

GEAUGA METROPOLITAN HOUSING AUTHORITY

385 CENTER ST., CHARDON, OHIO, 44042

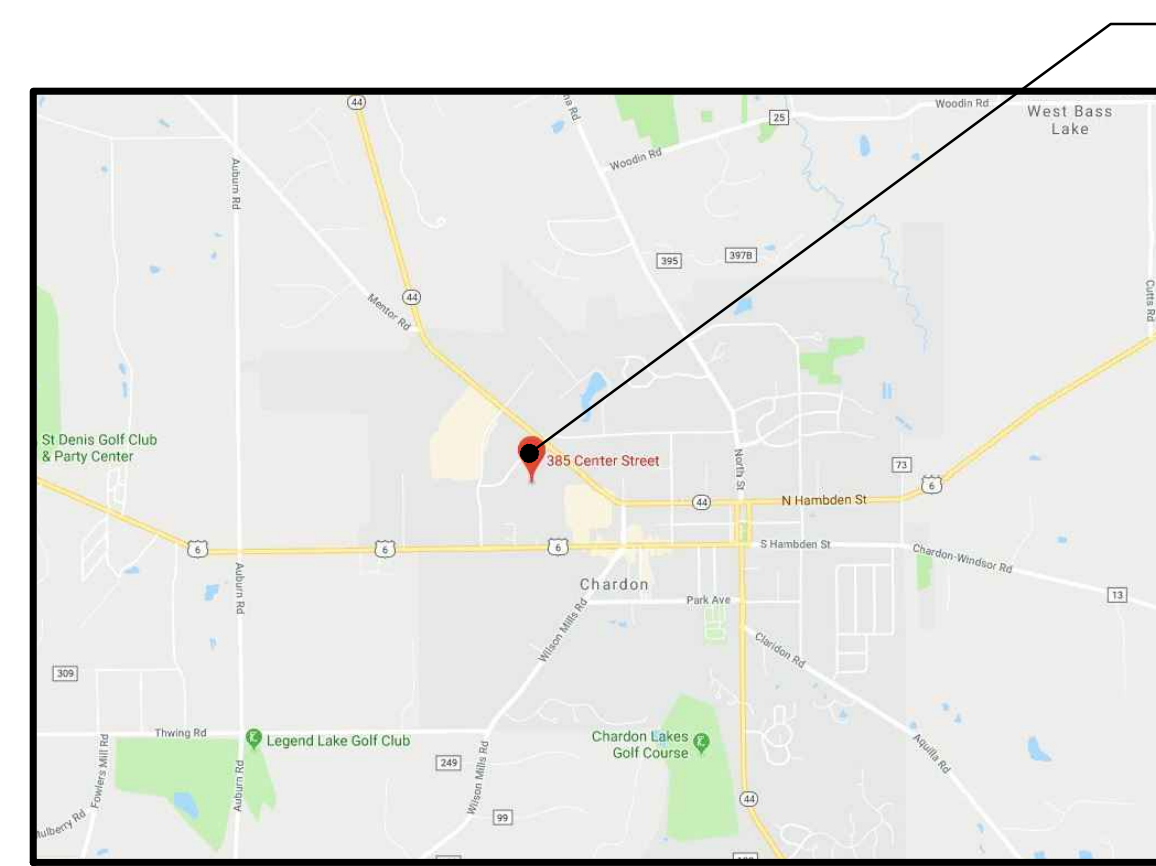
BATHROOM RENOVATION

THE SCOPE OF THE PROJECT IS TO REPLACE THE BATHROOM TUBS AT 75 HOUSING UNITS. EIGHT OF THE 75 UNITS ARE TO BE UFAS-ACCESSIBLE ROLL-IN UNITS.

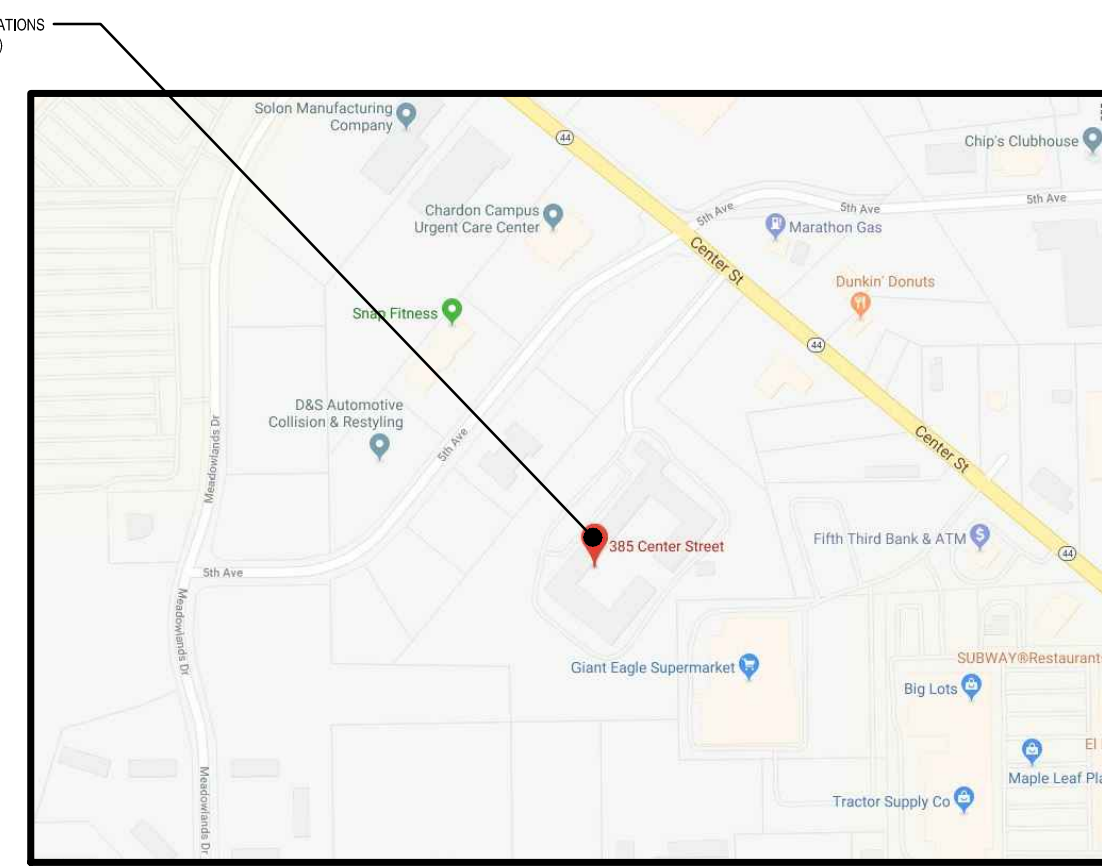
PROJECT CONTACTS

Submitted To:
 Geauga Metropolitan Housing Authority
 Att: Dawn Farrell
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 385 Center Street
 Chardon, OH 44024

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 GPD Group
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 Cleveland, OH 44125



VICINITY MAP



SITE MAP



AERIAL MAP

B2 MURRAY MANOR LOCATIONS
 NTS

INDEX OF DRAWINGS

DWG.	DRAWING TITLE
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ELECTRICAL	
E-101	ENLARGED POWER PLANS

REV.	DATE	DESCRIPTION
-	12/21/2018	ISSUED FOR BID

MURRAY MANOR BATHROOM RENOVATIONS
 GEAUGA METROPOLITAN HOUSING AUTHORITY
 385 CENTER ST., CHARDON, OH 44042

TITLE SHEET

ISSUED FOR:	
PERMIT	-
BID	12/21/2018
CONSTRUCTION	-
RECORD	-

PROJECT MANAGER	DESIGNER
RD	KJC

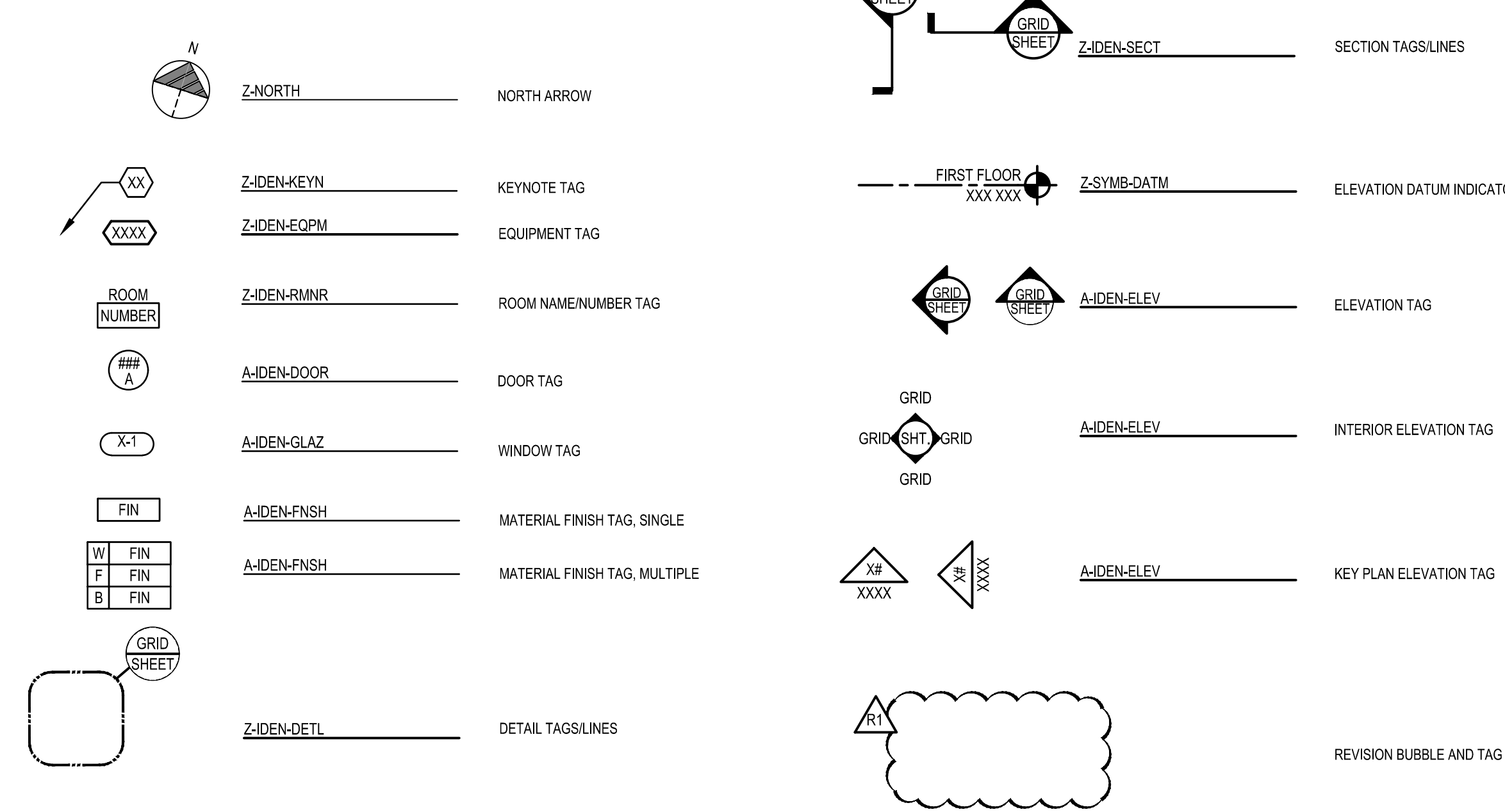
JOB NO.
 2018359.01

TS-001

ABBREVIATION INDEX

&	AND	EA.	EACH	INFO.	INFORMATION	RAD.	RADIUS
@	AT	E.I.F.S.	EXTERIOR INSULATION & FINISH SYSTEM	INSUL.	INSULATION	R.D.	ROOF DRAIN
⌥	CENTER LINE	E.J.	EXPANSION JOINT	INT.	INTERIOR	REF.	REFERENCE
ACCES.	ACCESSIBLE	EL.	ELEVATION	JAN.	JANITOR	REFR.	REFRIGERATOR
ACT	ACROUSTICAL CEILING TILE	ELEC.	ELECTRICAL	JT.	JOINT	REINF.	REINFORCED
ADJ.	ADJUSTABLE	EMERG.	EMERGENCY	LAM.	LAMINATE	REQD.	REQUIRED
A.F.F.	ABOVE FINISH FLOOR	ENCL.	ENCLOSURE	LAV.	LAVATORY	RESIL.	RESILIENT
ALUM.	ALUMINUM	EQ.	EQUAL	LNDLORD	LANDLORD	RM.	ROOM
APPROX.	APPROXIMATE	EQPT.	EQUIPMENT	LLD	LIGHT	R.O.	ROUGH OPENING
BD.	BOARD	E.W.C.	ELECTRIC WATER COOLER	LT.	LIGHT	R.T.U.	ROUGH TOP UNIT (HVAC)
BLDG.	BUILDING	EXP.	EXPANSION	MAS.	MASONRY	S.C.	SOLID CORE
BLK.	BLOCK	EXIST.	EXISTING	MAX.	MAXIMUM	SCHED.	SCHEDULED
BM.	BEAM	EXT.	EXTERIOR	MECH.	MECHANICAL	SECT.	SECTION
B.O.	BOTTOM OF	FABR.	FABRICATED	MED.	MEDIUM	SHT.	SHEET
BRG.	BEARING	F.D.	FLOOR DRAIN	MFR.	MANUFACTURER	SIM.	SIMILAR
BTWN.	BETWEEN	FDN.	FOUNDATION	MIN.	MINIMUM	SPEC.	SPECIFICATION
CEM.	CEMENT	FIN.	FINISH	MISC.	MISCELLANEOUS	STD.	STANDARD
C.F.	COLD FORMED	FL.	FLOOR	M.O.	MASONRY OPENING	STL.	STEEL
C.J.	CONTROL JOINT	FLASH.	FLASHING	M.R.	MOISTURE RESISTANT	STOR.	STORAGE
CLG.	CEILING	FLUOR.	FLUORESCENT	MTD.	MOUNTED	STRUC.	STRUCTURAL
CLR.	CLEAR	F.O.C.	FACE OF CONCRETE	N.I.C.	NOT IN CONTRACT	SUSP.	SUSPENDED
CMU	CONCRETE MASONRY UNIT	F.O.F.	FACE OF FINISH	NO.	NUMBER	TEL.	TELEPHONE
CNTR.	COUNTER	F.O.M.	FACE OF MASONRY	N.C.	NOT TO SCALE	T.	TEMPERED GLASS
COL.	COLUMN	F.O.S.	FACE OF STUDS	N.M.	NOMINAL	THK.	THICK
CONC.	CONCRETE	F.R.T.	FIRE RETARDANT TREATED	N.T.S.	NOT TO SCALE	T.O.	TOP OF
CONT.	CONTINUOUS	FT.	FOOT OR FEET	O.C.	ON CENTER	TS.	TUBE STEEL
CORR.	CORRIDOR	FTS.	FOOTING	OPNG.	OPENING	TYP.	TYPICAL
C.T.	CERAMIC TILE	FURR.	FURRING	OPP.	OPPOSITE	U.N.O.	UNLESS NOTED OTHERWISE
DBL.	DOUBLE	GA.	GAUGE	O.H.	OVERHEAD	VCT.	VINYL COMPOSITION TILE
DEPT.	DEPARTMENT	GALV.	GALVANIZED	PL.	PLATE	VERT.	VERTICAL
DIF.	DOUBLE FACED	GEN.	GENERAL	P. LAM.	PLASTIC LAMINATE	VEST.	VESTIBULE
D.F.	DRINKING FOUNTAIN	G.C.	GENERAL CONTRACTOR	PL.	LASTER	V.I.F.	VERIFY IN FIELD
DET.	DETAIL	GL.	GLASS	PLMB.	PLUMBING	V.T.R.	VENT THRU ROOF
DIA.	DIAMETER	GYP.	GYPNUM BOARD	PLYWD.	PLYWOOD	WD.	WOOD
DIM.	DIMENSION	GYP. BD.	GYPNUM BOARD	PR.	PAIR	W/O	WITHOUT
DISP.	DISPENSER	HVAC	HEATING AND COOLING	PRN.	PARTITION	WP	WATERPROOF
DN.	DOWN	H.B.	HOSE BIBB	PR.TR.	PRESSURE TREATED	WT.	WEIGHT
D.O.	DOOR OPENING	H.C.	HOLLOW CORE	PT.	POINT		
DR.	DOOR	H.D.	HEAVY DUTY				
DS.	DOWNSPOUT	HDWD.	HARDWOOD				
DWG.	DRAWING	H.M.	HOLLOW METAL				
		HORIZ.	HORIZONTAL				
		HT.	HEIGHT				
		HSS.	HOLLOW STEEL SECTION				

SYMBOL LEGEND



GENERAL NOTES

GPD GROUP.
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 Akron, OH 44311
 330.572.2100 Fax 330.572.2102
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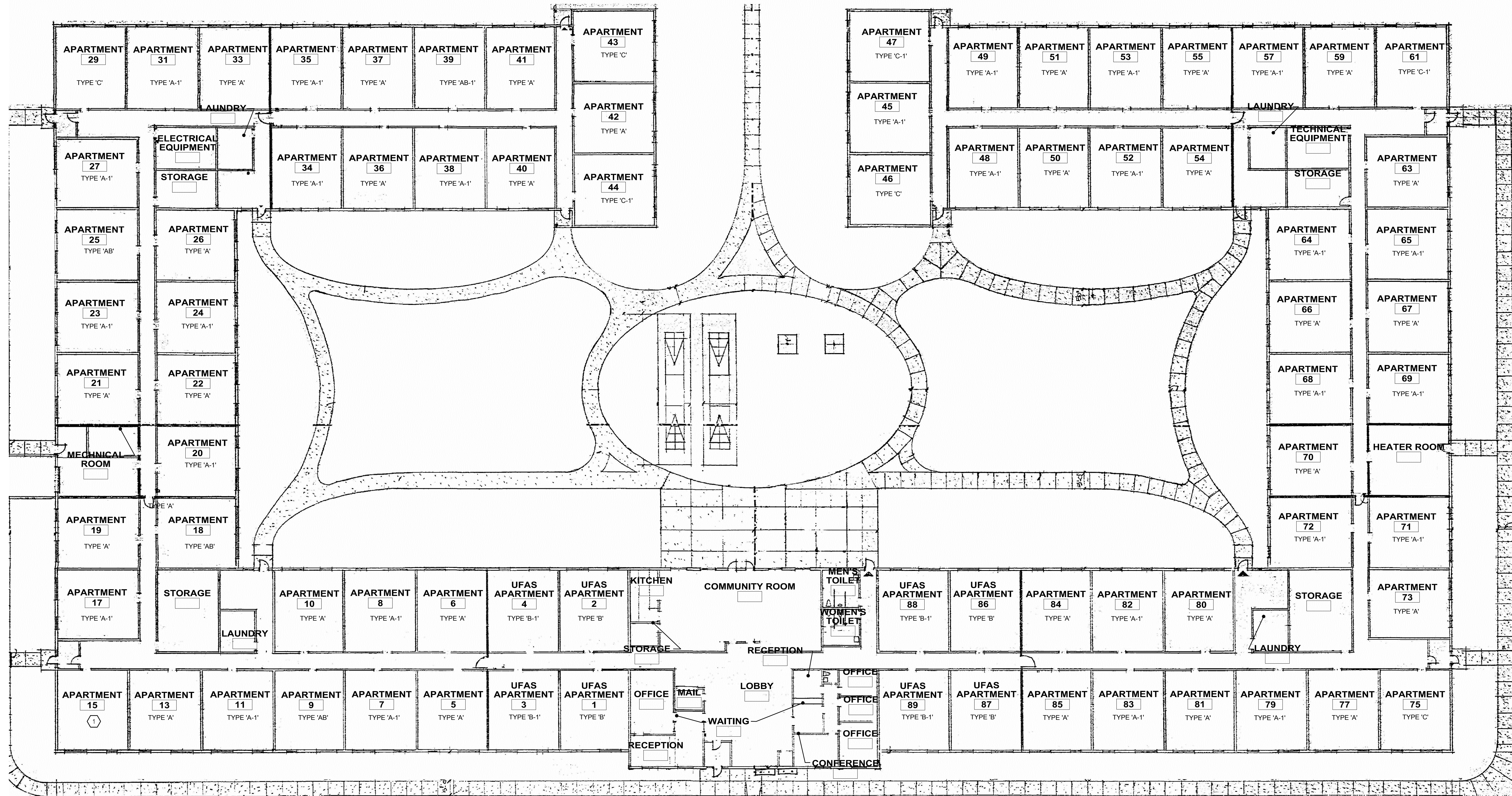
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A-001

PLAN KEYNOTES (F)

1. APARTMENT 15 NOT IN SCOPE.



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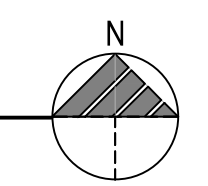
OVERALL BUILDING PLAN

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RECORD	
PROJECT MANAGER	DESIGNER
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JOB NO.
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A-100

A1 OVERALL FLOOR PLAN
 1/16"=1'-0"



Drawing Name: O:\2018\2018359\01 - Murray Manor Bathroom Renovation\Drawings\Construction Documents\300_A-101.dwg
 February 21, 2018 - kcumings

GENERAL NOTES

- A. DO NOT SCALE DRAWINGS.
- B. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CROSS-CHECK THE MEP DRAWINGS WITH THE ARCHITECTURAL DRAWINGS PRIOR TO THE ORDERING / INSTALLATION OF MECHANICAL, ELECTRICAL, AND PLUMBING WORK. ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL AND MEP DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR IMMEDIATE CLARIFICATION. COORDINATE WORK WITH OTHER TRADES. EQUIPMENT FURNISHED BY OTHERS. REQUIREMENTS OF THE TENANT AND LANDLORD/BUILDING OWNER, AND THE CONSTRAINTS OF THE EXISTING CONDITIONS OF THE PROJECT SITE. COORDINATE THE INSTALLATION WITH OTHER TRADES AS REQUIRED TO ENSURE A NEAT AND ORDERLY INSTALLATION. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES BEFORE STARTING WORK.
- C. GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL CAREFULLY REVIEW THE CONSTRUCTION DOCUMENTS. INFORMATION REGARDING THE COMPLETE WORK IS DISPERSED THROUGHOUT THE DOCUMENT SET AND CANNOT BE ACCURATELY DETERMINED WITHOUT REFERENCE TO THE COMPLETE DOCUMENT SET.
- D. WHERE THERE MAY BE A CONFLICT IN THE SPECIFICATIONS AND/OR DRAWINGS, THEN THE MORE EXPENSIVE LABOR, MATERIALS AND EQUIPMENT SHALL BE ASSUMED TO BE REQUIRED AND SHALL BE PROVIDED BY THE GENERAL CONTRACTOR TO THE SATISFACTION OF THE TENANT.
- E. WHEN WORK, NOT SPECIFICALLY CALLED OUT, IS REQUIRED TO COMPLETE THE PROJECT, IT SHALL BE PROVIDED BY THE GENERAL CONTRACTOR WITH THE BEST MATERIALS AND WORKMANSHIP.
- F. NEW GRAB BARS TO BE INSTALLED SHALL BE RATED BY MANUFACTURER TO WITHSTAND A MINIMUM 500# SHEAR STRESS LOAD EXCEEDING THE MINIMUM 250# LOAD REFERENCED IN UFAS SECTION 4.25.3 "STRUCTURAL STRENGTH".
- G. FOR ALL DRYWALL PATCHING/INFILL PROVIDE NEW GYPSUM BOARD TO MATCH EXISTING DEPTH. FEATHER IN NEW COMPOUND AND SAND AS REQUIRED TO PROVIDE A SEAMLESS TRANSITION FROM EXISTING TO NEW.
- H. SEE SHEET A-501 FOR DOOR DETAILS.

LEGEND

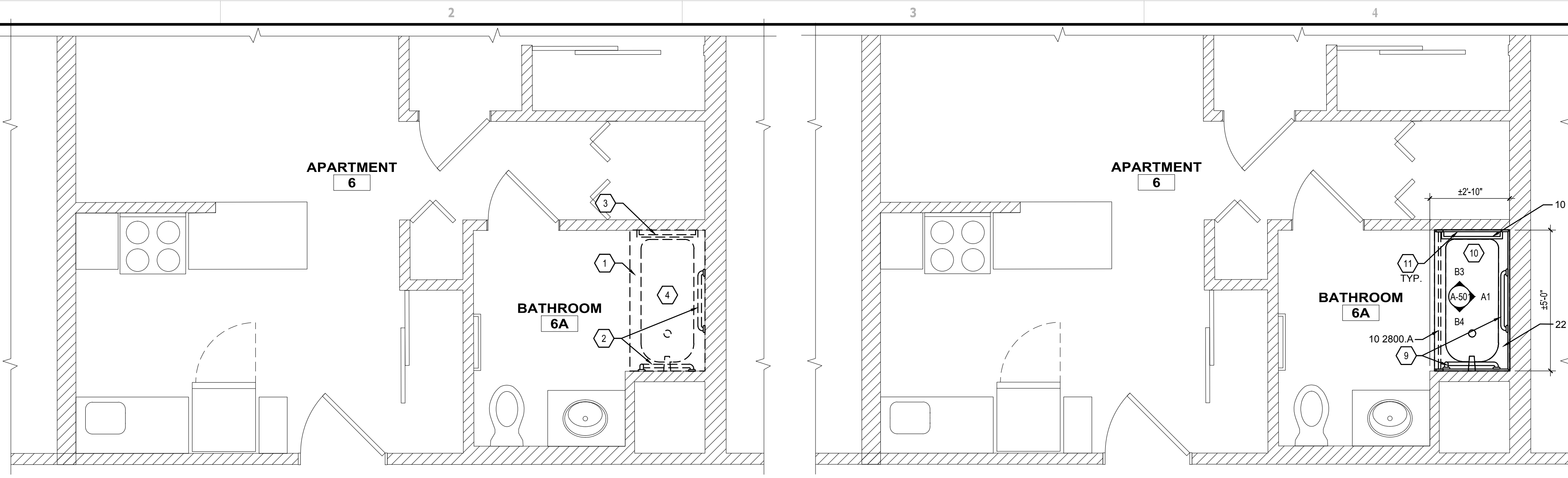
- EXISTING CONSTRUCTION TO BE DEMOLISHED.
- EXISTING CONSTRUCTION TO REMAIN.
- NEW GYPSUM BOARD WALL PARTITION ON WD 2x4 FRAMING.

REFERENCED KEYNOTES

DIVISION	DESCRIPTION
10 2800.A	SHOWER ROD
10 2800.B	TOILET PAPER DISPENSER
10 2800.C	TOWEL BAR
10 2800.D	16"x24" MIRROR W/ SHELF
10 2800.E.1	2" WALL GRAB BAR
10 2800.E.2	18" VERTICAL GRAB BAR
22 4100.A	UFAS-COMPLIANT LAVATORY
22 4100.B1	BATH TUB WITH SURROUND
22 4100.B2	BATH TUB WITH SURROUND AND MODIFIED STEP
22 4100.B3	UFAS-COMPLIANT ROLL-IN SHOWER COMPARTMENT W/ GRAB BARS

PLAN KEYNOTES

- 1. REMOVE EXISTING BATH TUB COMPLETE.
- 2. REMOVE AND SALVAGE EXISTING GRAB BARS. STORE FOR RE-INSTALLATION.
- 3. REMOVE EXISTING BATH ACCESSORIES (TOWEL BAR, GRAB BARS, AND SHOWER CURTAIN ROD).
- 4. REMOVE EXISTING CERAMIC TILE BATH SURROUND.
- 5. NEW GRAB BARS BY PRE-FAB SHOWER MANUFACTURER.
- 6. NEW ROLL-IN SHOWER RECEPTOR.
- 7. SHOWER CONTROLS, FAUCETS, AND SPRAY UNIT.
- 8. PRE-MANUFACTURED SHOWER SURROUND.
- 9. RE-INSTALL EXISTING GRAB BAR ASSEMBLY. PROVIDE WD BLOCKING AS REQUIRED TO SECURE TO EXISTING FRAMING.
- 10. NEW BATH TUB.
- 11. NEW PRE-MANUFACTURED TUB SURROUND.
- 12. REMOVE EXISTING WALL PARTITION COMPLETE. SHORE EXISTING STRUCTURE AS REQUIRED.
- 13. BATH STEP MODIFICATION KIT.
- 14. REMOVE EXISTING DRYWALL AS REQUIRED TO INSTALL NEW WD. BLOCKING AND PERFORM PROPOSED PLUMBING WORK.
- 15. REMOVE EXISTING WET WALL AS REQUIRED TO INSTALL NEW PROPOSED ROLL-IN SHOWER. SEE PLUMBING DRAWINGS FOR RECONFIGURATION OF EXISTING PIPING.
- 16. RECONSTRUCT/RELOCATE EXISTING WET WALL AS REQUIRED TO ACCOMMODATE PROPOSED NEW ROLL-IN SHOWER. PROVIDE PARTITION WALL W/ 5/8" MOISTURE-RESISTANT GYPSUM BOARD OVER WD 2x4 FRAMING @ 16" O.C. PATCH INTO EXISTING WALL CONSTRUCTION AS REQUIRED. PAINT TO MATCH EXISTING WALLS.
- 17. SAW-CUT AND REMOVE EXISTING CONCRETE SLAB AS REQUIRED TO INSTALL NEW PRE-FAB ROLL-IN SHOWER UNIT. COORDINATE DIMENSIONS WITH MODEL SELECTED. PROVIDE NEW 4" CONCRETE DEPRESSED SLAB BELOW SHOWER UNIT.
- 18. PATCH EXISTING CEILING ABOVE WITH NEW MOISTURE-RESISTANT GYPSUM BOARD TO MATCH EXISTING (±1/2") AS REQUIRED TO RELOCATE WALLS. FEATHER IN NEW COMPOUND INTO EXISTING TO PRODUCE A SEAMLESS TRANSITION. PAINT TO MATCH EXISTING CEILING.
- 19. REMOVE AND SALVAGE EXISTING BI-FOLD DOOR, ALL ASSOCIATED HARDWARE, AND EXISTING CLOSET SHELVING AS REQUIRED TO REMOVE EXISTING WALL PARTITION. SHORE EXISTING CLOSET HEADER AS REQUIRED.
- 20. REMOVE EXISTING DOOR, FRAME, AND ALL ASSOCIATED HARDWARE.
- 21. RESET EXISTING DOOR HEADER ON PROPOSED NEW WALL PARTITION. RE-INSTALL EXISTING BI-FOLD DOORS AND SHELVING.
- 22. TYPE 'B' WALL CONSTRUCTION OCCURS IN WALL PARTITION PAST THE END-FRAMING REQUIRED FOR TYPE 'B1' WALL/POCKET DOOR CAVITY.
- 23. PROVIDE NEW MOISTURE-RESISTANT DRYWALL TO MATCH EXISTING. PAINT TO MATCH EXISTING WALLS.
- 24. REMOVE EXISTING VANITY SINK. CAP PLUMBING LINES.
- 25. FIELD VERIFY THAT EXISTING WATER CLOSET IS 18" FROM THE ADJACENT WALL TO THE CENTERLINE OF THE FIXTURE. REMOVE AND RESET AS REQUIRED SHOULD ANY DEVIATION OCCUR FROM 18". SEE B1/A-501. SAW-CUT AND REMOVE EXISTING CONCRETE SLAB AND RECONFIGURE PLUMBING LINES AS REQUIRED. SEE PLUMBING DRAWINGS. SEE D2/A-501 FOR CONCRETE SLAB INFILL.
- 27. ALTERNATE NO. 1: CERAMIC TILE: PROVIDE AN ADD ALTERNATE FOR REMOVING EXISTING VCT FLOOR AND BASE IN THE (8) UFAS APARTMENT BATHROOMS AND PROVIDING NEW CERAMIC TILE FLOOR AND BASE. SEE DRAWINGS AND SECTION 09 3000 CERAMIC TILE.

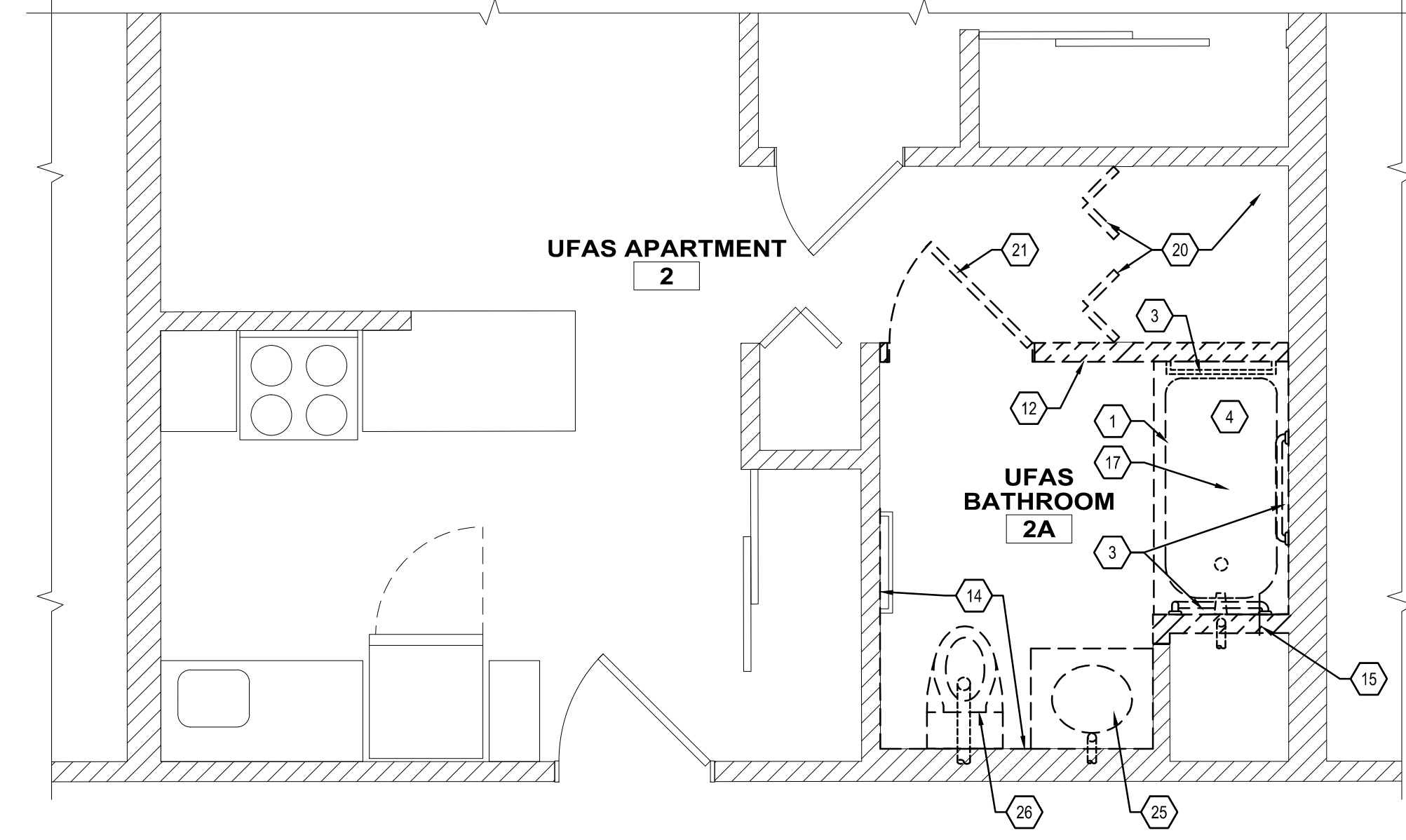


C1 ENLARGED DEMOLITION PLAN -STANDARD APT. TYPE 'A'
 3/8"=1'-0"

APARTMENT 'A' UNITS (APT 6 SHOWN): 29
 APARTMENT 'A-1' UNITS (SIM./MIRRORED): 27
 APARTMENT 'C' UNITS (SIM. TO 'A' UNITS W/ CORNER WINDOWS): 4
 APARTMENT 'C-1' UNITS (SIM. TO 'A'/MIRRORED W/ CORNER WINDOWS): 3

C3 ENLARGED FLOOR PLAN -STANDARD APT. TYPE 'A'
 3/8"=1'-0"

APARTMENT 'A' UNITS (APT 6 SHOWN): 29
 APARTMENT 'A-1' UNITS (SIM./MIRRORED): 27
 APARTMENT 'C' UNITS (SIM. TO 'A' UNITS W/ CORNER WINDOWS): 4
 APARTMENT 'C-1' UNITS (SIM. TO 'A'/MIRRORED W/ CORNER WINDOWS): 3

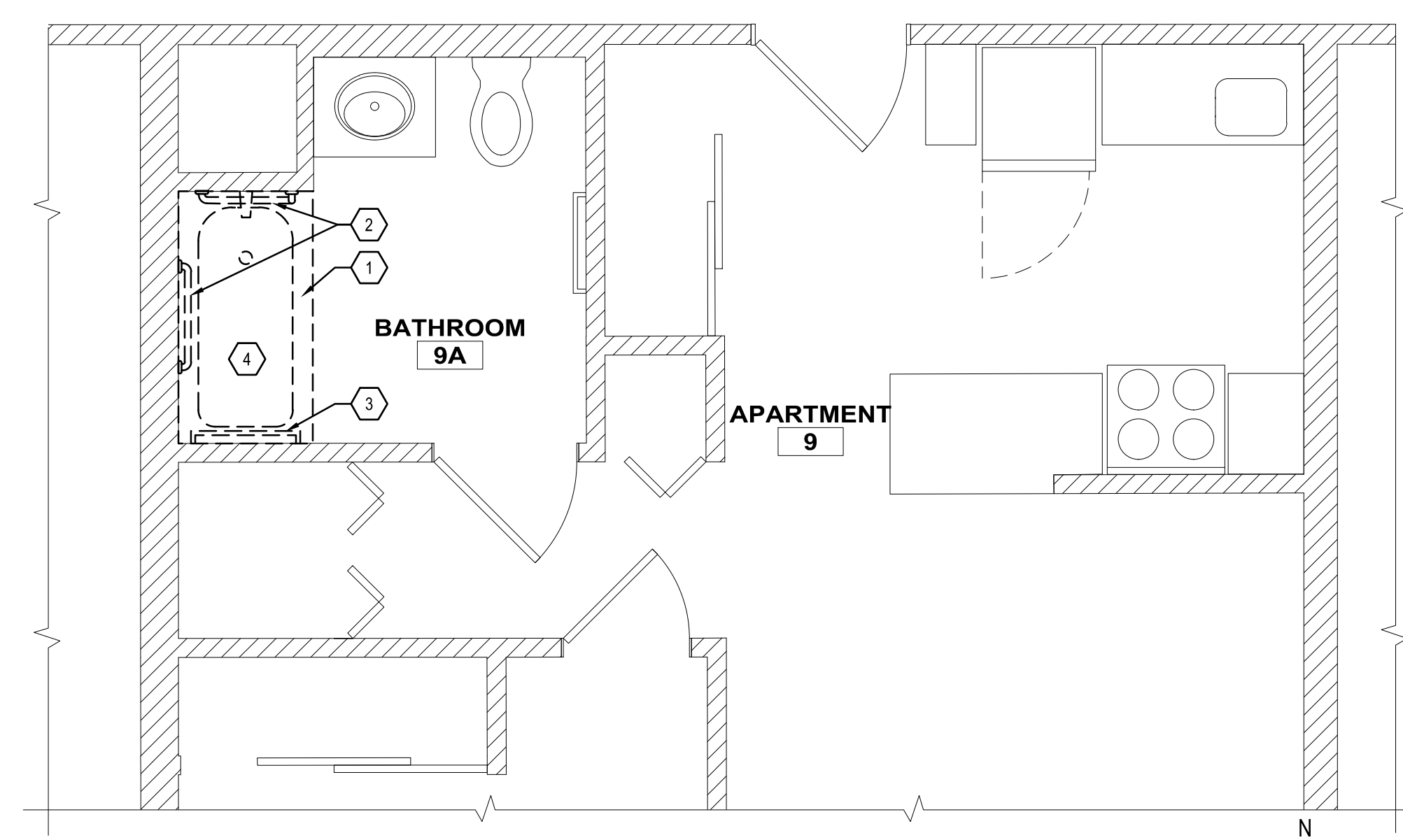


B1 ENLARGED DEMOLITION PLAN -UFAS APT. TYPE 'B'
 3/8"=1'-0"

UFAS APARTMENT 'B' UNITS (APT 2 SHOWN): 4
 UFAS APARTMENT 'B-1' UNITS (SIM./MIRRORED): 4

B3 ENLARGED FLOOR PLAN -UFAS APT. TYPE 'B'
 3/8"=1'-0"

UFAS APARTMENT 'B' UNITS (APT 2 SHOWN): 4
 UFAS APARTMENT 'B-1' UNITS (SIM./MIRRORED): 4



A1 ENLARGED DEMOLITION PLAN -ADAPTABLE UFAS APT. TYPE 'AB'
 3/8"=1'-0"

APARTMENT 'AB' UNITS (APT 9 SHOWN): 3
 APARTMENT 'AB-1' UNITS (SIM./MIRRORED): 1

A3 ENLARGED FLOOR PLAN -ADAPTABLE UFAS APT. TYPE 'AB'
 3/8"=1'-0"

APARTMENT 'AB' UNITS (APT 9 SHOWN): 3
 APARTMENT 'AB-1' UNITS (SIM./MIRRORED): 1

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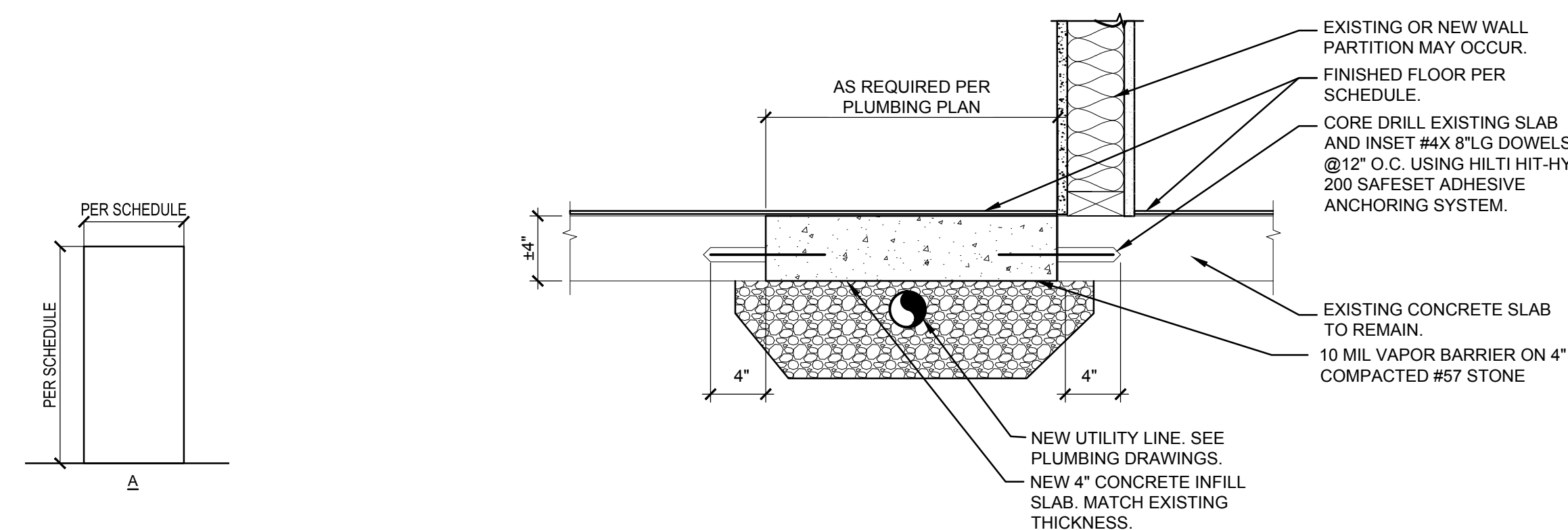
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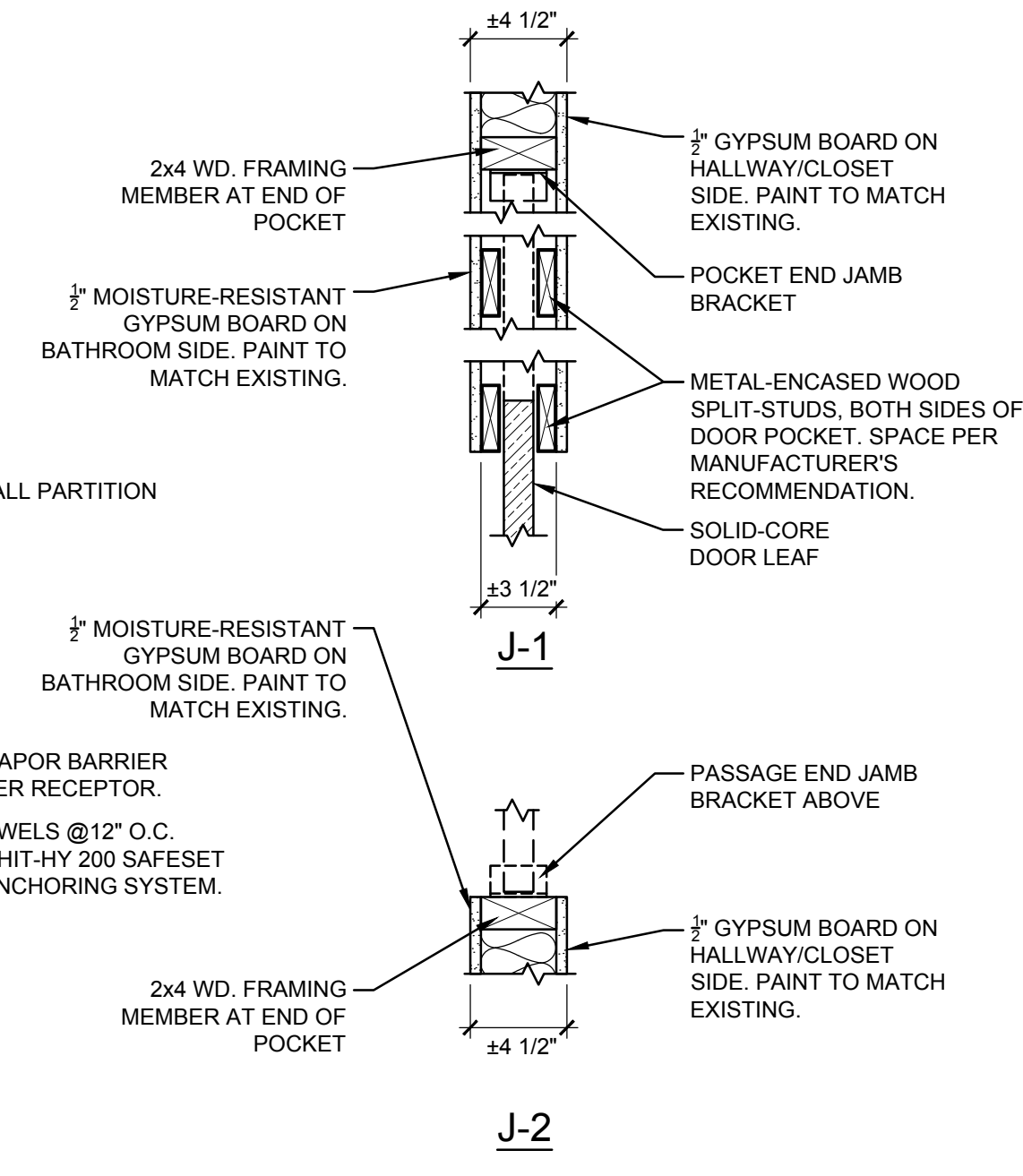
DOOR SCHEDULE										
DOOR NO.	DOOR TYPE	SIZE	DESCRIPTION	FRAME TYPE	DOOR & FRAME FINISH	HEAD	JAMB	SILL	RATING	KEYNOTE REMARKS
2A-A	A	36" x 80" x 1 3/8"	UFAS BATH 2A	-	PRE-FINISHED	H-1	J-1/J-2	S-1	-	①

ADA APARTMENT 'B' UNITS (APT 2 SHOWN): 4
 ADA APARTMENT 'B-1' UNITS (SIM./MIRRORED): 4

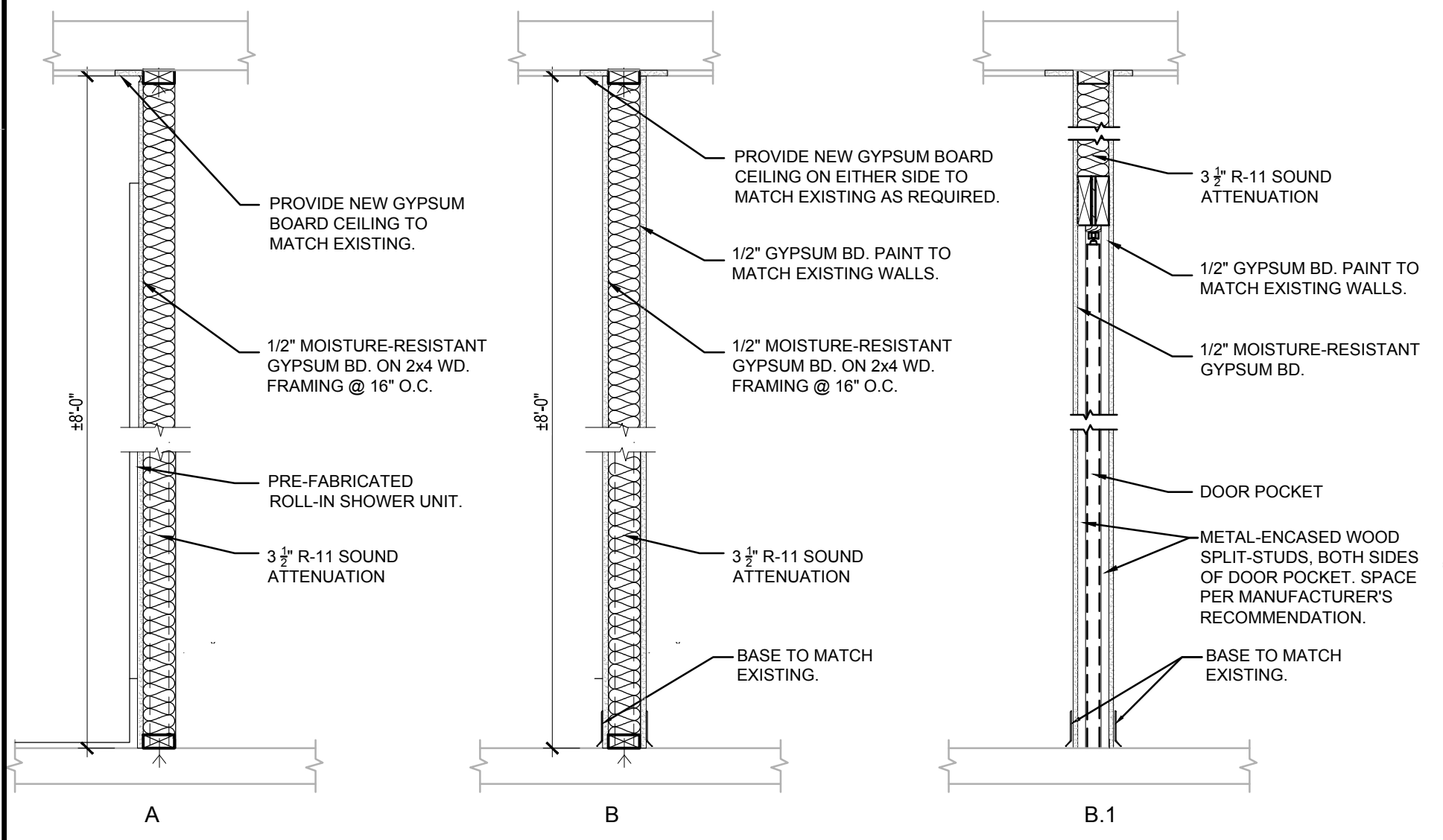
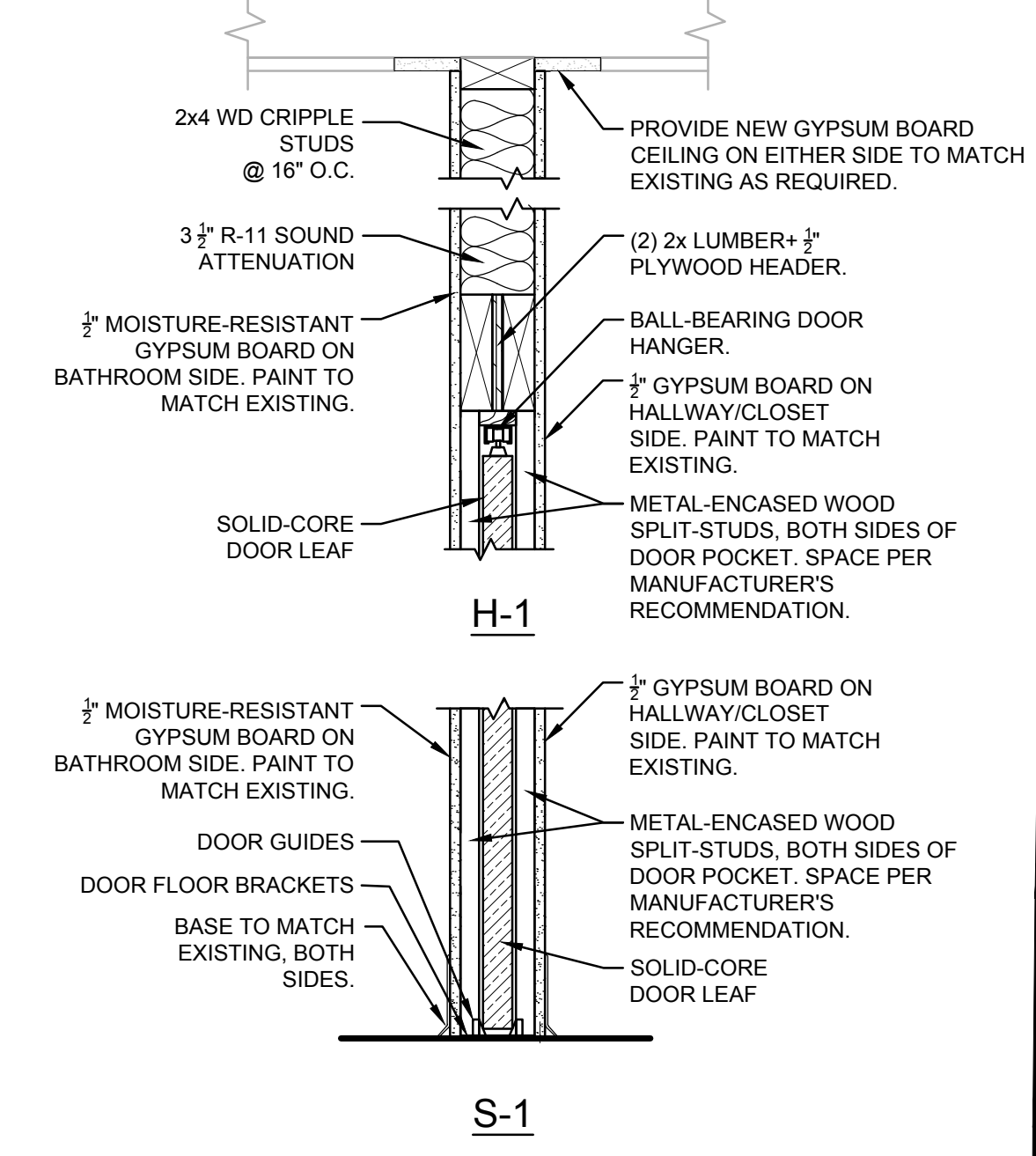


D2 INFILL SLAB DETAIL
1 1/2"=1'-0"

D1 DOOR ELEVATION
1/4"=1'-0"

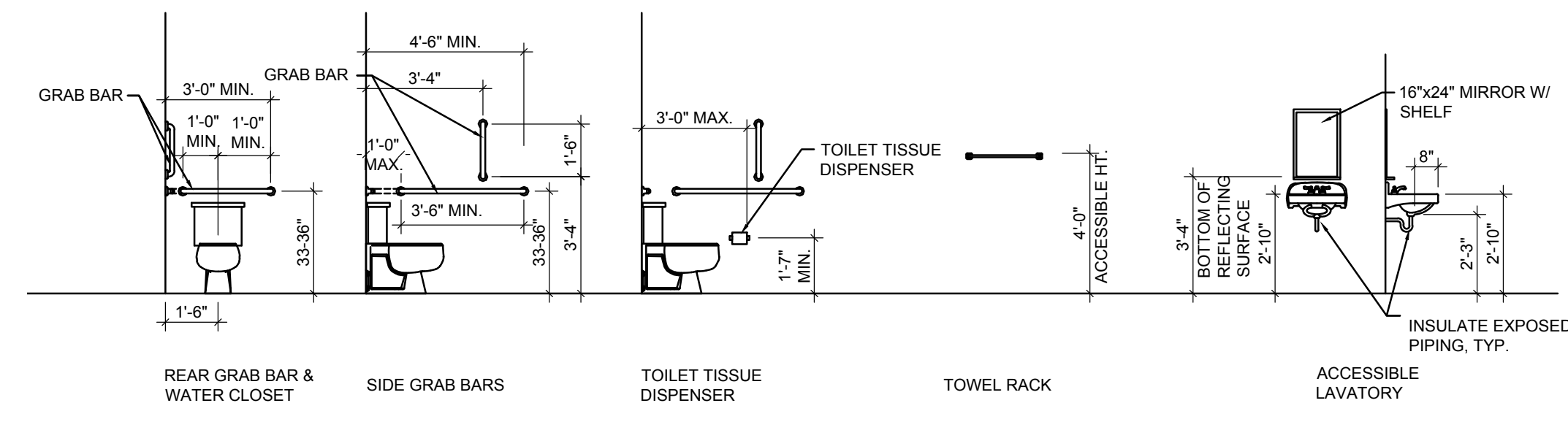


C3 OPENING DETAILS
1 1/2"=1'-0"

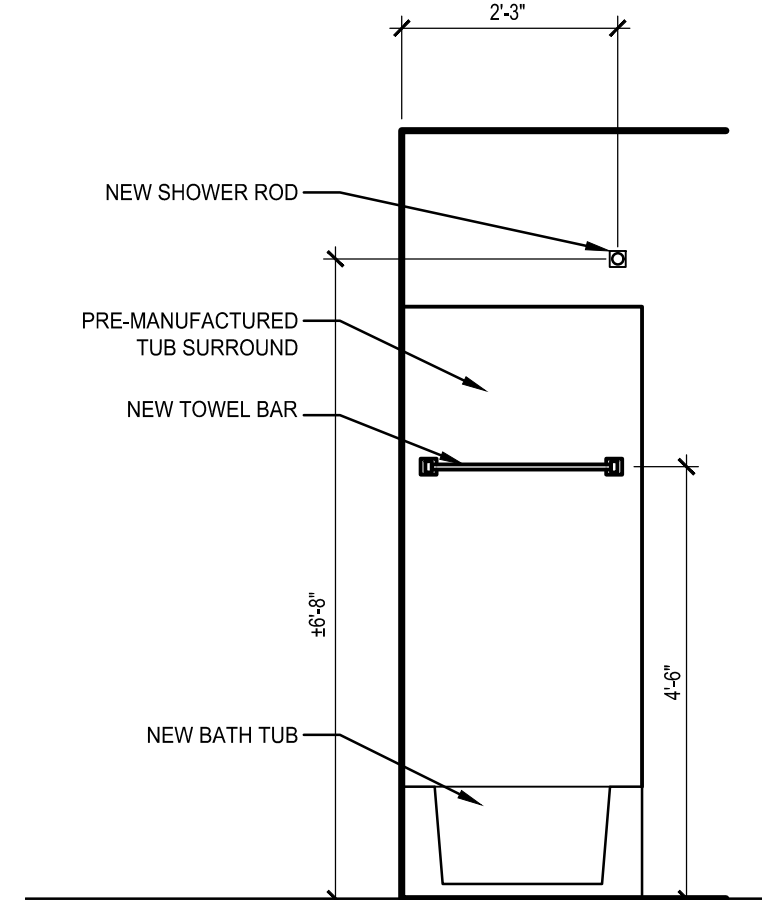


C1 ROLL-IN SHOWER DETAIL
3/4"=1'-0"

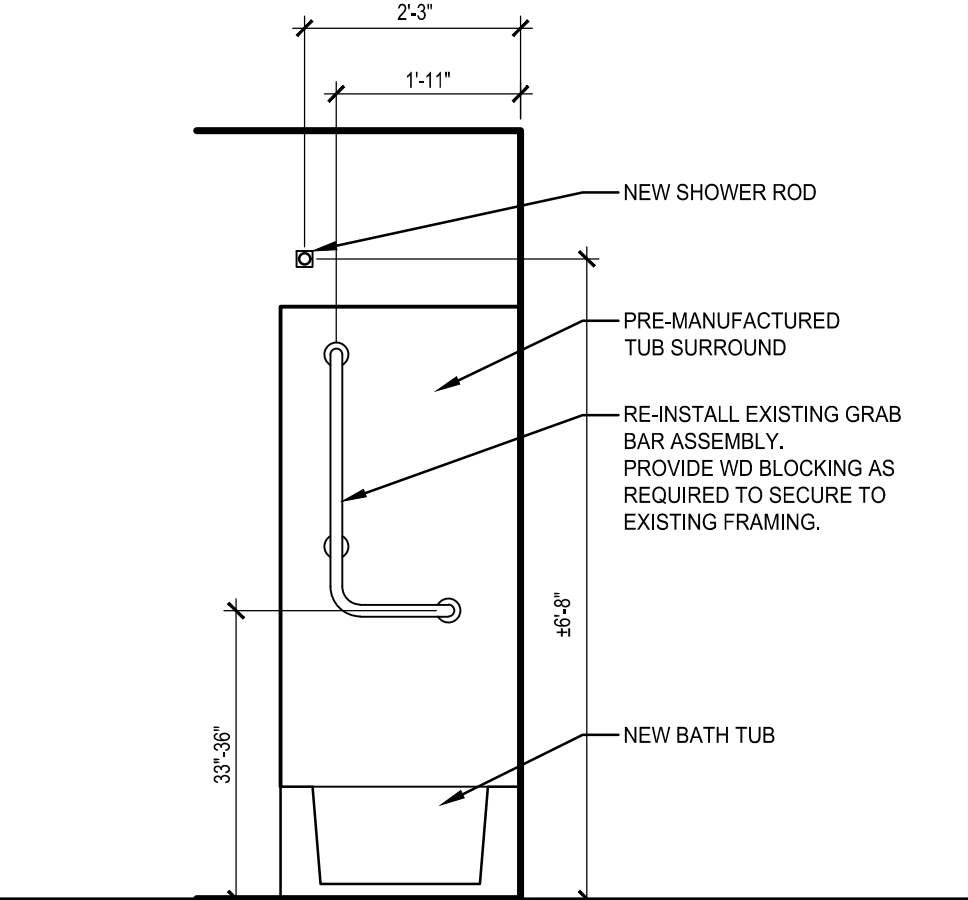
C2 ROLL-IN SHOWER DETAIL
1 1/2"=1'-0"



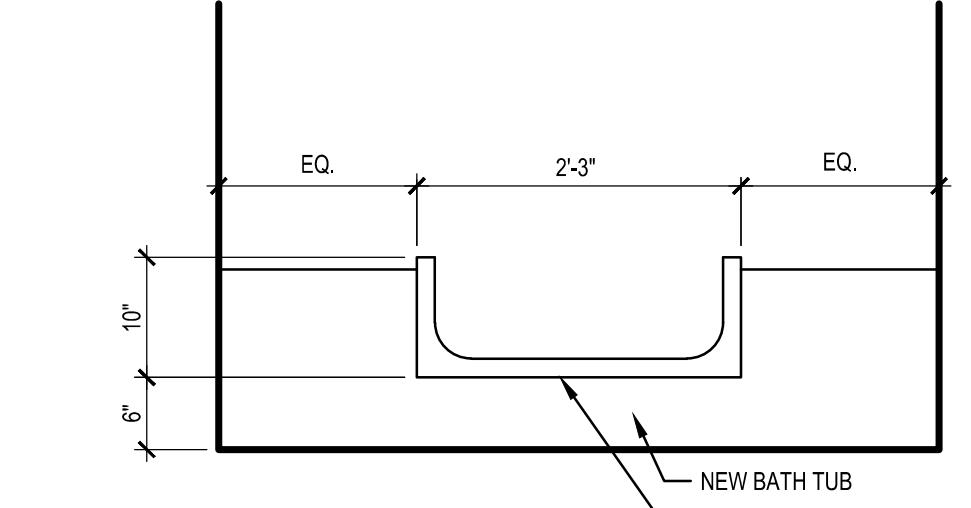
B1 TYP. BATH ACCESSORY DIMENSIONAL REQUIREMENTS
1/4"=1'-0"



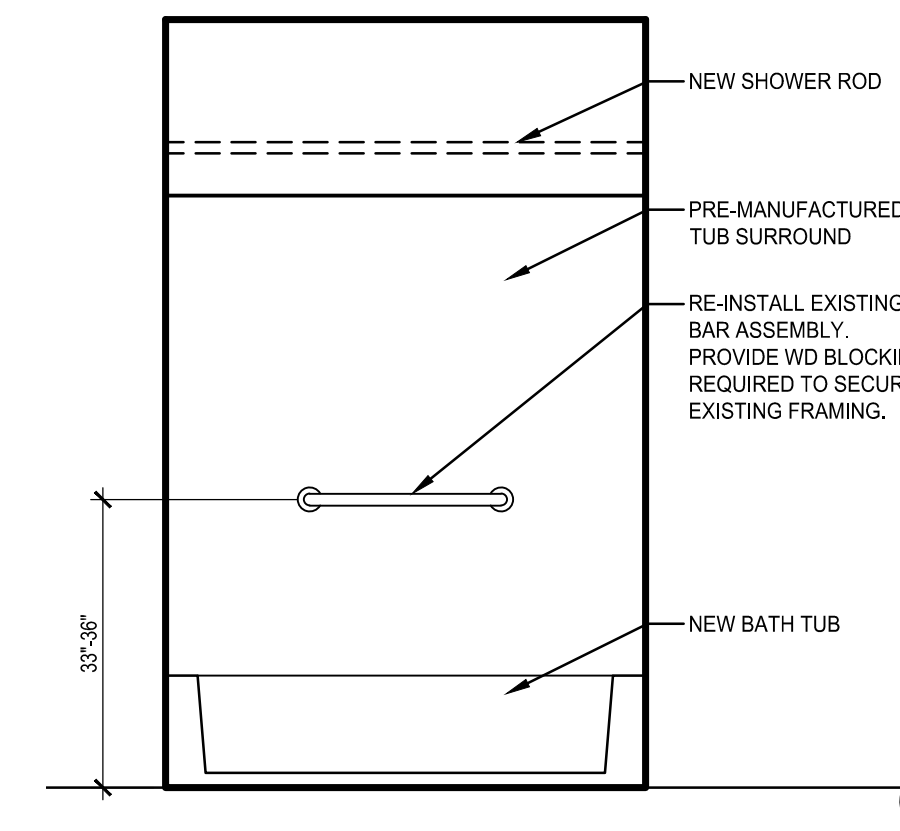
B3 BATH TUB ELEVATION
1/2"=1'-0"



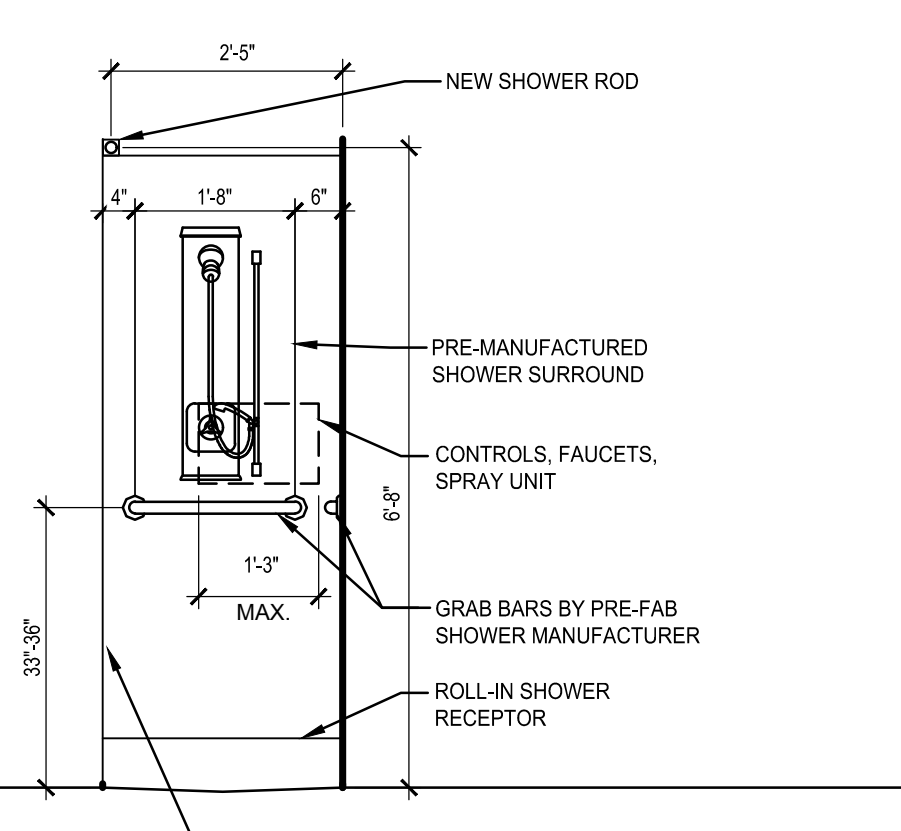
B4 BATH TUB ELEVATION
1/2"=1'-0"



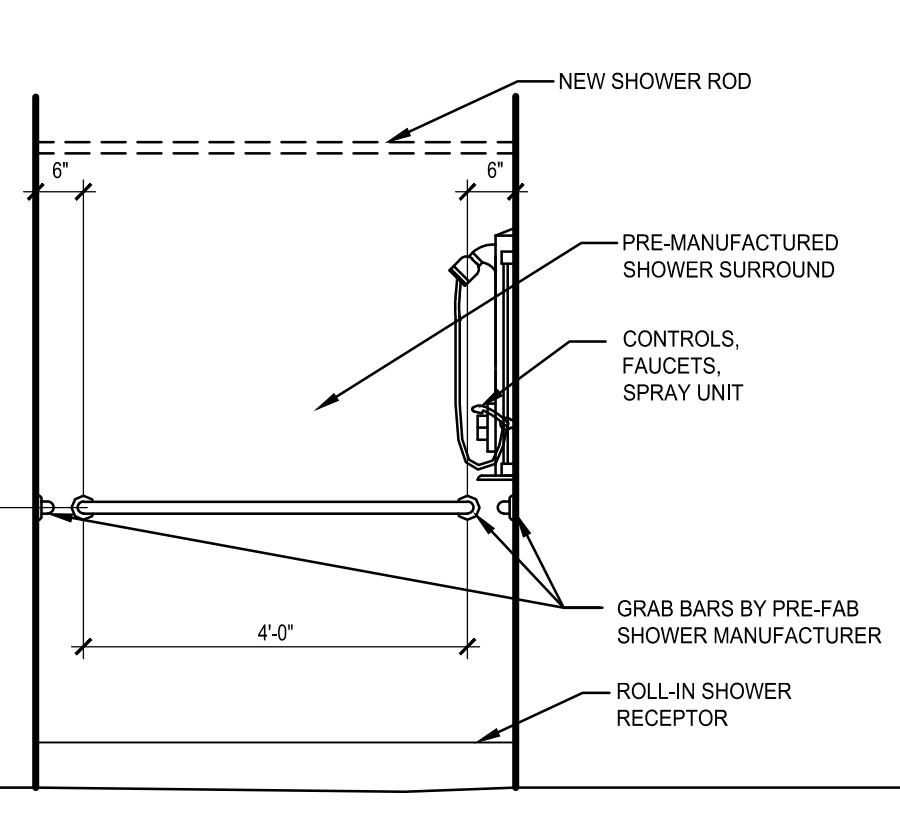
C4 ELEVATION DETAIL-TUB
3/4"=1'-0"



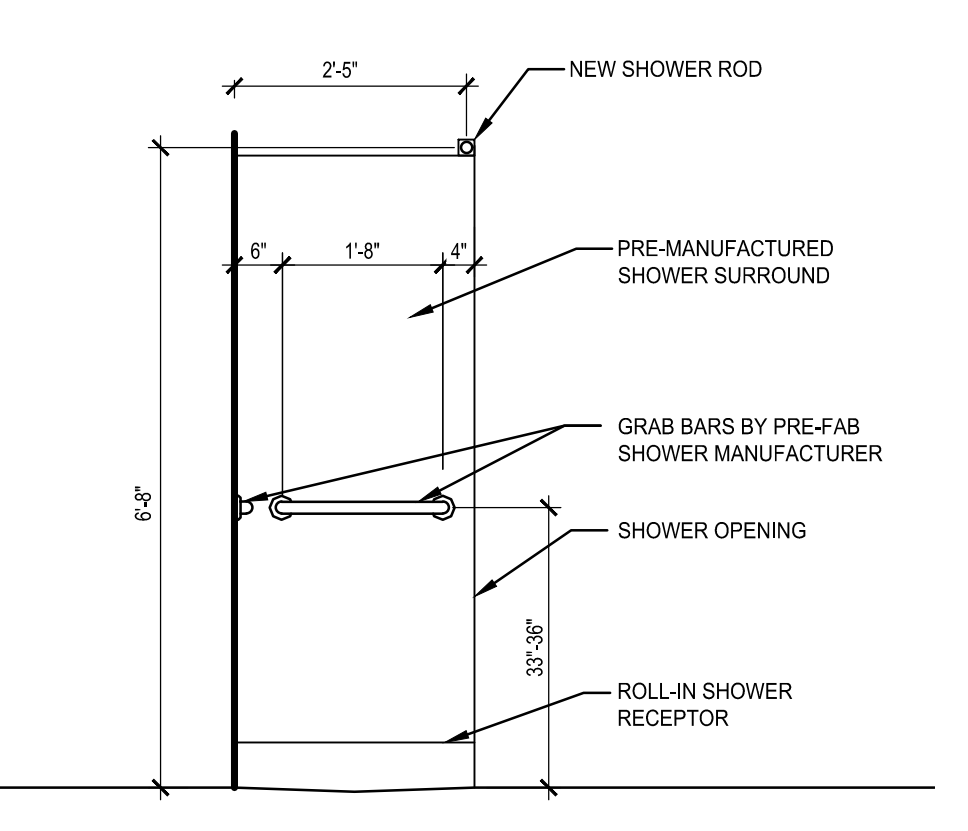
A1 BATH TUB ELEVATION
1/2"=1'-0"



A2 SHOWER ELEVATION
1/2"=1'-0"



A3 SHOWER ELEVATION
1/2"=1'-0"



A4 SHOWER ELEVATION
1/2"=1'-0"

- GENERAL NOTES**
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- SHEET KEYNOTES** ①
- PROVIDE PRIVACY POCKET DOOR LOCK WITH ACCESSIBLE TURNPIECE AND COMPLIANT STRIKE. PROVIDE IN SATIN STAINLESS STEEL FINISH. PROVIDE LINNEA PL-160 PRODUCT OR APPROVED EQUAL BY BALDWIN OR EMTEK.

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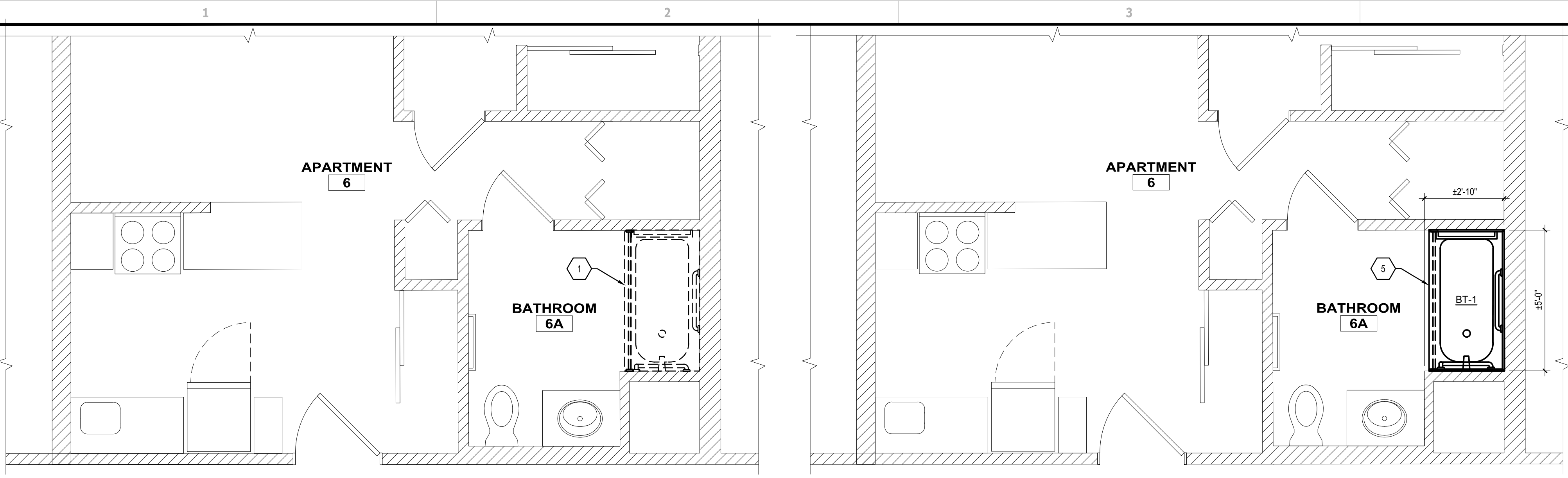
A-501

GENERAL NOTES

- THE GENERAL NOTES LISTED HERE APPLY TO ALL PLUMBING DRAWINGS IN ADDITION TO ANY ADDITIONAL DRAWING NOTES ON THE INDIVIDUAL DRAWINGS.
- SEE PLAN NOTES ON INDIVIDUAL DRAWING SHEETS FOR SPECIFIC INSTRUCTIONAL NOTES.
- FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION.
- THE PLUMBING CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK. THE PLUMBING CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES WHICH OCCURS BY HIS FAILURE TO LOCATE OR PRESERVE THE UNDERGROUND CONDITIONS.
- IF DURING CONSTRUCTION OPERATIONS, THE PLUMBING CONTRACTOR ENCOUNTERS UTILITIES OTHER THAN THOSE LOCATIONS SHOW IN THE PLANS, HE SHALL IMMEDIATELY NOTIFY ENGINEER AND TAKE THE NECESSARY STEPS TO PROTECT THE FACILITY AND ASSURE THE CONTINUANCE OF SERVICE.
- COORDINATE WITH GENERAL TRADES WORK AND OTHER WORK.
- THE PLUMBING DESIGN DRAWINGS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO SHOW EXACT LOCATION OF EQUIPMENT AND PIPING UNLESS DIMENSIONS ARE GIVEN OR OTHERWISE IMPLIED FOR CLEARANCES, ETC. PIPING AND PLUMBING EQUIPMENT ARE TO BE INSTALLED ALONG THE GENERAL PLANS SHOWN ON THE DRAWINGS, BUT KEEPING IN MIND ACTUAL BUILDING CONDITIONS WHICH MUST BE CONFORMED WITHIN THE ACTUAL WORK. CONTRACTORS IN THEIR BIDS ARE REQUIRED TO INCLUDE ALL LABOR AND MATERIALS AND OTHER RELATED WORK NECESSARY TO PROVIDE MINOR OFFSETS IN PLUMBING WORK AS REQUIRED TO AVOID CONFLICT WITH OTHER WORK ON THIS PROJECT OR AS REQUIRED IN ORDER TO OBTAIN MAXIMUM HEAD ROOM OR EQUIPMENT ACCESS IN SPACES.
- THE PLUMBING CONTRACTOR IS TO COORDINATE ALL PIPING WITH OTHER TRADES PRIOR TO ROUTING PIPING AND SHALL MAKE OFFSETS AND ADJUST PIPE ROUTING AS REQUIRED TO HANDLE CONFLICTS IN THE FIELD. THE PLUMBING CONTRACTORS SHALL ALSO BE REQUIRED TO OFFSET VERTICAL SANITARY AND VENT LINES AROUND STRUCTURAL MEMBERS AS REQUIRED AND SHALL INCLUDE IN THEIR BID THE ASSOCIATED COST FOR ADDITIONAL FITTINGS, PIPING, AND MAN HOURS TO ACCOMMODATE CONFLICTS.
- SEE ARCHITECTURAL PLANS FOR EXACT LOCATION AND ELEVATION OF PLUMBING FIXTURES.
- P.C. TO FURNISH WALL FLANGES AROUND ALL PIPING EXPOSED BELOW CEILING AND CASEWORK.
- ACCESS PANELS ARE TO BE FURNISHED BY THE PLUMBING CONTRACTOR AND INSTALLED BY THE GENERAL CONTRACTOR. THE PLUMBING CONTRACTOR IS TO COORDINATE LOCATION AND INSTALLATION OF VALVES, SHOCK STOPS, AND CLEANOUTS ABOVE ACCESS PANEL WITH G.C. TO MINIMIZE SIZE OF PANELS.
- EQUIPMENT CONNECTION ARRANGEMENTS, FLANGES, UNIONS, VALVING, ETC. ARE NOT TYPICALLY SHOWN ON PLAN VIEWS. REFER TO DETAILS FOR REQUIREMENTS. INSTALL ALL VALVES AND OTHER ITEMS REQUIRING OR FACILITATING MAINTENANCE IN ACCESSIBLE LOCATIONS, AND SO AS TO NOT OBSTRUCT MAINTENANCE ON EQUIPMENT SERVED.
- PROVIDE AND INSTALL SHUT-OFF ISOLATION VALVES AT EACH TIE-IN LOCATION.

PLAN KEYNOTES

- REMOVE EXISTING BATHTUB ALONG WITH TUB SURROUND. DISCONNECT EXISTING SANITARY, VENT AND DOMESTIC HOT AND COLD WATER PIPING FOR RECONNECTION UNDER NEW WORK.
- REMOVE EXISTING BATHTUB ALONG WITH TUB SURROUND. DISCONNECT EXISTING SANITARY, VENT AND DOMESTIC HOT AND COLD WATER PIPING. REMOVE ALL VENT, DOMESTIC HOT AND COLD WATER PIPING FROM WET WALL.
- REMOVE EXISTING LAVATORY. DISCONNECT DOMESTIC HOT AND COLD WATER, SANITARY AND VENT PIPING FOR EXTENSION UNDER NEW WORK.
- REMOVE EXISTING WATER CLOSET. DISCONNECT DOMESTIC COLD WATER, SANITARY AND VENT PIPING FOR EXTENSION UNDER NEW WORK. CLEAN AND PROTECT EXISTING WATER CLOSET FOR RE-INSTALLATION UNDER NEW WORK.
- PROVIDE AND INSTALL NEW BATHTUB ALONG WITH NEW TUB SURROUND. EXTEND NEW 2" SANITARY, 1-1/2" VENT AND 1/2" DOMESTIC HOT AND COLD WATER PIPING FROM EXISTING PIPING. PROVIDE NEW SHUT-OFF VALVES. FIELD VERIFY EXACT PIPE LOCATION.
- PROVIDE AND INSTALL NEW BATHTUB ALONG WITH NEW TUB SURROUND. INSTALL WALK-IN CONVERSION KIT INTO NEW BATHTUB PER MANUFACTURER'S RECOMMENDATIONS. EXTEND NEW 2" SANITARY, 1-1/2" VENT AND 1/2" DOMESTIC HOT AND COLD WATER PIPING FROM EXISTING PIPING. PROVIDE NEW SHUT-OFF VALVES. FIELD VERIFY EXACT PIPE LOCATION.
- PROVIDE AND INSTALL NEW ROLL-IN SHOWER BASE ALONG WITH NEW SURROUND. EXTEND NEW 2" SANITARY, 1-1/2" VENT AND 1/2" DOMESTIC HOT AND COLD WATER PIPING FROM EXISTING PIPING THOUGH NEW WET WALL. FIELD VERIFY EXACT PIPE LOCATION.
- PROVIDE AND INSTALL NEW WALL MOUNTED LAVATORY. EXTEND NEW 2" SANITARY, 1-1/2" VENT AND 1/2" DOMESTIC HOT AND COLD WATER PIPING TO NEW LAVATORY. CUT AND PATCH WALL TO MATCH EXISTING AS REQUIRED FOR THE INSTALLATION OF NEW PIPING. FIELD VERIFY EXACT PIPE LOCATION.
- INSTALL EXISTING WATER CLOSET IN THE LOCATION INDICATED PER ACCESSIBLE REQUIREMENTS. EXTEND NEW 4" SANITARY, 2" VENT AND 1/2" DOMESTIC COLD WATER PIPING TO WATER CLOSET. CUT AND PATCH WALL AND FLOOR TO MATCH EXISTING AS REQUIRED FOR THE INSTALLATION OF THE NEW PIPING. FIELD VERIFY EXACT PIPE LOCATION.

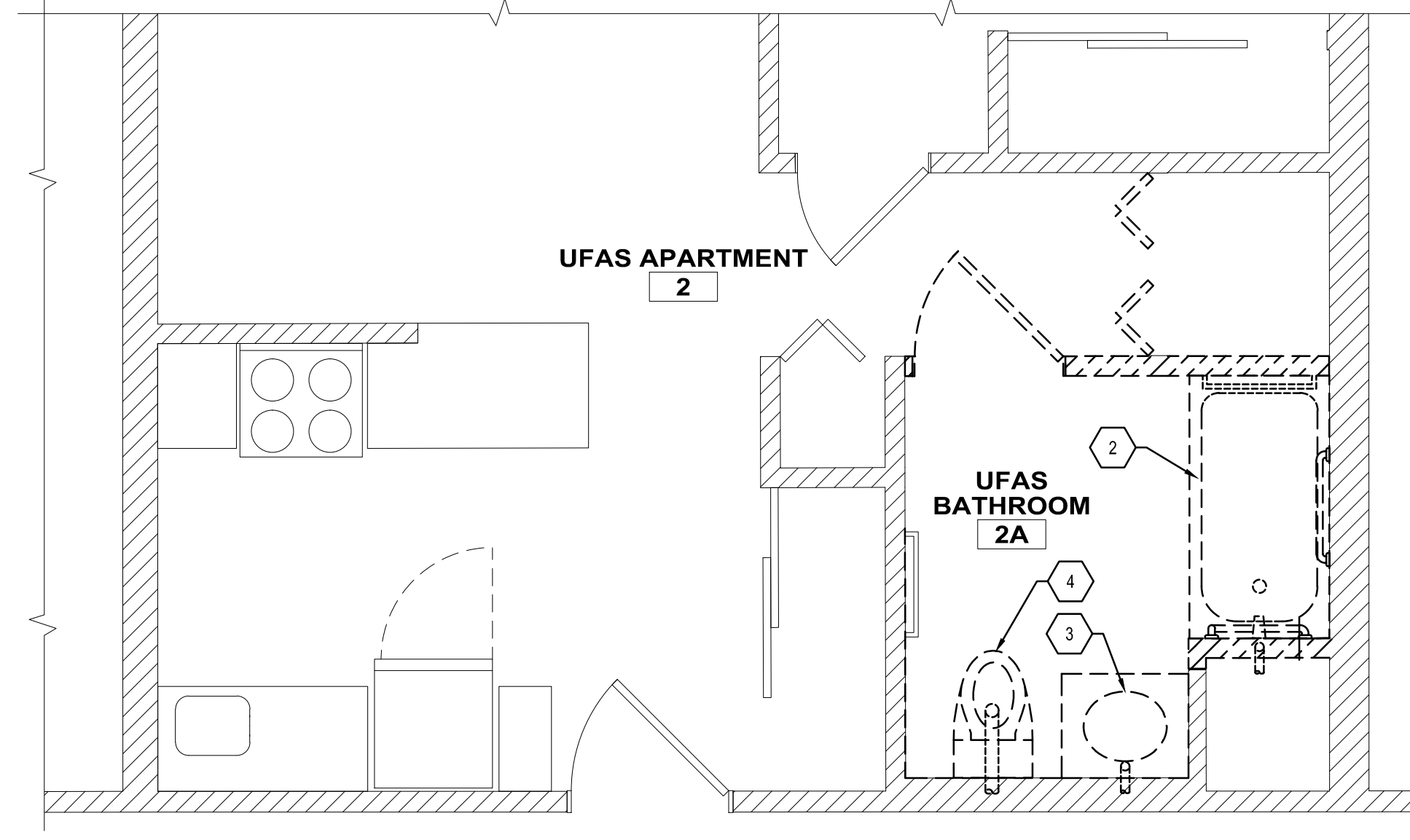


C1 ENLARGED DEMOLITION PLAN -STANDARD APT. TYPE 'A'
 3/8"=1'-0"

APARTMENT 'A' UNITS (APT 6 SHOWN): 29
 APARTMENT 'A-1' UNITS (SIM./MIRRORED): 27
 APARTMENT 'C' UNITS (SIM. TO 'A' UNITS W/ CORNER WINDOWS): 4
 APARTMENT 'C-1' UNITS (SIM. TO 'A'/MIRRORED W/ CORNER WINDOWS): 3

C3 ENLARGED FLOOR PLAN -STANDARD APT. TYPE 'A'
 3/8"=1'-0"

APARTMENT 'A' UNITS (APT 6 SHOWN): 29
 APARTMENT 'A-1' UNITS (SIM./MIRRORED): 27
 APARTMENT 'C' UNITS (SIM. TO 'A' UNITS W/ CORNER WINDOWS): 4
 APARTMENT 'C-1' UNITS (SIM. TO 'A'/MIRRORED W/ CORNER WINDOWS): 3

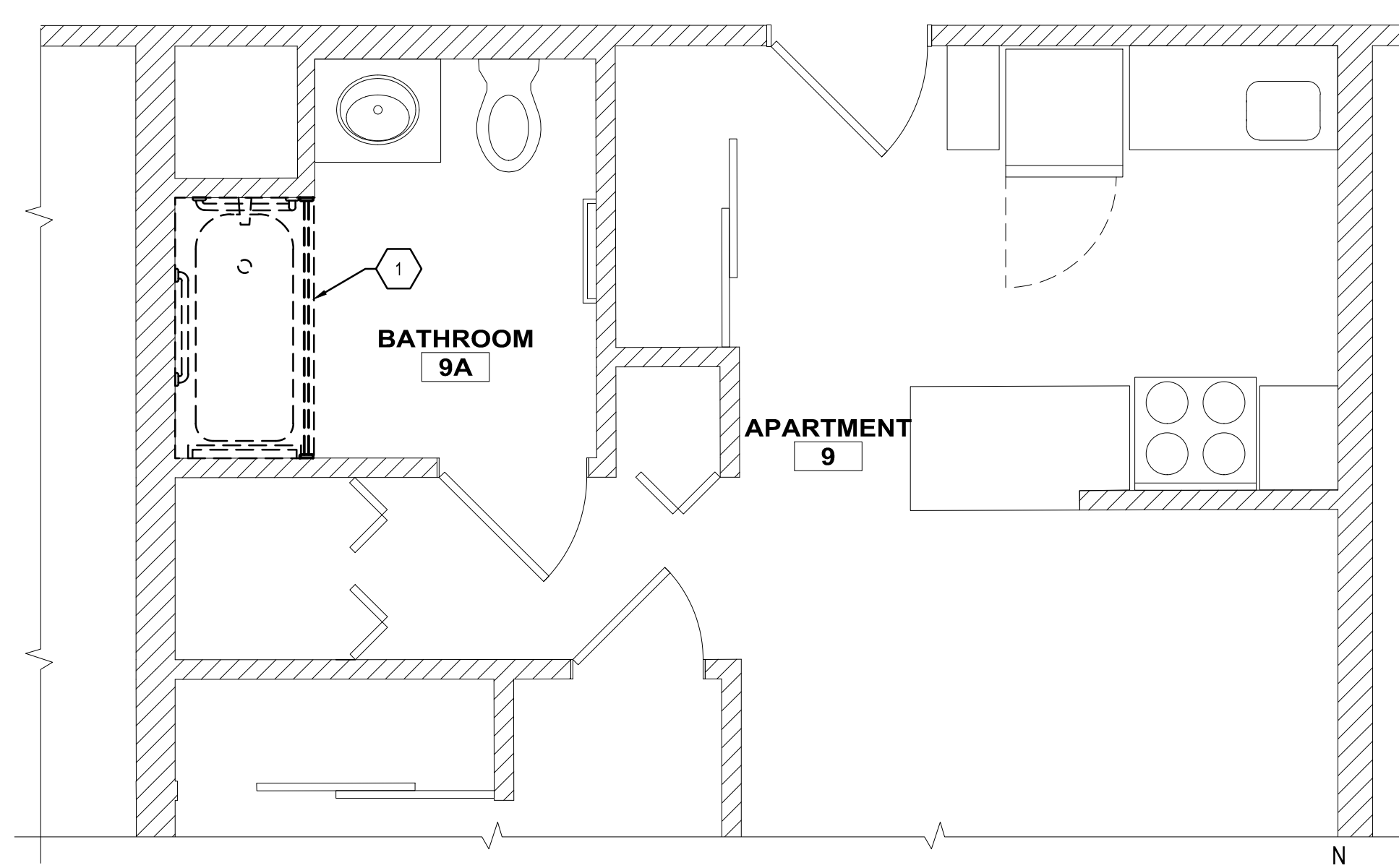


B1 ENLARGED DEMOLITION PLAN -ACCESSIBLE APT. TYPE 'B'
 3/8"=1'-0"

UFAS APARTMENT 'B' UNITS (APT 2 SHOWN): 4
 UFAS APARTMENT 'B-1' UNITS (SIM./MIRRORED): 4

B3 ENLARGED FLOOR PLAN -ACCESSIBLE APT. TYPE 'B'
 3/8"=1'-0"

UFAS APARTMENT 'B' UNITS (APT 2 SHOWN): 4
 UFAS APARTMENT 'B-1' UNITS (SIM./MIRRORED): 4



A1 ENLARGED DEMOLITION PLAN -ADAPTABLE ACCESSIBLE APT. TYPE 'AB'
 3/8"=1'-0"

APARTMENT 'AB' UNITS (APT 9 SHOWN): 3
 APARTMENT 'AB-1' UNITS (SIM./MIRRORED): 1

A3 ENLARGED FLOOR PLAN -ADAPTABLE ACCESSIBLE APT. TYPE 'AB'
 3/8"=1'-0"

PLUMBING FIXTURE SCHEDULE							
SYMBOL	MFG.	MODEL	DESCRIPTION	CONNECTIONS			
				CW	HW	WASTE	VENT
SH-1	AQUATIC	16030BFSC	60"x30"x7" WHITE MOLDED ADA ROLL-IN SHOWER BASE WITH SLIP RESISTANT SURFACE WITH WHITE FIBERGLASS 3-PIECE SHOWER SURROUND. CONTRACTOR TO FIELD VERIFY DIMENSIONS OF BATHROOM FOR VERIFICATION OF SURROUND SIZE. PROVIDE WITH PRESSURE-BALANCING MIXING VALVE AND MOEN MODEL # 8342EP15 TUB/SHOWER FIXTURE WITH SINGLE HANDLE, SHOWER VALVE AND HAND-HELD SHOWER, 1.5 GPM MAX FLOW SHOWER HEAD.	1/2"	1/2"	2"	1-1/2"
BT-1	AQUATIC	6030CT	60"x30"x15" WHITE MOLDED BATH TUB WITH SLIP RESISTANT SURFACE AND CONTOURED FRONT APRON. VERIFY LEFT/RIGHT HAND DRAIN. PROVIDE STERLING ACCORD MODEL # 71144100, 60"x30"x76.75" WHITE FIBERGLASS 3-PIECE TUB/SHOWER SURROUND. CONTRACTOR TO FIELD VERIFY DIMENSIONS OF BATHROOM FOR VERIFICATION OF SURROUND SIZE. PROVIDE WITH PRESSURE-BALANCING MIXING VALVE AND MOEN MODEL # 8342EP15 TUB/SHOWER FIXTURE WITH SINGLE HANDLE, TUB SPOUT, 1.5 GPM MAX FLOW SHOWER HEAD AND HAND SHOWER.	1/2"	1/2"	2"	1-1/2"
BT-2	AQUATIC W/ SAFE STEP	6030CT	60"x30"x15" WHITE MOLDED BATH TUB WITH SLIP RESISTANT SURFACE, CONTOURED FRONT APRON AND SAFE STEP WALK IN CONVERSION KIT. VERIFY LEFT/RIGHT HAND DRAIN. PROVIDE STERLING ACCORD MODEL # 71144100, 60"x30"x76.75" WHITE FIBERGLASS 3-PIECE TUB/SHOWER SURROUND. CONTRACTOR TO FIELD VERIFY DIMENSIONS OF BATHROOM FOR VERIFICATION OF SURROUND SIZE. PROVIDE WITH PRESSURE-BALANCING MIXING VALVE AND MOEN MODEL # 8342EP15 TUB/SHOWER FIXTURE WITH SINGLE HANDLE, TUB SPOUT, 1.5 GPM MAX FLOW SHOWER HEAD AND HAND SHOWER.	1/2"	1/2"	2"	1-1/2"
LAV-1	AMERICAN STANDARD	0124.131	"COMRADE" WALL HUNG VITREOUS CHINA LAVATORY, 20"x18" WITH FRONT OVERFLOW, "MONTERREY" CENTERSET LEVER HANDLES ADA COMPLIANT FAUCET MODEL 5502.140 WITH FLOW RESTRICTOR AND GRID DRAIN. MOUNT TO BE ACCESSIBLE COMPLIANT. PROVIDE WITH OFFSET DRAIN, INSULATION KIT, AND CONCEALED ARM CARRIER. PROVIDE CHROME FINISH ASSE 1070 LISTED UNDER-SINK THERMOSTATIC MIXING VALVE SET AT 105°F.	1/2"	1/2"	2"	1-1/2"

REV.	DATE	DESCRIPTION
1	12/21/2018	ISSUED FOR BID

MURRAY MANOR BATHROOM RENOVATIONS
 GEauga METROPOLITAN HOUSING AUTHORITY
 385 CENTER ST., CHARDON, OH 44042

ISSUED FOR:	PERMIT	-
BID	12/21/2018	-
CONSTRUCTION	-	-
RECORD	-	-
PROJECT MANAGER	DESIGNER	
RD	KJC	

JOB NO.
2018359.01

P-101

ELECTRICAL SYMBOLS

- HOMERUN ROUTED CONCEALED IN FINISHED AREAS AND ROUTED EXPOSED IN UNFINISHED AREAS. DESIGNATION INDICATES HOMERUN TO PANEL "A" INDICATING CIRCUIT NUMBER(S) - ALL WIRINGS SHALL BE #12 WITH GROUND WIRE UON (INCREASE TO #10 FOR CIRCUITS OVER 75 FT.) - ALL HOMERUNS SHALL BE CONNECTED TO A 20 AMPERE, 1 POLE CIRCUIT BREAKER UON - QUANTITY OF CONDUCTORS AS NECESSARY TO ACCOMMODATE CIRCUITS AND CONTROL INDICATED.
- BRANCH CIRCUIT WIRING ON NORMAL POWER ROUTED CONCEALED IN FINISHED AREAS AND ROUTED EXPOSED IN UNFINISHED AREAS. PROVIDE WIRING AS NOTED FOR HOMERUN SYMBOL ABOVE. TYPE NB UL LISTED CABLE.
- CONDUIT INSTALLED BFG OR ROUTED BELOW FINISHED FLOOR UON. PROVIDE WIRING AS NOTED FOR HOMERUN SYMBOL ABOVE. TYPE NF UL LISTED CABLE.
- SWITCH - 20 AMPERE, 120/277 VOLT, SINGLE POLE - MTD AT 46" AFF TO CENTERLINE OF DEVICE (44" TO BOTTOM) UON. SUBSCRIPTS INDICATE THE FOLLOWING 3-3-WAY; 4-4-WAY; K=KEY OPERATED; P=PILOT LIGHT, T=TIMER, LV=LOW VOLTAGE, MOMENTARY SWITCH
- DUPLEX RECEPTACLE - 20 AMPERE, 125 VOLT, GROUNDING TYPE - MOUNTED AT 18" AFF TO CENTERLINE OF DEVICE UON.
- DUPLEX RECEPTACLE - 20 AMPERE, 125 VOLT - GROUND FAULT CIRCUIT INTERRUPTER TYPE - MOUNTED AT 18" AFF TO CENTERLINE OF DEVICE UON.
- JUNCTION BOX - MOUNTING HEIGHT AND SIZE AS REQUIRED BY CODE OR AS NOTED ON DRAWINGS.

ABBREVIATIONS:

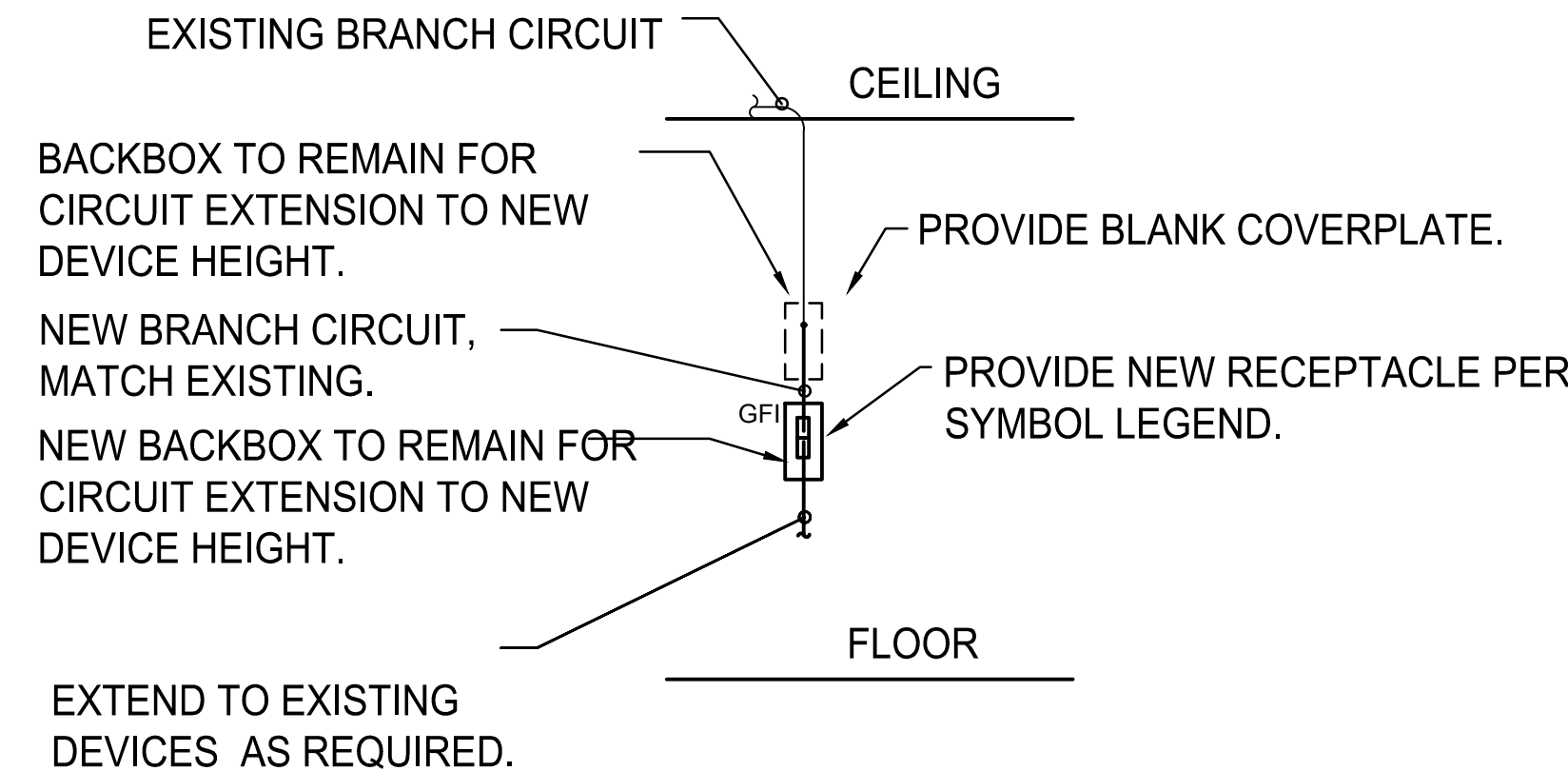
- AC SUBSCRIPT "AC" INDICATES DEVICE MOUNTED AT 8" ABOVE COUNTER TO CENTERLINE OF DEVICE
- AFF ABOVE FINISHED FLOOR
- BC SUBSCRIPT "BC" INDICATES DEVICE MOUNTED BELOW COUNTER AS DIRECTED
- BFC BELOW FINISHED CEILING
- BKR (CIRCUIT) BREAKER
- CLG DEVICE MOUNTED IN CEILING
- CKT CIRCUIT
- EC ELECTRICAL CONTRACTOR
- X EXISTING DEVICE TO REMAIN
- FLR FLOOR
- GC GENERAL CONTRACTOR
- GFCI/GFI GROUND FAULT CIRCUIT INTERRUPTER
- GND GROUND
- HVAC HEATING, VENTILATION, AND AIR CONDITIONING
- MC MECHANICAL CONTRACTOR
- NEC NATIONAL ELECTRICAL CODE
- PC PLUMBING CONTRACTOR
- RL SUBSCRIPT "RL" INDICATES RELOCATED DEVICE
- UC UNDER COUNTER
- UON UNLESS OTHERWISE NOTED

UFAS NOTES

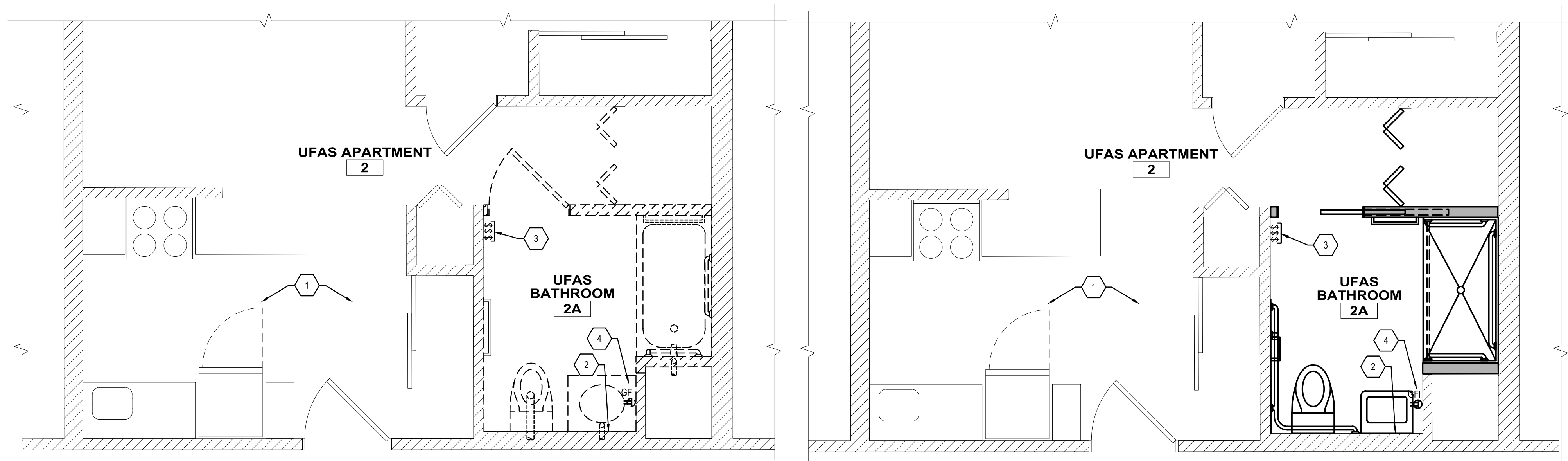
- a. UNITS SHALL BECOME A UFAS UNIT. RECEPTACLES TO BE LOWERED TO BECOME UFAS MOUNTING HEIGHT COMPLIANT. FIELD VERIFY THE MANNER THE DEVICE IS FED (TOP OR BOTTOM). TOP FED DEVICES WILL NEED TO HAVE CIRCUITING EXTENDED TO LOWER DEVICE HEIGHT. PROVIDE BLANK COVER OVER VACATED BOX AND PROVIDE NEW BOX, EXTEND WIRING TO NEW DEVICE HEIGHT.

GENERAL NOTES

- A. PHASING - SEE PROJECT MANUAL FOR SPECIFIC PHASING INSTRUCTIONS. COORDINATE SHUT-DOWN OF ANY UTILITY IN ADVANCE WITH THE OWNER.
- B. THE PHRASE "PROVIDED BY" USED WITHIN THESE DOCUMENTS SHALL EXPLICITLY REPRESENT "FURNISHED AND INSTALLED BY".
- C. DRAWINGS ARE DIAGRAMATIC AND INDICATE GENERAL ARRANGEMENT ONLY. COORDINATE INSTALLATION WITH OTHER TRADES TO VERIFY THE ACTUAL SPACE CONDITIONS, HEADROOM, ETC. THAT IS TO BE MAINTAINED. NO ADDITIONAL PAYMENT WILL BE APPROVED FOR FAILURE TO COMPLY.
- D. THE E.C. SHALL VISIT AND EXAMINE CAREFULLY THE AREAS AFFECTED BY THIS WORK TO BECOME FAMILIAR WITH EXISTING CONDITIONS AND WITH THE DIFFICULTIES THAT WILL AFFECT THE EXECUTION OF THIS WORK. NO ADDITIONAL PAYMENTS WILL BE APPROVED REGARDING ADDITIONAL WORK REQUIRED BECAUSE OF EXISTING CONDITIONS. SUBMITTAL OF A BID WILL ACKNOWLEDGE THE ACCEPTANCE OF THIS RESPONSIBILITY.
- E. CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE IF CONFLICTS EXIST WITH THE PROPOSED IMPROVEMENTS. CONTRACTOR SHALL NOTIFY THE OWNER IN ORDER TO RESOLVE ANY CONFLICTS.
- F. ALL ELECTRICAL DEMOLITION WORK, INCLUDING MATERIAL REMOVED FROM THE SITE, SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR.
- G. BEFORE PROCEEDING WITH THE DEMOLITION WORK, THE CONTRACTOR SHALL OBTAIN FROM THE BUILDING OWNER A LIST OF ANY REMOVED ITEMS TO BE SALVAGED. ALL OTHER REMOVED MATERIALS AND EQUIPMENT SHALL BE PROPERLY DISCARDED OFF THE PREMISES.
- H. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING PROPERTY RESULTING FROM THE CONSTRUCTION ACTIVITIES.
- I. EXISTING ELECTRICAL CONDUIT, WIRING, ETC. DAMAGED DURING RENOVATION SHALL BE REPLACED TO MATCH EXISTING.
- J. DEVICES REMOVED DURING DEMOLITION SHALL HAVE ALL ASSOCIATED WIRING, REMOVED BACK TO SOURCE OR NEXT DEVICE THAT REMAINS.
- K. REFEED ANY ELECTRICAL DEVICE OR ITEM THAT IS EXISTING TO REMAIN WHOSE WIRING IS INTERRUPTED DUE TO WORK IN ADJACENT AREA.
- L. ANY ELECTRICAL DEVICE THAT IS TO REMAIN THAT IS LOCATED ON OR IN A WALL OR CEILING BEING REMOVED SHALL BE RELOCATED AS DIRECTED BY G.C. IN FIELD AND RECONNECTED AS REQUIRED.
- M. CUT AND PATCH WALL TO MATCH FOR INSTALLATION OF NEW DEVICES IN EXISTING WALL.
- N. NEUTRAL CONDUCTORS SHALL NOT BE PERMITTED TO BE SHARED BETWEEN SEPARATE BRANCH CIRCUITS. LOCKING CLIP BETWEEN ADJACENT CIRCUIT BREAKERS WITHIN LOADCENTER SHALL NOT CONSTITUTE COMPLIANCE WITH THIS REQUIREMENT.
- O. ALL RECEPTACLE REPLACEMENTS SHALL COMPLY WITH NEC 406.4(D).
- P. ALL WIRING DEVICES SHALL MATCH EXISTING AND ALL COVERPLATES MATCHING CONFIGURATIONS AND COLOR MADE OF NYLON OR SIMILAR UNBREAKABLE MATERIAL.
- Q. ALL BRANCH CIRCUITS SHALL BE PROVIDED WITH A SEPARATE NEUTRAL CONDUCTOR. NEUTRALS SHALL NOT BE SHARED PER 2008 NEC 210.4 (B).
- R. ALL CONDUIT PENETRATIONS THROUGH FIRE RATED WALLS, FLOORS, OR SHAFTS SHALL BE SEALED IN ACCORDANCE WITH SPECIFICATIONS.
- S. WHERE STRUCTURAL OPENINGS ARE NOT AVAILABLE, THE E.C. SHALL CORE DRILL OR CUT AND CHASE WALLS AND FLOORS AS REQUIRED TO PERMIT PASSAGE OF CONDUITS AND RACEWAYS. AT COMPLETION OF INSTALLATIONS, E.C. SHALL FILL IN AND WATERPROOF OR FIREPROOF, TO RATING OF STRUCTURE PENETRATED. FILL ALL OPENINGS WITH MATERIALS AS DIRECTED BY THE ARCHITECT AND FINISH TO MATCH SURROUNDING AREAS. ALL OPENINGS REQUIRED SHALL BE APPROVED BY THE ARCHITECT PRIOR TO DEMOLITION OR CORE DRILLING.
- T. SITE VISIT - CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING HIS WORK. NO EXTRAS WILL BE PERMITTED FOR LACK OF KNOWLEDGE OF EXISTING CONDITIONS. QUANTITIES OF MATERIALS SHALL BE PER CONTRACTOR'S MEASUREMENTS.
- U. CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE, EXPOSE, AND DETERMINE IF CONFLICTS EXIST WITH THE PROPOSED IMPROVEMENTS. CONTRACTOR SHALL NOTIFY THE OWNER IN ORDER TO RESOLVE ANY CONFLICTS. EXISTING ELECTRICAL CONDUIT, WIRING, ETC. DAMAGED DURING RENOVATION SHALL BE REPLACED IN LIKE KIND AND CHARACTER, AND AT THE EXISTING UTILITY LINES, DRAIN OR FIELD TILE DAMAGED SHALL BE REPAIRED OR REPLACED, AS NEEDED, IN LIKE KIND AND CHARACTER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING CONDUITS, CONTROL WIRING, ETC., WHETHER SHOWN HEREON OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES FOR REPAIR OR REPLACEMENT OF PROPERTY DAMAGED IN CONJUNCTION WITH THE EXECUTION OF WORK.
- V. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY CONFLICTS OR DISCREPANCIES IN THE CONTRACT DOCUMENTS OR FIELD CONDITIONS PRIOR TO EXECUTING THE WORK IN QUESTION. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER IF DETAILS ARE CONSIDERED UNSOUND, UNSAFE, NOT WATERPROOF, OR NOT WITHIN CUSTOMARY TRADE PRACTICE. IF WORK IS PERFORMED, IT WILL BE ASSUMED THAT THERE IS NO OBJECTION TO THE DETAIL. DETAILS ARE INTENDED TO SHOW THE END RESULT OF THE DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB CONDITIONS, AND SHALL BE INCLUDED AS PART OF THE WORK.



C3 RECEPTACLE ELEVATION
1/2"=1'-0"

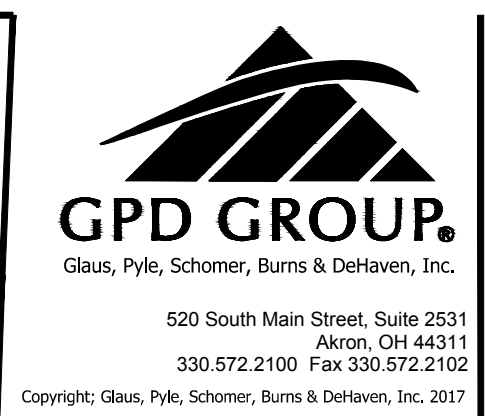


B1 ENLARGED DEMOLITION PLAN -ACCESSIBLE APT. TYPE 'B'
3/8"=1'-0"
APARTMENT 'B' UNITS (APT 2 SHOWN): 4
APARTMENT 'B-1' UNITS (SIM/MIRRORED): 4

B3 ENLARGED FLOOR PLAN -ACCESSIBLE APT. TYPE 'B'
3/8"=1'-0"
APARTMENT 'B' UNITS (APT 2 SHOWN): 4
APARTMENT 'B-1' UNITS (SIM/MIRRORED): 4

PLAN KEYNOTES

- 1. ALL ELECTRICAL DEVICES TO REMAIN UNLESS NOTED OTHERWISE.
- 2. VANITY LIGHTING TO REMAIN.
- 3. LIGHT SWITCHES TO REMAIN.
- 4. RECEPTACLE TO BE LOWERED TO COMPLY WITH UFAS MOUNTING HEIGHT. FIELD VERIFY THE MANNER THE DEVICE IS FED (TOP OR BOTTOM). TOP FED DEVICES WILL NEED TO HAVE CIRCUITING EXTENDED TO LOWER DEVICE HEIGHT. PROVIDE BLANK COVER OVER VACATED BOX AND PROVIDE NEW BOX, EXTEND WIRING TO NEW DEVICE HEIGHT.



REV.	DATE	DESCRIPTION
1	12/21/2018	ISSUED FOR BID

MURRAY MANOR BATHROOM RENOVATIONS
GEAUGA METROPOLITAN HOUSING AUTHORITY
385 CENTER ST., CHARDON, OH 44042

ISSUED FOR:	PERMIT	-
BID	12/21/2018	-
CONSTRUCTION	-	-
RECORD	-	-
PROJECT MANAGER	DESIGNER	
RD	KJC	

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