

DUMAS HOUSE DRAINAGE AND PAVING REPAIRS

1313 N SHERWOOD FOREST BLVD
BATON ROUGE, LOUISIANA, 70815

CONSTRUCTION DOCUMENTS

PROJECT DESCRIPTION:

PROJECT CONSISTS OF THE REMOVAL AND REPLACEMENT OF EXISTING PAVEMENT, SUB-SURFACE DRAINAGE PIPE, AND CATCH BASINS SO AS TO IMPROVE EXISTING SITE DRAINAGE. EXISTING WATER MAIN AND APPURTENANCES WILL BE REMOVED AND REPLACED TO ALLOW INSTALLATION OF A NEW SUB-SURFACE STORMWATER DETENTION SYSTEM THAT DRAINS TO ORIGINAL SITE OUTFALL LOCATION. NEW CONCRETE PARKING LOT PAVEMENT, CURB, PARKING STRIPING, AND LANDSCAPING AS PER THE CONTRACT DOCUMENTS.

CONTACT INFORMATION:

OWNER:

EAST BATON ROUGE PARISH COUNCIL ON AGING
5290 FLORIDA BLVD
BATON ROUGE, LA 70806
P. (225) 923-8000

ARCHITECT:

DIDIER ARCHITECTURE, LLC
17531 OLD JEFFERSON HWY, SUITE C
PRAIRIEVILLE, LOUISIANA 70769
P. (225)-744-0008
CONTACT: DERRYL DIDIER, AIA, CSI, NCARB
MATTHEW LANDRY, AIA

CIVIL:

SOUTHEAST ENGINEERS
4915 SOUTH SHERWOOD FOREST BLVD
BATON ROUGE, LA
P. (225) 925-1880
CONTACT: MIKE LEDAS, P.E.
ERIC GRANRUD, P.E.

CODE INFORMATION:

APPLICABLE BUILDING CODES AND STANDARDS:

- LRS 40:1749.11-22, "LOUISIANA UNDERGROUND UTILITIES AND FACILITIES DAMAGE PREVENTION LAW"
- OSHA REGULATIONS
- EAST BATON ROUGE UNIFIED DEVELOPMENT CODE AND ORDINANCES
- 1997 STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, CITY OF BATON ROUGE
- LOUISIANA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES, LATEST EDITION
- 2015 INTERNATIONAL EXISTING BUILDING CODE, AS AMENDED
- 2015 INTERNATIONAL BUILDING CODE, AS AMENDED
- AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES
- 2012 NFPA 101 LIFE SAFETY CODE

INDEX OF DRAWINGS:

GENERAL:

G100 DRAWING INDEX, VICINITY MAP, AND PROJECT DESCRIPTION

CIVIL:

- C0.0 EXISTING CONDITIONS PLANS
- C1.0 REMOVAL PLAN (EAST)
- C1.1 REMOVAL PLAN (WEST)
- C2.0 OVERALL DRAINAGE PLAN
- C3.0 UTILITY PLAN
- C4.0 PAVING AND GRADING PLAN (EAST)
- C4.1 PAVING AND GRADING PLAN (WEST)
- C5.0 DRAINAGE PLAN & PROFILE (EAST)
- C5.1 DRAINAGE PLAN & PROFILE (WEST)
- C6.0 STORMWATER MANAGEMENT PLAN
- C7.0 OVERALL WATERSHED MAP
- C8.0 CONSTRUCTION DETAILS
- C8.1 BID ALTERNATE #2A & #2B (CONTECH)
- C8.2 BID ALTERNATE #3A & #3B (STORMTECH)
- C8.3 BID ALTERNATE #4B (STORMTRAP)
- C9.0 STANDARD DETAILS
- C9.1 STANDARD DETAILS

LINETYPE CONVENTIONS:

- 1 HOUR FIRE PARTITION
- 2 HOUR FIRE PARTITION
- 3 HOUR FIRE PARTITION
- PROPERTY LINE
- BUILDING LINE
- PROPERTY SETBACKS
- SERVITUDES
- SIGHTLINE SETBACK
- NATURAL GAS
- ELECTRICAL OVERHEAD
- SANITARY SEWER
- STORM DRAIN
- CABLE VISION
- WATER
- FENCE (CHAINLINK)
- FENCE (WOOD)
- BUILDING MATCH

GENERAL NOTES:

A. ALL WORK SHALL COMPLY WITH THE MINIMUM CONSTRUCTION STANDARDS OF THE AMERICANS WITH DISABILITIES ACT, THE NFPA LIFE SAFETY CODE BUILDING CODE, THE NATIONAL ELECTRICAL, MECHANICAL AND PLUMBING CODES AND ALL STATE AND LOCAL CODES AND ORDINANCES. ALL WORK SHALL BE PERFORMED TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEYMEN OF THE APPROPRIATE TRADES AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION REQUIREMENTS.

B. THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL OF THE NECESSARY INFORMATION REQUIRED TO COMPLETE THE WORK DESCRIBED HEREIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ALL CONDITIONS WHICH WILL NOT PERMIT CONSTRUCTION ACCORDING TO THE INTENT OF THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO PROVIDE DETAILS AND/OR DIRECTIONS REGARDING DESIGN INTENT WHERE EXISTING CONDITIONS PREVENT COMPLIANCE.

C. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK BEGINS. SHOP DRAWING REVIEW AND APPROVAL DOES NOT SUPERCEDE THE DESIGN INTENT OUTLINED IN THE CONSTRUCTION DOCUMENTS UNLESS EXPRESSLY STATED.

D. THE BUILDING INSPECTOR SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO CONCEALMENT OF WORK WHEN INSPECTION IS REQUIRED BY THE INTERNATIONAL BUILDING CODE AND NFPA 101 LIFE SAFETY CODE OR ANY LOCAL CODE OR ORDINANCE.

E. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT AREAS DURING CONSTRUCTION. FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS ACCEPTED BY THE OWNER.

F. ALL NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. NOTED DIMENSIONS WITH "N.T.S." DENOTES NOT TO SCALE.

G. CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS AND WALLS WITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.

H. ANY DISCREPANCY FOUND BY THE CONTRACTOR SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT.

I. IN AREAS WHERE DEMOLITION WORK IS REQUIRED, CONTRACTOR SHALL EXERCISE CARE TO PROTECT ALL ADJACENT IMPROVEMENTS AND ONCE RENOVATION WORK IS DONE CONTRACTOR WILL BE RESPONSIBLE FOR COMPLETED WORK TO COORDINATE WITH NEW AND/OR EXISTING MATERIALS AND FINISHES AS REQUIRED.

MATERIALS:

- EXISTING GRADE
- COMPACTED FILL
- SAND
- CONCRETE - PLAN/SECTION
- STEEL
- BRICK - SECTION
- CONCRETE BLOCK - SECTION
- CAST STONE - SECTION, ELEVATION
- MORTAR/GROUT - SECTION, ELEVATION
- STUCCO - SECTION
- STUCCO - ELEVATION
- NEW PLASTER IN ELEVATION
- LIMESTONE SUB-BASE
- OSB BOARD
- PLYWOOD
- SPRAY-IN INSULATION
- BATT INSULATION
- GYPSON BOARD - SECTION
- GYPSON BOARD - ELEVATION
- NEOPRENE/SEALANTS
- CEMENTITIOUS BACKER BOARD - SECTION
- TILE - SECTION
- CARPET - PLAN, ELEVATION
- WOOD - ELEVATION
- GLAZING - ELEVATION
- RIGID INSULATION

DRAWING SYMBOLS:

- EXTERIOR ELEVATION
- INTERIOR ELEVATION
- ENLARGED DETAIL
- WINDOW TAG
- DOOR TAG
- CONSTRUCTION NOTE
- PARTITION TYPE/SECTION DETAIL
- SECTION
- EQUIPMENT TAG
- CUT LINE
- ELEVATION MARK
- EXISTING DOOR
- NEW DOOR
- COLUMN LINE AND IDENTIFICATION
- ROOM TAG
- SPOT ELEVATION
- EXISTING SPOT ELEVATION
- COLUMN TAG

TYPICAL ADA COMPLIANT DETAILS:

- SURFACE MOUNTED H/C DOOR ACTIVATION SWITCH
- WALL MOUNTED FIRE EXTINGUISHER CABINET
- SOAP DISPENSER
- MIRROR
- RECESSED MOUNTED PAPER TOWEL DISPENSER AND WASTE RECEPTACLE
- STAINLESS STEEL GRAB BAR LENGTH INDICATED IN INCHES (36) REAR WALL
- STAINLESS STEEL GRAB BAR LENGTH INDICATED IN INCHES (42) SIDE WALL
- RECESSED MOUNTED DOUBLE ROLL TOILET TISSUE DISPENSER
- SURFACE MOUNTED END STALL SANITARY NAPKIN DISPOSAL
- ADA COMPLIANT LAVATORY - FRONT VIEW
- ADA COMPLIANT KNEE CLEARANCE - SIDE VIEW
- ADA URINAL
- ADA COMPLIANT TOILET
- DIAPER CHANGING STATION
- RECESS MOUNTED FEMININE NAPKIN DISPENSER

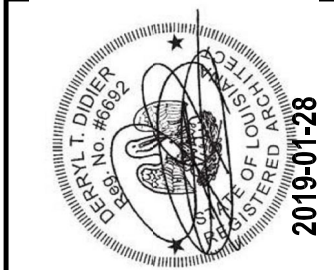
SITE MAP:



SITE LOCATION

JANUARY 28, 2019
DATE
REVISIONS

DIDIER ARCHITECTURE
Derryl Didier, Architect & Associates, LLC

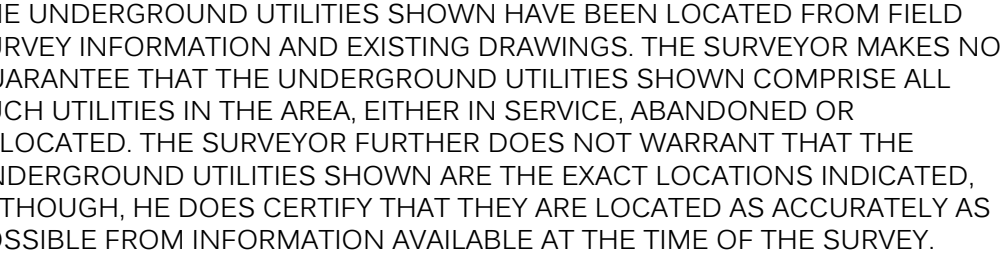


DUMAS HOUSE DRAINAGE & PAVING REPAIRS
1313 N SHERWOOD FOREST DRIVE
BATON ROUGE, LA 70815
FOR EAST BATON ROUGE PARISH COUNCIL ON AGING

JOB NUMBER
18-114
SET NUMBER

SHEET
G100


THE CONTRACTOR SHALL VERIFY ALL SCALES AND DIMENSIONS



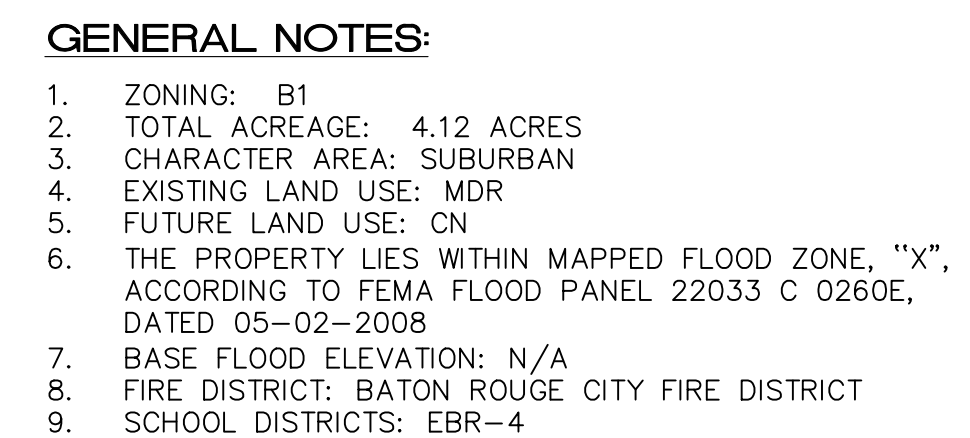
NOTE:
CONTRACTOR IS RESPONSIBLE FOR PEDESTRIAN SAFETY.
CONTRACTOR SHALL INSTALL APPROPRIATE SIGNAGE
ALONG ADJACENT PEDESTRIAN ROUTES INCLUDING
ADVANCE SIGNAGE "SIDEWALK CLOSED AHEAD" (R9-11)
PLUS BARRICADE AND/OR SECURE FENCING AT
SIDEWALK CLOSURE SIGNAGE "SIDEWALK CLOSED" (R9-9)
PURSUANT TO CITY/PARISH REQUIREMENTS.

CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH REQUIREMENTS OF NPDES PERMIT INCLUDING BUT NOT LIMITED TO NOTIFYING E.P.A. OF THE DATE CONSTRUCTION IS TO BEGIN.

W.O. NO.18-575
CAD FILE: 18_575_Exist-DemoPlan.dwg
DATE: 2/12/19

 **LOUISIANA LAND**
ENGINEERING LLC
Civil Engineering Consultants Baton Rouge, LA

THE CONTRACTOR SHALL VERIFY ALL SCALES AND DIMENSIONS



 **DIDIER ARCHITECTURE**
Deryll Didier, Architect & Associates, LLC
7531 Old Jefferson Hwy, Suite C Broussville, Louisiana 70769 www.didierarchitecture.com

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1313 N SHERWOOD FOREST DRIVE
BATON ROUGE, LA 70815
FOR EAST BATON ROUGE PARISH COUNCIL ON AGING

JOB
NUMBER
18-114

SHEET

C0.0

SITE



VICINITY MAP

GENERAL NOTES:

1. ZONING: R-1B1
2. TOTAL ACREAGE: 4.12 ACRES
3. CHARACTER AREA: SUBURBAN
4. EXISTING LAND USE: MDR
5. FUTURE LAND USE: CN
6. THE PROPERTY LIES WITHIN MAPPED FLOOD ZONE, "X",
7. ACCORDING TO FEMA FLOOD PANEL 22033 C 0260E,
8. DATED 05-02-2008
9. BASE FLOOD ELEVATION: N/A
10. FIRE DISTRICT: BATON ROUGE CITY FIRE DISTRICT
11. SCHOOL DISTRICTS: EBR-4

AS-BUILT UTILITY NOTE:

LOCATIONS OF BURIED WATERMAIN, DPW
SEWER FORCEMAIN AND GRAVITY SEWER AND
GAS MAIN ARE SHOWN BY RECORD ONLY.
CONTRACTOR SHALL UTILIZE LA ONE-CALL
OR PRIVATE UTILITY LOCATING FIRM SUCH AS
CARDNO, INC. TO VERIFY EXISTING BURIED
UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
ALL COSTS FOR UTILITY INVESTIGATING AND
FIELD LOCATING/MARKING SHALL BE PAID
FOR BY CONTRACTOR AS PART OF
CONSTRUCTION COST.

REMOVAL LEGEND:

R-# REMOVAL ITEM

CLEAR AND GRUB (TOPSOIL
VEGETATION REMOVAL)

 PAVEMENT REPAIR
(FULL DEPTH)

✓ ✓ ✓ ✓ ✓ LINEAR ITEM REMOVAL

***** SAWCUT PAVEMENT

***** SAWOOT PARVEMEN

X REMOVAL ITEM (STRUCTURE
NEW DATE ITEM)

HOLT HARRISON
SUBDIVISION
LOT 10

CPPC ID 1110320012

LOCATED IN SECTION 1, T7S-R1E,
GREENSBURG LAND DISTRICT
EAST BATON ROUGE PARISH, LOUISIANA

1/28/2019

SHEET Removal Plan

LOUISIANA LAND
ENGINEERING LLC
Civil Engineering Consultants Baton Rouge, LA

THE CONTRACTOR SHALL VERIFY ALL SCALES AND DIMENSIONS.

NOTE:


THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE, ABANDONED OR RELOCATED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE THE EXACT LOCATIONS INDICATED. ALTHOUGH, HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE AT THE TIME OF THE SURVEY.


NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION, DEPTH, AND SIZE OF ALL UNDERGROUND UTILITIES AND STRUCTURES AND SHALL BE LIABLE FOR ANY DAMAGE CAUSED BY FAILURE TO COMPLY WITH THESE INSTRUCTIONS.

NOTE:
CONTRACTOR IS RESPONSIBLE FOR PEDESTRIAN SAFETY.
CONTRACTOR SHALL INSTALL APPROPRIATE SIGNAGE
ALONG ADJACENT PEDESTRIAN ROUTES INCLUDING
ADVANCE SIGNAGE "SIDEWALK CLOSED AHEAD" (R9-11)
PLUS BARRICADE AND/OR SECURE FENCING AT
SIDEWALK CLOSURE SIGNAGE "SIDEWALK CLOSED" (R9-9)
PURSUANT TO CITY/PARISH REQUIREMENTS.

THE BOUNDARY SHOWN IN NO WAY REPRESENTS A
SURVEY OF THE PROPERTY. THE DIMENSIONS SHOWN
REPRESENT THE MAP OF RECORD.

CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH REQUIREMENTS OF NPDES PERMIT INCLUDING BUT NOT LIMITED TO NOTIFYING E.P.A. OF THE DATE CONSTRUCTION IS TO BEGIN.

CLOSURE BARRICADE	
	JERSEY STYLE ORANGE BARRICADE 42"Tx6'Lx24"W

 Louisiana
One
Call before
you dig.
1-800-272-3020

 SITE V-TBM : ELEV. XX.XX'
T.B.D.

W.O. NO.18-575
CAD FILE: 18_575_Exist-DemoPlan.dwg
DATE: 2/12/19

DATE **January 28, 2019**

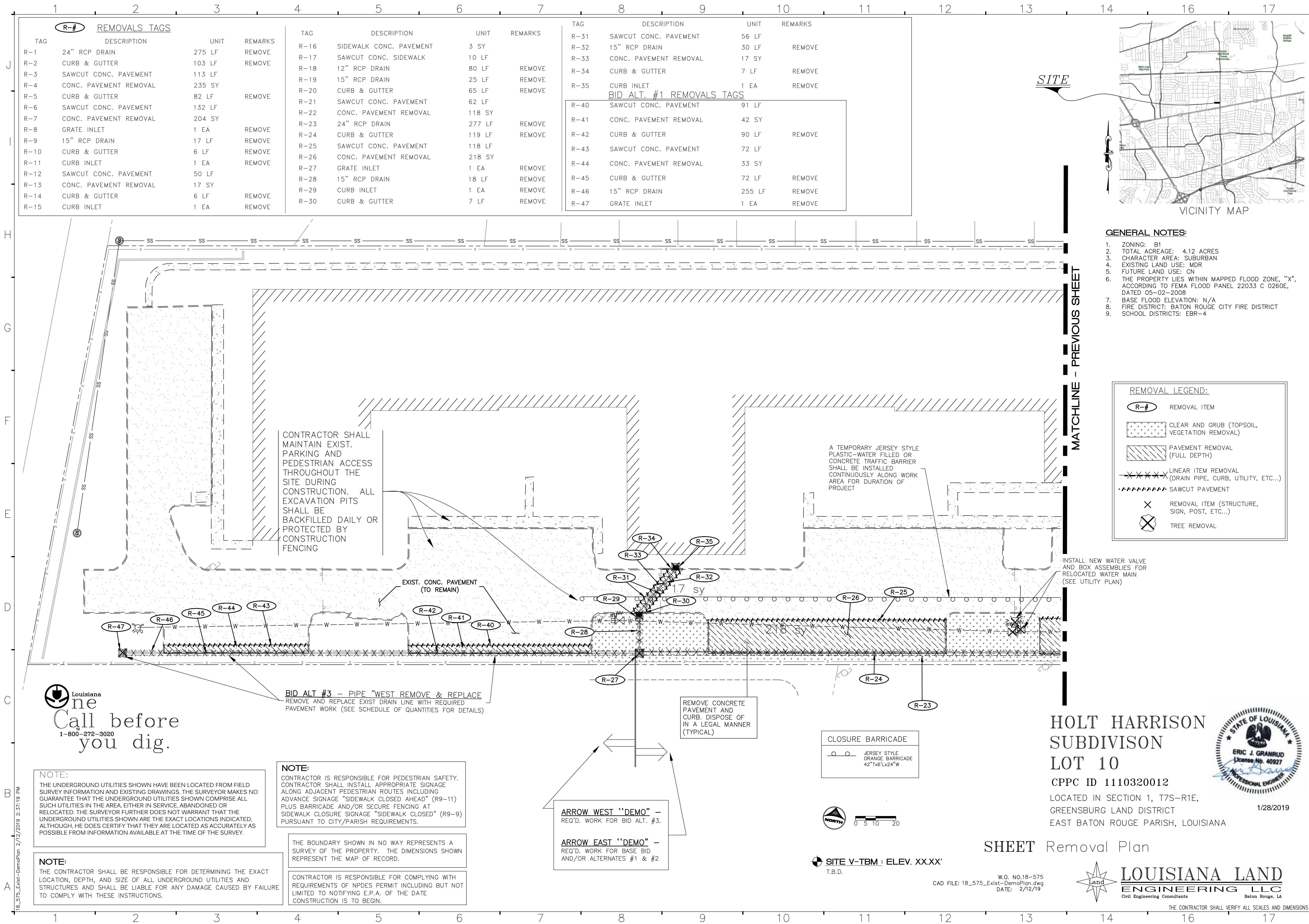
DIDIER ARCHITECTURE
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70331 Old Jefferson Hwy, Suite C | Dridville, Louisiana 70769 | www.didierarchitecture.com

DUMAS HOUSE DRAINAGE & PAVING REPAIRS
1313 N SHERWOOD FOREST DRIVE
 BATON ROUGE, LA 70815
 504-835-8888
 WWW.EASTBATONPOLICECOUNCILONAGING.COM

JOB
NUMBER
18-114

SHEET

C1.0



SITE

MATCHLINE - PREVIOUS SHEET



VICINITY MAP

January 28, 2019

DATE
REVISIONS

DIDIER ARCHITECTURE
Derryl Didier, Architect & Associates, LLC
17331 Old Jefferson Hwy, Suite C Prairieville, Louisiana 70769 www.didierarchitecture.com

DUMAS HOUSE DRAINAGE & PAVING REPAIRS
1313 N SHERWOOD FOREST DRIVE
BATON ROUGE, LA 70815
FOR EAST BATON ROUGE PARISH COUNCIL ON AGING

JOB NUMBER
18-114

SHEET
C1.1

HOLT HARRISON
SUBDIVISON
LOT 10
CPPC ID 1110320012
LOCATED IN SECTION 1, T7S-R1E,
GREENSBURG LAND DISTRICT
EAST BATON ROUGE PARISH, LOUISIANA

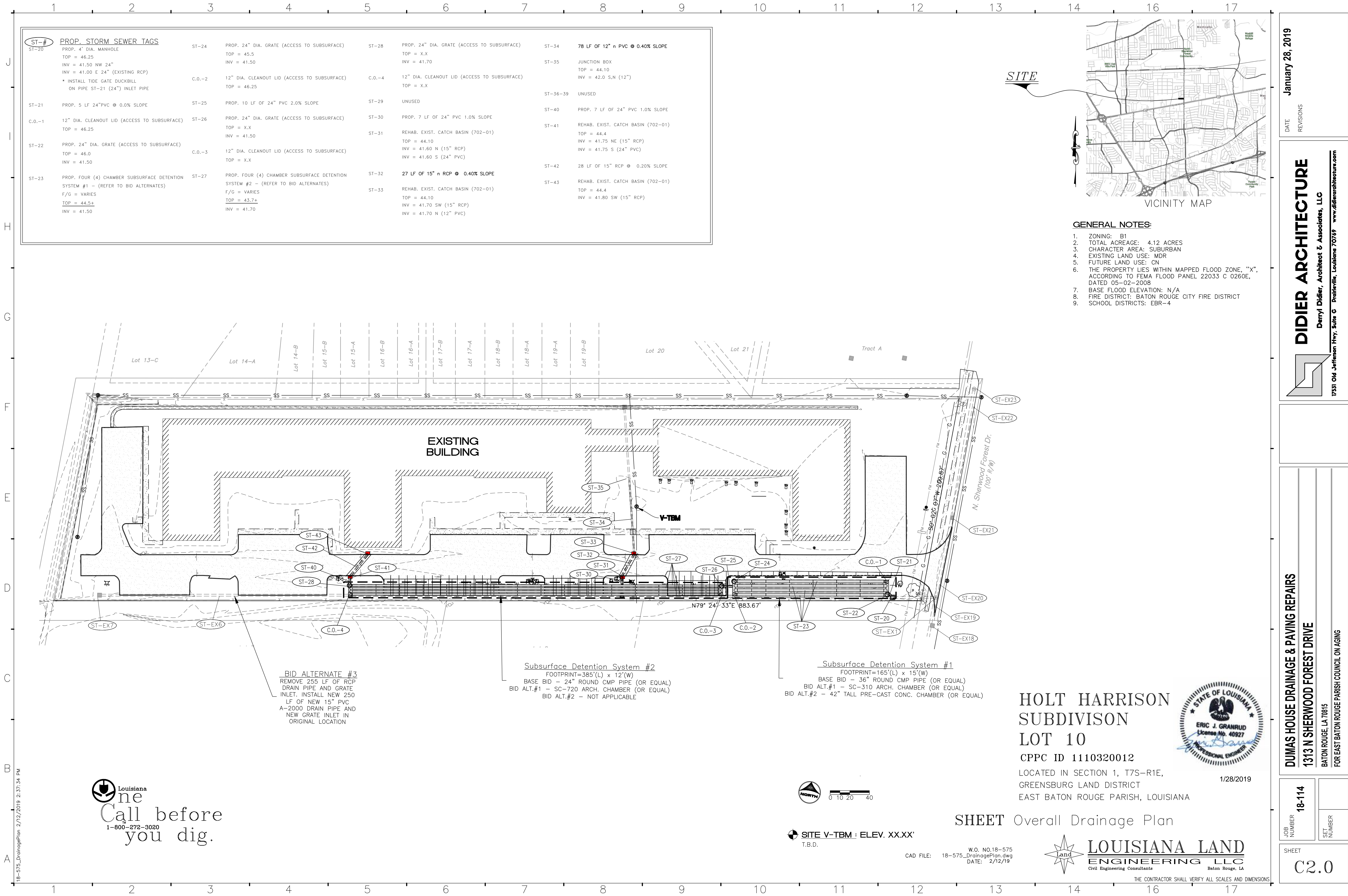


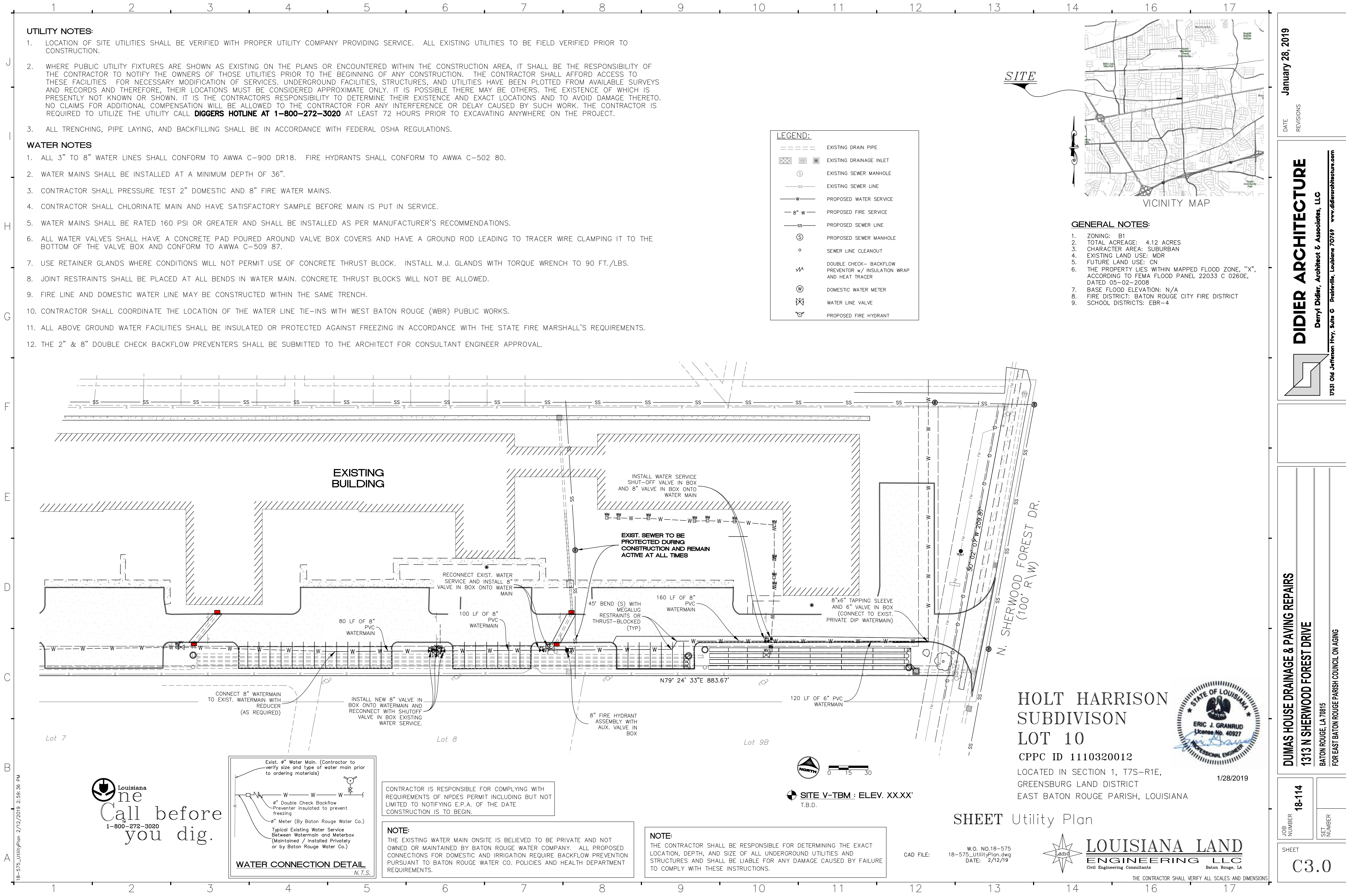
1/28/2019

SHEET Removal Plan

SITE V-TBM : ELEV. XX.XX'
T.B.D.

W.O. NO.18-575
CAD FILE: 18_575_Exist-DemoPlan.dwg
DATE: 2/12/19





January 28, 2019

DATE
REVISIONS

DIDIER ARCHITECTURE

Derryl Didier, Architect & Associates, LLC

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DUMAS HOUSE DRAINAGE & PAVING REPAIRS

1313 N SHERWOOD FOREST DRIVE

BATON ROUGE, LA 70815

FOR EAST BATON ROUGE PARISH COUNCIL ON AGING

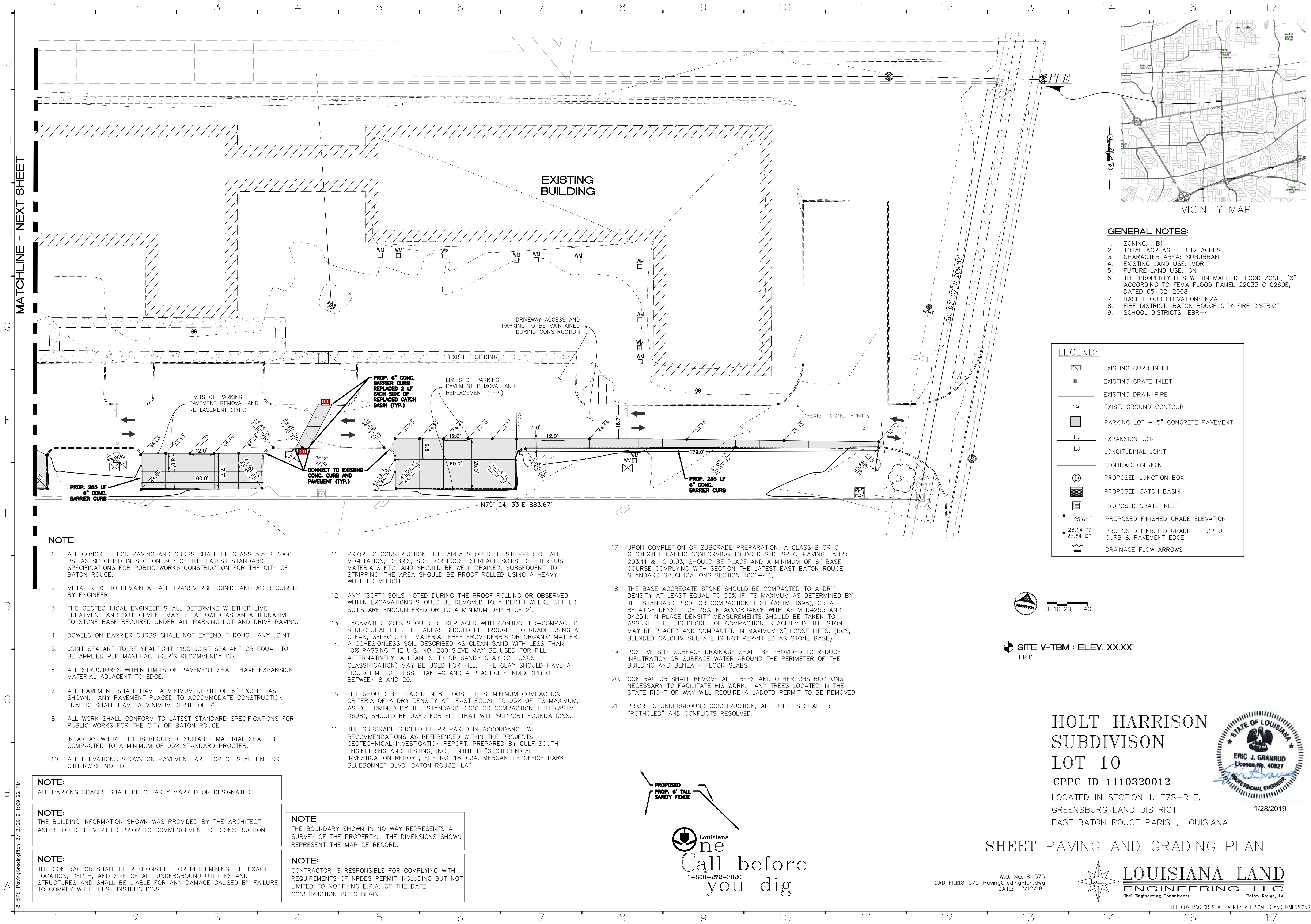
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JOB
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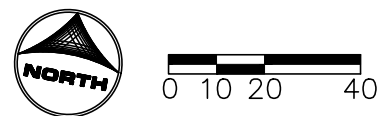
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- GENERAL NOTES:**
1. ZONING: B1
 2. TOTAL ACREAGE: 4.12 ACRES
 3. CHARACTER AREA: SUBURBAN
 4. EXISTING LAND USE: MDR
 5. FUTURE LAND USE: CN
 6. THE PROPERTY LIES WITHIN MAPPED FLOOD ZONE, "X", ACCORDING TO FEMA FLOOD PANEL 22033 C 0260E, DATED 05-02-2008
 7. BASE FLOOD ELEVATION: N/A
 8. FIRE DISTRICT: BATON ROUGE CITY FIRE DISTRICT
 9. SCHOOL DISTRICTS: EBR-4

LEGEND:	
	EXISTING CURB INLET
	EXISTING GRATE INLET
	EXISTING DRAIN PIPE
	EXIST. GROUND CONTOUR
	PARKING LOT - 5" CONCRETE PAVEMENT
	EXPANSION JOINT
	LONGITUDINAL JOINT
	CONTRACTION JOINT
	PROPOSED JUNCTION BOX
	PROPOSED CATCH BASIN
	PROPOSED GRATE INLET
	PROPOSED FINISHED GRADE ELEVATION
	PROPOSED FINISHED GRADE - TOP OF CURB & PAVEMENT EDGE
	DRAINAGE FLOW ARROWS

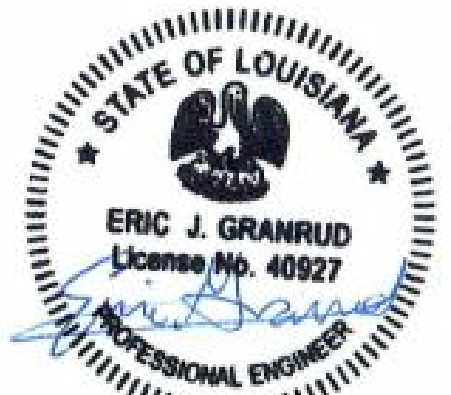
- NOTE:**
1. ALL CONCRETE FOR PAVING AND CURBS SHALL BE CLASS 5.5 B 4000 PSI AS SPECIFIED IN SECTION 502 OF THE LATEST STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR THE CITY OF BATON ROUGE.
 2. METAL KEYS TO REMAIN AT ALL TRANSVERSE JOINTS AND AS REQUIRED BY ENGINEER.
 3. THE GEOTECHNICAL ENGINEER SHALL DETERMINE WHETHER LIME TREATMENT AND SOIL CEMENT MAY BE ALLOWED AS AN ALTERNATIVE TO STONE BASE REQUIRED UNDER ALL PARKING LOT AND DRIVE PAVING.
 4. DOWELS ON BARRIER CURBS SHALL NOT EXTEND THROUGH ANY JOINT.
 5. JOINT SEALANT TO BE SEALTIGHT 1190 JOINT SEALANT OR EQUAL TO BE APPLIED PER MANUFACTURER'S RECOMMENDATION.
 6. ALL STRUCTURES WITHIN LIMITS OF PAVEMENT SHALL HAVE EXPANSION MATERIAL ADJACENT TO EDGE.
 7. ALL PAVEMENT SHALL HAVE A MINIMUM DEPTH OF 6" EXCEPT AS SHOWN. ANY PAVEMENT PLACED TO ACCOMMODATE CONSTRUCTION TRAFFIC SHALL HAVE A MINIMUM DEPTH OF 7".
 8. ALL WORK SHALL CONFORM TO LATEST STANDARD SPECIFICATIONS FOR PUBLIC WORKS FOR THE CITY OF BATON ROUGE.
 9. IN AREAS WHERE FILL IS REQUIRED, SUITABLE MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR.
 10. ALL ELEVATIONS SHOWN ON PAVEMENT ARE TOP OF SLAB UNLESS OTHERWISE NOTED.
 11. PRIOR TO CONSTRUCTION, THE AREA SHOULD BE STRIPPED OF ALL VEGETATION, DEBRIS, SOFT OR LOOSE SURFACE SOILS, DELETERIOUS MATERIALS ETC. AND SHOULD BE WELL DRAINED. SUBSEQUENT TO STRIPPING, THE AREA SHOULD BE PROOF ROLLED USING A HEAVY WHEELED VEHICLE.
 12. ANY "SOFT" SOILS NOTED DURING THE PROOF ROLLING OR OBSERVED WITHIN EXCAVATIONS SHOULD BE REMOVED TO A DEPTH WHERE STIFFER SOILS ARE ENCOUNTERED OR TO A MINIMUM DEPTH OF 2'.
 13. EXCAVATED SOILS SHOULD BE REPLACED WITH CONTROLLED-COMPACTED STRUCTURAL FILL. FILL AREAS SHOULD BE BROUGHT TO GRADE USING A CLEAN, SELECT, FILL MATERIAL FREE FROM DEBRIS OR ORGANIC MATTER. A COHESIONLESS SOIL DESCRIBED AS CLEAN SAND WITH LESS THAN 10% PASSING THE U.S. NO. 200 SIEVE MAY BE USED FOR FILL. ALTERNATIVELY, A LEAN, SILTY OR SANDY CLAY (CL-USCS CLASSIFICATION) MAY BE USED FOR FILL. THE CLAY SHOULD HAVE A LIQUID LIMIT OF LESS THAN 40 AND A PLASTICITY INDEX (PI) OF BETWEEN 8 AND 20.
 14. A COHESIONLESS SOIL DESCRIBED AS CLEAN SAND WITH LESS THAN 10% PASSING THE U.S. NO. 200 SIEVE MAY BE USED FOR FILL. ALTERNATIVELY, A LEAN, SILTY OR SANDY CLAY (CL-USCS CLASSIFICATION) MAY BE USED FOR FILL. THE CLAY SHOULD HAVE A LIQUID LIMIT OF LESS THAN 40 AND A PLASTICITY INDEX (PI) OF BETWEEN 8 AND 20.
 15. FILL SHOULD BE PLACED IN 8" LOOSE LIFTS. MINIMUM COMPACTION CRITERIA OF A DRY DENSITY AT LEAST EQUAL TO 95% OF ITS MAXIMUM, AS DETERMINED BY THE STANDARD PROCTOR COMPACTION TEST (ASTM D698), SHOULD BE USED FOR FILL THAT WILL SUPPORT FOUNDATIONS.
 16. THE SUBGRADE SHOULD BE PREPARED IN ACCORDANCE WITH RECOMMENDATIONS AS REFERENCED WITHIN THE PROJECTS' GEOTECHNICAL INVESTIGATION REPORT, PREPARED BY GULF SOUTH ENGINEERING AND TESTING, INC., ENTITLED "GEOTECHNICAL INVESTIGATION REPORT, FILE NO. 18-034, MERCANTILE OFFICE PARK, BLUEBONNET BLVD. BATON ROUGE, LA".
 17. UPON COMPLETION OF SUBGRADE PREPARATION, A CLASS B OR C GEOTEXTILE FABRIC CONFORMING TO DOTD STD. SPEC. PAVING FABRIC 203.11 & 1019.03, SHOULD BE PLACED AND A MINIMUM OF 6" BASE COURSE COMPLYING WITH SECTION THE LATEST EAST BATON ROUGE STANDARD SPECIFICATIONS SECTION 1001-4.1,
 18. THE BASE AGGREGATE STONE SHOULD BE COMPACTED TO A DRY DENSITY AT LEAST EQUAL TO 95% IF ITS MAXIMUM AS DETERMINED BY THE STANDARD PROCTOR COMPACTION TEST (ASTM D698), OR A RELATIVE DENSITY OF 75% IN ACCORDANCE WITH ASTM D4253 AND D4254. IN PLACE DENSITY MEASUREMENTS SHOULD BE TAKEN TO ASSURE THE THIS DEGREE OF COMPACTION IS ACHIEVED. THE STONE MAY BE PLACED AND COMPACTED IN MAXIMUM 8" LOOSE LIFTS. (BCS, BLENDED CALCIUM SULFATE IS NOT PERMITTED AS STONE BASE)
 19. POSITIVE SITE SURFACE DRAINAGE SHALL BE PROVIDED TO REDUCE INFILTRATION OR SURFACE WATER AROUND THE PERIMETER OF THE BUILDING AND BENEATH FLOOR SLABS.
 20. CONTRACTOR SHALL REMOVE ALL TREES AND OTHER OBSTRUCTIONS NECESSARY TO FACILITATE HIS WORK. ANY TREES LOCATED IN THE STATE RIGHT OF WAY WILL REQUIRE A LADOTD PERMIT TO BE REMOVED.
 21. PRIOR TO UNDERGROUND CONSTRUCTION, ALL UTILITES SHALL BE "POTHOLED" AND CONFLICTS RESOLVED.



SITE V-TBM : ELEV. XX.XX'
T.B.D.

**HOLT HARRISON
SUBDIVISON
LOT 10**

CPPC ID 1110320012
LOCATED IN SECTION 1, T7S-R1E,
GREENSBURG LAND DISTRICT
EAST BATON ROUGE PARISH, LOUISIANA



SHEET PAVING AND GRADING PLAN



W.O. NO.18-575
CAD FILE: B8_575_PavingGradingPlan.dwg
DATE: 2/12/19

THE CONTRACTOR SHALL VERIFY ALL SCALES AND DIMENSIONS

**Call before
you dig.**
1-800-272-3020

NOTE:
ALL PARKING SPACES SHALL BE CLEARLY MARKED OR DESIGNATED.

NOTE:
THE BUILDING INFORMATION SHOWN WAS PROVIDED BY THE ARCHITECT AND SHOULD BE VERIFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

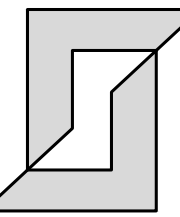
NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION, DEPTH, AND SIZE OF ALL UNDERGROUND UTILITIES AND STRUCTURES AND SHALL BE LIABLE FOR ANY DAMAGE CAUSED BY FAILURE TO COMPLY WITH THESE INSTRUCTIONS.

NOTE:
THE BOUNDARY SHOWN IN NO WAY REPRESENTS A SURVEY OF THE PROPERTY. THE DIMENSIONS SHOWN REPRESENT THE MAP OF RECORD.

NOTE:
CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH REQUIREMENTS OF NPDES PERMIT INCLUDING BUT NOT LIMITED TO NOTIFYING E.P.A. OF THE DATE CONSTRUCTION IS TO BEGIN.

DATE
January 28, 2019
REVISIONS

DIDIER ARCHITECTURE
Derryl Didier, Architect & Associates, LLC



1733 Old Jefferson Hwy, Suite C Prairieville, Louisiana 70769 www.didierarchitecture.com

DUMAS HOUSE DRAINAGE & PAVING REPAIRS

1313 N SHERWOOD FOREST DRIVE

BATON ROUGE, LA 70815

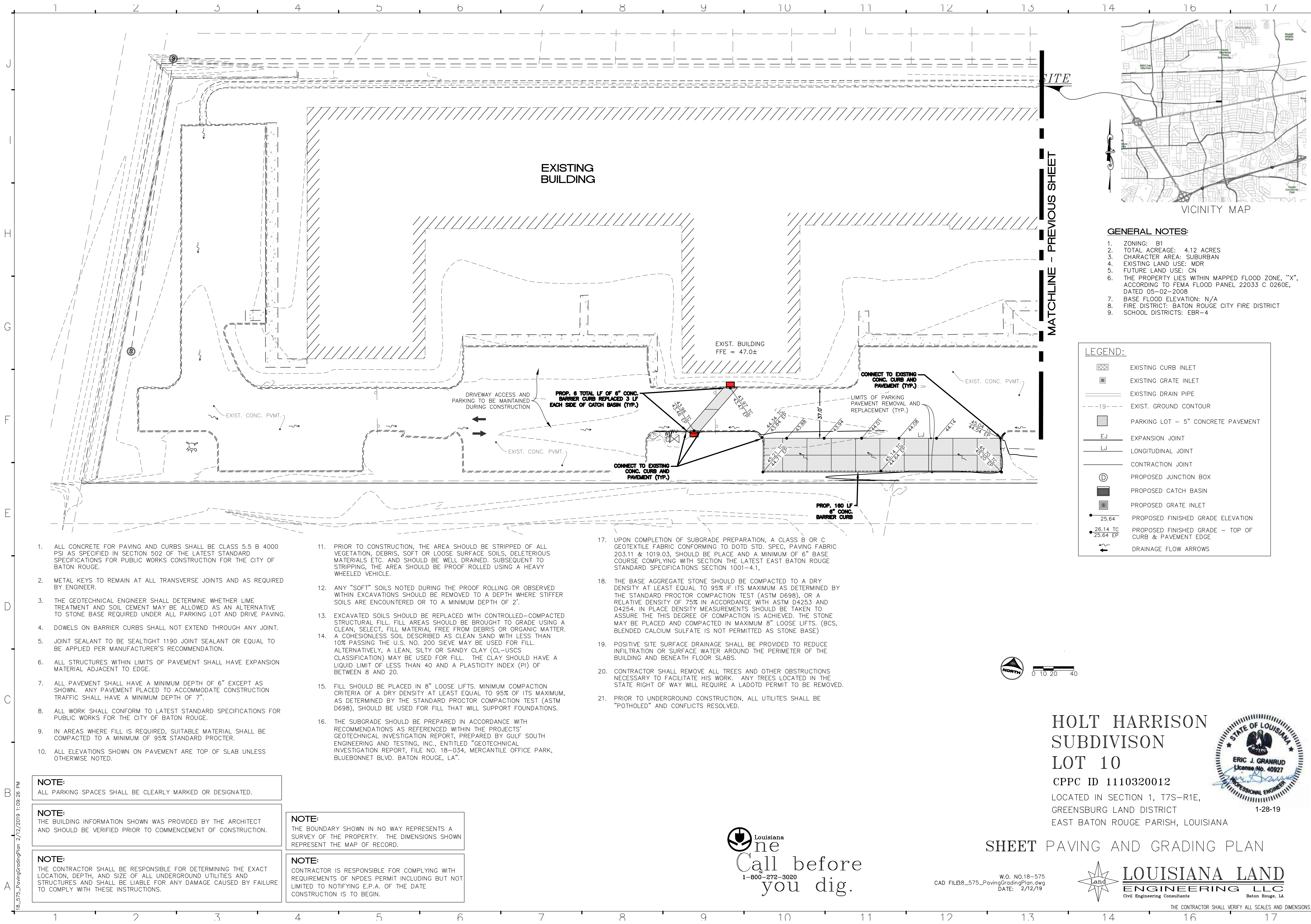
FOR EAST BATON ROUGE PARISH COUNCIL ON AGING

JOB
NUMBER
18-114

SET
NUMBER

SHEET

C4.0



- GENERAL NOTES:**
1. ZONING: B1
 2. TOTAL ACREAGE: 4.12 ACRES
 3. CHARACTER AREA: SUBURBAN
 4. EXISTING LAND USE: MDR
 5. FUTURE LAND USE: CN
 6. THE PROPERTY LIES WITHIN MAPPED FLOOD ZONE, "X", ACCORDING TO FEMA FLOOD PANEL 22033 C 0260E, DATED 05-02-2008
 7. BASE FLOOD ELEVATION: N/A
 8. FIRE DISTRICT: BATON ROUGE CITY FIRE DISTRICT
 9. SCHOOL DISTRICTS: EBR-4

LEGEND:	
	EXISTING CURB INLET
	EXISTING GRATE INLET
	EXISTING DRAIN PIPE
	EXIST. GROUND CONTOUR
	PARKING LOT - 5" CONCRETE PAVEMENT
	EXPANSION JOINT
	LONGITUDINAL JOINT
	CONTRACTION JOINT
	PROPOSED JUNCTION BOX
	PROPOSED CATCH BASIN
	PROPOSED GRATE INLET
	PROPOSED FINISHED GRADE ELEVATION
	PROPOSED FINISHED GRADE - TOP OF CURB & PAVEMENT EDGE
	DRAINAGE FLOW ARROWS

1. ALL CONCRETE FOR PAVING AND CURBS SHALL BE CLASS 5.5 B 4000 PSI AS SPECIFIED IN SECTION 502 OF THE LATEST STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR THE CITY OF BATON ROUGE.
2. METAL KEYS TO REMAIN AT ALL TRANSVERSE JOINTS AND AS REQUIRED BY ENGINEER.
3. THE GEOTECHNICAL ENGINEER SHALL DETERMINE WHETHER LIME TREATMENT AND SOIL CEMENT MAY BE ALLOWED AS AN ALTERNATIVE TO STONE BASE REQUIRED UNDER ALL PARKING LOT AND DRIVE PAVING.
4. DOWELS ON BARRIER CURBS SHALL NOT EXTEND THROUGH ANY JOINT.
5. JOINT SEALANT TO BE SEALTIGHT 1190 JOINT SEALANT OR EQUAL TO BE APPLIED PER MANUFACTURER'S RECOMMENDATION.
6. ALL STRUCTURES WITHIN LIMITS OF PAVEMENT SHALL HAVE EXPANSION MATERIAL ADJACENT TO EDGE.
7. ALL PAVEMENT SHALL HAVE A MINIMUM DEPTH OF 6" EXCEPT AS SHOWN. ANY PAVEMENT PLACED TO ACCOMMODATE CONSTRUCTION TRAFFIC SHALL HAVE A MINIMUM DEPTH OF 7".
8. ALL WORK SHALL CONFORM TO LATEST STANDARD SPECIFICATIONS FOR PUBLIC WORKS FOR THE CITY OF BATON ROUGE.
9. IN AREAS WHERE FILL IS REQUIRED, SUITABLE MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR.
10. ALL ELEVATIONS SHOWN ON PAVEMENT ARE TOP OF SLAB UNLESS OTHERWISE NOTED.
11. PRIOR TO CONSTRUCTION, THE AREA SHOULD BE STRIPPED OF ALL VEGETATION, DEBRIS, SOFT OR LOOSE SURFACE SOILS, DELETERIOUS MATERIALS ETC. AND SHOULD BE WELL DRAINED. SUBSEQUENT TO STRIPPING, THE AREA SHOULD BE PROOF ROLLED USING A HEAVY WHEELED VEHICLE.
12. ANY "SOFT" SOILS NOTED DURING THE PROOF ROLLING OR OBSERVED WITHIN EXCAVATIONS SHOULD BE REMOVED TO A DEPTH WHERE STIFFER SOILS ARE ENCOUNTERED OR TO A MINIMUM DEPTH OF 2'.
13. EXCAVATED SOILS SHOULD BE REPLACED WITH CONTROLLED-COMPACTED STRUCTURAL FILL. FILL AREAS SHOULD BE BROUGHT TO GRADE USING A CLEAN, SELECT, FILL MATERIAL FREE FROM DEBRIS OR ORGANIC MATTER.
14. A COHESIONLESS SOIL DESCRIBED AS CLEAN SAND WITH LESS THAN 10% PASSING THE U.S. NO. 200 SIEVE MAY BE USED FOR FILL. ALTERNATIVELY, A LEAN, SILTY OR SANDY CLAY (CL-USCS CLASSIFICATION) MAY BE USED FOR FILL. THE CLAY SHOULD HAVE A LIQUID LIMIT OF LESS THAN 40 AND A PLASTICITY INDEX (PI) OF BETWEEN 8 AND 20.
15. FILL SHOULD BE PLACED IN 8" LOOSE LIFTS. MINIMUM COMPACTION CRITERIA OF A DRY DENSITY AT LEAST EQUAL TO 95% OF ITS MAXIMUM, AS DETERMINED BY THE STANDARD PROCTOR COMPACTION TEST (ASTM D698), SHOULD BE USED FOR FILL THAT WILL SUPPORT FOUNDATIONS.
16. THE SUBGRADE SHOULD BE PREPARED IN ACCORDANCE WITH RECOMMENDATIONS AS REFERENCED WITHIN THE PROJECT'S GEOTECHNICAL INVESTIGATION REPORT, PREPARED BY GULF SOUTH ENGINEERING AND TESTING, INC., ENTITLED "GEOTECHNICAL INVESTIGATION REPORT, FILE NO. 18-034, MERCANTILE OFFICE PARK, BLUEBONNET BLVD. BATON ROUGE, LA".
17. UPON COMPLETION OF SUBGRADE PREPARATION, A CLASS B OR C GEOTEXTILE FABRIC CONFORMING TO DOTD STD. SPEC. PAVING FABRIC 203.11 & 1019.03, SHOULD BE PLACED AND A MINIMUM OF 6" BASE COURSE COMPLYING WITH SECTION THE LATEST EAST BATON ROUGE STANDARD SPECIFICATIONS SECTION 1001-4.1.
18. THE BASE AGGREGATE STONE SHOULD BE COMPACTED TO A DRY DENSITY AT LEAST EQUAL TO 95% IF ITS MAXIMUM AS DETERMINED BY THE STANDARD PROCTOR COMPACTION TEST (ASTM D698), OR A RELATIVE DENSITY OF 75% IN ACCORDANCE WITH ASTM D4253 AND D4254. IN PLACE DENSITY MEASUREMENTS SHOULD BE TAKEN TO ASSURE THE THIS DEGREE OF COMPACTION IS ACHIEVED. THE STONE MAY BE PLACED AND COMPACTED IN MAXIMUM 8" LOOSE LIFTS. (BCS, BLENDED CALCIUM SULFATE IS NOT PERMITTED AS STONE BASE)
19. POSITIVE SITE SURFACE DRAINAGE SHALL BE PROVIDED TO REDUCE INFILTRATION OR SURFACE WATER AROUND THE PERIMETER OF THE BUILDING AND BENEATH FLOOR SLABS.
20. CONTRACTOR SHALL REMOVE ALL TREES AND OTHER OBSTRUCTIONS NECESSARY TO FACILITATE HIS WORK. ANY TREES LOCATED IN THE STATE RIGHT OF WAY WILL REQUIRE A LADOTD PERMIT TO BE REMOVED.
21. PRIOR TO UNDERGROUND CONSTRUCTION, ALL UTILITIES SHALL BE "POTHOLED" AND CONFLICTS RESOLVED.

NOTE:
ALL PARKING SPACES SHALL BE CLEARLY MARKED OR DESIGNATED.

NOTE:
THE BUILDING INFORMATION SHOWN WAS PROVIDED BY THE ARCHITECT AND SHOULD BE VERIFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

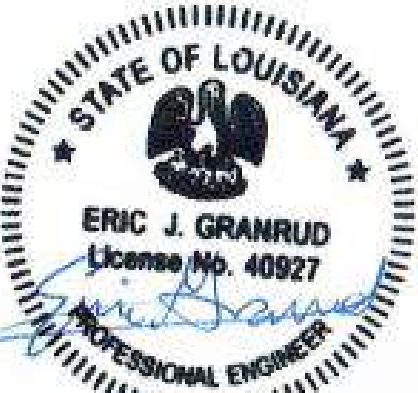
NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION, DEPTH, AND SIZE OF ALL UNDERGROUND UTILITIES AND STRUCTURES AND SHALL BE LIABLE FOR ANY DAMAGE CAUSED BY FAILURE TO COMPLY WITH THESE INSTRUCTIONS.

NOTE:
THE BOUNDARY SHOWN IN NO WAY REPRESENTS A SURVEY OF THE PROPERTY. THE DIMENSIONS SHOWN REPRESENT THE MAP OF RECORD.

NOTE:
CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH REQUIREMENTS OF NPDES PERMIT INCLUDING BUT NOT LIMITED TO NOTIFYING E.P.A. OF THE DATE CONSTRUCTION IS TO BEGIN.



**HOLT HARRISON
SUBDIVISON
LOT 10**
CPPC ID 1110320012
LOCATED IN SECTION 1, T7S-R1E,
GREENSBURG LAND DISTRICT
EAST BATON ROUGE PARISH, LOUISIANA



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SHEET PAVING AND GRADING PLAN

**LOUISIANA LAND
ENGINEERING LLC**
Civil Engineering Consultants
Baton Rouge, LA

W.O. NO. 18-575
CAD FILE: 18_575_PavingGradingPlan.dwg
DATE: 2/12/19

THE CONTRACTOR SHALL VERIFY ALL SCALES AND DIMENSIONS

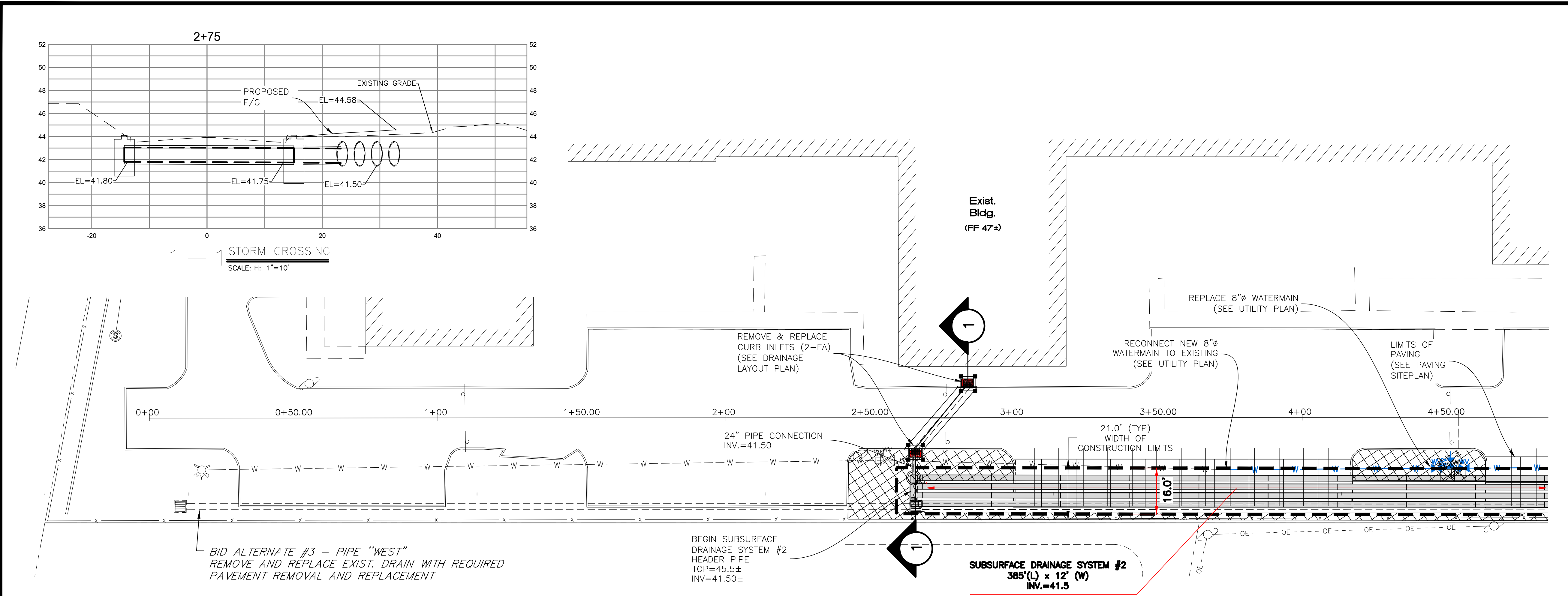
DATE
January 28, 2019
REVISIONS

DIDIER ARCHITECTURE
Deryll Didier, Architect & Associates, LLC
1733 Old Jefferson Hwy, Suite C Prairieville, Louisiana 70769 www.didierarchitecture.com

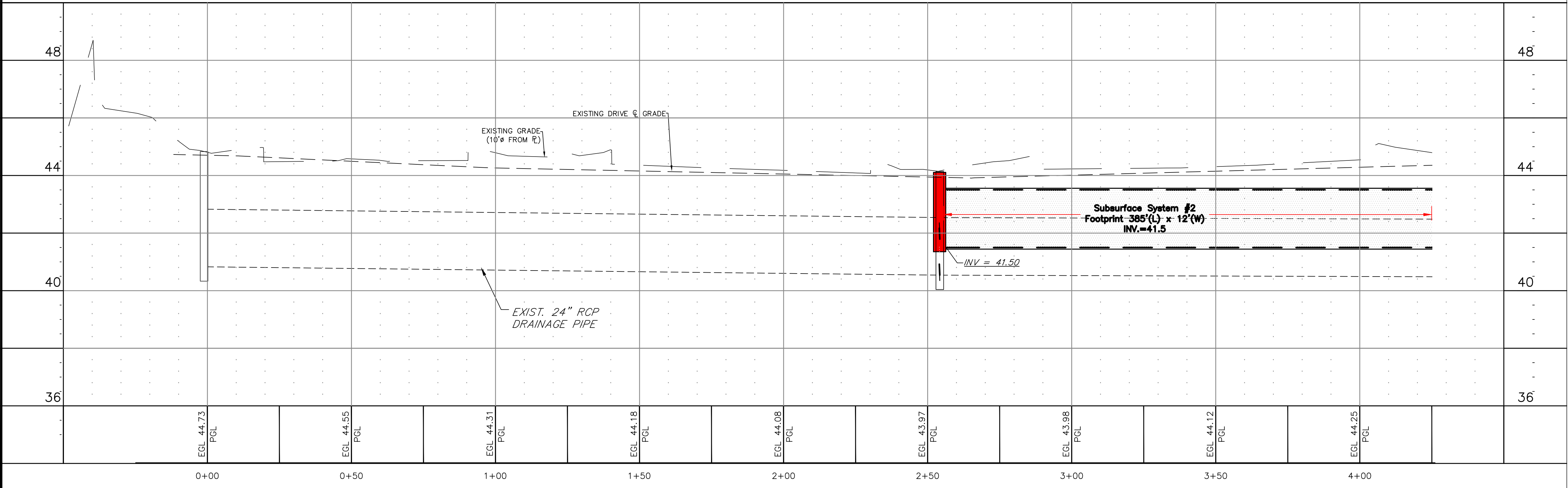
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PROPOSED DRAINAGE PLAN



0 20'

1" = 20' HORZ.

0 2'

1" = 2' VERT.

1-28-19

LOUISIANA LAND ENGINEERING LLC

Civil Engineering Consultants

Baton Rouge, LA

Project PRIVATE DRAINAGE IMPROVEMENTS

DUMAS HOUSE

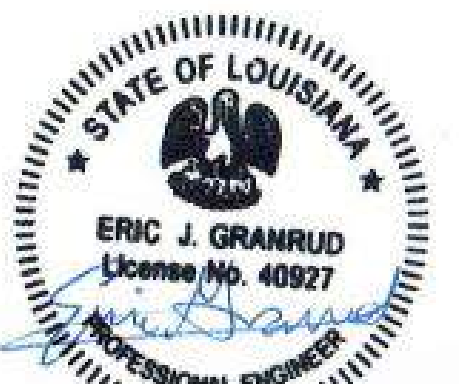
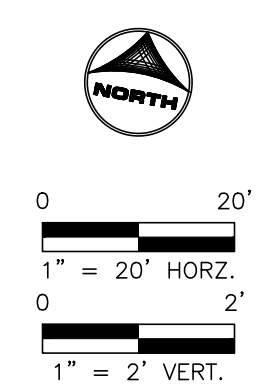
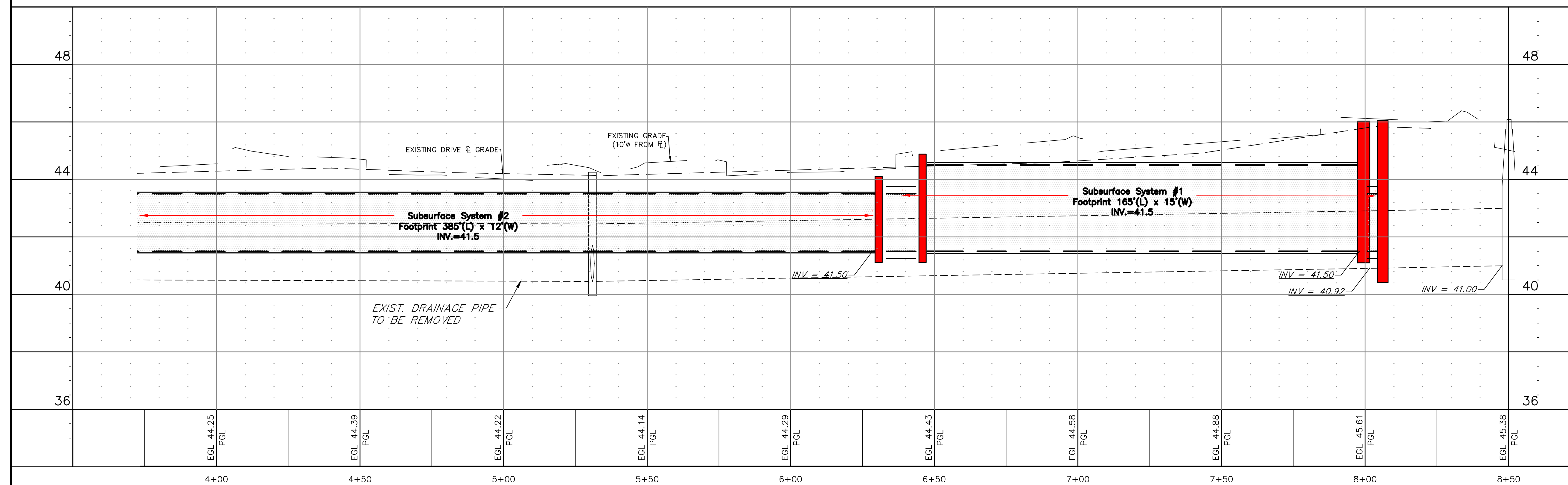
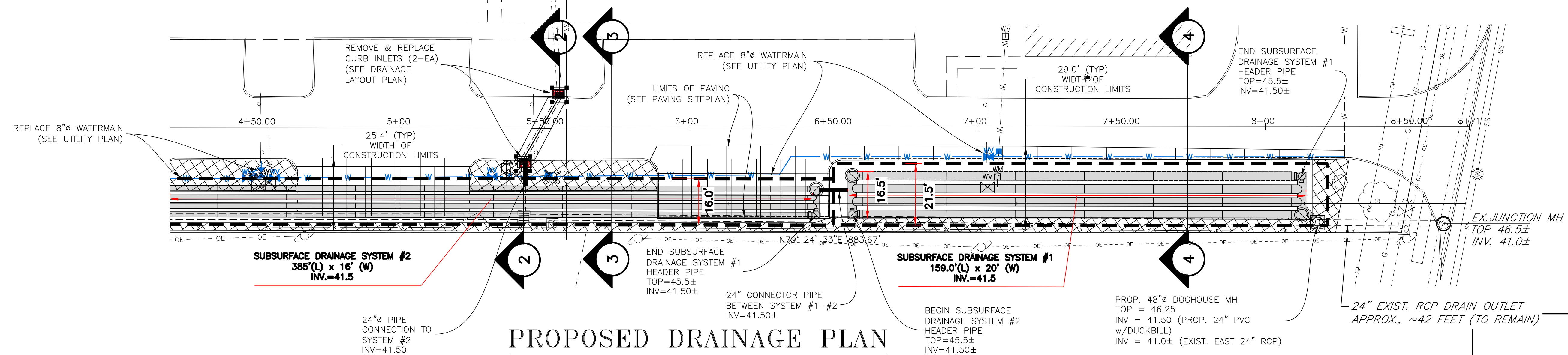
BATON ROUGE, LA

Drawing Drainage Plan And Profile

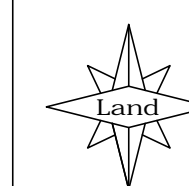
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	File Name	18-575_PlanandProfile.dwg
	Drawn By	EJG
	Reviewed By	ML

Date 12/11/18

C5.0



1-28-19



LOUISIANA LAND
ENGINEERING LLC
Civil Engineering Consultants Baton Rouge, LA

Project PRIVATE DRAINAGE IMPROVEMENTS

DUMAS HOUSE
BATON ROUGE, LA

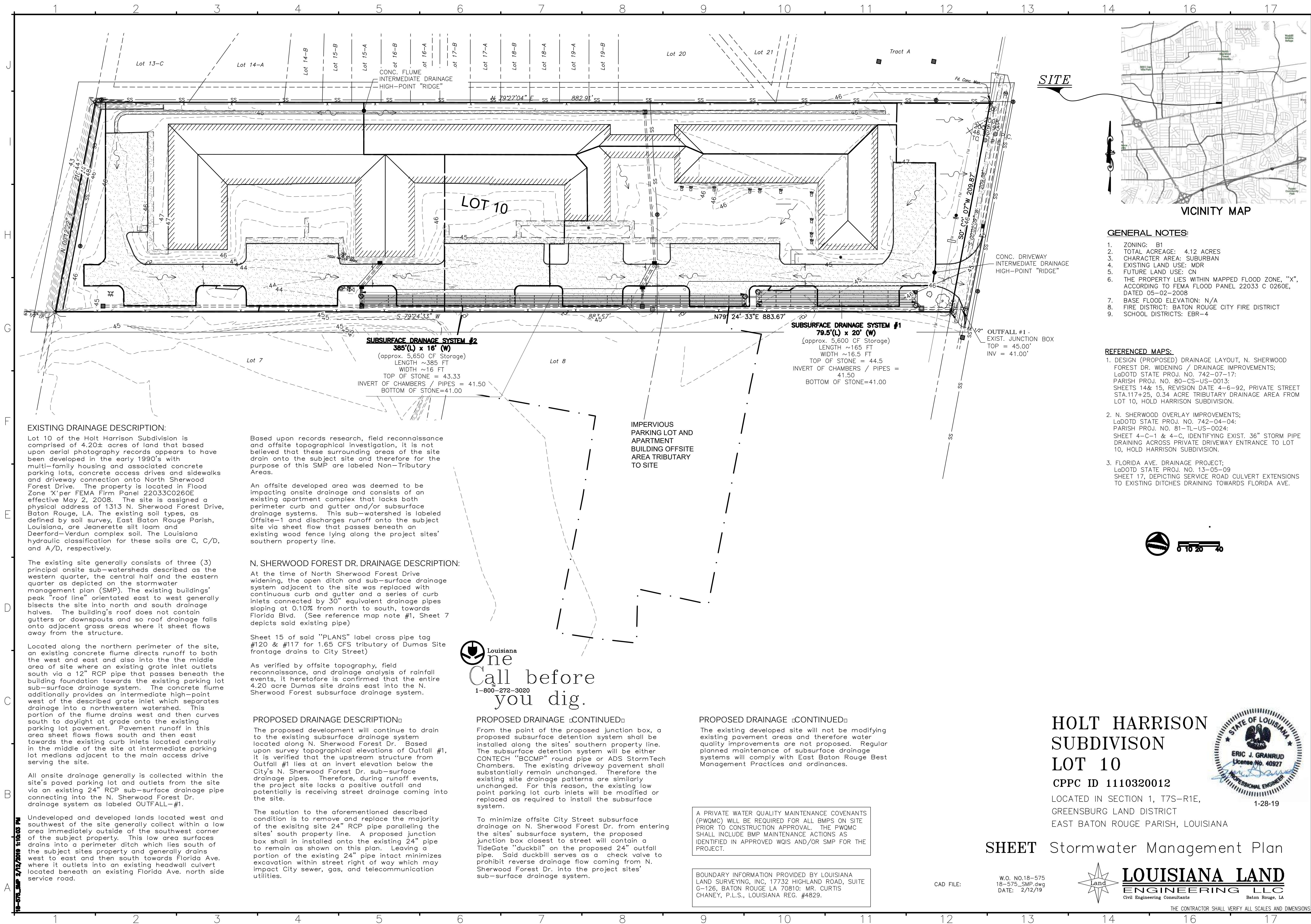
BAYON ROUGE, LA	
Drawing	Drainage Plan & Profile

Seal

Project Number	18-575
File Name	18-575_PlanandProfile.dwg
Drawn By	EJG
Reviewed By	ML

Date	12/11/18
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C5.1



EXISTING DRAINAGE DESCRIPTION:

Lot 10 of the Holt Harrison Subdivision is comprised of 4.20± acres of land that based upon aerial photography records appears to have been developed in the early 1990's with multi-family housing and associated concrete parking lots, concrete access drives and sidewalks and driveway connection onto North Sherwood Forest Drive. The property is located in Flood Zone 'X' per FEMA Firm Panel 22033C0260E effective May 2, 2008. The site is assigned a physical address of 1313 N. Sherwood Forest Drive, Baton Rouge, LA. The existing soil types, as defined by soil survey, East Baton Rouge Parish, Louisiana, are Jeanerette silt loam and Deerford-Verdun complex soil. The Louisiana hydraulic classification for these soils are C, C/D, and A/D, respectively.

The existing site generally consists of three (3) principal onsite sub-watersheds described as the western quarter, the central half and the eastern quarter as depicted on the stormwater management plan (SMP). The existing buildings' peak "roof line" orientated east to west generally bisects the site into north and south drainage halves. The building's roof does not contain gutters or downspouts and so roof drainage falls onto adjacent grass areas where it sheet flows away from the structure.

Located along the northern perimeter of the site, an existing concrete flume directs runoff to both the west and east and also into the middle area of site where an existing grate inlet outlets south via a 12" RCP pipe that passes beneath the building foundation towards the existing parking lot sub-surface drainage system. The concrete flume additionally provides an intermediate high-point west of the described grate inlet which separates drainage into a northwestern watershed. This portion of the flume drains west and then curves south to daylight at grade onto the existing parking lot pavement. Pavement runoff in this area sheet flows south and then east towards the existing curb inlets located centrally in the middle of the site at intermediate parking lot medians adjacent to the main access drive serving the site.

All onsite drainage generally is collected within the site's paved parking lot and outlets from the site via an existing 24" RCP sub-surface drainage pipe connecting into the N. Sherwood Forest Dr. drainage system as labeled OUTFALL-#1.

Undeveloped and developed lands located west and southwest of the site generally collect within a low area immediately outside of the southwest corner of the subject property. This low area surfaces drains into a perimeter ditch which lies south of the subject sites property and generally drains west to east and then south towards Florida Ave. where it outlets into an existing headwall culvert located beneath an existing Florida Ave. north side service road.

Based upon records research, field reconnaissance and offsite topographical investigation, it is not believed that these surrounding areas of the site drain onto the subject site and therefore for the purpose of this SMP are labeled Non-Tributary Areas.

An offsite developed area was deemed to be impacting onsite drainage and consists of an existing apartment complex that lacks both perimeter curb and gutter and/or subsurface drainage systems. This sub-watershed is labeled Offsite-1 and discharges runoff onto the subject site via sheet flow that passes beneath an existing wood fence lying along the project sites' southern property line.

N. SHERWOOD FOREST DR. DRAINAGE DESCRIPTION:

At the time of North Sherwood Forest Drive widening, the open ditch and sub-surface drainage system adjacent to the site was replaced with continuous curb and gutter and a series of curb inlets connected by 30" equivalent drainage pipes sloping at 0.10% from north to south, towards Florida Blvd. (See reference map note #1, Sheet 7 depicts said existing pipe)

Sheet 15 of said "PLANS" label cross pipe tag #120 & #117 for 1.65 CFS tributary of Dumas Site frontage drains to City Street)

As verified by offsite topography, field reconnaissance, and drainage analysis of rainfall events, it heretofore is confirmed that the entire 4.20 acre Dumas site drains east into the N. Sherwood Forest subsurface drainage system.

PROPOSED DRAINAGE DESCRIPTION:

The proposed development will continue to drain to the existing subsurface drainage system located along N. Sherwood Forest Dr. Based upon survey topographical elevations of Outfall #1, it is verified that the upstream structure from Outfall #1 lies at an invert elevation below the City's N. Sherwood Forest Dr. sub-surface drainage pipes. Therefore, during runoff events, the project site lacks a positive outfall and potentially is receiving street drainage coming into the site.

The solution to the aforementioned described condition is to remove and replace the majority of the existing site 24" RCP pipe paralleling the sites' south property line. A proposed junction box shall be installed onto the existing 24" pipe to remain as shown on this plan. Leaving a portion of the existing 24" pipe intact minimizes excavation within street right of way which may impact City sewer, gas, and telecommunication utilities.

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PROPOSED DRAINAGE (CONTINUED)

From the point of the proposed junction box, a proposed subsurface detention system shall be installed along the sites' southern property line. The subsurface detention system will be either CONTECH "BCCMP" round pipe or ADS StormTech Chambers. The existing driveway pavement shall substantially remain unchanged. Therefore the existing site drainage patterns are similarly unchanged. For this reason, the existing low point parking lot curb inlets will be modified or replaced as required to install the subsurface system.

To minimize offsite City Street subsurface drainage on N. Sherwood Forest Dr. from entering the sites' subsurface system, the proposed junction box closest to street will contain a TideGate "duckbill" on the proposed 24" outfall pipe. Said duckbill serves as a check valve to prohibit reverse drainage flow coming from N. Sherwood Forest Dr. into the project sites' sub-surface drainage system.

PROPOSED DRAINAGE (CONTINUED)

The existing developed site will not be modifying existing pavement areas and therefore water quality improvements are not proposed. Regular planned maintenance of subsurface drainage systems will comply with East Baton Rouge Best Management Practices and ordinances.

A PRIVATE WATER QUALITY MAINTENANCE COVENANTS (PWQMC) WILL BE REQUIRED FOR ALL BMPS ON SITE PRIOR TO CONSTRUCTION APPROVAL. THE PWQMC SHALL INCLUDE BMP MAINTENANCE ACTIONS AS IDENTIFIED IN APPROVED WQIS AND/OR SMP FOR THE PROJECT.

BOUNDARY INFORMATION PROVIDED BY LOUISIANA LAND SURVEYING, INC. 17732 HIGHLAND ROAD, SUITE G-126, BATON ROUGE LA 70810: MR. CURTIS CHANEY, P.L.S., LOUISIANA REG. #4829.

CAD FILE:

W.O. NO.18-575
18-575_SMP.dwg
DATE: 2/12/19

THE CONTRACTOR SHALL VERIFY ALL SCALES AND DIMENSIONS

SITE



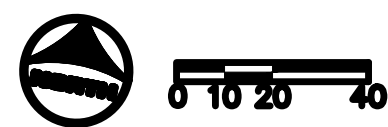
VICINITY MAP

GENERAL NOTES:

1. ZONING: B1
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6. THE PROPERTY LIES WITHIN MAPPED FLOOD ZONE, "X", ACCORDING TO FEMA FLOOD PANEL 22033 C 0260E, DATED 05-02-2008
7. BASE FLOOD ELEVATION: N/A
8. FIRE DISTRICT: BATON ROUGE CITY FIRE DISTRICT
9. SCHOOL DISTRICTS: EBR-4

REFERENCED MAPS:

1. DESIGN (PROPOSED) DRAINAGE LAYOUT, N. SHERWOOD FOREST DR. WIDENING / DRAINAGE IMPROVEMENTS; LaDOTD STATE PROJ. NO. 742-07-17; PARISH PROJ. NO. 80-CS-US-0013; SHEETS 14& 15, REVISION DATE 4-6-92, PRIVATE STREET STA.117+25, 0.34 ACRE TRIBUTARY DRAINAGE AREA FROM LOT 10, HOLD HARRISON SUBDIVISION.
2. N. SHERWOOD OVERLAY IMPROVEMENTS; LaDOTD STATE PROJ. NO. 742-04-04; PARISH PROJ. NO. 81-TL-US-0024; SHEET 4-C-1 & 4-C, IDENTIFYING EXIST. 36" STORM PIPE DRAINING ACROSS PRIVATE DRIVEWAY ENTRANCE TO LOT 10, HOLD HARRISON SUBDIVISION.
3. FLORIDA AVE. DRAINAGE PROJECT; LaDOTD STATE PROJ. NO. 13-05-09; SHEET 17, DEPICTING SERVICE ROAD CULVERT EXTENSIONS TO EXISTING DITCHES DRAINING TOWARDS FLORIDA AVE.



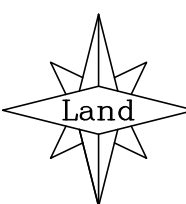
1-28-19

HOLT HARRISON
SUBDIVISON
LOT 10

CPPC ID 1110320012

LOCATED IN SECTION 1, T7S-R1E,
GREENSBURG LAND DISTRICT
EAST BATON ROUGE PARISH, LOUISIANA

SHEET Stormwater Management Plan



LOUISIANA LAND
ENGINEERING LLC
Civil Engineering Consultants
Baton Rouge, LA

January 28, 2019

DATE
REVISIONS

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DUMAS HOUSE DRAINAGE & PAVING REPAIRS

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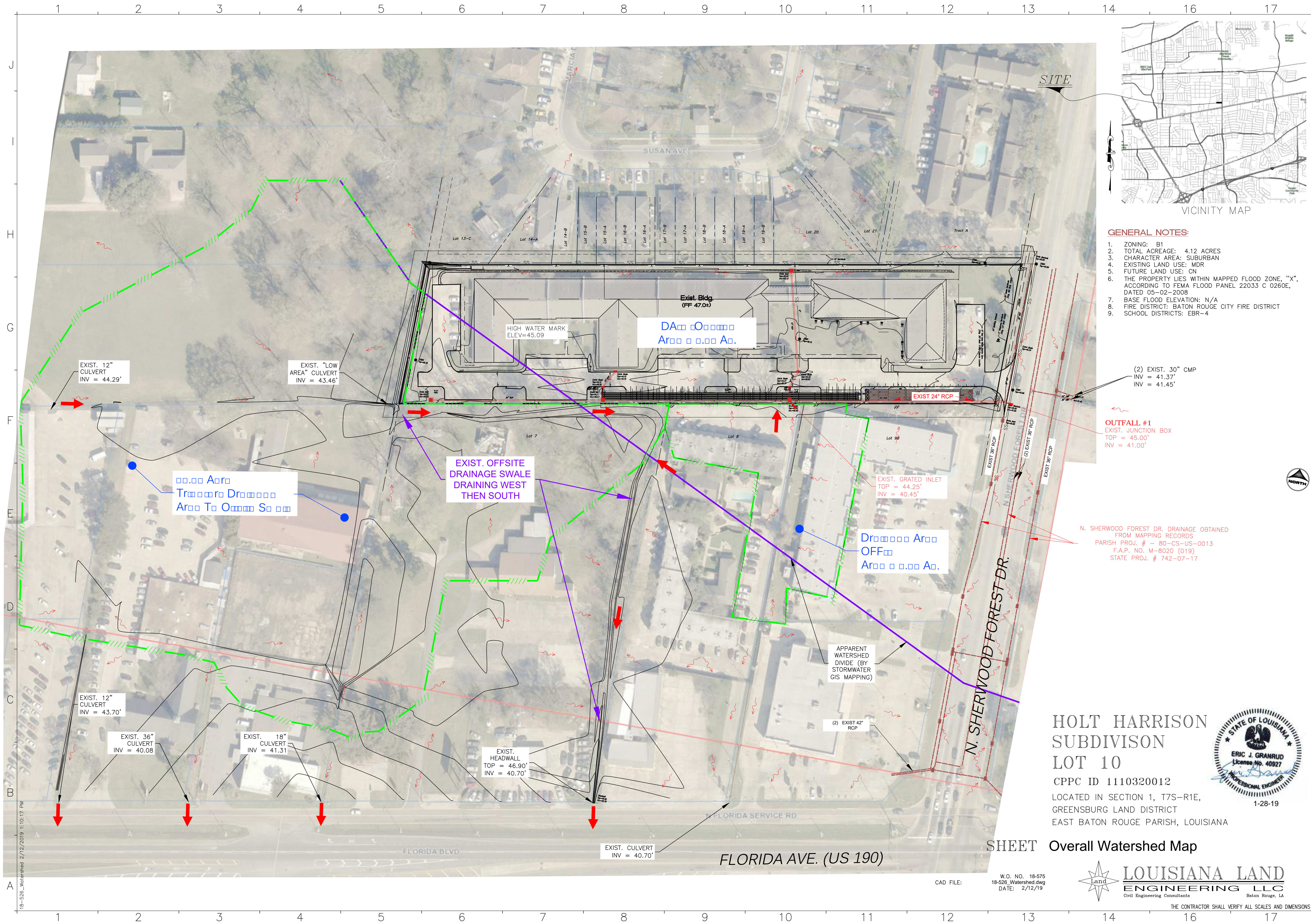
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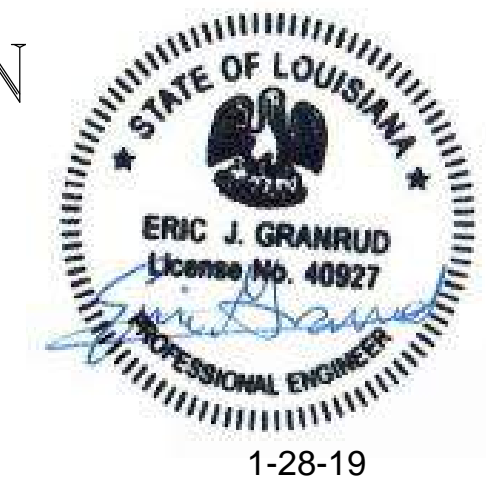
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(2) EXIST. 30" CMP
INV = 41.37'
INV = 41.45'

OUTFALL #1
EXIST. JUNCTION BOX
TOP = 45.00'
INV = 41.00'

N. SHERWOOD FOREST DR. DRAINAGE OBTAINED FROM MAPPING RECORDS
PARISH PROJ. # - 80-CS-US-0013
F.A.P. NO. M-8020 (019)
STATE PROJ. # 742-07-17

**HOLT HARRISON
SUBDIVISION
LOT 10**
CPPC ID 1110320012
LOCATED IN SECTION 1, T7S-R1E,
GREENSBURG LAND DISTRICT
EAST BATON ROUGE PARISH, LOUISIANA



SHEET Overall Watershed Map



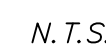
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FOR EAST BATON ROUGE PARISH COUNCIL ON AGING

18-114	SET NUMBER
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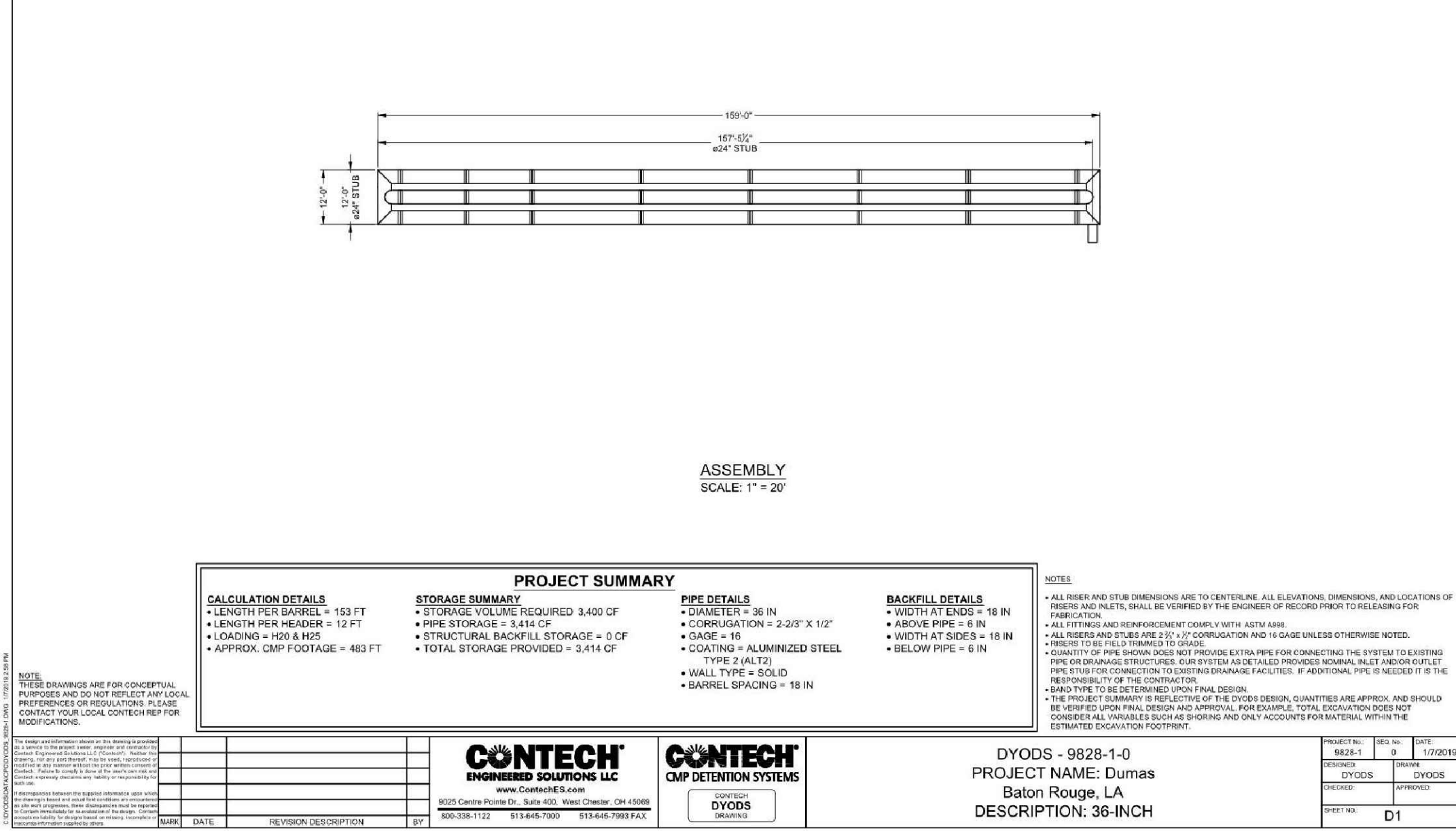
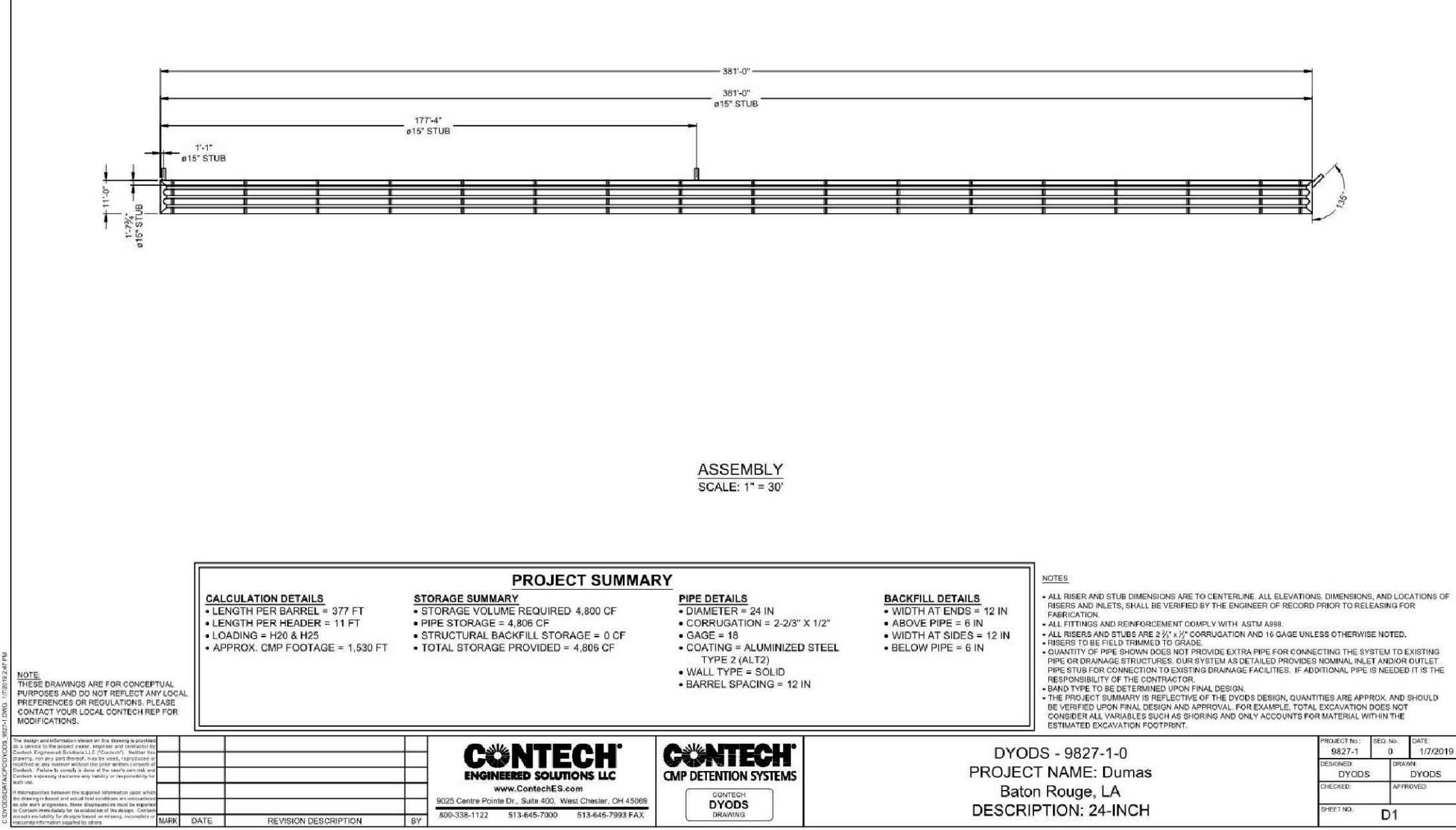
*All dowels to be smooth, greased or plastic coated with no burrs; sawed not sheared.

1. Joints shall be made while the concrete is wet or "green".
2. Sawcut joints shall be cut as soon as the concrete cures without raveling, but within 6 hours after pouring.
3. Upon completion of the subgrade preparation, install geotextile non-woven fabric with apparent opening size (AOS) smaller than U.S. No. 70 Sieve. Then, place a minimum six (6") inch thick layer of crushed stone for the base course. If sand is used for base, the thickness should be increased to a min. of ten (10) inches.
4. Pavement shall be constructed in accordance with latest edition of the Standard Specifications for the City of Baton Rouge, Louisiana.
5. Base course shall meet the requirements of the LSSRB, Section 1003.03 Base Course Aggregates, Subsection 1003.03.1 Stone and 1003.03.2 Recycled POC per gradation tables 1003-1-1003-7, respectively. The base aggregate shall be compacted to 95% of maximum dry density near the optimum moisture content in accordance with ASTM D698.

RIGID PVMT (In.)	Agg. Base Course Thickness (Req'd.)
6"	6"



THE CONTRACTOR SHALL VERIFY ALL SCALES AND DIMENSIONS



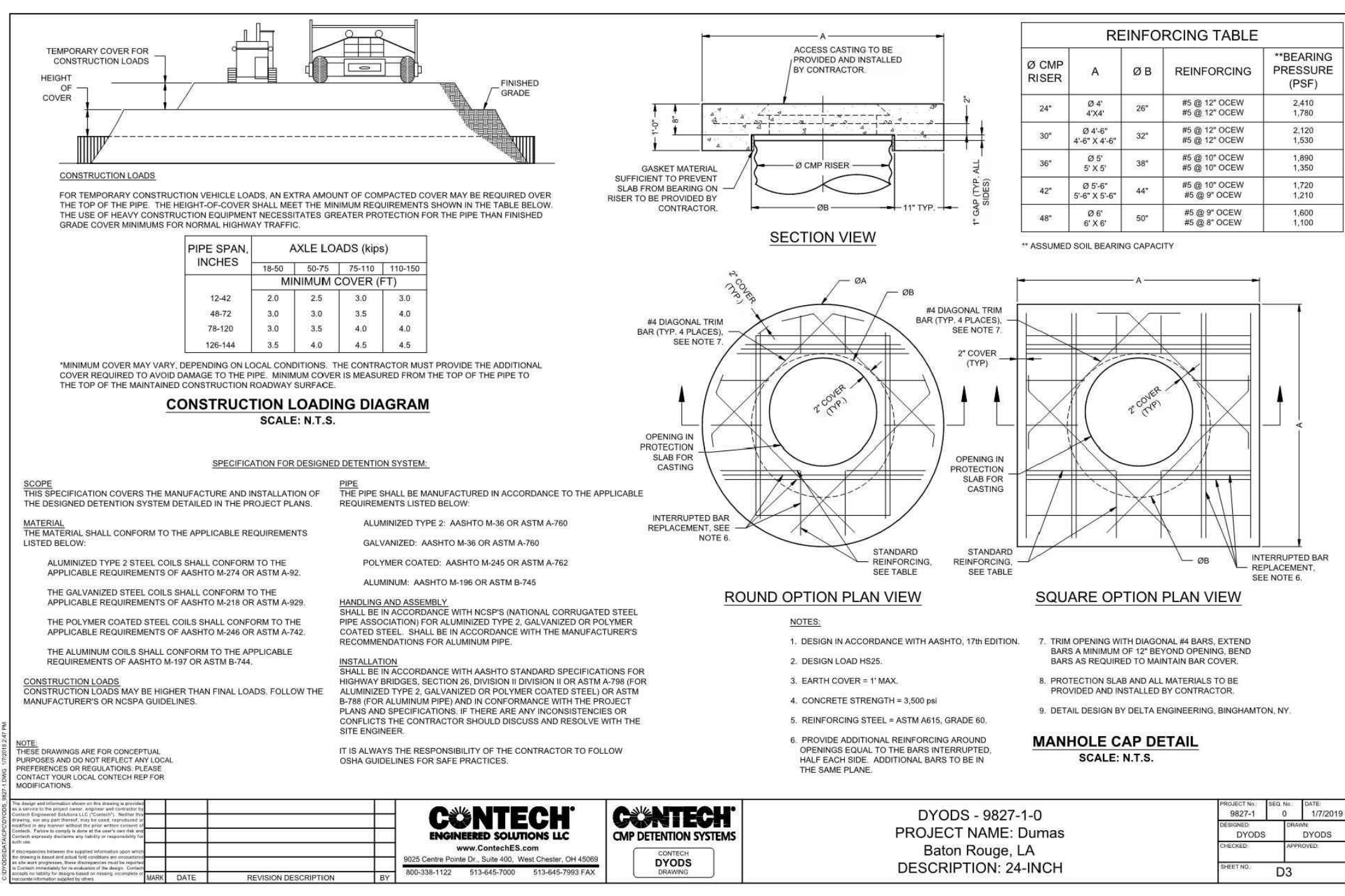
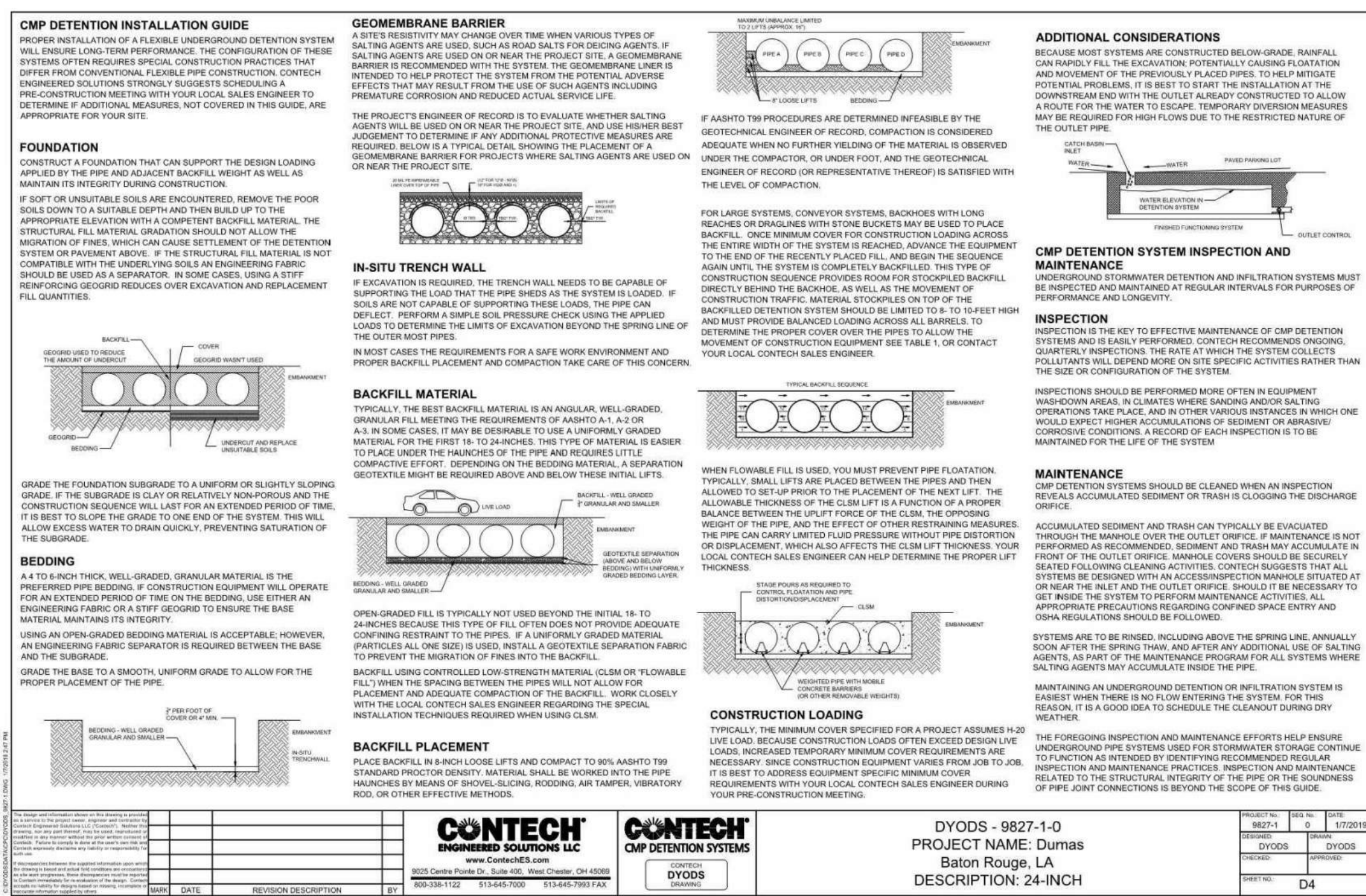
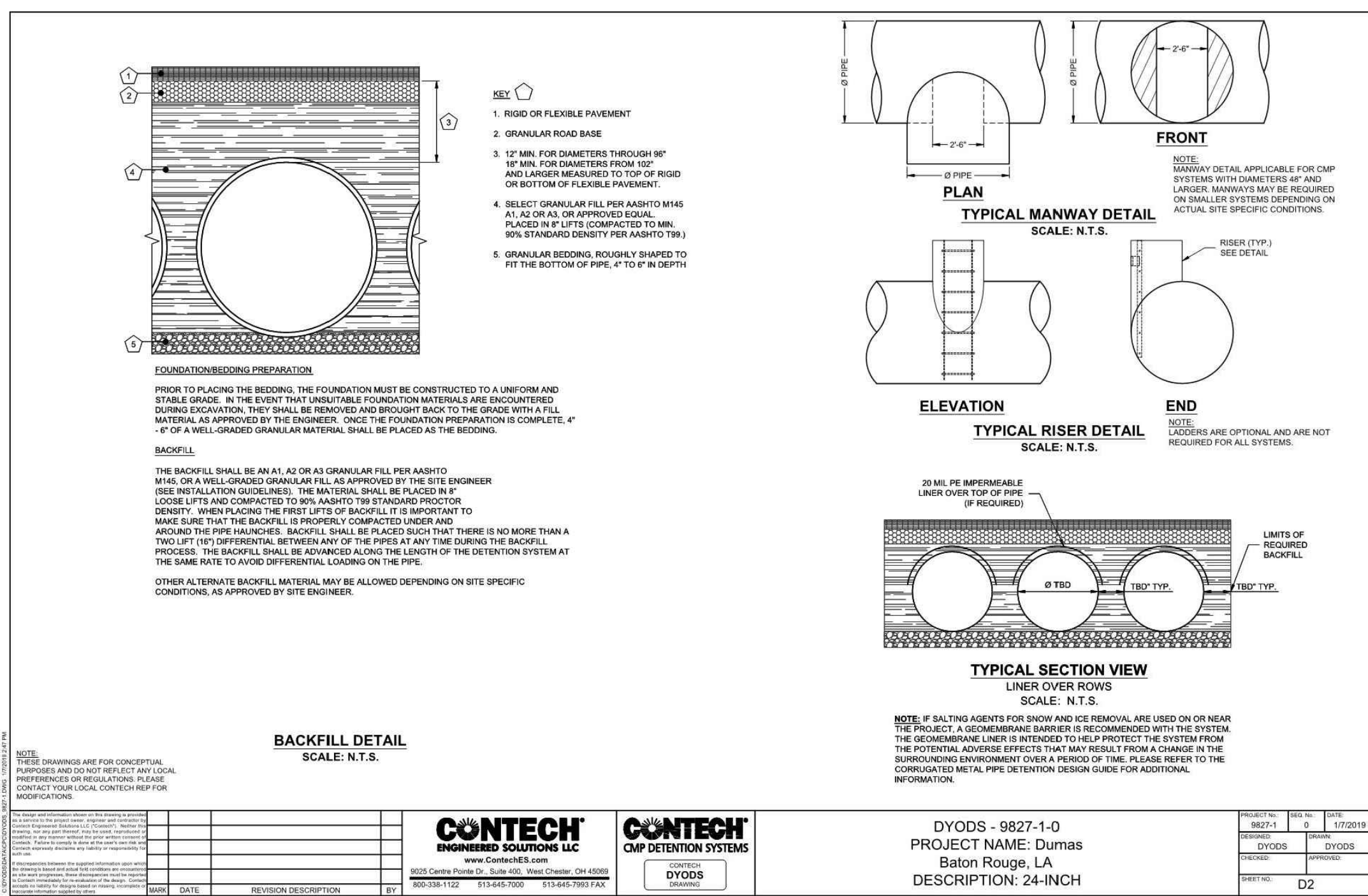
BASE BID (24" DIAM. & 36" DIAM. ROUND PIPE UNDERGROUND DETENTION SYSTEM AS MANUFACTURED BY CONTECH (CMP) OR ADS (HDPE) OR EQUAL.

THE ROUND PIPE DETENTION SYSTEM SHOWN WAS PROVIDED BY CONTECH FOR CMP TYPE II DRAINAGE PIPE. ENGINEER WILL ALTERNATELY ACCEPT EQUAL OR SIMILAR SYSTEM MANUFACTURED FROM HDPE PIPE AS PRODUCED BY ADVANCED DRAINAGE SYSTEMS (ADS)

IN ALL CASES, THE CONTRACTOR SHALL FULLY COMPLY WITH MANUFACTURER INSTALLATION RECOMMENDATIONS AND REQUIREMENTS.

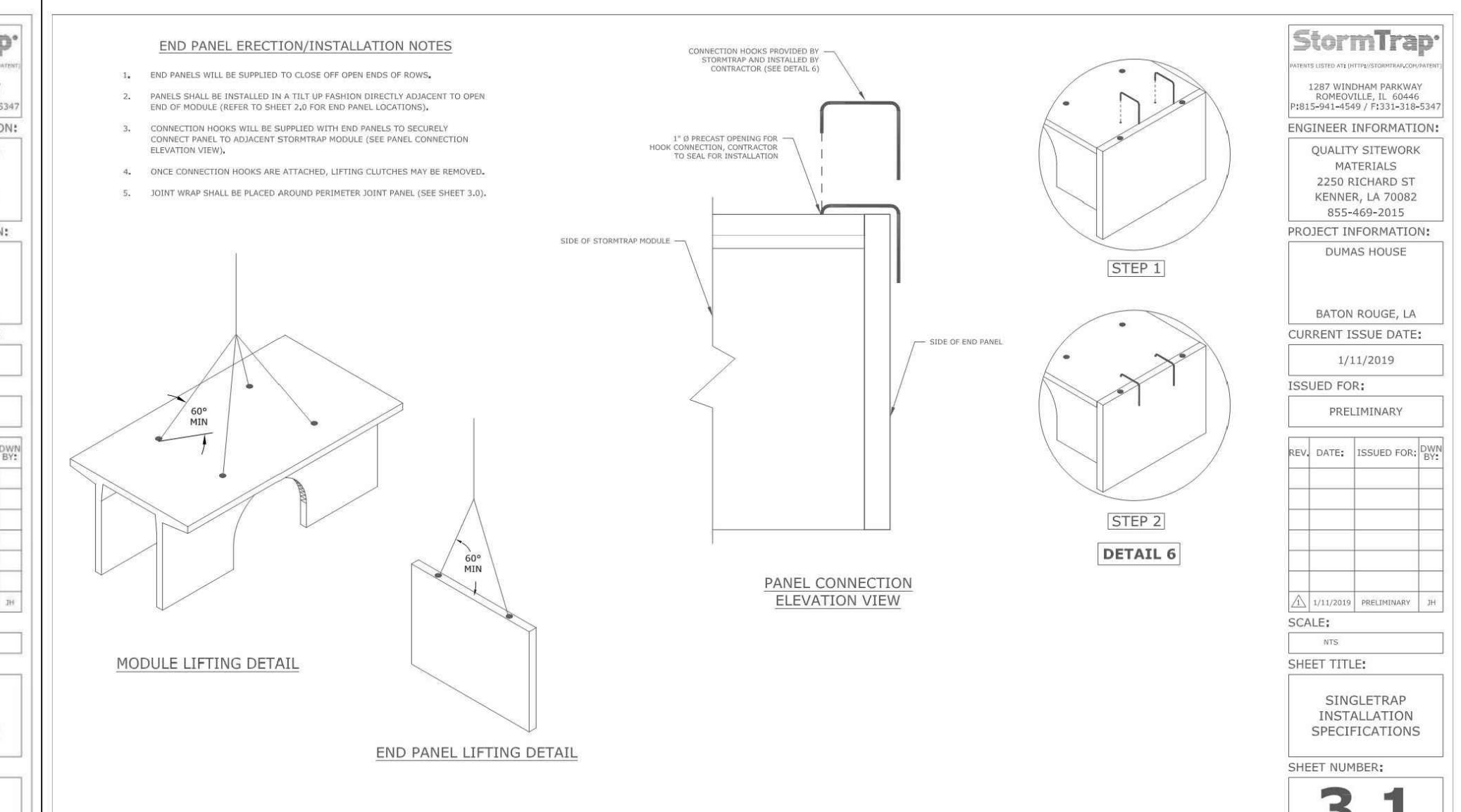
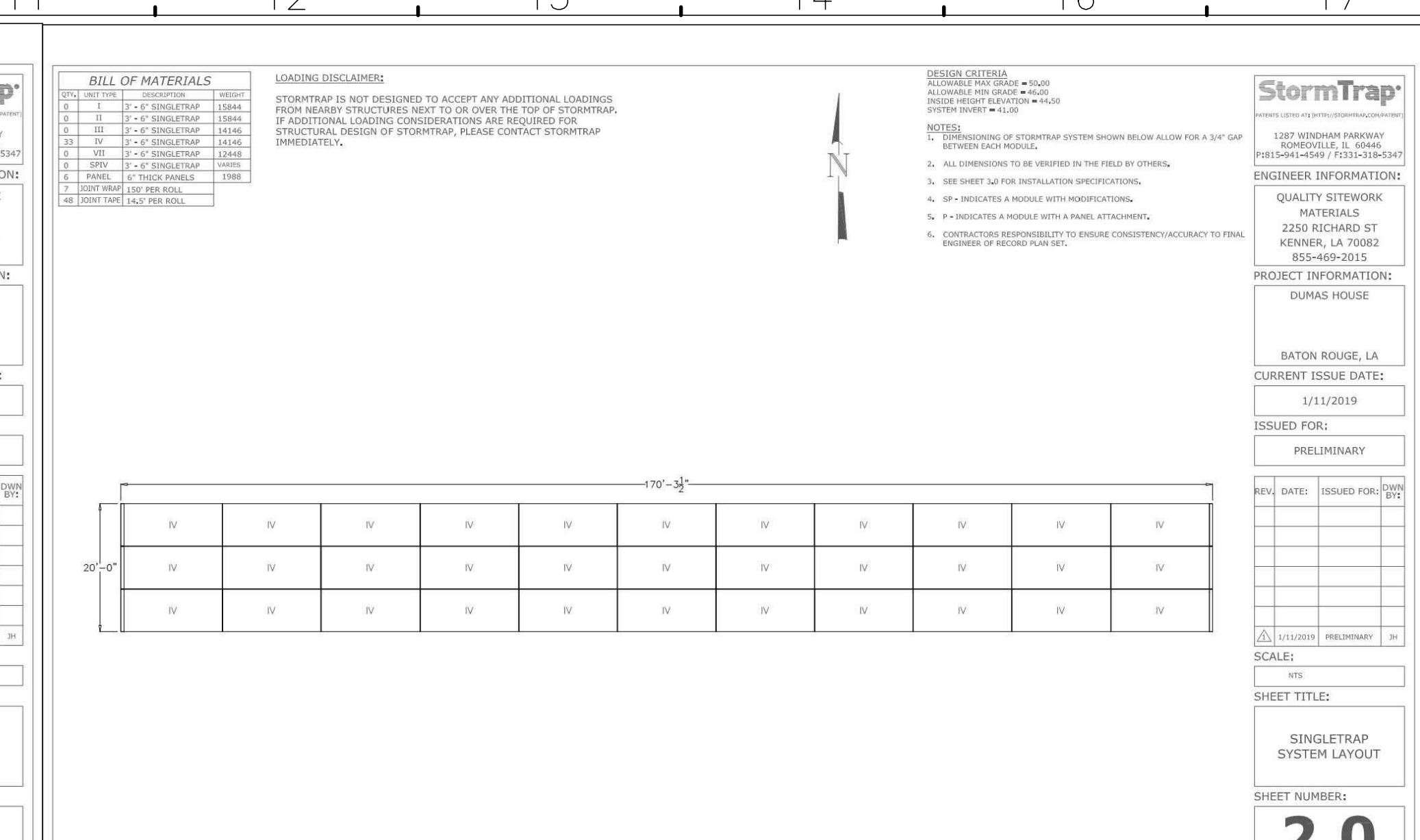
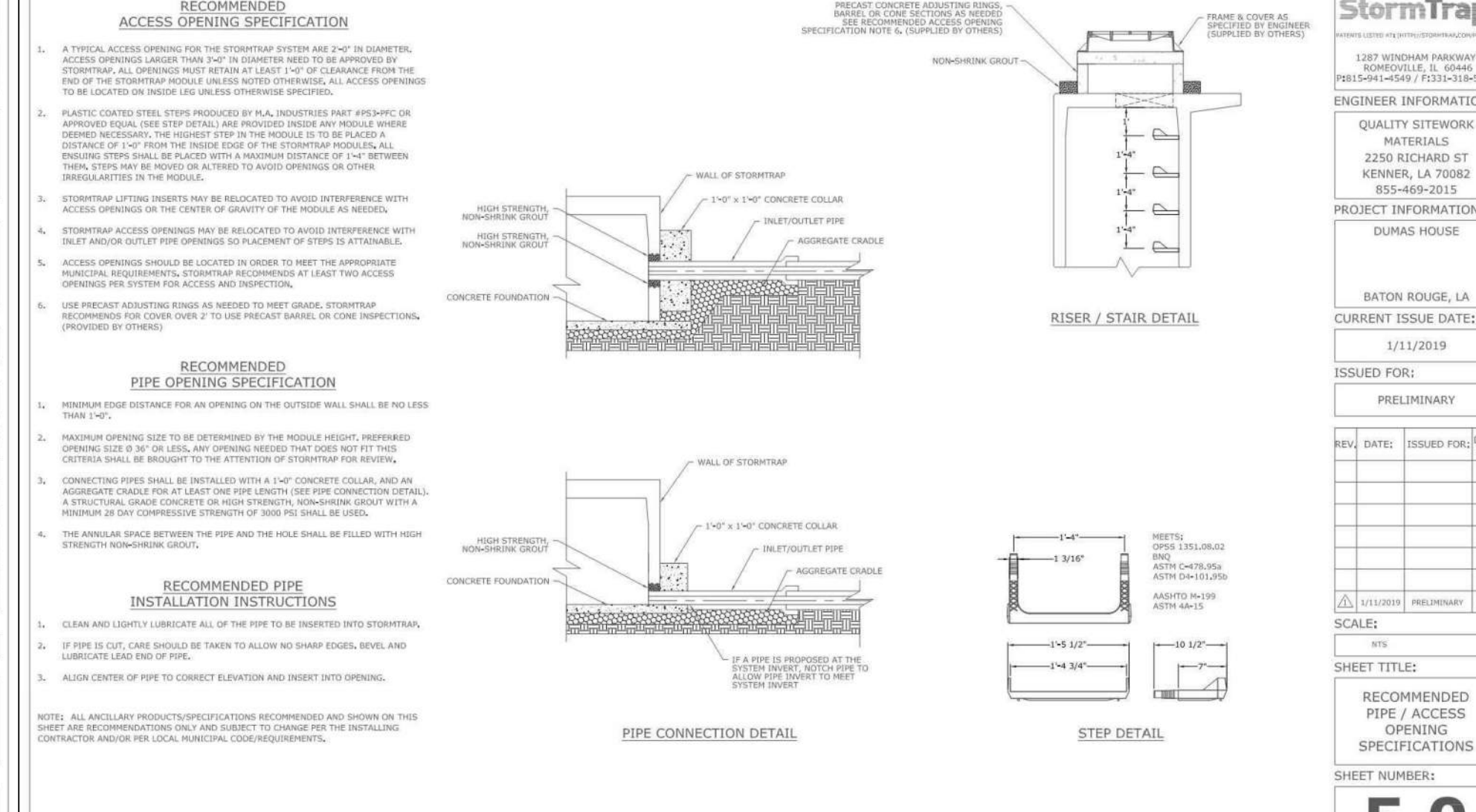
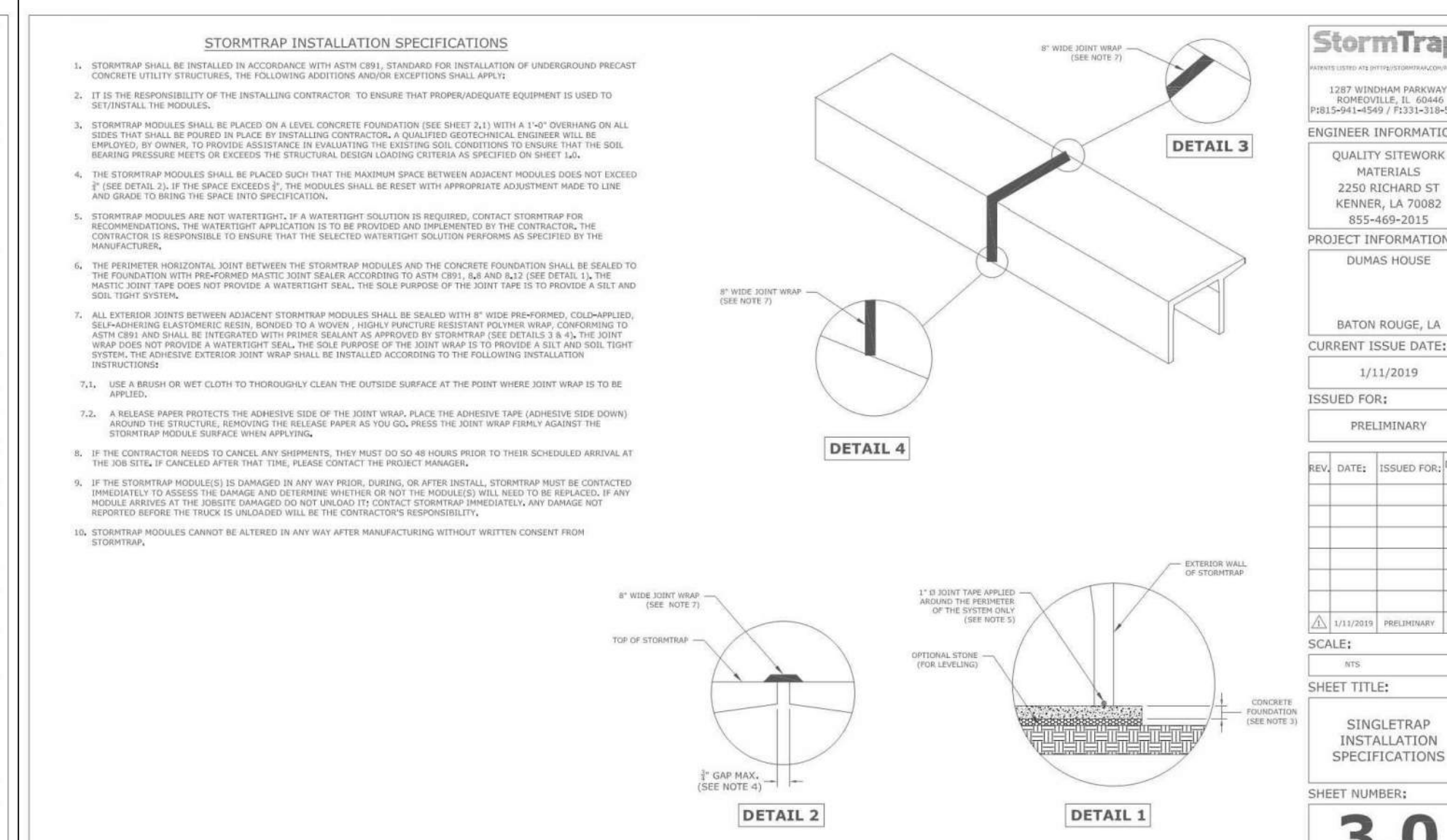
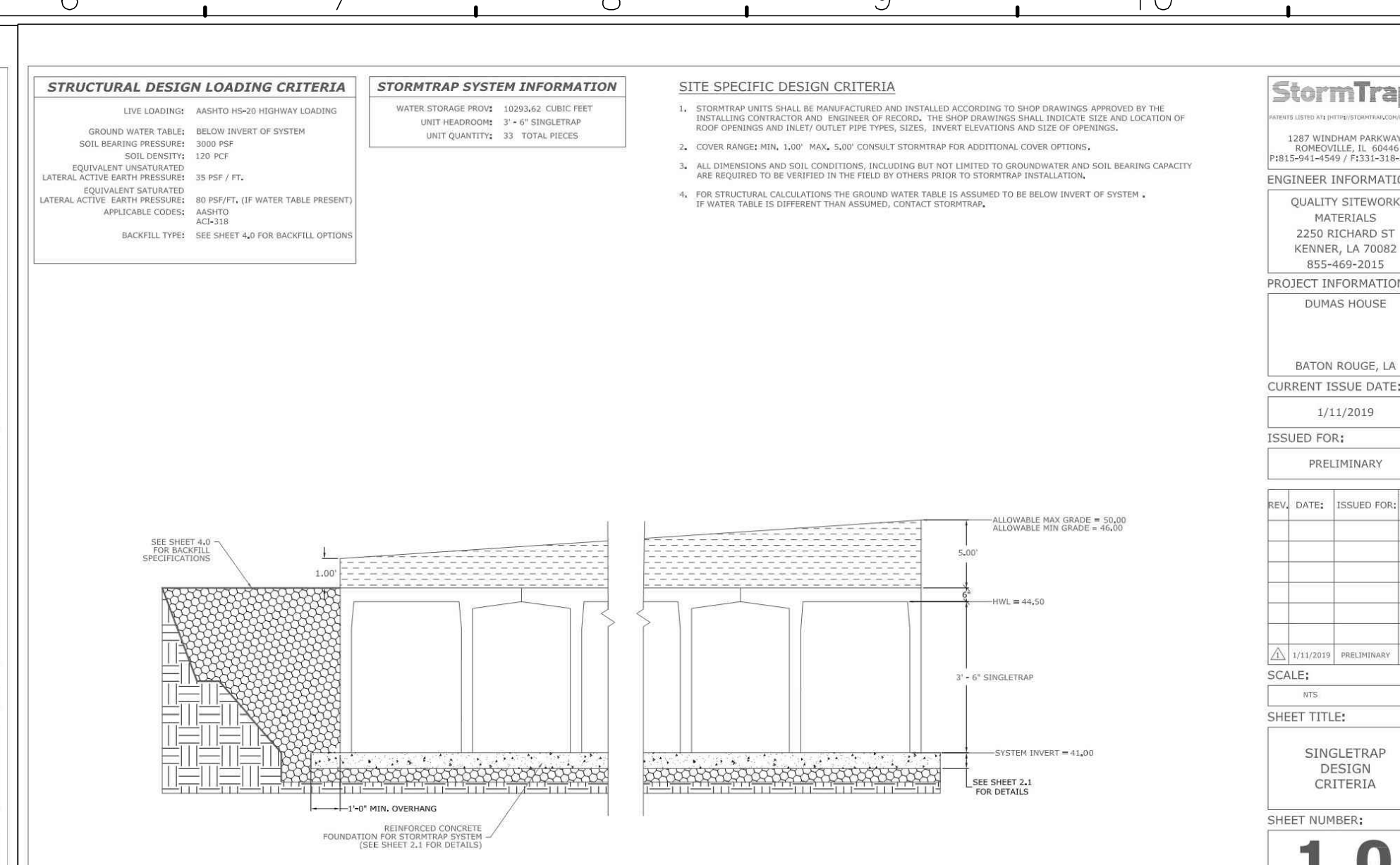
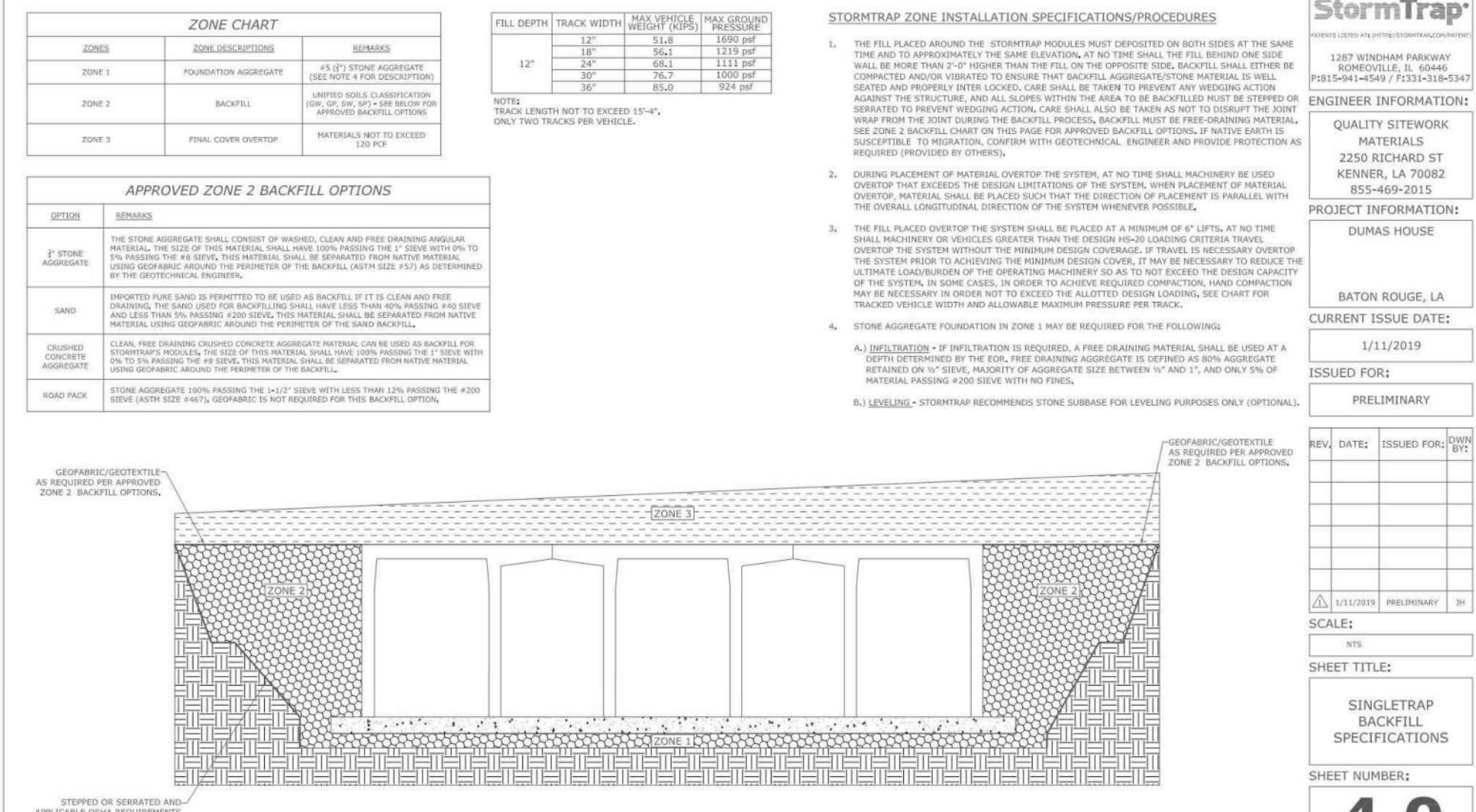
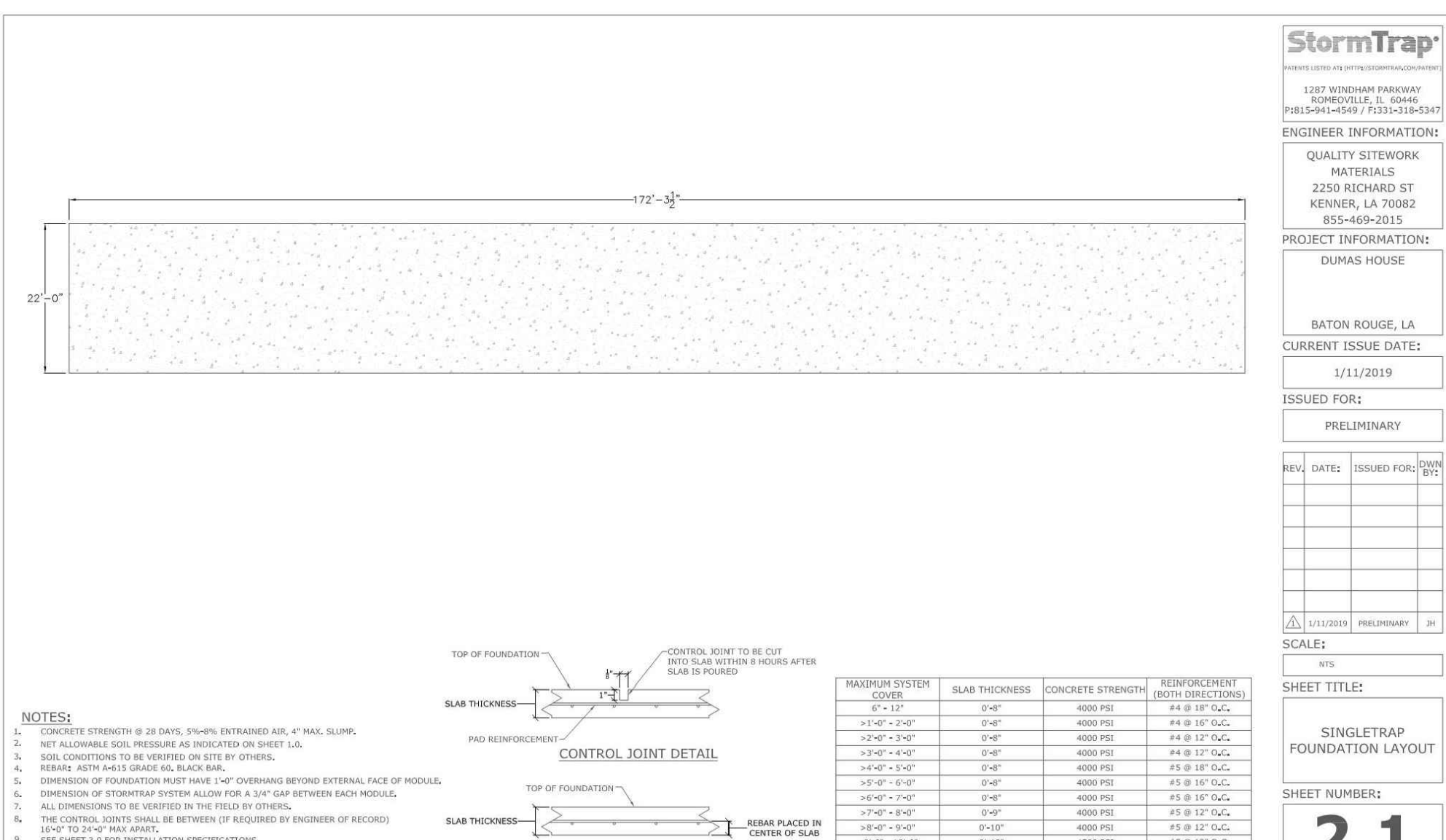
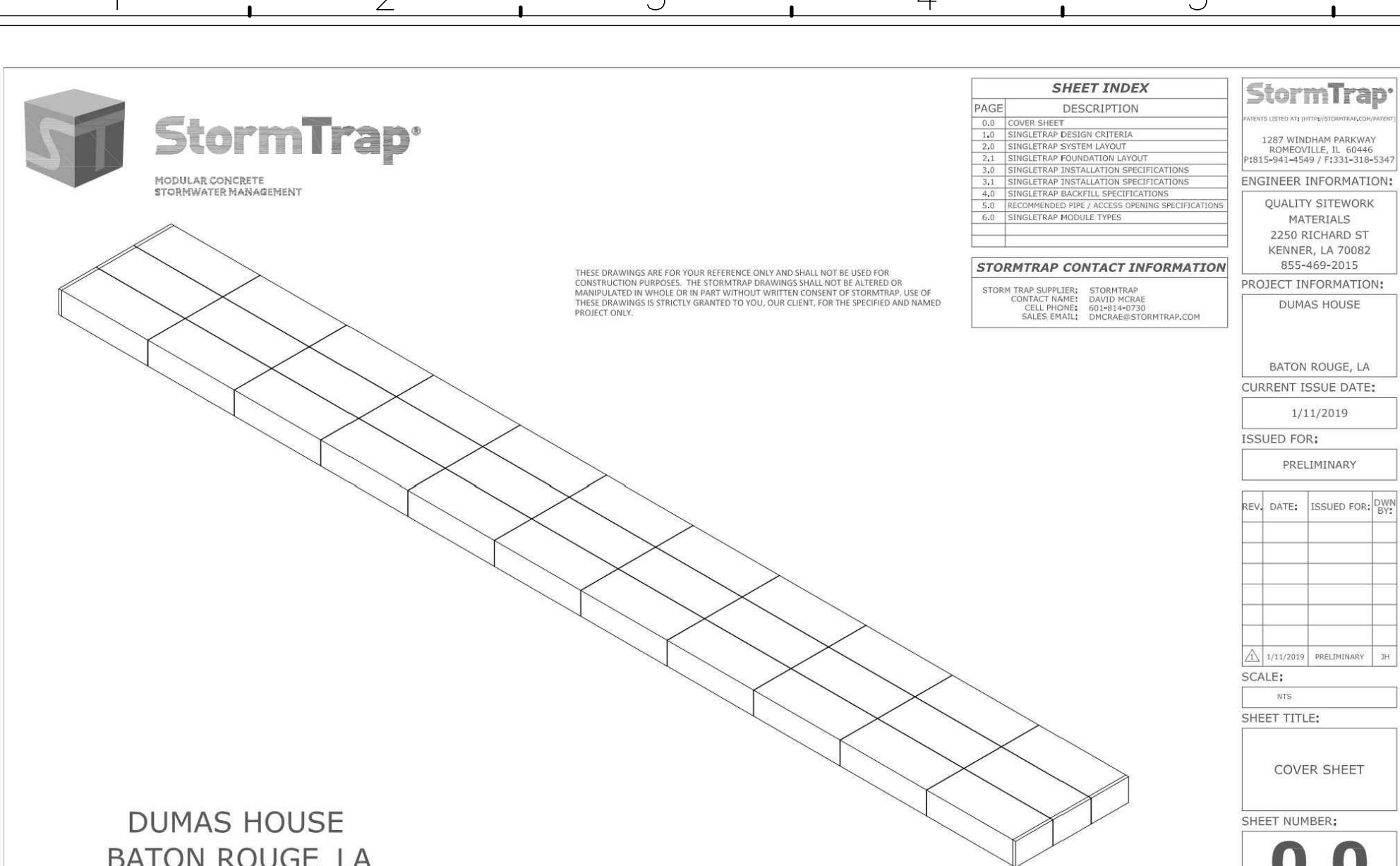
CONTRACTOR SHALL NOT INTERPRET OR SUBSTITUTE ANY COMPONENT OF THE SYSTEM INCLUDING STONE BEDDING, NON-EQUAL CHAMBER SYSTEM, END CAPS, MANIFOLDS, GEOTEXTILE FABRIC, STONE BACKFILL, ACCESS RISERS, ETC...

THE CONTECH SYSTEM DESIGN FOR THE DUMAS PROJECT FOR STORMTREC REFERENCES QUOTE #608597-10 (24" DIA. PIPE) AND #608597-20 (36" DIA. PIPE). CONTACT SALES REPRESENTATIVE (CONTECH): DAVID JERRY (225) 936-0278 FOR COMPLETE MATERIALS LIST, REQUIREMENTS, ETC...



HOLT HARRISON
SUBDIVISION
LOT 10
CPPC ID 1110320012
LOCATED IN SECTION 1, T7S-R1E,
GREENSBURG LAND DISTRICT
EAST BATON ROUGE PARISH, LOUISIANA

SHEET BID ALT. #2A & #2B



BID ALT.#2 - PRE-CAST CONC. CHAMBER SYSTEM

THE STORMTRAP INFORMATION SHOWN ON THIS PAGE FOR PRECAST CONCRETE DRAINAGE VAULTS IS PROVIDED BY QUALITY SITEWORK MATERIALS (QSM). ENGINEER WILL ALTERNATELY ACCEPT EQUAL OR SIMILAR SYSTEM MANUFACTURED BY CONTECH.

CONTRACTOR SHALL FULLY COMPLY WITH
MANUFACTURER INSTALLATION
RECOMMENDATIONS AND REQUIREMENTS.

CONTRACTOR SHALL NOT INTERPRET OR
SUBSTITUTE ANY COMPONENT OF THE
SYSTEM INCLUDING STONE BEDDING,
NON-EQUAL CHAMBER SYSTEM, END CAPS,
MANIFOLDS, GEOTEXTILE FABRIC, STONE
BACKFILL, ACCESS RISERS,, ETC...

THE STORMTRAP SYSTEM FOR THE DUMAS
PROJECT REFERENCES QUOTE
#DUMAS HOUSE-3-6 BATON ROUGE, LA.

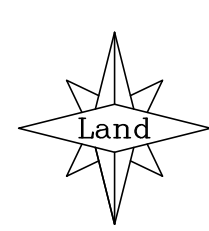
CONTACT SUPPLIER REPRESENTATIVE (QSM):
TJ TRUXILLO (985) 859-9681 FOR
COMPLETE MATERIALS LIST, REQUIREMENTS,
ETC..

SHEET BID ALT. #4B

HOLT HARRISON
SUBDIVISION
LOT 10

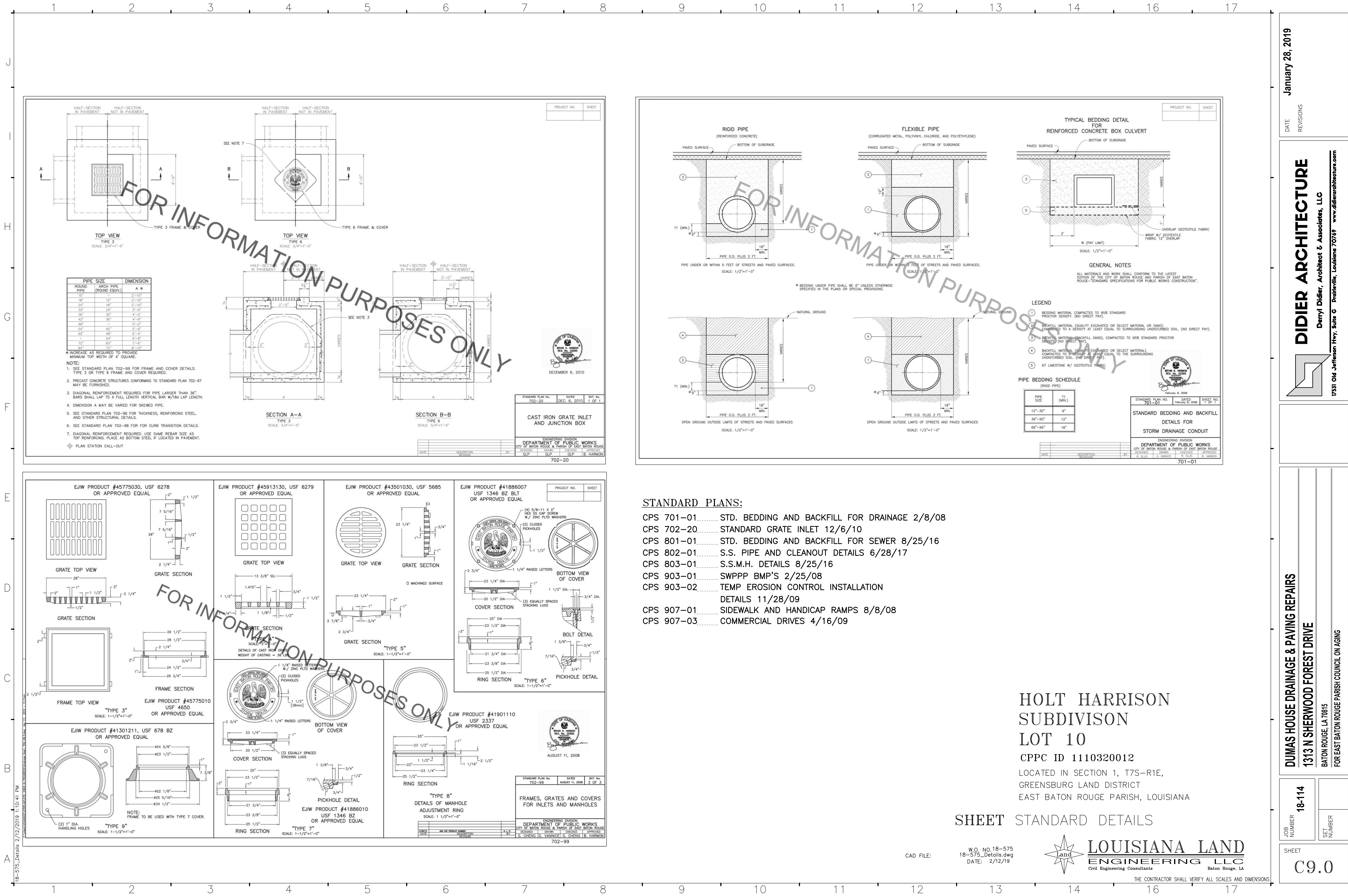
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LOCATED IN SECTION 1, T7S-R1E,
GREENSBURG LAND DISTRICT
EAST BATON ROUGE PARISH, LOUISIANA

CAD FILE: W.O. NO.18-575
18-575_Details.dwg
DATE: 2/12/19



LOUISIANA LAND
ENGINEERING LLC
Civil Engineering Consultants Baton Rouge, LA

THE CONTRACTOR SHALL VERIFY ALL SCALES AND DIMENSIONS



January 28, 2019

DATE

REVISIONS

DIDIER ARCHITECTURE
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17331 Old Jefferson Hwy, Suite C Prairieville, Louisiana 70769
www.didierarchitecture.com

DUMAS HOUSE DRAINAGE & PAVING REPAIRS
1313 N SHERWOOD FOREST DRIVE
BATON ROUGE, LA 70815
FOR EAST BATON ROUGE PARISH COUNCIL ON AGING

18-114
JOB NUMBER
SET NUMBER

C9.0
SHEET

HOLT HARRISON SUBDIVISION
LOT 10
CPPC ID 1110320012
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LOUISIANA LAND ENGINEERING LLC
Civil Engineering Consultants
Baton Rouge, LA

THE CONTRACTOR SHALL VERIFY ALL SCALES AND DIMENSIONS

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