOR TO VERIFY SIZE AND LOCATIONS OF EXISTING FOUNDATION PRIOR TO HELICAL PILE INSTALLATION.
 4. SEE ARCH FOR FLOOR ELEVATION
 5. REFER TO S0.01 & S0.02 FOR SPECIFICATION.

- GENERAL DEMOLITION NOTES**
1. THIS PLAN SHOWS GENERAL ARCHITECTURAL DEMOLITION WORK TO BE PERFORMED, IT DOES NOT RELIEVE THE CONTRACTOR FROM OTHER DEMOLITION WORK REQUIRED TO PRODUCE THE BUILDING MODIFICATIONS SHOWN ON THE REMAINING CONTRACT DOCUMENTS.
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- FLOOR FRAMING NOTES**
1. (H) DAMAGED SECTION OF 2x WALL TO BE REBUILD. CONTRACTOR TO REMOVE ALL DRYWALL AND EXTERIOR VENEER PRIOR TO REBUILDING.
 2. EXISTING 2x4 EXTERIOR WALL AT 16" O.C. W/ 3 3/8" BRICK VENEER
 3. 2ND. FLOOR IS 2x8 FLOOR JOIST AT 16" O.C. (V.I.F.)
 4. FULLY NAIL ALL SIMPSON CONNECTORS TYP. PER SPEC. OF MFG.
 5. CONTRACTOR TO INSPECT ALL EXTERIOR LOAD BY 2x WOOD WALL STUDS AND INSTALL 2x 6ISTER SLAB FULL HEIGHT W/ 2 ROWS OF 10D NAILS AT 8" O.C. UNO. AT LOCATIONS OF DAMAGED STUDS.
 6. SEE ARCH. FOR DEMO PROCEDURES OR REMOVAL DISPOSAL OF ALL MATERIALS.
 7. 2ND FLOOR TO BE RELEVELD AS PART OF REPAIR SHORING BE PROVIDED BY DELEGATED FLORIDA REGISTER ENGINEER, PROVIDE S4S CALCULATION AND DRAWINGS FOR REVIEW.
 8. SEE ARCH. FOR BRICK VENEER CONNECTION DETAILS.
 9. REMOVE 2ND FLOOR DECKING AT LOCATION OF UN LEVEL FLOOR TO INSTALL 2x12 6ISTER SLAB TO RELEVEL FLOOR. INSTALL NEW 1/2" T&G PLYWOOD DECKING W/ 8D NAILS AT 6" O.C. EDGES AND FIELD.

- GENERAL PROJECT NOTES**
1. THE DAMAGE DEPICTED ON THESE DRAWINGS WERE IDENTIFIED DURING NON-INTRUSIVE & VISUAL INSPECTIONS IN JULY 2018. THE INSPECTION INCLUDED SITE ACCESS FROM GROUND LEVEL OR READILY ACCESSIBLE AREAS. THESE REPAIR PLANS SHALL NOT BE CONSIDERED AN ULTIMATE GUARANTEE OF ALL REQUIRED REPAIR WORK. THE QUANTITIES REQUIRED TO REPAIR ACTUAL DAMAGE CONDITIONS WILL BE DETERMINED AFTER A SURVEY IS COMPLETED BY THE CONTRACTOR. THE RESULTS OF THEIR SURVEY WILL BE PROVIDED TO THE ENGINEER, OWNER AND ARCHITECT BEFORE COMMENCING WITH ANY WORK.
 2. THE REPAIR PLANS AND THE BOOK SPECIFICATIONS MUST BE USED TOGETHER IN A COMPLETE PACKAGE. THE SPECIFICATIONS ARE AN INTEGRAL PART OF THE SCOPE OF WORK AND MUST BE READ AND UNDERSTAND IN ITS ENTIRETY.
 3. IF FIELD CONDITIONS ARE IDENTIFIED TO BE DIFFERENT FROM THE STRUCTURAL REPAIR DRAWINGS THE CONTRACTOR SHALL PROVIDE WRITTEN NOTICE IN THE FORM OF A RFI TO ARCHITECT AND MCCARTHY AND ASSOCIATES INC. A DIVISION OF PENNONI PRIOR TO ATTEMPTING REPAIRS.

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JACKSONVILLE HOUSING AUTHORITY
 VICTORY POINTE APARTMENTS
 UNIT 404 BUILDING REPAIRS
 6750 RAMONA BLVD.
 JACKSONVILLE, FL 32205

NO.	REVISIONS	DATE

JOB NUMBER:
18000-19651
 ISSUE DATE: 07-23-18
 DRAWN BY: SV
 CHECKED BY: VB
 ISSUE: 100% DD

TAMPA, FL

5405 Cypress Center Drive
Suite 110
Tampa, Florida 33609
813.241.8350

- ORLANDO, FL
- GAINESVILLE, FL
- FT. LAUDERDALE, FL
- JACKSONVILLE, FL
- ATLANTA, GA
- NASHVILLE, TN

GLE ASSOCIATES
AA 000269 - CA 5453

McCarthy and Associates

A DIVISION OF PENNONI ASSOCIATES, INC.
2555 Nursery Road, Suite 101
Clearwater, FL 33764-3080
(727) 536-8772
Florida Coa 7819
James Vincent Barnes III, P.E.
Florida P.E. 77754
Pennoni Project No. GLE118003

Drawing Not Valid Unless Signed,
Sealed & Dated by Registered Professional

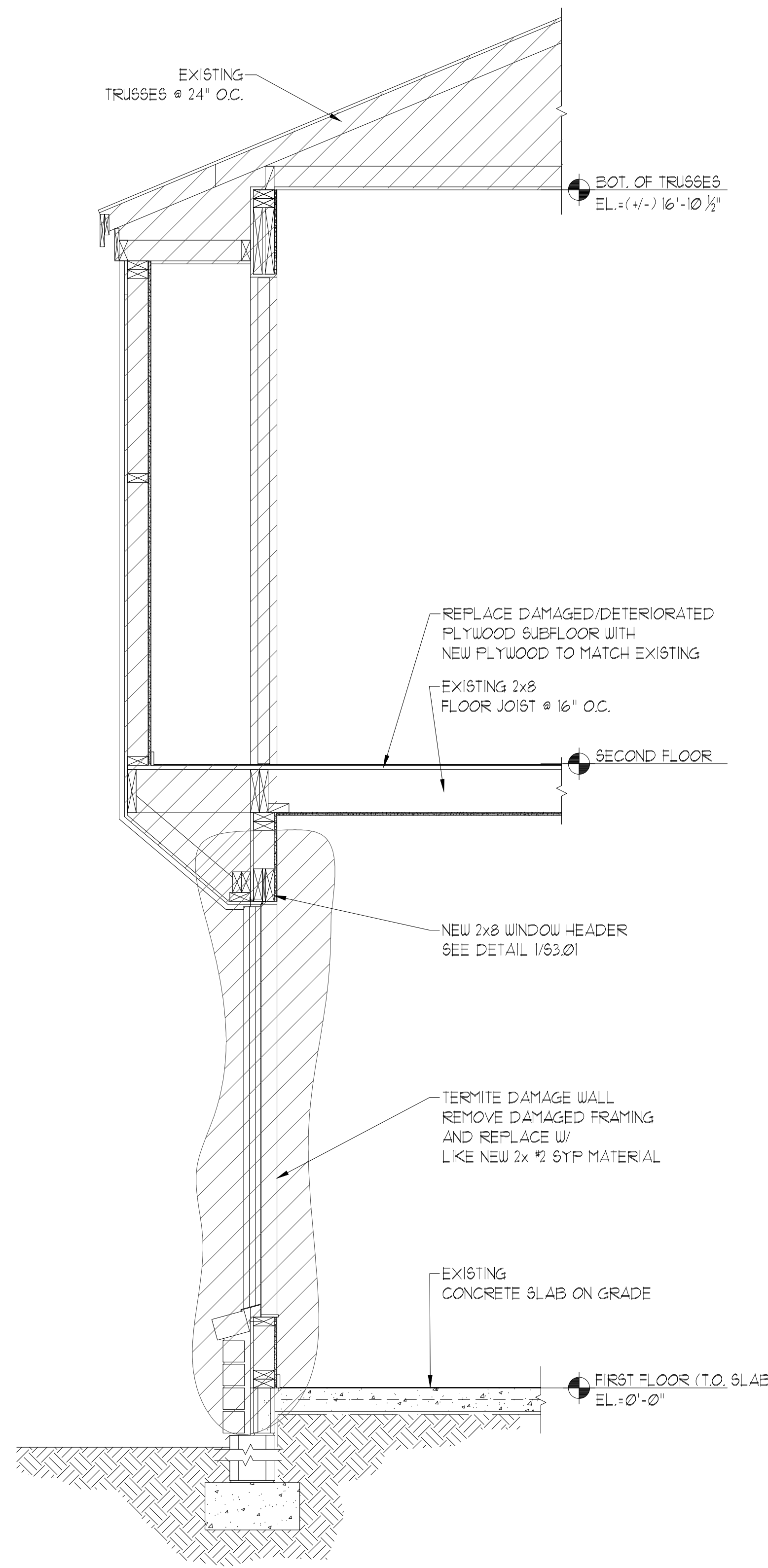
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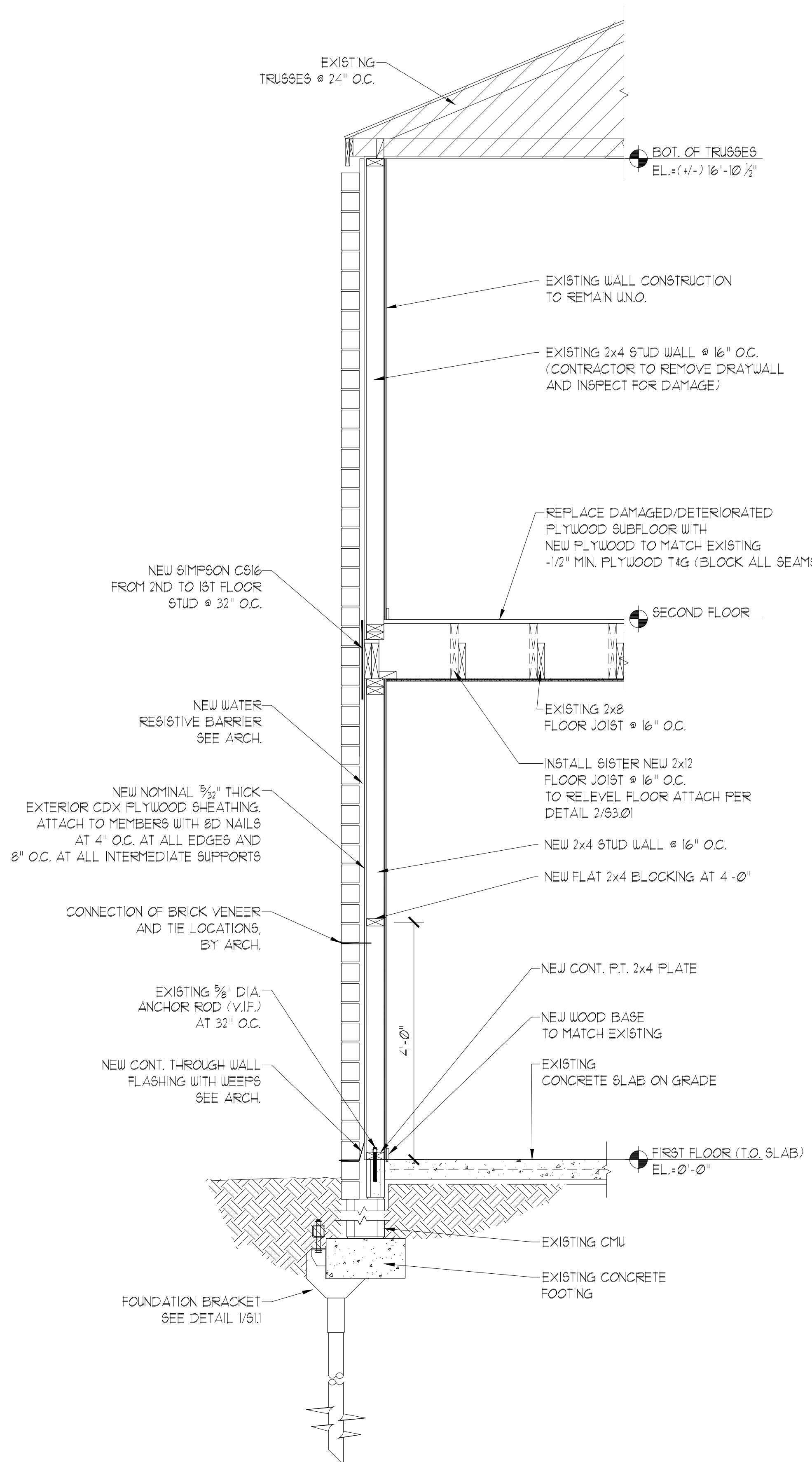
ISSUE DATE: 07-23-18
DRAWN BY: SV
CHECKED BY: VB
ISSUE: 100% DD



WALL SECTION

SCALE: 3/4" = 1'-0"

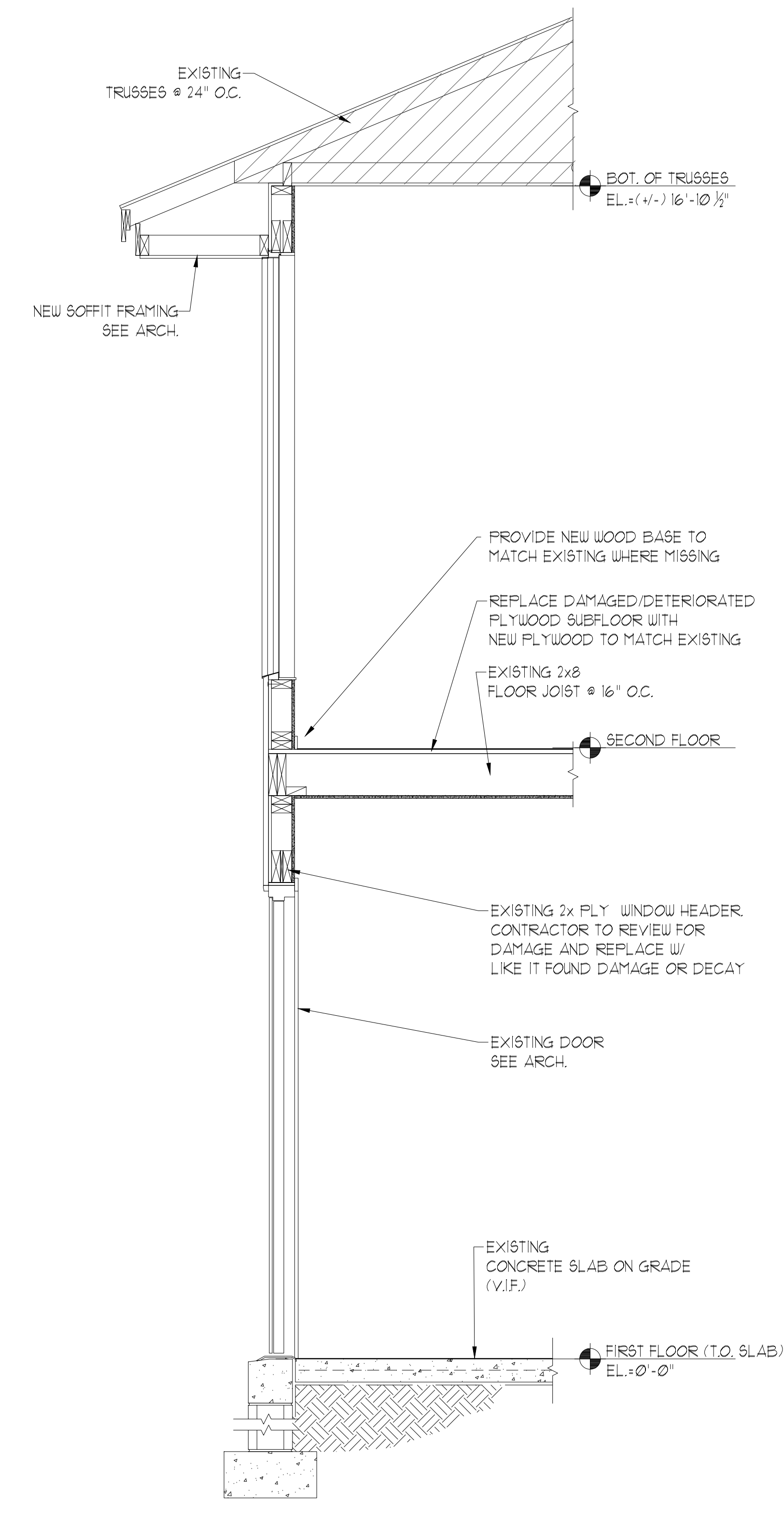
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WALL SECTION

SCALE: 3/4" = 1'-0"

2



WALL SECTION

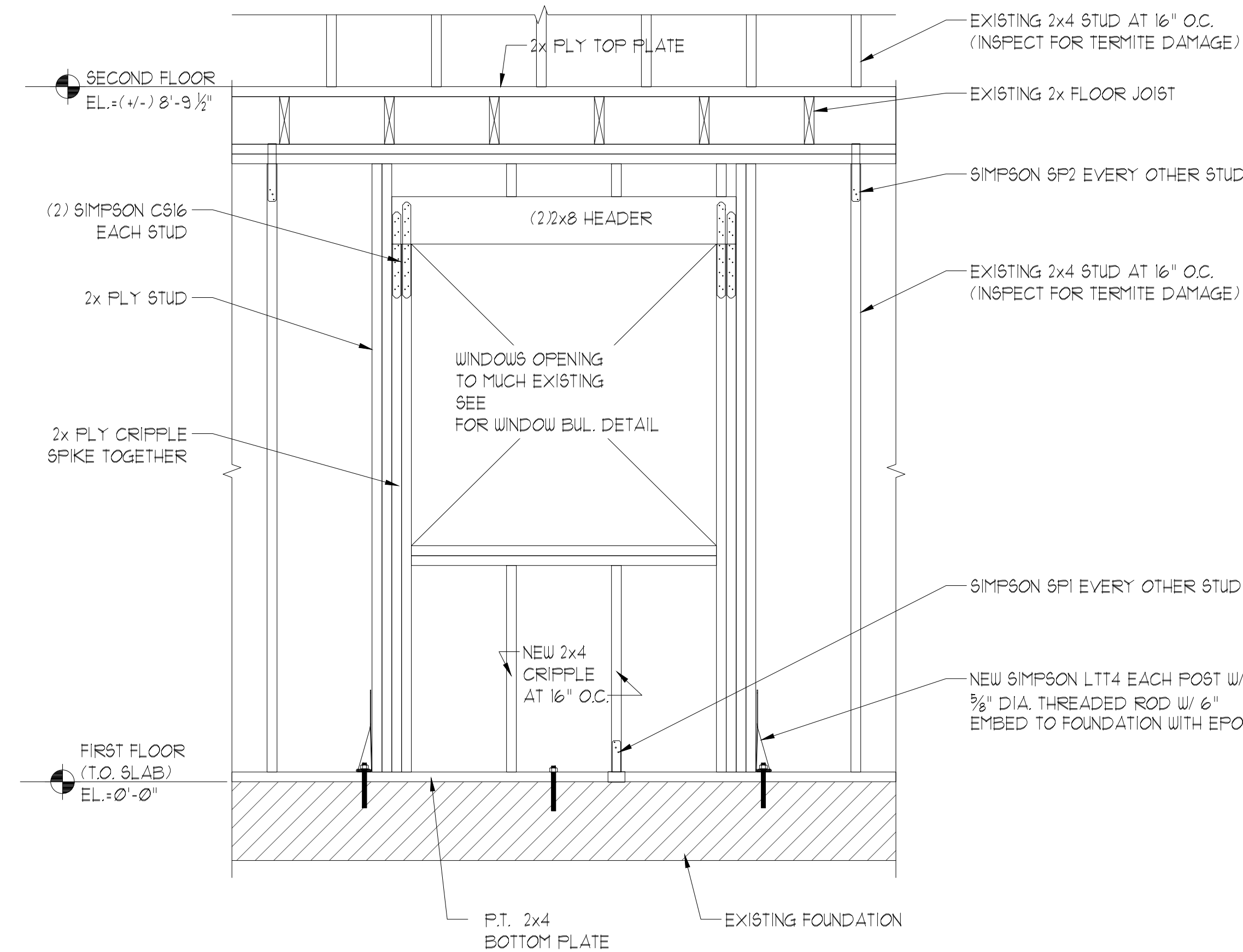
SCALE: 3/4" = 1'-0"

1

WALL SECTIONS

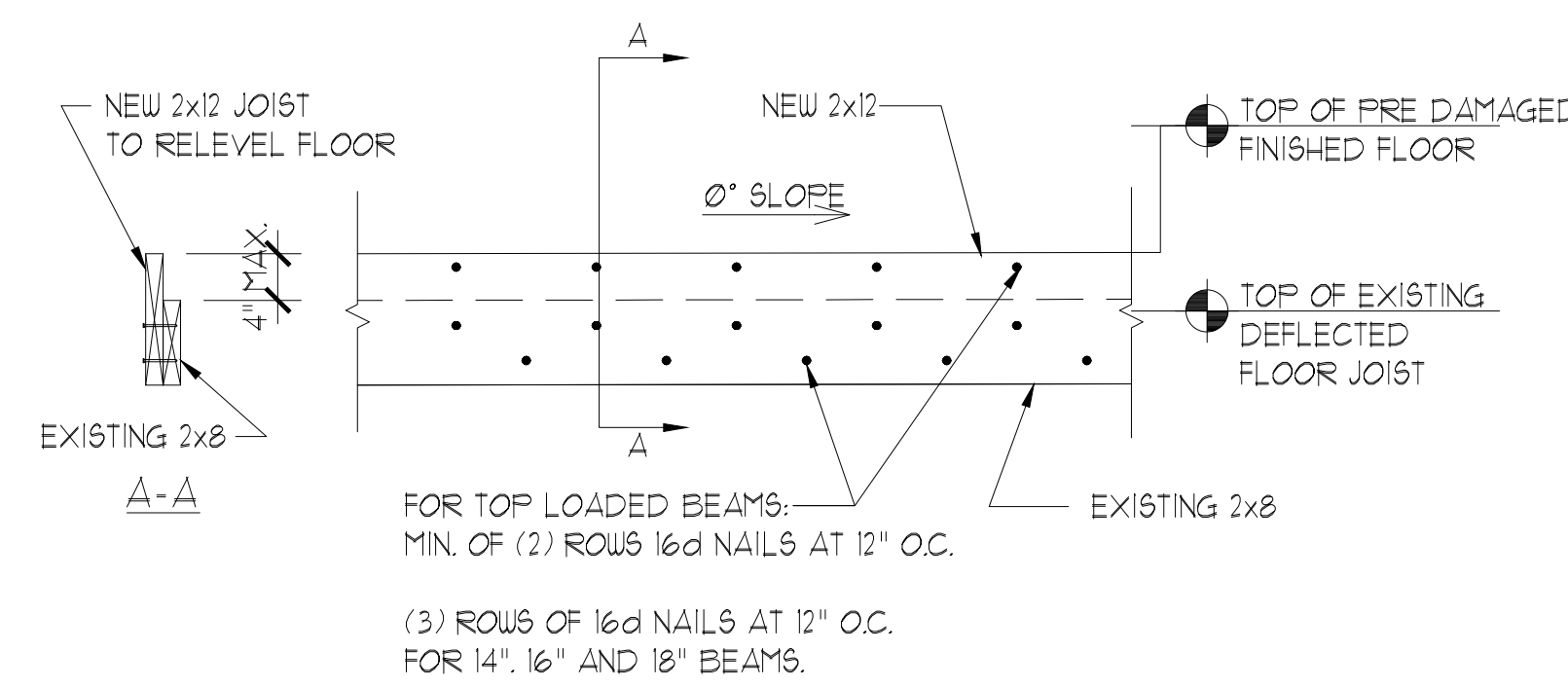
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SHEET NUMBER

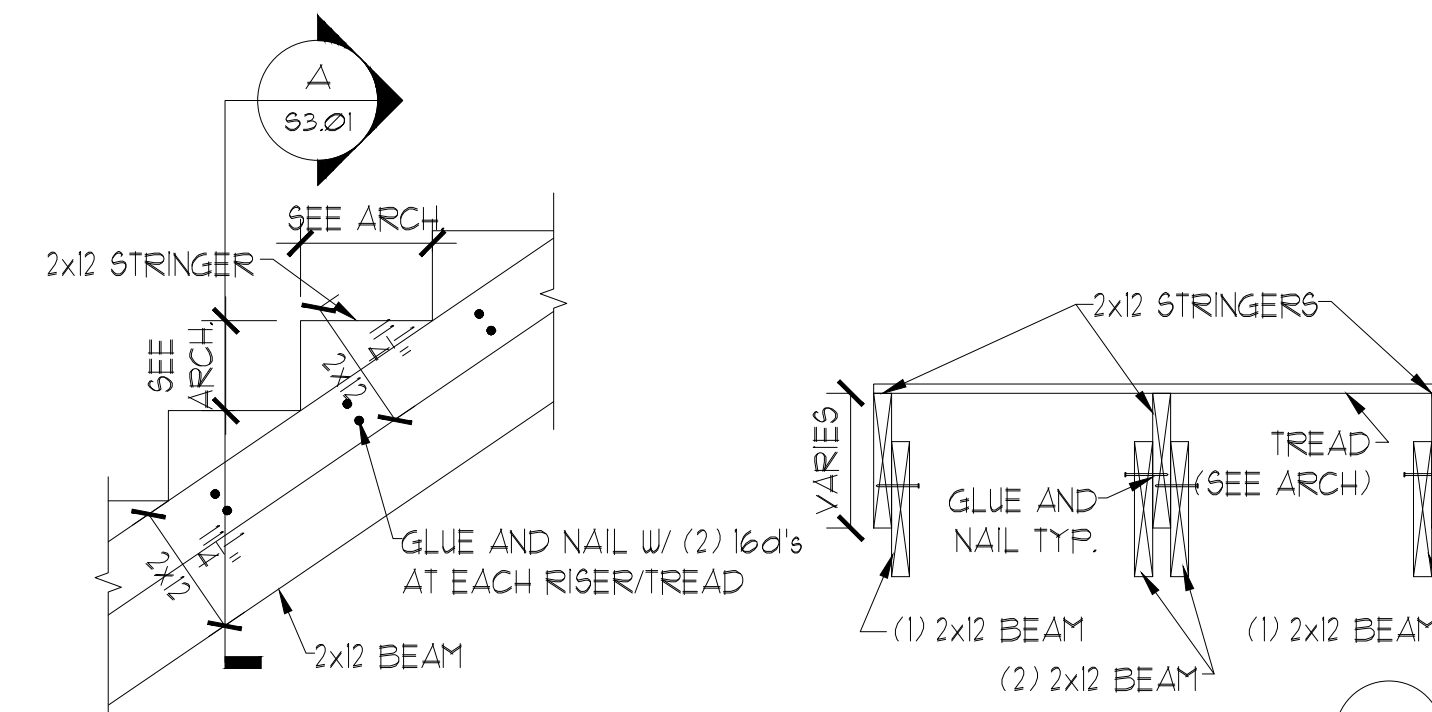


- NOTES:
1. REMOVE ALL DRYWALL TO EXPOSE FRAME FOR INSPECTION.
 2. REMOVE & REPLACE ALL FRAMING DAMAGED BY TERMITES W/ LIKE # 2 SYP 2x4

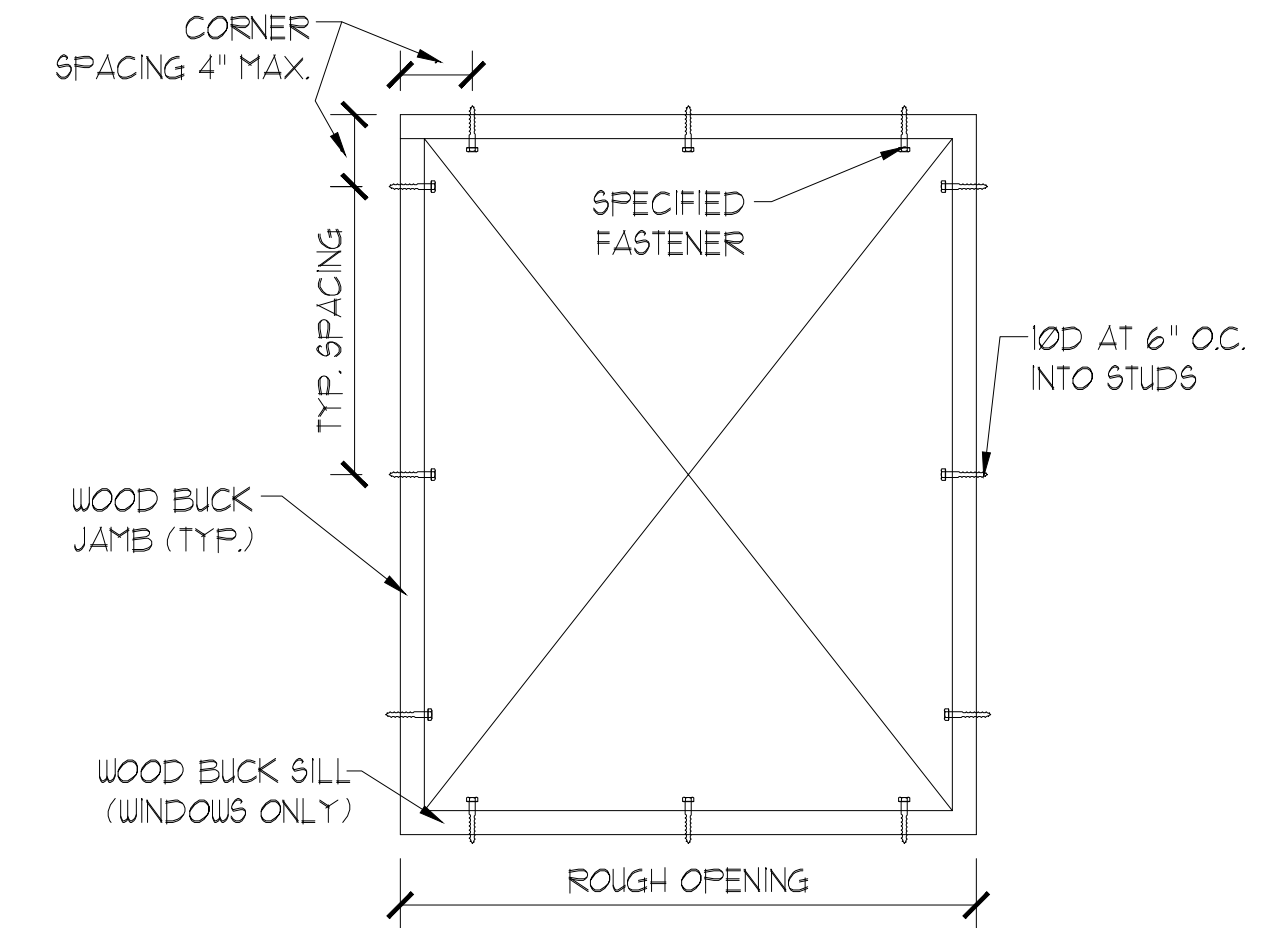
WINDOW/DOOR REPAIR DETAIL 1



RELEVEL FLOOR JOIST 2



STRINGER/BEAM 4



WINDOW/DOOR BUCK 3

FASTENER SUBSTITUTIONS <small>(SEE NOTES BELOW) ***</small>	
SCHEDULED FASTENER	ALTERNATE FASTENER
8d COMMON NAIL	8d RING SHANK NAIL
	8d SCREW SHANK NAIL
10d COMMON NAIL	Ø131 P-NAIL
	10d RING SHANK NAIL
	Ø148 P-NAIL
6d COOLER NAIL	5/16" x 1-1/4" TYPE 5 OR W DRYWALL SCREW

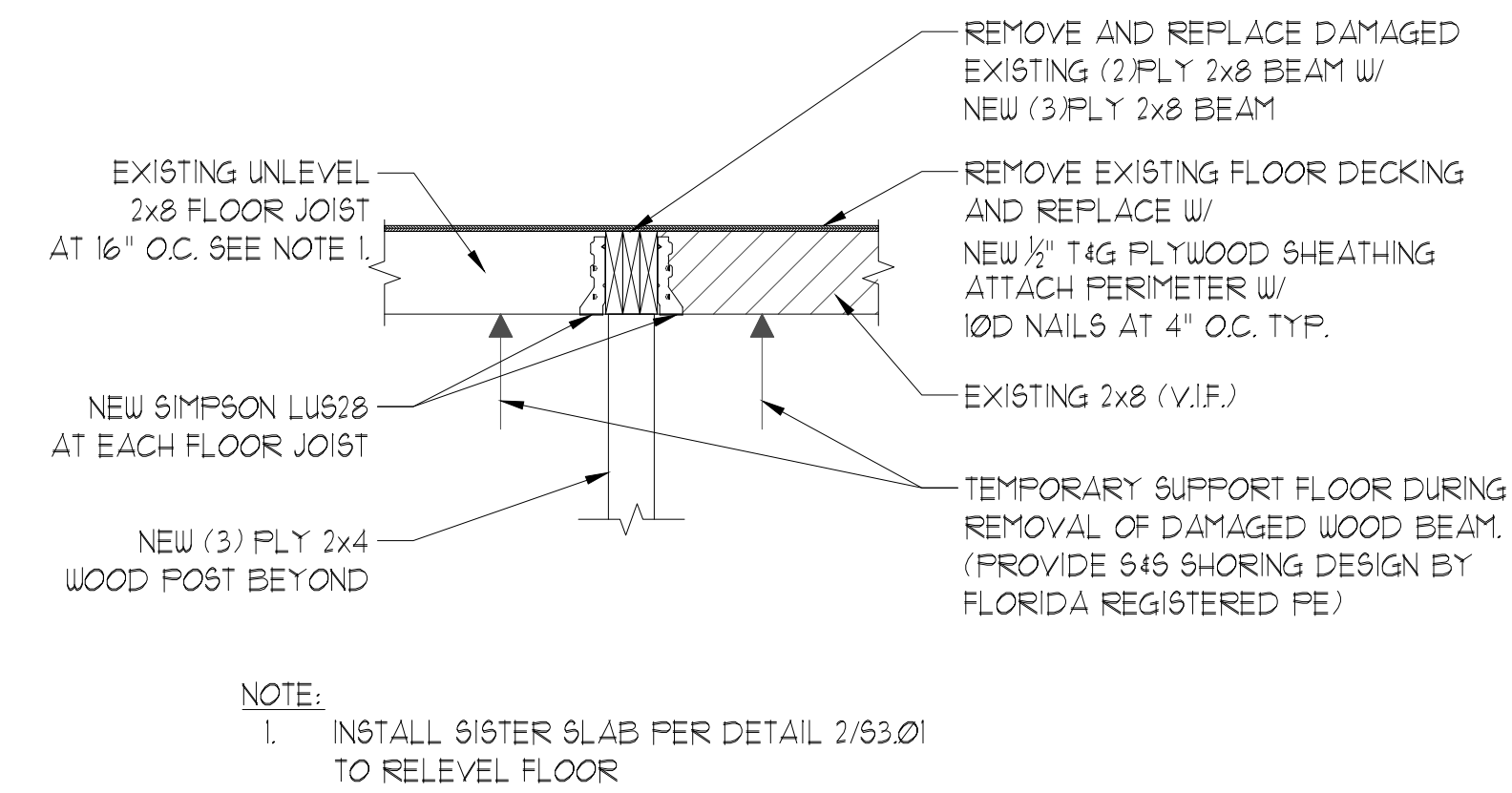
NOTES: ***
 1. ALL NAILS ARE COMMON NAILS, UNLESS NOTED OTHERWISE. THE FOLLOWING FASTENERS ARE ACCEPTABLE SUBSTITUTIONS. ALL ALTERNATE FASTENERS SHALL BE SPACED AT THE SAME SPACING AS THE SCHEDULED FASTENERS.
 2. GUN DRIVEN NAILS MUST BE SUBMITTED FOR REVIEW WITH APPROPRIATE BACK UP DATA.

FASTENER SUBSTITUTIONS 5

WOOD HEADER SCHEDULE		
SPAN	BEAM* <small>(2x4 WALLS)</small>	NAILING**
6'-0" OR LESS	(2) 2x8 W/ 1/2" FLYWOOD SPACER	16d STAGGERED AT 12" O.C. T. AND B.
6'-0" TO 8'-0"	(2) 2x10 W/ 1/2" FLYWOOD SPACER	(2) ROWS 16d AT 12" O.C.
8'-0" TO 10'-0"	(2) 2x12 W/ 1/2" FLYWOOD SPACER	(2) ROWS 16d AT 12" O.C.

NOTES:
 *1. WHERE WALLS ARE CONSTRUCTED OF 2x6 STUDS: PROVIDE (1) ADDITIONAL 2x AND (1) ADDITIONAL PLYWOOD SPACER.
 **2. TAP HOLES TO AVOID SPLITTING WOOD.

WOOD HEADER SCHEDULE 6



WOOD BEAM AT FLOOR JOIST 7

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