JACKSONVILLE HOUSTING AUTHORITY VICTORY POINTE APARTMENTS UNIT 404 - BUILDING REPAIRS

6750 RAMONA BOULEVARD JACKSONVILLE, FL 32205

CLIENT

JACKSONVILLE HOUSING AUTHORITY 1085 GOLFAIR BOULEVARD JACKSONVILLE, FL 32209 PH: (850) 487-9923 KEITH CHATMAN, CONSTRUCTION MANAGER



GLE PROJECT NO. 18000-19651 **DESIGN DEVELOPMENT SEPTEMBER 21, 2018**

ARCHITECT

GLE ASSOCIATES, INC. 5405 CYPRESS CENTER DRIVE, SUITE 101 TAMPA, FL 33609 PH: (813) 241-8350 ALBERTO PORTELA, JR., AIA AR# 007729

STRUCTURAL ENGINEER

MCCARTHY AND ASSOCIATES, A DIVISION OF PENNONI 2555 NURSERY ROAD SUITE 101 CLEARWATER, FL 33764 PH: (727) 536-8772 E. MICHAEL MCCARTHY, PE# 25525

GEOTECHNICAL ENGINEER

UNIVERSAL ENGINEERING SCIENCES, INC. 5561 FLORIDA MINING BOULEVARD SOUTH JACKSONVILLE, FL 32257 PH: (904) 296-0757 STEPHEN R. WEAVER, PE



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- 🗌 ATLANTA, GA □ NASHVILLE, TN
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Drawing Not Valid Unless Signed Sealed & Dated By Registered Profession

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G0.01 SHEET NUMBER

GENERAL NOTES

CONSTRUCT ALL WORK IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES, CURRENT ASTM STANDARDS, NRCA ROOFING AND WATERPROOFING MANUAL, LATEST EDITION AND THE LATEST EDITION OF SMACNA ARCHITECTURAL SHEET METAL MANUAL.

CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF/HERSELF WITH THE EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ANY OBSERVED DISCREPANCIES PRIOR TO SUBMISSION OF BID.

CONTRACTOR SHALL REVIEW CONSTRUCTION DOCUMENTS FOR THE PROJECT AND NOTIFY THE ARCHITECT OF ANY OBSERVED DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.

WHERE TWO OR MORE DETAILS, MATERIALS, OR CONDITIONS OCCUR IN APPARENT CONFLICT, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION PRIOR TO SUBMISSION OF THEIR BID. NOTIFY THE ARCHITECT OF ANY APPARENT DISCREPANCIES PRIOR TO COMMENCING WITH THE WORK AND PRIOR TO INCURRING ANY ADDITIONAL COST.

THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS, LICENSES, INSPECTIONS AND OTHER FEES, BOTH PERMANENT AND TEMPORARY, NECESSARY TO EXECUTE THE WORK.

THE CONTRACTOR IS TO VERIFY EXISTING FIELD CONDITIONS PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR IS TO NOTIFY ARCHITECT OF CONFLICTS BETWEEN THE DESIGN AS OUTLINED IN THE CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS. NO CHANGE SHALL BE MADE TO THE DESIGN UNLESS IT HAS BEEN COORDINATED, DRAWN, AND SUBMITTED TO THE ARCHITECT FOR APPROVAL.

THE CONTRACTOR SHALL MAINTAIN AT THE PROJECT SITE ONE (1) SET OF PRINTS TO RECORD AND INDICATE: ALL LOCATIONS OF UTILITIES, SYSTEMS, PIPES, CONDUITS, DUCT WORK, CABLING, ETC, ± CHANGES WITHIN THE CONSTRUCTION DOCUMENTS ± AND ANY OTHER ITEMS WHICH MAY AFFECT FUTURE CONSTRUCTION, RENOVATIONS OR REPAIRS. THIS INFORMATION SHALL BE SUBMITTED TO THE OWNER ON A SET OF MARKED-UP CONSTRUCTION DOCUMENTS UPON COMPLETION OF THE PROJECT.

ALL PLAN DIMENSIONS ARE GIVEN AS DESCRIBED IN THE "ARCHITECTURAL SYMBOLS" UNLESS NOTED OTHERWISE, DO NOT SCALE THE DRAWINGS, ANY DIMENSIONAL DISCREPANCIES ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.. LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.

THE CONTRACTOR SHALL OBTAIN A CERTIFICATE OF OCCUPANCY FROM THE LOCAL BUILDING DEPARTMENT HAVING JURISDICTION.

CONTRACTOR TO INSTALL ALL REQUIRED SIGNAGE FOR SAFETY, HAZARDS, AND TRAFFIC FOR THE DURATION OF THE PROJECT WHERE REQUIRED. CONTRACTOR TO PROVIDE PEDESTRIAN PROTECTION FOR THE DURATION OF THE PROJECT.

ALL WORK ALONG WITH STORAGE AND PLACEMENT OF MATERIALS SHALL NOT ENDANGER ANYONE OR THE PROPERTY FOR THE DURATION OF THE PROJECT.

THESE DRAWINGS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO SHOW EVERY COMPONENT OR DETAIL. THEY DO NOT SHOW EVERY MINOR DETAIL OF CONSTRUCTION. ALL TRADES ARE RESPONSIBLE FOR FURNISHING COMPLETE BUILDING SYSTEMS AND ALL ITEMS THAT WOULD BE CONSIDERED INCIDENTAL TO THEIR INSTALLATION.

ALL PRODUCTS ARE TO BE INSTALLED PER MANUFACTURES WRITTEN INSTRUCTIONS, LATEST EDITION.

PROTECT DISSIMILAR METALS WITH BARRIER MATERIAL TO DISCOURAGE GALVANIC CORROGION.

COORDINATE STAGING LOCATION OF MATERIALS AND EQUIPMENT WITH OWNER.



ARCHITECTURAL ABBREVIATIONS

ADJ.

ADJACENT

ADMIN. A.F.F.	ADMINISTRATION ABOVE FINISH FLOOR
A.F.S. ALT.	ABOVE FINISHED SLAB ALTERNATE
ALUM. ANOD.	ALUMINUM ANODIZED
APT.	APPARTMENT
APPROX.	APPROXIMATE (LY)
ARCH. ASAP	ARCHITECT AS SOON AS POSSIBLE
ASPH ASSOC,	ASPHALT ASSOCATION
@ ATT.	AT ATTENTION
AUX. Avg.	AUXILIARY AVERAGE
BAL	BALANCE
BR	BEDROOM
BRG BTW	BEARING BETWEEN
BLK BLK'G	BLOCK BLOCKING
BD	BOARD
B.O. BOTT.	BOTTOM
BLDG. X	BUILDING BY
C CAB.	CARPET CABINET
CAP.	CAPACITY CEILING
CTR.	
CT	CERAMIC TILE
CM CLR	CENTER MARK CLEAR
CL C <i>O</i> L	CLOSET COLUMN
CONC.	CONCRETE
	CONTINUOUS
COMM	CONTINUOUS
CJ CTR FL	CONTROL JOINT COUNTER FLASHING
DBL.	
DEPT	DEPARTMENT
DIL DIA.	DIAMETER
DIFF DIM.	DIFFERENT DIMENSION
DR DIR.	DINING ROOM DIRECTOR
D.S.	DOUNSPOUT
(E) E <i>A.</i>	EXISTING EACH
ED. EQ.	EDITION EQUAL
ELEC.	ELECTRICAL
ELEV	ELEVATOR
EQ EQUIP	EQUAL EQUIPMENT
EXIST. ETR	EXISTING EXISTING TO REMAIN
EXP EJ	EXPANSION EXPANSION JOINT
EXT	EXTERIOR

' OR FT	FEET (FOOT)		
FIG.	FIGURE		
FIN.	FINISHED	(P)	PROPOSED
FIN. FL	FINISHED FLOOR	PTD	PAINTED
FS	FINISHED SLAB	PR	PAIR
FEC	FIRE EXTINGUISHER CABINET	PKG	PARKING
F.RT.	FIRE RETARDANT	PED	PEDESTAL
FI	FLOOR	PERIM	PERIMETER
ED			
EBC			
			FOUNDS FER
FLOU.	FLUORESCENT		FOUNDS FER
		PREFAB	PREFABRICA
GA.	GAUGE	PT	PRESSURE T
GALV	GALVANIZED	PROP	PROPERTY
GC	GENERAL CONTRACTOR	PROV	PROVIDED
GL	GLASS	PR	PAIR
GOVT	GOVERNMENT	P-I-P	POURED IN F
GR	GRADE		
GYP. BD.	GYPSUM WALL BOARD	R	RADIUS
GWB	GYPSUM WALL BOARD	RECD	RECEIVED
		REF	REFERENCE
HDW	HARDWARE	REFOR	REERIGERAT
		REFRIG	
		REINE	
	HEATING, VENTILATING, & A/C	REY	REVERSE
	HEIGHT	RH	RIGHT HAND
HP	HIGH POINT	RHR	RIGHT HAND
HC	HOLLOW CORE	RD	ROOF DRAIN
НM	HOLLOW METAL	RM	ROOM
HORIZ	HORIZONTAL	RO	ROUGH OPEI
HB	HOSE BIBB		
ΗW	HOT WATER	SCHED	SCHEDULE
		SECT	SECTION
" OR IN	INCH	SEP	SEPARATE
		SVR	SERVER
INC		GMACNA	CLICYLIN CLIEET META
		JIACNA	
INFO		0154	
		5111	SIMILAR
INSUL.		5H	SINGLE HUNG
INT	INTERIOR	5C	SOLID CORE
		SPEC	SPECIFICATI
JAN	JANITOR	ରେ	SQUARE
JT	JOINT	SF	SQUARE FOC
		SQ IN	SQUARE INC
LAM	LAMINATED, LAMINATE	<u>99</u>	STAINLESS S
LAV	LAVATORY	STD	STANDARD
LH	LEFT HAND	STL	STEEL
IHR	I FET HAND REVERSE	STG	STORAGE
LG		STRUCT	STRUCTURAL
		SUR	
		SUDD	
CONC	LIGHT WEIGHT CONCRETE	SUFF	SUFFLEITEN
LIN FT OR	LINEAR FEET	5057	SUSPENDED
ĹĦ		SYM	SYMMETRIC4
R	LIVING ROOM	SYN	SYNTHETIC
	LOUVER		
		THRESH	THRESHOLD
<u>н</u> і		THRU	THROUGH
		ŤΒ	TIE BEAM
		TBD	TO BE DETE
ring.		T≰G	TONGUE AND
MO	MASONKI OPENING	T∉B	TOP AND BO
MATL	MATERIAL	to	
MAX.	MAXIMUM	TYP	
MECH	MECHANICAL	1.1.1	
MED	MEDIUM		
MDF	MEDIUM DENSITY FIBER BOARD		UNDERCUT
MTG	MEETING	uL	UNDERWRITE
MEMB	MEMBRANE	UNFIN	UNFINISHED
MTI		U.N.O	UNLESS NOTE
ME77			
		VAR	VARIABLE
		VTR	VENT THROU
MIN.		VENT	VENTILATE (
MIR.		V.I.F.	VERIFY IN FI
MR	MOISTURE RESISTANT	VERT	VERTICAI
		VCT	
N.I.C.	NOT IN CONTRACT		
NO.	NUMBER		
NRCA	NATIONAL ROOFING CONTRACTORS		
	ASSOCIATION	ωH	WAIER HEAT
N.T.S	NOT TO SCALE	WP	WATERPROC
		WWF	WELDED WIR
00	ON CENTER	WWM	WELDED WIR
000		WD	WOOD
		* 1111 1 10	
<u>.</u>	CUTOIDE DIFIENSION		A REGIDIE RIIRITERA

Ч	PAINTED PAIR PARKING PEDESTAL PEDIMETER
Ð	PLYWOOD POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH
AB 	PREFABRICATED PRESSURE TREATED PROPERTY PROVIDED
5	PAIR POURED IN PLACE
OR IG	RADIUS RECEIVED REFERENCE REFRIGERATOR
:	REINFORCING REQUIRED REVERSE RIGHT HAND RIGHT HAND REVERSE ROOF DRAIN ROOM ROUGH OPENING
D	SCHEDULE SECTION SEPARATE SERVER
NA	SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION, INC SIMILAR SINGLE HUNG SOLID CORE
:	SPECIFICATIONS SQUARE SQUARE FOOT
l	SQUARE INCH STAINLESS STEEL STANDARD STEEL STORAGE
ст	STRUCTURAL SUBCONTRACTOR SUPPLEMENTARY SUSPENDED SYMMETRICAL SYNTHETIC
SH	THRESHOLD THROUGH TIE BEAM TO BE DETERMINED TONGUE AND GROOVE TOP AND BOTTOM TOP OF TYPICAL
	UNDERCUT UNDERWRITERS LABORATORY * UNFINISHED UNLESS NOTED OTHERWISE
	VARIABLE VENT THROUGH ROOF VENTILATE (TION) VERIFY IN FIELD VERTICAL VINYL COMPOSITION TILE
	WATER COOLER WATER HEATER WATERPROOF WELDED WIRE FABRIC WELDED WIRE MEGH WOOD
NDEF	A REGIJIEREU IRAUEMARK RWRITERS LABORATORIES INC.

ARCHITECTURAL SYMBOLS



DRAWING LIST

GENERAL

GØ.ØI COVER SHEET GØ.02 GENERAL INFO., SHEET INDEX & CODE INFORMATION

ARCHITECTURAL

AD1.Ø1	DEMOLITION ENLARGED FLOOR PLAN
A1.Ø1	IST FLOOR PLAN
A1.Ø2	2ND FLOOR PLAN
A3.1Ø	WALL SECTIONS

STRUCTURAL

SØ.Ø1	STRUCTURAL SPECIFICATION
SØ.Ø2	STRUCTURAL SPECIFICATION, WIND LOAD TABLES
S1.Ø1	ENLARGED EXISTING IST & 2ND FLOOR PLAN & RO
S2.Ø1	WALL SECTIONS
S3.Ø1	DETAILS

6	
ROOF FRAMING	

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GENERAL DEMOLITION NOTES

- 1. THIS PLAN SHOWS GENERAL ARCHITECTURAL DEMOLITION WORK TO BE PERFORMED, IT DOES NOT RELIEVE THE CONTRACTOR FROM OTHER DEMOLITION WORK REQUIRED TO PRODUCE THE BUILDING MODIFICATIONS SHOWN ON THE CONTRACT DOCUMENTS.
- 2. CONTRACTOR SHALL DISPOSE OF DEMOLITION MATERIALS PROPERLY, OFF SITE, IN AN EXPEDITIOUS MANNER, WORK AREA(S) SHALL BE CLEANED AT THE END OF EACH DAY.
- 3. THE CONTRACTOR SHALL REMOVE ALL ITEMS AS OUTLINED IN THE DRAWINGS, ALL ITEMS LISTED FOR DEMOLITION ARE TO BE REMOVED, NO ITEMS WILL BE ABANDONED, UNLESS OTHERWISE NOTED.
- 4. CONTRACTOR SHALL PROVIDE MEANS OF PREVENTING DUST, FUMES AND DEBRIS FROM DEMOLITION AND CONSTRUCTION ACTIVITIES PENETRATING INTERIOR OF BUILDING.
- 5. PROTECT ITEMS TO REMAIN AND ITEMS TO BE REINSTALLED FROM DAMAGE. IF DAMAGED DURING CONSTRUCTION ACTIVITIES, ITEMS SHALL BE REPLACED WITH NEW AT NO ADDITIONAL COST.
- 6. ALL ITEMS NOTED TO BE REMOVED SHALL INCLUDE ANY MATERIALS ASSOCIATED WITH ITEM.
- 7. SEE OTHER DISCIPLINES DRAWINGS FOR ADDITIONAL INFORMATION.
- 8. VERIFY ALL STRUCTURAL ELEMENTS BEFORE ANY CUTTING, DRILLING, ETC. STRUCTURAL ELEMENTS ARE TO REMAIN IN TACT. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY FIELD CONDITION WHICH WOULD PRESENT A HAZARDOUS CONDITION TO THE STRUCTURE OR IT'S OCCUPANTS BEFORE PROCEEDING. CONTRACTOR SHALL USE CAUTION DURING THE DEMOLITION, CUTTING, DRILLING, REMOVAL, ETC. OF ANY ITEM.
- 9. COORDINATE ALL WORK AND ACCESS TO THE SITE WITH THE JACKSONVILLE HOUSING AUTHORITY.

KEYED DEMOLITION NOTES

B1 REFER TO STRUCTURAL FOR POST REPAIR
(B2) REFER TO STRUCTURAL FOR BEAM REPAIR
B3 REFER TO STRUCTURAL FOR FLOOR JOIST REPAIR
B4 EXTERIOR BRICK VENEER AND SHEATHING TO BE REMOVED TO SUBSTRATE. INSTALL NEW EXTERIOR SHEATHING, INSULATION, AND BRICK. COLOR AND FINISH TO MATCH EXISTING ADJACENT BRICK.
(B5) PATCH AND REPAIR CRACKED CONCRETE AS NECESSARY TO RECEIVE NEW VCT FINISH AS SELECTED BY THE OWNER.
(B6) NEW PAINTED GYB BOARD TO MATCH EXISTING. REFER TO STRUCTURAL FOR TERMITE DAMAGE REPAIRS.
(B7) NEW CONTROL JOINT AND SEALANT
(B8) SEAL ALL JOINTS BETWEEN NEW BRICK VENEER AND EXISTING WALL.
B9 PATCH AND REPAIR BRICK AROUND DOOR JAMB AS NECESSARY TO CREATE A FLUSH AND WATERPROOF CONDITION. REPOINT MORTAR AS NECESSARY.
(B10) PROTECT ADJACENT SOFFIT, FASCIA, GUTTER AND DOWNSPOUTS FROM DAMAGE DURING CONSTRUCTION.



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FLOOR PLANS AND ELEVATIONS

> A1.01 Sheet NUMBER



A3.01 SHEET NUMBER

MISCELLANEOUS

STRUCTURAL SPECIFICATIONS

- 1. THESE ABBREVIATED DRAWING SPECIFICATIONS ARE WRITTEN TO MATCH THE BOOK SPECIFICATIONS. IF THERE ARE ANY ITEMS THAT DO NOT CORRESPOND EXACTLY AS WRITTEN, THE MORE STRINGENT WILL TAKE PRECEDENCE.
- 2. THE STRUCTURAL SYSTEM IS UNSTABLE UNTIL ALL CONNECTIONS HAVE BEEN MADE AND ALL CONCRETE HAS REACHED ITS MINIMUM DESIGN STRENGTH, AS SHOWN IN THE STRUCTURAL DOCUMENTS.
- 3. CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION TO ENSURE THE SAFETY OF THE BUILDING UNTIL STRUCTURAL SYSTEM IS COMPLETED. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF WHATEVER TEMPORARY BRACING, SHORING, GUYS OR TIE_DOWNS THAT MAY BE NECESSARY. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
- 4. CONTRACTOR TO SUPPORT, BRACE AND SECURE EXISTING STRUCTURE AS REQUIRED. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SAFETY OF THE BUILDING DURING CONSTRUCTION.
- 5. APPLICABLE BUILDING CODE: 6TH EDITION (2017) FLORIDA BUILDING CODE.

6. GRAVITY DESIGN LOADS:

	SUPERIMPOSED	TOTAL
AREA	LIVE LOAD	<u>dead load</u>
ROOF	20 PSF	25 PSF
2ND FLOOR	40 PSF	25 PSF

7. WIND DESIGN CRITERIA:

ULTIMATE WIND SPEED: VULT = 124 MPH (3 SECOND GUST) EQUIVALENT NOMINAL BASIC WIND SPEED VASD = 97 MPH (3 SECOND GUST) RISK CATEGORY = II

EXPOSURE CATEGORY = B ENCLOSED BUILDING INTERNAL PRESSURE COEFFICIENT, GCPI = +/-0.18

- 8. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE REFERENCED BUILDING CODE.
- 9. COORDINATE ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS. DO NOT SCALE DRAWINGS.
- 10. CONTACT ENGINEER WITH ANY QUESTIONS OR DISCREPANCIES FOUND ON DRAWINGS
- 11. SECTIONS AND DETAILS ARE REFERENCED IN TYPICAL LOCATIONS BUT ALSO APPLY TO ALL OTHER SIMILAR CONDITIONS.
- 12. CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS, ELEVATIONS, AND CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
- 13. SUBMIT SHOP DRAWINGS AS REQUIRED HEREIN. ALLOW FOR TWO WEEKS REVIEW TIME AFTER RECEIPT OF SUBMITTALS BY THIS FIRM. ALL SUBMITTALS SHALL BE CHECKED AND SIGNED BY THE GENERAL CONTRACTOR AND SIGNED/SEALED BY THE DELEGATED ENGINEER, WHERE SPECIFIED HEREIN.
- 14. CONTRACTOR SHALL NOT BE RELIEVED FROM RESPONSIBILITY FOR ERRORS OR OMISSIONS IN SHOP DRAWINGS OR MIX DESIGNS BY THE ENGINEER'S REVIEW THEREOF.
- 15. ANY CHANGES TO THE STRUCTURE SHALL HAVE BEEN REVIEWED AND APPROVED IN WRITING BY THE ENGINEER PRIOR TO COMMENCING WORK ON ITEMS AFFECTED.
- 16. CONTRACTOR SHALL NOTIFY THIS OFFICE WHEN THE STRUCTURAL SYSTEM IS SUBSTANTIALLY COMPLETED, AND BEFORE SHEATHING, CEILINGS, OR ROOFING IS INSTALLED.

WINDOW AND DOOR SYSTEMS

- 1. EXTERIOR GLAZED OPENINGS SHALL BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRINCIPLES AND GOVERNING CODES.
- 2. THIS BUILDING HAS BEEN DESIGNED AS "ENCLOSED". REFER TO THE STRUCTURAL DRAWINGS FOR COMPONENTS AND CLADDING MINIMUM DESIGN WIND PRESSURES.
- 3. A LICENSED PROFESSIONAL ENGINEER SHALL DESIGN THE EXTERIOR GLAZED SYSTEMS, SHOP DRAWINGS, AND OVERSEE ANY LOAD TESTING.
- 4. SIGNED AND SEALED SHOP DRAWINGS, NOTICE OF ACCEPTANCE (NOA), OR FLORIDA PRODUCT APPROVAL DOCUMENTATION SHALL BE SUBMITTED IN ACCORDANCE WITH THE ARCHITECT'S REQUIREMENTS.

DELEGATED ENGINEER

1. WHERE NOTED HEREIN, A LICENSED PROFESSIONAL (DELEGATED) ENGINEER SHALL BE RETAINED TO DESIGN THE PRODUCT OR ASSEMBLY.

- 2. THE DELEGATED ENGINEER SHALL BE EXPERIENCED IN THE DESIGN OF THE REFERENCED PRODUCT OR ASSEMBLY.
- 3. THE DELEGATED ENGINEER MUST BE PROVIDED WITH A COPY OF THESE DRAWINGS AND SPECIFICATIONS.
- THE ENGINEER OF RECORD'S WRITTEN ENGINEERING OF ENGINEERING.
- FOR RESOLUTION OF CONFLICTS.
- 2. GENERAL A) HELICAL PIER FOUNDATION SYSTEMS SCREW PILES SHALL BE DESIGNED BY A DELEGATE ENGINEER AND INSTALLED BY AUTHORIZED A. B. CHANCE DEALERS OR APPROVED EQUAL. THESE DEALERS SHALL HAVE SATISFIED THE CERTIFICATION REQUIREMENTS RELATING TO THE TECHNICAL ASPECTS OF THE PRODUCT AND THE ASCRIBED INSTALLATION TECHNIQUES. B) ALL WORK AS DESCRIBED HEREIN SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE SAFETY CODES IN EFFECT AT THE TIME OF INSTALLATION. REQUIREMENTS AND AUTHORIZATION FOR THE DELEGATED C) THE DEALER SHALL EMPLOY A SKILLED, EXPERIENCED WORK ENGINEERING DOCUMENT TO DETERMINE THE APPROPRIATE SCOPE FORCE WHO ARE FAMILIAR WITH THE REQUIREMENTS AND METHODS NECESSARY FOR PROPER PERFORMANCE OF THE WORK AS OUTLINED IN THESE SPECIFICATIONS. D) DESIGN OF THE HELICAL PIERS SHALL BE BASED ON 7. TERMINATION OF INSTALLATION THE WRITTEN ENGINEERING REQUIREMENTS RECEIVED FROM THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. ENGINEER OF RECORD. THEY SHALL INCLUDE THE PROJECT E) THE HELICAL PIER INSTALLATION SHALL BE MONITORED BY A IDENTIFICATION AND THE CRITERIA USED AS A BASIS FOR ITS PREPARATION. IF A DELEGATED ENGINEER DETERMINES THERE LICENSED TESTING AGENCY. ARE DETAILS, FEATURES OR UNANTICIPATED PROJECT LIMITS WHICH CONFLICT WITH THE WRITTEN ENGINEERING REQUIREMENTS 3. SUBMITTALS PROVIDED BY THE ENGINEER OF RECORD, THE DELEGATED A) SUBMIT SHOP DRAWINGS OF HELICAL SYSTEM TO INCLUDE, ENGINEER SHALL TIMELY CONTACT THE ENGINEER OF RECORD BUT IS NOT LIMITED TO THE FOLLOWING: TOTAL NUMBER OF SCREW PILES REQUIRED LOCATIONS OF THE INDIVIDUAL SCREW PILES 2) ENGINEERING DOCUMENT TO THE ENGINEER OF RECORD FOR SIZE AND NUMBER OF HELICES PER SCREW PILE REVIEW. ALL FINAL DELEGATED ENGINEERING DOCUMENTS MINIMUM INSTALLED DEPTH OF THE SCREW PILES REQUIRE THE IMPRESSED SEAL AND SIGNATURE OF THE MINIMUM FINAL INSTALLATION TORQUE OF THE SCREW PILES DELEGATED ENGINEER AND INCLUDE: CONNECTION DETAILS A) DRAWINGS INTRODUCING ENGINEERING INPUT SUCH AS DESIGN LOADS DEFINING THE CONFIGURATION OR STRUCTURAL CAPACITY OF STRUCTURAL COMPONENTS AND/OR THEIR ASSEMBLY INTO 8) TESTING AS REQUIRED STRUCTURAL SYSTEMS. SIGNED AND SEALED BY LICENSED FLORIDA ENGINEER B) CALCULATIONS. B) SIGNED AND SEALED DESIGN CALCULATIONS PREPARED BY THE DELEGATE ENGINEER TO BE SUBMITTED WITH SHOP DRAWINGS. 4. SCREW PILE SELECTION A) THE LEAD SECTIONS WITH HELICES AND EXTENSION SECTIONS PROJECT SITE BY UNIVERSAL ENGINEERING SERVICES. SOIL SHALL BE MANUFACTURED BY THE A. B. CHANCE COMPANY BORING LOGS AND SITE PREPARATION PROCEDURES ARE OR APPROVED EQUAL AND AS SHOWN ON ATTACHED INCLUDED IN THE PROJECT SOILS REPORT, DATED 08/17/18, DRAWINGS. WHICH IS AN INTEGRAL PART OF THESE CONTRACT DOCUMENTS. B) ALL UNITS SHALL CONFORM TO THE MATERIAL SPECIFICATIONS AS REFERENCED ON THESE DRAWINGS. C) THE NUMBER AND SIZES OF HELICES, AND THE SHAFT SIZE PROJECT SOILS REPORT. OF SCREW PILE SHALL BE AS SHOWN ON THE PLAN OR REPAIR. D) THE DEALER SHALL HAVE THE OPTION OF PERFORMING A THAT TEST BORINGS HAVE BEEN DONE UNDER ALL BUILDING(S) SOIL TEST USING EITHER THE A. B. CHANCE SOIL PROBE OR PRIOR TO BEGINNING EARTHWORK. OTHER METHOD APPROVED BY THE ENGINEER. THE DATA ACQUIRED ALONG WITH OTHER INFORMATION AVAILABLE ABOUT THE SITE SHALL BE USED IN DETERMINING THE PROPER BASED ON THE RESULTS OF OUR SUBSURFACE EXPLORATION, SCREW PILE. THERE WAS NOT OBVIOUS GEOTECHNICAL RELATED CAUSE FOR THE DISTRESS NOTED. IT IS OUR OPINION THE DISTRESS MAY BE RELATED TO THE CLAYEY MATERIAL ENCOUNTERED AT THE 5. INSTALLATION EQUIPMENT FOUNDATION BEARING LEVELS AT THE BORING LOCATIONS. THE A) INSTALLING UNITS CLAYEY MATERIAL CAN CREATE SOMEWHAT OF A SHRINK/SWELL INSTALLATION UNITS SHALL CONSIST OF ROTARY TYPE (B) SOIL CONDITION AS THE GROUNDWATER TABLE AND MOISTURE TORQUE MOTORS WITH FORWARD AND REVERSE CONDITIONS FLUCTUATE THROUGHOUT THE YEAR. IT HAS BEEN CAPABILITIES. THESE UNITS SHALL BE EITHER OUR EXPERIENCE THAT STRUCTURES CONSTRUCTED OVER SIMILAR ELECTRICALLY OR HYDRAULICALLY POWERED. SUBSURFACE CONDITIONS TYPICALLY EXPERIENCE SETTLEMENT AS THESE UNITS SHALL BE CAPABLE OF DEVELOPING THE 2) CLAYEY SOILS LOSE MOISTURE DURING DRY WEATHER CONDITIONS MINIMUM TORQUE AS REQUIRED BY THE MANUFACTURER. AND MAY UNDERGO SOME SLIGHT SHRINKAGE. THESE UNITS SHALL BE CAPABLE OF POSITIONING THE SCREW PILE AT THE PROPER INSTALLATION ANGLE. THIS ANGLE VARIES BETWEEN 0 (VERTICAL) TO 10 DEGREES PERFORM THE FOLLOWING MINIMUM TESTS. REFER TO SOILS DEPENDING UPON APPLICATION AND TYPE OF FOUNDATION REPORT FOR ANY ADDITIONAL TESTING. TERMINATION SPECIFIED. A) ONE DENSITY TEST FOR EACH 2,000 SQUARE FEET OF THESE UNITS SHALL BE IN GOOD WORKING CONDITION AND 4) COMPACTED SUBGRADE AND COMPACTED FILL. CAPABLE OF BEING OPERATED IN A SAFE MANNER. B) ONE DENSITY TEST AT EACH COLUMN FOOTING. B) INSTALLATION TOOLING C) ONE DENSITY TEST PER 50 FEET OF WALL FOOTING. 1) ADAPTERS APPROVED BY THE MANUFACTURER SHALL BE EMPLOYED TO SAFELY CONNECT THE INSTALLATION UNITS TO THE SCREW PILES AND EXTENSIONS. OWNER, ARCHITECT, STRUCTURAL ENGINEER, AND GENERAL THESE ADAPTERS SHALL HAVE TORQUE CAPACITY RATINGS AT CONTRACTOR. LEAST EQUAL TO THE MINIMUM ULTIMATE TORQUE RATING OF THE SCREW PILES AS SPECIFIED FOR THE PROJECT. THESE ADAPTERS SHALL BE SECURELY CONNECTED TO THE 3) AGAINST BACKFILLING PRESSURES UNTIL FLOOR SLABS AT TOP SCREW PILE DURING INSTALLATION SO AS TO PREVENT AND BOTTOM ARE IN PLACE.

SITE WORK

- 5. THE DELEGATED ENGINEERING DOCUMENT SHALL COMPLY WITH
- 4. IT IS THE DELEGATED ENGINEER'S RESPONSIBILITY TO REVIEW 6. THE DELEGATED ENGINEER SHALL FORWARD THE DELEGATED 1. A SUBSURFACE INVESTIGATION HAS BEEN COMPLETED AT THE 2. SITE WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE 3. CONTRACTOR SHALL REVIEW THE SOILS REPORT AND VERIFY 5. A QUALIFIED TESTING LABORATORY SHALL BE RETAINED TO 6. ONE COPY OF ALL TEST REPORTS SHALL BE SENT DIRECTLY TO 7. FOUNDATION WALLS THAT RETAIN EARTH SHALL BE BRACED
- 8. THE SIDES OF FOOTINGS MAY BE EARTH_FORMED IF THE EXCAVATION CAN BE KEPT VERTICAL, CLEAN, AND STABLE, 1) OTHERWISE, PLYWOOD FORMS MUST BE USED.
- 9. EXERCISE CARE WHEN COMPACTING NEAR ADJACENT STRUCTURES. 2) FOLLOW THE RECOMMENDATIONS IN THE SOILS REPORT AND DOCUMENT EXISTING CONDITIONS WITH PHOTOGRAPHS PRIOR TO STARTING WORK.
- 10. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITY LINES, TANKS, ETC. WITHIN THE CONSTRUCTION AREA AND RELOCATE THEM AS DIRECTED BY THE CIVIL ENGINEER.

PRE-ENGINEERED HELICAL PIERS

1. SERVICE LOAD CAPACITIES: DOWNWARD = 30UPLIFT = 10LATERAL = 10 MIN. DEPTH OF 30 FEET OR AS DEFINED BY GEOTECH ENGINEER.

- ACCIDENTAL SEPARATION. C) TORQUE MONITORING DEVICES
- THE TORQUE BEING APPLIED BY THE INSTALLING UNITS SHALL BE MONITORED THROUGHOUT THE INSTALLATION PROCESS.
- TORQUE MONITORING DEVICES SHALL BE EITHER A PART OF THE INSTALLING UNIT OR AN INDEPENDENT DEVICE IN-LINE WITH THE INSTALLING UNIT. CALIBRATION DATA FOR EITHER UNIT SHALL BE AVAILABLE FOR REVIEW BY THE OWNER OR OWNER'S REPRESENTATIVE.
- 6. INSTALLATION PROCEDURES: IT IS THE RESPONSIBILITY OF THE DEALER TO DETERMINE THE LOCATION OF, AND AVOID CONTACTING, UNDERGROUND UTILITIES (GAS, ELECTRICITY, WATER, TELEPHONE, TV. ETC.)
- A) THE SCREW PILE SHALL BE POSITIONED AS SHOWN ON THE PLAN. PROPER ANGULAR ALIGNMENT SHALL BE ESTABLISHED AT THE START OF INSTALLATION.
- B) THE SCREW PILE SHALL BE INSTALLED IN A SMOOTH, CONTINUOUS MANNER. THE RATE OF SCREW PILE ROTATION SHALL BE IN THE RANGE OF 5 TO 20 REVOLUTIONS PER MINUTE.
- C) SUFFICIENT DOWN PRESSURE SHALL BE APPLIED TO ADVANCE THE SCREW PILE.

- THE INSTALLATION PROCESS.
- F) IF UNDERGROUND OBSTRUCTIONS ARE ENCOUNTERED DURING RELOCATION OF ADJACENT SCREW PILES.
- SPECIFIED FOR THE PROJECT.
- B OR C IS IMPLEMENTED.
- (A) (B)
 - OF THE ORIGINAL SCREW PILE. ADD ADDITIONAL SCREW PILES.

(C)

(A)

- SHALL HAVE THE FOLLOWING OPTIONS:
- IMPLEMENTED. OBTAINED, OR
- OF THE ORIGINAL SCREW PILE.
- THE SCREW PILE.
- INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING: A) PROJECT NAME AND/OR LOCATION
- B) NAME OF AUTHORIZED A. B. CHANCE DEALER
- WITNESSED THE INSTALLATION
- D) DATE AND TIME OF INSTALLATION
- E) LOCATION AND REFERENCE NUMBER OF SCREW PILE
- BOTTOM OF GRADE BEAM OR FOOTING
 - MINIMUM
 - INSTALLATION

STRUCTURAL DRAWING INDEX

S-0.01	STRUCTURAL SPECIFIC
S-0.02	STRUCTURAL SPECIFIC
	WIND LOAD TABLES
S-1.01	1ST & 2ND FLOOR F
	EXISTING ROOF PLAN
S-2.01	WALL SECTIONS
S-3.01	DETAILS

D) PLAIN EXTENSION MATERIAL MAY BE REQUIRED TO POSITION THE SCREW PILE AT THE DEPTH REQUIRED BY THE PLAN OF REPAIR. EXTENSIONS SHALL BE COUPLED TO THE SCREW PILE USING THE BOLTS PROVIDED WITH THE EXTENSION. THESE BOLTS SHALL BE INSTALLED AND TIGHTENED TO APPROXIMATELY 40 FOOT POUND OF TORQUE.

E) INSTALLATION TORQUE SHALL BE MONITORED THROUGHOUT

INSTALLATION, THE DEALER SHALL HAVE THE OPTION OF REMOVING THE OBSTRUCTION IF POSSIBLE OR RELOCATING THE SCREW PILE. THIS LATTER OPTION MAY REQUIRE THE

A) THE MAXIMUM INSTALLATION TORQUE SHALL AT NO TIME EXCEED THE TORQUE RATING OF THE SCREW PILE SHAFT AS

B) SCREW PILES SHALL BE INSTALLED TO THE MINIMUM TORQUE VALUE PER MANUFACTURER. IF THE PLAN OF REPAIR IS AN ENGINEER'S PLAN OF REPAIR, THE APPROVAL OF THE ENGINEER OF RECORD SHALL BE OBTAINED BEFORE OPTION

> IF THE MINIMUM TORQUE REQUIREMENT HAS NOT BEEN SATISFIED QT THE MINIMUM DEPTH LEVEL, THE DEALER SHALL HAVE THE FOLLOWING OPTIONS: INSTALL THE NEW SCREW PILE DEEPER USING ADDITIONAL PLAIN EXTENSION MATERIAL UNTIL THE SPECIFIED TORQUE LEVEL IS OBTAINED, OR REMOVE THE EXISTING SCREW PILE AND INSTALL A SCREW PILE WITH LARGER AND/OR MORE HELICES. THIS REVISED SCREW PILE SHALL BE INSTALLED AT LEAST THREE FEET BEYOND THE TERMINATION DEPTH

C) THE MINIMUM DEPTH OF INSTALLATION SHALL BE PER GEOTECHNICAL REPORT. IF THE INSTALLER CANNOT ACHIEVE THE DEPTH SHOWN ON THE REPORT, THE ENGINEER SHALL BE CONTACTED BEFORE PROCEEDING FURTHER. IF THE MAXIMUM TORQUE RATING OF THE INSTALLING UNIT HAS BEEN REACHED BUT THAT OF THE SCREW PILE HAS NOT PRIOR TO SATISFYING THE MINIMUM DEPTH REQUIREMENT, THE DEALER SHALL HAVE THE OPTION OF UTILIZING A HIGHER TORQUE INSTALLING UNIT MEETING THE REQUIREMENT OF PARAGRAPH 4 TO DRIVE THE SCREW PILE DEEPER. IF THE MINIMUM TORQUE RATING OF THE SCREW PILE AND/OR INSTALLING UNIT HAS BEEN REACHED PRIOR TO SATISFYING THE MINIMUM DEPTH LEVEL, THE DEALER

IF THE PLAN OF REPAIR IS AN ENGINEER'S PLAN OF REPAIR, THE APPROVAL OF THE ENGINEER OF RECORD SHALL BE OBTAINED BEFORE OPTION A OR B IS

TERMINATE THE INSTALLATION AT THE DEPTH

REMOVE THE EXISTING SCREW PILE AND INSTALL A SCREW PILE WITH SMALLER AND/OR FEWER HELICES. THIS REVISED SCREW PILE SHALL BE INSTALLED AT LEAST THREE FEET BEYOND THE TERMINATION DEPTH

8. THE SCREW PILE SHALL BE CONNECTED TO THE STRUCTURE USING AN A. B. CHANCE COMPANY APPROVED STEEL BRACKET OR PROPERLY DESIGNED STEEL REINFORCED CONCRETE HAUNCH CAPABLE OF SAFELY TRANSFERRING THE STRUCTURAL LOADS TO

9. INSTALLATION RECORDS: WRITTEN INSTALLATION RECORDS SHALL BE MAINTAINED FOR EACH SCREW PILE. THESE RECORDS SHALL

C) NAME OF DEALER'S FOREMAN OR REPRESENTATIVE WHO

F) DESCRIPTIONS OF LEAD SECTION AND EXTENSIONS INSTALLED G) OVERALL DEPTH OF INSTALLATION AS REFERENCED FROM

H) TORQUE READINGS FOR THE LAST THREE FEET OF INSTALLATION IF PRACTICAL. IN LIEU OF THIS REQUIREMENT, THE TERMINATION TORQUE SHALL BE RECORDED AS A

I) ANY OTHER APPLICABLE INFORMATION RELATING TO THE

ICATIONS ICATIONS,

PLAN,



	 TAMPA, FL 5405 Cypress Center Drive Suite 110 Tampa, Florida 33609 813.241.8350 ORLANDO, FL GAINESVILLE, FL FT. LAUDERDALE, FL JACKSONVILLE, FL JACKSONVILLE, FL ATLANTA, GA NASHVILLE, TN GLE ASSOCIATES AA 0002369 - CA 5483 McCarthy and A DIVISION OF PENNONI ASSOCIATES, 2555 Nursery Road, Suite 10 Clearwater, FL. 33764–3080 (727) 536–8772 Florida Coa 7819 James Vincent Barnes III, Florida P.E. 77754 Pennoni Project No. GLEI1800	d INC. D1 P.E. D3
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SHEET NUMBER

- 10. SCREW PILE TESTING
- A) TESTING SHALL BE REQUIRED ONLY IF SPECIFIED ON THE SHOP DRAWINGS OR IF DEEMED NECESSARY BY THE GEOTECHNICAL EINGEER OR ENGINEER OF RECORD DUE TO UNUSUAL SUBSURFACE CONDITIONS.
- B) TESTING, IF REQUIRED, SHALL BE PERFORMED IN ACCORDANCE WITH THE TEST PLAN CONTAINED IN THE SHOP DRAWINGS OR, IF REQUIRED BY THE GEOTECHNICAL ENGINEER DUE TO UNUSUAL SUBSURFACE CONDITIONS AND/OR IN ACCORDANCE WITH THE
- TEST PLAN SET FORTH BY THE ENGINEER OF RECORD PRIOR TO THE BEGINNING OF THE TEST. C) THE TEST PLAN SHALL INCLUDE, BUT NOT BE LIMITED TO,
- THE FOLLOWING: THE NUMBER AND LOCATIONS OF TESTS, BASED ON SITE
- AND SUBSURFACE CONDITIONS.
- THE MAXIMUM LOAD TO BE APPLIED DURING THE TEST. THE ACCEPTANCE CRITERIA INCLUDING LOAD VERSUS DISPLACEMENT.
- D) THE TEST EQUIPMENT SHALL BE CAPABLE OF APPLYING A COMPRESSION LOAD EQUAL TO THE MAXIMUM TEST LOAD SPECIFIED IN THE TEST PLAN.
- E) IF THE COMPRESSION TEST REQUIRES ADDITIONAL SCREW PILES FOR REACTION, THESE SCREW PILES SHALL BE INSTALLED TO THE SAME TORQUE REQUIREMENTS AS THE TEST SCREW PILE.
- F) THE SCREW PILE SHALL BE TESTED TO THE GREATER OF THE SAFETY FACTORED LOAD OR ITS ULTIMATE CAPACITY. DEFINED AS THE MAXIMUM LOAD THE SCREW PILE CAN RESIST AT CONTINUOUS CREEP CONDITIONS.
- G) TEST RECORDS SHALL INCLUDE THE FOLLOWING:
- ITEMS AS OUTLINED IN SECTION 8 OF THIS SPECIFICATION. MAGNITUDES OF APPLIED LOADS AND CORRESPONDING DISPLACEMENTS.

DRILL-IN BOLTS, SCREWS AND DOWELS

- 1. ADHESIVE DOWELING RODS/BOLTS SHALL BE CARBON STEEL THREADED ROD CONFORMING TO ISO 898 5.8 WITH A MINIMUM TENSILE STRENGTH OF 72.5 KSI (500MPA) AND A MINIMUM YIELD OF 58 KSI (400MPA). THREADED RODS WITH NUTS AND WASHERS INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- 2. ANCHORING ADHESIVE SHALL BE A TWO-COMPONENT SYSTEM SUPPLIED IN MANUFACTURER'S STANDARD SIDE-BY-SIDE FOIL PACKAGE AND DISPENSED THROUGH A STATIC-MIXING NOZZLE SUPPLIED BY THE MANUFACTURER. ADHESIVE SHALL BE TESTED AND APPROVED TO MEET THE MINIMUM REQUIREMENTS OF ACI 355.4 FOR CRACKED AND UNCRACKED CONCRETE RECOGNITION. PROVIDE HILTI HY 200 SAFE SET (ESR 3187) OR RE 500 V3 (ESR 3814) ANCHORS BY HILTI OR EQUAL (E.G. SIMPSON SET-XP. ATC ULTRABOND 365CC)UNLESS SPECIFIED OTHERWISE IN THE STRUCTURAL DOCUMENT.
- 3. DRILL-IN REBAR DOWELS SHALL BE SET USING A TWO-PART ADHESIVE AS DESCRIBED ABOVE.
- 4. EXPANSION BOLTS SHALL BE HILTI KB TZ (ESR 1917) OR EQUAL. BOLT SHALL MEET DUCTILITY REQUIREMENTS OF ACI 318 SECTION D1.
- 5. EXPANSION BOLTS SHALL HAVE CARBON STEEL ANCHOR BODY AND NUT AND WASHER SHALL BE ELECTROPLATED ZINC COATING CONFORMING TO ASTM B633 TO A MINIMUM OF 5MM. THE STAINLESS STEEL ANCHOR BODY, NUT AND WASHER, AND EXPANSION SLEEVE SHALL CONFORM TO TYPE 316 STAINLESS STEEL. EXPANSION ANCHORS SHALL MEET THE MINIMUM REQUIREMENTS OF ACI 355.2 FOR CRACKED AND UNCRACKED CONCRETE. INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- 6. MASONRY SCREWS SHALL BE 1/4" DIAMETER WITH 1-5/8" MINIMUM EMBEDMENT INSTALLED IN DRILLED HOLES USING AN APPROPRIATE BIT DIAMETER.
- 7. SCREWS SHALL HAVE A BODY MADE OF CARBON STEEL AND SHALL BE HEAT TREATED AND SHALL HAVE 8MM ZINC COATING IN ACORDANCE WITH EN ISO 4042. PROVIDE HUS EZ (ESR 3027) SCREWS BY HILTI OR EQUAL.
- 8. HEAVY-DUTY CONCRETE AND MASONRY SCREWS SHALL BE TESTED AND APPROVED TO MEET THE MINIMUM REQUIREMENTS OF ACI 355.2. HILTI KWICK HUS EZ (ESR-3027 FOR CONCRETE, ESR-3056 FOR GROUT FILLED MASONRY). HEAVY DUTY SCREWS BY HILTI OR EQUAL.
- 9. THE CONTRACTOR SHALL ARRANGE FOR AN ANCHOR MANUFACTURER'S REPRESENTATIVE TO PROVIDE ONSITE INSTALLATION TRAINING FOR ALL OF THE ANCHORING PRODUCTS SPECIFIED. MCCARTHY AND ASSOCIATES TO RECEIVE DOCUMENTED CONFIRMATION THAT ALL OF THE CONTRACTOR'S PERSONNEL WHO ARE TO INSTALL ANCHORS ARE TRAINED PRIOR TO THE COMMENCEMENT OF INSTALLATION.

CARPENTRY

1. DIMENSIONED LUMBER SHALL BE DRESSED S4S, AND SHALL BEAR THE GRADE STAMP OF THE MANUFACTURER'S ASSOCIATION.

- 2. LUMBER SHALL BE SOUND, SEASONED, AND FREE FROM WARP.
- 3. LUMBER SHALL BE SOUTHERN PINE NO. 2 GRADE OR BETTER WITH 19% MAXIMUM MOISTURE CONTENT, UNLESS NOTED OTHERWISE ON THE PLANS.
- 4. LUMBER IN CONTACT WITH MASONRY OR CONCRETE, OR EXPOSED TO WEATHER, SHALL BE PRESSURE TREATED.
- 5. MINIMUM COATING REQUIREMENTS FOR METAL CONNECTORS AND FASTENERS: A) INTERIOR – ZINC GALVANIZED (G90) B) EXTERIOR – GALVANIZED (G185) OR HOT DIP GALVANIZED (HDG)
- 6. WHEN USING STAINLESS STEEL CONNECTORS, USE STAINLESS STEEL FASTENERS. WHEN USING G185 OR HDG CONNECTORS, USE FASTENERS GALVANIZED PER ASTM A153.
- 7. PLYWOOD SHEATHING SHALL BE DFPA CD WITH EXTERIOR GLUE. ALL ROOF SHEATHING TO BE INSTALLED WITH PLYCLIPS.
- 8. INSTALL BRIDGING IN ALL FLOOR OR ROOF JOISTS AT 10'_0" O.C. MAXIMUM. INSTALL BLOCKING IN ALL WALL STUDS AT 4'-0" ON CENTER TO COINCIDE WITH PLYWOOD JOINTS.
- 9. NAILING AND BOLTING SHALL COMPLY WITH AMERICAN INSTITUTE OF TIMBER CONSTRUCTION REQUIREMENTS.
- 10. CONNECTION HARDWARE SHALL BE SUPPLIED BY SIMPSON STRONG-TIE CO., INC, OR EQUIVALENT. SUBMIT CUT SHEETS OF ALTERNATIVE CONNECTION HARDWARE TO ENGINEER FOR APPROVAL.
- 11. STUDS SHALL BE DOUBLED AT ALL ANGLES, AROUND ALL OPENINGS, AND BELOW ALL BEAMS AND GIRDER TRUSSES UNLESS NOTED OTHERWISE. STUDS SHALL BE TRIPLED AT ALL CORNERS.
- 12. OUTSIDE CORNERS SHALL BE BRACED WITH A DIAGONAL 1 X 4 LET INTO OUTSIDE EDGE OF 2 X 4 STUDS, UNLESS PLYWOOD SHEATHING IS SHOWN ON DRAWINGS.
- 13. WOOD LINTELS OVER OPENINGS SHALL BE 2 X 6 HEADERS FOR SPANS UP TO 6'_0" AND 2 X 8 HEADERS FROM 6'_0" TO 7'_0". SEE PLANS FOR SPANS GREATER THAN 7'_0". ALSO PROVIDE 1/2" PLYWOOD SPACER PLATE BETWEEN BEAMS PLYS. FINISHED HEADER WIDTH SHALL MATCH WALL WIDTH. NAIL TOGETHER WITH 16D NAILS AT 12" ON CENTER TOP AND BOTTOM.
- 14. FLITCH BEAMS, WHERE SPECIFIED, SHALL BE BOLTED TOGETHER WITH ONE 3/4" DIAMETER BOLT TOP AND BOTTOM OVER SUPPORT OR AT END OF BEAM. INTERMEDIATE BOLTS TO BE SPACED AT 2'_0" O.C. TOP AND BOTTOM, STAGGERED FULL LENGTH OF BEAM (1/2" DIAMETER BOLTS). STEEL PLATES FOR FLITCH BEAMS SHALL CONFORM TO ASTM A_36.
- 15. PLACE A SINGLE PLATE AT THE BOTTOM AND A DOUBLE PLATE AT THE TOP OF ALL LOAD-BEARING STUD WALLS. 2X SOLE PLATES AT THE EDGES OF SLABS SHALL BE ATTACHED TO THE SLAB WITH SIMPSON MAS MUDSILL ANCHORS (WITH 6 10D NAILS) AT 2'-8" O.C. AT INTERIOR STUD WALLS. PROVIDE EITHER HILTI DN72 (WITH 7/8" DIAMETER 5/64" THICK WASHERS) POWDER DRIVEN FASTENERS AT 0'-10" on center, or 1/2" diameter HILTI KWIK-BOLTS (EXPANSION ANCHORS(WITH 6" EMBEDMENT, AT 4'-0" O.C. RED-HEAD FASTENERS OF EQUIVALENT SIZES MAY BE USED. ALL OTHER SUBSTITUTIONS MUST BE APPROVED BY MCCARTHY AND ASSOCIATES, INC. PRIOR TO INSTALLATION. SEE THE SHEAR WALL SCHEDULE FOR SPECIAL SOLE PLATE ATTACHMENT AT SHEAR WALLS.
- 16. WALL SHEATHING SHALL BE: (SEE SHEAR WALL SCHEDULE FOR REQUIREMENTS AT SHEAR WALLS)
- A) AT INTERIOR WALLS PROVIDE 1/2" OR 4/8" GYPSUM WALLBOARD. (SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS) EACH SIDE OF STUDS, NAILED WITH 5D COOLER NAILS AT 7" O.C. (USE 6D COOLER NAILS FOR 5/8" WALLBOARD) AT ALL SUPPORTS. PROVIDE SOLID 2X BLOCKING AT ALL SHEET EDGES. BLOCKING IS NOT REQUIRED AT NON-LOAD BEARING PARTITIONS.
- B) AT EXTERIOR WALLS SHEATH THE INTERIOR FACE OF WALLS WITH GYPSUM WALLBOARD AS NOTED ABOVE FOR INTERIOR WALLS. SHEATH THE EXTERIOR FACE OF WALLS WITH 5/8" C-DX PLYWOOD NAILED WITH 10D NAILS AT 6" ON CENTER AT EDGES AND AT 12" O.C. AT ALL INTERMEDIATE SUPPORTS. PROVIDE SOLID DOUBLE 2X BLOCKING AT ALL SHEET EDGES. BLOCKING IS NOT REQUIRED AT NON-LOAD BEARING PARTITIONS.
- 17. FLOOR SHEATHING IS 3/4" TONGUE AND GROOVE PLYWOOD, GLUED AND NAILED WITH 10D NAILS AT 6" O.C. AT SUPPORTED EDGES, AND 10D NAILS AT 12" O.C. AT INTERMEDIATE SUPPORTS. DO NOT USE OSB FLOORING.
- 18. ROOF SHEATHING SHALL BE 5/8" EXTERIOR GRADE PLYWOOD OR OSB NAILED WITH 10D NAILS AT 4" O.C. AT SUPPORTED EDGES, AND 10D NAILS AT 6" O.C. AT INTERMEDIATE SUPPORTS. PROVIDE ONE PLYWOOD CLIP PER SPAN BETWEEN SHEET EDGES.

PROVIDE SOLID 2X BLOCKING BETWEEN SUPPORTS AT ALL HIPS. RIDGES, VALLEYS, AND CHANGES IN ROOF SLOPE. USE RING SHANK NAILS WHERE MEAN ROOF HEIGHT EXCEEDS 25'-0".

19. NAILING SCHEDULE

\sim						NUMBE	R	
<u>DAC</u>	<u>ING</u>	_				<u>nail</u> <u>U</u>	K	
S S D	OLE PLATE TO TUD TO SOLE F OUBLE STUDS, OUBLE TOP PL/	TRUSS OR PLATE, TOE FACE NAIL ATES, FACE	BLOCKI NAIL NAIL	NG 16[8[10[10[)))	16"0. 4 24"0. 16"	С. С.	
.C. T T B S	OP PLATES LAP RUSSES, LAPS UILT-UP CORNI TUDS TO SOLE	'S AND INTE OVER WALL' ER STUDS PLATE, ENI	ersecti S, face D nail	ons E nail 16[10D 16D) 16D	24" 0.	3 4 C. 2	
0. F,	ASTENER SUBST	TUTIONS						
A T A S	LL NAILS ARE HE FOLLOWING LL ALTERNATE PACING AS THE	COMMON FASTENER FASTENERS SCHEDULE	NAILS, S ARE S SHAL D FAST	UNLE ACCE L BE ENERS.	SS NOTEE PTABLE S SPACED A) OTHE UBSTITU T THE	RWISE JTIONS SAM	E
	<u>Scheduled fa:</u> 8d common n,	<u>STENER</u> AIL (<u>AL</u> 8d 3d Scr).131 F	<u>ternati</u> Ring EW Sha P–NAIL	<u>e fastene</u> Shank nai Ank nail	<u>R</u> L		
	10D COMMON N	NAIL 1 (10 IOD SC 0.148 F	d ring rew sh P—nail	SHANK NAIL	AIL		
CRE	6D COOLER N W	IAIL 7	#6 X 1	-1/4"	TYPE S O	r w df	rywal	L
1. G A	UN DRIVEN N PPROPRIATE BA	AILS MUST .CK-UP DAT	BE S	SUBMITT	ED FOR	REVIEW	WIT	Η
2. 1 D S C D	OSB SHALL NG 5%. PROLONGE AMAGE AND I HEATHING. CONSTRUCTION T URING TRANSPO	OT HAVE A D EXPOSU REDUCE TH SPECIAL TO KEEP TH ORTATION, S	MOIST RE TO HE STF CARE IE OSB TORAGE	URE C WETTI RUCTUR SHALL DRY A , INSTA	ONTENT G NG & M(AL CAPAC BE TA T ALL TIME LLATION, E	REATER DISTURE ITY OF KEN [SS (INCI TC.)	THA WIL TH DURIN _UDIN	N L G G
3. P	RESSURE TREAT	ED WOOD	TABLE:	AWPA	STANDARD	U1-11		
				COMI	MODITY			
	PRESERVATIVE <u>APPLICATION</u>	EXPOSURE (JSE Categoi	SPEC RY <u>SECT</u>	CIFICATION	AND RETENT	<u>-10N</u>	
	JOISTS AND BEAMS	GROUI EXTER	ND, IOR	3B	A	Ν	OTE	1
	POSTS SAWN	GROUI CONTACT O FRESH WATER	ND R	4C	A	Ν	OTE	1
	PLYWOOD FLOO	r above ground interior	2		F	NOTE	1	
	PLYWOOD FLOO	r above ground exterior	3B		F	NOTE	1	
	SILL PLATES	INTERIOR ABOVE	2		A	NOTE	1	

NOTES: 1. REFER TO AWPA U1-11 FOR ALLOWABLE PRESERVATIVES AND RETENTIONS.

GROUND DAMP



DOORS, WINDOWS AND WALLS

COMPONENT AND CLADDING LOADING DIAGRAMS 1. a=7'-3"



ULTIMATE GROSS WIND LOADS MAIN ROOF ROOFING MATERIALS				
COMPONENTS	ROOF ZONE			
AND CLADDING	1	2	3	
PRESSURE (psf)	2 <i>Ø.</i> 7	2 <i>Ø.</i> 7	2 <i>Ø.</i> 7	
SUCTION (psf)	-32.9	-57,3	-84.8	

ULTIMATE GROSS WIND LOADS MAIN ROOF JOISTS OR TRUSSES				
COMPONENTS	ROOF ZONE			
AND CLADDING	1	2	3	
PRESSURE (psf)	15.3	15,3	15.3	
SUCTION (psf)	-3Ø.2	-43.9	-68.6	

ULTIMATE NET WIND LOADS OVERHANGS AND CANOPIES JOISTS OR TRUSSES			
COMPONENTS ROOF ZONE			
AND CLADDING 1		2	3
PRESSURE (psf)	15.3	15.3	15.3
SUCTION (bsf)	-64,4	-78,1	-102.8









2. THIS BUILDING IS DESIGNED AS AN ENCLOSED STRUCTURE. ALL EXTERIOR COMPONENTS (DOORS, WINDOWS, ETC.) MUST BE DESIGNED TO WITHSTAND THE WIND LOADINGS SPECIFIED FOR THE DESIGN OF COMPONENTS AND CLADDING IN THE TABLES. IN ADDITION, ALL AREAS OF EXTERIOR GLAZING MUST BE CERTIFIED FOR MIGGILE IMPACT OR PROTECTED BY WIND-BORNE DEBRIS BY A SCREEN BARRIER.

		 TAM 5405 Suite Tamper 813.2 ORI GAI FT. JAC ATL NAS A DIVISIC 2555 Clea Po 	MPA, FL Cypress C 110 Da, Florida (241.8350 LANDO NESVIL LAUDE CKSON ANTA, SHVILLE GLE A: AA 0002 M OF PEN Nursery rwater, (727) Florida James Vi Florida ennoni Pr	alid Unless a Registered	e 5, FL FL 33 50 50 50 50 50 50 50 50 50 50
NOT FOR FINAL PRICING- SUBJECT TO CHANGE		JACKSONVILLE HOUSING AUTHORITY	VICTORY POINTE APARTMENTS	UNIT 404 BUILDING REPAIRS	6750 RAMONA BLVD. JACKSONVILLE,FL 32205
FOR CONSTRUCTION-		NO.	REVIS	IONS	DATE
NOT	S	JOB NU 180 ISSUE I DRAWN CHECK ISSUE: TRUCT WI	IMBER: OO- 1 DATE: N BY: ED BY: FURAL ND LO	196 07-23 SV VB 100% SPEC AD TA	51 -18 DD CIFICATION, ABLES





REMOVED. NO ITEMS WILL BE ABANDONED, UNLESS OTHERWISE NOTED.

	GLE	
	 TAMPA, FL 5405 Cypress Center Drive Suite 110 Tampa, Florida 33609 813.241.8350 ORLANDO, FL GAINESVILLE, FL FT. LAUDERDALE, FL JACKSONVILLE, FL ATLANTA, GA NASHVILLE, TN GLE ASSOCIATES A0002369 - CA 5483 MCCarthy and A DIVISION OF PENNONI ASSOCIATES, INC. 2555 Nursery Road, Suite 101 Clearwater, FL. 33764–3080 (727) 536–8772 Florida Coa 7819 James Vincent Barnes III, P.E. Florida P.E. 77754 Pennoni Project No. GLEI18003	
	Drawing Not Valid Unless Signed, Sealed & Dated By Registered Professional	
- NOT FOR FINAL PRICING- SUBJECT TO CHANGE	JACKSONVILLE HOUSING AUTHORITY VICTORY POINTE APARTMENT UNIT 404 BUILDING REPAIRS 6750 RAMONA BLVD. JACKSONVILLE, FL 32205	
NOT FOR CONSTRUCTION-	NO. REVISIONS DATE	
	ENLARGED EXISTING 1ST & 2ND FLOOR PLAN & ROOF FRAMING PLAN	

S1.01 SHEET NUMBER





SCHEDULED FASTENER	ALTERNATE FASTENER	
	80 RING SHANK NAIL	
8d COMMON NAIL	80 SCREW SHANK NAIL	
	Ø.131 P-NAIL	
	100 RING SHANK NAIL	
10d COMMON NAIL	10d	
	Ø.148 P-NAIL	
6d COOLER NAIL	#6 x 1-1/4" TYPE S OR W DRYWALL SCREW	
NOTES: *** 1. ALL NAILS ARE COMMON NAILS, UNLES NOTED OTHERWISE. THE FOLLOWING FASTENERS ARE ACCEPTABLE SUBSTITUTIONS. ALL ALTERNATE FASTENERS SHALL BE SPACED AT THE SAME SPACING AS THE SCHEDULED FASTENERS. 2. GUN DRIVEN NAILS MUST BE SUBMITTED FOR REVIEW WITH APPROPRIATE BACK UP DATA.		

6'-0
6'-Ø
8'-Ø'
NOT
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** 2.



