

HARRISBURG HOUSING AUTHORITY

WILLIAM HOWARD DAY HOMES DEVELOPMENT RENOVATIONS TO BUILDINGS K, L and M

Contract No. M-201902 DEMOLITION CONTRACT Contract No. M-201903 GENERAL CONSTRUCTION CONTRACT Contract No. M-201904 MECHANICAL CONSTRUCTION CONTRACT Contract No. M-201905 PLUMBING CONSTRUCTION CONTRACT Contract No. M-201906 ELECTRICAL CONSTRUCTION CONTRACT

BID DRAWINGS - MARCH 29, 2019

LIST OF DRAWINGS

CIVIL DRAWINGS C100 - KEY PLAN

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C102 - LAYOUT PLAN C103 - GRADING PLAN

C104 - UTILITY PLAN C105 - EROSION AND SEDIMENT CONTROL PLAN

C501 - SITE DETAILS

C502 - SITE DETAILS C503 - EROSION AND SEDIMENT CONTROL DETAILS

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D103 - BUILDING M - DEMOLITION PLANS

A001 - CODE INFORMATION A101 - BUILDING K - FLOOR PLANS

A102 - BUILDING L - FLOOR PLANS A103 - BUILDING M - FLOOR PLANS

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A401 - BUILDINGS K, L & M - ENLARGED PORCH 'A' PLANS & DETAILS A402 - BUILDINGS K, L & M - ENLARGED PORCH 'A' & 'F' PLANS & DETS

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A410 - BUILDING M - ENLARGED KITCHEN PLAN & ELEV A601 - BUILDINGS K, L & M - DOOR SCHEDULE & ROOM FINISH NOTES

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PLUMBING DRAWINGS

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P103 - BUILDING M - FLOOR PLANS - PLUMBING P104 - BUILDING K - LARGE SCALE PLAN - PLUMBING

P105 - BUILDING L - LARGE SCALE PLAN - PLUMBING

P106 - BUILDING M - LARGE SCALE PLAN - PLUMBING P107 - BUILDINGS K, L, & M - PLUMBING SCHEDULES & DETAILS

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ELECTRICAL DRAWINGS

E101 - BUILDING K - FLOOR PLANS - ELECTRICAL E102 - BUILDING L - FLOOR PLANS - ELECTRICAL

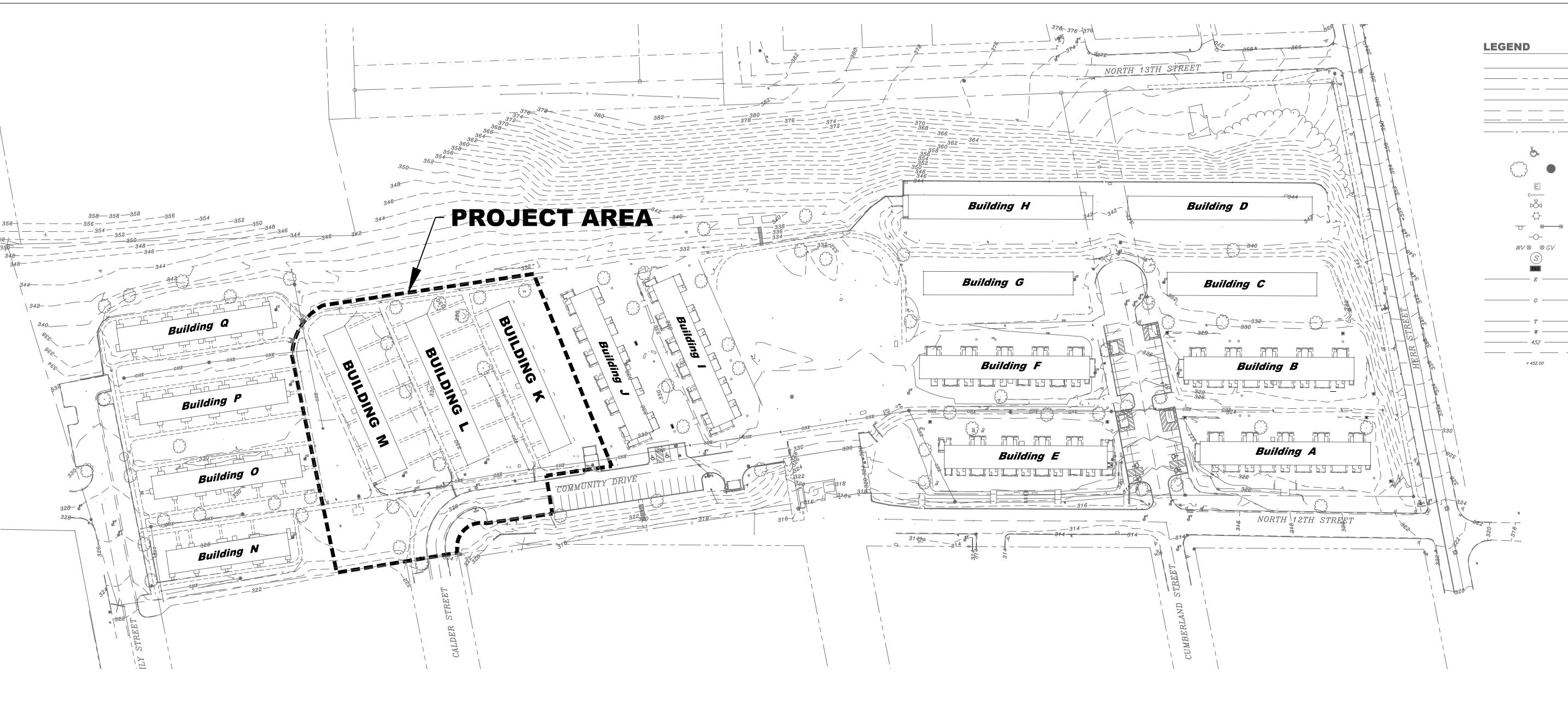
E103 - BUILDING M - FLOOR PLANS - ELECTRICAL E104 - BUILDING K - LARGE SCALE PLAN - ELECTRICAL

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SHEET INDEX

C100 - KEY PLAN

C101 - EXISTING CONDITION AND DEMOLITION PLAN

C102 - LAYOUT PLAN

C103 - UTILITY PLAN

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C105 - EROSION AND SEDIMENT CONTROL PLAN

C501 - SITE DETAILS C502 - SITE DETAILS

C503 - EROSION AND SEDIMENT CONTROL DETAILS

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL



POCS SERIAL NUMBER

UTILITY NOTES

PENNSYLVANIA ACT 50(2017)/187(1996) REQUIRES NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH. PA ONE CALL SERIAL NO:

LIST OF ABBREVIATIONS

= INVERT

= IRON PIN SET

INV

IPS

1. UTILITIES SHOWN ARE APPROXIMATE IN LOCATION AND REPRESENT SURFACE

OTHER UTILITIES MAY BE LOCATED WITHIN THE PROJECT AREA.

2. CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY STRUCTURES AND APPURTENANCES TO BE FLUSH WITH FINISHED GRADES.

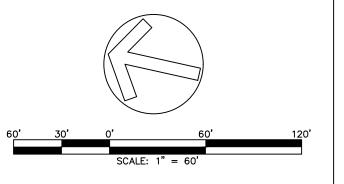
CONDITIONS, PA ONE CALL MARKINGS, AND AVAILABLE RECORD DRAWINGS.

CONTRACTORS ARE REQUIRED TO PERFORM CONSTRUCTION PA ONE CALL AND EXCAVATION OF TEST PITS TO VERIFY ALL UTILITY LOCATIONS.

3. CONTRACTOR SHALL CLEAN ALL STORM DRAINAGE STRUCTURES TO ENSURE

= LINEAR FEET = BALL & BURLAP = LIMIT OF DISTURBANCE BC BM = BOTTOM OF CURB BENCH MARK = = MAN HOLE CL CMP CENTER LINE = NORTH = CORRUGATED METAL PIPE = PROPERTY LINE = CONT. CO CPP DS = CONTAINER = POLYVINYL CHLORIDE = POINT OF BEGINNING CLEAN OUT = CORRUGATED PLASTIC PIPE = RADIUS = = ROCK CONSTRUCTION ENTRANCE DOWN SPOUT = EAST = RIGHT-OF-WAY = = EXISTING IRON PIN = EDGE-OF-CARTWAY EIP = SOUTH EOC EOP SR = STATE ROAD = EDGE-OF-PAVEMENT = TOP OF CURB ΕW = TOP OF GRADE = END WALL = TOP OF WALL FFE = FINISHED FLOOR ELEVATION TW

= WEST

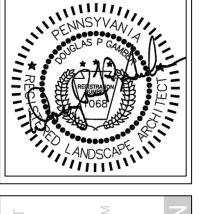


BID DRAWINGS

(EXISTING FEATURES) HANDICAPPED PARKING VEGETA TION ELECTRICAL TRANSFORMER GUYFIRE HYDRANT UTILITY POLE UTILITY VALVE MANHOLE INLET - ELECTRIC LINE SANITARY SEWER LINE ———— GAS LINE STORMWATER LINE

> - CONTOUR MINOR SPOT ELEVATION



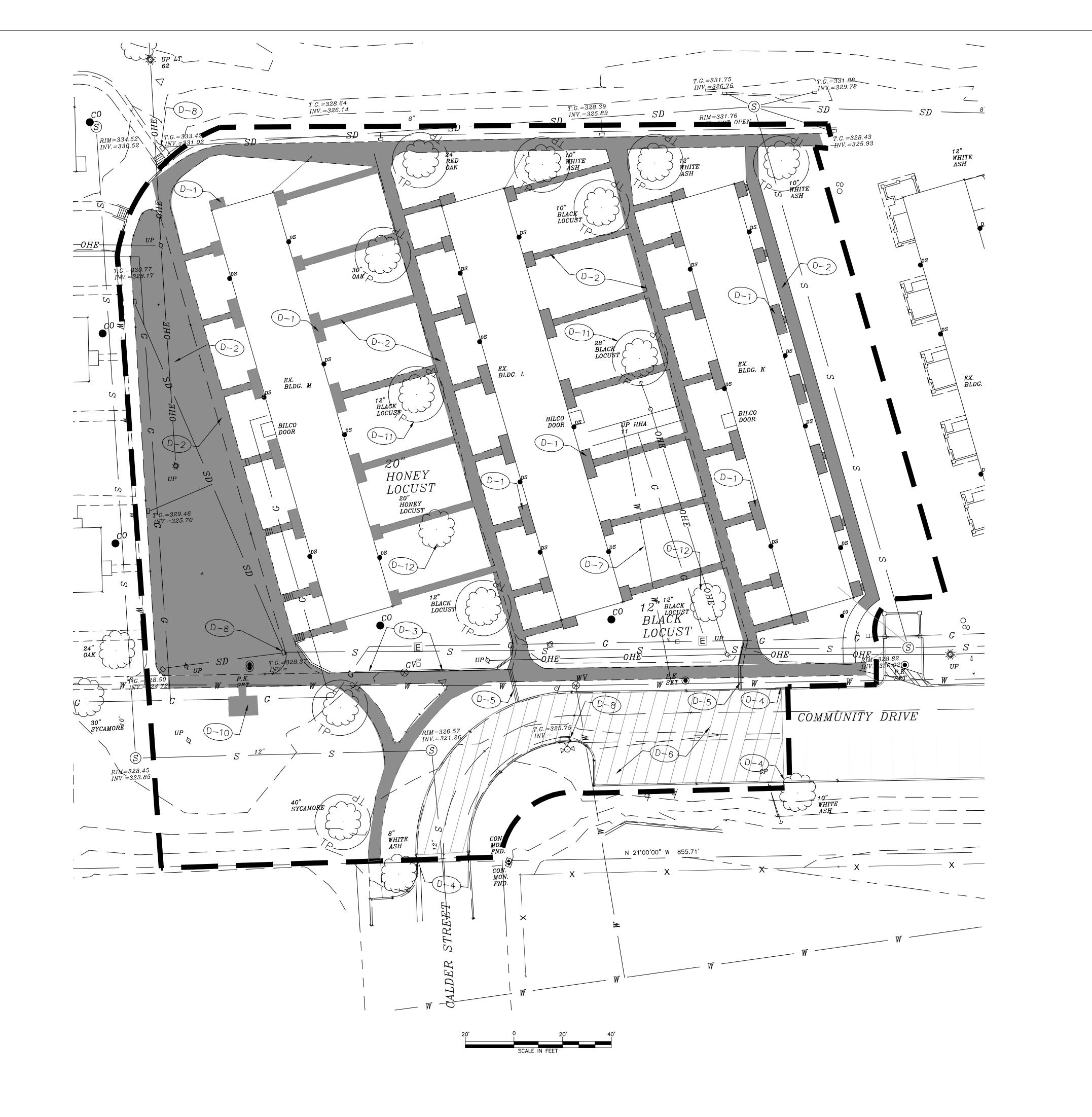


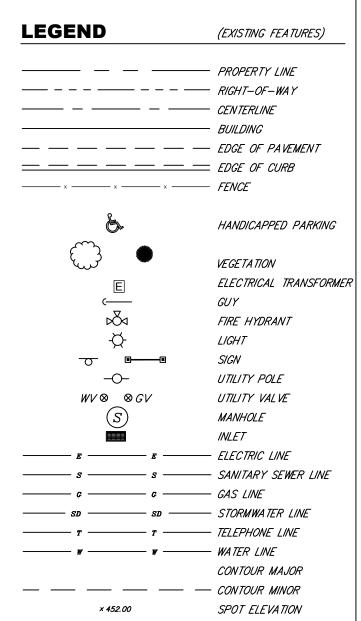
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SCALE : AS NOTED JOB NO. : 337-W011

C100





DEMOLITION LEGEND

EXISTING PAVEMENT TO BE REMOVED DEMOLITION NOTE REFERENCE TREE PROTECTION

DEMOLITION NOTES

(D-1) DEMOLISH ALL EXISTING PORCHES, STAIRS & RAILINGS (TYP)

D-2 DEMOLISH PAVEMENT

D-3 REMOVE EXISTING RETAINING WALL, INCLUDING FOUNDATIONS AND PIERS

D-4 REMOVE CURBING BETWEEN THESE POINTS

(D-5) REMOVE IRON TRENCH BOXES

D-6 MILL 1" SURFACE OF EXISTING ASPHALT PAVING — BY G.C.

(D-7) REMOVE EXISTING WATER LINES

(D-8) REMOVE EXISTING INLET FOR REPLACEMENT

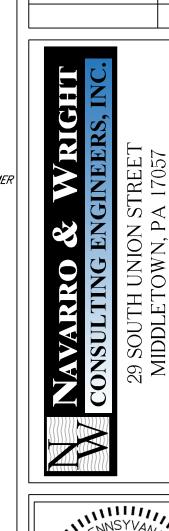
REMOVE ALL EXISTING SHRUBS & CLOTHES LINES WITHIN THE LIMIT OF DISTURBANCE (LOD)

(D-10) REMOVE EXISTING TABLE AND EXISTING PAVEMENT

BID DRAWINGS

(D-11) ERECT TEMPORARY TREE PROTECTION(TYP.)

(D-12) REMOVE TWO (2) TREES AS INDICATED





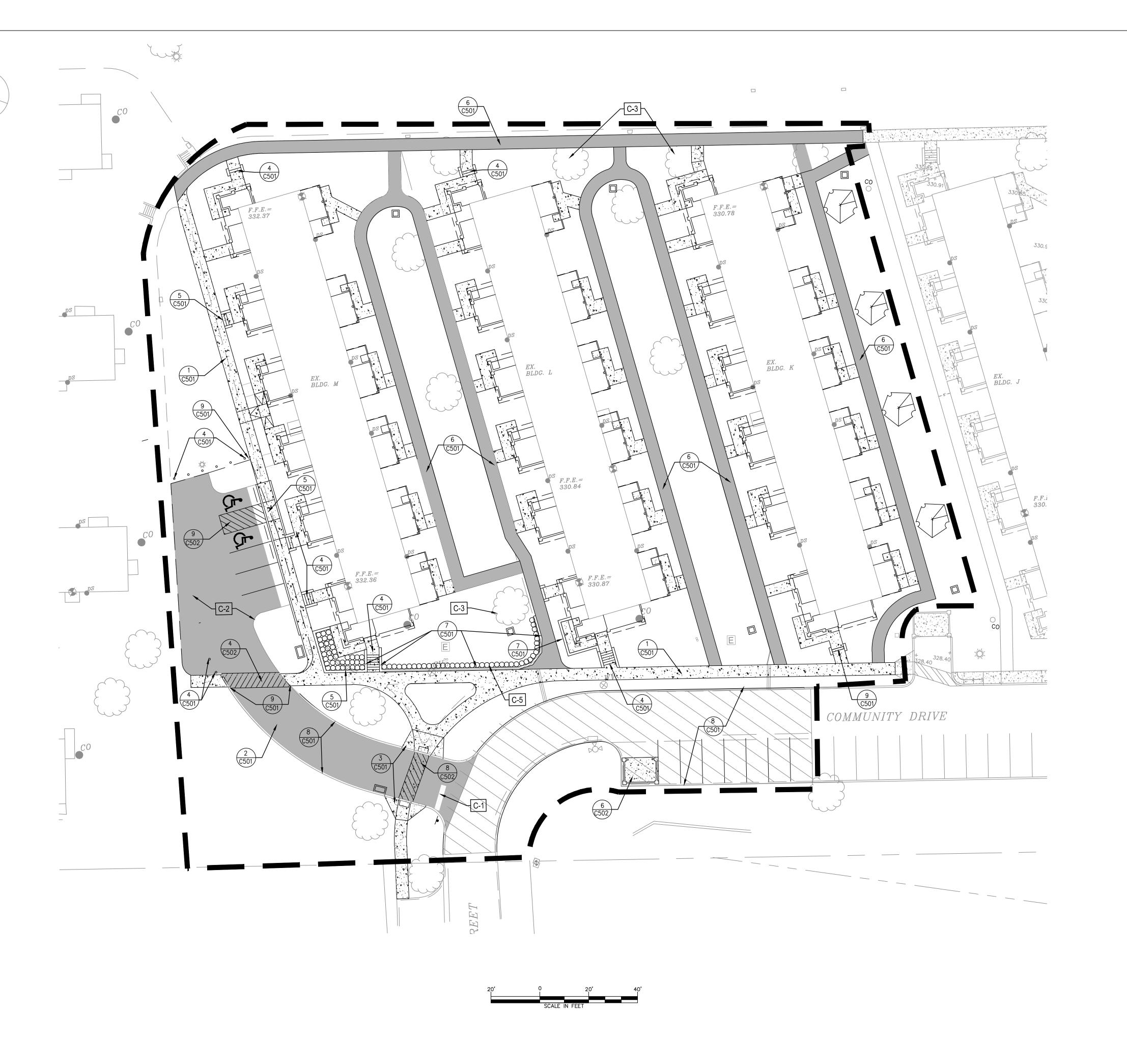
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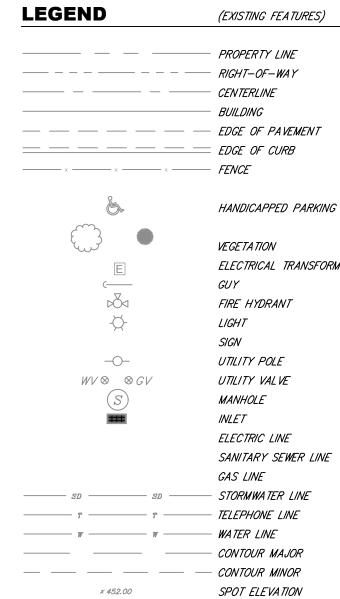
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JOB NO. : 337-WO11 SHEET

C101





LEGEND	(PROPOSED FEATURES)
	— BUILDING
	— EDGE OF PAVEMENT
	CONCRETE CURB
Ġ.	ACCESSIBLE PARKING
- O	— FENCE
	— GUIDERAIL
•	FLAGPOLE
	SIGN
(41)	PARKING TABULATION
>	FIRE HYDRANT
-	LIGHT
	PAINTED TRAFFIC FLOW
	MANHOLE
	INLET
×	VALVE
	TRANSFORMER
	DUMPSTER ENCLOSURE
	FLOWERING TREE
	FULL DEPTH ASPHALT PAVEMENT
	ASPHALT MILL AND OVERLAY
	CONCRETE PAVING

CONSTRUCTION NOTES

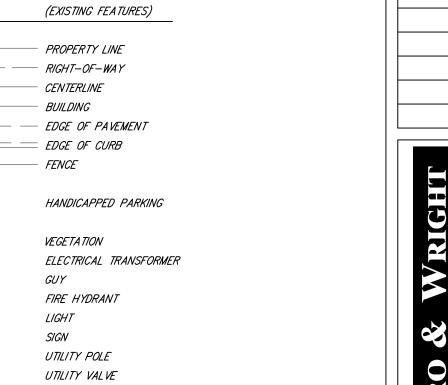
C-1 STOP SIGN AND PAINTED STOP BAR

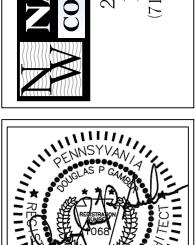
C-2 4" PAINTED LINE STRIPS TO DEMARCATE PARKING AREA

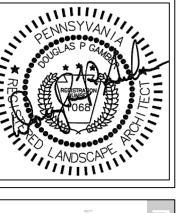
C-3 PRUNE EXISTING TREES ADJACENT TO BUILDINGS PER ARBORIST DIRECTION (TYP. OF EIGHT (8) TREES.

C-4 PLANT FOUR (4) FLOWERING DOGWOOD TREES (8'-10' HT.)

C-5 PLANT SEVENTY—NINE (79) DWARF FOUNTAIN GRASS ALONG TOP OF WALL (2 GAL. CONTAINERS @ 2' O.C.)





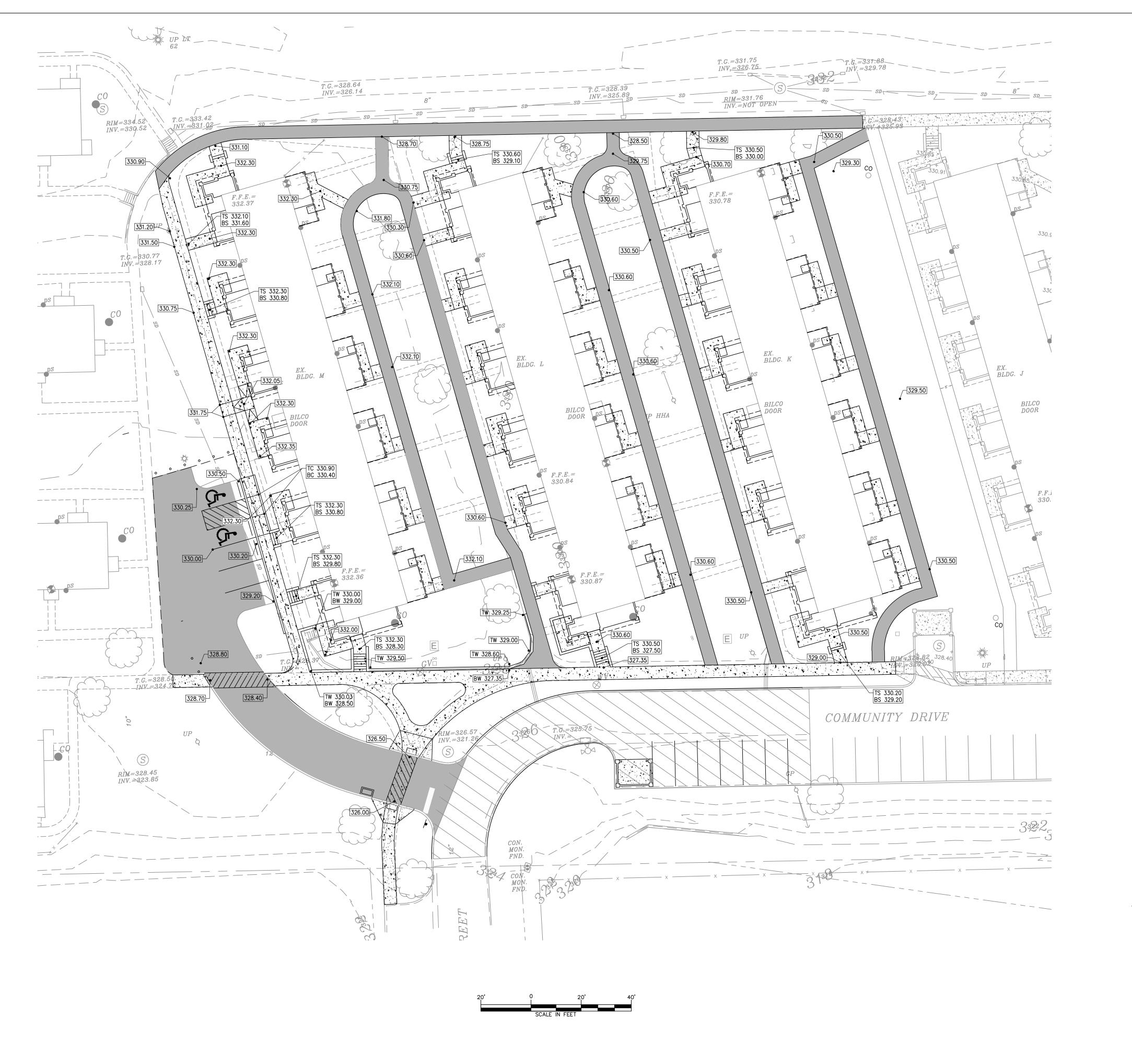


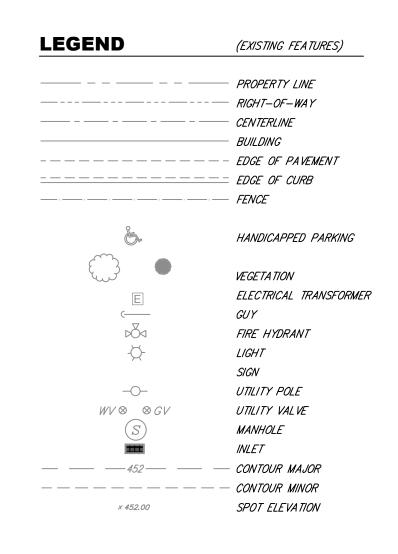
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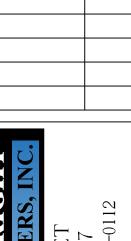
C-102



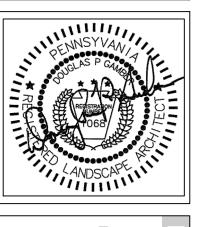


LEGEND	(PROPOSED FEATURES)
	BUILDING
	EDGE OF PAVEMENT
	CONCRETE CURB
5 .	ACCESSIBLE PARKING
-	FENCE
-	GUIDERAIL
•	FLAGPOLE
_	SIGN
(41)	PARKING TABULATION
₽Ğ4	FIRE HYDRANT
■-	LIGHT
	PAINTED TRAFFIC FLOW
	MANHOLE
(0.000.00)	INLET
\bowtie	VALVE
T	TRANSFORMER
P	DUMPSTER ENCLOSURE
○ co	CLEAN-OUT
	CONTOUR LINE
328.40	SPOT ELEVATION
	FULL DEPTH ASPHALT PAVEMENT
	ASPHALT MILL AND OVERLAY
	CONCRETE PAVING

LEGEND	(PROPOSED GRADING FEATURES)
300	MAJOR CONTOUR
302	MINOR CONTOUR
+ 302.54	SPOT ELEVATION



CONSULTING ENGINEERS,
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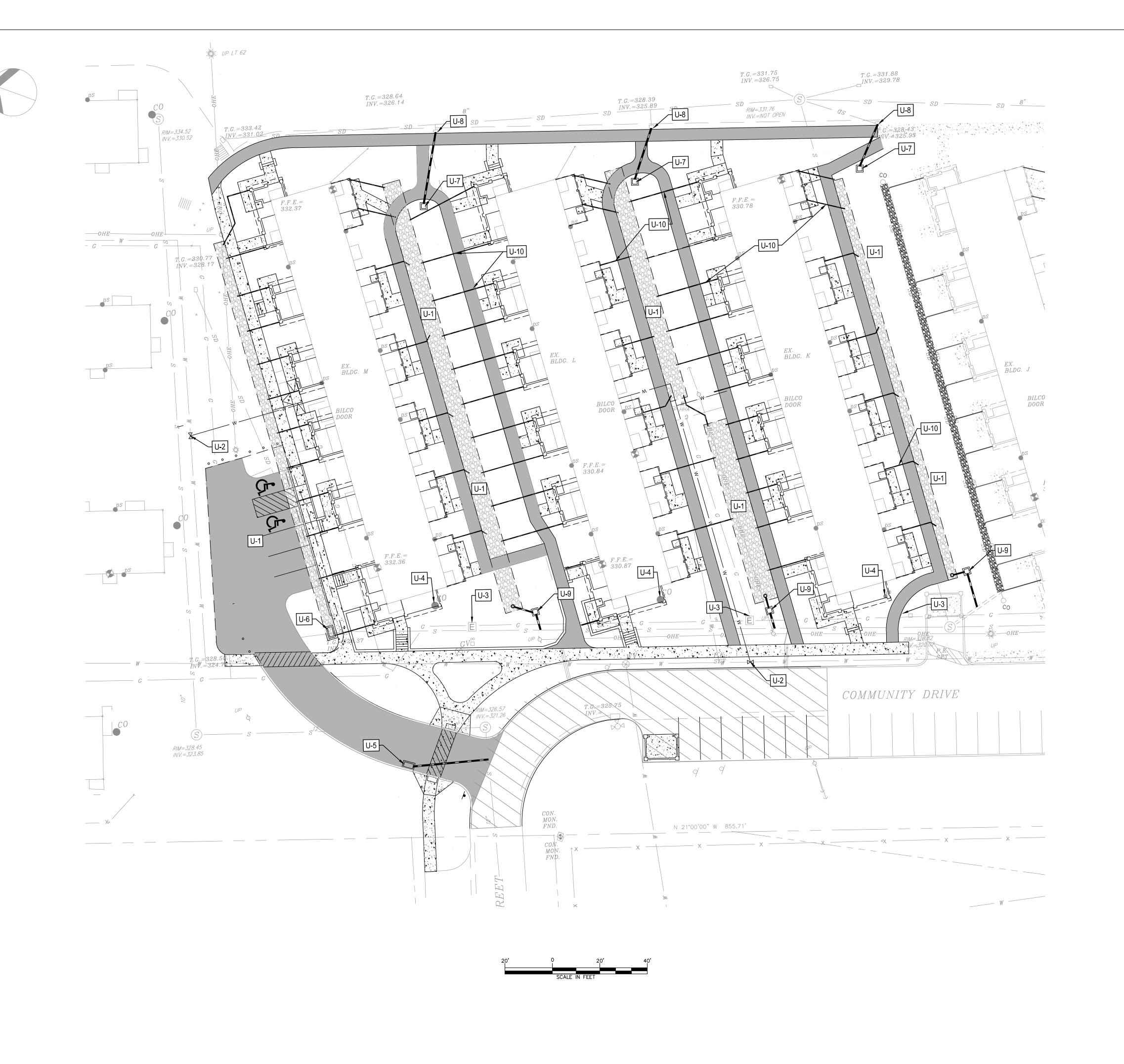
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LEGEND

			- PROPERTY LINE
			- RIGHT-OF-WAY
		- — — — — — — — — — — — — — — — — — — —	- CENTERLINE
			- BUILDING
_			— EDGE OF PAVEMEN
=			EDGE OF CURB
	x x x	x x	— FENCE
		>	HANDICAPPED PARI
			VEGETA TION
	(GUY
	×	7	FIRE HYDRANT
	-	> -	LIGHT
		<u> </u>	SIGN
	—)—	UTILITY POLE
	$WV \otimes$	$\otimes GV$	UTILITY VALVE
	(5	5)	MANHOLE
	=		INLET
	E	E	- ELECTRIC LINE
	s	s	— SANITARY SEWER L
	G	G	— GAS LINE
	SD	SD	STORMWATER LINE
	т —	<i>T</i>	- TELEPHONE LINE
		W	- WATER LINE
	45	52	— CONTOUR MAJOR
			- CONTOUR MINOR

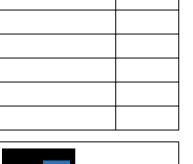
LEGEND	(PROPOSED FEATURES)
	BUILDING
	EDGE OF PAVEMENT
	CONCRETE CURB
Ġ.	ACCESSIBLE PARKING
$-\hspace{-0.5cm} \hspace{-0.5cm} -$	FENCE
	GUIDERAIL
•	FLAGPOLE
	SIGN
(41)	PARKING TABULATION
▶Ğ ∢	FIRE HYDRANT
■-	LIGHT
	PAINTED TRAFFIC FLOW
	MANHOLE
(0.000.00)	INLET
\bowtie	VALVE
T	TRANSFORMER
D	DUMPSTER ENCLOSURE
Oco	CLEAN-OUT
E	ELECTRIC LINE
s	SANITARY SEWER
G	GAS LINE
	STORMWATER LINE
т	TELEPHONE LINE
W	WATER LINE
· · · ·	UTILITY EASEMENT
	FULL DEPTH ASPHALT PAVEMENT
	ASPHALT MILL AND OVERLAY
	CONCRETE PAVING

SPOT ELEVATION

UTILITY NOTES

- U-1 UNDERGROUND STORMWATER DETENTION FACILITY SEE DETAIL
- U-2 NEW TAPPING SLEEVE AND VALVE FOR 2" WATER SERVICE REPLACEMENT
- U-3

 ELECTRICAL CONTRACTOR TO EXTEND NEW ELECTRICAL SERVICE TO EXISTING TRANSFORMERS PER CONNECTION TO EXISTING 4" PVC CONDUITS
- J-4 RELOCATE EXISTING CLEANOUT
- U-5 NEW TYPE C INLET PROVIDE "Y" CONNECTION WITH EXISTING SEWER
- U-6 NEW TYPE M INLET CONNECT EXISTING PIPING
- -7 NEW YARD INLET
- U-8 CONNECT NEW YARD INLET WITH 8" PVC @ 1.0% MIN.
- U-9 CONNECT STORMWATER FACILITY TO YARD INLET
 MAKE "Y" CONNECTION TO EXISTING SEWER
- U-10 TYPICAL 4" ROOF LATERAL AT 1.0% SLOPE MIN. (TYPICAL OF FIFTY—SEVEN (57))



STREET

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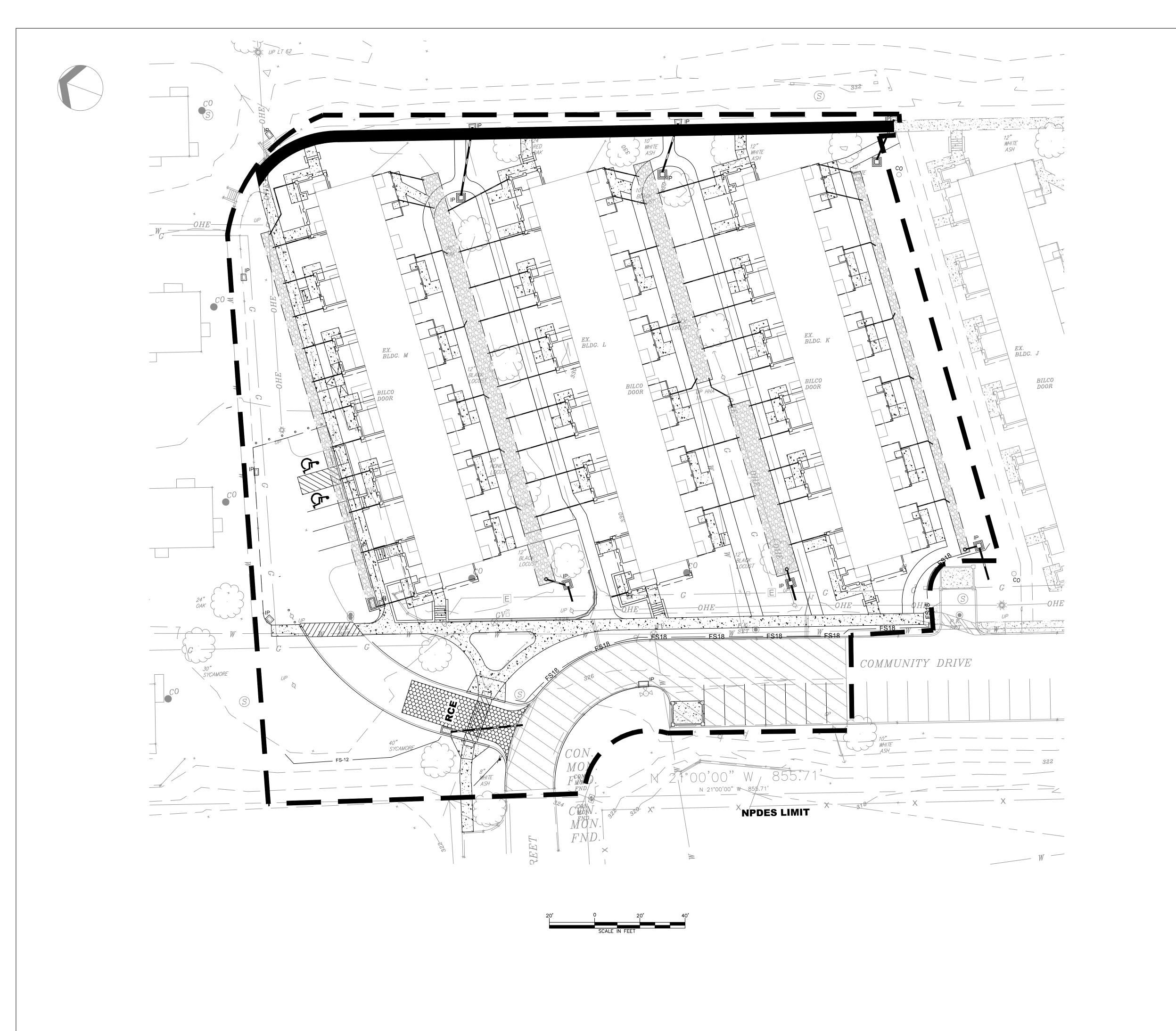
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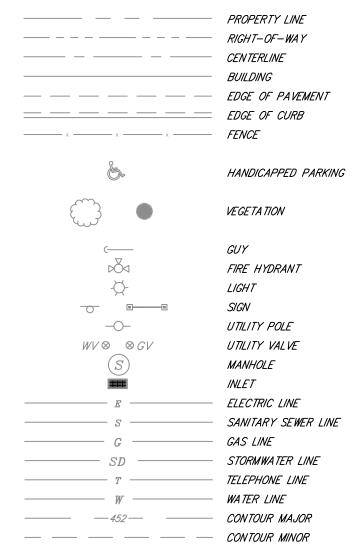
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JOB NO.: 337-W011

C-104



LEGEND



LEGEND	(PROPOSED FEATURES)
	BUILDING
	EDGE OF PAVEMENT
P.	CONCRETE CURB
&	ACCESSIBLE PARKING
	FENCE
	GUIDERAIL
<u>•</u>	FLAGPOLE SIGN
<u>(41)</u>	PARKING TABULATION
	FIRE HYDRANT
—	LIGHT
	PAINTED TRAFFIC FLOW
	MANHOLE
0.0000	INLET
\bowtie	VALVE
	TRANSFORMER
	DUMPSTER ENCLOSURE
OC0	CLEAN-OUT
400	UTILITY EASEMENT CONTOUR LINE
328.40	SPOT ELEVATION
	FULL DEPTH ASPHALT PAVEME
	ASPHALT MILL AND OVERLAY
[PAGE AND CONTROL OF THE PAGE	
	CONCRETE PAVING
	IMPRINTED ASPHALT
	5 C.F. BOULDERS
	LIMIT OF DISTURBANCE
FS-12 ———	SILT SOCK
□ IP	INLET PROTECTION
<u> </u>	ROCK CONSTRUCTION ENTRANC
	DIVERSION CHANNEL
	R-3 RIP-RAP
	EROSION CONTROL BLANKET
	JUTE MATTING

TEMPORARY CONSTRUCTION FENCE

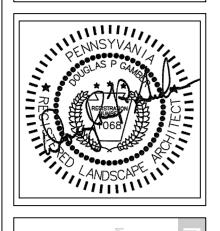
SPOT ELEVATION

AVARRO & WRIGHT

NSULTING ENGINEERS, INC

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HARRISBURG HOUSING AUTHORITY
EROSION & SEDIMENTATION
CONTROL PLAN

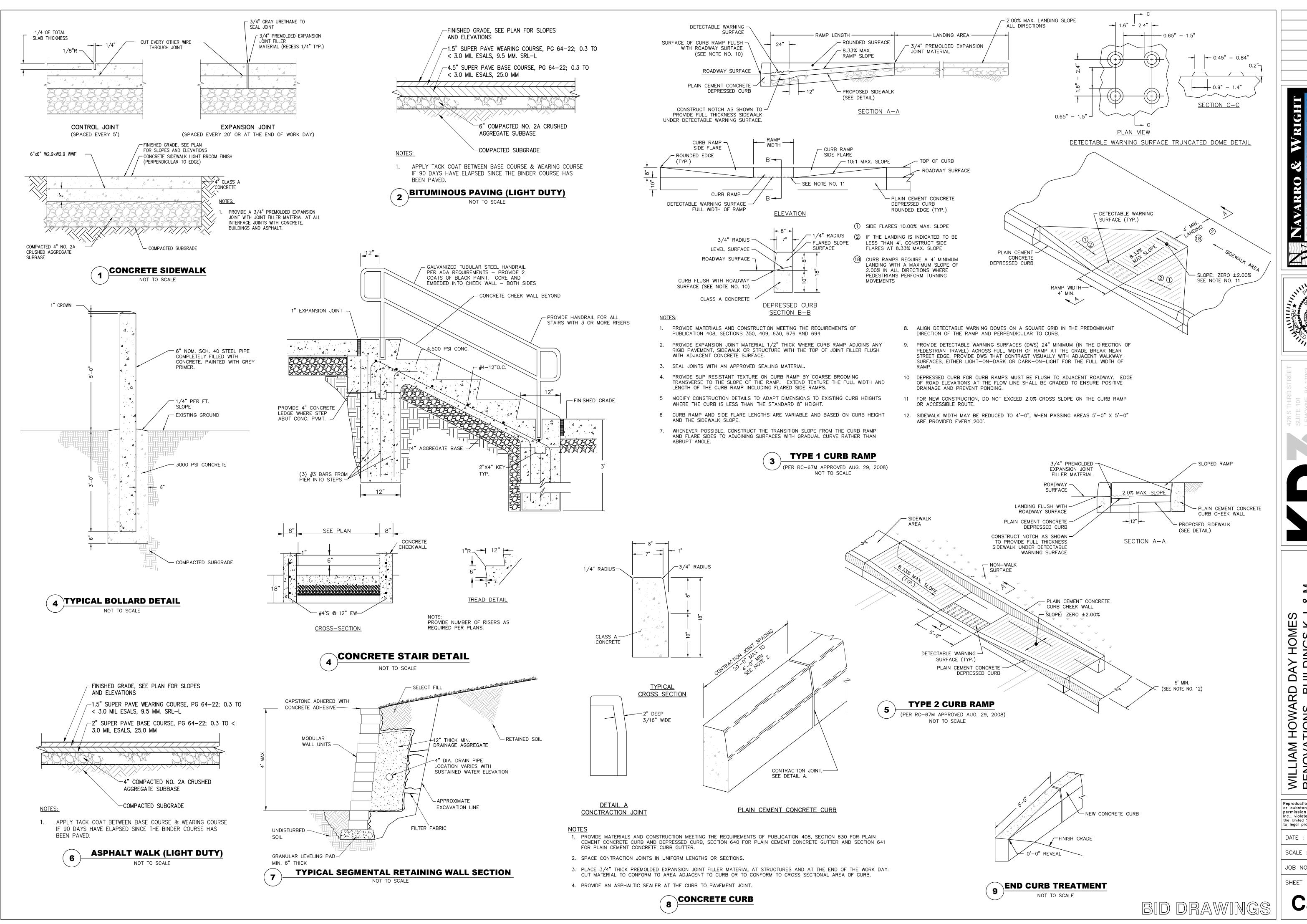
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BID DRAWINGS C-105





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C501

SEQUENCE OF CONSTRUCTION:

APPROXIMATELY 4.20 ACRES WILL BE DISTURBED DURING CONSTRUCTION.

- A SEQUENCE OF CONSTRUCTION IS PRESENTED BELOW.
- 1. AT LEAST SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIÁLS, THE EROSION AND SEDIMENT CONTROL PLAN PREPARER, AND A REPRESENTATIVE OF THE DAUPHIN COUNTY CONSERVATION DISTRICT TO AN ON-SITE
- 2. AT LEAST THREE (3) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 (SERIAL NO. 0135647) FOR THE LOCATION OF
- 3. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE ANY FOLLOWING STAGE IS INITIALIZED. CLEARING, GRUBBING AND TOPSOIL STRIPPING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.
- 4. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG OR EQUIVALENT SEDIMENT REMOVAL FACILITY, OVER UNDISTURBED VEGETATED AREAS.
- 5. ALL BEST MANAGEMENT PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS AND LOCATIONS SHOWN ON THE PLANS.
- 6. THE ORDER OF THE FOLLOWING SEQUENCE IS SUBJECT TO CHANGE DUE TO SITE SPECIFIC CONDITIONS AND CONSTRUCTION METHODS. ALL CHANGES SHALL BE APPROVED BY THE DAUPHIN COUNTY CONSERVATION DISTRICT.
- 7. FIELD LOCATE THE PROPOSED LIMITS OF DISTURBANCE AND MARK THESE LIMITS WITH ORANGE CONSTRUCTION FENCE OR EQUIVALENT.
- 8. PLACE ROCK CONSTRUCTION ENTRANCE AT LOCATIONS SHOWN ON PLAN.
- 9. PLACE FILTER SOCK AT LOCATIONS SHOWN ON PLAN. IF CONCENTRATED FLOW AREAS FORM, REPLACE FILTER SOCK WITH A ROCK FILTER OUTLET. REMOVE SEDIMENT FROM FILTER SOCK WHEN ACCUMULATIONS REACH ½ THE HEIGHT OF THE SILT FENCE.
- 10. PLACE INLET PROTECTION ON ALL EXISTING INLETS LOCATION ON THE SITE.
- 11. ROUGH GRADE THE SITE.
- 12. COMPLETE RENOVATIONS OF BUILDINGS 13. INSTALL STONE INFILTRATION TRENCH AND ROOF DRAIN SYSTEM.
- 14. INSTALL SIDEWALKS.
- 15. REPLACE INLETS AND PIPES.
- 16. MILL DOWN ASPHALT AREAS.
- 17. PLACE ASPHALT FOR ALL PAVED AREAS.
- 18. UPON COMPLETION AND STABILIZATION OF THE SITE, CONTACT THE DAUPHIN COUNTY CONSERVATION DISTRICT TO VERIFY THAT PERMANENT STABILIZATION (I.E., A MINIMUM, UNIFORM 70% WELL-ESTABLISHED PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS) HAS BEEN ACHIEVED.
- 19. UPON APPROVAL FROM THE DAUPHIN COUNTY CONSERVATION DISTRICT, REMOVE ALL REMAINING EROSION AND SEDIMENTATION CONTROLS (E.G., SILT FENCE, INLET PROTECTION, ETC.). IMMEDIATELY SEED AND MULCH ANY AREAS DISTURBED DURING REMOVAL OF THESE CONTROLS.

MAINTENANCE NOTES:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ONGOING MAINTENANCE OF ALL EROSION AND SEDIMENT POLLUTION CONTROL FACILITIES THROUGHOUT THE PERIOD OF CONSTRUCTION AND UNTIL SUCH TIME THAT THE SITE IS DEEMED PERMANENTLY STABILIZED. THE ITEMS OF RESPONSIBILITY INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

- 1. THE ROCK CONSTRUCTION ENTRANCES SHALL BE INSPECTED AT THE END OF EACH CONSTRUCTION DAY. THE ROCK PILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ANY SEDIMENTS THAT HAVE BEEN DEPOSITED ON PUBLIC ROADS
- 2. ALL FILTERSOCK SHALL BE INSPECTED AFTER EACH STORM EVENT FOR WASHOUTS, OVER TOPPING, AND PHYSICAL DAMAGE. ANY DAMAGE SHALL BE REPAIRED IMMEDIATELY. ACCUMULATED SEDIMENTS SHALL BE REMOVED AS REQUIRED TO KEEP THE BARRIER FUNCTIONAL. IN ALL CASES, REMOVE DEPOSITS WHERE ACCUMULATIONS REACH ONE-HALF (1/2) OF THE ABOVE GROUND HEIGHT OF THE BARRIER.
- 3. SPECIAL CARE SHALL BE GIVEN TO THE INSPECTION AND MAINTENANCE OF ALL FILTER BAG INLET PROTECTION DEVICES TO ENSURE THEIR PROPER INTENDED FUNCTION. THESE DEVICES ARE THE PRIMARY CONTROL MEASURE USED TO PREVENT SEDIMENT-LADEN RUNOFF FROM ENTERING THE STORM SEWER SYSTEM.
- 4. THE PROPER TIMING OF THE INSTALLATION AND REMOVAL OF ALL FACILITIES AS HEREIN SPECIFIED SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN AN APPROVED SANITARY LANDFILL OR REUSED ELSEWHERE IF POSSIBLE.
- 5. ALL SEEDED AREAS SHALL BE INSPECTED THREE (3) WEEKS AFTER SEED APPLICATION TO ENSURE THAT AT LEAST SEVENTY PERCENT (70%) OF THE SEEDED AREAS ARE COVERED. IF LESS THAN SEVENTY (70%) COVERAGE IS ACHIEVED. THEN RESEEDING SHALL BE INITIATED.
- 6. THE PERMITTEE AND CO-PERMITTEE MUST ENSURE THAT VISUAL SITE INSPECTIONS ARE CONDUCTED WEEKLY, AND AFTER EACH PRECIPITATION EVENT BY QUALIFIED PERSONNEL, TRAINED AND EXPERIENCED IN EROSION AND SEDIMENT CONTROL. TO ASCERTAIN THAT THE BMP'S ARE OPERATIONAL AND EFFECTIVE IN PREVENTING POLLUTION TO THE WATERS OF THE COMMONWEALTH. A WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT, AND INCLUDE:
- A. A SUMMARY OF SITE CONDITIONS, BMP'S AND COMPLIANCE; AND
- B. THE DATE, TIME AND THE NAME OF THE PERSON CONDUCTING THE INSPECTION
- 7. WHEN BMP'S ARE FOUND TO BE INOPERATIVE OR INEFFECTIVE DURING AN INSPECTION, OR ANY OTHER TIME, THE PERMITTEE AND CO-PERMITTEE SHALL IMMEDIATELY CONTACT THE REVIEWING ENTITY, BY PHONE OR PERSONAL CONTACT, FOLLOWED BY THE SUBMISSION OF A WRITTEN REPORT WITHIN 5 DAYS OF THE INITIAL CONTACT. NON-COMPLIANCE REPORTS SHALL INCLUDE THE FOLLOWING INFORMATION.
- A. ANY CONDITION ON THE PROJECT SITE WHICH MAY ENDANGER PUBLIC HEALTH, SAFETY, OR THE ENVIRONMENT, OR INVOLVE INCIDENTS WHICH CAUSE OR THREATEN POLLUTION;
- B. THE PERIOD OF NON-COMPLIANCE, INCLUDING EXACT DATES AND TIMES AND/OR ANTICIPATED TIME WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE;
- C STEPS BEING TAKEN TO REDUCE, ELIMINATE, AND PREVENT RECURRENCE OF THE NON-COMPLIANCE; AND

D. THE DATE OR SCHEDULE OF DATES, AND IDENTIFYING REMEDIES FOR CORRECTING NON-COMPLIANCE CONDITIONS.

- 8. SEDIMENT CLEANED FROM FILTERSOCK LOCATIONS SHALL BE GRADED ON SITE AND STABILIZED. TRASH REMOVED FROM THE SITE SHALL BE TAKEN TO AN APPROVED DISPOSAL AREA. ANY SEEDED OR SODDED AREAS THAT HAVE BECOME STRIPPED OF VEGETATION SHALL BE RE-ESTABLISHED WITH APPROPRIATE STABILIZATION MATERIALS IN A TIMELY FASHION. THIS PROCEDURE SHALL BE REPEATED AFTER EVERY SIZABLE STORM UNTIL NO SIGNS OF EROSION ARE EVIDENT. ALL LOCAL REGULATIONS SHALL BE COMPLIED WITH. MAINTENANCE OF ALL SOTRMWATER/EROSION CONTROL FACILITIES SHALL BE THE RESPONSIBILITY OF THE PERMITTEE AND CO-PERMITTEE UNTIL THE SOIL FOR THE ENTIRE PROJECT
- HAS BEEN PROPERLY STABILIZED. 9. MAINTENANCE OF PERMANENT STORMWATER MANAGEMENT DRAINAGE FACILITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AFTER SOIL STABILIZATION HAS OCCURRED. CITY SHALL NOT BE RESPONSIBLE FOR ANY STORMWATER MANAGEMENT OR DRAINAGE FACILITY THAT IS NOT DEDICATED TO THE CITY. HOWEVER, CITY WILL HAVE

THE RIGHT TO ACCESS THE PROPERTY AT ANY TIME TO INSPECT THE STORMWATER FACILITIES.

TEMPORARY SEEDING SPECIFICATIONS:

LIMESTONE: APPLY PULVERIZED AGRICULTURAL LIMESTONE AT THE RATE OF 800 LBS./1000 SY

FERTILIZER: APPLY 10-20-20 OR EQUIV. FERTILIZER AT A RATE OF 140 LBS./1000 SY

APPLY ANNUAL RYE GRASS AT A RATE OF 10 LB/1000 SY (PADOT FORMULA E)

PERMANENT SEEDING SPECIFICATIONS:

PENN DOT FORMULA: PERENNIAL RYEGRASS (20% BY WEIGHT) CREEPING RED FESCUE (30% BY WEIGHT) BLUEGRASS MIXTURE (50% BY WEIGHT) SEEDING RATE: 21.0 LB./ 1000 SQ. YD.

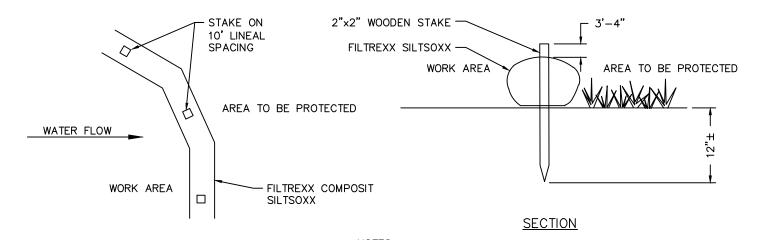
MARCH 15 TO JUNE 1 AUGUST 1 TO OCTOBER 15

APPLY IMMEDIATELY

NOTE: VEGETATIVE STABILIZATION SHALL BE PERIODICALLY INSPECTED FOR PROPER GROWTH. ANY AREAS NOT RESPONDING SHALL BE IMMEDIATELY RESEEDED. ANY AREAS EXHIBITING SIGNS OF EROSION PRIOR TO STABILIZATION SHALL BE IMMEDIATELY REGRADED, RESEEDED AND

MULCHING:

MULCH MATERIAL SHALL BE HAY OR STRAW AS DEFINED IN SECTION 805 OF PENN DOT PUBLICATION 408 AND SHALL BE FREE FROM FOREIGN MATERIAL, COARSE STEMS, AND ANY SUBSTANCE TOXIC TO PLANT GROWTH, ALSO FREE FROM MATURE SEED BEARING STALKS OR ROOTS OF PROHIBITED OR NOXIOUS WEEDS, BOTH AS DEFINED BY LAW. PLACE MULCH IMMEDIATELY AFTER SEEDING IN A UNIFORM CONTINUOUS BLANKET AT A MINIMUM RATE O 1,200 POUNDS PER 1,000 SQUARE YARDS. ON STEEP SLOPES, 3:1 OR GREATER, MULCH SHALL BE ANCHORED THROUGH THE USE OF JUTE NETTING OR MIXING WITH ASPHALT AT THE RATE OF 100 GALLONS PER 3 TONS OF STRAW MULCH.



PLAN VIEW

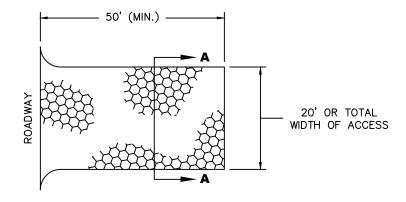
AASHTO NO. 1 ROCK -

1. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS 2. SILTSOXX COMPOST/SOIL/ROCK/SEED FILL TO

MEET APPLICATION REQUIREMENTS 3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

FILTREXX SILTSOXX DETAIL

NOT TO SCALE



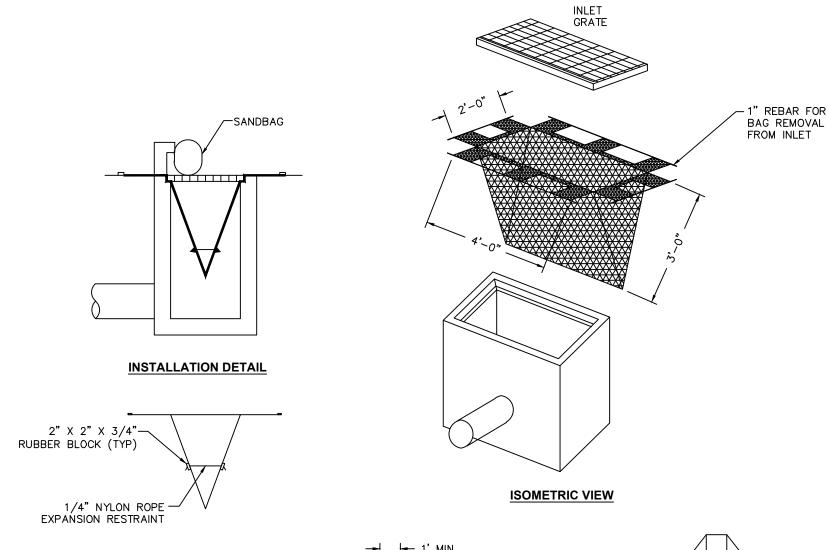
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SECTION A-A

PLAN VIEW

ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE.

ROCK CONSTRUCTION ENTRANCE



ELEVATION VIEW PLAN VIEW

MAXIMUM DRAINAGE AREA = 1/2 ACRE.

COMPLETED OR TO REMAIN PERMANENTLY.

INLET PROTECTION IS NOT REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS REQUIRED FOR ALL INSTALLATIONS. EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS

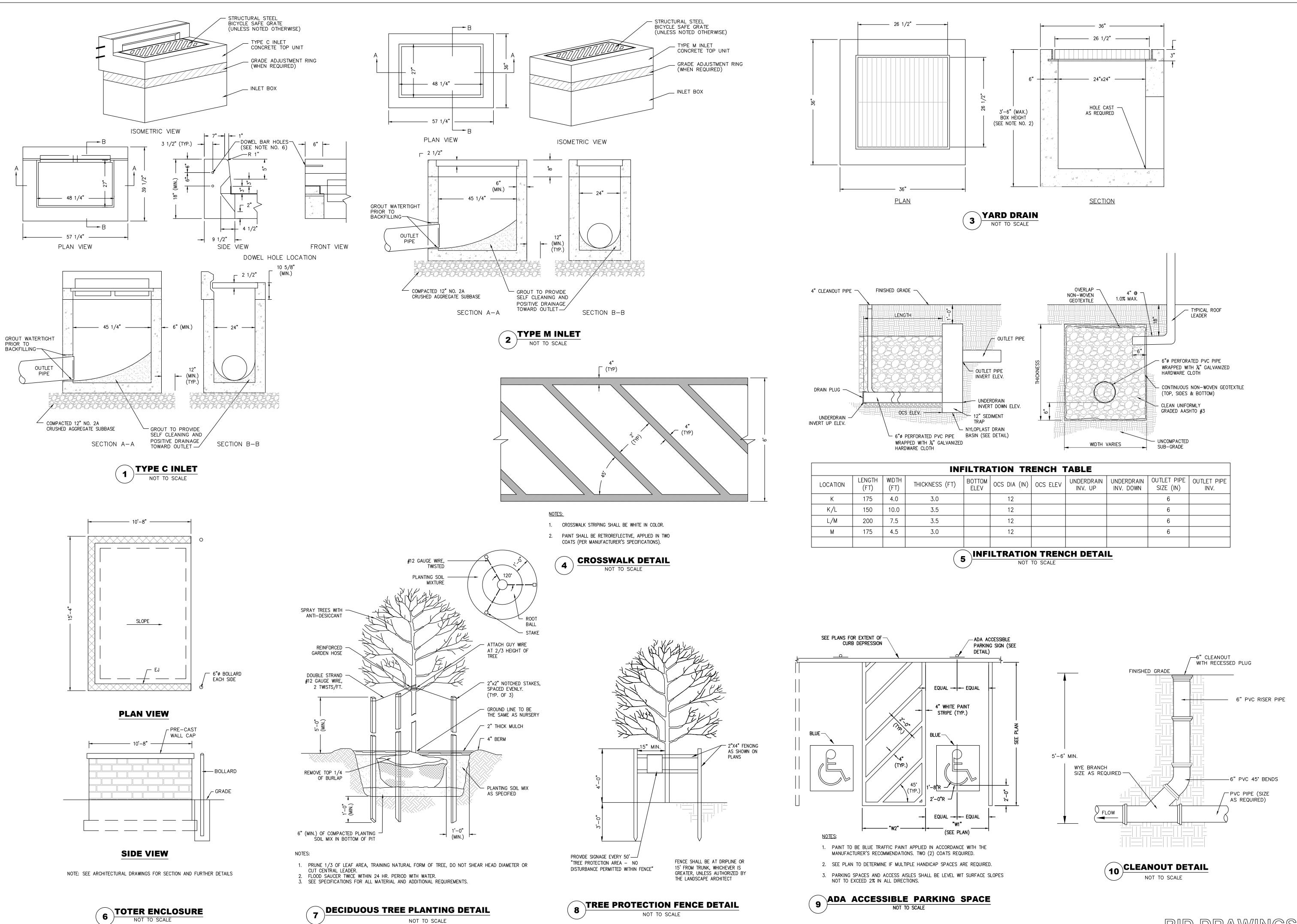
> FILTER BAG INLET PROTECTION CHANNEL OR ROADSIDE SWALE

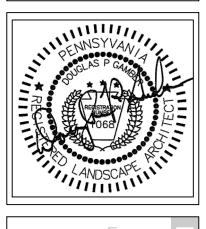
> > JOB NO. : 337-W011 SHEET BID DRAWINGS

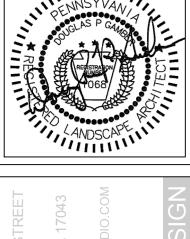


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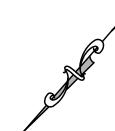


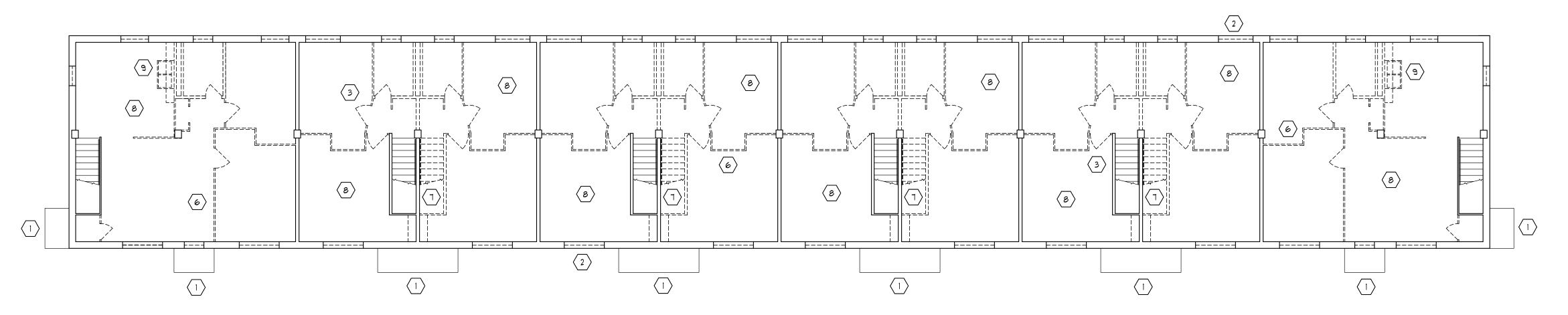


WILLIAM HOWARD DAY HOMES RENOVATIONS - BUILDINGS K, HARRISBURG HOUSING AUTHORITY

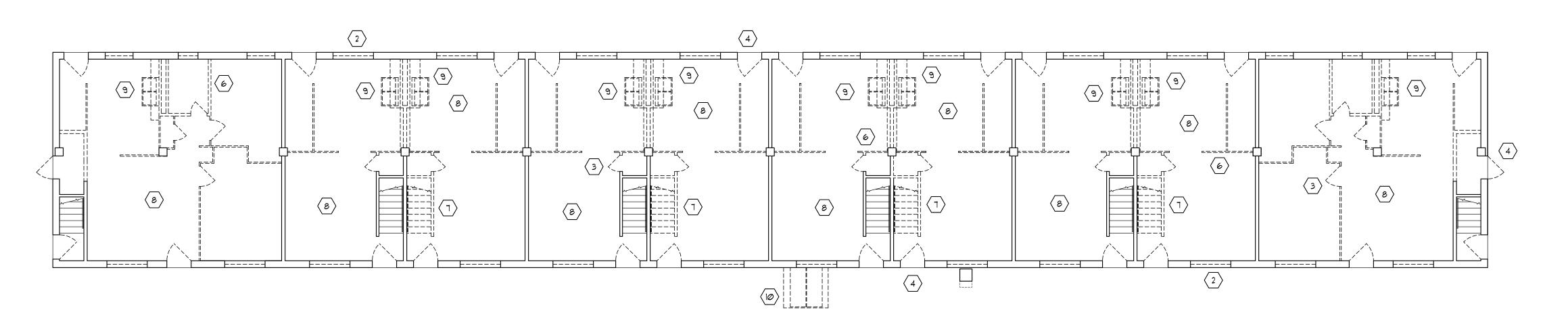
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C502 BID DRAWINGS





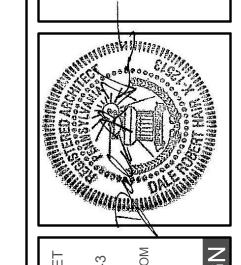
BUILDING K - SECOND FLOOR DEMOLITION PLAN SCALE: 1/8" = 1'-0"



BUILDING K - FIRST FLOOR DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

GENERAL DEMOLITION NOTES	DEMOLITION NOTES	
1. DEMOLITION CONTRACTOR TO FOLLOW CONSTRUCTION WASTE MANAGEMENT PLAN (SEE SPECIFICATIONS) THROUGHOUT DEMOLITION PROCESS.	REMOVE EXISTING ROOF IN ENTIRETY EXCEPT EXISTING CONCRETE ROOF SLAB.	
2. DEMOLITION CONTRACTOR TO PROVIDE TEMPORARY STRUCTURAL SUPPORTS AS REQUIRED	PREMOVE EXISTING WINDOW IN ENTIRETY INCLUDING EXISTING ALUMINUM, CONCRETE OR PRECAST CONCRETE SILL. TYPICAL AT ALL EXTERIOR WINDOWS.	
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WILLIAM HOWARD DAY HOMES
RENOVATIONS - BUILDINGS K, L & I
HARRISBURG HOUSING AUTHORITY
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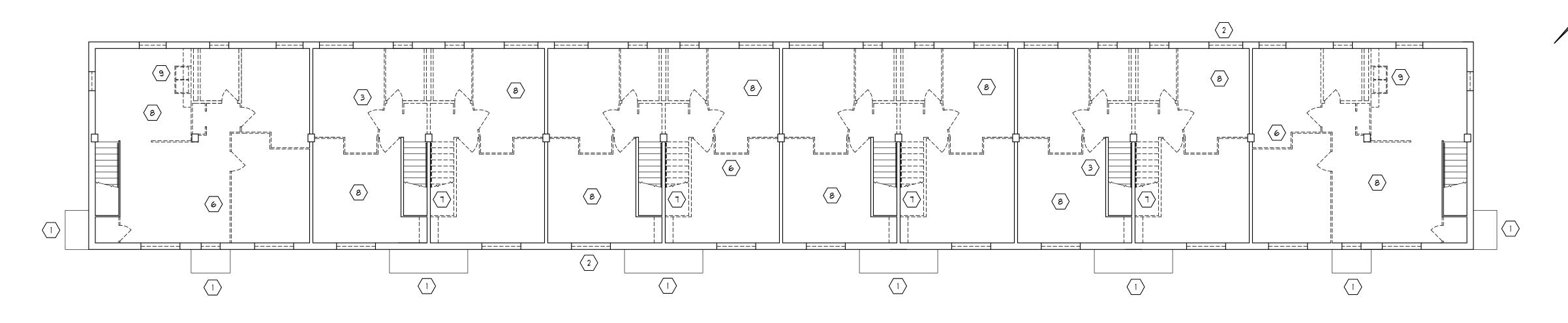
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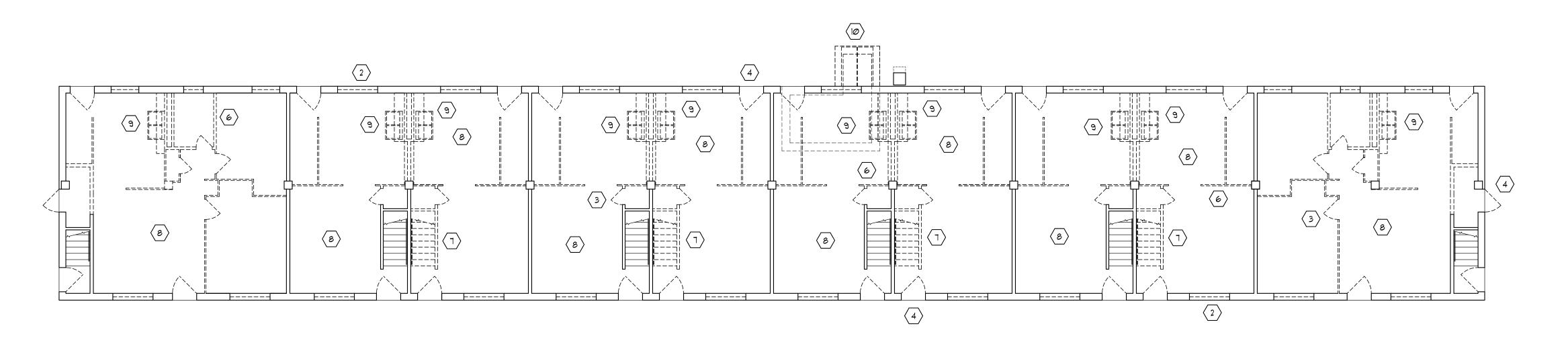
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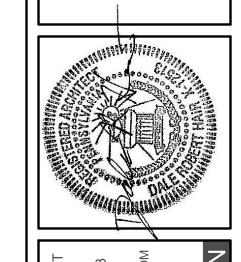
BUILDING L - SECOND FLOOR DEMOLITION PLAN SCALE: 1/8" = 1'-0"



BUILDING L - FIRST FLOOR DEMOLITION PLAN

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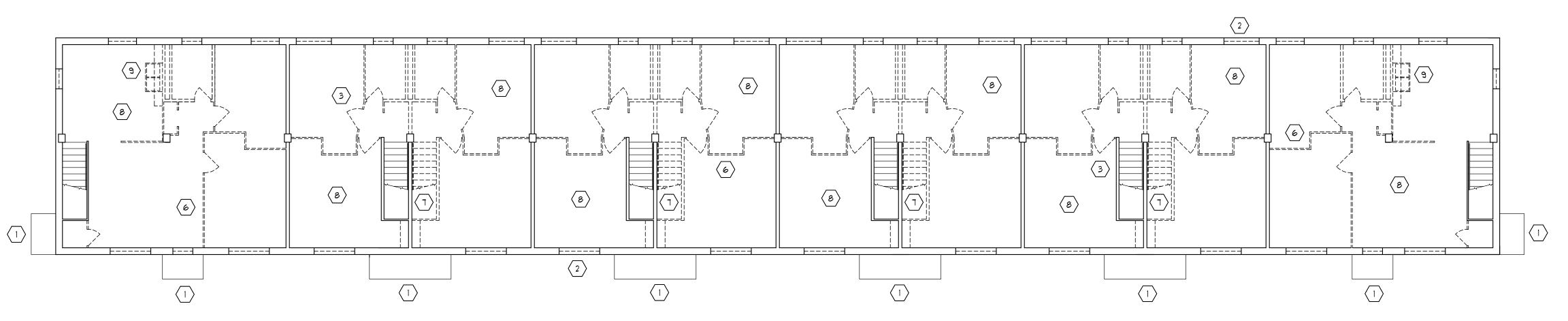
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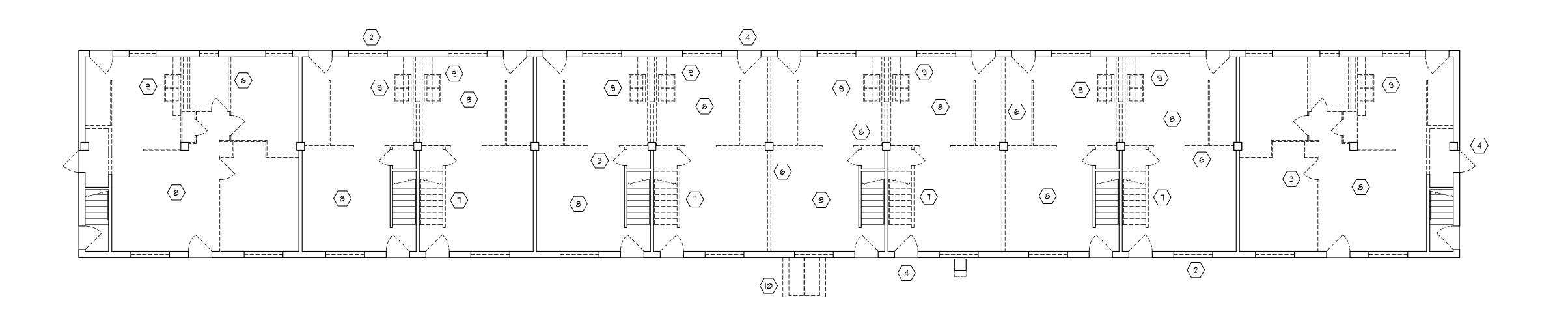
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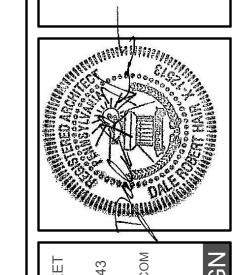
BUILDING M - SECOND FLOOR DEMOLITION PLAN SCALE: 1/8" = 1'-0"



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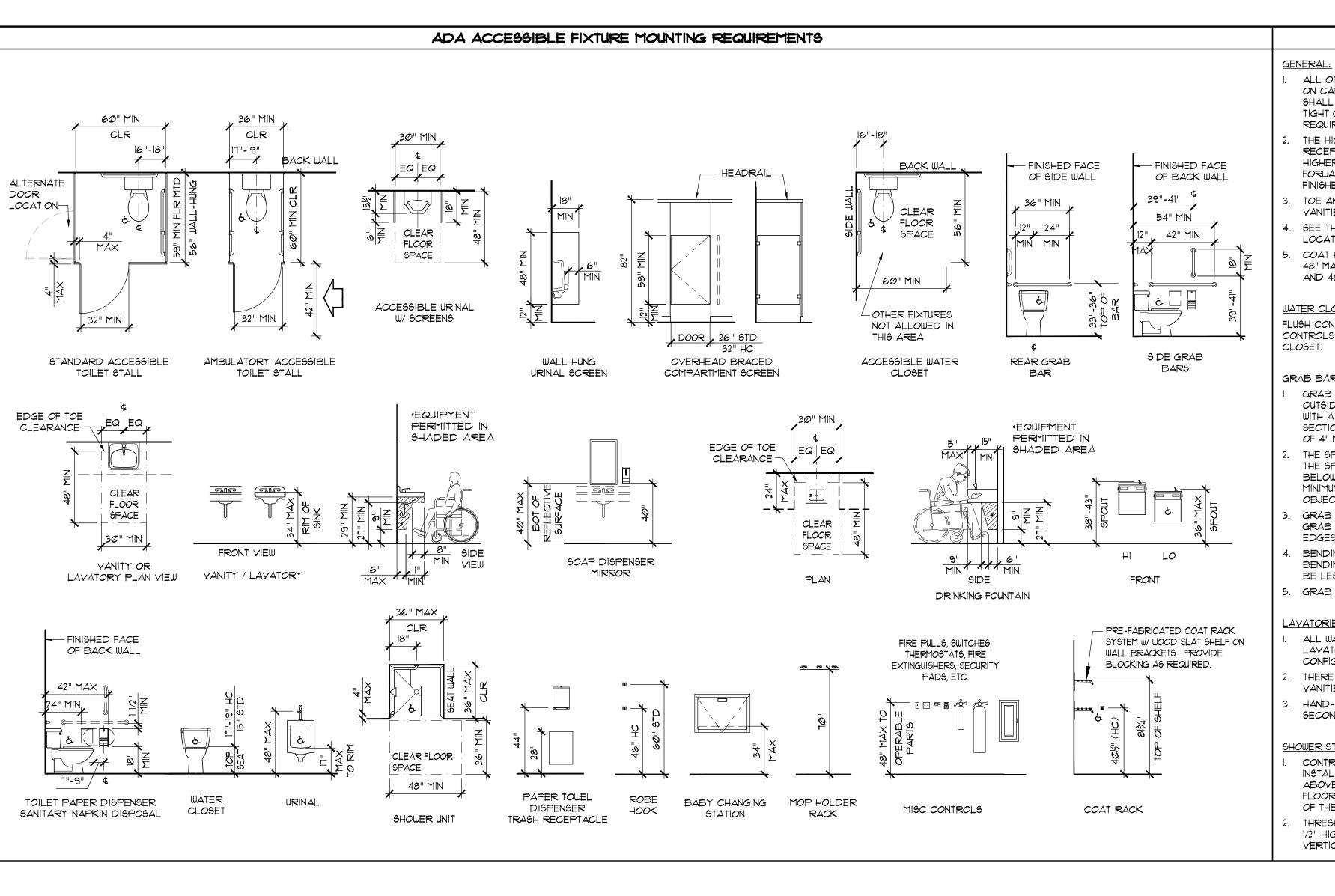
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ACCESSIBLE NOTES

ALL OPERATING CONTROLS, OPERATING DEVICES, AND HARDWARE ON CABINETS, PLUMBING FIXTURES AND STORAGE FACILITIES, SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE

REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5.0 POUNDS. THE HIGHEST OPERABLE PART OF THE CONTROLS, DISPENSERS, RECEPTACLES, AND OTHER OPERABLE EQUIPMENT SHALL BE NO HIGHER THAN 48" ABOVE FINISHED FLOOR FOR UNOBSTRUCTED FORWARD AND SIDE APPROACH AND NOT LESS THAN 15" ABOVE FINISHED FLOOR FOR EITHER APPROACH.

TOE AND KNEE CLEARANCES REQUIRED AT ALL LAYATORIES, YANITIES AND DRINKING FOUNTAINS.

SEE THE ENLARGED FLOOR PLANS FOR TOILET ACCESSORY LOCATIONS, QUANTITIES, AND MOUNTING REQUIREMENTS.

COAT HOOKS PROVIDED WITHIN TOILET COMPARTMENTS SHALL BE 48" MAXIMUM ABOVE THE FLOOR. SHELVES SHALL BE 40" MINIMUM AND 48" MAXIMUM ABOVE THE FLOOR.

WATER CLOSETS:

FLUSH CONTROLS SHALL BE HAND OPERATED OR AUTOMATIC. FLUSH CONTROLS SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER

GRAB BARS:

GRAB BARS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF 1/4" MINIMUM AND 2" MAXIMUM. GRAB BARS WITH A NONCIRCULAR CROSS SECTION SHALL HAVE A CROSS SECTION DIMENSION OF 2" MAXIMUM AND A PERIMETER DIMENSION OF 4" MINIMUM AND 4.8" MAXIMUM.

THE SPACE BETWEEN THE WALL AND THE GRAB BAR SHALL BE 1/2". THE SPACE BETWEEN THE GRAB BAR AND PROJECTING OBJECTS BELOW AND AT THE ENDS OF THE GRAB BAR SHALL BE 1/2" MINIMUM. THE SPACE BETWEEN THE GRAB BAR AND PROJECTING OBJECTS ABOVE THE GRAB BAR SHALL BE 12" MINIMUM.

GRAB BARS AND ANY WALL OR OTHER SURFACES ADJACENT TO GRAB BARS, SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS. EDGES SHALL BE ROUNDED.

BENDING STRESS IN A GRAB BAR INDUCED BY THE MAXIMUM BENDING MOMENT FROM THE APPLICATION OF 250 POUNDS SHALL BE LESS THAN THE ALLOWABLE FOR THE MATERIAL.

GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.

LAVATORIES AND SINKS AT VANITIES:

ALL WATER SUPPLY AND DRAIN PIPES EXPOSED UNDER LAYATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT.

THERE SHALL BE NO SHARP SURFACES UNDER LAVATORIES AND

HAND-OPERATED METERING FAUCETS SHALL REMAIN OPEN FOR 10 SECONDS MINIMUM.

SHOWER STALL COMPARTMENTS:

CONTROLS, FAUCETS, AND SHOWER SPRAY UNIT SHALL BE INSTALLED ON THE SIDE WALL OPPOSITE THE SEAT 38" MINIMUM ABOVE FINISHED FLOOR AND 48" MAXIMUM ABOVE FINISHED FLOOR. AND SHALL BE LOCATED WITHIN 15" FROM THE CENTERLINE OF THE CONTROL WALL TOWARD THE SHOWER OPENING.

THRESHOLDS AT THE ENTRANCE TO THE COMPARTMENT SHALL BE 1/2" HIGH MAXIMUM AND SHALL BE BEVELED, ROUNDED, OR VERTICAL.

BUILDING CODE INFORMATION

CONSTRUCTION TO MEET THE APPLICABLE STATE BUILDING CODE REQUIREMENTS, FEDERAL REGULATIONS, AND OTHER LOCAL CODES HAVING JURISDICTION, INCLUDING THE FOLLOWING:

INTERNATIONAL BUILDING CODE 2015, APPENDIX E & ICC A117.1 2009 INTERNATIONAL EXISTING BUILDING CODE 2015 INTERNATIONAL ENERGY CONSERVATION CODE 2015 INTERNATIONAL FIRE CODE 2015 INTERNATIONAL PLUMBING CODE 2015 INTERNATIONAL MECHANICAL CODE 2015 NATIONAL ELECTRIC CODE NFPA 70-2014

INTERNATIONAL EXISTING BUILDING CODE 2015 APPLIES

CLASSIFICATION OF WORK: LEVEL 3 ALTERATION

OCCUPANCY CLASS: RESIDENTIAL R-2

TOTAL 35 UNITS IN THREE BUILDINGS - ALL UNITS ARE TWO BEDROOM

105.1.7 - COMPLY WITH IBC 1107

TABLE 1107.6.1.1 - 2 ACCESSIBLE UNITS WITHOUT ROLL-IN SHOWER ARE REQUIRED 2 ACCESSIBLE UNITS PROVIDED IN BUILDING M

105.1.12 THRESHOLDS MAXIMUM OF 3/4" WITH BEVELED EDGE ON EACH SIDE

108 ALTERATIONS COMPLY WITH IECC EXTERIOR WALLS ARE THE ONLY ELEMENTS BEING ALTERED ZONE 5 GROUP R MASS WALLS REQUIRED R-13.3 CI PROVIDING R-15 SPRAY FOAMED INSULATION

PROVIDING ENERGY STAR WINDOWS

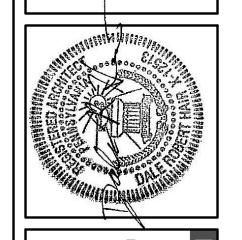
80.3.2.1 EXISTING VERTICAL OPENINGS - ONE HOUR FIRE RATING REQUIRED EXISTING STAIR WALLS ARE ONE HOUR FIRE RATED

80422 ALL EXITS ARE FOR SINGLE TENANTS

804.4.1 FIRE ALARM SYSTEM BEING INSTALLED IN ALL UNITS

808 NEW ELECTRICAL SYSTEMS BEING INSTALLED PER CODE REQUIREMENTS

809 NEW MECHANICAL SYSTEMS BEING INSTALLED PER CODE REQUIREMENTS



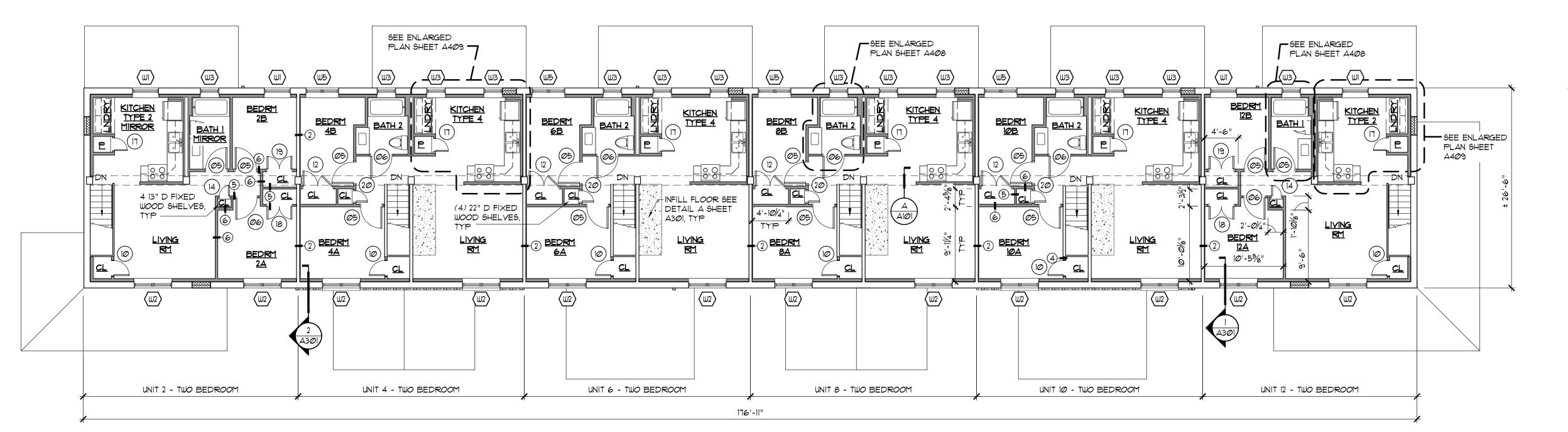


WILLIAM HOWARD DAY HOMES RENOVATIONS - BUILDINGS K, I HARRISBURG HOUSING AUTHORITY

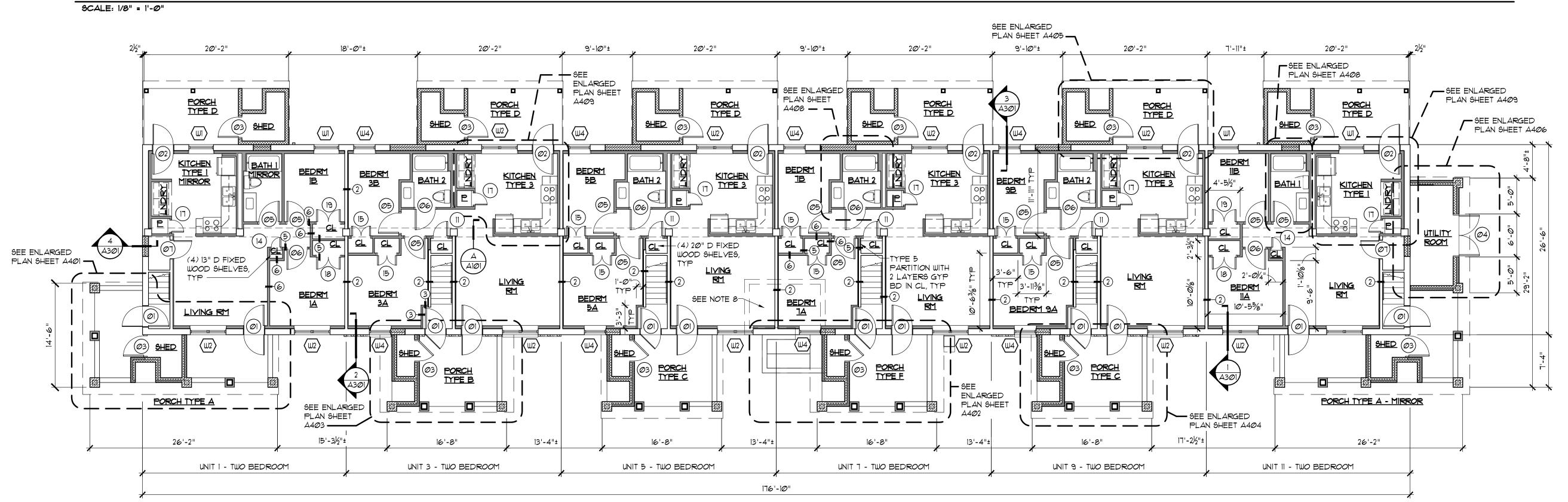
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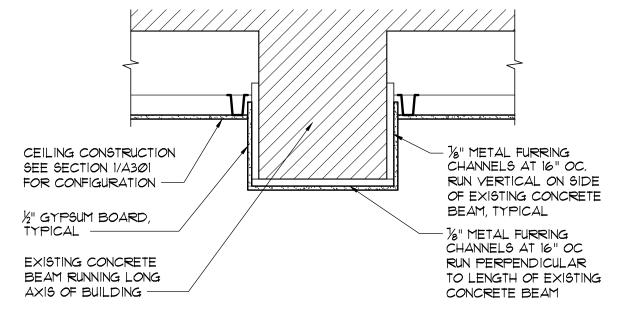


BUILDING K - SECOND FLOOR PLAN



BUILDING K - FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



NOTE: DETAIL TYPICAL AT ALL EXISTING CONCRETE BEAMS RUNNING LONG AXIS OF BUILDING ON BOTH THE FIRST AND SECOND FLOORS



ALL DIMENSIONS SHOWN ARE FACE OF STUD TO FACE OF STUD OR FACE OF EXISTING WALL.

INTERIOR PARTITION TYPES AND DIMENSIONS SHOWN ARE TYPICAL AT SIMILAR LOCATIONS IN ALL UNITS.

3. ALL EXISTING WALL, CEILING, AND STRUCTURE SURFACES TO BE CLEANED OF ALL LOOSE MATERIAL, MOLD, GRAFFITI, AND/OR ANY OTHER FOREIGN MATTER.
4. CONTRACTOR TO FOLLOW CONSTRUCTION WASTE MANAGEMENT PLAN (SEE SPECIFICATIONS)

THROUGHOUT CONSTRUCTION PERIOD. GENERAL CONTRACTOR IS RESPONSIBLE FOR WASTE MANAGEMENT PLAN IMPLEMENTATION FOR ALL CONTRACTS EXCEPT DEMOLITION CONTRACT.

GENERAL CONTRACTOR TO MAINTAIN WEATHERPROOF EXTERIOR BUILDING ENCLOSURE, EXCEPT FOR INTERRUPTIONS REQUIRED FOR DEMOLITION AND NEW CONSTRUCTION WORK.

GENERAL CONTRACTOR AND DEMOLITION CONTRACTOR TO COORDINATE PROJECT WORK.

EXCEPT FOR INTERRUPTIONS REQUIRED FOR DEMOLITION AND NEW CONSTRUCTION WORK.

GENERAL CONTRACTOR AND DEMOLITION CONTRACTOR TO COORDINATE PROJECT WORK.

SCHEDULES AT BEGINNING OF PROJECT SO THAT BUILDING IS MAINTAINED WEATHERTIGHT

THROUGHOUT THE PROJECT DURATION.

GENERAL CONTRACTOR WILL BE REQUIRED TO PROVIDE MINOR DEMOLITION WORK AND

6. GENERAL CONTRACTOR WILL BE REQUIRED TO PROVIDE MINOR DEMOLITION WORK AND ADJUSTMENTS TO EXISTING STRUCTURE AS REQUIRED TO MAKE EXISTING STRUCTURE READY TO RECEIVE NEW CONSTRUCTION WORK.

AT ALL LOCATIONS WHERE HOLE IS LEFT IN CONCRETE FLOOR DUE TO WATER CLOSET AND TUB DRAIN REMOVAL, GENERAL CONTRACTOR IS TO INFILL HOLES USING IS GAUGE GALYANIZED PLATE ATTACHED TO UNDERSIDE AND FILL WITH CONCRETE TO MATCH TOP OF SLAB OF EXISTING SURROUNDING CONCRETE.

MECH ROOM BELOW - SEE ENLARGED PLAN ON SHEET A407.

PARTITION TYPES

NOTE: ALL PARTITIONS ARE TYPE () UNLESS INDICATED OTHERWISE. FOR ADDITIONAL PARTITION TYPE LOCATIONS SEE ENLARGED PLANS ON SHEETS, A406, A407, AND A408.

EXISTING INTERIOR PARTITION - REPAIR ANY DAMAGED AREAS AND PREPARE PARTITION TO RECEIVE FINAL PAINTING. PROVIDE A SMOOTH AND FLUSH SURFACE TO MATCH ADJACENT CONSTRUCTION.

EXISTING INTERIOR PARTITION WITH 1/2" RC-1 RESILIANT CHANNEL SPACED AT 16" OC HORIZONTAL, 5/8" FIRE RATED SOUND REDUCING GYPSUM BOARD.

2 1/2" 25 GAUGE METAL STUDS SPACED AT 24" OC WITH 1/2" FIRE RATED GYPSUM BOARD ON BOTH SIDES WITH 2" THICK MINERAL WOOL BATTS. ONE HOUR FIRE RATED PARTITION

- UL DESIGN NO Y401. FIRE SEAL AROUND PERIMETER OF PARTITION ONE SIDE.

2 × 4 WOOD STUDS WITH 1/2" GYPSUM BOARD ON ALL EXPOSED FACES (USED AT ALL

CLOSET DOOR LOCATIONS).

2 1/2" 25 GAUGE METAL STUDS SPACED AT 16" OC WITH 1/2" GYPSUM BOARD ON ALL

EXPOSED FACES. (USED AT KITCHEN & BATH)

3 5/8" 25 GAUGE METAL STUDS SPACED AT 16" OC WITH 1/2" GYPSUM BOARD ON ALL

EXPOSED FACES.

4" 25 GAUGE METAL STUDS SPACED AT 16" OC WITH 1/2" GYPSUM BOARD ON ALL EXPOSED FACES. (USE AT ELECTRICAL PANEL LOCATIONS)

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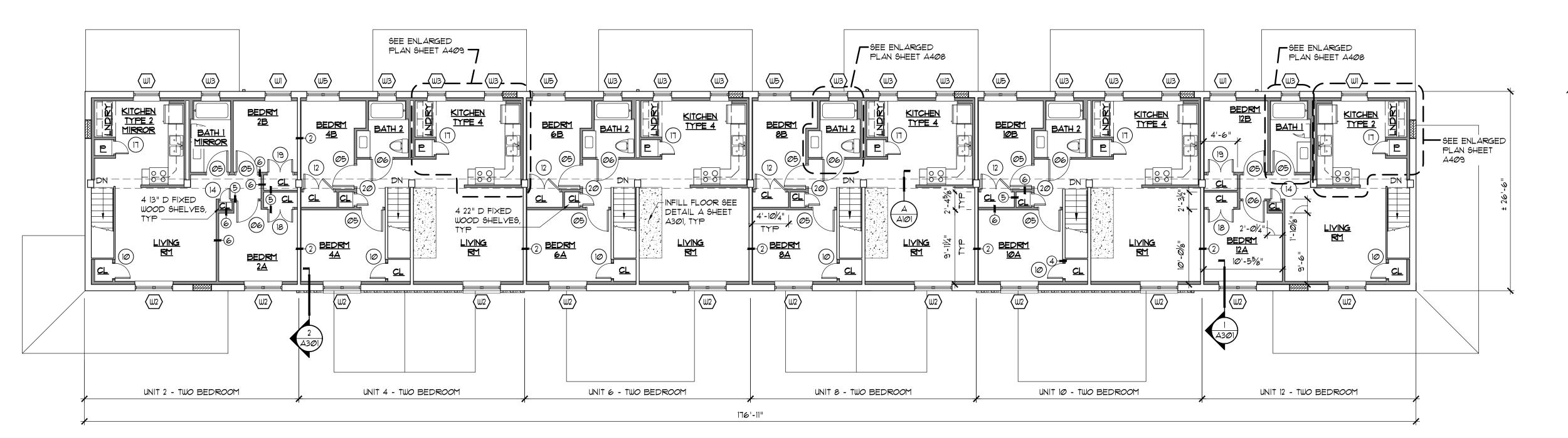
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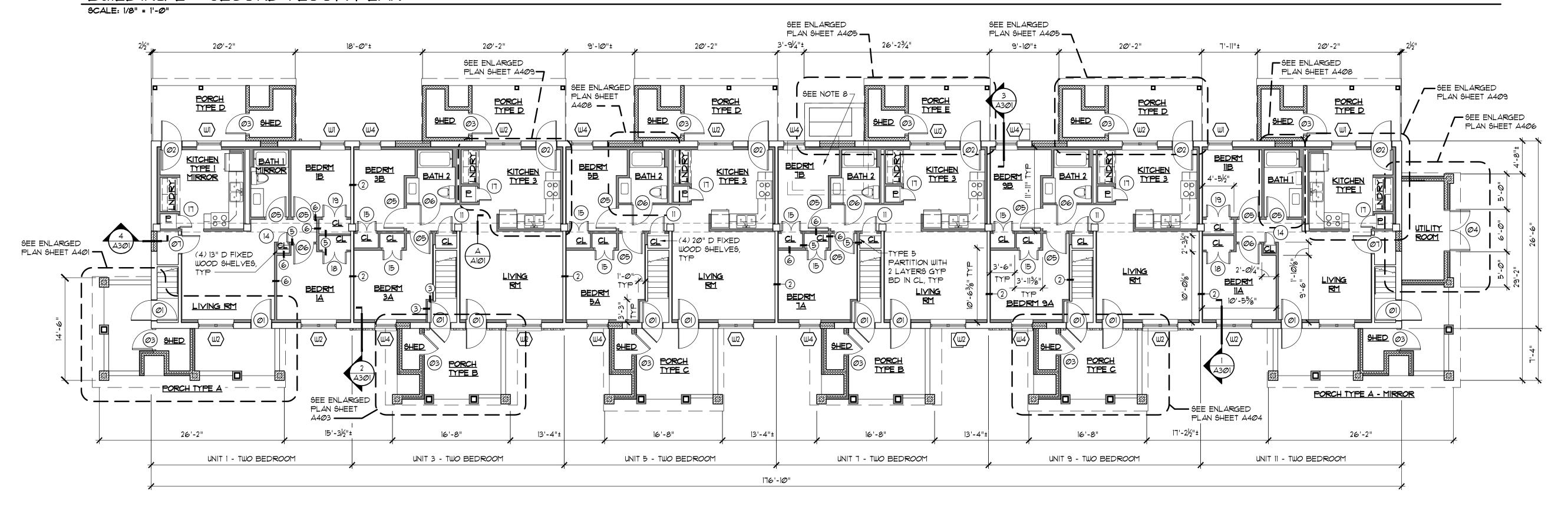
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BUILDING FLOOR PL

JOB NO. : 337-W011



BUILDING L - SECOND FLOOR PLAN



BUILDING L - FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

GENERAL NOTES FACE OF STUD TO FACE OF STUD OR F

- ALL DIMENSIONS SHOWN ARE FACE OF STUD TO FACE OF STUD OR FACE OF EXISTING WALL.
 INTERIOR PARTITION TYPES AND DIMENSIONS SHOWN ARE TYPICAL AT SIMILAR LOCATIONS IN ALL UNITS.
- 3. ALL EXISTING WALL, CEILING, AND STRUCTURE SURFACES TO BE CLEANED OF ALL LOOSE
- MATERIAL, MOLD, GRAFFITI, AND/OR ANY OTHER FOREIGN MATTER.
- . CONTRACTOR TO FOLLOW CONSTRUCTION WASTE MANAGEMENT PLAN (SEE SPECIFICATIONS)
 THROUGHOUT CONSTRUCTION PERIOD. GENERAL CONTRACTOR IS RESPONSIBLE FOR WASTE
- MANAGEMENT PLAN IMPLEMENTATION FOR ALL CONTRACTS EXCEPT DEMOLITION CONTRACT.

 GENERAL CONTRACTOR TO MAINTAIN WEATHERPROOF EXTERIOR BUILDING ENCLOSURE, EXCEPT FOR INTERRUPTIONS REQUIRED FOR DEMOLITION AND NEW CONSTRUCTION WORK. GENERAL CONTRACTOR AND DEMOLITION CONTRACTOR TO COORDINATE PROJECT WORK
- EXCEPT FOR INTERRUPTIONS REQUIRED FOR DEMOLITION AND NEW CONSTRUCTION WORK.
 GENERAL CONTRACTOR AND DEMOLITION CONTRACTOR TO COORDINATE PROJECT WORK
 SCHEDULES AT BEGINNING OF PROJECT SO THAT BUILDING IS MAINTAINED WEATHERTIGHT
 THROUGHOUT THE PROJECT DURATION.
- 6. GENERAL CONTRACTOR WILL BE REQUIRED TO PROVIDE MINOR DEMOLITION WORK AND ADJUSTMENTS TO EXISTING STRUCTURE AS REQUIRED TO MAKE EXISTING STRUCTURE READY TO RECEIVE NEW CONSTRUCTION WORK.
- AT ALL LOCATIONS WHERE HOLE IS LEFT IN CONCRETE FLOOR DUE TO WATER CLOSET AND TUB DRAIN REMOVAL, GENERAL CONTRACTOR IS TO INFILL HOLES USING IS GAUGE GALYANIZED PLATE ATTACHED TO UNDERSIDE AND FILL WITH CONCRETE TO MATCH TOP OF SLAB OF EXISTING SURROUNDING CONCRETE.
- 8. MECH ROOM BELOW SEE ENLARGED PLAN ON SHEET A407.

PARTITION TYPES

- NOTE: ALL PARTITIONS ARE TYPE () UNLESS INDICATED OTHERWISE. FOR ADDITIONAL PARTITION TYPE LOCATIONS SEE ENLARGED PLANS ON SHEETS, A406, A407, AND A408.
- EXISTING INTERIOR PARTITION REPAIR ANY DAMAGED AREAS AND PREPARE

 PARTITION TO RECEIVE FINAL PAINTING. PROVIDE A SMOOTH AND FLUSH SURFACE TO
- MATCH ADJACENT CONSTRUCTION.
- EXISTING INTERIOR PARTITION WITH 1/2" RC-1 RESILIANT CHANNEL SPACED AT 16" OC HORIZONTAL, 5/8" FIRE RATED SOUND REDUCING GYPSUM BOARD.
- 2 1/2" 25 GAUGE METAL STUDS SPACED AT 24" OC WITH 1/2" FIRE RATED GYPSUM BOARD
- ON BOTH SIDES WITH 2" THICK MINERAL WOOL BATTS. ONE HOUR FIRE RATED PARTITION UL DESIGN NO V401. FIRE SEAL AROUND PERIMETER OF PARTITION ONE SIDE.
- UL DESIGN NO V401. FIRE SEAL AROUND PERIMETER OF PARTITION ONE SIDE.

 2 X 4 WOOD STUDS WITH 1/2" GYPSUM BOARD ON ALL EXPOSED FACES (USED AT ALL
- CLOSET DOOR LOCATIONS).
- 5 2 1/2" 25 GAUGE METAL STUDS SPACED AT 16" OC WITH 1/2" GYPSUM BOARD ON ALL EXPOSED FACES. (USED AT KITCHEN & BATH)
- 3 5/8" 25 GAUGE METAL STUDS SPACED AT 16" OC WITH 1/2" GYPSUM BOARD ON ALL EXPOSED FACES.
- 4" 25 GAUGE METAL STUDS SPACED AT 16" OC WITH 1/2" GYPSUM BOARD ON ALL

EXPOSED FACES. (USE AT ELECTRICAL PANEL LOCATIONS)

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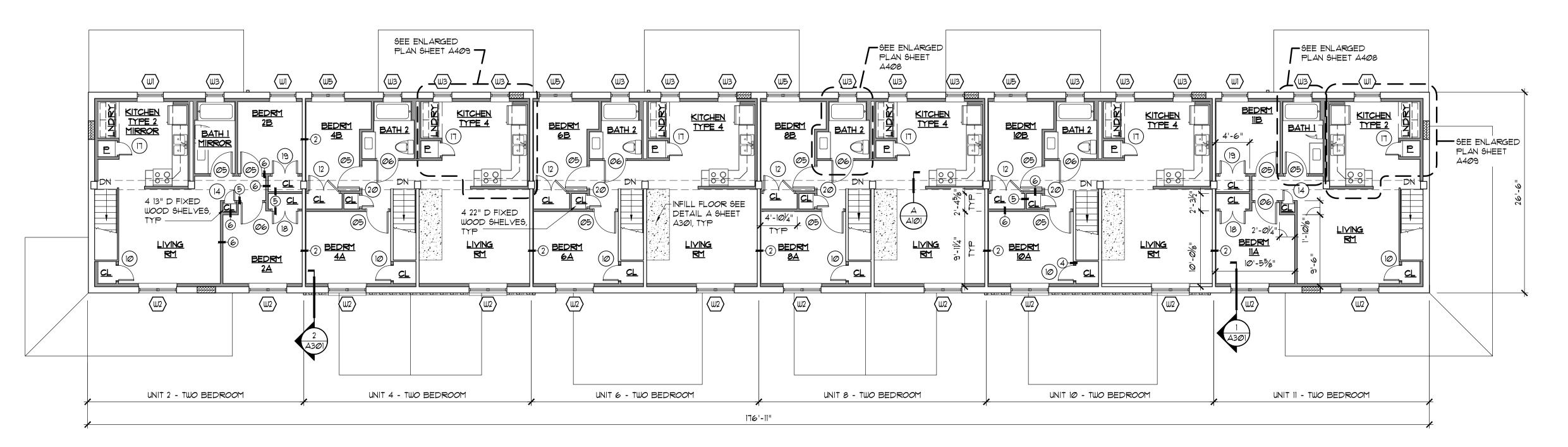
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RENOVATIONS - BUILDINGS K, L &
HARRISBURG HOUSING AUTHORITY
BUILDING L
FLOOR PLANS

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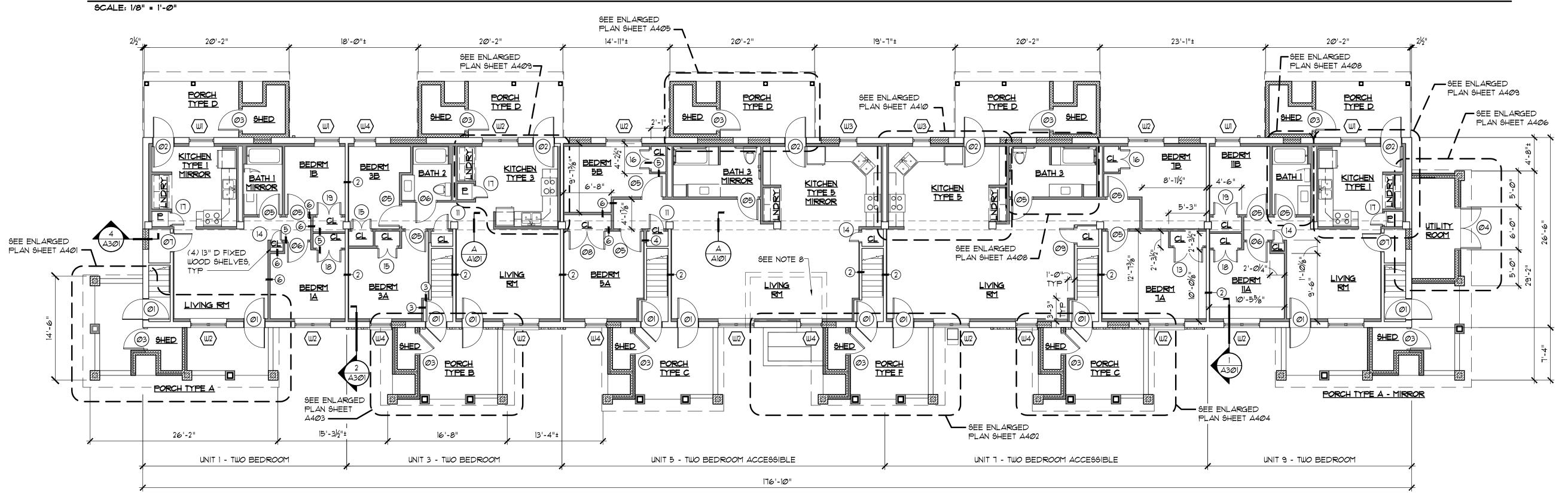
DATE: 03/29/19

SCALE : AS NOTED

JOB NO. : 337-W011



BUILDING M - SECOND FLOOR PLAN



BUILDING M - FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

	GENERAL NOTES		PARTITION TYPES	
	. ALL DIMENSIONS SHOWN ARE FACE OF STUD TO FACE OF STUD OR FACE OF EXISTING WALL. 2. INTERIOR PARTITION TYPES AND DIMENSIONS SHOWN ARE TYPICAL AT SIMILAR LOCATIONS IN		NOTE: ALL PARTITIONS ARE TYPE () UNLESS INDICATED OTHERWISE. FOR ADDITIONAL PARTITION TYPE LOCATIONS SEE ENLARGED PLANS ON SHEETS, A406, A407, AND A408.	
3.	ALL UNITS. ALL EXISTING WALL, CEILING, AND STRUCTURE SURFACES TO BE CLEANED OF ALL LOOSE MATERIAL, MOLD, GRAFFITI, AND/OR ANY OTHER FOREIGN MATTER.	1	EXISTING INTERIOR PARTITION - REPAIR ANY DAMAGED AREAS AND PREPARE PARTITION TO RECEIVE FINAL PAINTING. PROVIDE A SMOOTH AND FLUSH SURFACE TO MATCH ADJACENT CONSTRUCTION.	
4.	CONTRACTOR TO FOLLOW CONSTRUCTION WASTE MANAGEMENT PLAN (SEE SPECIFICATIONS) THROUGHOUT CONSTRUCTION PERIOD. GENERAL CONTRACTOR IS RESPONSIBLE FOR WASTE MANAGEMENT PLAN IMPLEMENTATION FOR ALL CONTRACTS EXCEPT DEMOLITION CONTRACT.	2	EXISTING INTERIOR PARTITION WITH 1/2" RC-1 RESILIANT CHANNEL SPACED AT 16" OC HORIZONTAL, 5/8" FIRE RATED SOUND REDUCING GYPSUM BOARD.	
5.	GENERAL CONTRACTOR TO MAINTAIN WEATHERPROOF EXTERIOR BUILDING ENCLOSURE	3	2 1/2" 25 GAUGE METAL STUDS SPACED AT 24" OC WITH 1/2" FIRE RATED GYPSUM BOARD ON BOTH SIDES WITH 2" THICK MINERAL WOOL BATTS. ONE HOUR FIRE RATED PARTITION - UL DESIGN NO V401. FIRE SEAL AROUND PERIMETER OF PARTITION ONE SIDE.	
	SCHEDULES AT BEGINNING OF PROJECT SO THAT BUILDING IS MAINTAINED WEATHERTIGHT THROUGHOUT THE PROJECT DURATION.	4	2 X 4 WOOD STUDS WITH ½" GYPSUM BOARD ON ALL EXPOSED FACES (USED AT ALL CLOSET DOOR LOCATIONS).	
6.	GENERAL CONTRACTOR WILL BE REQUIRED TO PROVIDE MINOR DEMOLITION WORK AND ADJUSTMENTS TO EXISTING STRUCTURE AS REQUIRED TO MAKE EXISTING STRUCTURE READY TO RECEIVE NEW CONSTRUCTION WORK.	5	2 1/2" 25 GAUGE METAL STUDS SPACED AT 16" OC WITH 1/2" GYPSUM BOARD ON ALL EXPOSED FACES. (USED AT KITCHEN & BATH)	
٦.	AT ALL LOCATIONS WHERE HOLE IS LEFT IN CONCRETE FLOOR DUE TO WATER CLOSET AND TUB DRAIN REMOVAL, GENERAL CONTRACTOR IS TO INFILL HOLES USING IS GAUGE GALYANIZED PLATE ATTACHED TO UNDERSIDE AND FILL WITH CONCRETE TO MATCH TOP OF	6	3 5/8" 25 GAUGE METAL STUDS SPACED AT 16" OC WITH 1/2" GYPSUM BOARD ON ALL EXPOSED FACES.	
_	SLAB OF EXISTING SURROUNDING CONCRETE.	7	4" 25 GAUGE METAL STUDS SPACED AT 16" OC WITH 1/2" GYPSUM BOARD ON ALL EXPOSED FACES, (USE AT ELECTRICAL PANEL LOCATIONS)	
8.	MECH ROOM BELOW - SEE ENLARGED PLAN ON SHEET A407.		TAI COLD I ACLO, 100L AT ELECTRICAL FAREL LOCATIONO/	

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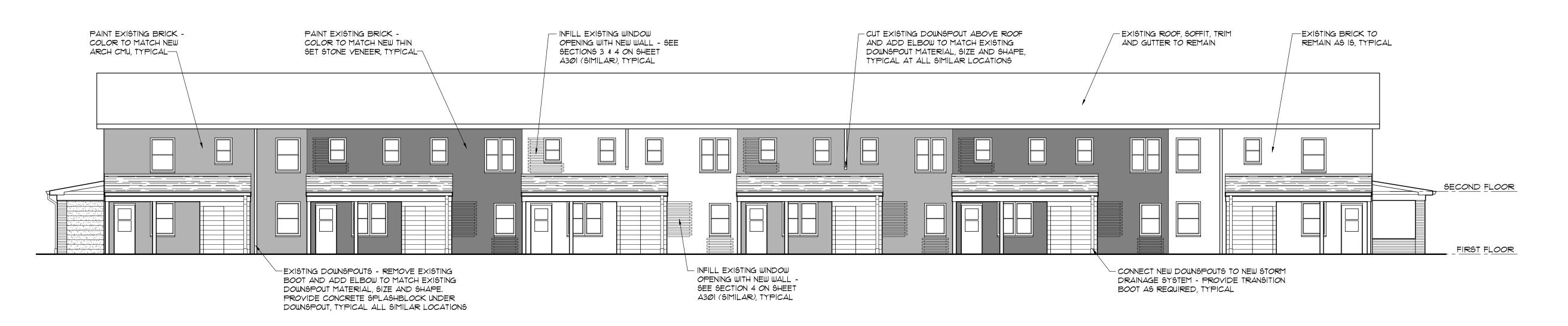
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BUILDING K - NORTH ELEVATION

SCALE: 1/8" = 1'-0"

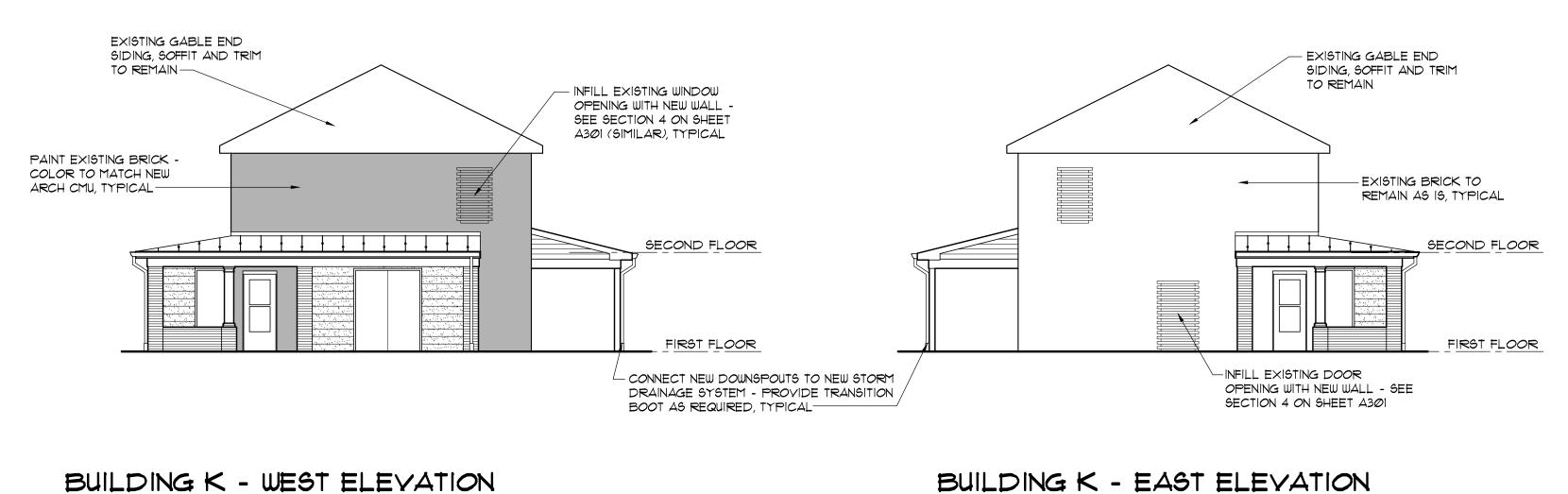


SCALE: 1/8" = 1'-0"

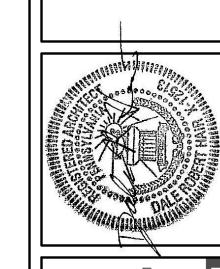
BUILDING K - SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

GENERAL ELEVATION NOTES 1. SEE SHEET A401 THROUGH A405 FOR PORCH, SHED, AND UTILITY ROOM ENLARGED PLANS, ELEVATIONS, SECTIONS AND DETAILS. 2. ALL WINDOWS SHOWN ON ELEVATIONS ARE NEW FIBERGLASS WINDOWS. NEW WINDOWS TO BE PLACED IN EXISTING OPENINGS UNLESS INDICATED OTHERWISE. SEE SHEET A601 FOR ELEVATIONS AND TYPICAL DETAILS. 3. REMOVE ALL EXISTING CRAWL SPACE VENTS AND INFILL WITH NEW BRICK AND 4" CMU (INTERIOR). INFILL AT THESE LOCATIONS DOES NOT NEED TO BE TOOTHED INTO EXISTING 4. INFILL OPENINGS IN BRICK CREATED FROM REMOVAL OF WALL HYDRANTS AND ANY OTHER HOLES IN THE BRICK ON EXTERIOR WALLS WITH MORTAR TO MATCH COLOR OF EXISTING BRICK. 5. TOOTH IN ALL NEW BRICK INFILLS TO MATCH EXISTING BRICK LAYOUT, COURSING AND MORTAR JOINTS UNLESS INDICATED OTHERWISE. 6. ADDRESS PLAQUES: PROVIDE ADDRESS PLAQUES FOR ALL UNITS. PROVIDE "SQUARE STANDARD WALL ONE" ARCHITECTURAL PLAQUE, II INCHES BY II INCHES IN SIZE, WALL MOUNTED, AS MANUFACTURED BY WHITEHALL PRODUCTS LLC (WWW.WHITEHALLPRODUCTS.COM) OR APPROVED EQUAL. PROVIDE PLAQUES WITH SILVER TRIM AND CHARACTERS WITH GREEN (K), RED (L), OR BLUE (M) BACKGROUNDS. ADDRESS NUMBERS FOR EACH UNIT TO BE PROVIDED BY OWNER. CHARACTERS TO BE 3 INCHES HIGH. MOUNT PLAQUES AT THE SIDE OF EACH MAIN ENTRANCE DOOR PLACED SO THAT NEW PLAQUES COVERS THE EXISTING PAINTED NUMBER.



BUILDING K - EAST ELEVATION SCALE: 1/8" = 1'-0"



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BUILDING L - NORTH ELEVATION

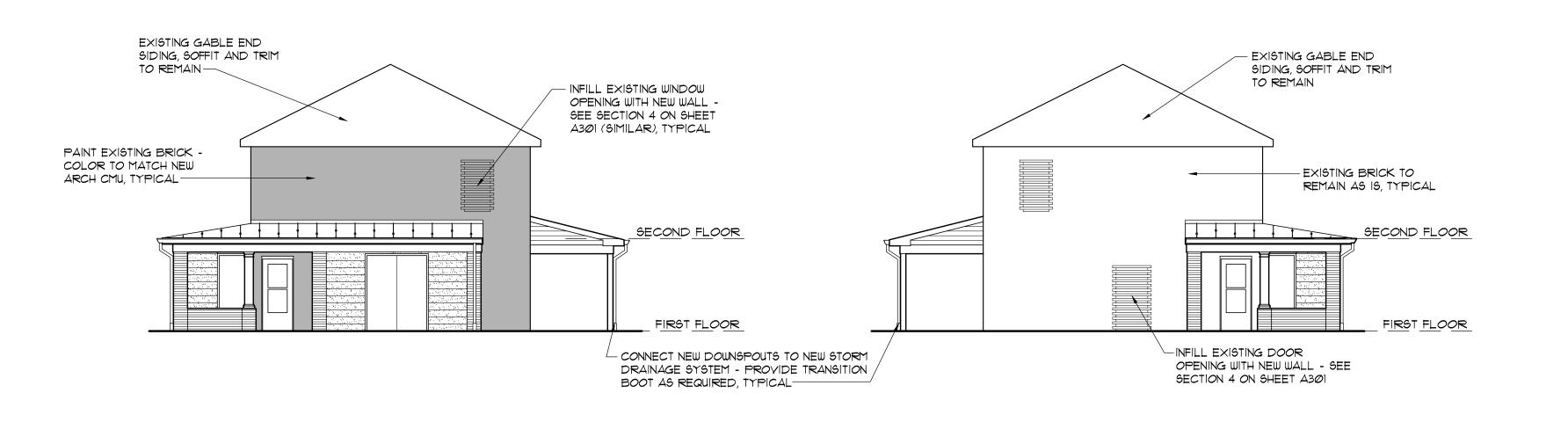
SCALE: 1/8" = 1'-0"



BUILDING L - SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

GENERAL ELEVATION NOTES 1. SEE SHEET A401 THROUGH A405 FOR PORCH, SHED, AND UTILITY ROOM ENLARGED PLANS, ELEVATIONS, SECTIONS AND DETAILS. 2. ALL WINDOWS SHOWN ON ELEVATIONS ARE NEW FIBERGLASS WINDOWS. NEW WINDOWS TO BE PLACED IN EXISTING OPENINGS UNLESS INDICATED OTHERWISE. SEE SHEET A601 FOR ELEVATIONS AND TYPICAL DETAILS. 3. REMOVE ALL EXISTING CRAWL SPACE VENTS AND INFILL WITH NEW BRICK AND 4" CMU (INTERIOR). INFILL AT THESE LOCATIONS DOES NOT NEED TO BE TOOTHED INTO EXISTING MASONRY. 4. INFILL OPENINGS IN BRICK CREATED FROM REMOVAL OF WALL HYDRANTS AND ANY OTHER HOLES IN THE BRICK ON EXTERIOR WALLS WITH MORTAR TO MATCH COLOR OF EXISTING BRICK. 5. TOOTH IN ALL NEW BRICK INFILLS TO MATCH EXISTING BRICK LAYOUT, COURSING AND MORTAR JOINTS UNLESS INDICATED OTHERWISE. 6. ADDRESS PLAQUES: PROVIDE ADDRESS PLAQUES FOR ALL UNITS. PROVIDE "SQUARE STANDARD WALL ONE" ARCHITECTURAL PLAQUE, 11 INCHES BY 11 INCHES IN SIZE, WALL MOUNTED, AS MANUFACTURED BY WHITEHALL PRODUCTS LLC (WWW.WHITEHALLPRODUCTS.COM) OR APPROVED EQUAL. PROVIDE PLAQUES WITH SILVER TRIM AND CHARACTERS WITH GREEN (K), RED (L), OR BLUE (M) BACKGROUNDS. ADDRESS NUMBERS FOR EACH UNIT TO BE PROVIDED BY OWNER. CHARACTERS TO BE 3 INCHES HIGH. MOUNT PLAQUES AT THE SIDE OF EACH MAIN ENTRANCE DOOR PLACED SO THAT NEW PLAQUES COVERS THE EXISTING PAINTED NUMBER.

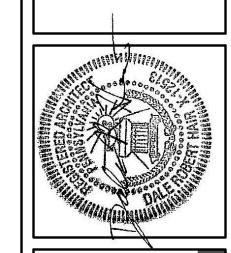


BUILDING L - WEST ELEVATION

SCALE: 1/8" = 1'-0"

BUILDING L - EAST ELEVATION

SCALE: 1/8" = 1'-0"



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DATE: 03/29/19

SCALE: AS NOTED

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BUILDING M - NORTH ELEVATION

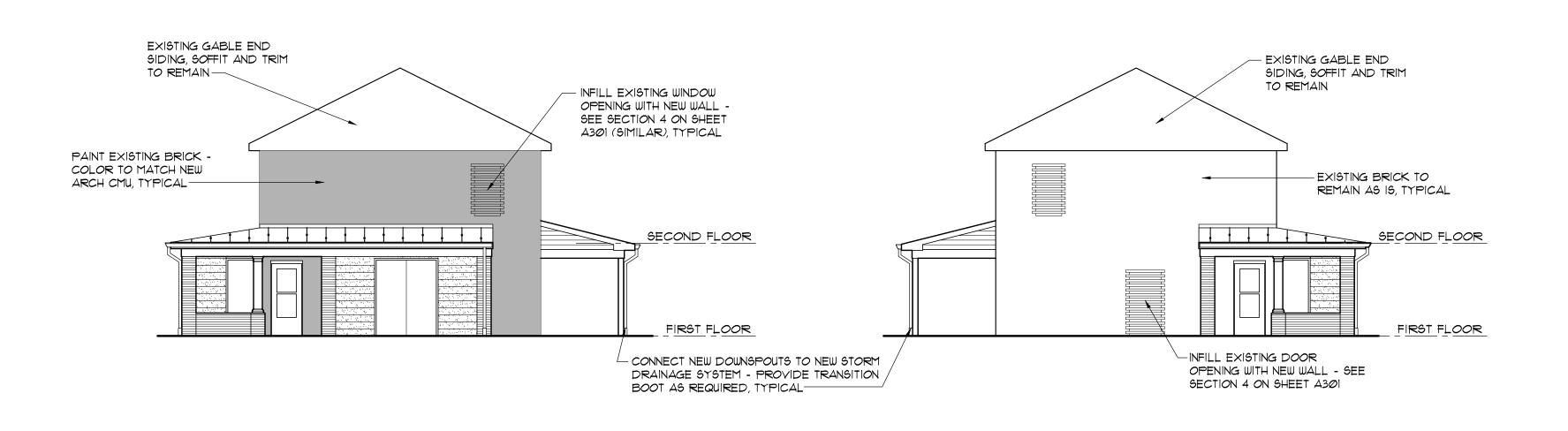
SCALE: 1/8" = 1'-0"



BUILDING M - SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

GENERAL ELEVATION NOTES 1. SEE SHEET A401 THROUGH A405 FOR PORCH, SHED, AND UTILITY ROOM ENLARGED PLANS, ELEVATIONS, SECTIONS AND DETAILS. 2. ALL WINDOWS SHOWN ON ELEVATIONS ARE NEW FIBERGLASS WINDOWS. NEW WINDOWS TO BE PLACED IN EXISTING OPENINGS UNLESS INDICATED OTHERWISE. SEE SHEET A601 FOR ELEVATIONS AND TYPICAL DETAILS. 3. REMOVE ALL EXISTING CRAWL SPACE VENTS AND INFILL WITH NEW BRICK AND 4" CMU (INTERIOR). INFILL AT THESE LOCATIONS DOES NOT NEED TO BE TOOTHED INTO EXISTING 4. INFILL OPENINGS IN BRICK CREATED FROM REMOVAL OF WALL HYDRANTS AND ANY OTHER HOLES IN THE BRICK ON EXTERIOR WALLS WITH MORTAR TO MATCH COLOR OF EXISTING BRICK. 5. TOOTH IN ALL NEW BRICK INFILLS TO MATCH EXISTING BRICK LAYOUT, COURSING AND MORTAR JOINTS UNLESS INDICATED OTHERWISE. 6. ADDRESS PLAQUES: PROVIDE ADDRESS PLAQUES FOR ALL UNITS. PROVIDE "SQUARE STANDARD WALL ONE" ARCHITECTURAL PLAQUE, II INCHES BY II INCHES IN SIZE, WALL MOUNTED, AS MANUFACTURED BY WHITEHALL PRODUCTS LLC (WWW.WHITEHALLPRODUCTS.COM) OR APPROVED EQUAL. PROVIDE PLAQUES WITH SILVER TRIM AND CHARACTERS WITH GREEN (K), RED (L), OR BLUE (M) BACKGROUNDS. ADDRESS NUMBERS FOR EACH UNIT TO BE PROVIDED BY OWNER. CHARACTERS TO BE 3 INCHES HIGH. MOUNT PLAQUES AT THE SIDE OF EACH MAIN ENTRANCE DOOR PLACED SO THAT NEW PLAQUES COVERS THE EXISTING PAINTED NUMBER.



BUILDING M - WEST ELEVATION

SCALE: 1/8" = 1'-0"

BUILDING M - EAST ELEVATION

SCALE: 1/8" = 1'-0"

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HARRISBURG HOUSING AUTHORITY
BUILDING M
EXTERIOR ELEVATIONS

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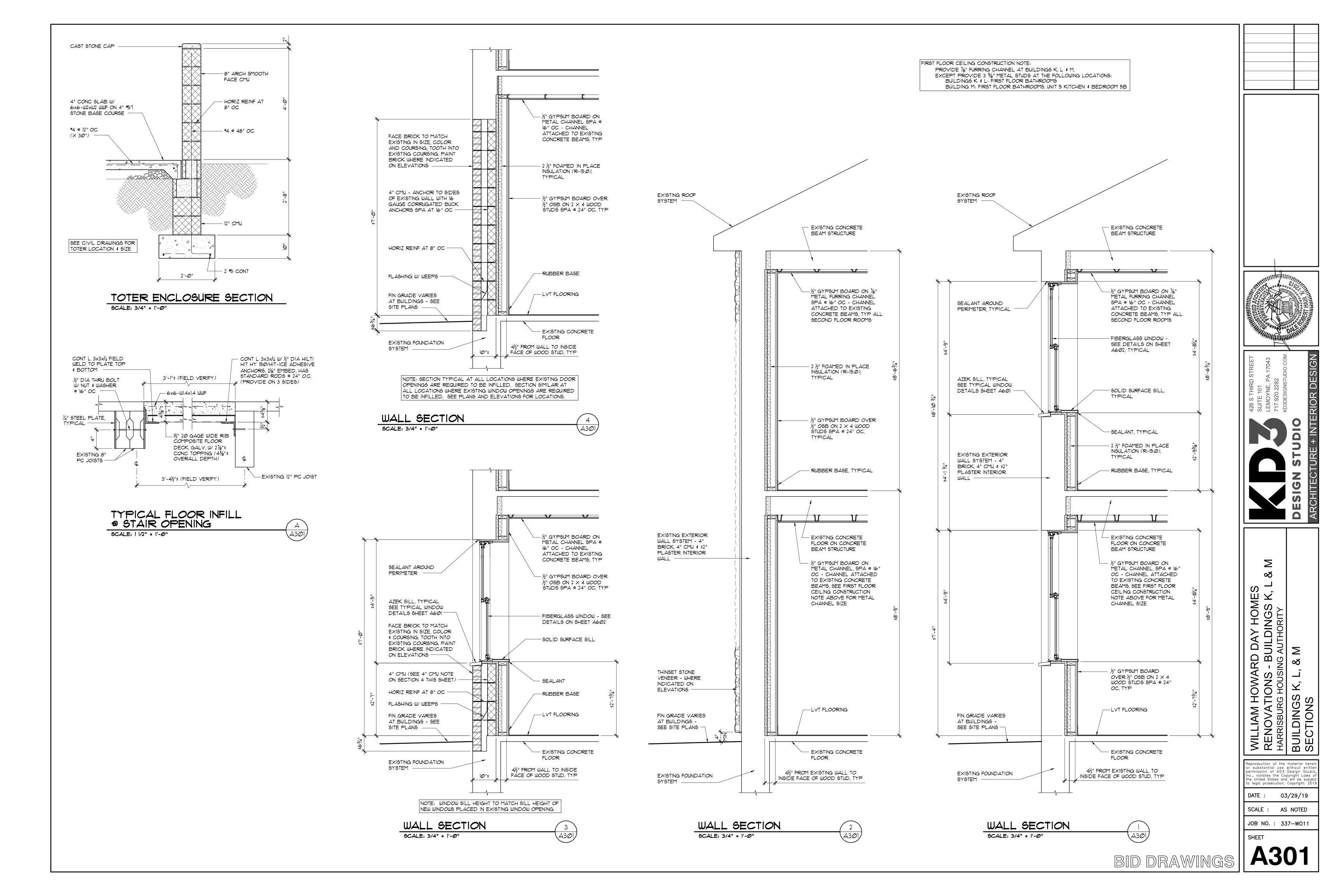
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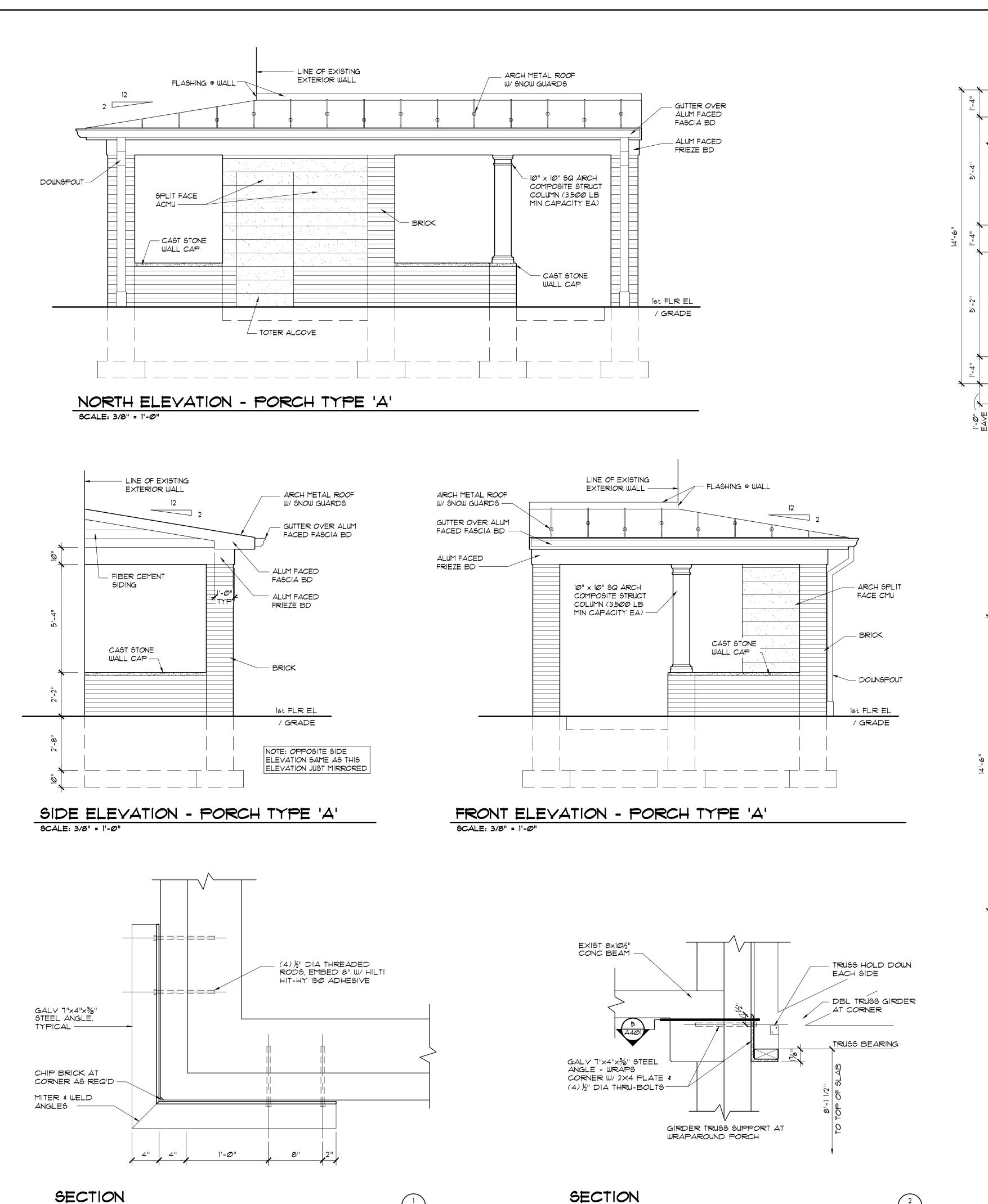
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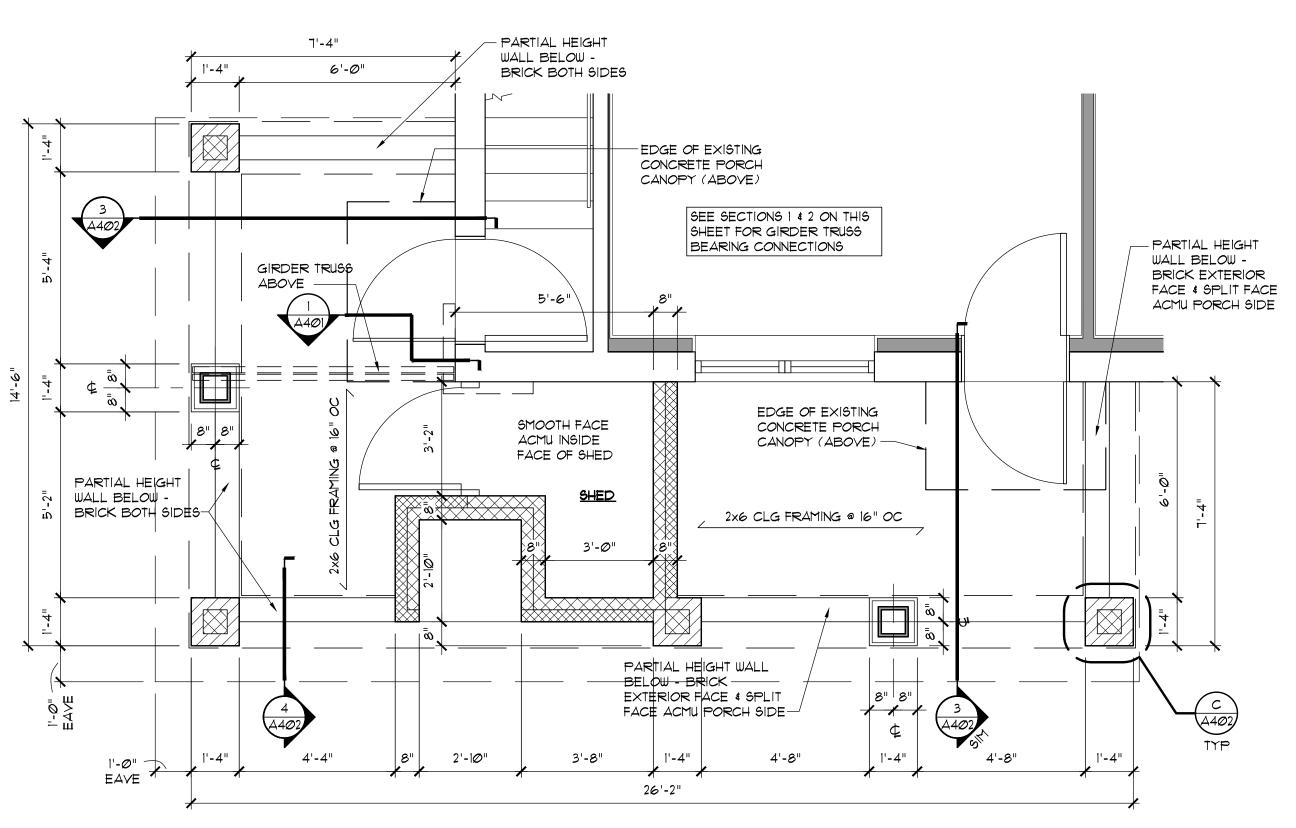
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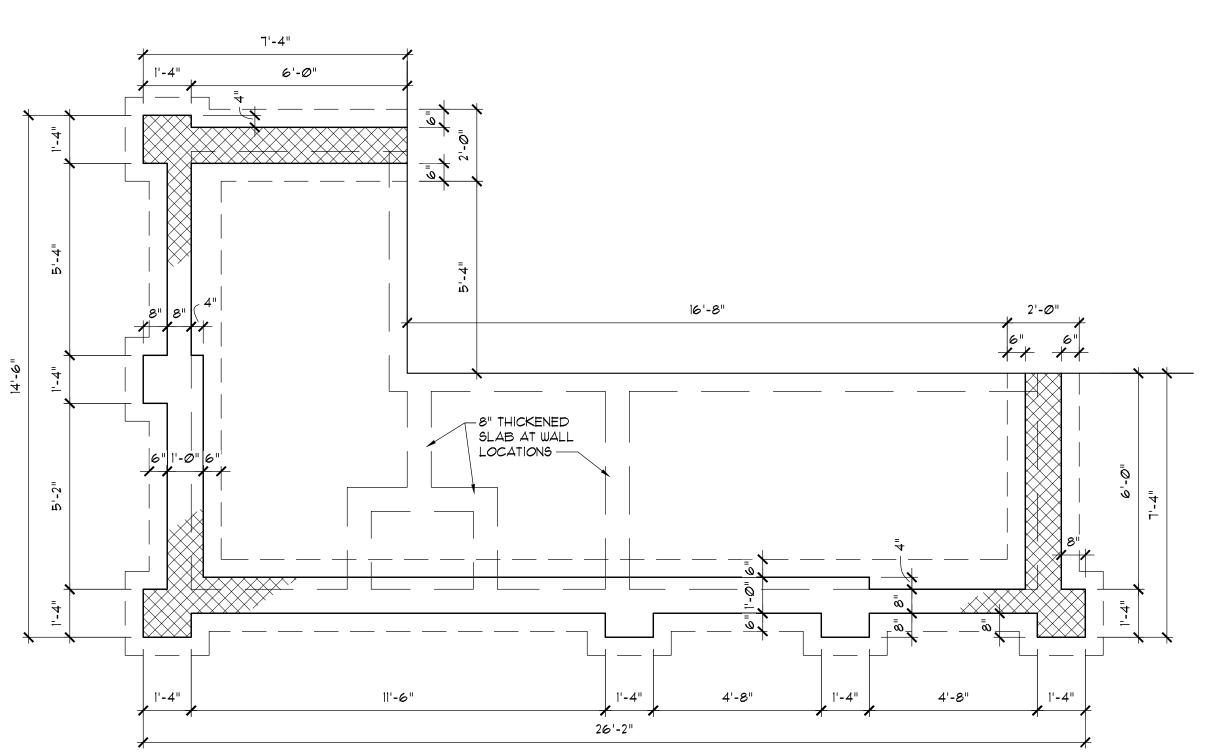
SCALE: 1 1/2" = 1'-@"

SCALE: 1 1/2" = 1'-0"



FLOOR PLAN - PORCH TYPE 'A'

SCALE: 3/8" = 1'-0"



FOUNDATION PLAN - PORCH TYPE 'A'

SCALE: 3/8" = 1'-0"

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HARRISBURG HOUSING AUTHORITY
BUILDINGS K, L & M
ENLARGED PORCH 'A' PLANS &

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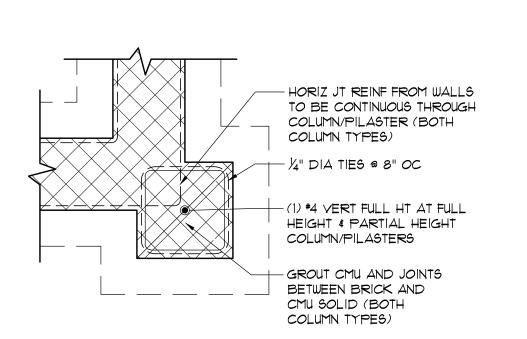
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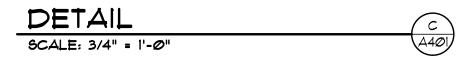
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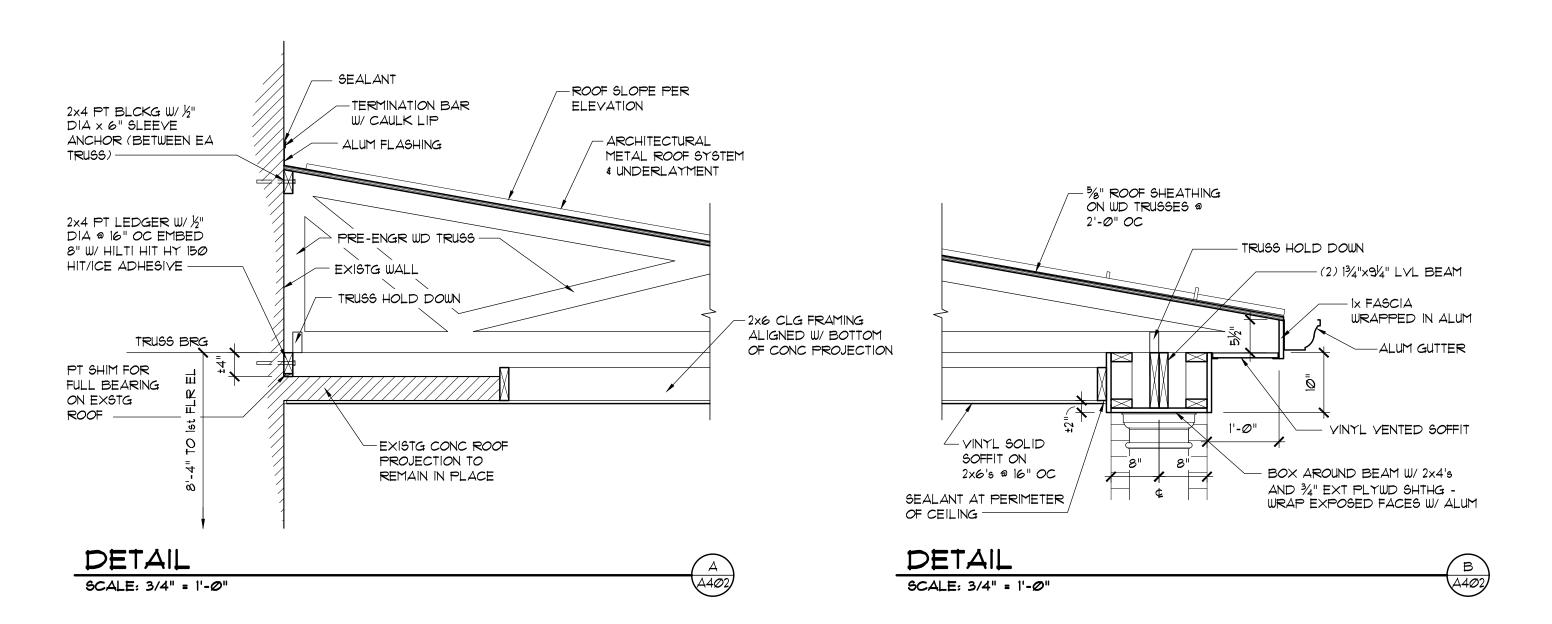
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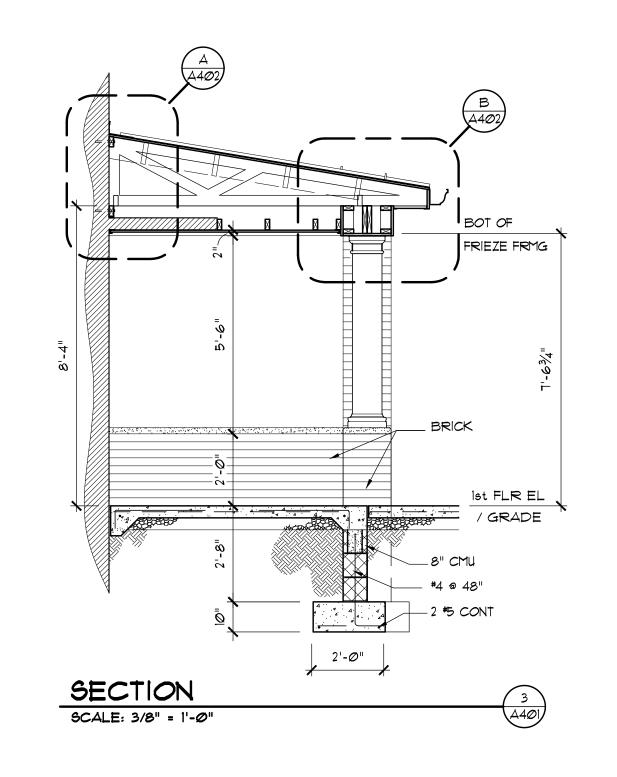
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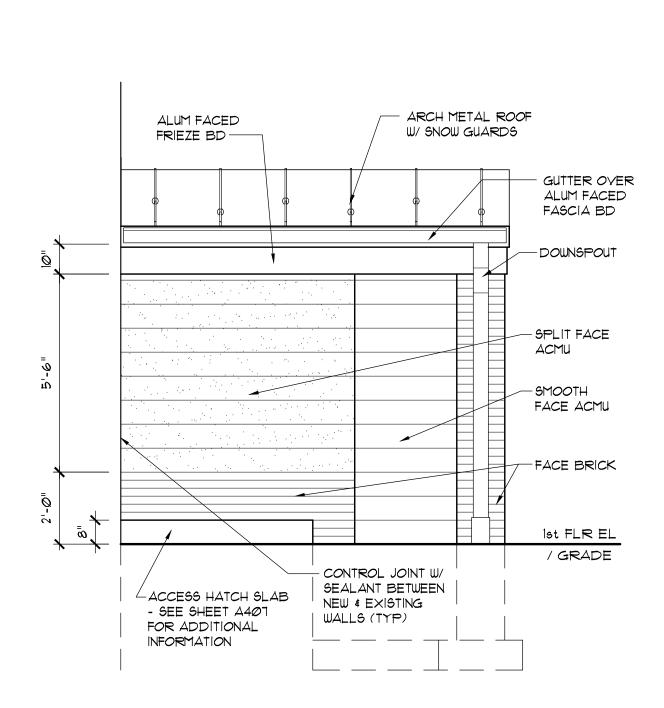


DETAIL TYPICAL AT ALL SIMILAR LOCATIONS



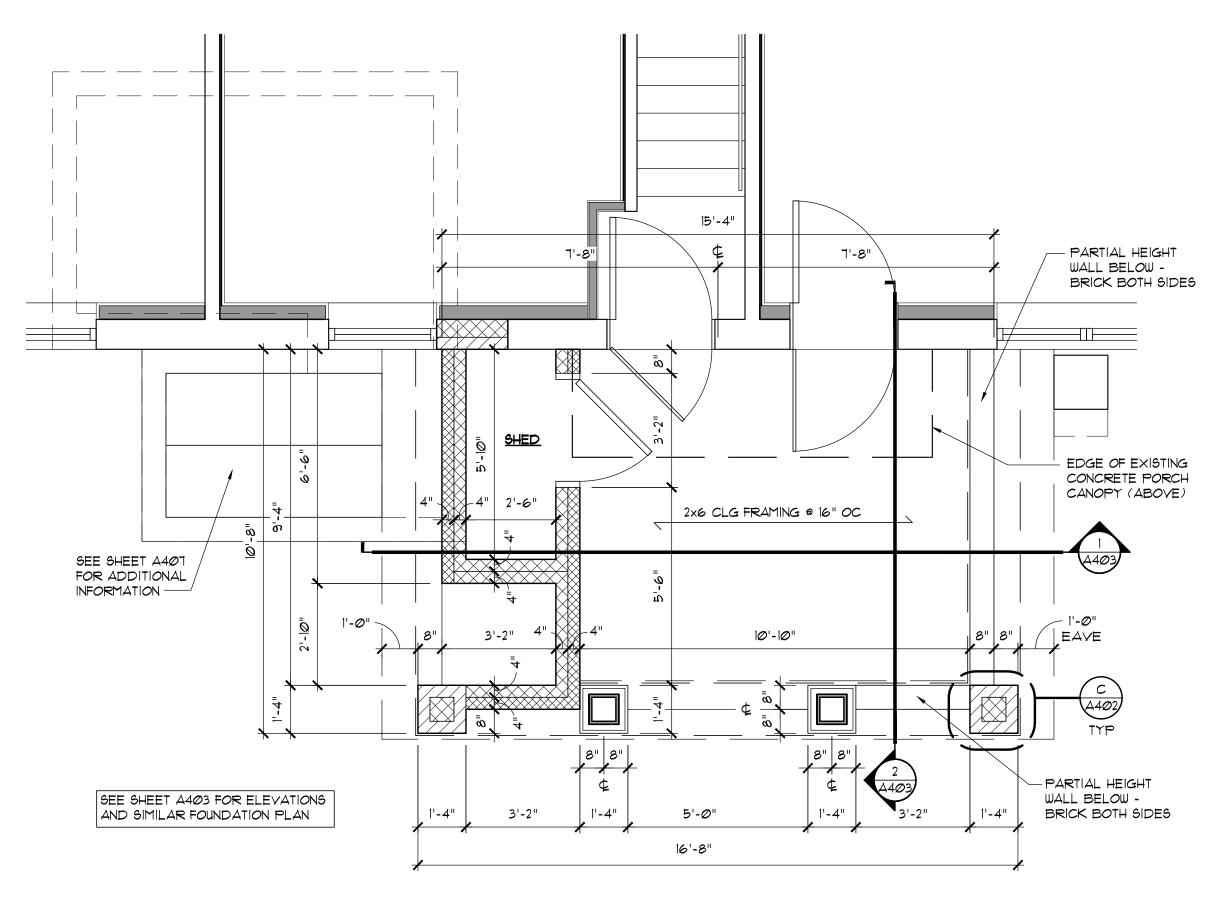




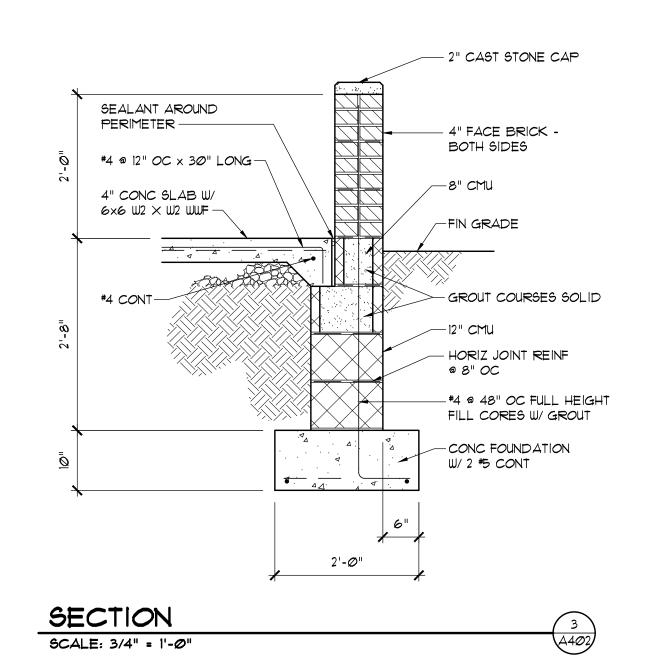


SIDE ELEVATION - PORCH TYPE 'F'

SCALE: 3/8" = 1'-0"



FLOOR PLAN - PORCH TYPE 'F' SCALE: 3/8" = 1'-0"

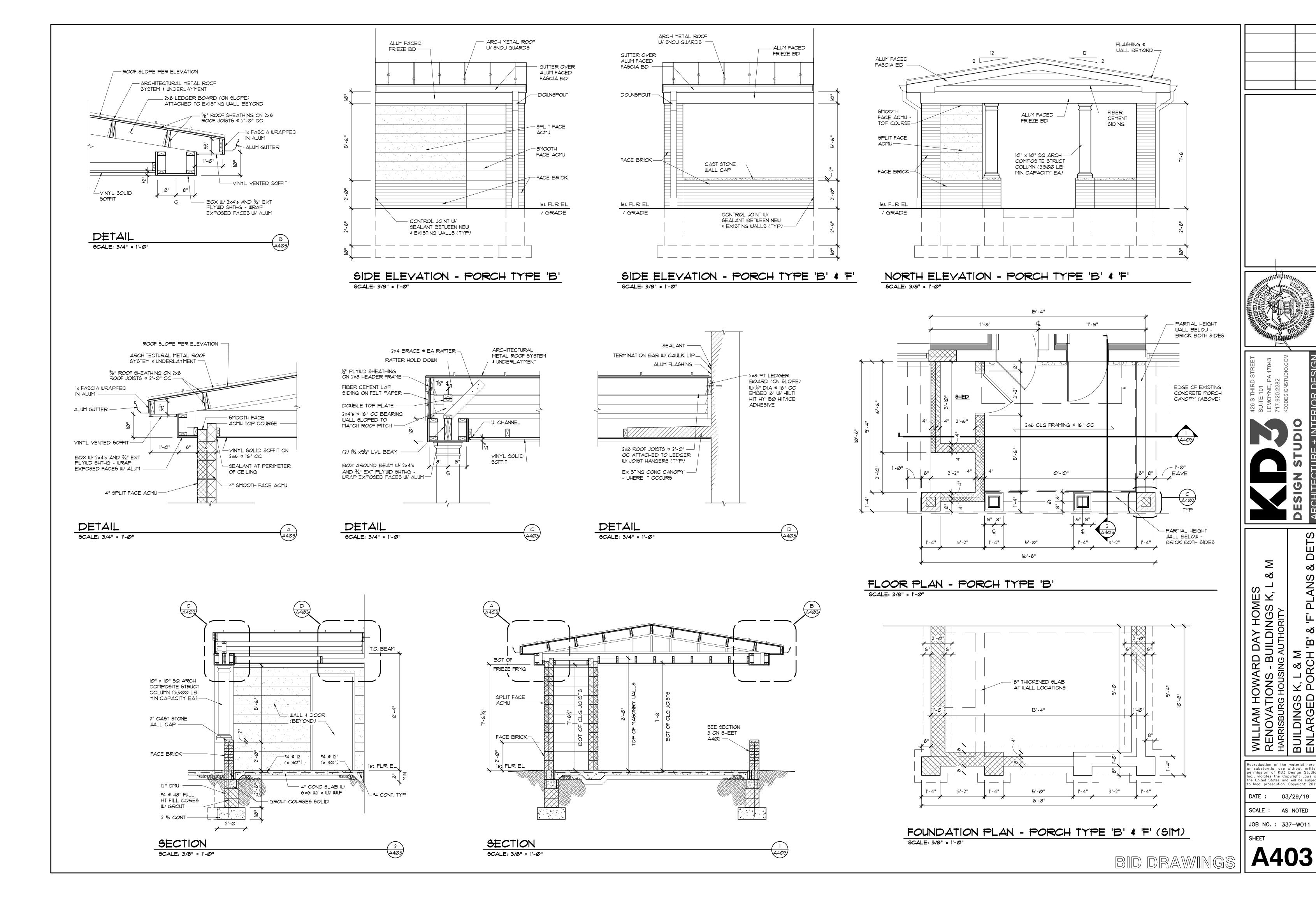


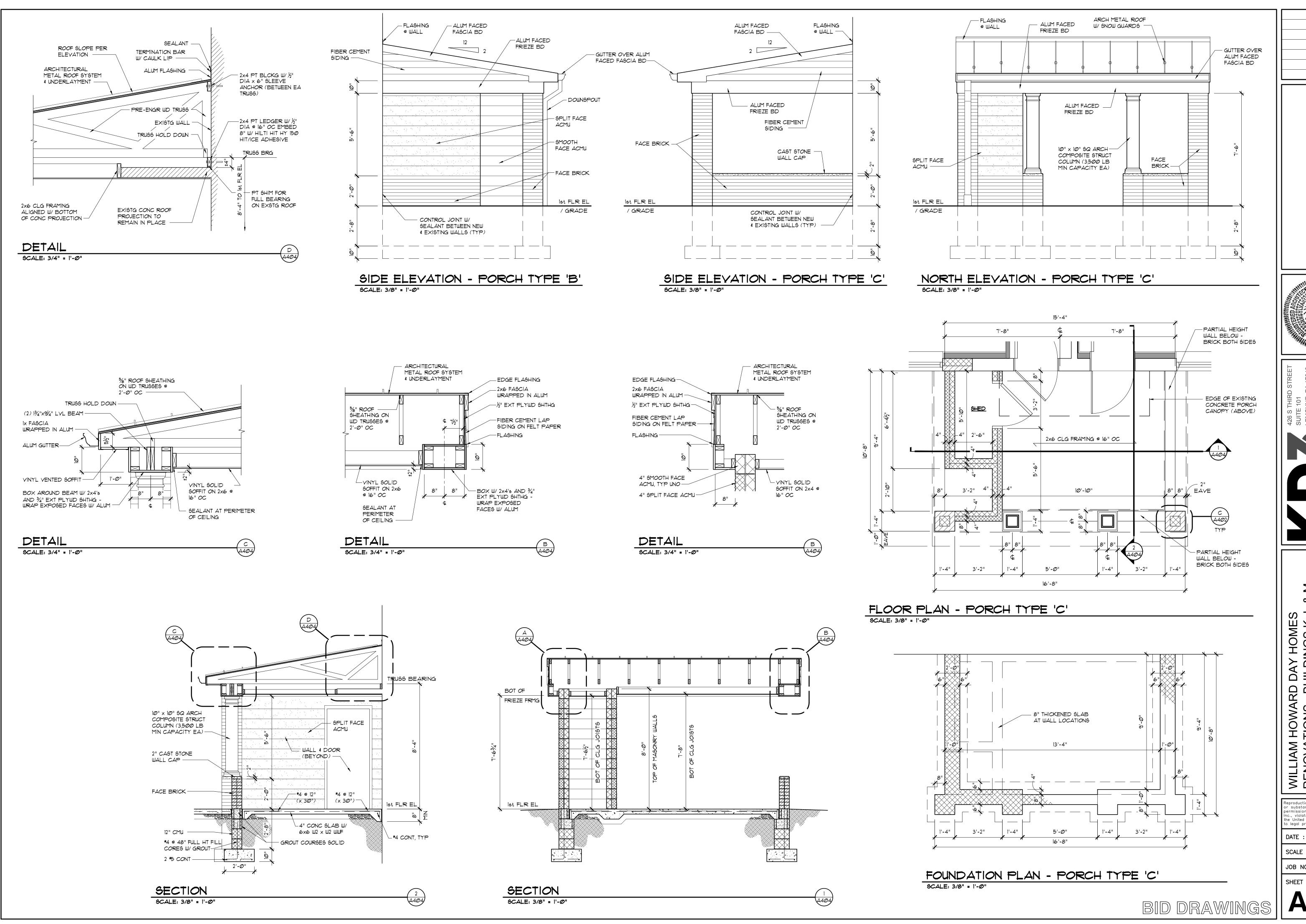
WILLIAM HOWARD DAY HOMES RENOVATIONS - BUILDINGS K, HARRISBURG HOUSING AUTHORITY BUILDINGS K, L & M ENLARGED PORCH

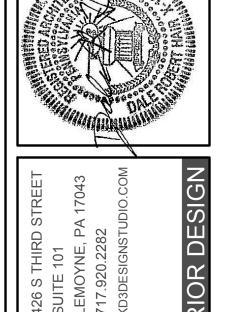
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SCALE: AS NOTED

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DESIGN STUDIO

ARCHITECTIRE + INTERIOR DES

WILLIAM HOWARD DAY HOMES
RENOVATIONS - BUILDINGS K, L & M
HARRISBURG HOUSING AUTHORITY
BUILDINGS K, L & M
ENLARGED PORCH 'C' PLANS & DETA

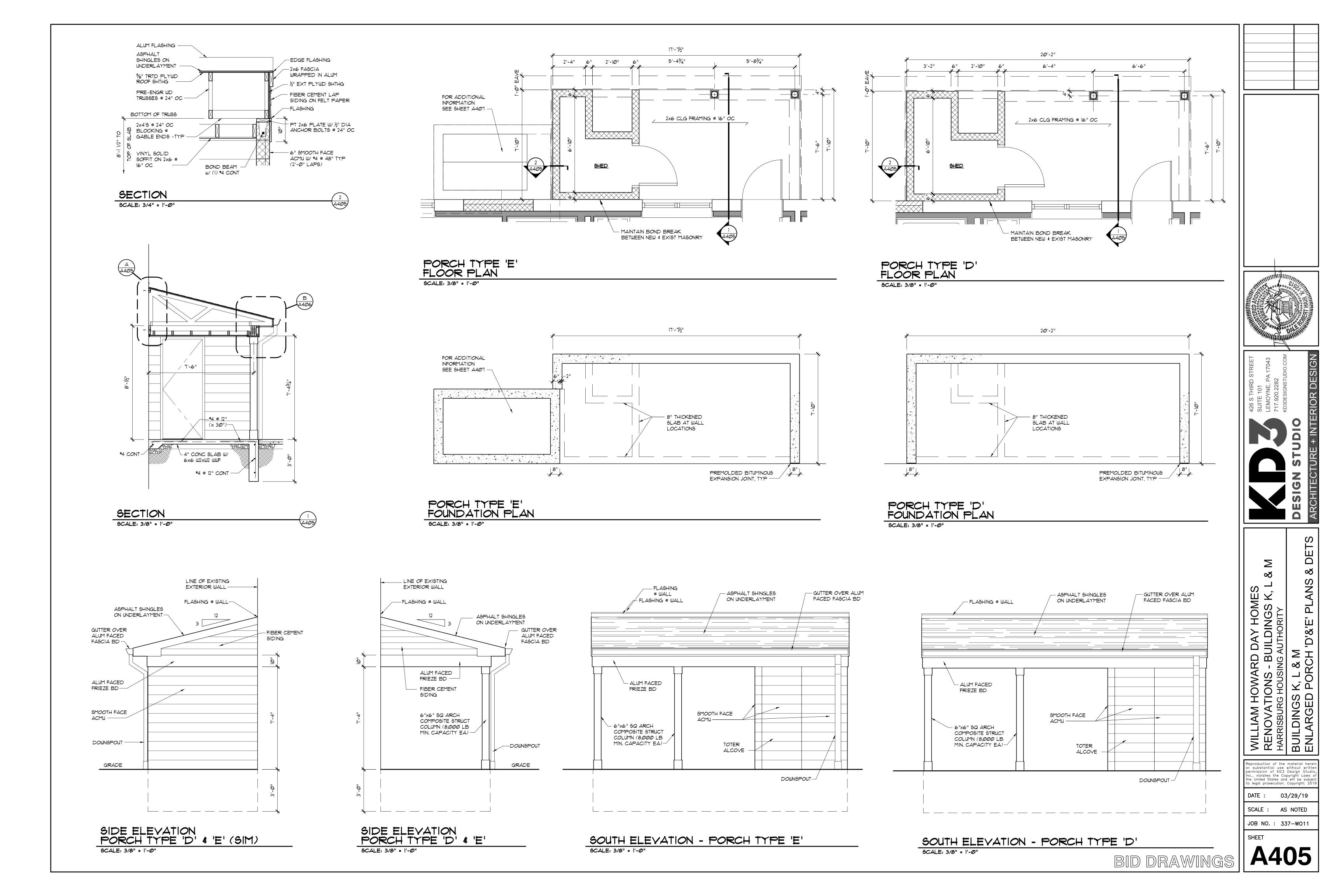
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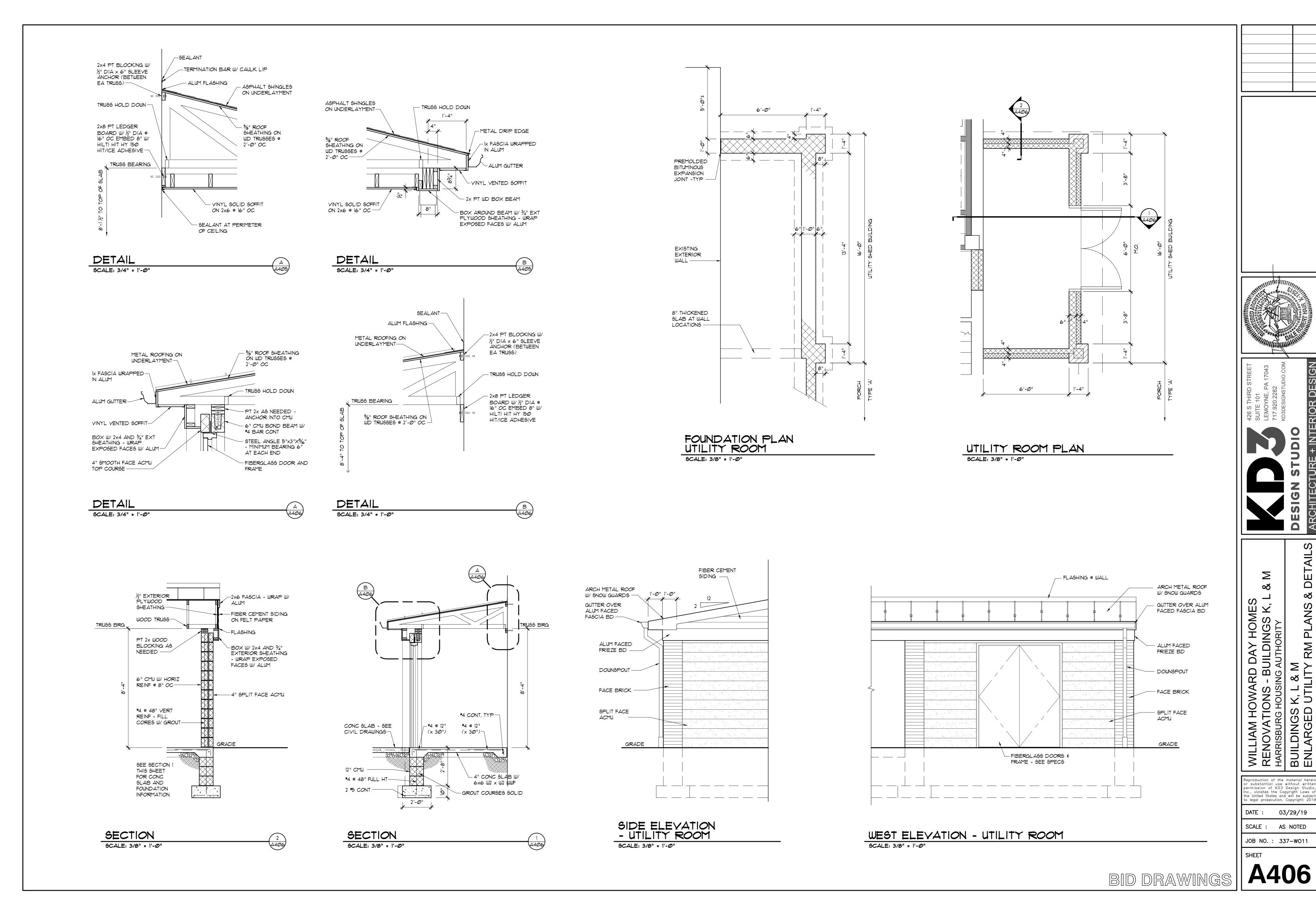
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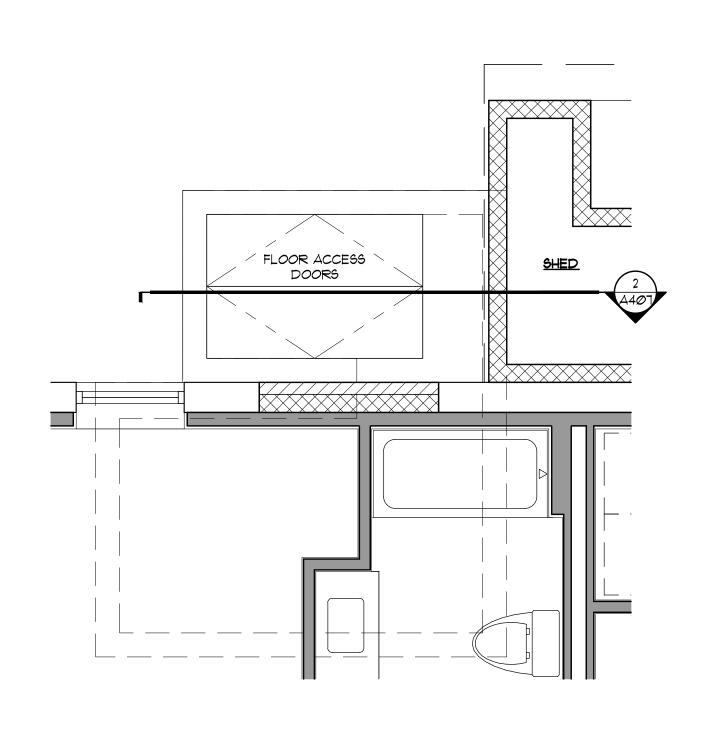
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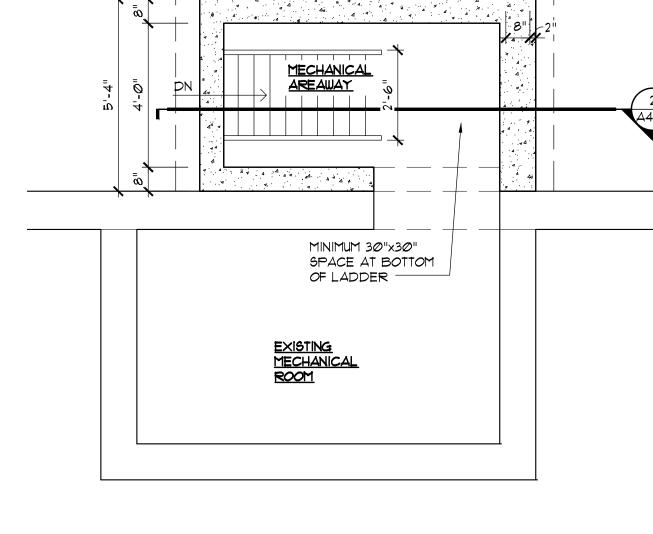
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A404

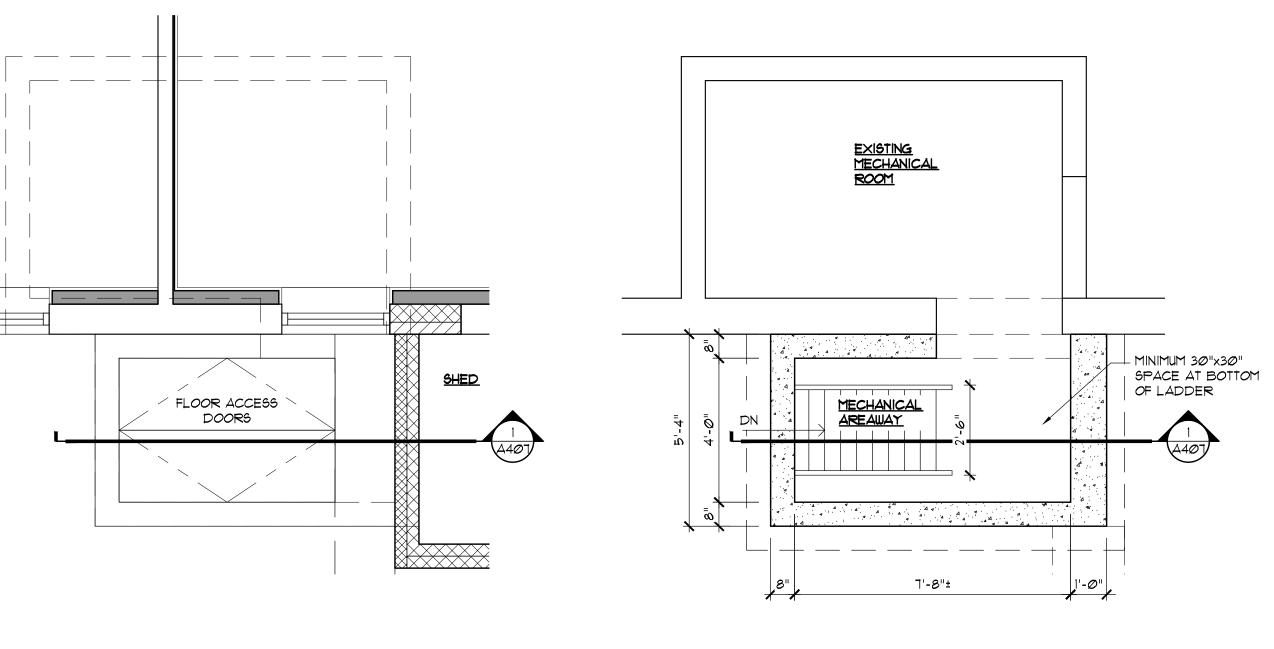








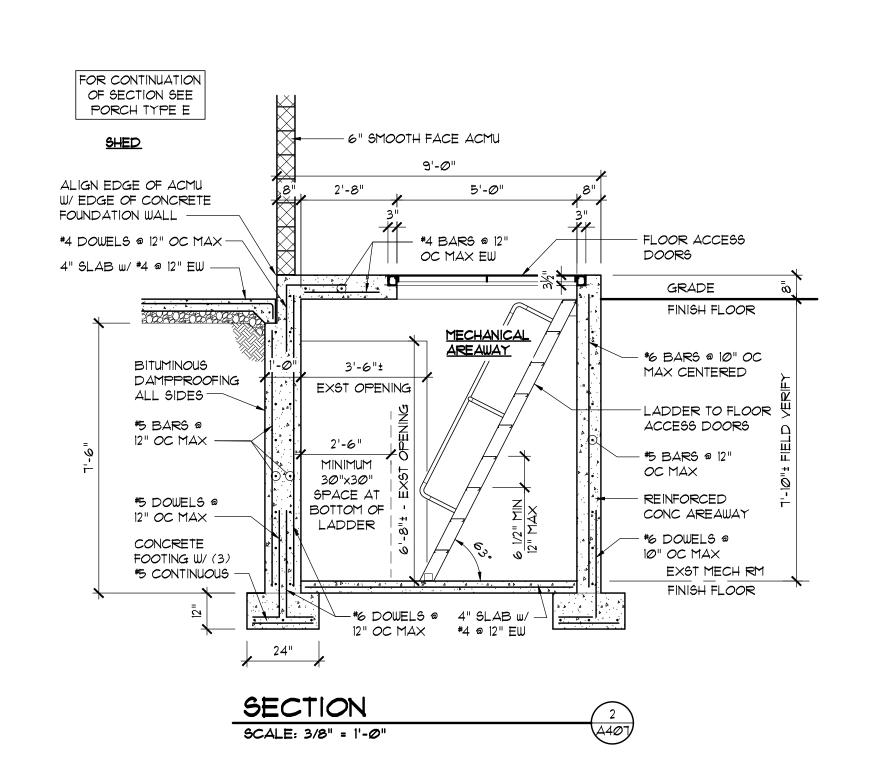
T'-8"±

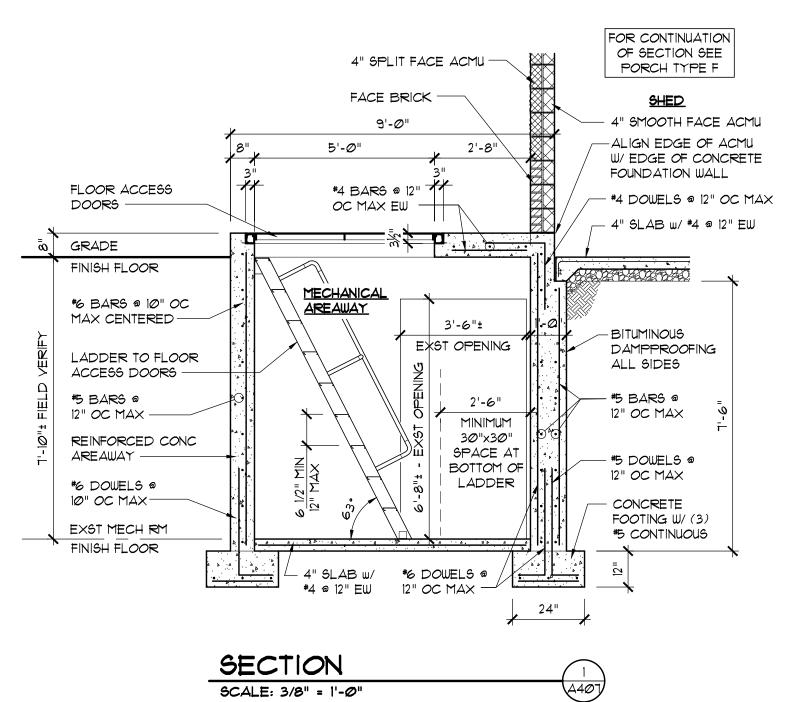


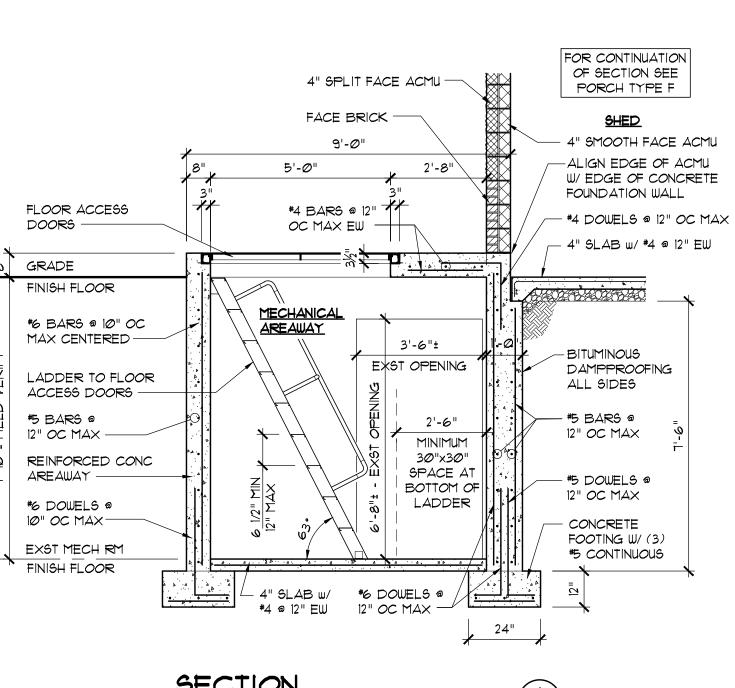












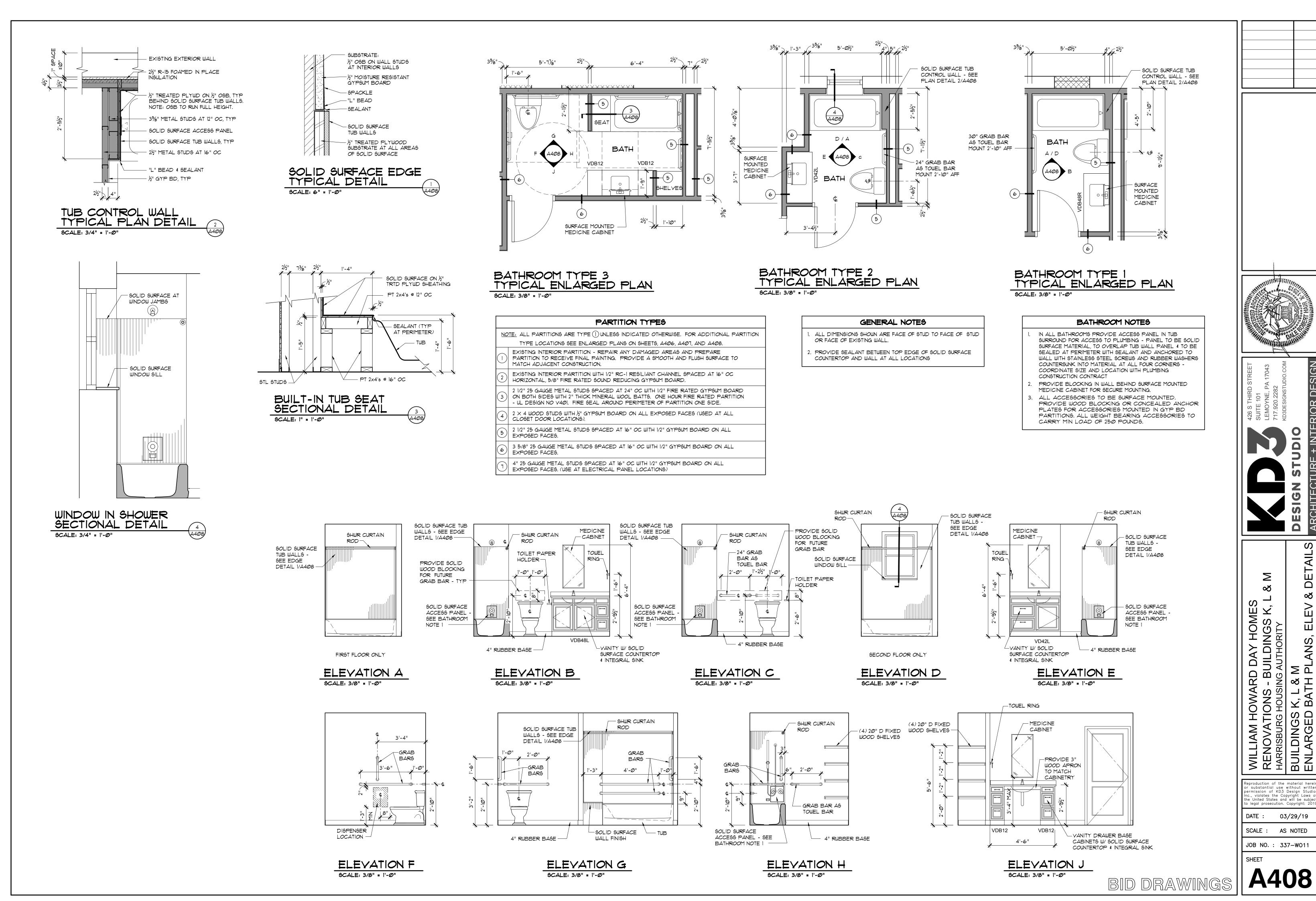
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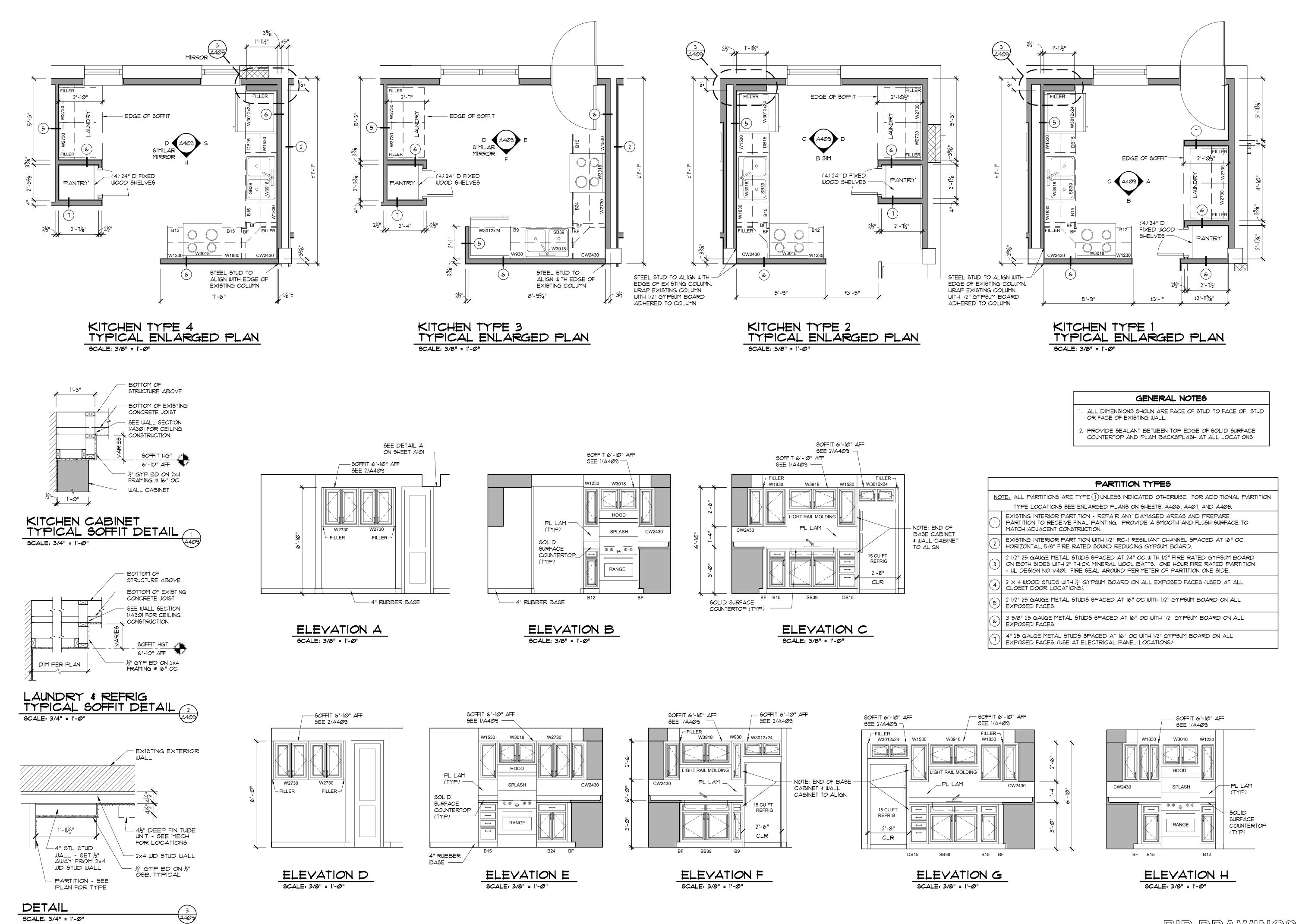


03/29/19 SCALE: AS NOTED JOB NO.: 337-WO11

S

L & ATH

BUILDINGS I ENLARGED



BID DRAWINGS A

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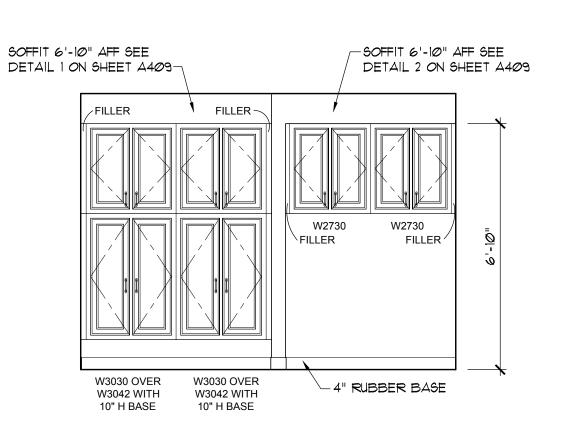
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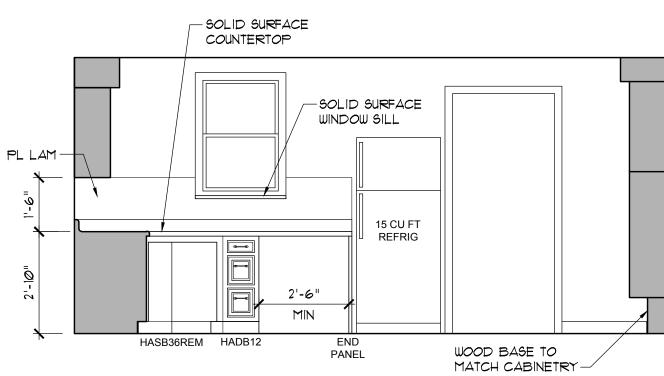
03/29/19

DATE :



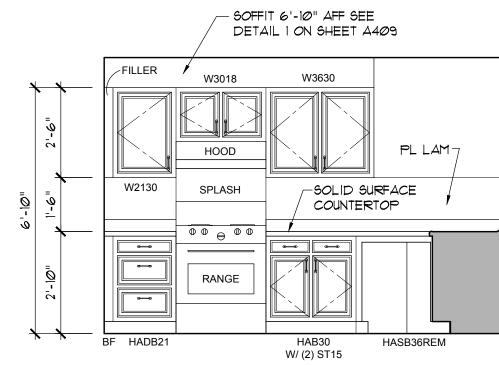
ELEVATION C

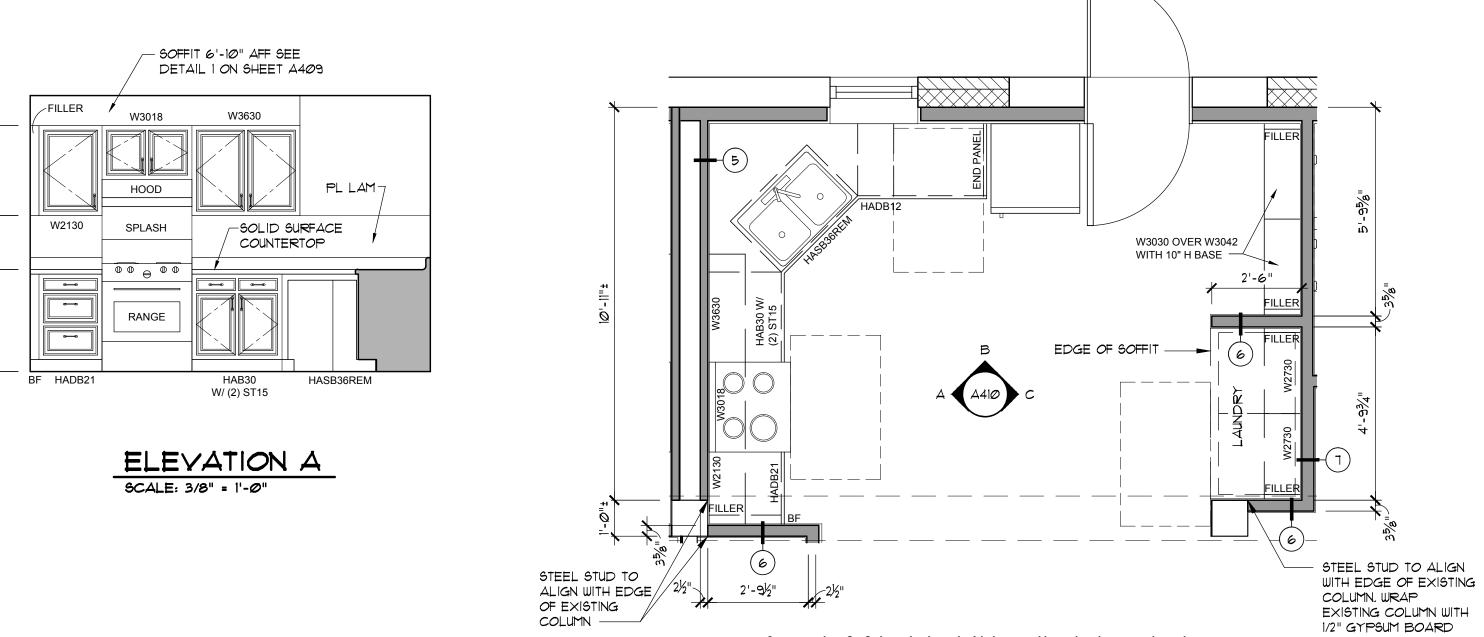
SCALE: 3/8" = 1'-0"



ELEVATION B

SCALE: 3/8" = 1'-0"





COLUMN -

GENERAL NOTES

- ALL DIMENSIONS SHOWN ARE FACE OF STUD TO FACE OF STUD OR FACE OF EXISTING WALL.
- . PROVIDE SEALANT BETWEEN TOP EDGE OF SOLID SURFACE COUNTERTOP AND PLAM BACKSPLASH AT ALL LOCATIONS

PARTITION TYPES

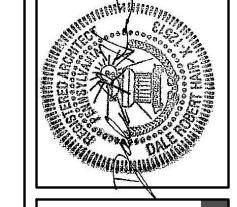
- NOTE: ALL PARTITIONS ARE TYPE () UNLESS INDICATED OTHERWISE. FOR ADDITIONAL PARTITION TYPE LOCATIONS SEE ENLARGED PLANS ON SHEETS, A406, A407, AND A408.
- EXISTING INTERIOR PARTITION REPAIR ANY DAMAGED AREAS AND PREPARE PARTITION TO RECEIVE FINAL PAINTING. PROVIDE A SMOOTH AND FLUSH SURFACE TO MATCH ADJACENT CONSTRUCTION.
- EXISTING INTERIOR PARTITION WITH 1/2" RC-1 RESILIANT CHANNEL SPACED AT 16" OC HORIZONTAL, 5/8" FIRE RATED SOUND REDUCING GYPSUM BOARD.
- 2 1/2" 25 GAUGE METAL STUDS SPACED AT 24" OC WITH 1/2" FIRE RATED GYPSUM BOARD) ON BOTH SIDES WITH 2" THICK MINERAL WOOL BATTS. ONE HOUR FIRE RATED PARTITION - UL DESIGN NO V401. FIRE SEAL AROUND PERIMETER OF PARTITION ONE SIDE.
- 2×4 wood studs with ½" gypsum board on all exposed faces (used at all closet door locations).
- 2 1/2" 25 GAUGE METAL STUDS SPACED AT 16" OC WITH 1/2" GYPSUM BOARD ON ALL 月 EXPOSED FACES.

EXPOSED FACES. (USE AT ELECTRICAL PANEL LOCATIONS)

ACCESSIBLE KITCHEN TYPE 5
TYPICAL ENLARGED PLAN

SCALE: 3/8" = 1'-@"

- 3 5/8" 25 GAUGE METAL STUDS SPACED AT 16" OC WITH 1/2" GYPSUM BOARD ON ALL EXPOSED FACES.
- 4" 25 GAUGE METAL STUDS SPACED AT 16" OC WITH 1/2" GYPSUM BOARD ON ALL



ADHERED TO COLUMN

∞ŏ WILLIAM HOWARD DAY HOMES RENOVATIONS - BUILDINGS K, I HARRISBURG HOUSING AUTHORITY BUILDING M ENLARGED K

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