



## MEMORANDUM

**TO:** All Interested Contractors

**DATE:** March 8, 2019

**RE:** Request for Quotes—Vinyl Plank Flooring Installation at Rainbow Village Apartments

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The Pinellas County Housing Authority (PCHA) is accepting quotes from licensed and qualified contractors to perform flooring installation requirements as further described in the attached scope of work dated February 14, 2019 at Rainbow Village Apartments, with its management office located at 12301 134<sup>th</sup> Avenue, Largo, Florida 33774.

### **SCOPE OF WORK**

Flooring installation requirements as further described in the Scope of Work dated February 14, 2019 located in Attachment #1.

### **PRE BID CONFERENCE**

**A Pre-Bid Conference will be held on Wednesday, March 13, 2019 at 11:00 a.m. in unit #261 at Rainbow Village Apartments located at 13421 Adams Circle, Largo, Florida 33774. While not mandatory, it is strongly recommended that all interested bidders attend.**

**THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS.**

This solicitation is for the installation of up to 20,000 square feet of vinyl plank flooring. Work is to be scheduled within forty-eight (48) hours of notice from Rainbow Village. Once work commences, all items listed in the scope of work shall be completed within five (5) business days.

**The following items are applicable:**

1. HUD 5370-EZ-General Contract Conditions for Small Construction/ Development Contracts (Attachment #2)
2. Section 3 Requirements (Attachment #3)

3. Certified payrolls required weekly in accordance with Davis Bacon Wage Decision FL190081 Modified 01/04/2019 (Attachment #4)
4. Rainbow Village Floor Plans (Attachment #5)
5. 2 CFR 200.326 and Appendix II to Part 200-Contract Provisions for Non-Federal Entity Contracts Under Federal Awards (Attachment #6)
6. Current Certificate of Liability Insurance (please provide with your quote)

**Please submit all questions regarding the scope of work to [dleishman@pinellashousing.com](mailto:dleishman@pinellashousing.com) no later than Friday, March 15, 2019 at 5:00 p.m. All questions will be answered in writing and distributed to all prospective bidders by 5:00 p.m. on the following business day.**

### **DUE DATE OF QUOTATIONS**

**Bids are due by 12:00 p.m. on Friday, March 22, 2019, and may be emailed, faxed, or delivered to the address listed below or submitted through the Housing Agency Marketplace website.**

Pinellas County Housing Authority  
Attn: Danielle Leishman, Contract Administrator  
11479 Ulmerton Road  
Largo, FL 33778  
Phone: (727) 443-7684 ext. 3025  
Fax: (727) 489-0799  
Email: [dleishman@pinellashousing.com](mailto:dleishman@pinellashousing.com)

# ATTACHMENT #1



**RAINBOW VILLAGE APARTMENTS  
VINYL PLANK FLOORING INSTALLATION  
SCOPE OF WORK**

**12301-134<sup>th</sup> Avenue  
Largo, FL 33774**

1. **Floor Installation:** The contractor will be responsible for preparation of the existing floor prior to installing the planking. New vinyl plank flooring shall be installed throughout the entire unit with the exception of the stairs. New flooring material is to be installed up to existing base cove/trim. Use white caulk at seams to seal any exposed gaps.

Chart below reflects the bedroom size and square footage:

<b>Bedroom Size</b>	<b>Square Foot</b>
One Bedroom	679
Two Bedroom	812
Three Bedroom	986
Four Bedroom (1-story)	1,331
Four Bedroom (2-story)*	1,455
Five Bedroom (1-story)	1,660
Five Bedroom (2-story)*	1,397

\*stairs are excluded from the scope of work

Contractor to provide line item cost per square foot to install plank flooring, inclusive of standard preparation and all necessary materials and equipment.

Contractor to provide separate line item cost for additional prep work necessary to repair damaged, defective, or missing tiles, per square foot.

Contractor to provide separate line item charge for occupied unit – move furniture and personal belongings.

Maintenance will remove existing stove and refrigerator prior to job commencement. If doors are found to be too long, contractor is to remove doors. Maintenance will shave down bottom of doors to fit with new flooring and reinstall.

2. **Materials:** Contractor shall supply all necessary materials and equipment, i.e. floating materials, adhesive and planking. The contractor will be installing Mohawk Rexford Sequoia – RP811-851, or approved equal, over existing VCT flooring.
3. **Damages to surrounding areas:** Contractor shall repair and/or replace any surrounding areas damaged while performing the scope of work (SOW).



4. **Cleaning:** Contractor shall leave all work areas clean at the end of each day. All construction debris shall be hauled off and disposed of offsite. Contractor shall perform a final cleaning of entire unit upon completion of the project.
5. **Field Verification:** Contractor to field-verify all existing conditions before submitting the bid. Changes in the contract's sum and contract time will not be allowed for the contractor's failure to investigate all existing field conditions. Contractor shall notify owner/representative immediately if there is a discrepancy with any field conditions and/or product submittals/installation on the SOW.
6. **Fees and other related costs:** All permit fees and associated costs shall be included in contractor's proposal, if applicable.
7. **Approved Equal:** All products specs may be substituted with an "Approved Equal". For consideration, all proposed "Approved Equal" product submittals must be included with bid proposal. Contractors shall use no products or materials with asbestos-containing materials (ACM).
8. **Job duration:** Job to be completed within five (5) business days from the Notice to Proceed or receipt of building permit, if applicable, whichever is the latter.
9. **Liquidated damages:** Shall be assessed at \$100.00 per day.
10. **Warranty:** One year warranty on labor and manufacturer's warranty on materials.
11. Contractor to provide PCHA with one box of flooring per unit upon completion.

## **GENERAL NOTES**

1. The contractor shall visit the facility and become thoroughly familiar with the existing conditions and scope of work prior to bidding. It is the responsibility of the contractor and each of his subcontractors to review the entire scope of work to assure coordination of all work affecting each trade. Failure to review all contract documents for applicable items of work shall not relieve the responsible party from performing all work required.
2. Existing conditions – all dimensions for existing conditions are to be verified in field (VIF) by the contractor. The contractor shall verify all existing conditions on the job site and notify the owner of deviations from the scope of work prior to the flooring installation. Any discrepancies in dimensions or special modifications required due to field conditions shall be reported in writing to the owner for clarification, approval, or modification prior to commencement of work involved. The responsibility for any changes made in field without prior notifications to the owner, shall rest with the contractor or any person approving such change.



3. Site usage – use of the site for any construction staging or other operations shall be coordinated with PCHA. Take care not to block or adversely affect any public or adjacent owner areas, or other areas not within the construction limits.
4. Exit access – maintain free, safe, and approved means of egress in and out of project location and any occupied building(s) in accordance with requirements of applicable regulatory agencies.
5. All work shall be performed in a first class, workmanlike manner matching and aligning all surfaces, where applicable, to afford a finished and clean appearance. The contractor shall clean all surfaces and remove all dirt and refuse caused by debris from installation techniques of each trade. Adjacent existing surfaces shall be left as they appeared prior to the commencement of work under this contract.
6. The contractor shall repair and restore to original all new work and existing improvements that may have been damaged as a result of work included in this contract.

### **Cleaning:**

- **During construction:** remove waste materials, rubbish, and debris daily from the site and legally dispose of it at public or private dumping areas, off the job site.
- **Final cleanup:** in addition to the general broom cleaning, do the following final cleaning at completion of work (for all trades) using only cleaning material recommended by manufacturer of surface to be cleaned and only on surfaces recommended by cleaning material manufacturer.
- Contractor shall be responsible for maintaining conditions at the job site so as to meet the requirements of the Occupational Safety and Health Act (OSHA), during the entire construction period. This provision shall cover the contractor's employees and all other persons working upon or visiting the site. The contractor shall advise and inform his employees, subcontractors, and suppliers of all OSHA requirements.

# ATTACHMENT #2

# General Contract Conditions for Small Construction/Development Contracts

U.S. Department of Housing and Urban Development  
Office of Public and Indian Housing  
OMB Approval No. 2577-0157 (exp. 3/31/2020)

**Applicability.** The following contract clauses are applicable and must be inserted into small construction/development contracts greater than \$2,000 but not more than \$150,000.

## 1. Definitions

Terms used in this form are the same as defined in form HUD-5370

## 2. Prohibition Against Liens

The Contractor is prohibited from placing a lien on the PHA's property. This prohibition shall apply to all subcontractors at any tier and all materials suppliers. The only liens on the PHA's property shall be the Declaration of Trust or other liens approved by HUD.

## 3. Disputes

- (a) Except for disputes arising under the **Labor Standards** clauses, all disputes arising under or relating to this contract, including any claims for damages for the alleged breach thereof which are not disposed of by agreement, shall be resolved under this clause.
- (b) All claims by the Contractor shall be made in writing and submitted to the Contracting Officer for a written decision. A claim by the PHA against the Contractor shall be subject to a written decision by the Contracting Officer.
- (c) The Contracting Officer shall, within 30 days after receipt of the request, decide the claim or notify the Contractor of the date by which the decision will be made.
- (d) The Contracting Officer's decision shall be final unless the Contractor (1) appeals in writing to a higher level in the PHA in accordance with the PHA's policy and procedures, (2) refers the appeal to an independent mediator or arbitrator, or (3) files suit in a court of competent jurisdiction. Such appeal must be made within 30 days after receipt of the Contracting Officer's decision.
- (e) The Contractor shall proceed diligently with performance of this contract, pending final resolution of any request for relief, claim, appeal, or action arising under or relating to the contract, and comply with any decision of the Contracting Officer.

## 4. Default

- (a) If the Contractor refuses or fails to prosecute the work, or any separable part thereof, with the diligence that will insure its completion within the time specified in this contract, or any extension thereof, or fails to complete said work within this time, the Contracting Officer may, by written notice to the Contractor, terminate the right to proceed with the work (or separable part of the work) that has been delayed. In the event, the PHA may take over the work and complete it by contract or otherwise, and may take possession of and use any materials, equipment, and plant on the work site necessary for completing the work. The Contractor and its sureties shall be liable for any damage to the PHA resulting from the Contractor's refusal or failure to complete the work within the specified time, whether or not the Contractor's right to proceed with the work is terminated. This liability includes any increased costs incurred by the PHA in completing the work.

- (b) The Contractor's right to proceed shall not be terminated or the Contractor charged with damages under this clause if –
  - (1) The delay in completing the work arises from unforeseeable causes beyond the control and without the fault or negligence of the Contractor; and
  - (2) The Contractor, within 10 days from the beginning of such delay notifies the Contracting Officer in writing of the causes of delay. The Contracting Officer shall ascertain the facts and the extent of the delay. If, in the judgment of the Contracting Officer, the findings of Fact warrant such action, time for completing the work shall be extended by written modification to the contract. The findings of the Contracting Officer shall be reduced to a written decision which shall be subject to the provisions of the **Disputes** clause of this contract.
- (c) If, after termination of the Contractor's right to proceed, it is determined that the Contractor was not in default, or that the delay was excusable, the rights and obligation of the parties will be the same as if the termination had been for convenience of the PHA.

## 5. Termination for Convenience

- (a) The Contracting Officer may terminate this contract in whole, or in part, whenever the Contracting Officer determines that such termination is in the best interest of the PHA. Any such termination shall be effected by delivery to the Contractor of a Notice of Termination specifying the extent to which the performance of the work under the contract is terminated, and the date upon which such termination becomes effective.
- (b) If the performance of the work is terminated, either in whole or in part, the PHA shall be liable to the Contractor for reasonable and proper costs resulting from such termination upon the receipt by the PHA of a properly presented claim setting out in detail: (1) the total cost of the work performed to date of termination less the total amount of contract payments made to the Contractor; (2) the cost (including reasonable profit) of settling and paying claims under subcontracts and material orders for work performed and materials and supplies delivered to the site, payment for which has not been made by the PHA to the Contractor or by the Contractor to the subcontractor or supplier; (3) the cost of preserving and protecting the work already performed until the PHA or assignee takes possession thereof or assumes responsibility therefore; (4) the actual or estimated cost of legal and accounting services reasonably necessary to prepare and present the termination claim to the PHA; and (5) an amount constituting a reasonable profit on the value of the work performed by the Contractor.
- (c) The Contracting Officer will act on the Contractor's claim within days (60 days unless otherwise indicated) of receipt of the Contractor's claim.
- (d) Any disputes with regard to this clause are expressly made subject to the provisions of the Disputes clause of this contract.

## 6. Insurance

- (a) Before commencing work, the Contractor and each subcontractor shall furnish the PHA with certificates of insurance showing the following insurance is in force and will insure all operations under the Contract:



(1) Workers' Compensation, in accordance with state or Territorial Workers' Compensation laws.

(2) Commercial General Liability with a combined single limit for bodily injury and property damage of not less than \$ 500,000 [Contracting Officer insert amount] per occurrence to protect the Contractor and each subcontractor against claims for bodily injury or death and damage to the property of others. This shall cover the use of all equipment, hoists, and vehicles on the site(s) not covered by Automobile Liability under (3) below. If the Contractor has a "claims-made" policy, then the following additional requirements apply: the policy must provide a "retroactive date" which must be on or before the execution date of the Contract; and the extended reporting period may not be less than five years following the completion date of the Contract.

(3) Automobile Liability on owned and non-owned motor vehicles used on the site(s) or in connection therewith for a combined single limit for bodily injury and property damage of not less than \$ 500,000 [Contracting Officer insert amount] per occurrence.

(b) Before commencing work, the Contractor shall furnish the PHA with a certificate of insurance evidencing that Builder's Risk (fire and extended coverage) Insurance on all work in place and/or materials stored at the building site(s), including foundations and building equipment, is in force. The Builder's Risk Insurance shall be for the benefit of the Contractor and the PHA as their interests may appear and each shall be named in the policy or policies as an insured. The Contractor in installing equipment supplied by the PHA shall carry insurance on such equipment from the time the Contractor takes possession thereof until the Contract work is accepted by the PHA. The Builder's Risk Insurance need not be carried on excavations, piers, footings, or foundations until such time as work on the superstructure is started. It need not be carried on landscape work. Policies shall furnish coverage at all times for the full cash value of all completed construction, as well as materials in place and/or stored at the site(s), whether or not partial payment has been made by the PHA. The Contractor may terminate this insurance on buildings as of the date taken over for occupancy by the PHA. The Contractor is not required to carry Builder's Risk Insurance for modernization work which does not involve structural alterations or additions and where the PHA's existing fire and extended coverage policy can be endorsed to include such work.

(c) All insurance shall be carried with companies which are financially responsible and admitted to do business in the State in which the project is located. If any such insurance is due to expire during the construction period, the Contractor (including subcontractors, as applicable) shall not permit the coverage to lapse and shall furnish evidence of coverage to the Contracting Officer. All certificates of insurance, as evidence of coverage, shall provide that no coverage may be canceled or non-renewed by the insurance company until at least 30 days prior written notice has been given to the Contracting Officer.

## 7. Contract Modifications

(a) Only the Contracting Officer has authority to modify any term or condition of this contract. Any contract modification shall be authorized in writing.

(b) The Contracting Officer may modify the contract unilaterally (1) pursuant to a specific authorization stated in a contract clause (e.g., Changes); or (2) for administrative matters which

do not change the rights or responsibilities of the parties (e.g., change in the PHA address). All other contract modifications shall be in the form of supplemental agreements signed by the Contractor and the Contracting Officer.

(c) When a proposed modification requires the approval of HUD prior to its issuance (e.g., a change order that exceeds the PHA's approved threshold), such modification shall not be effective until the required approval is received by the PHA.

## 8. Changes

(a) The Contracting Officer may, at any time, without notice to the sureties, by written order designated or indicated to be a change order, make changes in the work within the general scope of the contract including changes:

(1) In the specifications (including drawings and designs);

(2) In the method or manner of performance of the work;

(3) PHA-furnished facilities, equipment, materials, services, or site; or,

(4) Directing the acceleration in the performance of the work.

(b) Any other written order or oral order (which, as used in this paragraph (b), includes direction, instruction, interpretation, or determination) from the Contracting Officer that causes a change shall be treated as a change order under this clause; provided, that the Contractor gives the Contracting Officer written notice stating (1) the date, circumstances and source of the order and (2) that the Contractor regards the order as a change order.

(c) Except as provided in this clause, no order, statement or conduct of the Contracting Officer shall be treated as a change under this clause or entitle the Contractor to an equitable adjustment.

(d) If any change under this clause causes an increase or decrease in the Contractor's cost of, or the time required for the performance of any part of the work under this contract, whether or not changed by any such order, the Contracting Officer shall make an equitable adjustment and modify the contract in writing. However, except for an adjustment based on defective specifications, no proposal for any change under paragraph (b) above shall be allowed for any costs incurred more than 20 days (5 days for oral orders) before the Contractor gives written notice as required. In the case of defective specifications for which the PHA is responsible, the equitable adjustment shall include any increased cost reasonably incurred by the Contractor in attempting to comply with the defective specifications.

(e) The Contractor must assert its right to an adjustment under this clause within 30 days after (1) receipt of a written change order under paragraph (a) of this clause, or (2) the furnishing of a written notice under paragraph (b) of this clause, by submitting a written statement describing the general nature and the amount of the proposal. If the facts justify it, the Contracting Officer may extend the period for submission. The proposal may be included in the notice required under paragraph (b) above. No proposal by the Contractor for an equitable adjustment shall be allowed if asserted after final payment under this contract.

(f) The Contractor's written proposal for equitable adjustment shall be submitted in the form of a lump sum proposal supported with an itemized breakdown of all increases and decreases in the contract in at least the following details:

(1) Direct Costs. Materials (list individual items, the quantity and unit cost of each, and the aggregate cost); Transportation and delivery costs associated with materials; Labor

breakdowns by hours or unit costs (identified with specific work to be performed); Construction equipment exclusively necessary for the change; Costs of preparation and/or revision to shop drawings resulting from the change; Worker's Compensation and Public Liability Insurance; Employment taxes under FICA and FUTA; and, Bond Costs - when size of change warrants revision.

- (2) Indirect Costs. Indirect costs may include overhead, general and administrative expenses, and fringe benefits not normally treated as direct costs.
- (3) Profit. The amount of profit shall be negotiated and may vary according to the nature, extent, and complexity of the work required by the change.

The allowability of the direct and indirect costs shall be determined in accordance with the Contract Cost Principles and Procedures for Commercial Firms in Part 31 of the Federal Acquisition Regulation (48 CFR 1-31), as implemented by HUD Handbook 2210.18, in effect on the date of this contract. The Contractor shall not be allowed a profit on the profit received by any subcontractor. Equitable adjustments for deleted work shall include a credit for profit and may include a credit for indirect costs. On proposals covering both increases and decreases in the amount of the contract, the application of indirect costs and profit shall be on the net-change in direct costs for the Contractor or subcontractor performing the work.

- (g) The Contractor shall include in the proposal its request for time extension (if any), and shall include sufficient information and dates to demonstrate whether and to what extent the change will delay the completion of the contract in its entirety.
- (h) The Contracting Officer shall act on proposals within 30 days after their receipt, or notify the Contractor of the date when such action will be taken.
- (i) Failure to reach an agreement on any proposal shall be a dispute under the clause entitled Disputes herein. Nothing in this clause, however, shall excuse the Contractor from proceeding with the contract as changed.
- (j) Except in an emergency endangering life or property, no change shall be made by the Contractor without a prior order from the Contracting Officer.

#### 9. Examination and Retention of Contractor's Records

The HA, HUD, or Comptroller General of the United States, or any of their duly authorized representatives shall, until three years after final payment under this contract, have access to and the right to examine any of the Contractor's directly pertinent books, documents, papers, or other records involving transactions related to this contract for the purpose of making audit, examination, excerpts, and transcriptions.

#### 10. Rights in Data and Patent Rights (Ownership and Proprietary Interest)

The HA shall have exclusive ownership of, all proprietary interest in, and the right to full and exclusive possession of all information, materials, and documents discovered or produced by Contractor pursuant to the terms of this Contract, including but not limited to reports, memoranda or letters concerning the research and reporting tasks of this Contract.

#### 11. Energy Efficiency

The Contractor shall comply with all mandatory standards and policies relating to energy efficiency which are contained in the energy conservation plan issued in compliance with the Energy Policy and Conservation Act (Pub.L. 94-163) for the State in which the work under this contract is performed.

#### 12. Procurement of Recovered Materials

- (a) In accordance with Section 6002 of the Solid Waste Disposal Act, as amended by the Resource Conservation and Recovery Act, the Contractor shall procure items designated in guidelines of the Environmental Protection Agency (EPA) at 40 CFR Part 247 that contain the highest percentage of recovered materials practicable, consistent with maintaining a satisfactory level of competition. The Contractor shall procure items designated in the EPA guidelines that contain the highest percentage of recovered materials practicable unless the Contractor determines that such items: (1) are not reasonably available in a reasonable period of time; (2) fail to meet reasonable performance standards, which shall be determined on the basis of the guidelines of the National Institute of Standards and Technology, if applicable to the item; or (3) are only available at an unreasonable price.
- (b) Paragraph (a) of this clause shall apply to items purchased under this contract where: (1) the Contractor purchases in excess of \$10,000 of the item under this contract; or (2) during the preceding Federal fiscal year, the Contractor: (i) purchased any amount of the items for use under a contract that was funded with Federal appropriations and was with a Federal agency or a State agency or agency of a political subdivision of a State; and (ii) purchased a total of in excess of \$10,000 of the item both under and outside that contract.

#### 13. Training and Employment Opportunities for Residents in the Project Area (Section 3, HUD Act of 1968; 24 CFR 135)

- (a) The work to be performed under this contract is subject to the requirements of section 3 of the Housing and Urban Development Act of 1968, as amended, 12 U.S.C. 1701u (section 3). The purpose of section 3 is to ensure that employment and other economic opportunities generated by HUD assistance or HUD-assisted projects covered by section 3, shall, to the greatest extent feasible, be directed to low- and very low-income persons, particularly persons who are recipients of HUD assistance for housing.
- (b) The parties to this contract agree to comply with HUD's regulations in 24 CFR Part 135, which implement section 3. As evidenced by their execution of this contract, the parties to this contract certify that they are under no contractual or other impediment that would prevent them from complying with the Part 135 regulations.
- (c) The contractor agrees to send to each labor organization or representative of workers with which the contractor has a collective bargaining agreement or other understanding, if any, a notice advising the labor organization or workers' representative of the contractor's commitments under this section 3 clause, and will post copies of the notice in conspicuous places at the work site where both employees and applicants for training and employment positions can see the notice. The notice shall describe the section 3 preference, shall set forth minimum number and job titles subject to hire, availability of apprenticeship and training positions, the

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- qualifications for each; and the name and location of the person(s) taking applications for each of the positions; and the anticipated date the work shall begin.
- (d) The contractor agrees to include this section 3 clause in every subcontract subject to compliance with regulations in 24 CFR Part 135, and agrees to take appropriate action, as provided in an applicable provision of the subcontract or in this section 3 clause, upon a finding that the subcontractor is in violation of the regulations in 24 CFR Part 135. The contractor will not subcontract with any subcontractor where the contractor has notice or knowledge that the subcontractor has been found in violation of the regulations in 24 CFR Part 135.
  - (e) The contractor will certify that any vacant employment positions, including training positions, that are filled (1) after the contractor is selected but before the contract is executed, and (2) with persons other than those to whom the regulations of 24 CFR Part 135 require employment opportunities to be directed, were not filled to circumvent the contractor's obligations under 24 CFR Part 135.
  - (f) Noncompliance with HUD's regulations in 24 CFR Part 135 may result in sanctions, termination of this contract for default, and debarment or suspension from future HUD assisted contracts.

#### 14. Labor Standards - Davis-Bacon and Related Acts

##### (a) Minimum Wages.

(1) All laborers and mechanics employed under this contract in the construction or development of the project(s) involved will be paid unconditionally and not less often than once a week, and without subsequent deduction or rebate on any account (except such payroll deductions as are permitted by regulations issued by the Secretary of Labor under the Copeland Act (29 CFR Part 3)), the full amount of wages and bona fide fringe benefits (or cash equivalents thereof) due at time of payment computed at rates not less than those contained in the wage determination of the Secretary of Labor which is attached hereto and made a part hereof, regardless of any contractual relationship which may be alleged to exist between the Contractor and such laborers and mechanics. Contributions made or costs reasonably anticipated for bona fide fringe benefits under Section 1(b)(2) of the Davis-Bacon Act on behalf of laborers or mechanics are considered wages paid to such laborers or mechanics, subject to the provisions of 29 CFR 5.5(a)(1)(iv); also, regular contributions made or costs incurred for more than a weekly period (but not less often than quarterly) under plans, funds, or programs which cover the regular weekly period, are deemed to be constructively made or incurred during such weekly period. Such laborers and mechanics shall be paid the appropriate wage rate and fringe benefits in the wage determination for the classification of work actually performed, without regard to skill, except as provided in 29 CFR 5.5(a)(4). Laborers or mechanics performing work in more than one classification may be compensated at the rate specified for each classification for the time actually worked therein; provided, that the employer's payroll records accurately set forth the time spent in each classification in which work is performed. The wage determination (including any additional classification and wage rates conformed under 29 CFR 5.5(a)(1)(ii) and the Davis-Bacon poster (WH-1321) shall be posted at all times by the Contractor and its subcontractors at the site of the work in

a prominent and accessible place where it can be easily seen by the workers.

- (2) (i) Any class of laborers or mechanics, including helpers, which is not listed in the wage determination and which is to be employed under the contract shall be classified in conformance with the wage determination. HUD shall approve an additional classification and wage rate and fringe benefits therefor only when all the following criteria have been met:

- (a) The work to be performed by the classification requested is not performed by a classification in the wage determination; and
- (b) The classification is utilized in the area by the construction industry; and
- (c) The proposed wage rate, including any bona fide fringe benefits, bears a reasonable relationship to the wage rates contained in the wage determination.

- (ii) If the Contractor and the laborers and mechanics to be employed in the classification (if known), or their representatives, and HUD or its designee agree on the classification and wage rate (including the amount designated for fringe benefits where appropriate), a report of the action shall be sent by HUD or its designee to the Administrator of the Wage and Hour Division, Employee Standards Administration, U.S. Department of Labor, Washington, DC 20210. The Administrator, or an authorized representative, will approve, modify, or disapprove every additional classification action within 30 days of receipt and so advise HUD or its designee or will notify HUD or its designee within the 30-day period that additional time is necessary.

- (iii) In the event the Contractor, the laborers or mechanics to be employed in the classification or their representatives, and HUD or its designee do not agree on the proposed classification and wage rate (including the amount designated for fringe benefits, where appropriate), HUD or its designee shall refer the questions, including the views of all interested parties and the recommendation of HUD or its designee, to the Administrator of the Wage and Hour Division for determination. The Administrator, or an authorized representative, will issue a determination within 30 days of receipt and so advise HUD or its designee or will notify HUD or its designee within the 30-day period that additional time is necessary.

- (iv) The wage rate (including fringe benefits where appropriate) determined pursuant to subparagraphs (a)(2)(ii) or (iii) of this clause shall be paid to all workers performing work in the classification under this contract from the first day on which work is performed in the classification.

- (3) Whenever the minimum wage rate prescribed in the contract for a class of laborers or mechanics includes a fringe benefit which is not expressed as an hourly rate, the Contractor shall either pay the benefit as stated in the wage determination or shall pay another bona fide fringe benefit or an hourly cash equivalent thereof.

- (4) If the Contractor does not make payments to a trustee or other third person, the Contractor may consider as part

of the wages of any laborer or mechanic the amount of any costs reasonably anticipated in providing bona fide fringe benefits under a plan or program; *provided*, that the Secretary of Labor has found, upon the written request of the Contractor, that the applicable standards of the Davis-Bacon Act have been met. The Secretary of Labor may require the Contractor to set aside in a separate account assets for the meeting of obligations under the plan or program.

(b) **Withholding of Funds.** HUD or its designee shall, upon its own action or upon written request of an authorized representative of the Department of Labor, withhold or cause to be withheld from the Contractor under this contract or any other Federal contract with the same prime Contractor, or any other Federally-assisted contract subject to Davis-Bacon prevailing wage requirements, which is held by the same prime Contractor, so much of the accrued payments or advances as may be considered necessary to pay laborers and mechanics, including apprentices, trainees, and helpers, employed by the Contractor or any subcontractor the full amount of wages required by the contract. In the event of failure to pay any laborer or mechanic, including any apprentice, trainee, or helper, employed or working in the construction or development of the project, all or part of the wages required by the contract, HUD or its designee may, after written notice to the Contractor, take such action as may be necessary to cause the suspension of any further payment, advance, or guarantee of funds until such violations have ceased. HUD or its designee may, after written notice to the Contractor, disburse such amounts withheld for and on account of the Contractor or subcontractor to the respective employees to whom they are due.

(c) **Payrolls and Basic Records.**

(1) Payrolls and basic records relating thereto shall be maintained by the Contractor during the course of the work and preserved for a period of three years thereafter for all laborers and mechanics working in the construction or development of the project. Such records shall contain the name, address, and social security number of each such worker, his or her correct classification, hourly rates of wages paid (including rates of contributions or costs anticipated for bona fide fringe benefits or cash equivalents thereof of the types described in section 1(b)(2)(B) of the Davis-Bacon Act), daily and weekly number of hours worked, deductions made, and actual wages paid. Whenever the Secretary of Labor has found, under 29 CFR 5.5(a)(1)(iv), that the wages of any laborer or mechanic include the amount of costs reasonably anticipated in providing benefits under a plan or program described in section 1(b)(2)(B) of the Davis-Bacon Act, the Contractor shall maintain records which show that the commitment to provide such benefits is enforceable, that the plan or program is financially responsible, and that the plan or program has been communicated in writing to the laborers or mechanics affected, and records which show the costs anticipated or the actual cost incurred in providing such benefits. Contractors employing apprentices or trainees under approved programs shall maintain written evidence of

the registration of apprenticeship programs and certification of trainee programs, the registration of the apprentices and trainees, and the ratios and wage rates prescribed in the applicable programs.

- (2) (i) The Contractor shall submit weekly for each week in which any contract work is performed a copy of all payrolls to the Contracting Officer for transmission to HUD or its designee. The payrolls submitted shall set out accurately and completely all of the information required to be maintained under subparagraph (c)(1) of this clause. This information may be submitted in any form desired. Optional Form WH-347 (Federal Stock Number 029-005-00014-1) is available for this purpose and may be purchased from the Superintendent of Documents, U.S. Government Printing Office, Washington, D.C. 20402. The prime Contractor is responsible for the submission of copies of payrolls by all subcontractors. (Approved by the Office of Management and Budget under OMB Control Number 1214-0149.)
- (ii) Each payroll submitted shall be accompanied by a "Statement of Compliance," signed by the contractor or subcontractor or his or her agent who pays or supervises the payment of the persons employed under the contract and shall certify the following:
- (A) That the payroll for the payroll period contains the information required to be maintained under paragraph (c)(1) of this clause and that such information is correct and complete;
- (B) That each laborer or mechanic (including each helper, apprentice, and trainee) employed on the contract during the payroll period has been paid the full weekly wages earned, without rebate, either directly or indirectly, and that no deductions have been made either directly or indirectly from the full wages earned, other than permissible deductions as set forth in 29 CFR Part 3; and
- (C) That each laborer or mechanic has been paid not less than the applicable wage rates and fringe benefits or cash equivalents for the classification of work performed, as specified in the applicable wage determination incorporated into the contract.
- (iii) The weekly submission of a properly executed certification set forth on the reverse side of Optional Form WH-347 shall satisfy the requirements for submission of the "Statement of Compliance" required by subparagraph (c)(2)(ii) of this clause.
- (iv) The falsification of any of the above certifications may subject the Contractor or subcontractor to civil or criminal prosecution under Section 1001 of Title 18 and Section 3729 of Title 31 of the United States Code.
- (3) The Contractor or subcontractor shall make the records required under subparagraph (c)(1) available for inspection, copying, or transcription by authorized representatives of HUD or its designee, the Contracting Officer, or the Department of Labor and shall permit such representatives to interview employees during working hours on the job. If the Contractor or subcontractor fails to submit the required records or to make them available, HUD or its designee may, after written notice to the Contractor, take such action as may be necessary to cause the suspension of any further payment, advance, or guarantee of funds. Furthermore, failure to submit the required records upon request or to make such records available may be grounds for debarment action pursuant to 29 CFR 5.12.

- (d) Apprentices. Apprentices will be permitted to work at less than the predetermined rate for the work they performed when they are employed pursuant to and individually registered in a bona fide apprenticeship program registered with the U.S. Department of Labor, Employment and Training Administration, Office of Apprenticeship Training, Employer and Labor Services (OATELS), or with a State Apprenticeship Agency recognized by OATELS, or if a person is employed in his or her first 90 days of probationary employment as an apprentice in such an apprenticeship program, who is not individually registered in the program, but who has been certified by OATELS or a State Apprenticeship Agency (where appropriate) to be eligible for probationary employment as an apprentice.
- The allowable ratio of apprentices to journeymen on the job site in any craft classification shall not be greater than the ratio permitted to the Contractor as to the entire work force under the registered program. Any worker listed on a payroll at an apprentice wage rate, who is not registered or otherwise employed as stated in this paragraph, shall be paid not less than the applicable wage rate on the wage determination for the classification of work actually performed. In addition, any apprentice performing work on the job site in excess of the ratio permitted under the registered program shall be paid not less than the applicable wage rate on the wage determination for the work actually performed. Where a contractor is performing construction on a project in a locality other than that in which its program is registered, the ratios and wage rates (expressed in percentages of the journeyman's hourly rate) specified in the Contractor's or subcontractor's registered program shall be observed. Every apprentice must be paid at not less than the rate specified in the registered program for the apprentice's level of progress, expressed as a percentage of the journeyman hourly rate specified in the applicable wage determination. Apprentices shall be paid fringe benefits in accordance with the provisions of the apprenticeship program. If the apprenticeship program does not specify fringe benefits, apprentices must be paid the full amount of fringe benefits listed on the wage determination for the applicable classification. If the Administrator of the Wage and Hour Division determines that a different practice prevails for the applicable apprentice classification, fringes shall be paid in accordance with that determination. In the event OATELS, or a State Apprenticeship Agency recognized by OATELS, withdraws approval of an apprenticeship program, the Contractor will no longer be permitted to utilize apprentices at less than the applicable predetermined rate for the work performed until an acceptable program is approved.

- (e) Trainees. Except as provided in 29 CFR 5.16, trainees will not be permitted to work at less than the predetermined rate for the work performed unless they are employed pursuant to and individually registered in a program which has received prior approval, evidenced by formal certification by the U.S. Department of Labor, Employment and Training Administration. The ratio of trainees to journeymen on the job site shall not be greater than permitted under the plan approved by the Employment and Training Administration. Every trainee must be paid at not less than the rate specified in the approved program for the trainee's level of progress, expressed as a percentage of the journeyman hourly rate

specified in the applicable wage determination. Trainees shall be paid fringe benefits in accordance with the provisions of the trainee program. If the trainee program does not mention fringe benefits, trainees shall be paid the full amount of fringe benefits listed in the wage determination unless the Administrator of the Wage and Hour Division determines that there is an apprenticeship program associated with the corresponding journeyman wage rate in the wage determination which provides for less than full fringe benefits for apprentices. Any employee listed on the payroll at a trainee rate who is not registered and participating in a training plan approved by the Employment and Training Administration shall be paid not less than the applicable wage rate in the wage determination for the classification of work actually performed. In addition, any trainee performing work on the job site in excess of the ratio permitted under the registered program shall be paid not less than the applicable wage rate in the wage determination for the work actually performed. In the event the Employment and Training Administration withdraws approval of a training program, the Contractor will no longer be permitted to utilize trainees at less than the applicable predetermined rate for the work performed until an acceptable program is approved.

- (f) Equal Employment Opportunity. The utilization of apprentices, trainees, and journeymen under this clause shall be in conformity with the equal employment opportunity requirements of Executive Order 11246, as amended, and 29 CFR Part 30.
- (g) Compliance with Copeland Act Requirements. The Contractor shall comply with the requirements of 29 CFR Part 3, which are hereby incorporated by reference in this contract.
- (h) Contract Termination; Debarment. A breach of the labor standards clauses in this contract may be grounds for termination of the contract and for debarment as a Contractor and a subcontractor as provided in 29 CFR 5.12.
- (i) Compliance with Davis-Bacon and related Act Requirements. All rulings and interpretations of the Davis-Bacon and related Acts contained in 29 CFR Parts 1, 3, and 5 are herein incorporated by reference in this contract.
- (j) Disputes Concerning Labor Standards. Disputes arising out of the labor standards provisions of this clause shall not be subject to the general disputes clause of this contract. Such disputes shall be resolved in accordance with the procedures of the Department of Labor set forth in 29 CFR Parts 5, 6, and 7. Disputes within the meaning of this clause include disputes between the Contractor (or any of its subcontractors) and the PHA, HUD, the U.S. Department of Labor, or the employees or their representatives.
- (k) Certification of Eligibility.
- (1) By entering into this contract, the Contractor certifies that neither it (nor he or she) nor any person or firm who has an interest in the Contractor's firm is a person or firm ineligible to be awarded contracts by the United States Government by virtue of section 3(a) of the Davis-Bacon Act or 29 CFR 5.12(a)(1).
  - (2) No part of this contract shall be subcontracted to any person or firm ineligible for award of a United States Government

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contract by virtue of section 3(a) of the Davis-Bacon Act or 29 CFR 5.12(a)(1).

(3) The penalty for making false statements is prescribed in the U. S. Criminal Code, 18 U.S.C. 1001.

(l) Subcontracts. The Contractor or subcontractor shall insert in any subcontracts all the provisions contained in this clause, and such other clauses as HUD or its designee may by appropriate instructions require, and also a clause requiring the subcontractors to include these provisions in any lower tier subcontracts. The prime Contractor shall be responsible for the compliance by any subcontractor or lower tier subcontractor with all these provisions.

(m) Non-Federal Prevailing Wage Rates. Any prevailing wage rate (including basic hourly rate and any fringe benefits), determined under State law to be prevailing, with respect to any employee in any trade or position employed under the contract, is inapplicable to the contract and shall not be enforced against the Contractor or any subcontractor, with respect to employees engaged under the contract whenever such non-Federal prevailing wage rate exceeds:

- (i) the applicable wage rate determined by the Secretary of Labor pursuant to the Davis-Bacon Act (40 U.S.C. 3141 et seq.) to be prevailing in the locality with respect to such trade;
- (ii) an applicable apprentice wage rate based thereon specified in an apprenticeship program registered with the U.S. Department of Labor (DOL) or a DOL-recognized State Apprenticeship Agency; or
- (iii) an applicable trainee wage rate based thereon specified in a DOL-certified trainee program.

# ATTACHMENT #3



SECTION 3 PLAN  
FOR  
THE PINELLAS COUNTY  
HOUSING AUTHORITY



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### **Exhibits/Forms**

Exhibit 1: PCHA Contracting Policy & Procedure

Exhibit 2: PCHA Opportunities Plan

## **General Policy Statement**

It is the policy of the Pinellas County Housing Authority (PCHA) to require its contractors to provide equal employment opportunity to all employees and applicants for employment without regard to race, color, religion, sex, national origin, disability, veteran's or marital status, or economic status and to take affirmative action to ensure that both job applicants and existing employees are given fair and equal treatment.

The PCHA implements this policy through the awarding of contracts to contractors, vendors, and suppliers, to create employment and business opportunities for residents of the PCHA and other qualified low, very low, and extremely low-income persons residing within PCHA's jurisdiction.

This policy shall result in a reasonable level of success in the recruitment, employment, and utilization of PCHA residents and other eligible persons and businesses by PCHA contractors working on contracts partially or wholly funded with the United States Department of Housing and Urban Development (HUD) monies. The PCHA shall examine and consider a contractor's or vendor's potential for success by providing employment and business opportunities to PCHA residents prior to acting on any proposed contract award.

### **Section 3 Purpose**

Section 3 of the Housing and Urban Development Act of 1968, as amended (12 U.S.C. 1701u) (Section 3) requires the Pinellas County Housing Authority to ensure that employment and other economic and business opportunities generated by the Department of Housing and Urban Development (HUD) financial assistance, to the greatest extent feasible, are directed to public housing residents, section 8 recipients and other low-income persons, government housing assistance, and business concerns that provide economic opportunities to Housing Authority residents and other low- and very-low income persons.

### **Section 3 Contracting Policy and Procedure**

The PCHA will incorporate Section 3 in its existing Procurement Policy and adopt a Section 3 Contracting Policy and Procedure to be included in all procurements generated for use with HUD funding. Contractors must comply with the Davis Bacon Act. The Section 3 Contracting Policy and procedure contains goal requirements for awarding contracts to Section 3 Business Concerns.

All contractors/businesses seeking Section 3 preference (CBE) shall be required to complete certifications, as appropriate, as acknowledgement of the Section 3 contracting and employment provisions required by this section prior to submitting bids/proposals to the PCHA. Such certifications shall be adequately supported with appropriate documentation as referenced in the form.

The Procurement Policy of the PCHA encourages Small Disadvantaged Businesses (SDB) and Minority and Women Business Enterprises (M/WBE) to participate in contract awards.

### **Section 3 Plan**

The Pinellas County Housing Authority, in conjunction with the Pinellas County Community Development Department will develop a Section 3 Action Plan to identify the goals, objectives, and actions that will be implemented to ensure compliance with the requirements of Section 3

PCHA's intent to develop this plan is to include input from various county departments to include Community Development, Housing and Neighborhood Improvements, Purchasing, as well as HUD. Where applicable, input from other agencies and companies will be considered.

## **Section 3 Employment & Training Goals**

It is the policy of the PCHA to utilize residents and other Section 3 eligible persons and businesses in contracts partially or wholly funded with monies from the Department of Housing and Urban Development (HUD). PCHA has established employment, and training goals that contractors and subcontractors should meet in order to comply with Section 3 requirements. Numerical goals for meeting the hiring and training requirements of PCHA, to the greatest extent feasible, is 30% per year.

It is the responsibility of contractors, vendors and suppliers to implement progressive efforts to attain Section 3 compliance. Any contractor that does not meet the Section 3 numerical goals must demonstrate why meeting the goals were not feasible. **All contractors submitting bids or proposals to the PCHA are required to certify that they will comply with the requirements of Section 3 by completing the Section 3 Opportunities Plan or their bids may be deemed non-responsive.**

The Section 3 Contract Clause specifies the requirements for contractors hired for Section 3 covered projects. The Section 3 Clause must be included in all Section 3 covered projects. The Section 3 Contract Clause is included on Page 10 of Exhibit 1, hereto.

### **Section 3 Program Participant Certification Procedure**

The PCHA will certify Section 3 program participants who meet the income eligibility requirements and who are seeking preference in training and employment by completing and attaching adequate proof of Section 3 eligibility, as required (see Page 12 of Exhibit 1 - Section 3 Participant Eligibility for Preference form).

- All persons who meet the Section 3 eligibility guidelines can, by appointment, visit with the designated PCHA staff to complete a job readiness assessment.
- Once this assessment is complete, the designated PCHA staff will determine if the individual meets the eligibility requirements and is job ready.
- If the individual is deemed eligible for Section 3 participation and deemed not ready for employment, a referral will be made to other agencies that are equipped to address the individual's needs, i.e., substance abuse providers, etc.
- The Section 3 job readiness component is a part of the PCHA's commitment to provide economic opportunities and training to residents/eligible participants to become gainfully employed.

## Resident Hiring Requirements

The PCHA has adopted the following scale for resident hiring that is to be used on all construction contracts, service contracts and professional service contracts that contain a labor component. It is expected that an appropriate number of residents with particular qualifications or a willingness to provide unskilled labor will be able to participate in PCHA's contracted labor efforts. A prime contractor may satisfy PCHA resident hiring requirements through its subcontractors.

<b>TOTAL LABOR DOLLARS CONSTRUCTION USE TOTAL CONTRACT AMOUNT FOR SERVICE CONTRACTS</b>	<b>RESIDENT AS A % OF TOTAL LABOR DOLLARS</b>
Labor dollars less than \$100,000	10% of the labor dollars
\$100,000, but less than \$200,000	9% of the labor dollars
At least \$200,000, but less than \$300,000	8% of the labor dollars
At least \$300,000, but less than \$400,000	7% of the labor dollars
At least \$400,000, but less than \$500,000	6% of the labor dollars
At least \$500,000, but less than \$1 million	5% of the labor dollars
At least \$1 million, but less than \$2 million	4% of the labor dollars
At least \$2 million, but less than \$4 million	3% of the labor dollars
At least \$4 million, but less than \$7 million	2% of the labor dollars
\$7 million or more	1 - 1/2% of the labor dollars

1. Subcontract or joint venture with a resident owned business. The business must be 51% or more owned by Rainbow Village or Lakeside Terrace public housing residents, section 8 recipients or subcontract/joint venture with a business that employs full-time, 30% or more Rainbow Village or Lakeside Terrace public housing residents, Section 8 recipients or specific low, very low-income, and extremely low-income individuals within a 50 mile radius of the site where the project commences.
2. Direct hiring of qualified Pinellas County Housing Authority's Rainbow Village or Lakeside Terrace public housing residents, Section 8 recipients and/or low and very low-income neighborhood residents and provide job training to Section 3 residents if there are no qualified individuals for open positions.
3. Contractor makes a contribution to PCHA's Education Fund to provide assistance to residents to obtain training. The level of contribution would be commensurate with the sliding scale set forth above.



## **Assisting Contractors to Achieve Section 3 Goal Hiring and Contracting Goals**

The PCHA will assist contractors with little or no experience in achieving Section 3 hiring and contracting goals as follows:

- The contractor submits a list to the designated PCHA staff, of the number and type of subcontracting and/or employment opportunities expected to be generated from the initial contract.
- PCHA's designated staff will provide the contractor with a list of interested and qualified Section 3 residents.
- PCHA's designated staff will provide contractor with a list of appropriate Section 3 business concerns interested and qualified to provide desired services.
- PCHA's designated staff will inform contractor of known issues that might affect Section 3 residents from performing job related duties.
- PCHA's designated staff will review the new hire clause with contractors and subcontractors to ensure that the requirement is understood. It is not intended for contractors and subcontractors to terminate existing employees, but to make every effort feasible to employ Section 3 program participants before any other person, when hiring additional employees needed to complete proposed work to be performed with HUD (federal) funds.

**Preference for Contracting with Section 3 Business Concerns**

The PCHA, in compliance with Section 3 regulations, will require contractors and subcontractors (including professional service contractors) to direct their efforts towards contracts with Section 3 business concerns in the following order of priority and to expend greatest extent feasible efforts to achieve, at a minimum, the numerical goals PCHA has established:

- **Category 1:** Business concerns that are 51% or more owned by residents of the housing development for which the work is performed, or whose full-time, permanent workforce includes 30% of these persons as employees.
- **Category 2:** Business concerns that are 51% or more owned by residents of the Authority's public housing development(s) other than the housing development where the work is to be performed; or whose full-time permanent workforce includes 30% of these persons as employees.
- **Category 3:** HUD Youthbuild programs being carried out in PCHA's jurisdiction which Section 3 covered assistance is expended.
- **Category 4:** Business concerns that are 51% or more owned by a Section 3 resident(s), or whose permanent, full-time workforce includes no less than 30% Section 3 residents (category 4 business); or that subcontract in excess of 25% of the total amount of subcontracts to Section 3 business concerns.

Contracting goals for awards to Section 3 Business Concerns (CBE) are at least ten percent (10%) of the total dollar amount of all Section 3 related contracts for the building trades work (for rehabilitation, construction, maintenance, repair, modernization or development of public housing and at least three percent (3%) of all other Section 3 contracts.

Bids received from Section 3 Business concerns must be within the maximum total contract price established in PCHA's budget for the specific project, and is not more than "X" higher than the total bid price of the lowest responsive bid from any responsible bidder. "X" is determined as follows:

	x-lesser of:
When the lowest responsive bid is less than \$100,000	10% of that bid or \$9,000.
When the lowest responsive bid is:	
At least \$100,000 but less than \$200,000.....	9% of that bid, or \$16,000.
At least \$200,000 but less than \$300,000.....	8% of that bid, or \$21,000.
At least \$300,000 but less than \$400,000.....	7% of that bid, or \$24,000.
At least \$400,000 but less than \$500,000.....	6% of that bid, or \$25,000.
At least \$500,000 but less than \$1 million.....	5% of that bid, or \$40,000.
At least \$1 million but less than \$2 million.....	4% of that bid, or \$60,000.
At least \$2 million but less than \$4 million.....	3% of that bid, or \$80,000.
At least \$4 million but less than \$7 million.....	2% of that bid, or \$105,000.
\$7 Million or more.....	1-1/2% of the lowest responsive bid, with no dollar limit.

### **Evidence of Section 3 Certification**

Any business seeking Section 3 preference in the awarding of contracts or purchase agreements with the PCHA shall complete the Certification For Business Concerns Seeking Section 3 Preference In Contracting and Demonstration of Capability form (CBE), which can be obtained from the PCHA's designated staff. The business seeking Section 3 preference must be able to provide adequate documentation as evidence of eligibility for preference under the Section 3 Program.

Certifications for Section 3 preference for business concerns must be submitted to the designated staff of the PCHA prior to the submission of bids for approval. If the PCHA designated staff previously approved the business concern to be Section 3 certified, then the certification can be submitted along with the bid.

## **Resident-Owned Business Contracting**

PCHA will consider utilizing the alternative procurement process (Section 24 CFR Part 963) when contracting with businesses owned in substantial part by housing agency residents (resident-owned business) for public housing services, supplies or construction.

To be eligible for the alternative procurement process, a business must submit evidence to PCHA that shows how each of the following requirements have been met:

- submit certified copies of any city, state, or county municipal licenses that support the type of business activity for which it performs.
- disclose to the PCHA designated staff, all owners of the business, as well as, each owners percentage of ownership and names of those individuals who possess the authority to make decisions on a day-to-day basis.
- submit evidence that the business is able to perform successfully under the terms and conditions of the proposed contract.
- provide a certified listing of all contracts awarded and received under the alternative procurement process within a two-year period. If a resident-owned business has received under this alternative contracting procedure one or more contracts (within the two-year period) with total combined dollars of \$1,000,000, then it is no longer eligible for additional contracts under the alternative process until the 2-year period is past.

This alternative procurement policy is based upon the procurement procedure and policy set forth in HUD's regulations at 24 CFR, Part 85.36, but applies only to solicitations of resident-owned businesses. PCHA will utilize the alternative contracting procedure for resident-owned businesses only in cases where it is considered to be in the best business, economic and service interests of the authority.

## **Efforts to Award Contract Opportunities to Section 3 Business Concerns**

The PCHA may use the following methods to notify and contract with Section 3 business concerns when contracting opportunities exist.

- Advertise contracting opportunities via newspaper, mailings, and posting notices that provide general information about the work to be contracted and where to obtain additional information.
- Provide written notice of contracting opportunities to all known Section 3 business concerns. The written notice will be provided in sufficient time to enable business concerns the opportunity to respond to the bid invitation.
- Coordinate pre-bid meetings at which the Section 3 business concerns would be informed of upcoming contracting opportunities in advance.
- Conduct workshops on PCHA's contracting procedures to include bonding, insurance, and other pertinent requirements, in a timely manner in an effort to allow Section 3 business concerns the opportunity to take advantage of any upcoming contracting opportunities.
- Contact the Pinellas County Economic Development Department business assistance agencies, Small Disadvantaged, Minority and Women's Business Enterprise (S/M/WBE) contractor associations, and community organizations to inform them of contracting opportunities and to request their assistance in identifying Section 3 businesses.
- Establish relationships with the Small Business Administration (SBA), Minority and Women's Business Enterprise M/WBE association, Community Development Corporations, and other sources as necessary to assist PCHA with educating and mentoring residents with a desire to start their own businesses.
- Seek out referral sources in order to ensure job readiness for public housing residents through on-the-job-training (OJT) and mentoring to obtain necessary skills that will transfer into the external labor market.
- Develop resources or seek out training to assist residents interested in starting their own businesses to learn to prepare contracts, prepare taxes, obtain licenses, bonding, and insurance.

### **Section 3 Residents Recruitment, Training, and Employment Goals**

PCHA may develop resources to provide training and employment opportunities to Section 3 program participants by implementing the following:

- Advertise training opportunities by distributing flyers, mailings, and posting in common areas of the housing developments as well as all PCHA public housing management offices.
- Contact resident councils as well as neighborhood community organizations to request their assistance in notifying residents of available training and employment opportunities.
- Advertise employment opportunities by posting job vacancies in common areas of all of the PCHA's housing developments as well as contacting resident councils and neighborhood community organizations.
- Develop a database of certified Section 3 residents of public housing and other Section 3 residents, including skill assessment and eligible qualified Section 3 Business concerns.
- Develop relationships with local area employers in an effort to solicit job vacancies to determine skills needed in their workforce, thereby providing training to residents developing skills that will transfer into the external labor market.
- A provision for a specific number of public housing or Section 3 program participants to be trained or employed by the contractor will be incorporated into the contract.

### **Employment of Section 3 Program Participants**

- The PCHA designated staff will conduct a pre-interview with all residents prior to being hired by a contractor.
- The pre-interview will assess job readiness (i.e., childcare, transportation, work maturity, job retention skills). Only residents meeting the minimum qualifications of the contractor or subcontractor will be referred to the job site. Residents not deemed job ready would be referred elsewhere. It is imperative that the resident's basic needs are met prior to employment.
- If a resident is referred to a contractor and does not perform satisfactorily due to poor work habits (i.e., tardiness, absenteeism, alcohol/drugs, abusive language, fighting, etc.) she/he will be allowed two additional opportunities to be referred to other contractors. If after that time the resident still does not perform satisfactorily, it will be mandatory that she/he attend and complete a job readiness class, alcohol/drug treatment center, or any other program that he or she may be required to attend. After successful completion the resident will be given the opportunity to be reinstated on the list of residents available for work.
- Residents experiencing problems with contractors should first communicate the problem to the employer. If the problem cannot be resolved between the employee and employer, the PCHA designated staff will meet with the parties involved to assist in trying to resolve the problem. Residents and employers (contractors or subcontractors) should document problems whenever they occur and record any and all efforts to correct them. Written documentation of the problem should be submitted to the PCHA designated staff.
- In order to qualify for employment with contractors, public housing residents must have their name(s) on a PCHA lease, be current on rent, be at least eighteen years of age, and not be involved in any legal action with PCHA (current documented eviction, criminal and drug activity, trespassing, etc.)
- Residents not interested in construction employment opportunities will be assessed for other skills (clerical, administrative, etc.) and will have the opportunity to receive referrals for help with interviewing techniques, mock interviews, resume preparation, application assistance, employment leads, and how to dress for success when conducting a job search.
- Residents interested in pursuing General Equivalency Diploma (GED) and continued training education will be referred to those resources.

### **Contractor's Requirements in Employing Section 3 participants:**

Under the Pinellas County Housing Authority's Section 3 Program, contractors and subcontractors are required to:

- Provide employment opportunities to Section 3 residents/participants in the priority order listed below:
  - - a) **Category 1 - Section 3 Resident**  
Residents of the housing development for which the contract shall be expended.
    - b) **Category 2 - Section 3 Resident**  
Residents of other PCHA housing developments.
    - c) **Category 3 - Section 3 Resident**  
Participants in HUD Youthbuild program being carried out in the project boundary area.
    - d) **Category 4 – Section 3 Resident**  
Section 8 recipients and other eligible residents residing within 50 miles of the work to be completed (project), as established by PCHA, who meet the income guidelines for Section 3 preferences (refer to 24 CFR 135.5 Definitions).
- After the award of contracts, the contractor must, prior to beginning work provide the following:
  - names of the Section 3 business concerns (CBE) to be utilized,
  - estimates of the number of employees to be utilized for contract,
  - projected number of available positions, to include job descriptions and wage rates (construction wages consistent with Davis Bacon),
  - efforts that will be utilized to seek Section 3 participants. (See Exhibit 2)
- Contractors must notify the PCHA designated staff of their interests regarding employment of Section 3 participants prior to hiring. The PCHA designated staff will ensure that the participant is Section 3 eligible, by assessing the Section 3 database to ensure job readiness and lease status (resident in good standing, not involved in any legal proceedings against/with the PCHA, etc.).
- Submit a list of core employees (including administrative, clerical, planning and other positions pertinent to the construction trades) at the time of contract award.



- Document the performance of Section 3 participants (positive and negative), regarding punctuality, attendance, etc., and provide this information to the PCHA designated staff.
- Immediately notify the PCHA designated staff of any problems experienced due to the employment of Section 3 participants.
- Immediately notify the PCHA designated staff if a participant quits, walks off, or is terminated for any reason. The contractor must provide written documentation of all such incidents to support such decisions to the PCHA designated staff to determine if an investigation is warranted.

**The types of employment opportunities generated by Section 3 covered assisted projects include management, administrative, and all construction trades (skilled and unskilled).**

### **PCHA's Internal Section 3 Complaint Procedure**

In an effort to resolve complaints generated due to non-compliance through an internal process, PCHA encourages submittal of such complaints to its PCHA designated staff as follows:

- Complaints of non-compliance should be filed in writing and must contain the name of the complainant and a brief description of the alleged violation of 24 CFR 135.
- Complaints must be filed within thirty (30) calendar days after the complainant becomes aware of the alleged violation.
- An investigation will be conducted if complaint is found to be valid. The PCHA designated staff will conduct an informal, but thorough investigation affording all interested parties, if any, an opportunity to submit testimony and/or evidence pertinent to the complaint.
- The PCHA designated staff will provide written documentation detailing the findings of the investigation to the Executive Director. The Executive Director will review the findings for accuracy and completeness before it is released to complainants. The findings will be made available no later than thirty (30) days after the filing of complaint.

If complainants wish to have their concerns considered outside of the PCHA, a complaint may be filed with the local HUD FHEO Office or to:

Assistant Secretary for Fair Housing and Equal Opportunity  
United States Department of Housing and Urban Development  
451 Seventh Street, SW, Room 5100  
Washington, DC 20410-2000  
1-800-669-9777  
1-800-927-9276 (TTY)  
[www.hud.gov](http://www.hud.gov)      [www.espanol.hud.gov](http://www.espanol.hud.gov)

The complaint must be received not later than 180 days from the date of the action or omission upon which the complaint is based, unless the time for filing is extended by the Assistant Secretary for good cause shown.

### **External Section 3 Complaint Procedure**

Individuals and business concerns may, personally or through an authorized representative, file with the Executive Director of PCHA any complaints alleging noncompliance with Section 3 involving PCHA contracts at the following address:

Mrs. Debra Johnson  
Executive Director/CEO  
Pinellas County Housing Authority  
11479 Ulmerton Road  
Largo, Florida 33778

If the complaint cannot be satisfied through PCHA, the Assistant Secretary may be contacted for further resolution:

- Complaints of non-compliance should be filed in writing to the local HUD FHEO office or to:

Assistant Secretary for Fair Housing and Equal Opportunity  
United States Department of Housing and Urban Development  
451 Seventh Street, SW, Room 5100  
Washington, DC 20410-2000  
1-800-669-9777  
1-800-927-9276 (TTY)

[www.hud.gov](http://www.hud.gov)

[www.espanol.hud.gov](http://www.espanol.hud.gov)

A written complaint should contain:

- Name of person filing the complaint;
- Name and address of subject of complaint (HUD recipient or contractor);
- Description of acts or omissions in alleged violation of Section 3;
- Statement of corrective actions sought.

Complaints must be filed within thirty (30) calendar days after the complainant becomes aware of the alleged violation.

## **Definitions**

**Applicant** - Any entity which makes an application for Section 3 covered assistance, and includes, but is not limited to, any State, unit of local government, public housing agency or other public body, public or private nonprofit organization, private agency or institution, mortgagor, developer, limited dividend sponsor, builder, property manager, community housing development organization, resident management corporation, resident council, or cooperative association.

**Assistant Secretary** - the Assistant Secretary for Fair Housing and Equal Opportunity.

**Business concern** - a business entity formed in accordance with State law, and which is licensed under State, county or municipal law to engage in the type of business activity for which it was formed.

**Contractor** - any entity which contracts to perform work generated the expenditure of Section 3 covered assistance, or for work in connection with a Section 3 covered project.

**Davis Bacon Act** - The Davis-Bacon Act requires the payment of prevailing wage rates (which are determined by the U.S. Dept. of Labor) to all laborers and mechanics on Federal Government construction projects in excess of \$2,000. Construction includes alteration and/or repair, including painting and decorating of public buildings or public works.

**Employment Opportunities Generated by Section 3 Covered Assistance** - all employment opportunities generated by the expenditure of Section 3 covered public assistance (i.e., operating assistance, development assistance and modernization assistance, (as described in Section 135.3 (a) (1)). With respect to Section 3 covered housing and community development assistance, this term means all employment opportunities arising in connection with Section 3 covered projects (as described in Section 135.3 (a) (2)), including management and administrative jobs. Management and administrative jobs include architectural, engineering or related professional services required to prepare plans, drawings, specifications, or work write-ups; and jobs directly related to administrative support of these activities, e.g., construction manager, relocation specialist, payroll clerk, etc.

**Extremely Low-income person** - families (including single persons) whose incomes do not exceed 30 per centum of the median income for the area, as determined by the Secretary, with adjustments for smaller and larger families, except that the Secretary may establish income ceilings higher or lower than 30 per centum of the median for the area on the basis of the Secretary's findings that such variations are necessary because of prevailing levels of construction costs or unusually high or low-income families

**Housing Authority** (HA) - Public Housing Agency.

**Housing Development** - low-income housing owned, developed, or operated by public housing agencies in accordance with HUD's public housing program regulations codified in 24 CFR Chapter IX.

**HUD Youthbuild Programs** - programs that receive assistance under subtitle D of Title IV of the National Affordable Housing Act, as amended by the Housing and Community Development Act of 1992 (42 U.S.C. 12899), and provide disadvantaged youth with opportunities for employment, education, leadership development, and training in the construction or rehabilitation of housing for homeless individuals and members of low- and very low-income families.

**Low-income person** - families (including single persons) whose incomes do not exceed 80 per centum of the median income for the area, as determined by the Secretary, with adjustments for smaller and larger families, except that the Secretary may establish income ceilings higher or lower than 80 per centum of the median for the area on the basis of the Secretary's findings that such variations are necessary because of prevailing levels of construction costs or unusually high or low-income families.

**Metropolitan Area** - a metropolitan statistical area (MSA), as established by the Office of Management and Budget.

**Neighborhood Area** - (For HUD Housing Programs) a geographical location defined as an economically depressed area of Pinellas County by the PCHA.

**New Hires** - full-time employees for permanent, temporary or seasonal employment opportunities.

**Recipient** - any entity which receives Section 3 covered assistance, directly from HUD or from another recipient and includes, but is not limited to, any State, unit of local government, PHA, or other public body, public or private nonprofit organization, private agency or institution, mortgagor, developer, limited dividend sponsor, builder, property manager, community housing development organization, resident management corporation, resident council, or cooperative association. Recipient also includes any successor, assignee or transferee of any such entity, but does not include any ultimate beneficiary under the HUD program to which Section 3 applies and does not include contractors.

**Section 3** - Section 3 of the Housing and Urban Development Act of 1968, as amended (12 U.S.C. 1701u).

**Section 3 Business Concern** - a business concern,

- 1) That is 51 percent or more owned by Section 3 residents; or

- 2) Whose permanent, full-time employees include persons, at least 30 percent of whom are currently Section 3 residents, or within three years of the date of first employment with the business concern were Section 3 residents; or
- 3) That provides evidence of a commitment to subcontract in excess of 25 percent of the dollar award of all subcontracts to be awarded to business concerns that meet the qualifications set forth in paragraphs 1 or 2 above.

**Section 3 Covered Assistance** -

- 1) public housing development assistance provided pursuant to Section 5 of the 1937 Act;
- 2) public housing operating assistance provided pursuant to Section 9 of the 1937 Act;
- 3) public housing modernization assistance provided pursuant to Section 14 of the 1937 Act;
- 4) assistance provided under any HUD housing or community development program that is expended for work arising in connection with housing rehabilitation, construction, or other public construction project (which includes other buildings or improvements, regardless of ownership).

**Section 3 Clause** - the contract provisions set forth in Section 135.38.

**Section 3 Covered Contracts** - a contract or subcontract (including a professional service contract) awarded by a recipient or contractor for work generated by the expenditure of Section 3 covered assistance, or for work arising in connection with a Section 3 covered project.

Section 3 covered contracts do not include contracts awarded under HUD's procurement program, which are governed by the Federal Acquisition Regulation (FAR). Section 3 covered contracts also do not include contracts for the purchase of supplies and materials. However, whenever a contract for materials includes the installation of the materials, the contract constitutes a Section 3 covered contract.

**Section 3 Covered Project** - the construction, reconstruction, conversion or rehabilitation of housing (including reduction and abatement of lead-based paint hazards), other public construction which includes buildings or improvements (regardless of ownership) or other services contracted by PCHA assisted with housing or community development assistance.

**Section 3 Resident** - a public housing resident or an individual who resides in the metropolitan area or Non-metropolitan County in which the Section 3 covered assistance is expended and who is considered to be a low- and very low-income person.

**Subcontractor** - any entity (other than a person who is an employee of the contractor) which has a contract with a contractor to undertake a portion of the contractor's obligation for the performance of work generated by the expenditure of Section 3 covered assistance, or arising in connection with a Section 3 covered project.

**Very low-income person** - families (including single persons) whose incomes do not exceed 50 per centum of the median family income for the area, as determined by the Secretary with adjustments for smaller and larger families, except that the Secretary may establish income ceilings higher or lower than 50 per centum of the median for the area on the basis of the Secretary's findings that such variations are necessary because of unusually high or low family incomes.

### **Section 3 Contract Clause**

This clause specifies the requirements for contractors awarded contracts for Section 3 covered projects and must be included in all Section 3 covered projects. The Section 3 clause follows:

- A. The work to be performed under this contract is subject to the requirements of Section 3 of the Housing and Urban Development Act of 1968, as amended 12 U.S.C. 1701u Section 3. The purpose of Section 3 is to ensure that employment and other economic opportunities generated by HUD assistance or HUD-assisted projects covered by Section 3, shall, to the greatest extent feasible, be directed to low- and very low-income persons, particularly persons who are recipients of HUD assistance for housing.
- B. The parties to this contract agree to comply with HUD's regulations in 24 CFR Part 135, which implement Section 3. As evidenced by their execution of this contract, the parties to this contract certify that they are under no contractual or other impediment that would prevent them from complying with the Part 135 regulations.
- C. The contractor agrees to send to each labor organization or representative of workers with which the contractor has a collective bargaining agreement or other understanding, if any, a notice advising the labor organization or workers' representative of the contractor's commitments under this Section 3 clause, and will post copies of the notice in conspicuous places at the work site where both employees and applicants for training and employment positions can see the notice. The notice shall describe the Section 3 preference, shall set forth minimum number and job titles subject to hire, availability of apprenticeship and training positions, the qualifications for each; the name and location of the person(s) taking applications for each of the positions; and, the anticipated date the work shall begin.
- D. The contractor agrees to include this Section 3 clause in every subcontract subject to compliance with regulations in 24 CFR Part 135, and agrees to take appropriate action, as provided in an applicable provision of the subcontract or in this Section 3 clause, upon a finding that the subcontractor is in violation of the regulations in 24 CFR Part 135. The contractor will not subcontract with any subcontractor where the contractor has notice or knowledge that the subcontractor has been found in violation of the regulations in 24 CFR Part 135.
- E. The contractor will certify that any vacant employment positions, including training positions, that are filled 1) after the contractor is selected but before the contract is executed, and 2) with persons other than those to whom the regulations of 24 CFR Part 135 require employment opportunities to be directed, were not filled to circumvent the contractor's obligations under 24 CFR Part 135.



- F. Noncompliance with HUD's regulations in 24 CFR Part 135 may result in sanctions, termination of this contract for default, and debarment or suspension from future HUD assisted contracts.
  
- G. With respect to work performed in connection with Section 3 covered Indian housing assistance, section 7(b) of the Indian Self-Determination and Education Assistance Act (25 U.S.C. 450e) also applies to the work to be performed under this contract. Section 7(b) requires that to the greatest extent feasible (i) preference and opportunities for training and employment shall be given to Indians, and (ii) preference in the award of contracts and subcontracts shall be given to Indian organizations and Indian-owned Economic Enterprises. Parties to this contract that are subject to the provisions of section 3 and section 7(b) agree to comply with section 3 to the maximum extent feasible, but not in derogation of compliance with section 7(b).

This contracting clause is the sole purpose for which all Section 3 efforts are monitored for compliance.



PINELLAS COUNTY HOUSING AUTHORITY

## Section 3 Contracting Policy and Procedure



## Section 3 Contracting Policy and Procedure

### INTRODUCTION

#### **Mission Statement**

**As a leader and innovator, our mission is to provide safe, quality housing for persons in need and to cultivate healthy, vibrant neighborhoods for Pinellas County.**

The purpose of Section 3 of the Housing and Urban Development Act of 1968 (12 U.S.C. 1701u) (Section 3) is to ensure that employment and other economic opportunities generated by certain HUD financial assistance shall, to the greatest extent feasible, and consistent with existing Federal, State, and local laws and regulations, be directed to low and very-low income individuals, especially recipients of government assistance for housing, and to businesses that provide economic opportunities to low and very-low income individuals. All contractors must comply with the Davis Bacon Act. (Section 3 means section 3 of the Housing and Urban Development Act of 1968, as amended 12 U.S.C. 1701u).

Section 3 requirements apply to all contractors and subcontractors performing work in connection with projects and activities funded by public housing assistance covered by Section 3, regardless of the amount of the contract or subcontract.

A business seeking to qualify for a Section 3 contracting preference shall certify or submit evidence that the business qualifies as a Section 3-business. (Refer to What Is A Section 3 Business?). The Section 3 business must also be able to demonstrate its ability to complete the contract. The ability to perform successfully under the terms and conditions of the proposed contract is required of all contractors and subcontractors subject to the procurement standards of 24 CFR 85.36, 24 CFR 85.36b(8).

Contractors who do not qualify as a Section 3 business, but who enter into contracts with the Pinellas County Housing Authority must agree to comply with the required Section 3 Clause, attached hereto. All contractors and subcontractors, including Section 3 businesses, must comply with these requirements. Included, is the requirement that each contractor and subcontractor submit a report of Section 3 compliance with each pay request (refer to Section 3 Compliance Report). Failure to comply with these requirements may lead to sanctions, which can include termination of the contract for default and suspension or debarment from future HUD-assisted contracts (refer to Sanctions for Contractor's Noncompliance).

Please direct any questions you may have regarding this information to:

Regina Booker  
Chief Operating Officer  
Pinellas County Housing Authority  
(727) 443-7684 X3050  
Email Address: [rbooker@pinellashousing.com](mailto:rbooker@pinellashousing.com)

## WHAT IS A SECTION 3 BUSINESS?

**A Section 3 Business is a business, as defined in this section--**

1. That is fifty-one percent (51%) or more owned by Section 3 residents; or
2. In which at least thirty percent (30%) of its permanent, full-time employees include persons who are certified as Section 3 residents, or whom within three years of the date of first employment were Section 3 residents; or
3. That provides evidence of a commitment to subcontract to businesses that meet the qualifications set forth in items (1) or (2) above, in excess of twenty-five percent (25%) of the dollar award of all subcontracts to be awarded.

**Note: A business concern seeking to qualify for Section 3 shall certify and submit evidence that the business meets one of the guidelines stated above. (Refer to Certification for Business Concerns Seeking Section 3 Preference in Contracting and Demonstration of Capability Form – Page 11).**

## **WHO IS A SECTION 3 RESIDENT?**

**For purposes of the Pinellas County Housing Authority, a Section 3 resident is:**

1. A public housing resident;
2. Youthbuild participants;
3. Section 8 recipients and other individuals who reside in the jurisdictional boundaries of the Pinellas County Housing Authority whose income fall within the guidelines for low and very low-income persons.

## **ORDER OF PROVIDING PREFERENCE SECTION 3 BUSINESS CONCERN**

When considering the award of contracts to Section 3 business concerns, and more than one Section 3 business concern is being considered, to the greatest extent possible, awards shall be made in the following order of priority:

1. A Section 3 business concern that is fifty-one percent (51%) or more owned by resident(s) of the public housing development in which the work is directed, or whose full-time, permanent employees include at least thirty percent (30%) of the residents of the public housing development in which the work is directed.
2. A Section 3 business that is majority owned by resident(s) of other developments owned by the Pinellas County Housing Authority, but not the housing development in which the work is directed, or whose full-time, permanent employees include at least thirty percent (30%) residents of other developments owned by the Pinellas County Housing Authority, but not the housing development in which the work is directed.
3. HUD Youthbuild programs that are being carried out in the area in which the Section 3 covered assistance is expended.
4. A Section 3 business concern that is majority owned by a Section 3 resident who is not a public housing resident or whose permanent, full-time, permanent workforce includes no less than thirty percent (30%) Section 3 residents who are not public housing residents, or subcontracts in excess of twenty-five percent (25%) of the total amount of subcontracts to Section 3 business concerns.

Contracting goals for Section 3 business concerns are at least ten percent (10%) of the total dollar amount of all Section 3 related contracts for the building trades work (for rehabilitation, construction, maintenance, repair, modernization or development of public housing) and at least three percent (3%) of all other Section 3 contracts.

**Note: A Section 3 business concern seeking any of the above preferences shall submit evidence that it meets the guidelines of that preference.**

## WHAT IF MY BUSINESS DOES NOT QUALIFY AS A SECTION 3 BUSINESS?

The Housing Authority will, to the greatest extent feasible, offer contracting opportunities to Section 3 business concerns. However, in the event no Section 3 business bids on a contract, or bids but is not able to demonstrate to the Housing Authority's satisfaction that it has the ability to perform successfully under the terms and conditions of the proposed contract, then that contract will be awarded to a non-Section 3 business concern that can meet the terms and conditions of the proposed contract through the competitive bidding process.

That business concern must meet, as all businesses must (including Section 3 businesses), the general conditions of compliance (refer to Section 3 Clause in General Conditions for Construction Contracts and General Conditions of the Non-Construction Contract).

This will include:

1. Submitting a list of all positions necessary to complete contract, names of employees who will fill those positions, names of all other employees.
2. Posting notices of any vacant positions, including training and/or apprenticeship positions, qualifications for positions, place where applications will be received and starting date of employment.
3. To the greatest extent possible, making available vacant positions, including training and/or apprenticeship positions, to Section 3 residents (all categories) in order of priority.
4. As positions are vacated during completion of contract, following guidelines enumerated in numbers 2 and 3 above.
5. Submitting Compliance Reports as required.
6. If notified of non-compliance, correcting non-compliance within allowable time period.



# **ORDER OF PROVIDING PREFERENCE EMPLOYMENT OF SECTION 3 RESIDENT**

When considering the employment of a Section 3 resident, the following order of priority is followed as outlined in 24 CFR 135:

- 1. Category 1 – Section 3 Resident**  
Residents of the housing development in which the contract shall be expended.
- 2. Category 2 – Section 3 Resident**  
Residents of other housing developments managed by the Pinellas County Housing Authority.
- 3. Category 3 – Section 3 Resident**  
Participants in HUD Youthbuild program being carried out within PCHA's jurisdictional boundary.
- 4. Category 4 – Section 3 Resident**  
Section 8 recipients and all other residents within PCHA's jurisdictional boundary who meet the income guidelines for Section 3 preference (refer to Section 3 Income Limits).

**In all cases, applicants must meet the minimum qualifications for the position. In no instance shall it be construed that preference is given to Section 3 residents who do not meet these minimum qualifications.**

**The types of employment opportunities generated by Section 3 covered assisted projects include management, administrative, and all construction trades (skilled and unskilled).**

## SECTION 3 CLAUSE

- A. The work to be performed under this contract is subject to the requirements of Section 3 of the Housing and Urban Development Act of 1968, as amended 12 U.S.C. 1701u Section 3. The purpose of Section 3 is to ensure that employment and other economic opportunities generated by HUD assistance or HUD-assisted projects covered by Section 3, shall, to the greatest extent feasible, be directed to low- and very low-income persons, particularly persons who are recipients of HUD assistance for housing.
- B. The parties to this contract agree to comply with HUD's regulations in 24 CFR Part 135, which implement Section 3. As evidenced by their execution of this contract, the parties to this contract certify that they are under no contractual or other impediment that would prevent them from complying with the Part 135 regulations.
- C. The contractor agrees to send to each labor organization or representative of workers with which the contractor has a collective bargaining agreement or other understanding, if any, a notice advising the labor organization or workers' representative of the contractor's commitments under this Section 3 clause, and will post copies of the notice in conspicuous places at the work site where both employees and applicants for training and employment positions can see the notice. The notice shall describe the Section 3 preference, shall set forth minimum number and job titles subject to hire, availability of apprenticeship and training positions, the qualifications for each; the name and location of the person(s) taking applications for each of the positions; and, the anticipated date the work shall begin.
- D. The contractor agrees to include this Section 3 clause in every subcontract subject to compliance with regulations in  
  
24 CFR Part 135, and agrees to take appropriate action, as provided in an applicable provision of the subcontract or in this Section 3 clause, upon a finding that the subcontractor is in violation of the regulations in 24 CFR Part 135. The contractor will not subcontract with any subcontractor where the contractor has notice or knowledge that the subcontractor has been found in violation of the regulations in 24 CFR Part 135.
- E. The contractor will certify that any vacant employment positions, including training positions, that are filled 1) after the contractor is selected but before the contract is executed, and 2) with persons other than those to whom the regulations of 24 CFR Part 135 require employment opportunities to be directed, were not filled to circumvent the contractor's obligations under 24 CFR Part 135.
- F. Noncompliance with HUD's regulations in 24 CFR Part 135 may result in sanctions, termination of this contract for default, and debarment or suspension from future HUD assisted contracts.
- G. With respect to work performed in connection with Section 3 covered Indian housing assistance, section 7(b) of the Indian Self-Determination and Education Assistance Act (25 U.S.C. 450e) also applies to the work to be performed under this contract. Section 7(b) requires that to the greatest extent feasible (i) preference and opportunities for training and employment shall be given to Indians, and (ii) preference in the award of contracts and subcontracts shall be given to Indian organizations and Indian-owned Economic Enterprises. Parties to this contract that are subject to the provisions of section 3 and section 7(b) agree to comply with section 3 to the maximum extent feasible, but not in derogation of compliance with section 7(b).

**CERTIFICATION FOR BUSINESSES SEEKING SECTION 3 PREFERENCE IN  
CONTRACTING AND DEMONSTRATION OF CAPABILITY**

Name of Business \_\_\_\_\_

Address of Business \_\_\_\_\_

Type of Business:             Corporation             Partnership             LLC  
    Sole Proprietorship     Joint Venture             Other

Attached is the following documentation as evidence of status:

For business claiming status as a Section 3 resident-owned enterprise:

- |  |   |
|--|---|
| <input type="checkbox"/> Copy of resident lease  | <input type="checkbox"/> Copy of receipt of public assistance |
| <input type="checkbox"/> Copy of evidence of participation<br>in a public assistance program | <input type="checkbox"/> Other evidence                       |

For the business entity as applicable:

- |   |   |
|---|---|
| <input type="checkbox"/> Copy of Articles of Incorporation  | <input type="checkbox"/> Certificate of Good Standing             |
| <input type="checkbox"/> Assumed Business Name Certificate  | <input type="checkbox"/> Partnership Agreement                    |
| <input type="checkbox"/> List of owners/stockholders and<br>% ownership of each                   | <input type="checkbox"/> Corporation Annual Report                |
| <input type="checkbox"/> Organization chart with names and titles<br>and brief function statement | <input type="checkbox"/> Latest Board minutes appointing officers |
|   | <input type="checkbox"/> Additional documentation                 |

**For business claiming Section 3 status by subcontracting 25 percent of the dollar awarded to qualified Section 3 business:**

- List of subcontracted Section 3 business(es) and subcontract amount

**For business claiming Section 3 status, claiming at least 30 percent of their workforce are currently Section 3 residents or were Section 3 eligible residents within 3 years of date of first employment with the business:**

- |   |  |
|---|--|
| <input type="checkbox"/> List of all current full-time employees                                | <input type="checkbox"/> List of employees claiming Section 3 status                                     |
| <input type="checkbox"/> PHA/IHA Residential lease less than 3<br>years from date of employment | <input type="checkbox"/> Other evidence of Section 3 status less than 3<br>years from date of employment |

**Evidence of ability to perform successfully under the terms and conditions of the proposed contract (attach all documents below):**

- Current financial statement
- Statement of ability to comply with public policy
- List of owned equipment
- List of all contracts for the past two years

\_\_\_\_\_  
Authorizing Name and Signature

\_\_\_\_\_  
Print Authorized Name

Attested by: \_\_\_\_\_

Date: \_\_\_\_\_

(Corporate Seal)

# PINELLAS COUNTY HOUSING AUTHORITY

## RESIDENT EMPLOYMENT OPPORTUNITY DATA ELIGIBILITY FOR PREFERENCE

### Eligibility for Preference

A Section 3 resident seeking the preference in training and employment provided by this part shall certify, or submit evidence to the recipient contractor or subcontractor, if requested, that the person is a Section 3 resident, as defined in Section 135. (An example of evidence of eligibility for the preference is evidence of receipt of public assistance, or evidence of participation in a public assistance program.)

### Certification for Resident Seeking Section 3 Preference in Training and Employment

I, \_\_\_\_\_, am a legal resident of \_\_\_\_\_  
(County)

and meet the income eligibility guidelines for a low- or very-low-income person as published on the reverse.

My permanent address is:

\_\_\_\_\_  
\_\_\_\_\_

I have attached the following documentation as evidence of my status:

- |   |   |
|---|---|
| <input type="checkbox"/> Copy of lease  | <input type="checkbox"/> Copy of receipt of public assistance |
| <input type="checkbox"/> Copy of Evidence of participation in a public assistance program | <input type="checkbox"/> Other evidence                       |

\_\_\_\_\_  
\_\_\_\_\_

Signature

Date

Print Name

Email Address

**PINELLAS COUNTY HOUSING AUTHORITY**  
**Section 3 INCOME LIMITS for 2018**

All residents of public housing developments of the Pinellas County Housing Authority qualify as Section 3 residents. Additionally, individuals residing within the PCHA's jurisdictional boundary who meet the income limits set forth below may also qualify for Section 3 resident status.

A picture identification card and proof of current residency is required.

**Eligibility Guideline**

<b>Number in Household</b>	<b>Low (80%) Income Limits</b>
1 individual	\$35,800
2 individuals	\$40,900
3 individuals	\$46,000
4 individuals	\$51,100
5 individuals	\$55,200
6 individuals	\$59,300
7 individuals	\$63,400
8 individuals	\$67,500

## Resident Hiring Requirements

The PCHA has adopted the following scale for resident hiring that is to be used on all construction contracts, service contracts and professional service contracts that contain a labor component. It is expected that an appropriate number of residents with particular qualifications or a willingness to provide unskilled labor will be able to participate in PCHA's contracted labor efforts. A prime contractor may satisfy PCHA resident hiring requirements through its subcontractors.

<b>USE TOTAL LABOR DOLLARS FOR CONSTRUCTION USE TOTAL CONTRACT AMOUNT FOR SERVICE CONTRACTS</b>	<b>RESIDENT AS A % OF TOTAL LABOR DOLLARS</b>
Labor dollars less than \$100,000	10% of the labor dollars
\$100,000, but less than \$200,000	9% of the labor dollars
At least \$200,000, but less than \$300,000	8% of the labor dollars
At least \$300,000, but less than \$400,000	7% of the labor dollars
At least \$400,000, but less than \$500,000	6% of the labor dollars
At least \$500,000, but less than \$1 million	5% of the labor dollars
At least \$1 million, but less than \$2 million	4% of the labor dollars
At least \$2 million, but less than \$4 million	3% of the labor dollars
At least \$4 million, but less than \$7 million	2% of the labor dollars
\$7 million or more	1 - 1/2% of the labor dollars

1. Subcontract or joint venture with a resident owned business. The business must be 51% or more owned by Rainbow Village or Lakeside Terrace public housing residents, or subcontract/joint venture with a business that employs full-time, 30% or more Rainbow Village or Lakeside Terrace public housing residents, or specific low, very low-income, and extremely low-income individuals within a 50 mile radius of the site where the project commences.
2. Direct hiring of qualified Pinellas County Housing Authority's Rainbow Village or Lakeside Terrace public housing residents, or Section 8 recipients and/or low and very low-income neighborhood residents and provide job training to Section 3 residents if there are no qualified individuals for open positions.
3. Contractor contributes to PCHA's Resident Education Fund to assist residents to obtain training. The level of contribution would be commensurate with the sliding scale set forth above.

**Exhibit 2**

<b>Contractor Name:</b> _____ <b>Representative Name:</b> _____
--

**SECTION 3 OPPORTUNITIES PLAN**

***Business Opportunities and Employment Training of the Pinellas County Housing Authority  
Public Housing Residents and Low and Very Low Income Neighborhood Residents***

**I. Opportunities Plan**

The Contractor is a Section 3 business or has identified \_\_\_\_\_ Section 3 resident owned business(es) or \_\_\_\_\_ business(es) which employ 30% or more Section 3 residents to comply with \_\_\_\_\_% of its Section 3 requirements covered under Contract # \_\_\_\_\_ . (Option 1)

Alternately, the Contractor hereby agrees to comply with all the provisions of Section 3 as set forth in 24 CFR 135.1 et seq. and PCHA Resolutions implementing Section 3 requirements. The Contractor hereby submits this document to identify employment opportunities for the PCHA public housing residents and low and very low income area residents, during the term of the contract between the Contractor and PCHA. The Contractor affirms that the jobs identified shall be for meaningful employment that may or may not be related to the scope of services covered under Contract # \_\_\_\_\_. The Contractor has committed to employ and/or train the following in order to comply with \_\_\_\_\_% of its Section 3 requirements. (Option 2)

If compliance is not met 100% by the Option(s) chosen on page 2, the Contractor hereby agrees by signing below that any outstanding percentage remaining will be deducted from draw requests and placed in the PCHA's Section 3 Educational Fund Account.

**II. Labor Survey:**

SPEC OR RFP TITLE		SPEC OR RFP NUMBER					
(1) JOB TITLE	(2) NEEDED	(3) NUMBER OF POSITIONS FILLED				(4) HIRING GOAL	
		(a) TOTAL	(b) LIPCHAR	(c) LIAR	(4) TO BE FILLED	(a) LIPCHAR	(b) LIAR

## Exhibit 2

### III. Resident List

Section 3 Resident Employee Information (Jobs to be filled by LIPCHAR and LIAR)

JOB TITLE	LIPCHAR OR LIAR NAME	ADDRESS	SOCIAL SECURITY NUMBER

LIPCHAR = Low and Very Low Income Pinellas County Housing Authority Resident

LIAR = Low and Very Low Income Area Resident

Please check the Option(s) that describe your contracting efforts:

- Option 1: Contractor is, or Joint ventures with, or subcontract with Section 3 Certified Business.
- Option 2: Hire Section 3 certified residents who are qualified for open positions and provide job training to Section 3 residents if there are no qualified residents for open positions.
- Option 3: Contribute to PCHA's resident education and training fund.

In the event I am awarded the contract, I have the option to submit my check in the compliance amount at the start of contract date, or allow PCHA to deduct payment from my draw requests. (Compliance amount is calculated using the labor dollars of the contract award for construction projects and 100% of professional contract awards.)

You may comply by choosing one or all options. Remember, 100% of compliance is required or any remaining percentage will be deducted from your draw request and placed in the PCHA's resident education fund account. The level of contribution would be commensurate with the sliding scale set forth on page 14 of the Section 3 Contracting Policy.

The failure of the contractor to comply with the above-approved plan shall be a material breach of the contract.

Contractor Name: \_\_\_\_\_

Representative Name and Title: \_\_\_\_\_

Contractor Representative's Signature: \_\_\_\_\_

Date: \_\_\_\_\_



# ATTACHMENT #4

General Decision Number: FL190081 01/04/2019 FL81

Superseded General Decision Number: FL20180124

State: Florida

Construction Type: Residential

County: Pinellas County in Florida.

RESIDENTIAL CONSTRUCTION PROJECTS (consisting of single family homes and apartments up to and including 4 stories).

Note: Under Executive Order (EO) 13658, an hourly minimum wage of \$10.60 for calendar year 2019 applies to all contracts subject to the Davis-Bacon Act for which the contract is awarded (and any solicitation was issued) on or after January 1, 2015. If this contract is covered by the EO, the contractor must pay all workers in any classification listed on this wage determination at least \$10.60 per hour (or the applicable wage rate listed on this wage determination, if it is higher) for all hours spent performing on the contract in calendar year 2019. If this contract is covered by the EO and a classification considered necessary for performance of work on the contract does not appear on this wage determination, the contractor must pay workers in that classification at least the wage rate determined through the conformance process set forth in 29 CFR 5.5(a)(1)(ii) (or the EO minimum wage rate, if it is higher than the conformed wage rate). The EO minimum wage rate will be adjusted annually. Please note that this EO applies to the above-mentioned types of contracts entered into by the federal government that are subject to the Davis-Bacon Act itself, but it does not apply to contracts subject only to the Davis-Bacon Related Acts, including those set forth at 29 CFR 5.1(a)(2)-(60). Additional information on contractor requirements and worker protections under the EO is available at [www.dol.gov/whd/govcontracts](http://www.dol.gov/whd/govcontracts).

Modification Number	Publication Date
0	01/04/2019

ENGI0925-008 06/01/2013

	Rates	Fringes
--	-------	---------

POWER EQUIPMENT OPERATOR:

Crawler Cranes; Truck Cranes; Pile Driver Cranes; Rough Terrain Cranes; and Any Crane not otherwise described below...	\$ 29.61	11.50
Hydraulic Cranes Rated 100 Tons or Above but Less Than 250 Tons; and Lattice Boom Cranes Less Than 150 Tons if not described below.	\$ 30.61	11.50
Lattice Boom Cranes Rated at 150 Tons or Above; Friction Cranes of Any Size; Mobile Tower Cranes or Luffing Boom Cranes of		

Any Size; Electric Tower  
 Cranes; Hydraulic Cranes  
 Rated at 250 Tons or  
 Above; and Any Crane  
 Equipped with 300 Foot or  
 More of Any Boom  
 Combination.....\$ 31.61      11.50  
 Oiler.....\$ 22.91      11.50

\* IRON0397-004 07/01/2018

	Rates	Fringes
IRONWORKER, REINFORCING.....	\$ 29.85	15.97

SUFL2009-120 06/08/2009

	Rates	Fringes
BRICKLAYER.....	\$ 20.00	0.00
CARPENTER, Includes Form Work....	\$ 11.67	2.25
CEMENT MASON/CONCRETE FINISHER...	\$ 15.63	0.00
DRYWALL FINISHER/TAPER.....	\$ 18.27	0.00
DRYWALL HANGER.....	\$ 15.00	0.00
ELECTRICIAN.....	\$ 11.98	0.00
FENCE ERECTOR.....	\$ 14.00	0.75
GLAZIER.....	\$ 15.88	0.00
INSULATOR: Batt and Blown.....	\$ 12.41	0.00
IRONWORKER, ORNAMENTAL.....	\$ 15.25	0.00
IRONWORKER, STRUCTURAL.....	\$ 14.53	0.00
LABORER: Common or General.....	\$ 8.80	0.00
LABORER: Mason Tender - Brick...	\$ 11.51	0.00
LABORER: Mason Tender - Cement/Concrete.....	\$ 11.29	0.00
LABORER: Pipelayer.....	\$ 15.14	0.00
LABORER: Roof Tearoff.....	\$ 9.00	0.00
LABORER: Landscape and Irrigation.....	\$ 10.97	0.00
OPERATOR: Asphalt Paver.....	\$ 12.40	0.00
OPERATOR: Backhoe Loader Combo.....	\$ 17.04	0.00
OPERATOR: Backhoe/Excavator.....	\$ 15.25	0.00
OPERATOR: Bulldozer.....	\$ 12.67	0.00
OPERATOR: Distributor.....	\$ 11.41	0.00

OPERATOR: Forklift.....	\$ 17.50	0.00
OPERATOR: Grader/Blade.....	\$ 14.00	0.00
OPERATOR: Loader.....	\$ 11.50	0.00
OPERATOR: Roller.....	\$ 10.62	0.00
OPERATOR: Screed.....	\$ 10.93	0.00
OPERATOR: Trackhoe.....	\$ 14.81	0.00
OPERATOR: Tractor.....	\$ 10.20	0.00
PAINTER, Includes Brush, Roller and Spray (Excludes Drywall Finishing/Taping).....		
	\$ 13.59	0.00
PLASTERER.....	\$ 13.91	0.00
PLUMBER.....	\$ 12.97	0.00
ROOFER, Includes Built Up, Modified Bitumen, and Shake & Shingle Roofs (Excludes Metal Roofs).....		
	\$ 15.98	0.00
ROOFER: Metal Roof.....	\$ 16.99	0.00
SHEET METAL WORKER, Includes HVAC Duct Installation (Excludes Metal Roof Installation).....		
	\$ 14.82	0.00
TILE SETTER.....	\$ 16.00	0.00
TRUCK DRIVER, Includes Dump Truck.....		
	\$ 10.22	0.00
TRUCK DRIVER: Lowboy Truck.....	\$ 12.10	0.00

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WELDERS - Receive rate prescribed for craft performing operation to which welding is incidental.

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Note: Executive Order (EO) 13706, Establishing Paid Sick Leave for Federal Contractors applies to all contracts subject to the Davis-Bacon Act for which the contract is awarded (and any solicitation was issued) on or after January 1, 2017. If this contract is covered by the EO, the contractor must provide employees with 1 hour of paid sick leave for every 30 hours they work, up to 56 hours of paid sick leave each year. Employees must be permitted to use paid sick leave for their own illness, injury or other health-related needs, including preventive care; to assist a family member (or person who is like family to the employee) who is ill, injured, or has other health-related needs, including preventive care; or for reasons resulting from, or to assist a family member (or person who is like family to the employee) who is a victim of, domestic violence, sexual assault, or stalking. Additional information on contractor requirements and worker protections under the EO is available at [www.dol.gov/whd/govcontracts](http://www.dol.gov/whd/govcontracts).

Unlisted classifications needed for work not included within the scope of the classifications listed may be added after award only as provided in the labor standards contract clauses (29CFR 5.5 (a) (1) (ii)).

-----

The body of each wage determination lists the classification and wage rates that have been found to be prevailing for the cited type(s) of construction in the area covered by the wage determination. The classifications are listed in alphabetical order of "identifiers" that indicate whether the particular rate is a union rate (current union negotiated rate for local), a survey rate (weighted average rate) or a union average rate (weighted union average rate).

#### Union Rate Identifiers

A four letter classification abbreviation identifier enclosed in dotted lines beginning with characters other than "SU" or "UAVG" denotes that the union classification and rate were prevailing for that classification in the survey. Example: PLUM0198-005 07/01/2014. PLUM is an abbreviation identifier of the union which prevailed in the survey for this classification, which in this example would be Plumbers. 0198 indicates the local union number or district council number where applicable, i.e., Plumbers Local 0198. The next number, 005 in the example, is an internal number used in processing the wage determination. 07/01/2014 is the effective date of the most current negotiated rate, which in this example is July 1, 2014.

Union prevailing wage rates are updated to reflect all rate changes in the collective bargaining agreement (CBA) governing this classification and rate.

#### Survey Rate Identifiers

Classifications listed under the "SU" identifier indicate that no one rate prevailed for this classification in the survey and the published rate is derived by computing a weighted average rate based on all the rates reported in the survey for that classification. As this weighted average rate includes all rates reported in the survey, it may include both union and non-union rates. Example: SULA2012-007 5/13/2014. SU indicates the rates are survey rates based on a weighted average calculation of rates and are not majority rates. LA indicates the State of Louisiana. 2012 is the year of survey on which these classifications and rates are based. The next number, 007 in the example, is an internal number used in producing the wage determination. 5/13/2014 indicates the survey completion date for the classifications and rates under that identifier.

Survey wage rates are not updated and remain in effect until a new survey is conducted.

#### Union Average Rate Identifiers

Classification(s) listed under the UAVG identifier indicate that no single majority rate prevailed for those classifications; however, 100% of the data reported for the classifications was union data. EXAMPLE: UAVG-OH-0010

08/29/2014. UAVG indicates that the rate is a weighted union average rate. OH indicates the state. The next number, 0010 in the example, is an internal number used in producing the wage determination. 08/29/2014 indicates the survey completion date for the classifications and rates under that identifier.

A UAVG rate will be updated once a year, usually in January of each year, to reflect a weighted average of the current negotiated/CBA rate of the union locals from which the rate is based.

-----  
WAGE DETERMINATION APPEALS PROCESS

1.) Has there been an initial decision in the matter? This can be:

- \* an existing published wage determination
- \* a survey underlying a wage determination
- \* a Wage and Hour Division letter setting forth a position on a wage determination matter
- \* a conformance (additional classification and rate) ruling

On survey related matters, initial contact, including requests for summaries of surveys, should be with the Wage and Hour Regional Office for the area in which the survey was conducted because those Regional Offices have responsibility for the Davis-Bacon survey program. If the response from this initial contact is not satisfactory, then the process described in 2.) and 3.) should be followed.

With regard to any other matter not yet ripe for the formal process described here, initial contact should be with the Branch of Construction Wage Determinations. Write to:

Branch of Construction Wage Determinations  
Wage and Hour Division  
U.S. Department of Labor  
200 Constitution Avenue, N.W.  
Washington, DC 20210

2.) If the answer to the question in 1.) is yes, then an interested party (those affected by the action) can request review and reconsideration from the Wage and Hour Administrator (See 29 CFR Part 1.8 and 29 CFR Part 7). Write to:

Wage and Hour Administrator  
U.S. Department of Labor  
200 Constitution Avenue, N.W.  
Washington, DC 20210

The request should be accompanied by a full statement of the interested party's position and by any information (wage payment data, project description, area practice material, etc.) that the requestor considers relevant to the issue.

3.) If the decision of the Administrator is not favorable, an interested party may appeal directly to the Administrative Review Board (formerly the Wage Appeals Board). Write to:

Administrative Review Board  
U.S. Department of Labor

200 Constitution Avenue, N.W.  
Washington, DC 20210

4.) All decisions by the Administrative Review Board are final.

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END OF GENERAL DECISION

# ATTACHMENT #5



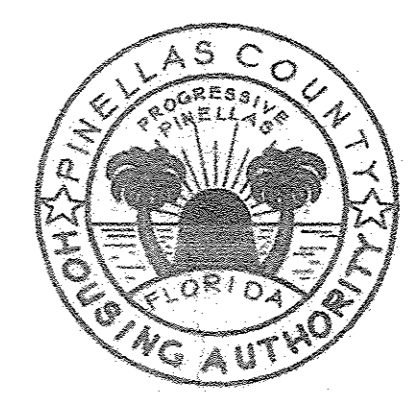
INDEX TO DRAWINGS

LEGAL DESCRIPTION

SURVEY OF LOTS 25-26 & 27 IN SOUTHWEST 1/4 OF SECTION 4, TOWNSHIP 30S, RANGE 15E.  
LOTS 1-8-9 & 10 IN NORTHWEST 1/4 OF SECTION 9, TOWNSHIP 30S, RANGE 15E.  
PINELLAS GROVES  
AS RECORDED IN PLAT BOOK 1, PAGES 55, RECORDS OF PINELLAS COUNTY FLORIDA, LESS THE RIGHT OF WAY FOR STATE ROAD NO 488 AND LESS STREET RIGHT OF WAY PER CLERK'S INSTR. NO 5, 6-016363 & 61-84189

ARCHITECTURAL

- A-1 TITLE SHEET / SITE LAYOUT PLAN
- A-2 PLAN / ELEVATIONS / SCHEDULES / NOTES : TYPE "A" UNITS (TYP. @ BLDGS. @ 8,10, 11,12,24,37,40,44,55,64,67 & 69)
- A-3 PLAN / EXTERIOR ELEVATIONS / SCHEDULES / NOTES : TYPE "B" UNITS (TYP. @ BLDGS. @ 1,3,7,8, 14,15,16,17,22,30,34,35,38,39,41,42,43,46,51,52,56,58,60,62,63,66,68,71,61 & 95)
- A-4 PLAN / EXTERIOR ELEVATIONS / SCHEDULES / NOTES : TYPE "C" UNITS (TYP. @ BLDGS. @ 2,4,5, 6,18,21,23,36,45,47,48,49,50,53,54,57,72,73,84 & 87)
- A-5 PLAN / EXTERIOR ELEVATIONS / SCHEDULES / NOTES : TYPE "D/G" UNITS (TYP. @ BLDGS. @ 13, 19,29,33,73,74,76,77,89,91,93 & 94)
- A-6 PLAN / EXTERIOR ELEVATIONS / SCHEDULES / NOTES : TYPE "E" UNITS (TYP. @ BLDGS. @ 20,25, 81,71 & 83)
- A-7 PLAN / EXTERIOR ELEVATIONS / SCHEDULES / NOTES : TYPE "F" UNITS (TYP. @ BLDGS. @ 23,26, 27,31,32,58,65,78,80,82,85,86,88 & 90)
- A-8 PLAN / EXTERIOR ELEVATIONS / SCHEDULES / NOTES : TYPE "H" UNITS (TYP. @ BLDGS. @ 75 & 92)

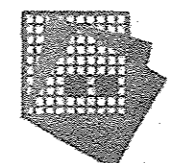


EXTERIOR PAINTING PROJECT  
RAINBOW VILLAGE APARTMENTS  
DWELLING UNITS

12301 134TH AVENUE NORTH LARGO, FLORIDA

FOR  
PINELLAS COUNTY HOUSING AUTHORITY  
209 SOUTH GARDEN AVENUE CLEARWATER, FLORIDA 34616

BOARD APPROVAL SET : 06-22-95



RENKER · EICH · PARKS ARCHITECTS

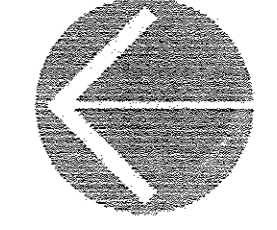
LLC, AA 0001447 1509 9th Street North, Suite B - St. Petersburg, Florida 33704-4203 (813-921-2888)

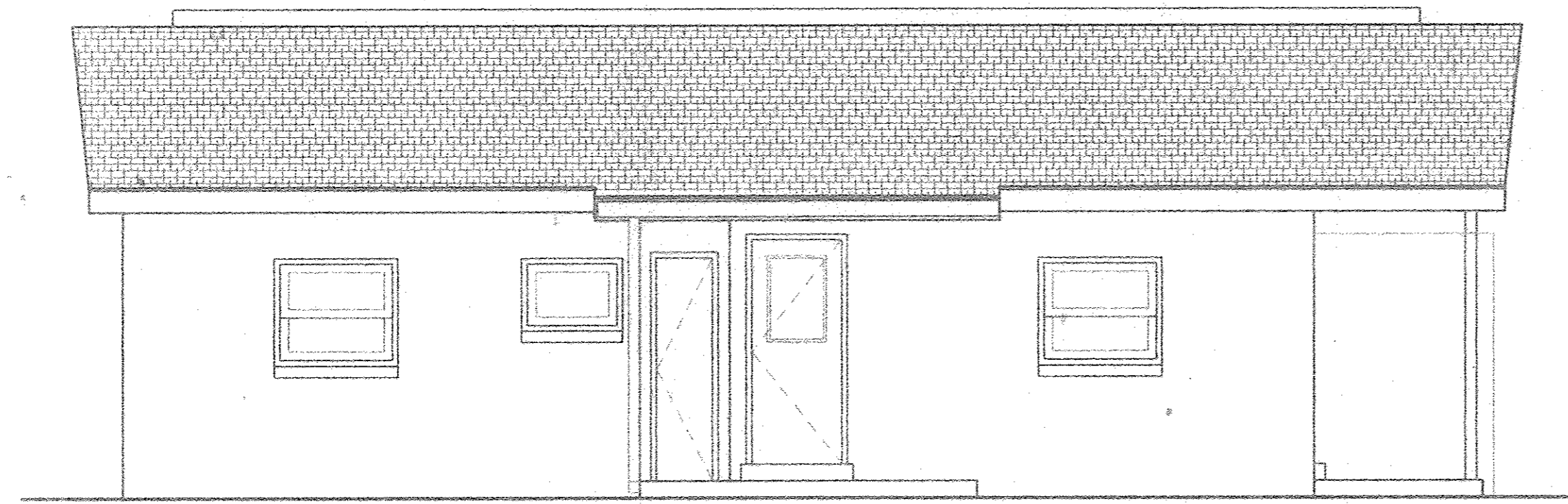
**LEDGEND**

UNIT	UNIT TYPE	(STORY)	NO. BLDGS.	NO. UNITS	SHT. REF.
A	1 BEDROOM DUPLEX	(1-STORY)	12	24	A-2
B	2 BEDROOM DUPLEX	(1-STORY)	30	40	A-3
C	3 BEDROOM DUPLEX	(1-STORY)	20	40	A-4
D*	3 BEDROOM SINGLE UNIT	(1-STORY)	12	24	A-5
E	4 BEDROOM DUPLEX	(1-STORY)	5	10	A-4
F	4 BEDROOM DUPLEX	(2-STORY)	14	28	A-7
G*	5 BEDROOM SINGLE UNIT	(2-STORY)	12	12	A-5
H	4 BEDROOM SINGLE UNIT	(1-STORY)	2	2	A-8
J	COMMUNITY BUILDING (NOT IN CONTRACT) (N.I.C.) (N.I.C.) (N.I.C.)				
	*-TRIPLEX (D/G/D)		15	200	

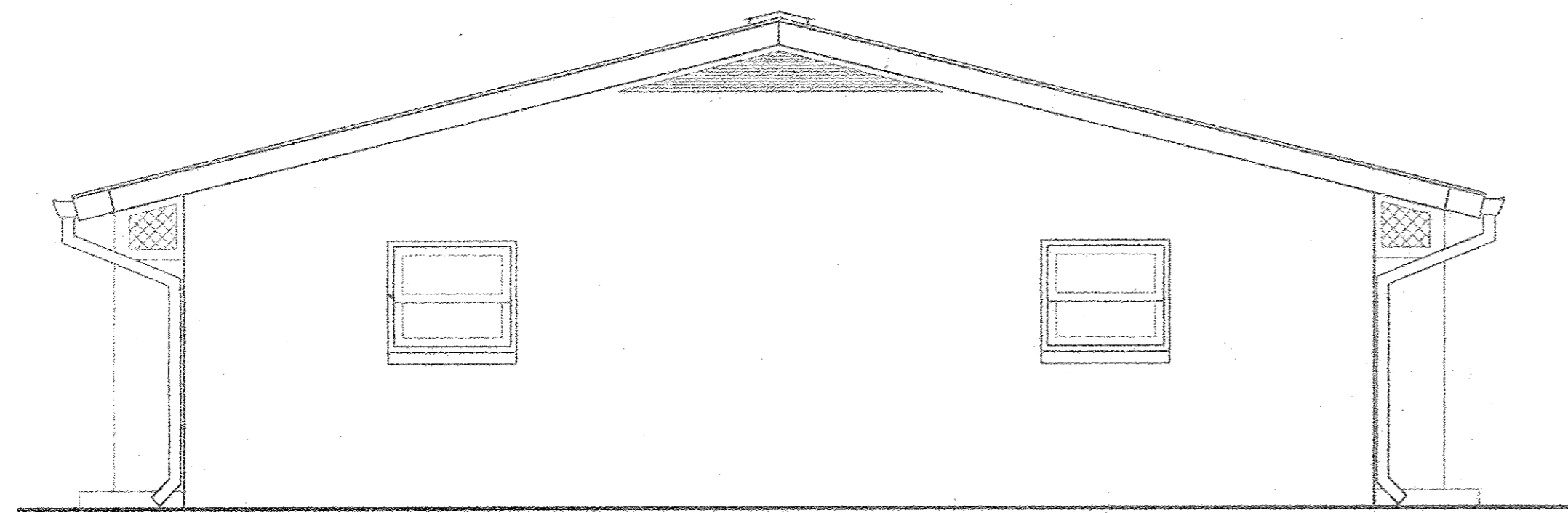
  

	BUILDING NUMBER
	UNIT TYPE
	STREET ADDRESS NUMBER
	BUILDING IN CONTRACT

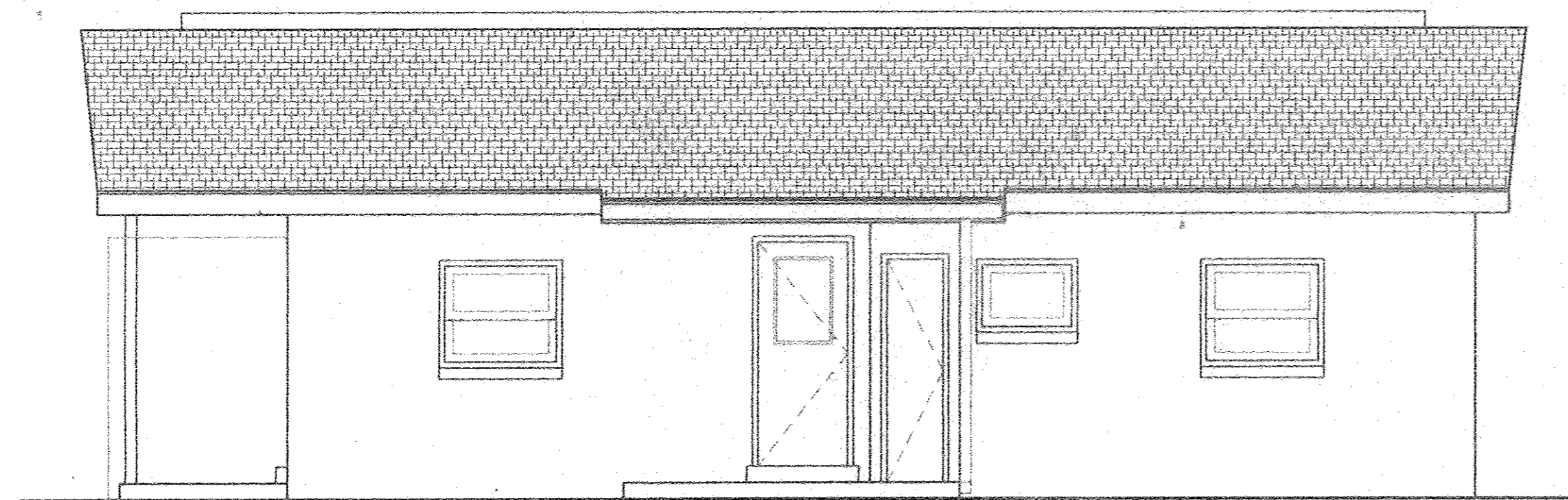




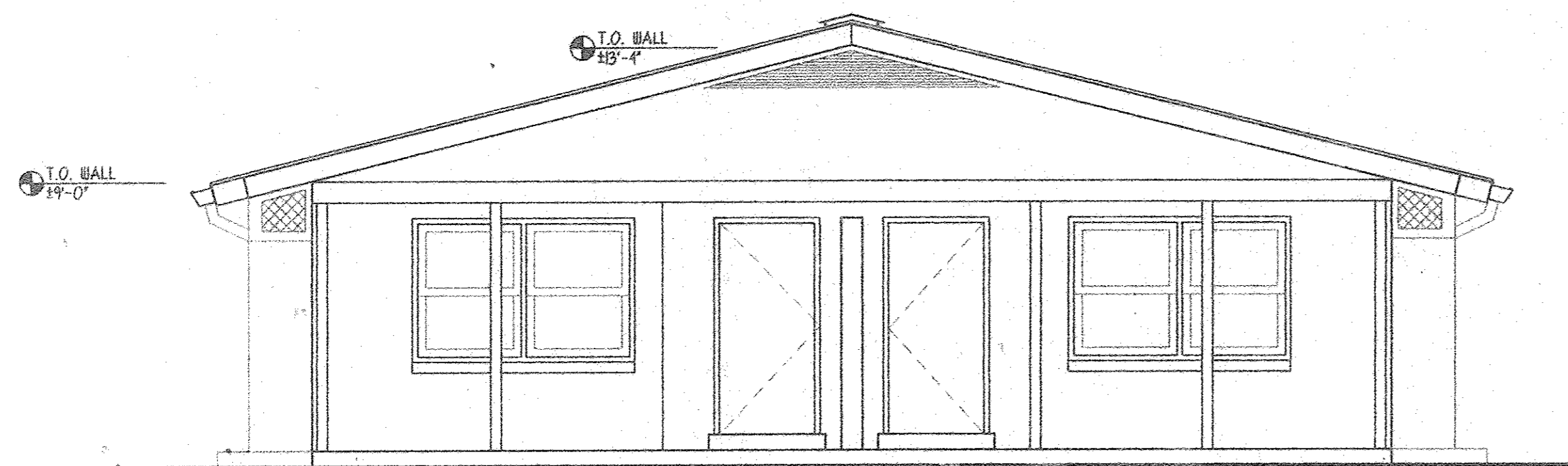
LEFT-SIDE ELEVATION



REAR ELEVATION



RIGHT-SIDE ELEVATION



FRONT ELEVATION

2 ELEVATIONS - "A" UNITS (TYPICAL @ BLDGS. NO. 8,10,11,12,24,31,40,44,55,64,61 & 69)  
A-2 SCALE: 1/4" = 1'-0"

**GENERAL NOTES:**

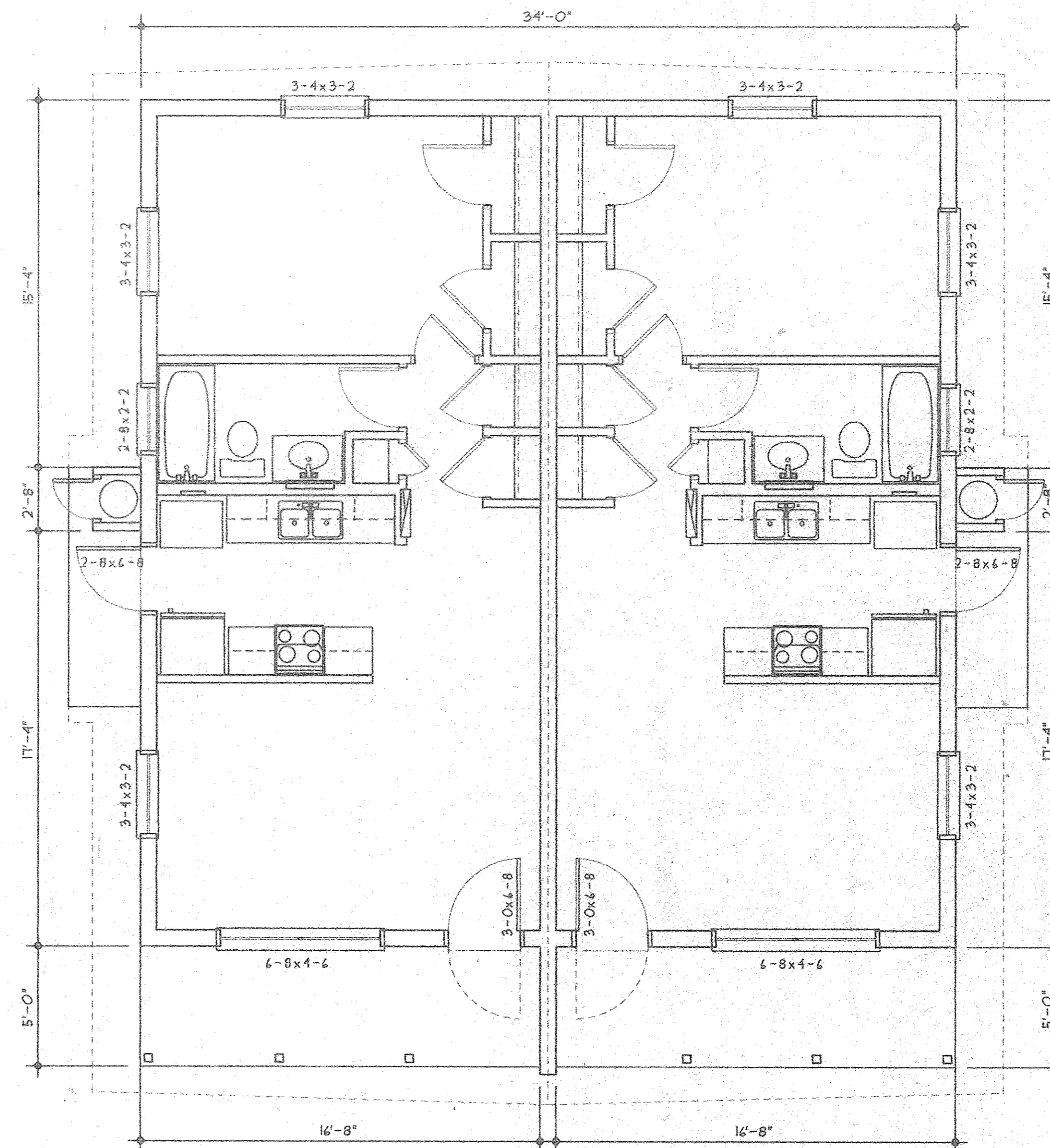
SURFACES TO BE PAINTED INCLUDE:

- \*-ALL EXTERIOR STUCCO FINISHES AND TRIM.
- \*-ALL EXTERIOR COLUMNS & BEAMS (SEE ELEVATIONS).
- \*-ALL EXTERIOR C.M.U. CONSTRUCTION (SEE ELEVATIONS).
- \*-ALL METAL GABLE VENTS (SEE ELEVATIONS).
- \*-SEE SPECIFICATIONS FOR ADDITIONAL SCOPE OF WORK.
- COLORS TO BE AS SELECTED BY OWNER FROM MANUFACTURERS STANDARD COLORS. SEE SPECIFICATIONS.
- PATCH & REPAIR ALL FINISHES #/IN SCOPE OF WORK TO MATCH EXISTING PRIOR TO PAINT APPLICATION. SEE SPECS. FOR ALLOWANCES.

EXISTING FINISHES TO REMAIN

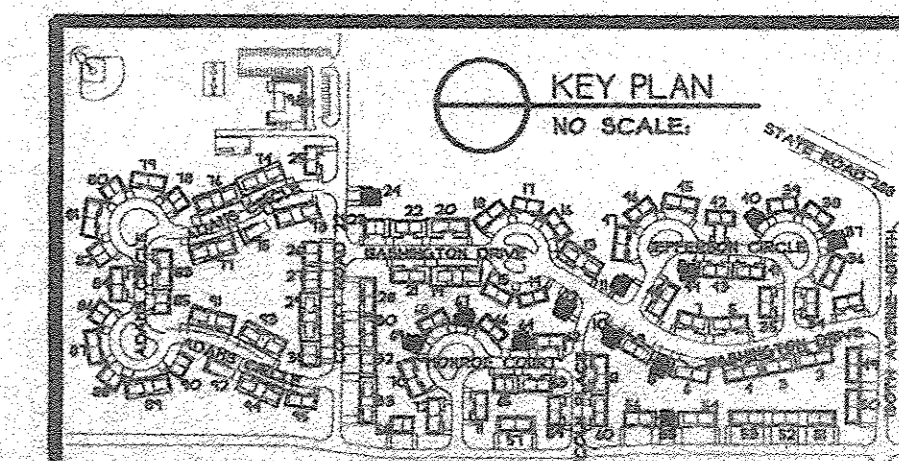
- DO NOT PAINT (N.I.C.)
- \*-EXTERIOR SOLID CORE AND HOLLOW-METAL DOORS & FRAMES & HARDWARE.
- \*-EXISTING WINDOWS & FRAMES.
- \*-EXISTING VINYL/ALUMINUM SOFFIT, FASCIA GUTTER & DOWNSPOUT SYSTEMS.
- \*-EXISTING ALUMINUM/VINYL VENTS & LOUVERS.
- \*-SEE SPECIFICATIONS FOR ADDITIONAL EXCEPTIONS.

\* FIELD VERIFY ALL DIMENSIONS.



1 FLOOR PLAN - "A" UNITS (TYPICAL @ BLDGS. NO. 8,10,11,12,24,31,40,44,55,64,61 & 69)  
A-2 SCALE: 1/4" = 1'-0"

\*-FIELD VERIFY ALL DIMENSIONS.



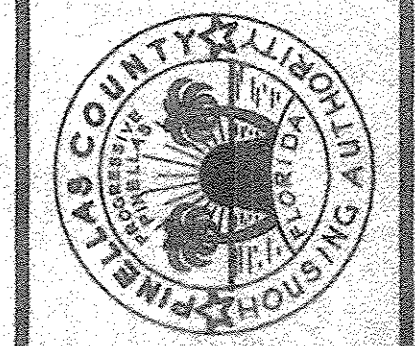
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FLOOR PLAN /  
ELEVATIONS  
TYPE "A" UNITS  
BLDGS. # 8,10,11,12,24,31,  
40,44,55,64,61 & 69

SHEET NO.:

A-2

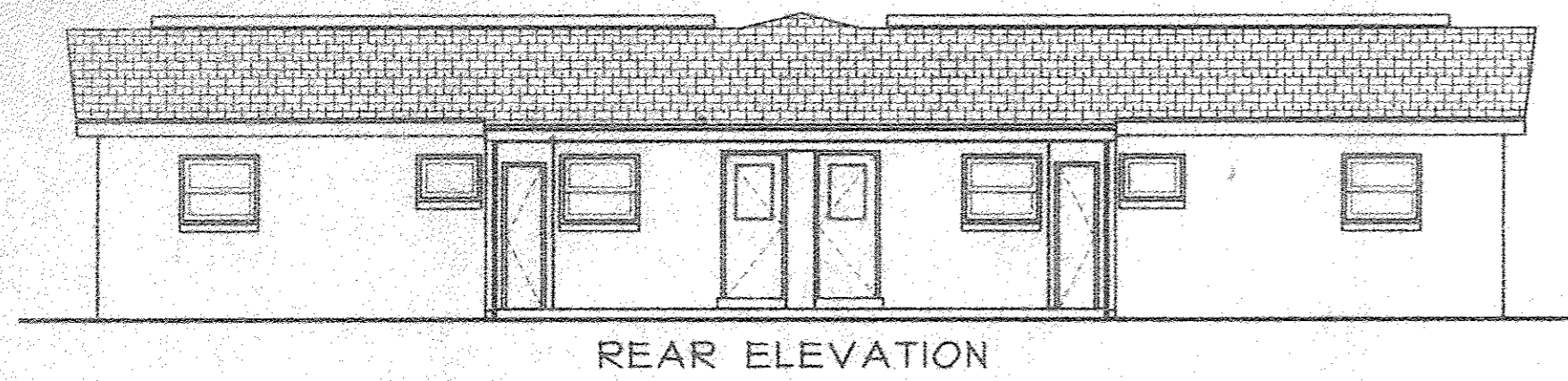
2 OF 8 SHEETS

EXTERIOR PAINTING PROJECT  
**RAINBOW VILLAGE APARTMENTS**  
DWELLING UNITS  
FOR  
PINELLAS COUNTY HOUSING AUTHORITY  
209 SOUTH GARDEN AVENUE, CLEARWATER, FLORIDA 34616

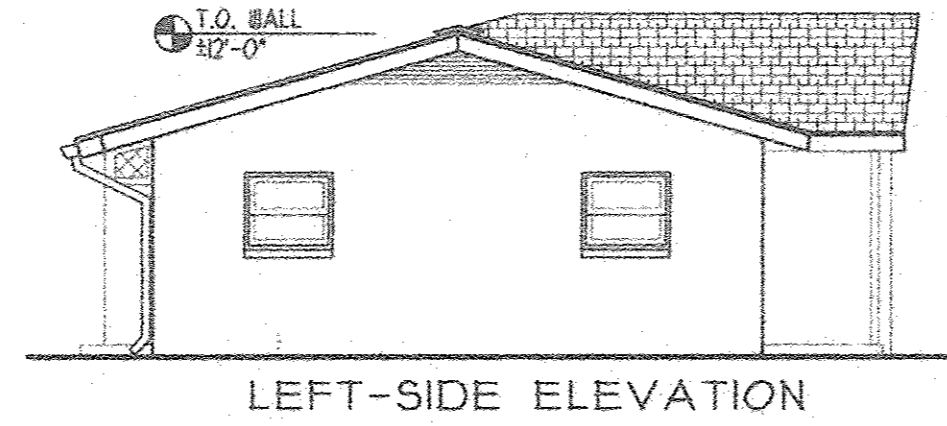


PROJECT NO.: 4451P-RV  
DATE: 04-22-95  
DRAWN BY: SWB  
REVISIONS:

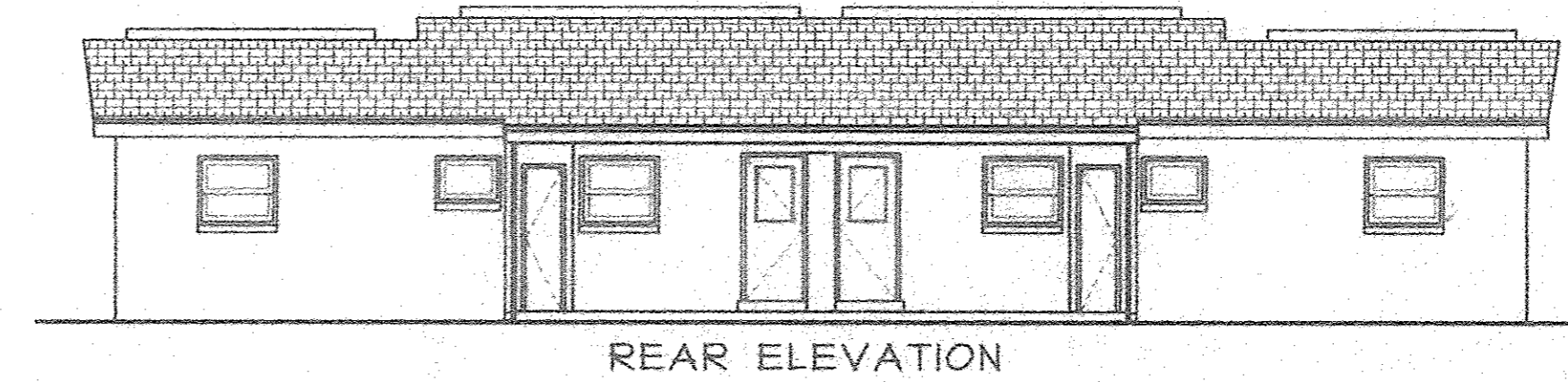
RENKER EICH PARKS ARCHITECTS  
1609 39th Street, North, Suite 9  
St. Petersburg, Florida 33714-4728  
Tel: 727-581-7980  
Fax: 727-581-7981  
www.renker.com



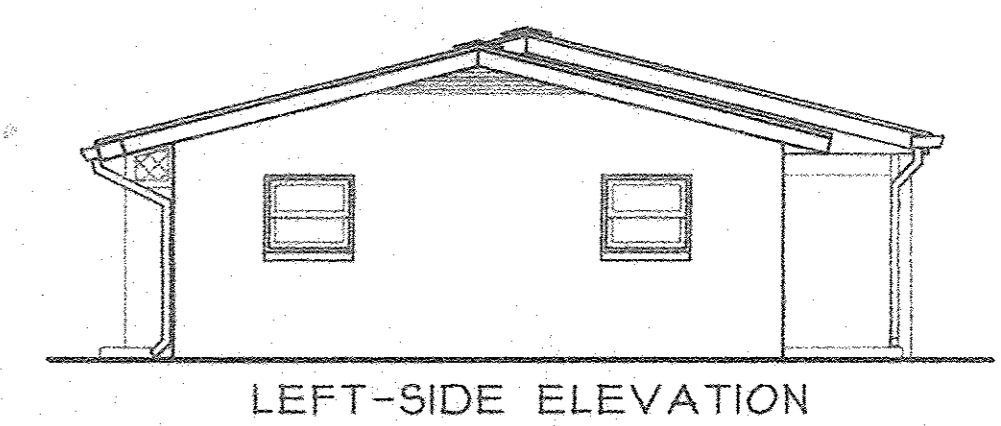
REAR ELEVATION



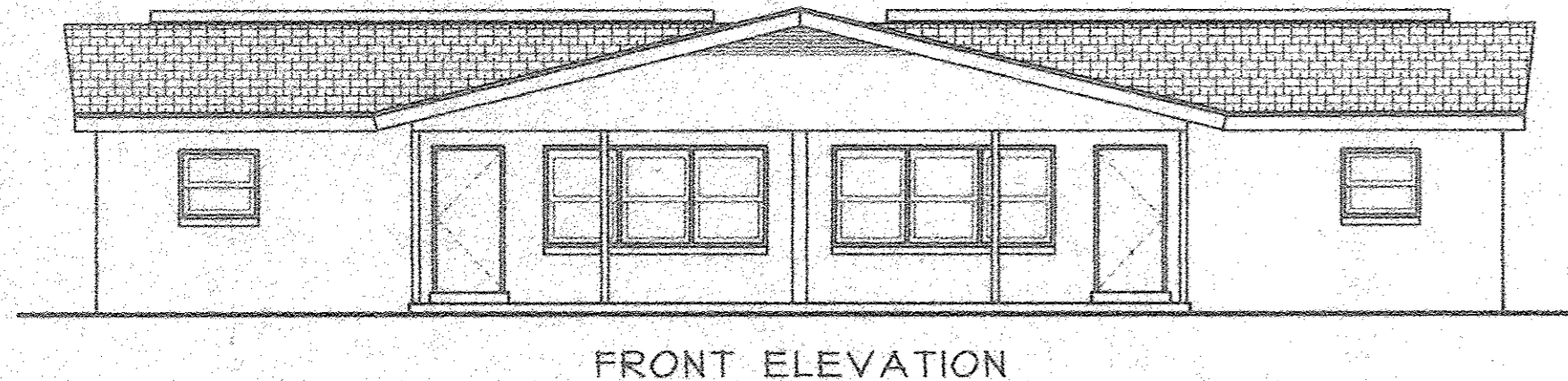
LEFT-SIDE ELEVATION



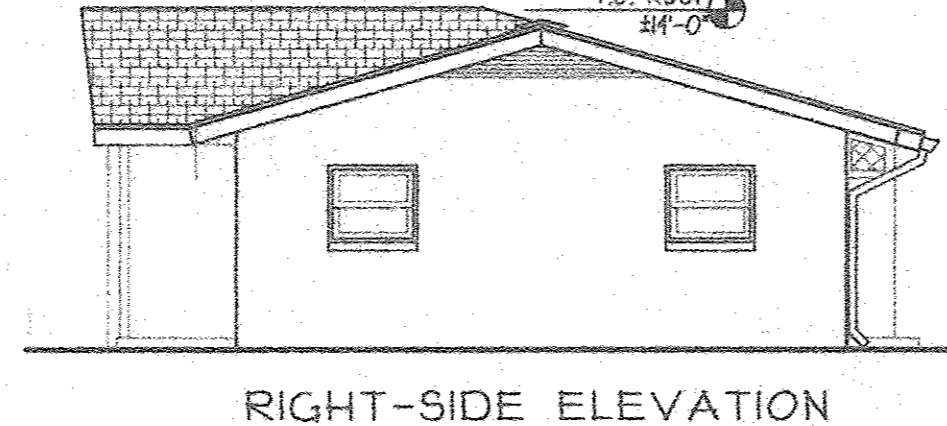
REAR ELEVATION



LEFT-SIDE ELEVATION



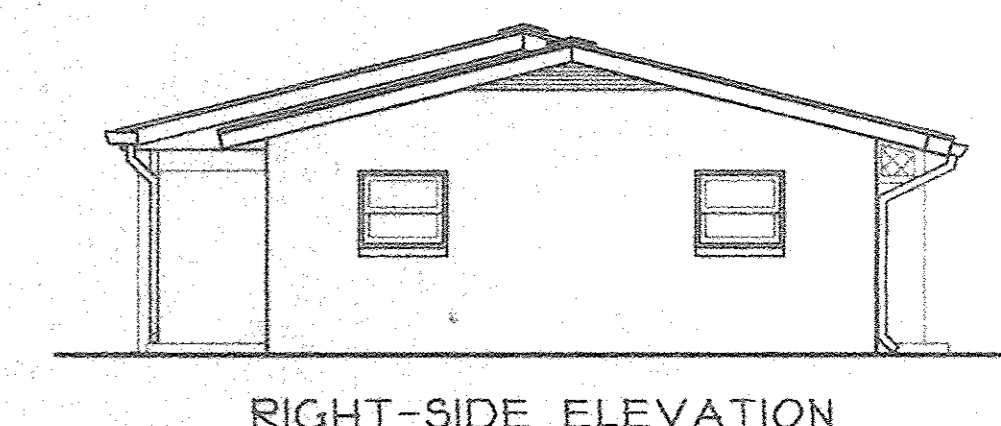
FRONT ELEVATION



RIGHT-SIDE ELEVATION



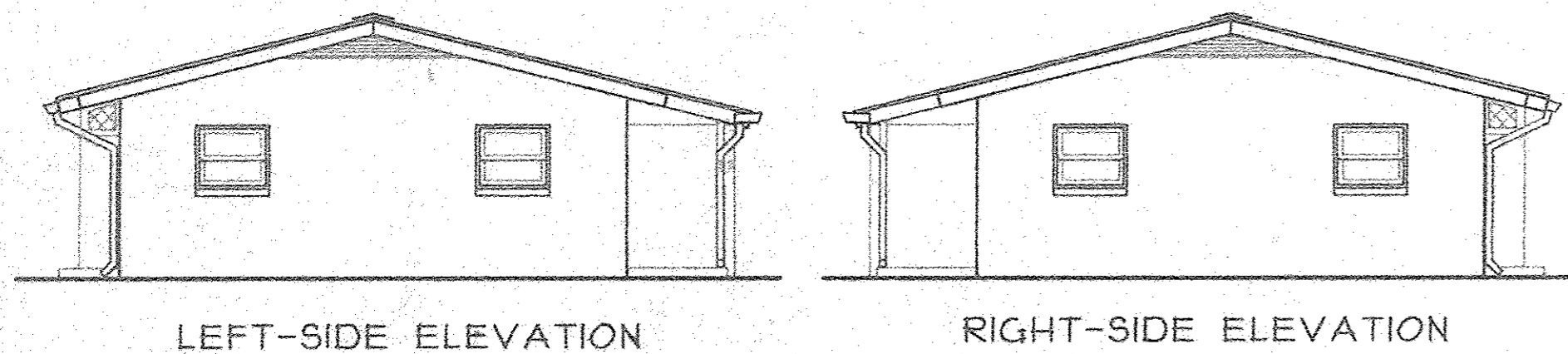
FRONT ELEVATION



RIGHT-SIDE ELEVATION

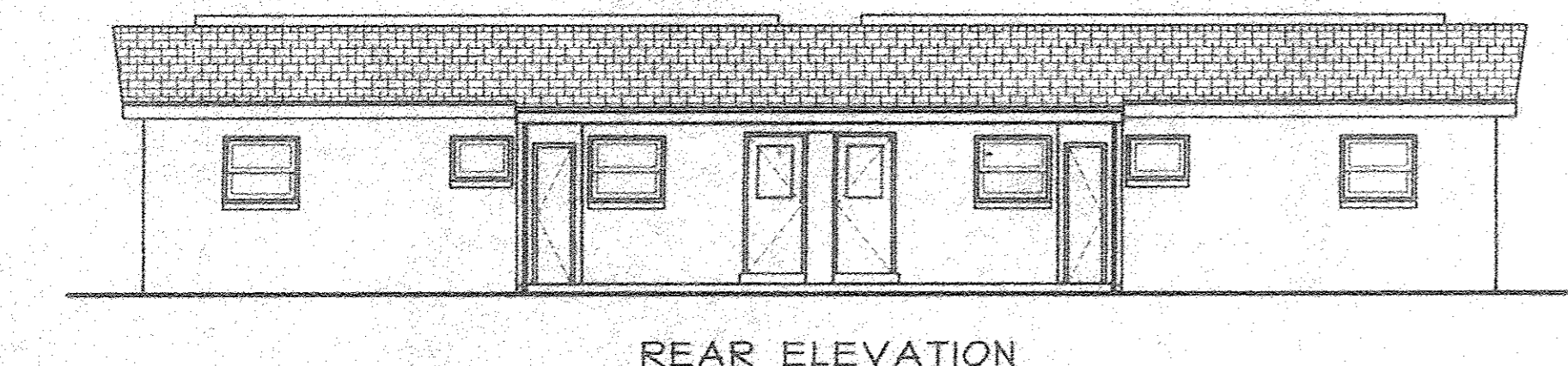
6 ELEVATIONS - "B" UNITS (TYPE-3) (TYPICAL • BLDGS. NO. 3,11,41,46,52 & 59)  
A-3 SCALE: 1/8" = 1'-0"

1 ELEVATIONS - "B" UNITS (TYPE-2) (TYPICAL • BLDGS. NO. 15,22,30,31,36,42,43,46,81 & 95)  
A-3 SCALE: 1/8" = 1'-0"

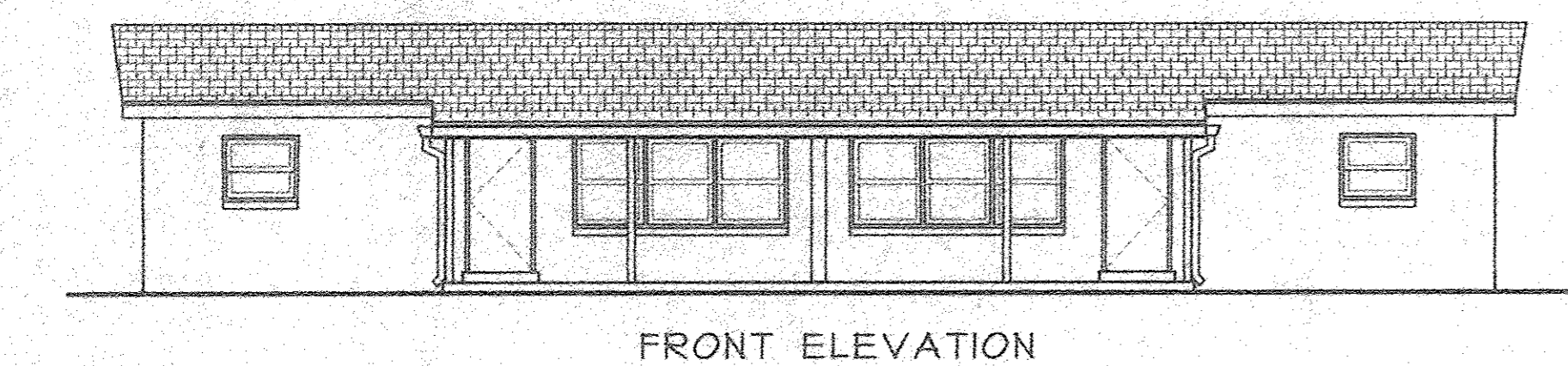


LEFT-SIDE ELEVATION

RIGHT-SIDE ELEVATION

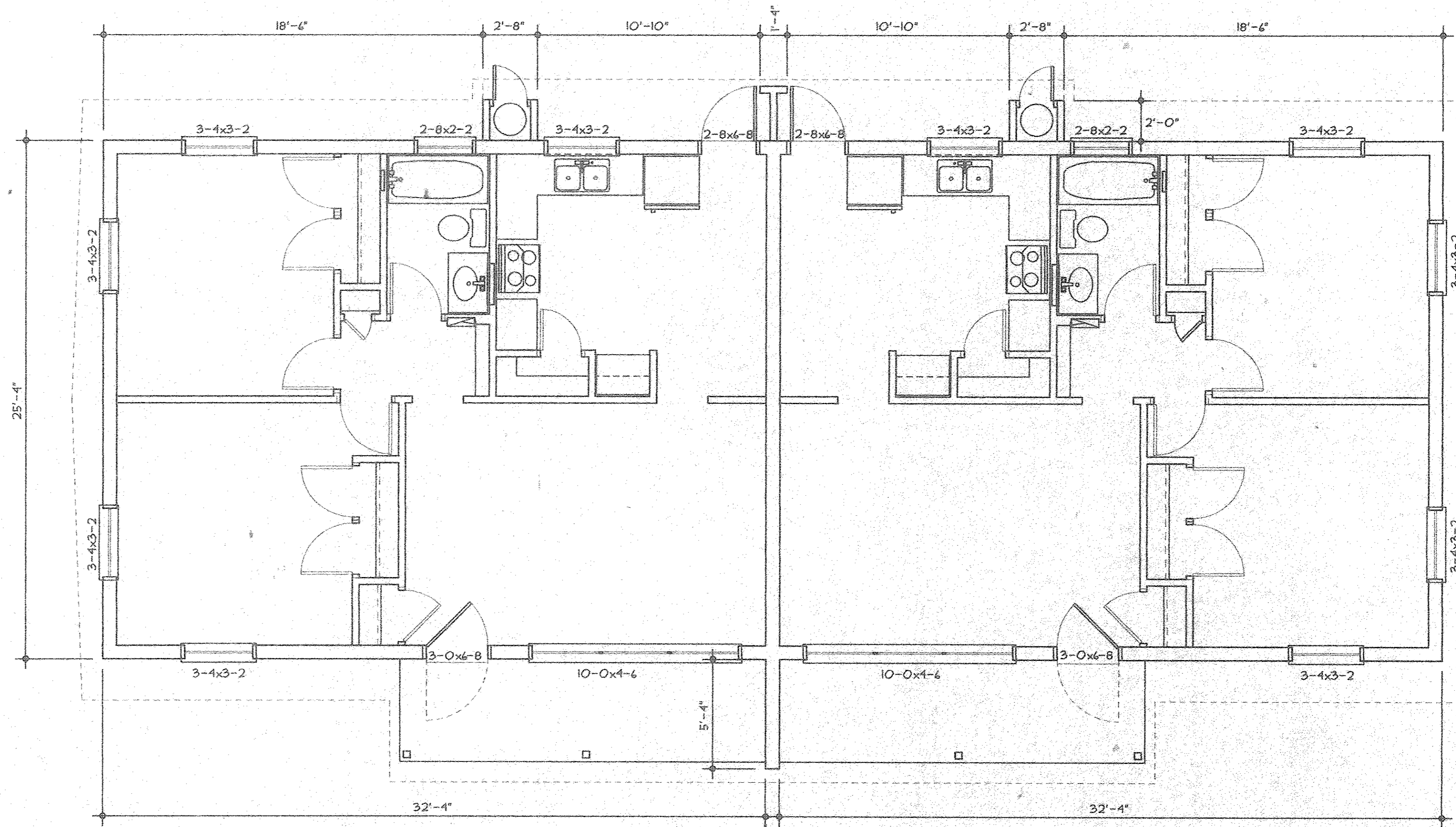


REAR ELEVATION



FRONT ELEVATION

2 ELEVATIONS - "B" UNITS (TYPE-1) (TYPICAL • BLDGS. NO. 1,9,14,16,35,39,43,51,54,60,62,64 & 71)  
A-3 SCALE: 1/8" = 1'-0"

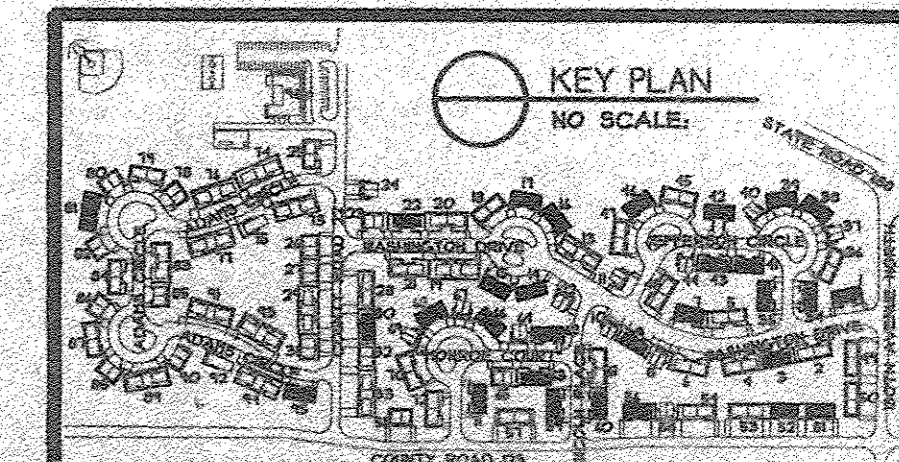


1 FLOOR PLAN - "B" UNITS (TYPE-1) (TYPICAL • BLDGS. NO. 1,9,14,16,35,39,43,51,54,60,62,64 & 71)  
A-3 SCALE: 1/4" = 1'-0"

\* - FIELD VERIFY ALL DIMENSIONS.

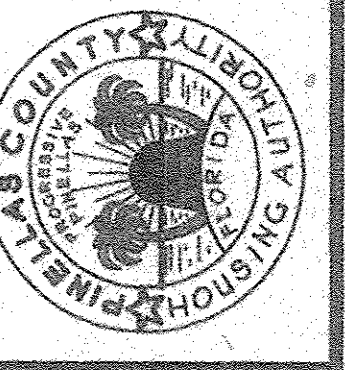
GENERAL NOTES :

- SURFACES TO BE PAINTED INCLUDE :
- \* - ALL EXTERIOR STUCCO FINISHES AND TRIM.
- \* - ALL EXTERIOR COLUMNS & BEAMS (SEE ELEVATIONS).
- \* - ALL EXTERIOR C.M.U. CONSTRUCTION (SEE ELEVATIONS).
- \* - ALL METAL GABLE VENTS (SEE ELEVATIONS).
- \* - SEE SPECIFICATIONS FOR ADDITIONAL SCOPE OF WORK.
- COLORS TO BE AS SELECTED BY OWNER FROM MANUFACTURERS STANDARD COLORS. SEE SPECIFICATIONS.
- PATCH & REPAIR ALL FINISHES #/IN SCOPE OF WORK TO MATCH EXISTING PRIOR TO PAINT APPLICATION. SEE SPECS. FOR ALLOWANCES.
- EXISTING FINISHES TO REMAIN
- DO NOT PAINT (N.I.C.)
- \* - EXTERIOR SOLID CORE AND HOLLOW-METAL DOORS & FRAMES & HARDWARE.
- \* - EXISTING WINDOWS & FRAMES.
- \* - EXISTING VINYL ALUMINUM SOFFIT, FASCIA GUTTER & DOWNSPOUT SYSTEMS.
- \* - EXISTING ALUMINUM/VINYL VENTS & LOUVERS.
- \* - SEE SPECIFICATIONS FOR ADDITIONAL EXCEPTIONS.
- \* - FIELD VERIFY ALL DIMENSIONS.

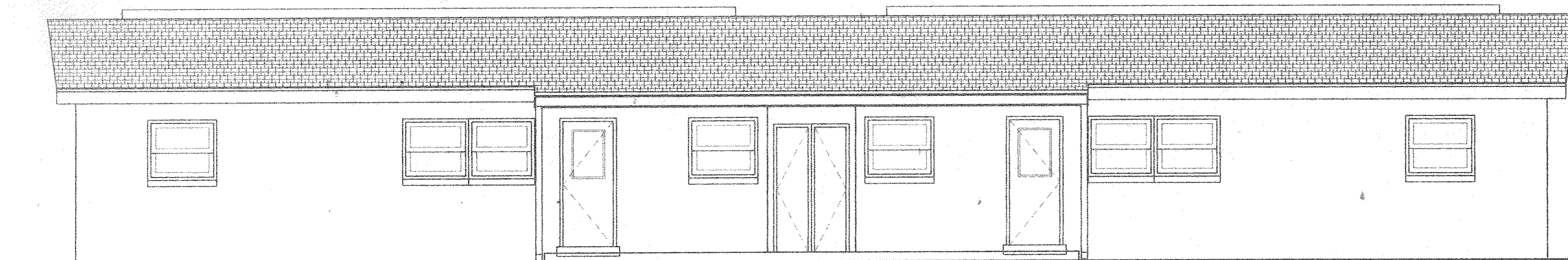


SHEET TITLE:  
ROOF PLANS/ELEVATIONS  
UNIT TYPE "B"  
BLDGS. # 1,3,7,9,14,15,16,17,  
22,30,34,35,38,39,41,42,  
43,46,51,52,56,59,60,62,  
63,66,68,71,81 & 95

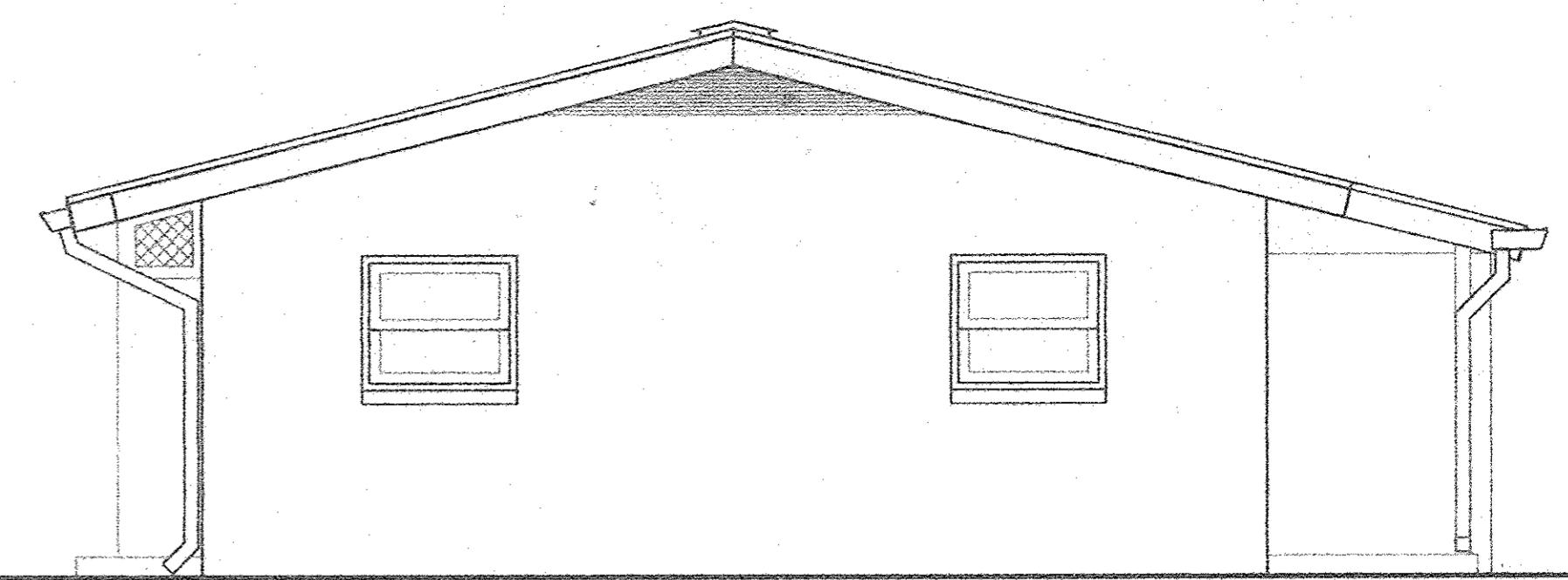
SHEET NO.:  
**A-3**  
3 OF 8 SHEETS



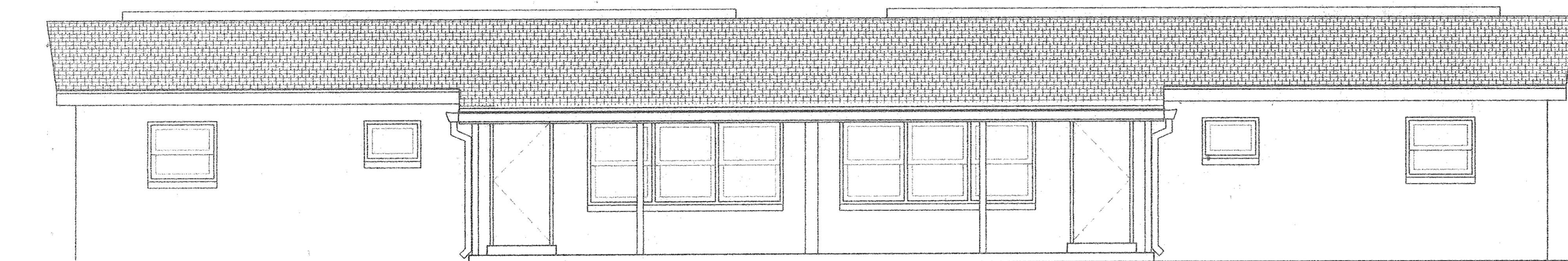
PROJECT NO.: 1451P-RV  
DATE: BD. SUBMITTAL  
06-22-95  
DRAWN BY: SWB  
REVISIONS:



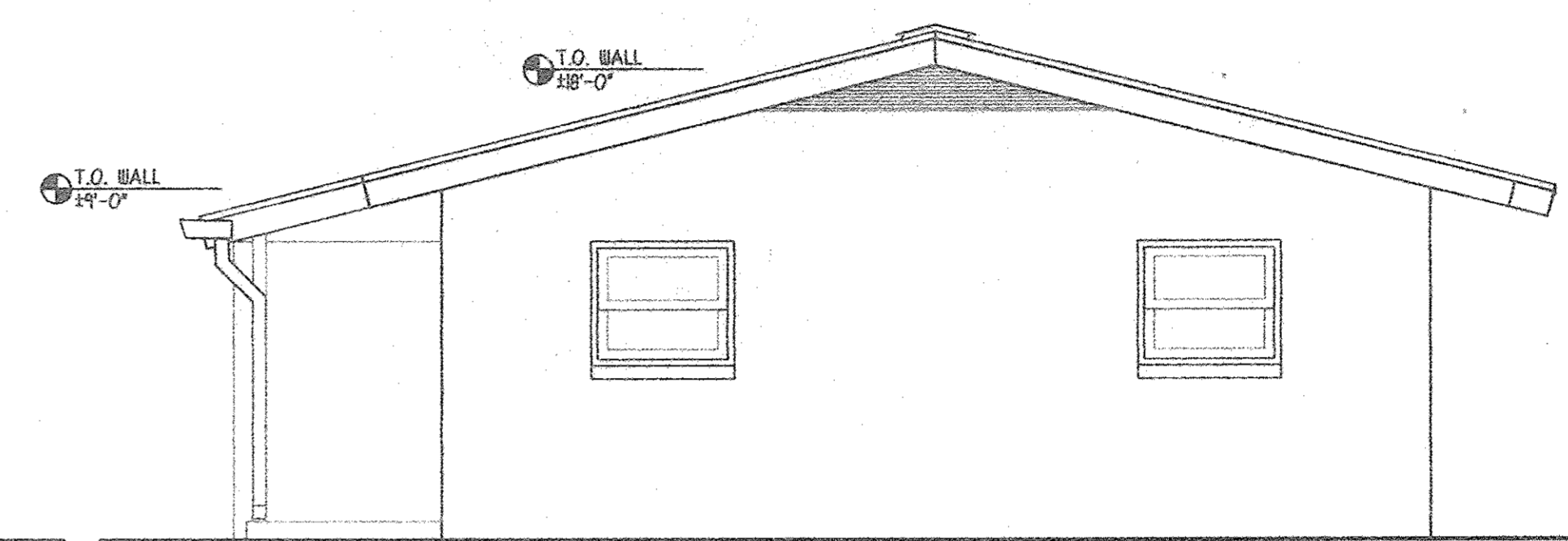
REAR ELEVATION



LEFT-SIDE ELEVATION



FRONT ELEVATION



RIGHT-SIDE ELEVATION

2 ELEVATIONS - "C" UNITS (TYPICAL \* BLDGS. NO. 2,4,5,6,8,21,28,36,45,47,48,49,50,53,54,57,72,79,84 & 87)  
A-4 SCALE: 1/4" = 1'-0"

**GENERAL NOTES :**

SURFACES TO BE PAINTED INCLUDE

- \*-ALL EXTERIOR STUCCO FINISHES AND TRIM
- \*-ALL EXTERIOR COLUMNS & BEAMS (SEE ELEVATIONS)
- \*-ALL EXTERIOR C. R. U. CONSTRUCTION (SEE ELEVATIONS)
- \*-ALL METAL GABLE VENTS (SEE ELEVATIONS)
- \*-SEE SPECIFICATIONS FOR ADDITIONAL SCOPE OF WORK

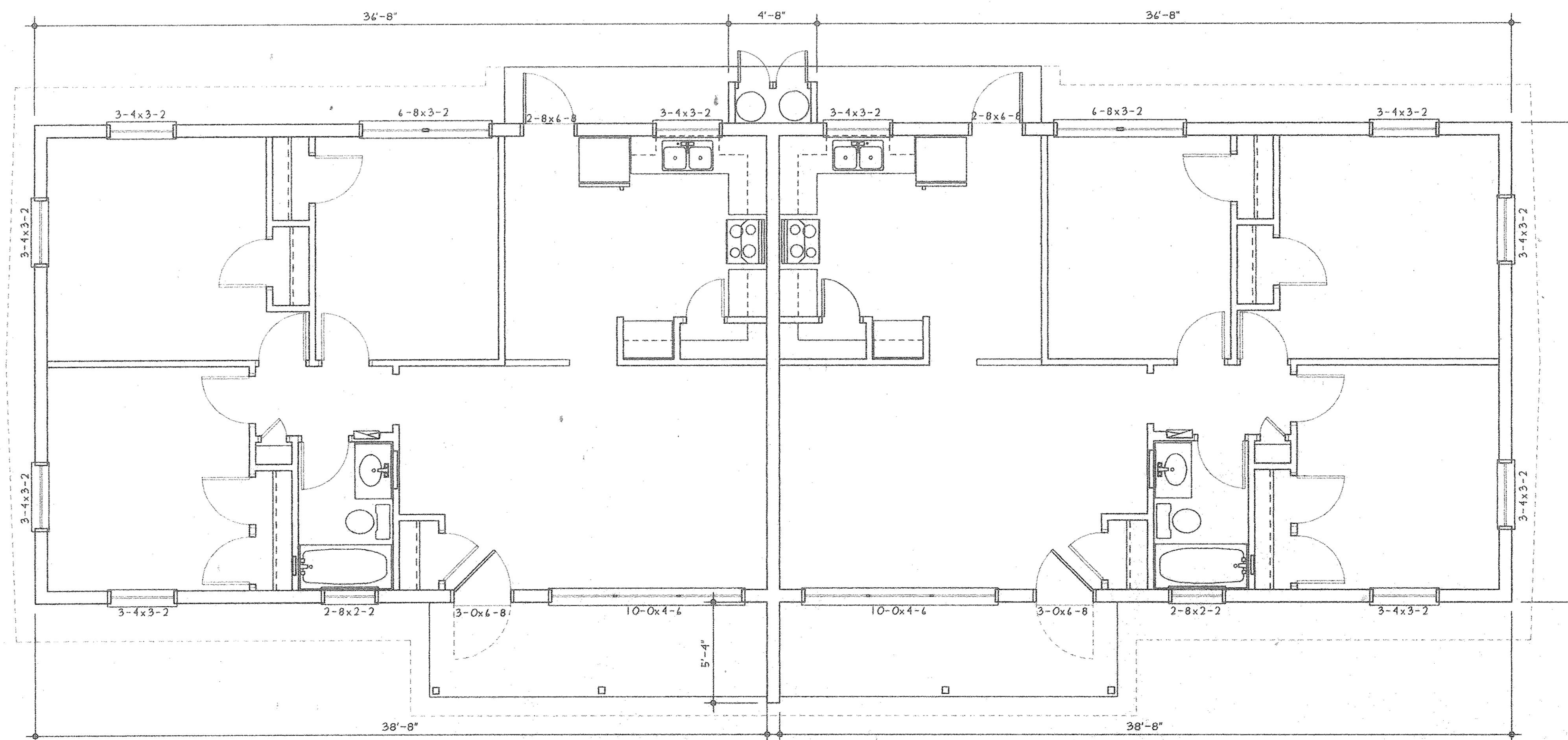
COLORS TO BE AS SELECTED BY OWNER FROM MANUFACTURERS STANDARD COLORS. SEE SPECIFICATIONS.

PATCH & REPAIR ALL FINISHES #/IN SCOPE OF WORK TO MATCH EXISTING PRIOR TO PAINT APPLICATION. SEE SPECS. FOR ALLOWANCES.

EXISTING FINISHES TO REMAIN

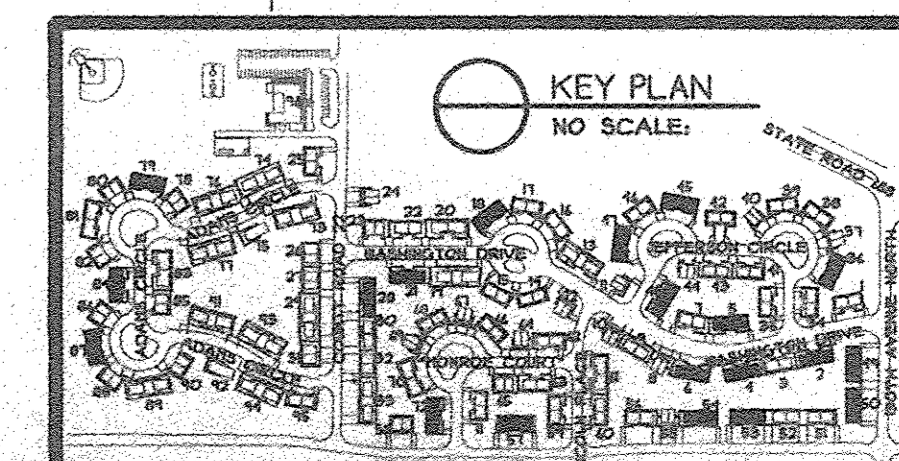
- DO NOT PAINT (N. I. C.)
- \*-EXTERIOR SOLID CORE AND HOLLOW-METAL DOORS & FRAMES & HARDWARE
- \*-EXISTING WINDOWS & FRAMES
- \*-EXISTING VINYL ALUMINUM SOFFIT, FASCIA GUTTER & DOWNSPOUT SYSTEMS
- \*-EXISTING ALUMINUM/VINYL VENTS & LOUVERS
- \*-SEE SPECIFICATIONS FOR ADDITIONAL EXCEPTIONS.

\* FIELD VERIFY ALL DIMENSIONS.



1 FLOOR PLAN - "C" UNITS (TYPICAL \* BLDGS. NO. 2,4,5,6,8,21,28,36,45,47,48,49,50,53,54,57,72,79,84 & 87)  
A-4 SCALE: 1/4" = 1'-0"

\*-FIELD VERIFY ALL DIMENSIONS.



EXTERIOR PAINTING PROJECT  
**RAINBOW VILLAGE APARTMENTS**  
DWELLING UNITS  
FOR  
PINELLAS COUNTY HOUSING AUTHORITY  
209 SOUTH GARDEN AVENUE, CLEARWATER, FLORIDA 34616

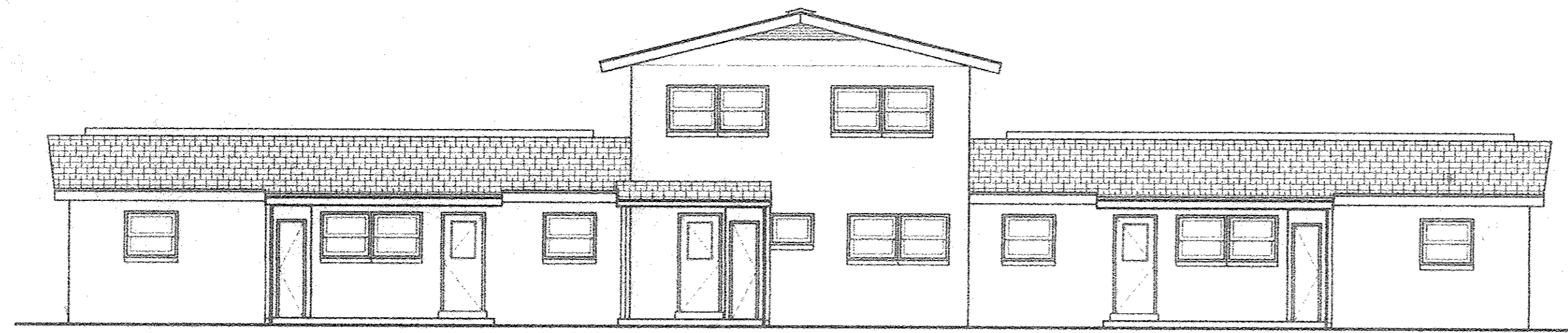


PROJECT NO.: 9451P-RV  
DATE: 06-22-95  
DRAWN BY: SWB  
REVISIONS:

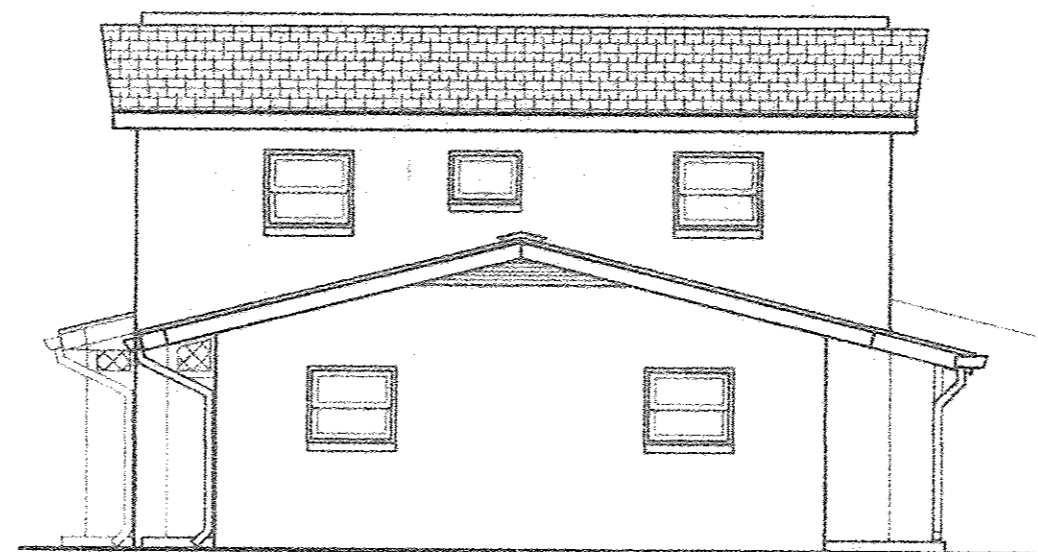
SHEET TITLE:  
FLOOR PLAN /  
ELEVATIONS  
UNIT TYPE: "C"  
BLDGS. # 2,4,5,6,8,21,28,  
36,45,47,48,49,50,53,54,  
57,72,79,84 & 87.

SHEET NO.:  
**A-4**  
4 OF 8 SHEETS

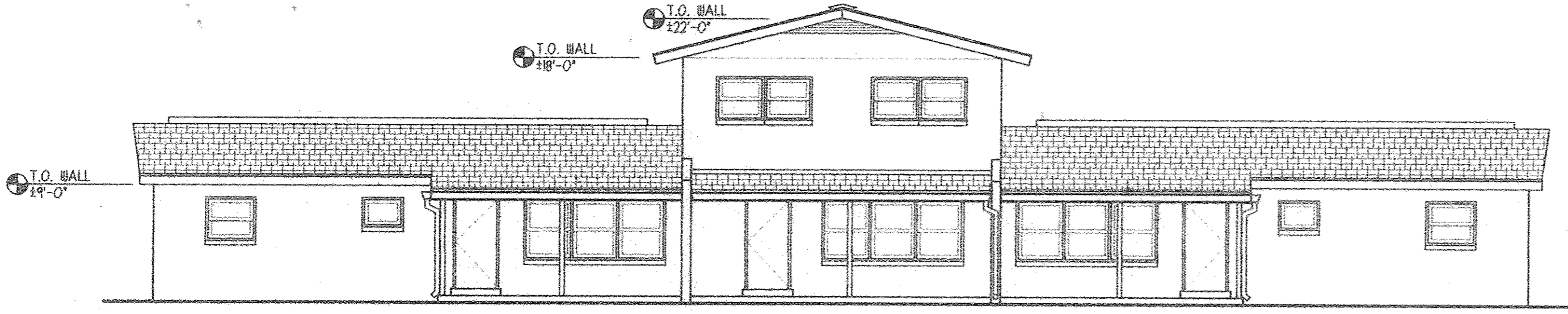
**RENKER EICH PARKS ARCHITECTS**  
1609 3th Street, North St. Petersburg, Florida 33704-4203  
Tel: 813-877-8863  
Fax: 813-877-8863



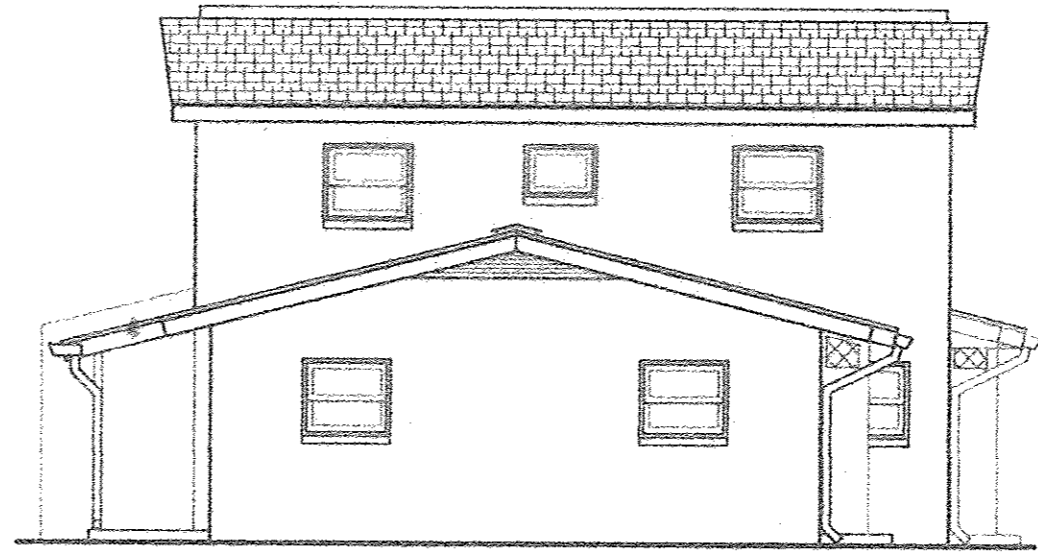
REAR ELEVATION



LEFT-SIDE ELEVATION

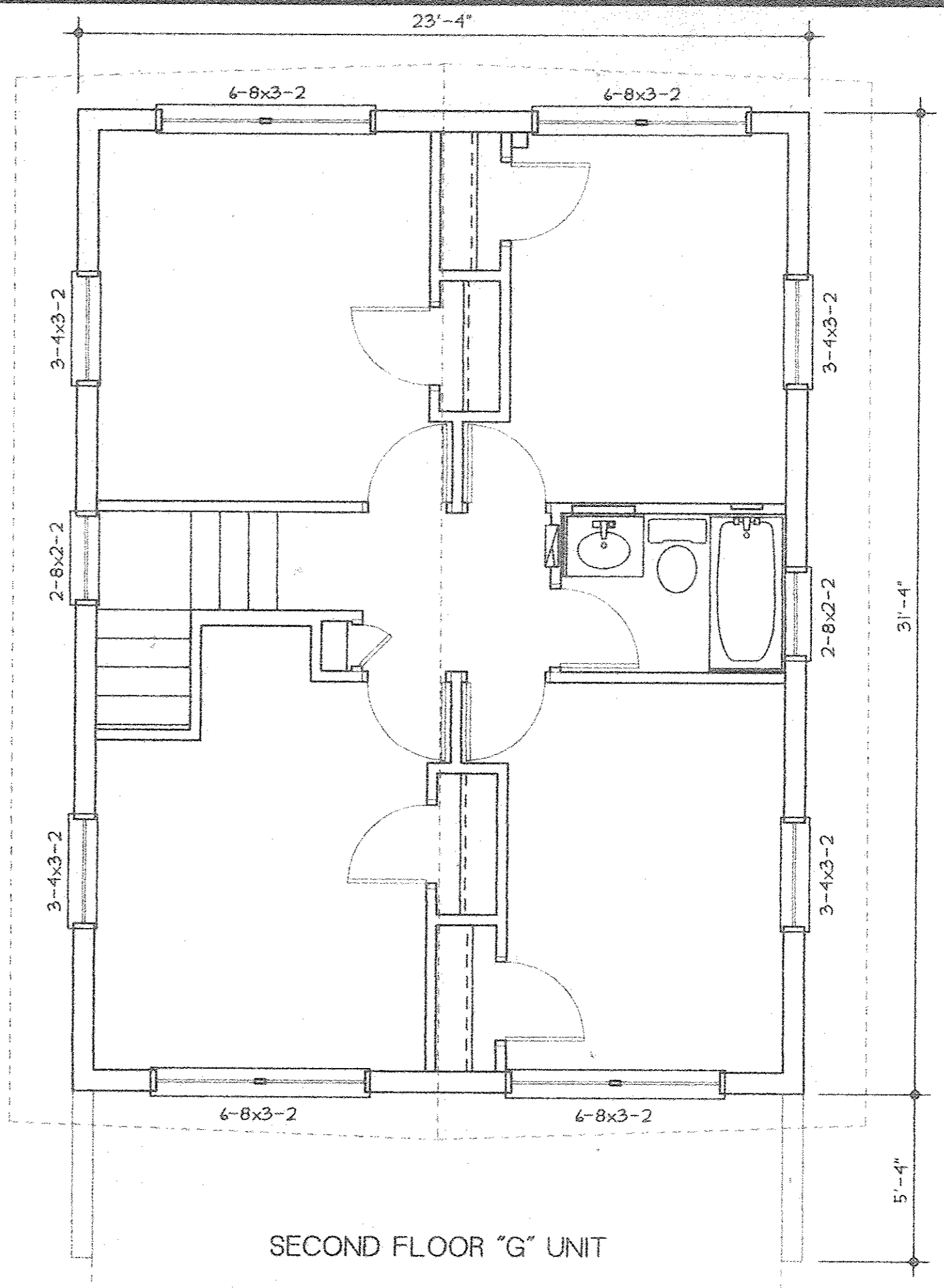


FRONT ELEVATION

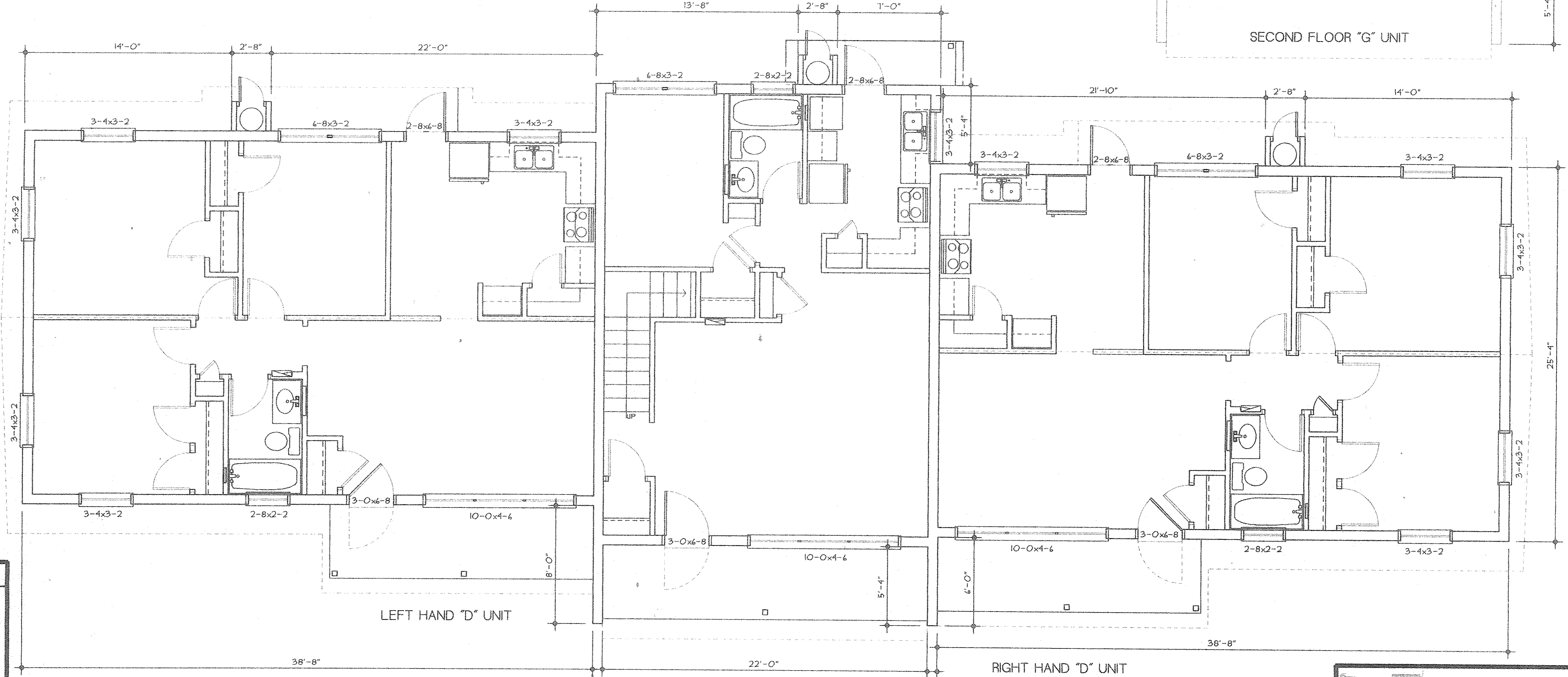


RIGHT-SIDE ELEVATION

2 ELEVATIONS - "D & G" UNITS (TYPICAL • BLDGS. NO. 13,19,29,33,13,14,14,17,18,19,91,93 & 94)  
A-5 SCALE: 1/8" = 1'-0"



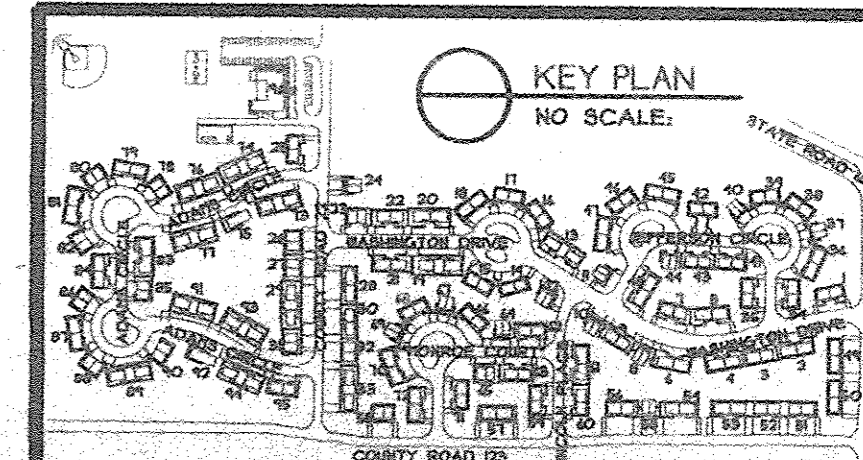
SECOND FLOOR "G" UNIT

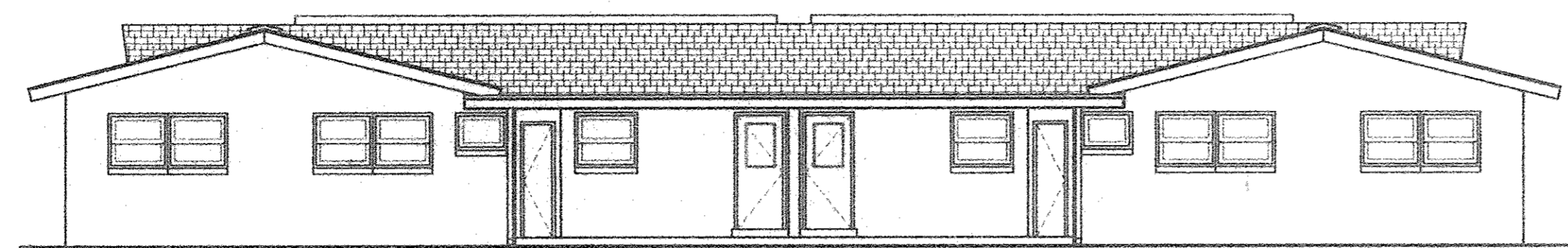


1 FLOOR PLAN - "D & G" UNITS (TYPICAL • BLDGS. NO. 13,19,29,33,13,14,14,17,18,19,91,93 & 94)  
A-5 SCALE: 1/4" = 1'-0"  
\*FIELD VERIFY ALL DIMENSIONS.

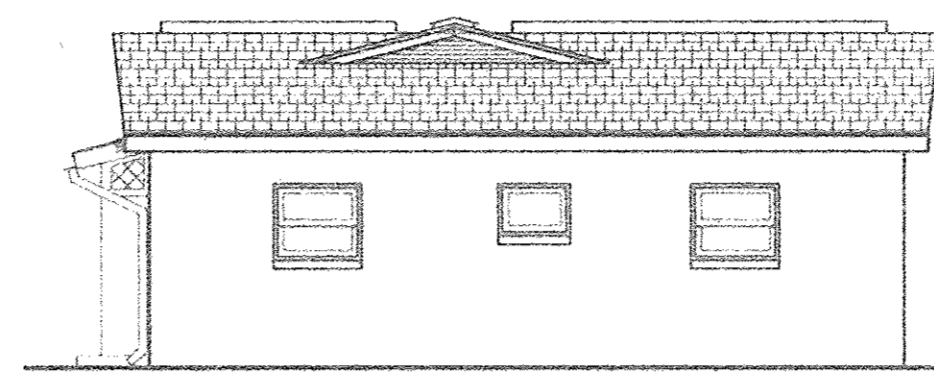
**GENERAL NOTES :**

- SURFACES TO BE PAINTED INCLUDE:
  - \*-ALL EXTERIOR STUCCO FINISHES AND TRIM.
  - \*-ALL EXTERIOR COLUMNS & BEAMS (SEE ELEVATIONS)
  - \*-ALL EXTERIOR C.H.U. CONSTRUCTION (SEE ELEVATIONS)
  - \*-ALL METAL GABLE VENTS (SEE ELEVATIONS)
  - \*-SEE SPECIFICATIONS FOR ADDITIONAL SCOPE OF WORK.
- COLORS TO BE AS SELECTED BY OWNER FROM MANUFACTURERS STANDARD COLORS. SEE SPECIFICATIONS.
- PATCH & REPAIR ALL FINISHES #/IN SCOPE OF WORK TO MATCH EXISTING PRIOR TO PAINT APPLICATION. SEE SPECS. FOR ALLOWANCES.
- EXISTING FINISHES TO REMAIN - DO NOT PAINT (N.I.C.)
- \*-EXTERIOR SOLID CORE AND HOLLOW-METAL DOORS & FRAMES & HARDWARE.
- \*-EXISTING WINDOWS & FRAMES.
- \*-EXISTING VINYL /ALUMINUM SOFFIT, FASCIA, GUTTER & DOWNSPOUT SYSTEMS.
- \*-EXISTING ALUMINUM/VINYL VENTS & LOUVERS.
- \*-SEE SPECIFICATIONS FOR ADDITIONAL EXCEPTIONS.
- \* FIELD VERIFY ALL DIMENSIONS.

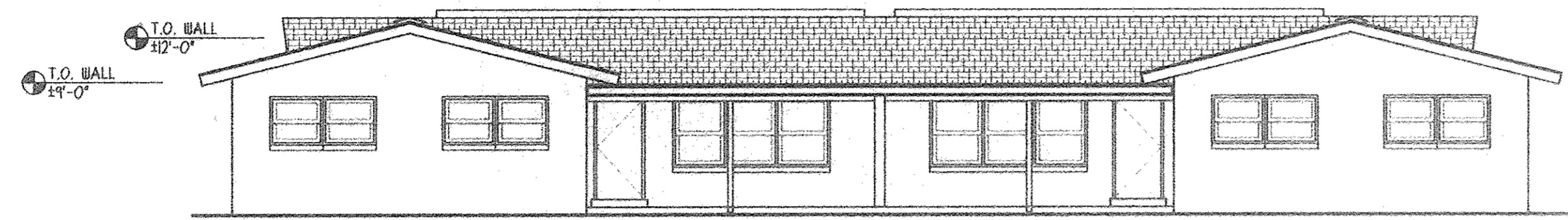




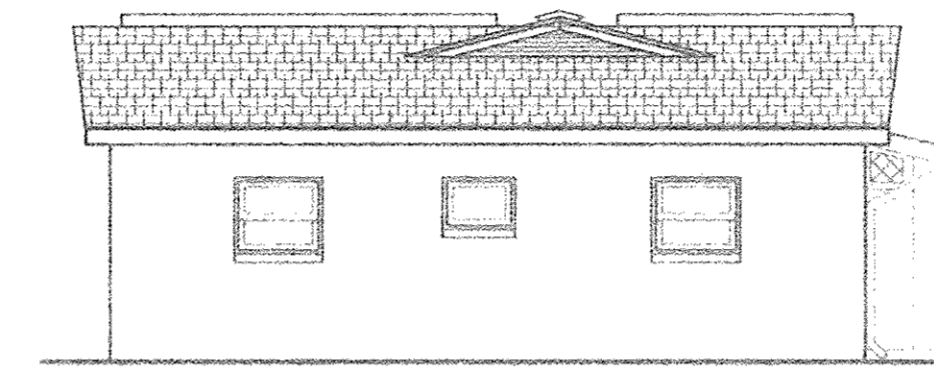
REAR ELEVATION



LEFT-SIDE ELEVATION



FRONT ELEVATION

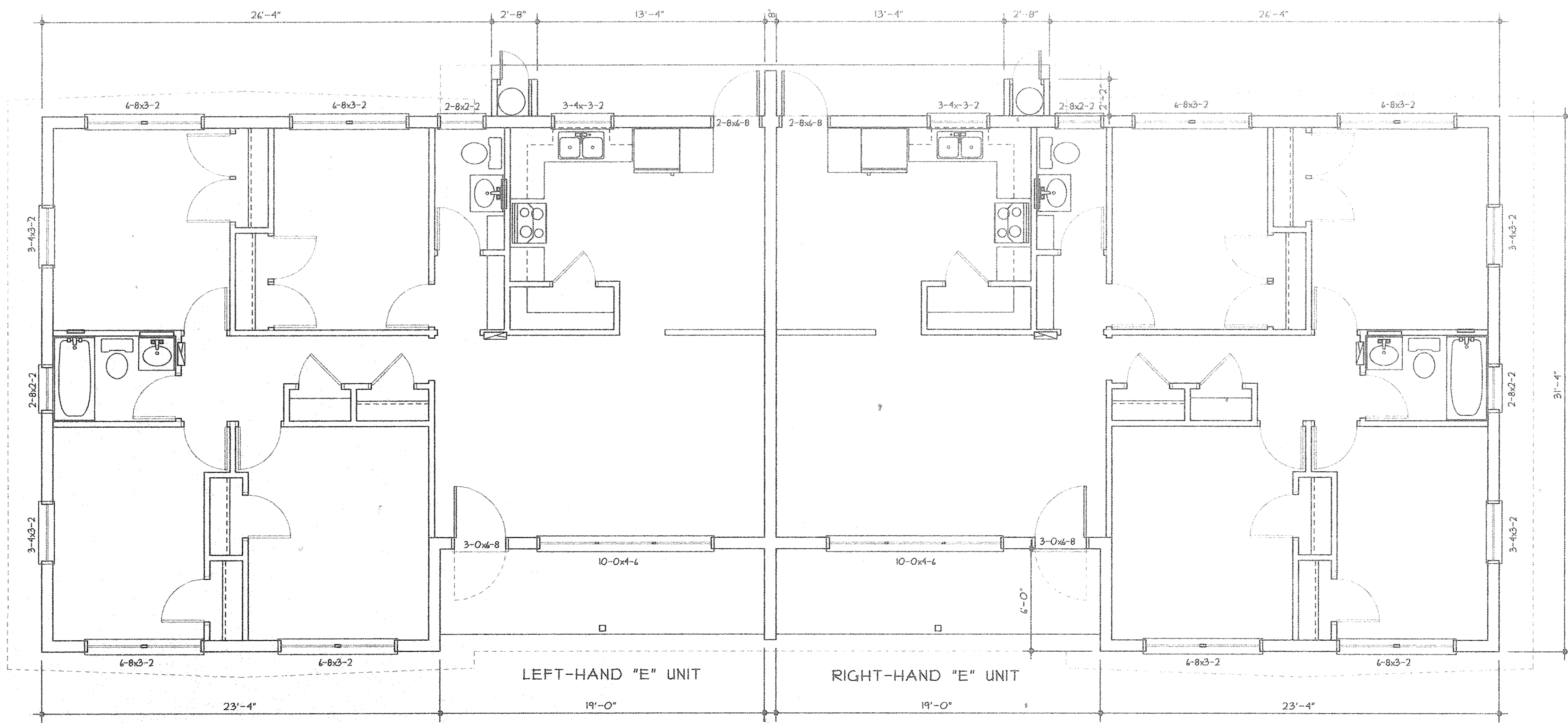


RIGHT-SIDE ELEVATION

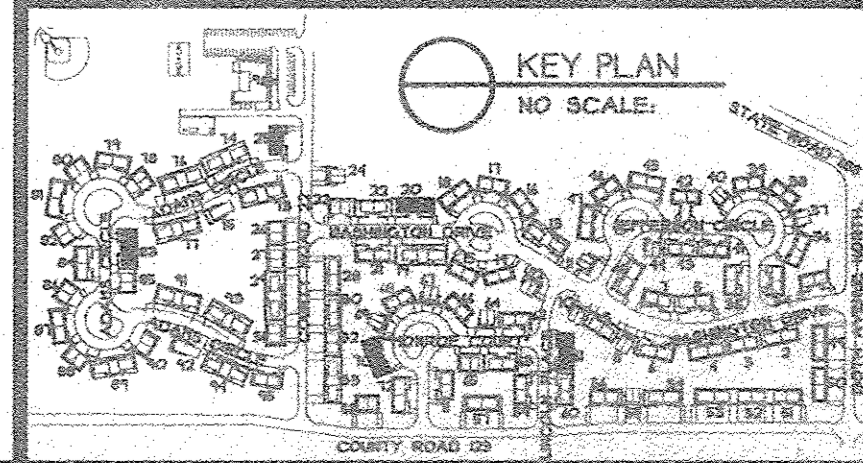
**GENERAL NOTES :**

- SURFACES TO BE PAINTED INCLUDE
- \*-ALL EXTERIOR STUCCO FINISHES AND TRIM.
- \*-ALL EXTERIOR COLUMNS & BEAMS (SEE ELEVATIONS).
- \*-ALL EXTERIOR C.M.U. CONSTRUCTION (SEE ELEVATIONS).
- \*-ALL METAL GABLE VENTS. (SEE ELEVATIONS).
- \*-SEE SPECIFICATIONS FOR ADDITIONAL SCOPE OF WORK.
- COLORS TO BE AS SELECTED BY OWNER FROM MANUFACTURERS STANDARD COLORS. SEE SPECIFICATIONS.
- PATCH & REPAIR ALL FINISHES w/in SCOPE OF WORK TO MATCH EXISTING PRIOR TO PAINT APPLICATION. SEE SPECS. FOR ALLOWANCES.
- EXISTING FINISHES TO REMAIN
- DO NOT PAINT (N.I.C.)
- \*-EXTERIOR SOLID CORE AND HOLLOW-METAL DOORS & FRAMES & HARDWARE
- \*-EXISTING WINDOWS & FRAMES.
- \*-EXISTING VINYL / ALUMINUM SOFFIT, FASCIA GUTTER & DOWNSPOUT SYSTEMS.
- \*-EXISTING ALUMINUM/VINYL VENTS & LOUVERS.
- \*-SEE SPECIFICATIONS FOR ADDITIONAL EXCEPTIONS.
- \* FIELD VERIFY ALL DIMENSIONS.

2 ELEVATIONS - "E" UNITS (TYPICAL \* BLDGS. NO. 20,25,4,10 & 83)  
A-6 SCALE: 1/8" = 1'-0"



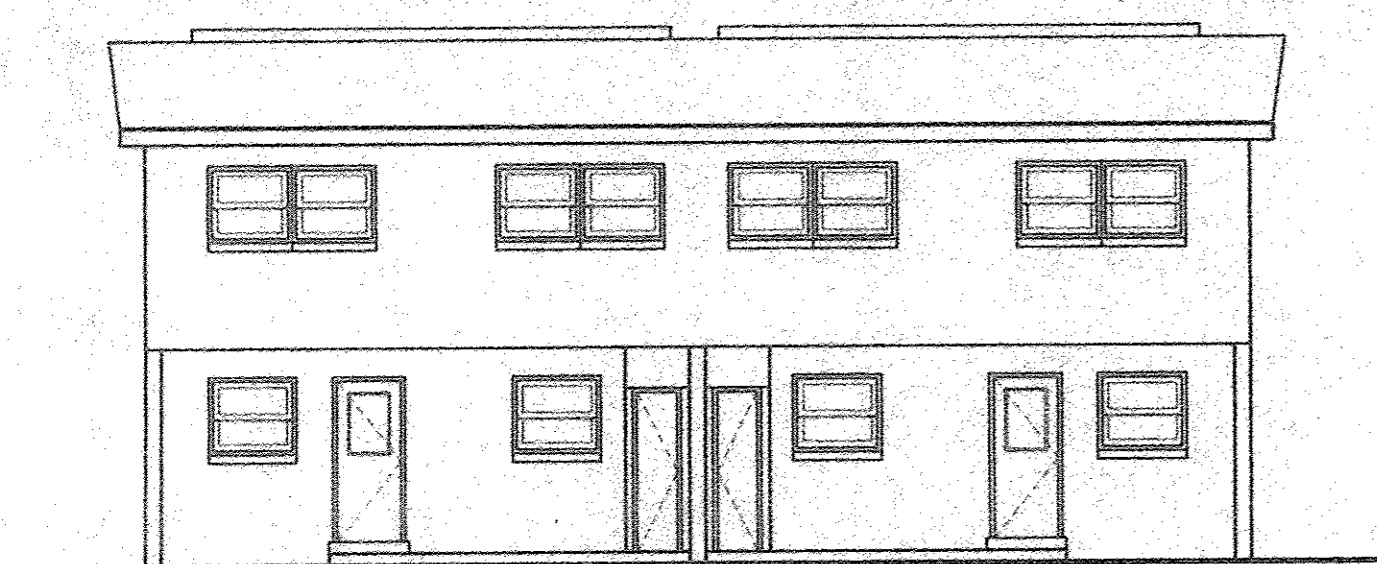
1 FLOOR PLAN - "E" UNITS (TYPICAL \* BLDGS. NO. 20,25,4,10 & 83)  
A-6 SCALE: 1/4" = 1'-0"  
\*- FIELD VERIFY ALL DIMENSIONS.



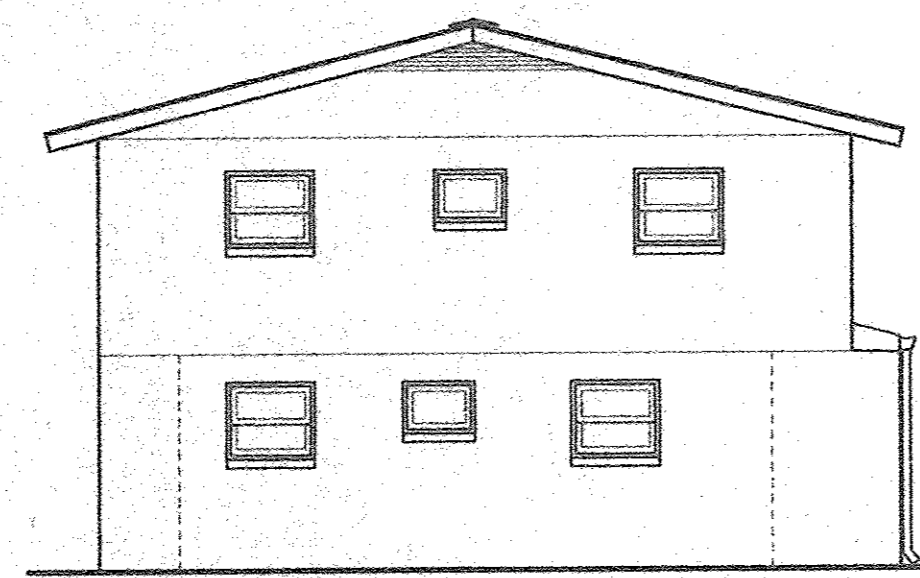
PROJECT NO.: 9451P-RV  
 BD. SUBMITTAL  
 DATE: 06-22-95  
 DRAWN BY: SWIB  
 REVISIONS:

SHEET TITLE:  
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 ELEVATIONS  
 UNIT TYPE "E" -  
 BLDGS. # 20,25,61,70&83.

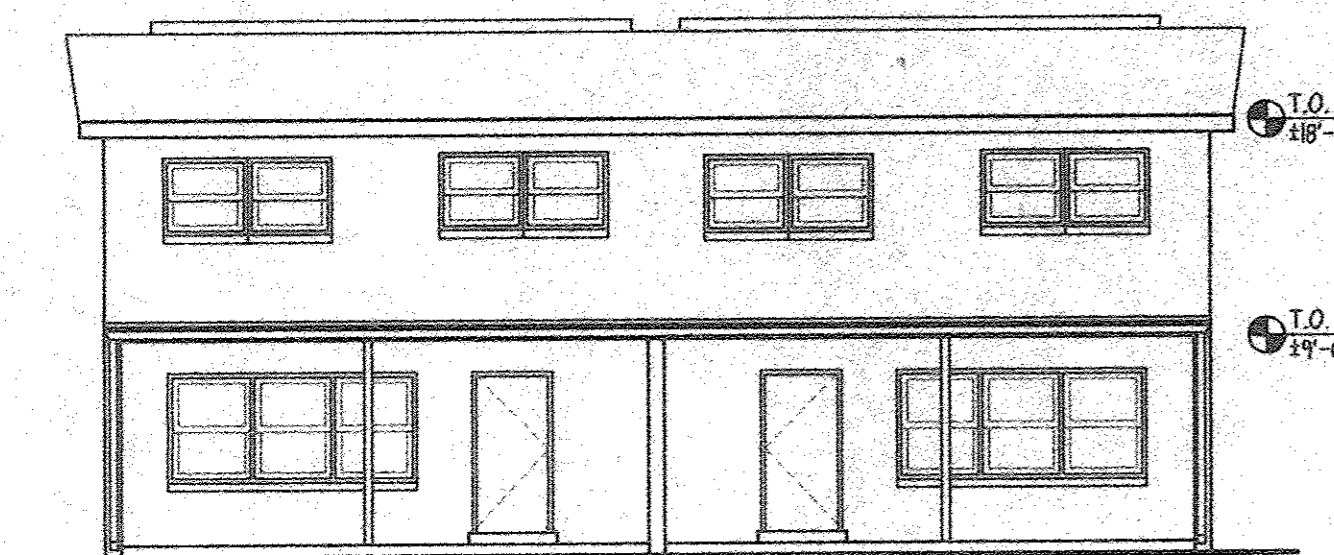
SHEET NO.:  
**A-6**  
 OF 8 SHEETS



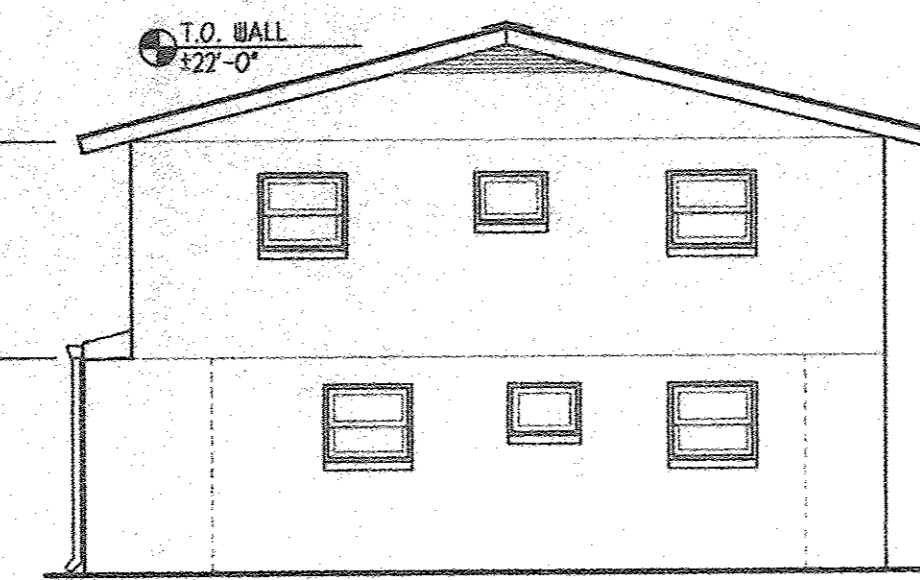
REAR ELEVATION



LEFT-SIDE ELEVATION

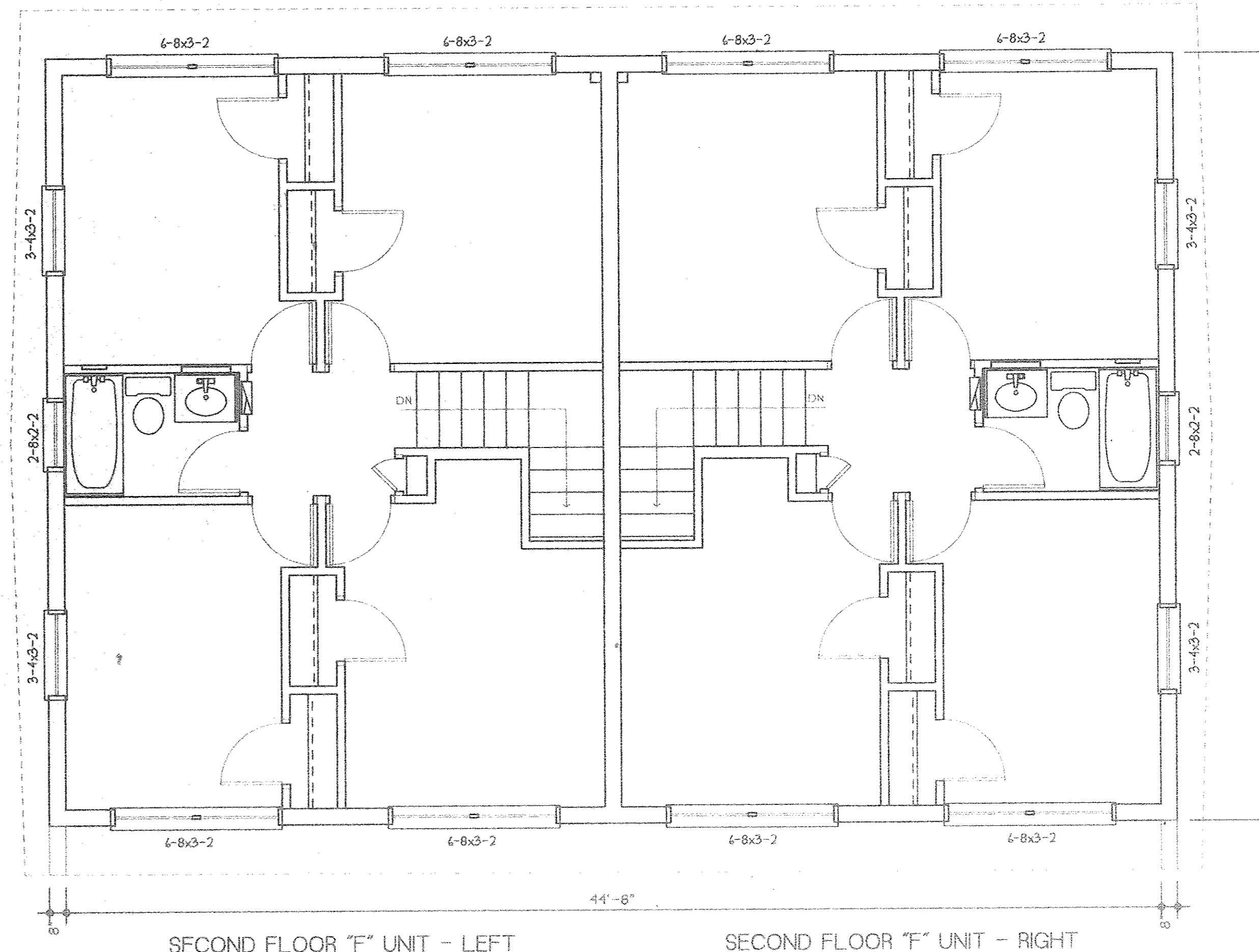


FRONT ELEVATION



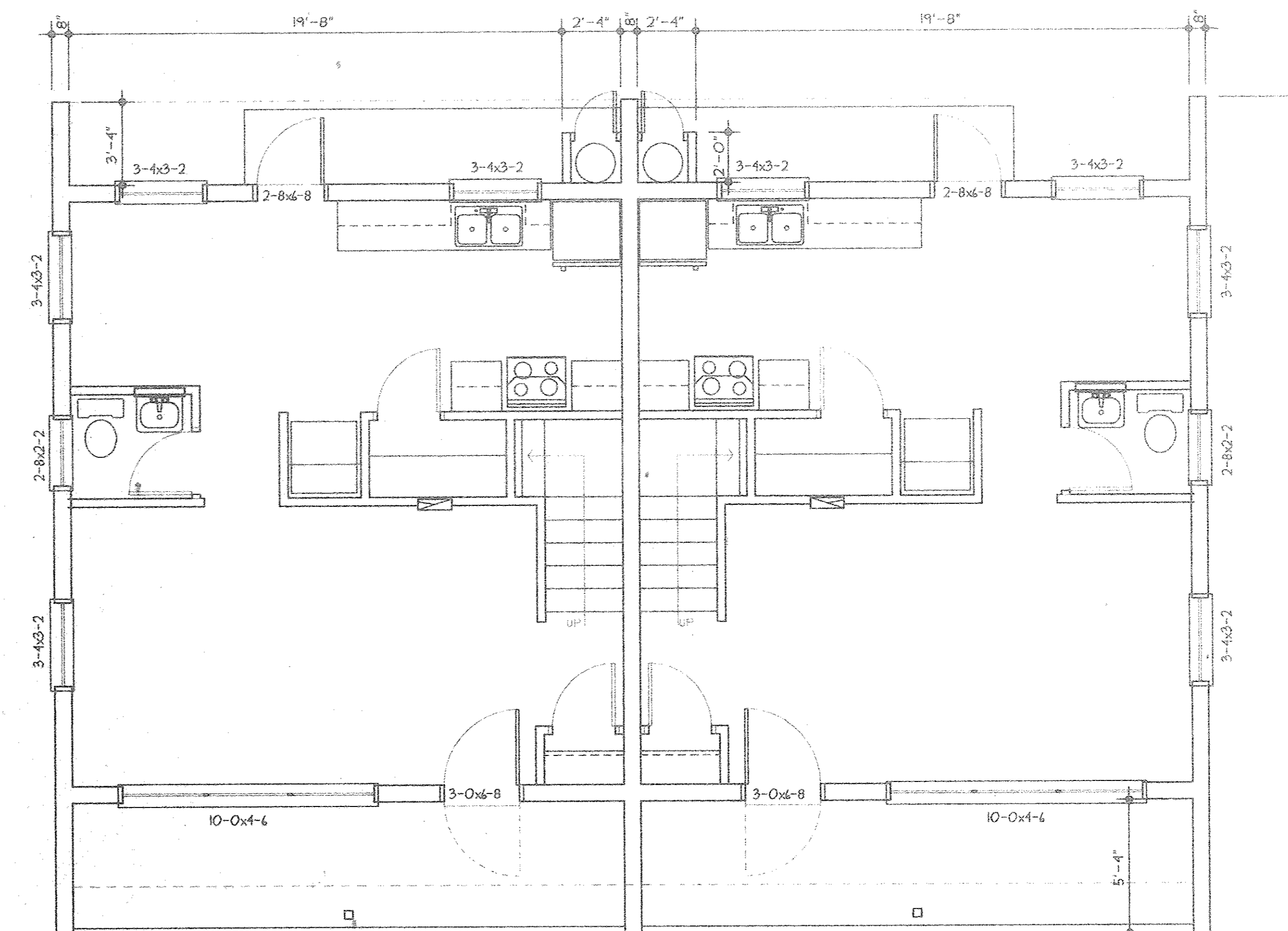
RIGHT-SIDE ELEVATION

2 ELEVATIONS - "F" UNITS (TYPICAL • BLDGS. NO. 23,24,27,31,32,58,65,78,80,82,85,86,88 & 90)  
 A-1 SCALE: 1/8" = 1'-0"



SECOND FLOOR "F" UNIT - LEFT

SECOND FLOOR "F" UNIT - RIGHT



FIRST FLOOR "F" UNIT - LEFT

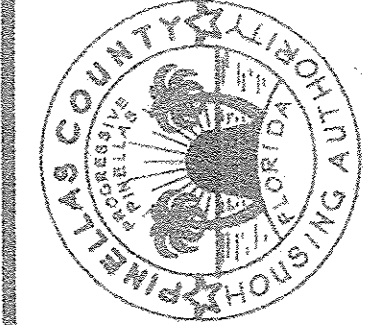
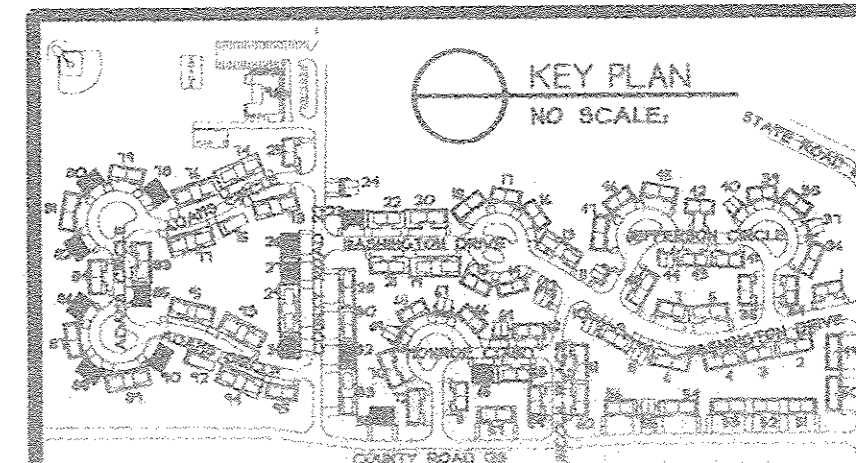
FIRST FLOOR "F" UNIT - RIGHT

**GENERAL NOTES :**

- SURFACES TO BE PAINTED INCLUDE:
  - \*-ALL EXTERIOR STUCCO FINISHES AND TRIM.
  - \*-ALL EXTERIOR COLUMNS & BEAMS (SEE ELEVATIONS).
  - \*-ALL EXTERIOR C.M.U. CONSTRUCTION (SEE ELEVATIONS).
  - \*-ALL METAL GABLE VENTS (SEE ELEVATIONS).
  - \*-SEE SPECIFICATIONS FOR ADDITIONAL SCOPE OF WORK.
- COLORS TO BE AS SELECTED BY OWNER FROM MANUFACTURERS STANDARD COLORS. SEE SPECIFICATIONS.
- PATCH & REPAIR ALL FINISHES #/IN SCOPE OF WORK TO MATCH EXISTING PRIOR TO PAINT APPLICATION. SEE SPECS. FOR ALLOWANCES.
- EXISTING FINISHES TO REMAIN:
  - DO NOT PAINT (N.I.C.)
  - \*-EXTERIOR SOLID CORE AND HOLLOW-METAL DOORS & FRAMES & HARDWARE.
  - \*-EXISTING WINDOWS & FRAMES.
  - \*-EXISTING VINYL /ALUMINUM SOFFIT, FASCIA GUTTER & DOWNSPOUT SYSTEMS.
  - \*-EXISTING ALUMINUM/VINYL VENTS & LOUVERS.
  - \*-SEE SPECIFICATIONS FOR ADDITIONAL EXCEPTIONS.
- \* FIELD VERIFY ALL DIMENSIONS.

1 FLOOR PLAN - "E" UNITS (TYPICAL • BLDGS. NO. 23,24,27,31,32,58,65,78,80,82,85,86,88 & 90)  
 A-1 SCALE: 1/4" = 1'-0"

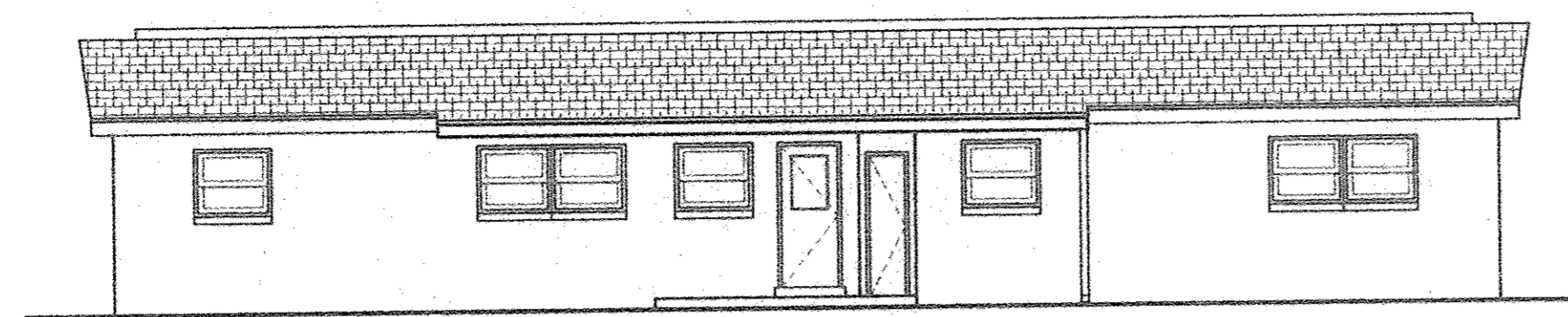
\*- FIELD VERIFY ALL DIMENSIONS.



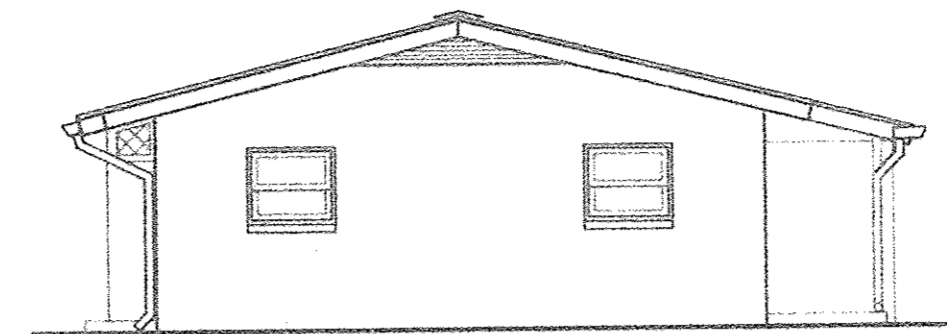
PROJECT NO.: 145TP-RV  
 DATE: 06-22-95  
 DRAWN BY: SWJB  
 REVISIONS:

SHEET TITLE:  
 FLOOR PLANS /  
 ELEVATIONS  
 UNIT TYPE "F"  
 BLDGS. # 23,28,27,31,32,  
 58,65,78,80,82,85,86,  
 88 & 90.

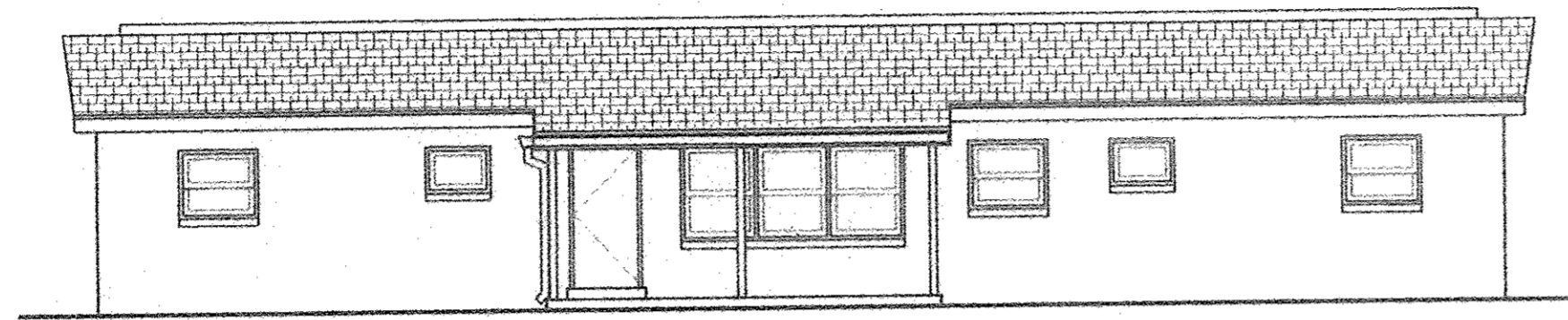
SHEET NO.:  
**A-7**



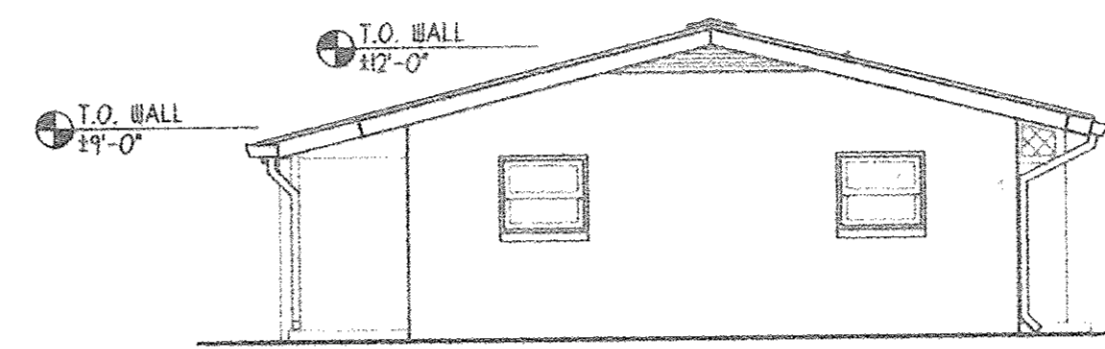
REAR ELEVATION



LEFT-SIDE ELEVATION

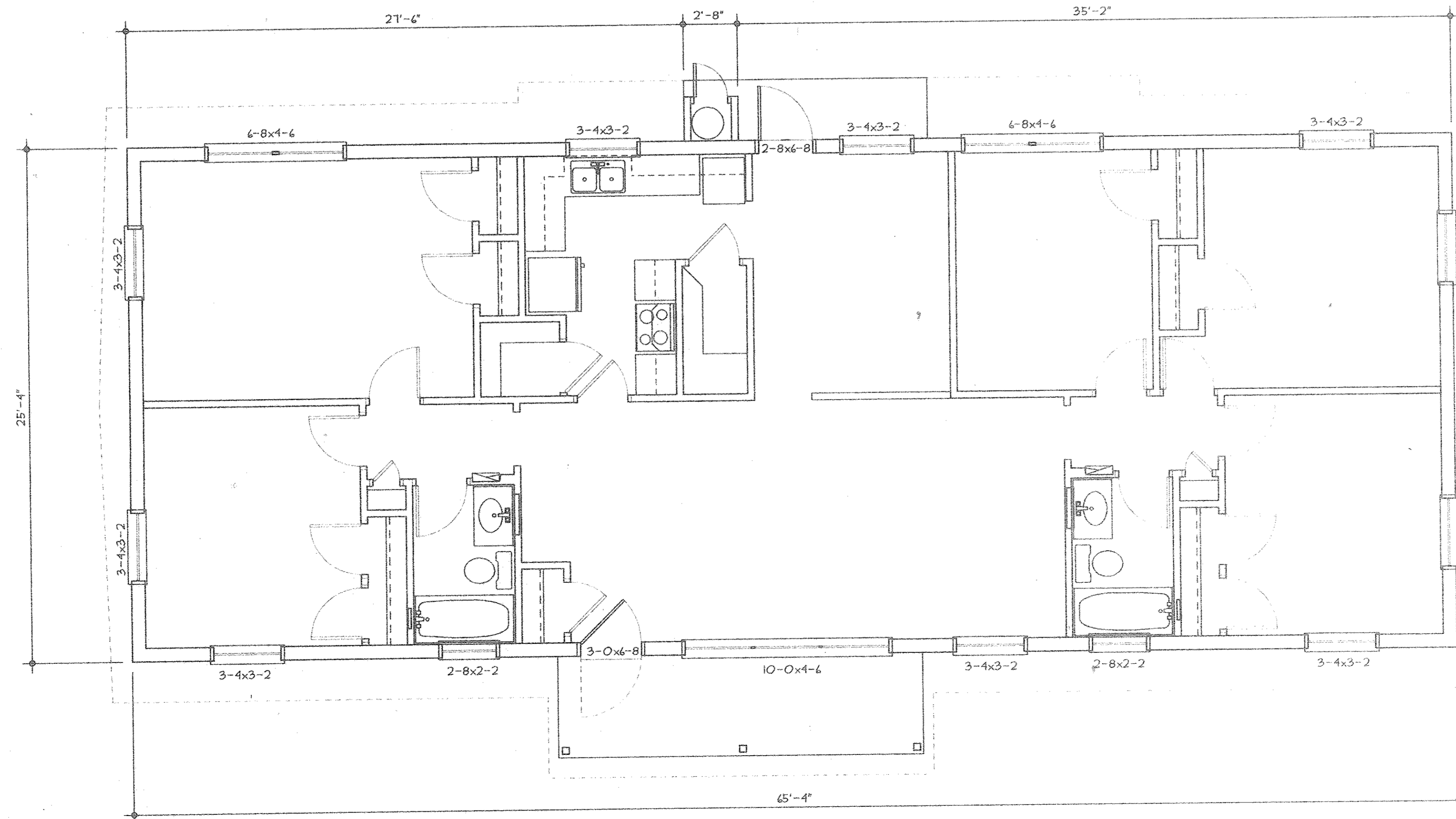


FRONT ELEVATION



RIGHT-SIDE ELEVATION

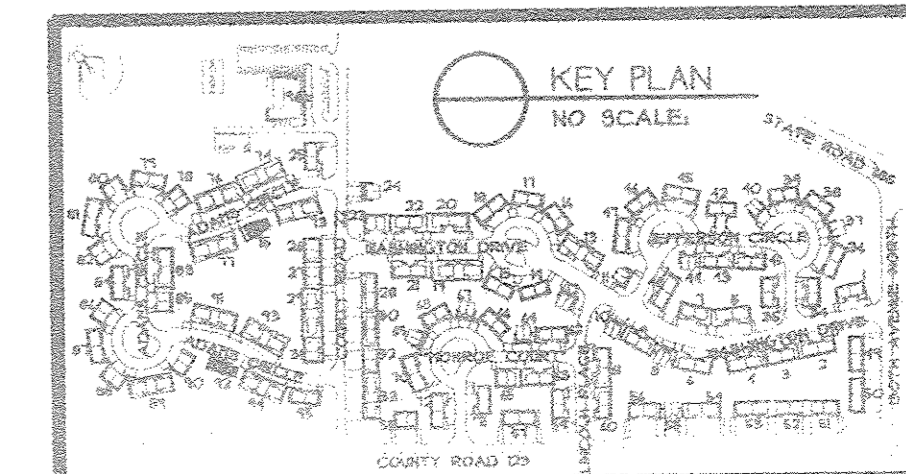
2 ELEVATIONS - "H" UNITS (TYPICAL \* BLDGS. NO. 75 & 92)  
A-8 SCALE: 1/8" = 1'-0"



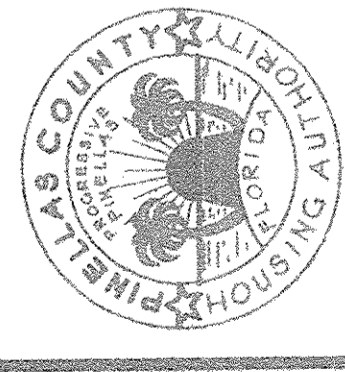
1 FLOOR PLAN - "H" UNITS (TYPICAL \* BLDGS. NO. 75 & 92)  
A-8 SCALE: 1/4" = 1'-0"

GENERAL NOTES :

- SURFACES TO BE PAINTED INCLUDE
- \* ALL EXTERIOR STUCCO FINISHES AND TRIM
- \* ALL EXTERIOR COLUMNS & BEAMS (SEE ELEVATIONS)
- \* ALL EXTERIOR C.M.U. CONSTRUCTION (SEE ELEVATIONS)
- \* ALL METAL GABLE VENTS (SEE ELEVATIONS)
- \* SEE SPECIFICATIONS FOR ADDITIONAL SCOPE OF WORK
- COLORS TO BE AS SELECTED BY OWNER FROM MANUFACTURERS STANDARD COLORS. SEE SPECIFICATIONS.
- PATCH & REPAIR ALL FINISHES w/in SCOPE OF WORK TO MATCH EXISTING PRIOR TO PAINT APPLICATION. SEE SPECS. FOR ALLOWANCES.
- EXISTING FINISHES TO REMAIN
- DO NOT PAINT (N.I.C.)
- EXTERIOR SOLID CORE AND HOLLOW-METAL DOORS & FRAMES & HARDWARE
- EXISTING WINDOWS & FRAMES
- EXISTING VINYL ALUMINUM SOFFIT, FASCIA GUTTER & DOWNSPOUT SYSTEMS
- EXISTING ALUMINUM/VINYL VENTS & LOUVERS
- SEE SPECIFICATIONS FOR ADDITIONAL EXCEPTIONS.
- \* FIELD VERIFY ALL DIMENSIONS.



KEY PLAN  
NO SCALE





# ATTACHMENT #6

## **§200.326 Contract provisions.**

The non-Federal entity's contracts must contain the applicable provisions described in Appendix II to Part 200—Contract Provisions for non-Federal Entity Contracts Under Federal Awards.

### **Part 200, Appendix II**

#### **Appendix II to Part 200—Contract Provisions for Non-Federal Entity Contracts Under Federal Awards**

In addition to other provisions required by the Federal agency or non-Federal entity, all contracts made by the non-Federal entity under the Federal award must contain provisions covering the following, as applicable.

(A) Contracts for more than the simplified acquisition threshold currently set at \$150,000, which is the inflation adjusted amount determined by the Civilian Agency Acquisition Council and the Defense Acquisition Regulations Council (Councils) as authorized by 41 U.S.C. 1908, must address administrative, contractual, or legal remedies in instances where contractors violate or breach contract terms, and provide for such sanctions and penalties as appropriate.

(B) All contracts in excess of \$10,000 must address termination for cause and for convenience by the non-Federal entity including the manner by which it will be effected and the basis for settlement.

(C) Equal Employment Opportunity. Except as otherwise provided under 41 CFR Part 60, all contracts that meet the definition of “federally assisted construction contract” in 41 CFR Part 60-1.3 must include the equal opportunity clause provided under 41 CFR 60-1.4(b), in accordance with Executive Order 11246, “Equal Employment Opportunity” (30 FR 12319, 12935, 3 CFR Part, 1964-1965 Comp., p. 339), as amended by Executive Order 11375, “Amending Executive Order 11246 Relating to Equal Employment Opportunity,” and implementing regulations at 41 CFR part 60, “Office of Federal Contract Compliance Programs, Equal Employment Opportunity, Department of Labor.”

(D) Davis-Bacon Act, as amended (40 U.S.C. 3141-3148). When required by Federal program legislation, all prime construction contracts in excess of \$2,000 awarded by non-Federal entities must include a provision for compliance with the Davis-Bacon Act (40 U.S.C. 3141-3144, and 3146-3148) as supplemented by Department of Labor regulations (29 CFR Part 5, “Labor Standards Provisions Applicable to Contracts Covering Federally Financed and Assisted Construction”). In accordance with the statute, contractors must be required to pay wages to laborers and mechanics at a rate not less than the prevailing wages specified in a wage determination made by the Secretary of Labor. In addition, contractors must be required to pay wages not less than once a week. The non-Federal entity must place a copy of the current prevailing wage determination issued by the Department of Labor in each solicitation. The decision to award a contract or subcontract must be conditioned upon the acceptance of the wage determination. The non-Federal entity must report all suspected or reported violations to the Federal awarding agency. The contracts must also include a provision for compliance with the Copeland “Anti-Kickback” Act (40 U.S.C. 3145), as supplemented by Department of Labor regulations (29 CFR Part 3, “Contractors and Subcontractors on Public Building or Public Work Financed in Whole or in Part by Loans or Grants from the United States”). The Act provides that each contractor or subrecipient must be prohibited from inducing, by any means, any person employed in the construction, completion, or repair of public work, to give up any part of the compensation to which he or she is otherwise entitled. The non-Federal entity must report all suspected or reported violations to the Federal awarding agency.

(E) Contract Work Hours and Safety Standards Act (40 U.S.C. 3701-3708). Where applicable, all contracts awarded by the non-Federal entity in excess of \$100,000 that involve the employment of mechanics or laborers must include a provision for compliance with 40 U.S.C. 3702 and 3704, as supplemented by Department of Labor regulations (29 CFR Part 5). Under 40 U.S.C. 3702 of the Act, each contractor must be required to compute the wages of every mechanic and laborer on the basis of a standard work week of 40 hours. Work in excess of the standard work week is permissible provided that the worker is compensated at a rate of not less than one and a half times the basic rate of pay for all hours worked in excess of 40 hours in the work week. The requirements of 40 U.S.C. 3704 are applicable to construction work and provide that no laborer or mechanic must be required to work in surroundings or under working conditions which are unsanitary, hazardous or dangerous. These requirements do not apply to the purchases of supplies or materials or articles ordinarily available on the open market, or contracts for transportation or transmission of intelligence.

(F) Rights to Inventions Made Under a Contract or Agreement. If the Federal award meets the definition of "funding agreement" under 37 CFR § 401.2 (a) and the recipient or subrecipient wishes to enter into a contract with a small business firm or nonprofit organization regarding the substitution of parties, assignment or performance of experimental, developmental, or research work under that "funding agreement," the recipient or subrecipient must comply with the requirements of 37 CFR Part 401, "Rights to Inventions Made by Nonprofit Organizations and Small Business Firms Under Government Grants, Contracts and Cooperative Agreements," and any implementing regulations issued by the awarding agency.

(G) Clean Air Act (42 U.S.C. 7401-7671q.) and the Federal Water Pollution Control Act (33 U.S.C. 1251-1387), as amended—Contracts and subgrants of amounts in excess of \$150,000 must contain a provision that requires the non-Federal award to agree to comply with all applicable standards, orders or regulations issued pursuant to the Clean Air Act (42 U.S.C. 7401-7671q) and the Federal Water Pollution Control Act as amended (33 U.S.C. 1251-1387). Violations must be reported to the Federal awarding agency and the Regional Office of the Environmental Protection Agency (EPA).

(H) Mandatory standards and policies relating to energy efficiency which are contained in the state energy conservation plan issued in compliance with the Energy Policy and Conservation Act (42 U.S.C. 6201).

(I) Debarment and Suspension (Executive Orders 12549 and 12689)—A contract award (see 2 CFR 180.220) must not be made to parties listed on the governmentwide Excluded Parties List System in the System for Award Management (SAM), in accordance with the OMB guidelines at 2 CFR 180 that implement Executive Orders 12549 (3 CFR Part 1986 Comp., p. 189) and 12689 (3 CFR Part 1989 Comp., p. 235), "Debarment and Suspension." The Excluded Parties List System in SAM contains the names of parties debarred, suspended, or otherwise excluded by agencies, as well as parties declared ineligible under statutory or regulatory authority other than Executive Order 12549.

(J) Byrd Anti-Lobbying Amendment (31 U.S.C. 1352)—Contractors that apply or bid for an award of \$100,000 or more must file the required certification. Each tier certifies to the tier above that it will not and has not used Federal appropriated funds to pay any person or organization for influencing or attempting to influence an officer or employee of any agency, a member of Congress, officer or employee of Congress, or an employee of a member of Congress in connection with obtaining any Federal contract, grant or any other award covered by 31 U.S.C. 1352. Each tier must also disclose any lobbying with non-Federal funds that takes place in connection with obtaining any Federal award. Such disclosures are forwarded from tier to tier up to the non-Federal award.

(K) See § 200.322 Procurement of recovered materials.

**§ 200.322 Procurement of recovered materials.**

A non-Federal entity that is a state agency or agency of a political subdivision of a state and its contractors must comply with section 6002 of the Solid Waste Disposal Act, as amended by the Resource Conservation and Recovery Act. The requirements of Section 6002 include procuring only items designated in guidelines of the Environmental Protection Agency (EPA) at 40 CFR part 247 that contain the highest percentage of recovered materials practicable, consistent with maintaining a satisfactory level of competition, where the purchase price of the item exceeds \$10,000 or the value of the quantity acquired by the preceding fiscal year exceeded \$10,000; procuring solid waste management services in a manner that maximizes energy and resource recovery; and establishing an affirmative procurement program for procurement of recovered materials identified in the EPA guidelines.