



HARRISBURG HOUSING AUTHORITY

WILLIAM HOWARD DAY HOMES DEVELOPMENT

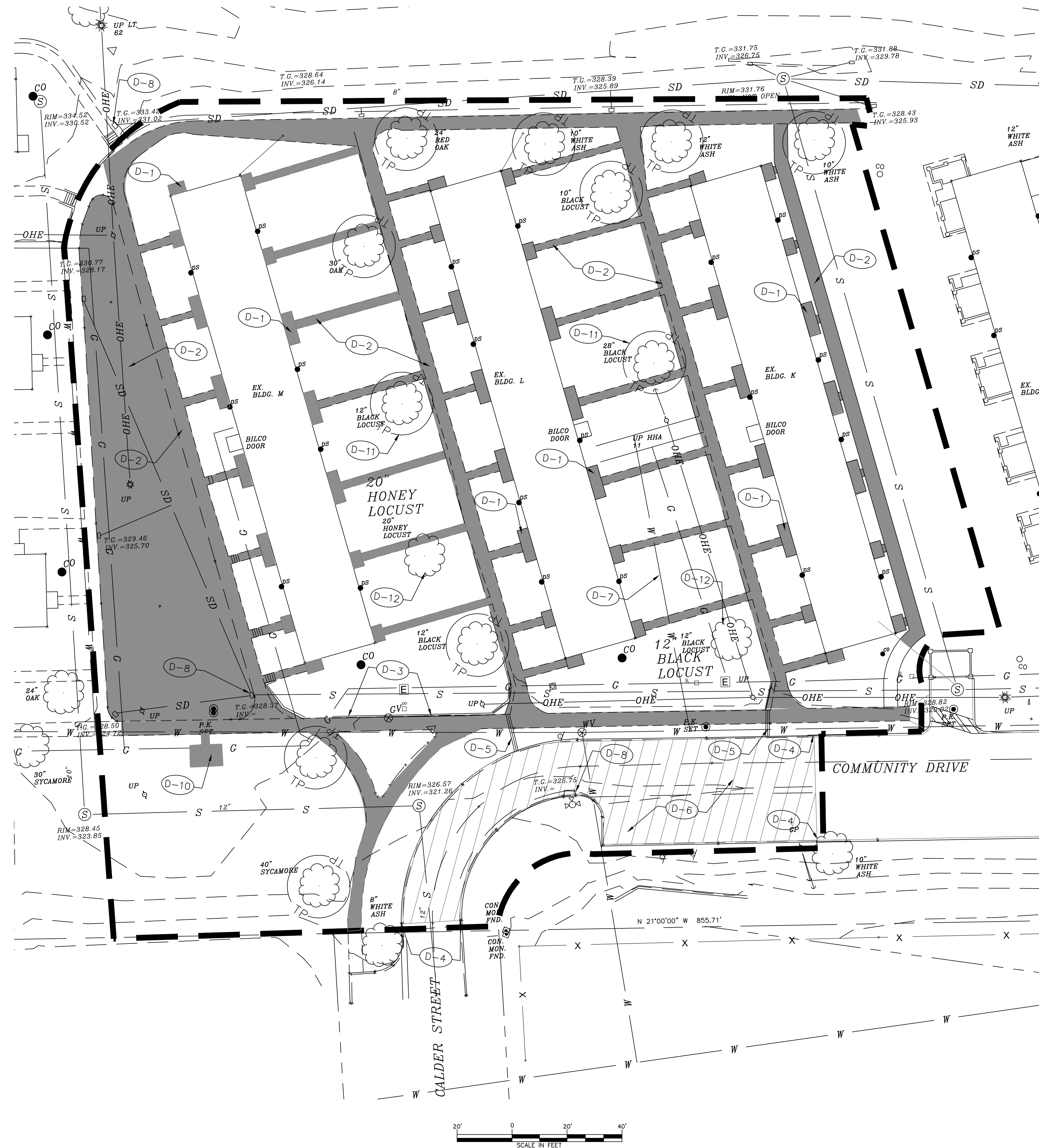
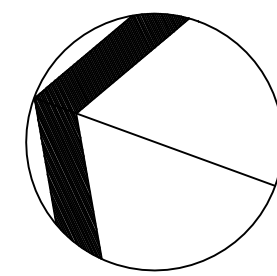
RENOVATIONS TO BUILDINGS K, L and M

Contract No. M-201902 DEMOLITION CONTRACT
 Contract No. M-201903 GENERAL CONSTRUCTION CONTRACT
 Contract No. M-201904 MECHANICAL CONSTRUCTION CONTRACT
 Contract No. M-201905 PLUMBING CONSTRUCTION CONTRACT
 Contract No. M-201906 ELECTRICAL CONSTRUCTION CONTRACT

BID DRAWINGS - MARCH 29, 2019

LIST OF DRAWINGS

CIVIL DRAWINGS	ARCHITECTURAL DRAWINGS	MECHANICAL DRAWINGS	PLUMBING DRAWINGS	ELECTRICAL DRAWINGS
C100 - KEY PLAN C101 - EXISTING CONDITIONS - DEMOLITION PLAN C102 - LAYOUT PLAN C103 - GRADING PLAN C104 - UTILITY PLAN C105 - EROSION AND SEDIMENT CONTROL PLAN C501 - SITE DETAILS C502 - SITE DETAILS C503 - EROSION AND SEDIMENT CONTROL DETAILS	D101 - BUILDING K - DEMOLITION PLANS D102 - BUILDING L - DEMOLITION PLANS D103 - BUILDING M - DEMOLITION PLANS A001 - CODE INFORMATION A101 - BUILDING K - FLOOR PLANS A102 - BUILDING L - FLOOR PLANS A103 - BUILDING M - FLOOR PLANS A201 - BUILDING K - ELEVATIONS A202 - BUILDING L - ELEVATIONS A203 - BUILDING M - ELEVATIONS A301 - BUILDINGS K, L & M - SECTIONS A401 - BUILDINGS K, L & M - ENLARGED PORCH 'A' PLANS & DETAILS A402 - BUILDINGS K, L & M - ENLARGED PORCH 'A' & 'F' PLANS & DETS A403 - BUILDINGS K, L & M - ENLARGED PORCH 'B' & 'F' PLANS & DETS A404 - BUILDINGS K, L & M - ENLARGED PORCH 'C' PLANS & DETAILS A405 - BUILDINGS K, L & M - ENLARGED PORCH 'D' & 'E' PL'S & DETAILS A406 - BUILDINGS K, L & M - ENLARGED UTILITY RM PLANS & DETAILS A407 - BUILDINGS K, L & M - ENLARGED MECH RM PLANS & DETAILS A408 - BUILDINGS K, L & M - ENLARGED BATH PLANS, ELEV & DETAILS A409 - BUILDINGS K, L & M - ENLARGED KITCHEN PLANS & ELEV A410 - BUILDING M - ENLARGED KITCHEN PLAN & ELEV A601 - BUILDINGS K, L & M - DOOR SCHEDULE & ROOM FINISH NOTES	H101 - BUILDING K - FLOOR PLANS - HVAC H102 - BUILDING L - FLOOR PLANS - HVAC H103 - BUILDING M - FLOOR PLANS - HVAC H104 - BUILDING K - LARGED SCALE PLAN - HVAC H105 - BUILDING L - LARGED SCALE PLAN - HVAC H106 - BUILDING M - LARGED SCALE PLAN - HVAC H107 - BUILDINGS K, L & M - SCHEDULES & DETAILS - HVAC	P101 - BUILDING K - FLOOR PLANS - PLUMBING P102 - BUILDING L - FLOOR PLANS - PLUMBING P103 - BUILDING M - FLOOR PLANS - PLUMBING P104 - BUILDING K - LARGE SCALE PLAN - PLUMBING P105 - BUILDING L - LARGE SCALE PLAN - PLUMBING P106 - BUILDING M - LARGE SCALE PLAN - PLUMBING P107 - BUILDINGS K, L, & M - PLUMBING SCHEDULES & DETAILS P108 - BUILDING K, L, & M - PLUMBING ISOMETRICS	E101 - BUILDING K - FLOOR PLANS - ELECTRICAL E102 - BUILDING L - FLOOR PLANS - ELECTRICAL E103 - BUILDING M - FLOOR PLANS - ELECTRICAL E104 - BUILDING K - LARGE SCALE PLAN - ELECTRICAL E105 - BUILDING L - LARGE SCALE PLAN - ELECTRICAL E106 - BUILDING M - LARGE SCALE PLAN - ELECTRICAL E107 - BUILDINGS K, L & M - SCHEDULE, NOTES, ABBREVIATIONS AND SYMBOLS E108 - BUILDINGS K, L & M - PANELBOARDS AND RISER DIAGRAM



LEGEND (EXISTING FEATURES)

	PROPERTY LINE
	RIGHT-OF-WAY
	CENTERLINE
	BUILDING
	EDGE OF PAVEMENT
	EDGE OF CURB
	FENCE
	HANDICAPPED PARKING
	VEGETATION
	ELECTRICAL TRANSFORMER
	GUY
	FIRE HYDRANT
	LIGHT
	SIGN
	UTILITY POLE
	UTILITY VALVE
	MANHOLE
	INLET
	ELECTRIC LINE
	SANITARY SEWER LINE
	GAS LINE
	STORMWATER LINE
	TELEPHONE LINE
	WATER LINE
	CONTOUR MAJOR
	CONTOUR MINOR
	SPOT ELEVATION

--- LIMIT OF DISTURBANCE

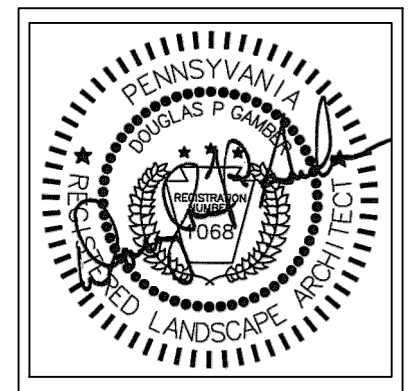
DEMOLITION LEGEND

- EXISTING PAVEMENT TO BE REMOVED
- DEMOLITION NOTE REFERENCE
- TREE PROTECTION

DEMOLITION NOTES

- D-1 DEMOLISH ALL EXISTING PORCHES, STAIRS & RAILINGS (TYP)
- D-2 DEMOLISH PAVEMENT
- D-3 REMOVE EXISTING RETAINING WALL, INCLUDING FOUNDATIONS AND PIERS
- D-4 REMOVE CURBING BETWEEN THESE POINTS
- D-5 REMOVE IRON TRENCH BOXES
- D-6 MILL 1" SURFACE OF EXISTING ASPHALT PAVING - BY G.C.
- D-7 REMOVE EXISTING WATER LINES
- D-8 REMOVE EXISTING INLET FOR REPLACEMENT
- D-9 REMOVE ALL EXISTING SHRUBS & CLOTHES LINES WITHIN THE LIMIT OF DISTURBANCE (LOD)
- D-10 REMOVE EXISTING TABLE AND EXISTING PAVEMENT
- D-11 ERECT TEMPORARY TREE PROTECTION(TYP.)
- D-12 REMOVE TWO (2) TREES AS INDICATED

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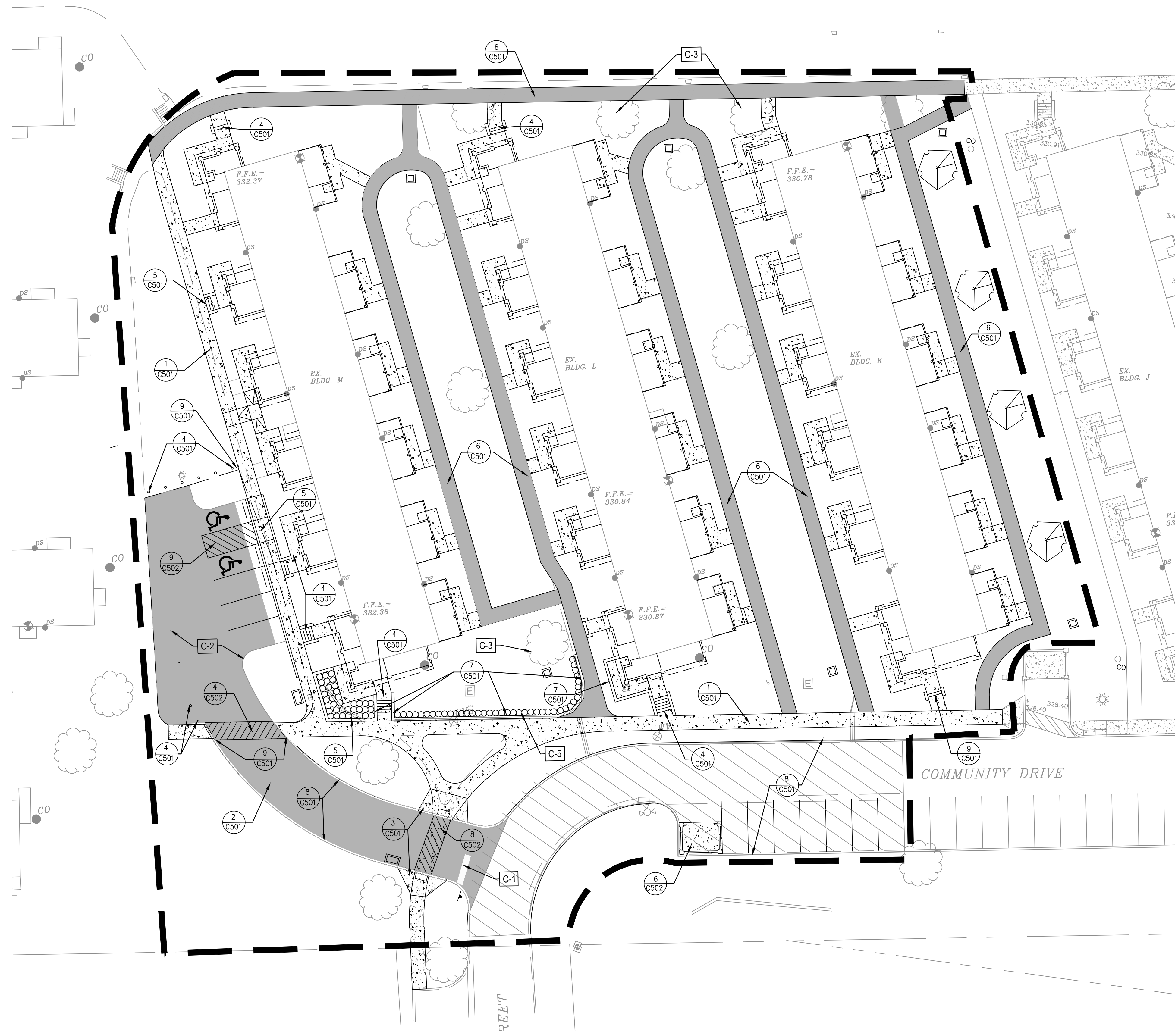
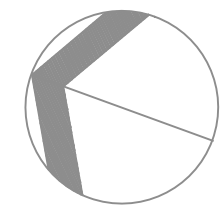
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RENOVATIONS - BUILDINGS K, L & M
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EXISTING CONDITIONS - DEMOLITION PLAN

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SCALE : AS NOTED
JOB NO. : 337-W011
SHEET



LEGEND (EXISTING FEATURES)

- PROPERTY LINE
- RIGHT-OF-WAY
- CENTERLINE
- BUILDING
- EDGE OF PAVEMENT
- EDGE OF CURB
- FENCE
- HANDICAPPED PARKING
- VEGETATION
- ELECTRICAL TRANSFORMER
- GUY
- FIRE HYDRANT
- LIGHT
- SIGN
- UTILITY POLE
- UTILITY VALVE
- MANHOLE
- INLET
- ELECTRIC LINE
- SANITARY SEWER LINE
- GAS LINE
- STORMWATER LINE
- TELEPHONE LINE
- WATER LINE
- CONTOUR MAJOR
- CONTOUR MINOR
- SPOT ELEVATION

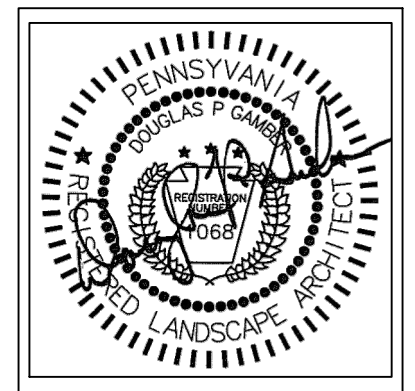
LEGEND (PROPOSED FEATURES)

- BUILDING
- EDGE OF PAVEMENT
- CONCRETE CURB
- ACCESSIBLE PARKING
- FENCE
- GUIDERAIL
- FLAGPOLE
- SIGN
- PARKING TABULATION
- FIRE HYDRANT
- LIGHT
- PAINTED TRAFFIC FLOW
- MANHOLE
- INLET
- VALVE
- TRANSFORMER
- DUMPSTER ENCLOSURE
- FLOWERING TREE
- FULL DEPTH ASPHALT PAVEMENT
- ASPHALT MILL AND OVERLAY
- CONCRETE PAVING

CONSTRUCTION NOTES

- C-1** STOP SIGN AND PAINTED STOP BAR
- C-2** 4" PAINTED LINE STRIPS TO DEMARCATATE PARKING AREA
- C-3** PRUNE EXISTING TREES ADJACENT TO BUILDINGS PER ARBORIST DIRECTION (TYP. OF EIGHT (8) TREES.
- C-4** PLANT FOUR (4) FLOWERING DOGWOOD TREES (8'-10' HT.)
- C-5** PLANT SEVENTY-NINE (79) DWARF FOUNTAIN GRASS ALONG TOP OF WALL (2 GAL. CONTAINERS @ 2' O.C.)

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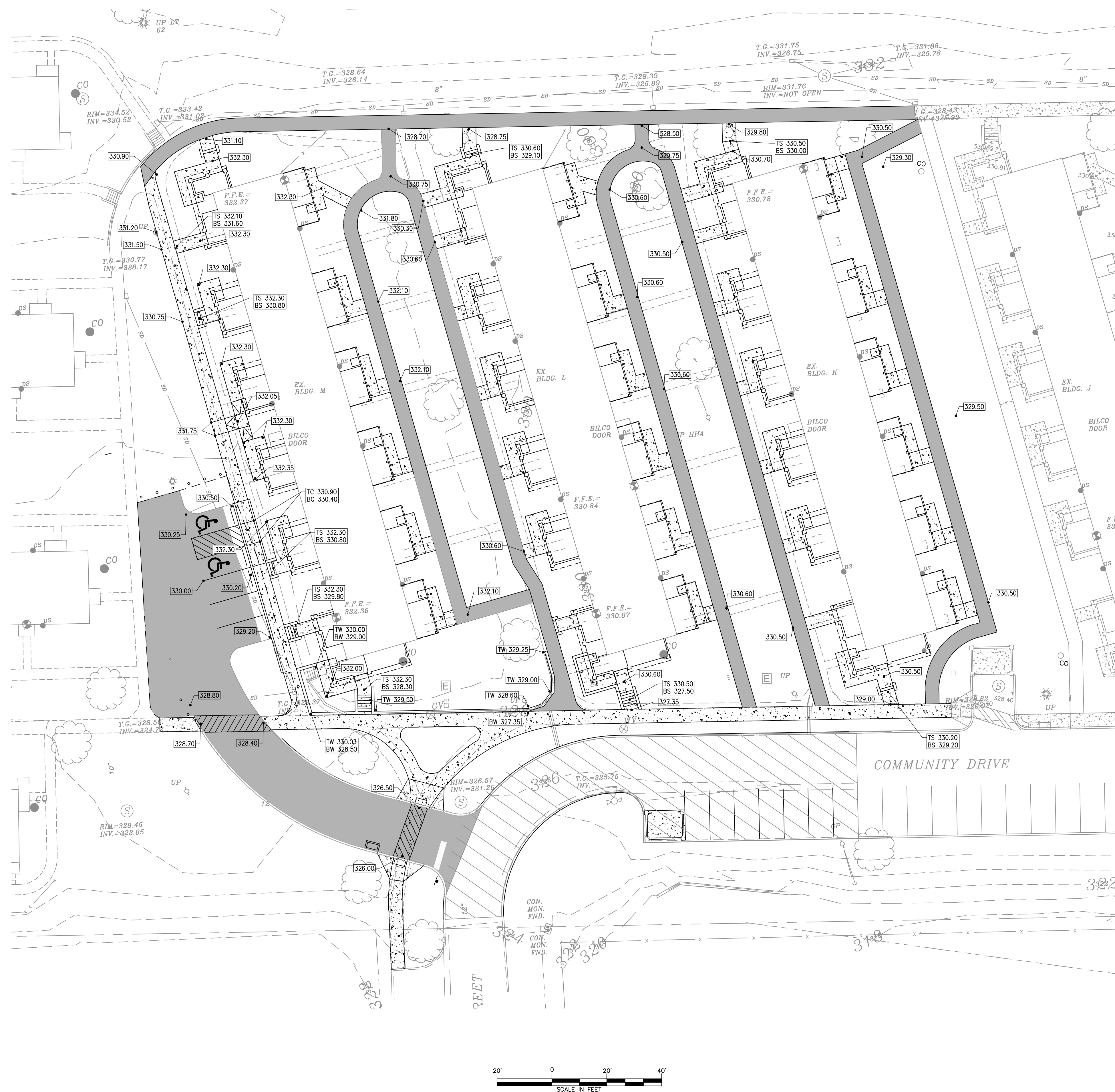
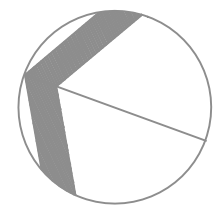
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LAYOUT PLAN

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C-102



LEGEND (EXISTING FEATURES)

	PROPERTY LINE
	RIGHT-OF-WAY
	CENTERLINE
	BUILDING
	EDGE OF PAVEMENT
	EDGE OF CURB
	FENCE
	HANDICAPPED PARKING
	VEGETATION
	ELECTRICAL TRANSFORMER
	GUY
	FIRE HYDRANT
	LIGHT
	SIGN
	UTILITY POLE
	UTILITY VALVE
	MANHOLE
	INLET
	CONTOUR MAJOR
	CONTOUR MINOR
	SPOT ELEVATION

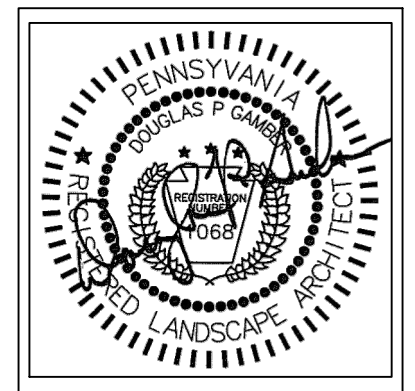
LEGEND (PROPOSED FEATURES)

	BUILDING
	EDGE OF PAVEMENT
	CONCRETE CURB
	ACCESSIBLE PARKING
	FENCE
	GUIDERAIL
	FLAGPOLE
	SIGN
	PARKING TABULATION
	FIRE HYDRANT
	LIGHT
	PAINTED TRAFFIC FLOW
	MANHOLE
	INLET
	VALVE
	TRANSFORMER
	DUMPSTER ENCLOSURE
	CLEAN-OUT
	CONTOUR LINE
	SPOT ELEVATION
	FULL DEPTH ASPHALT PAVEMENT
	ASPHALT MILL AND OVERLAY
	CONCRETE PAVING

LEGEND (PROPOSED GRADING FEATURES)

	300 MAJOR CONTOUR
	302 MINOR CONTOUR
	+ 302.54 SPOT ELEVATION

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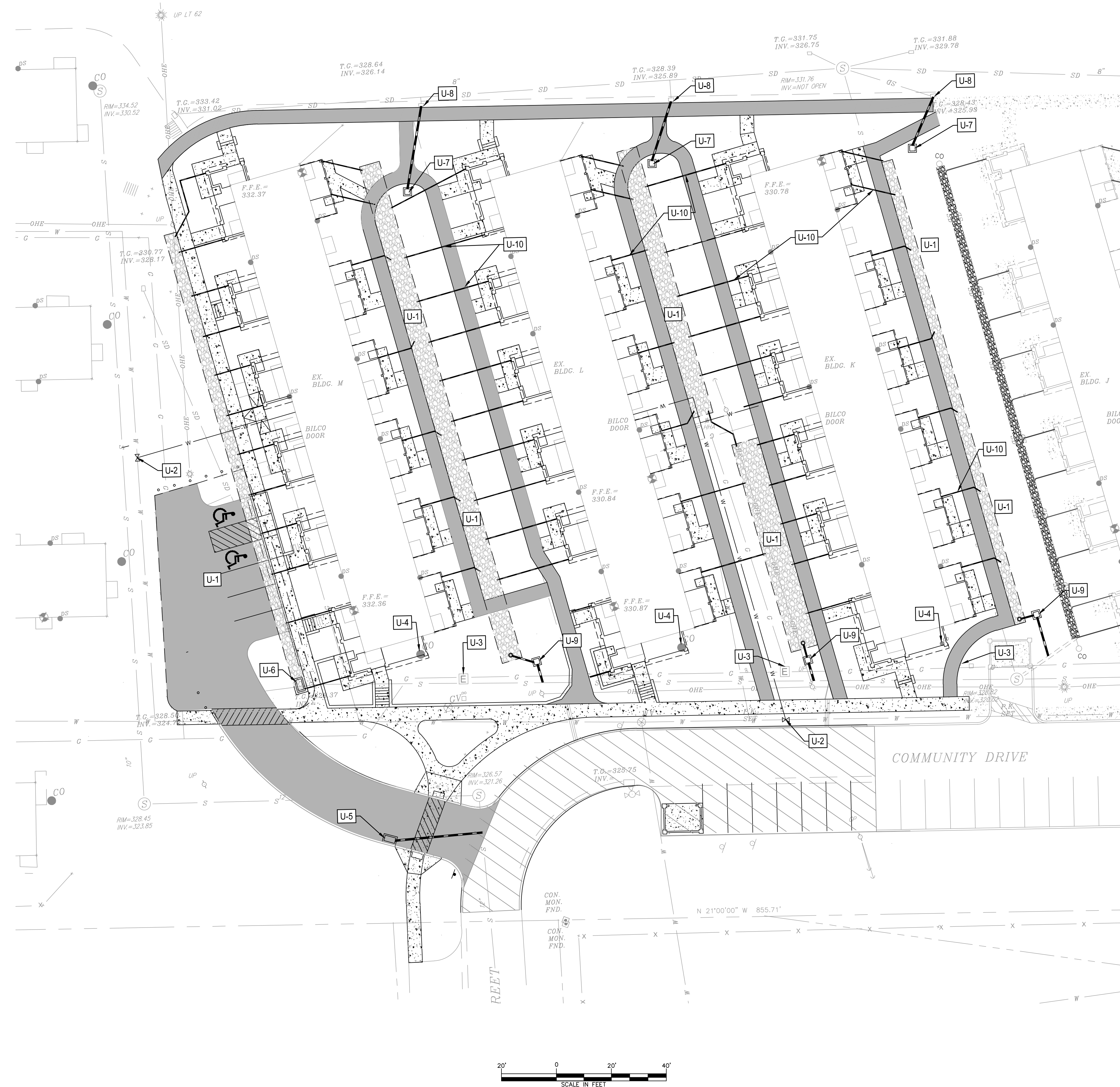
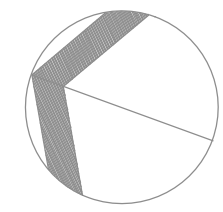
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GRADING PLAN

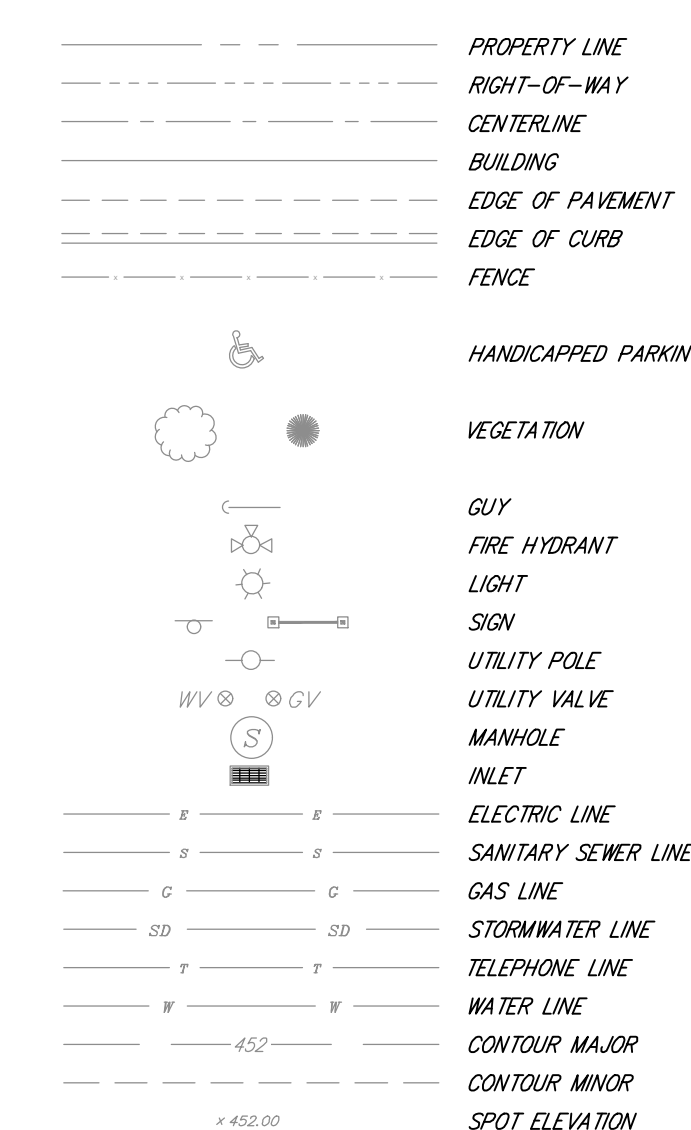
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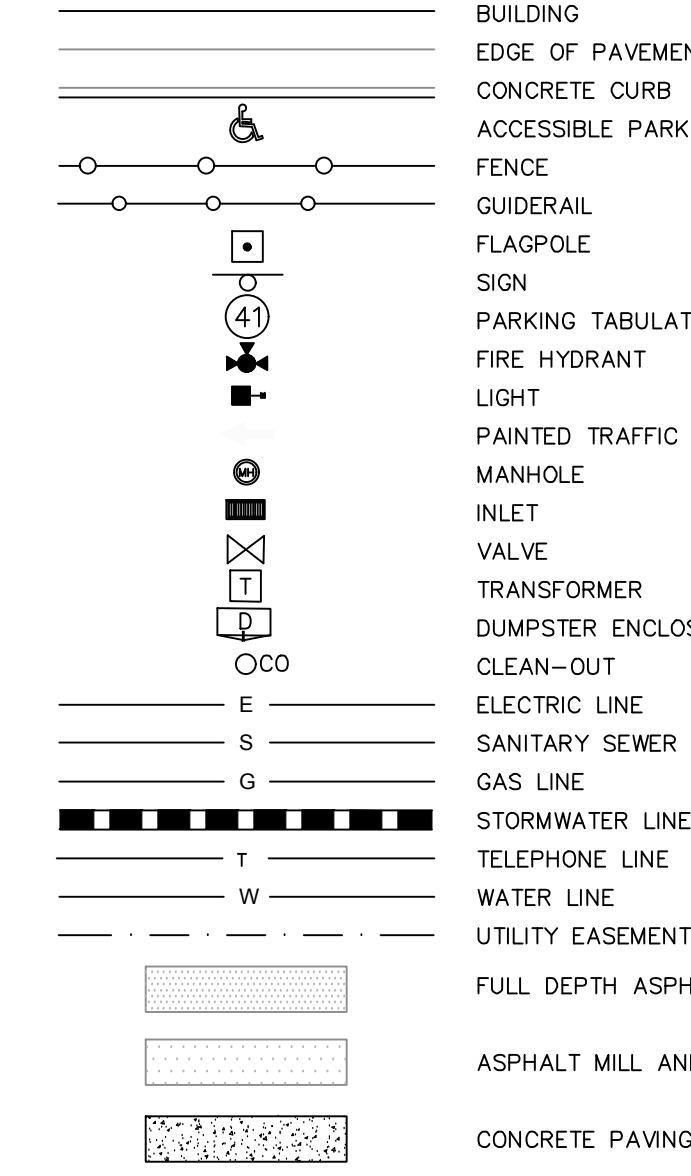
C-103



LEGEND



LEGEND



UTILITY NOTES

- U-1** UNDERGROUND STORMWATER DETENTION FACILITY - SEE DETAIL
- U-2** NEW TAPPING SLEEVE AND VALVE FOR 2" WATER SERVICE REPLACEMENT
- U-3** ELECTRICAL CONTRACTOR TO EXTEND NEW ELECTRICAL SERVICE TO EXISTING TRANSFORMERS PER CONNECTION TO EXISTING 4" PVC CONDUITS
- U-4** RELOCATE EXISTING CLEANOUT
- U-5** NEW TYPE C INLET - PROVIDE "Y" CONNECTION WITH EXISTING SEWER
- U-6** NEW TYPE M INLET - CONNECT EXISTING PIPING
- U-7** NEW YARD INLET
- U-8** CONNECT NEW YARD INLET WITH 8" PVC @ 1.0% MIN.
- U-9** CONNECT STORMWATER FACILITY TO YARD INLET - MAKE "Y" CONNECTION TO EXISTING SEWER
- U-10** TYPICAL 4" ROOF LATERAL AT 1.0% SLOPE MIN. (TYPICAL OF FIFTY-SEVEN (57))

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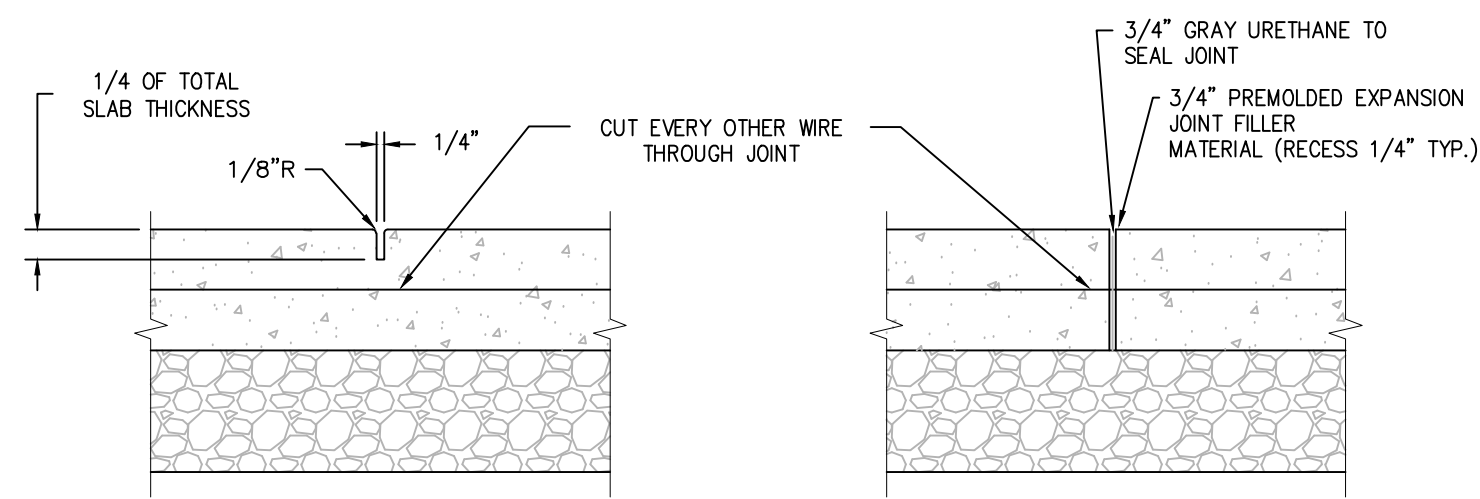
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UTILITY PLAN

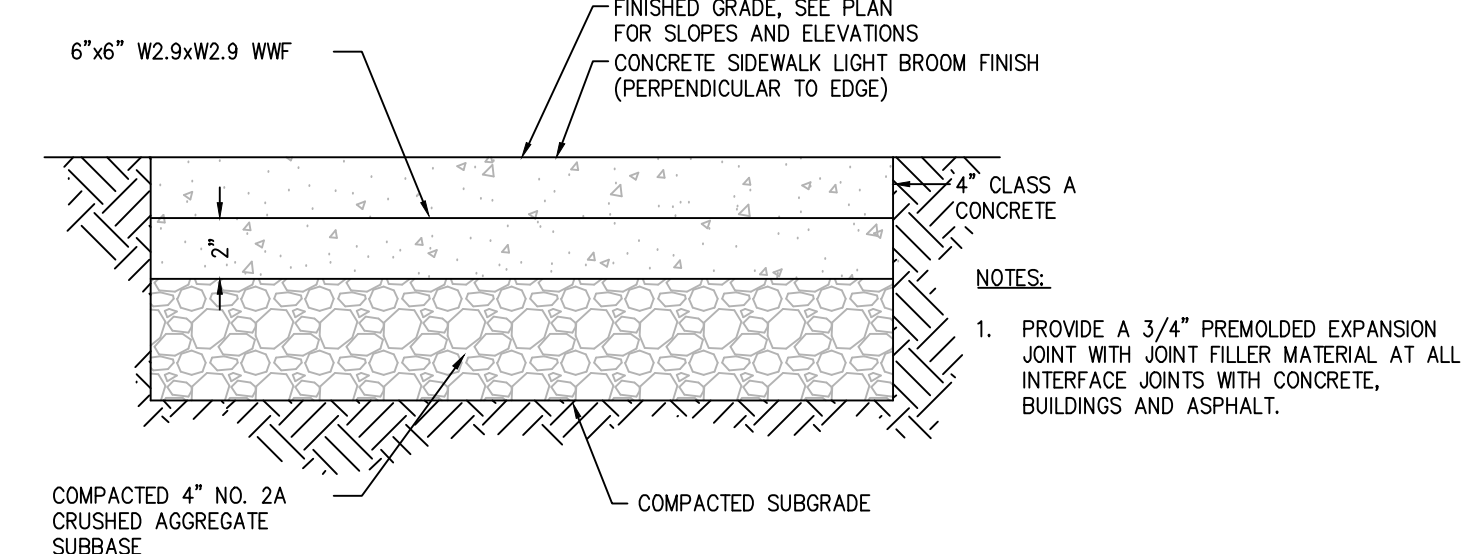
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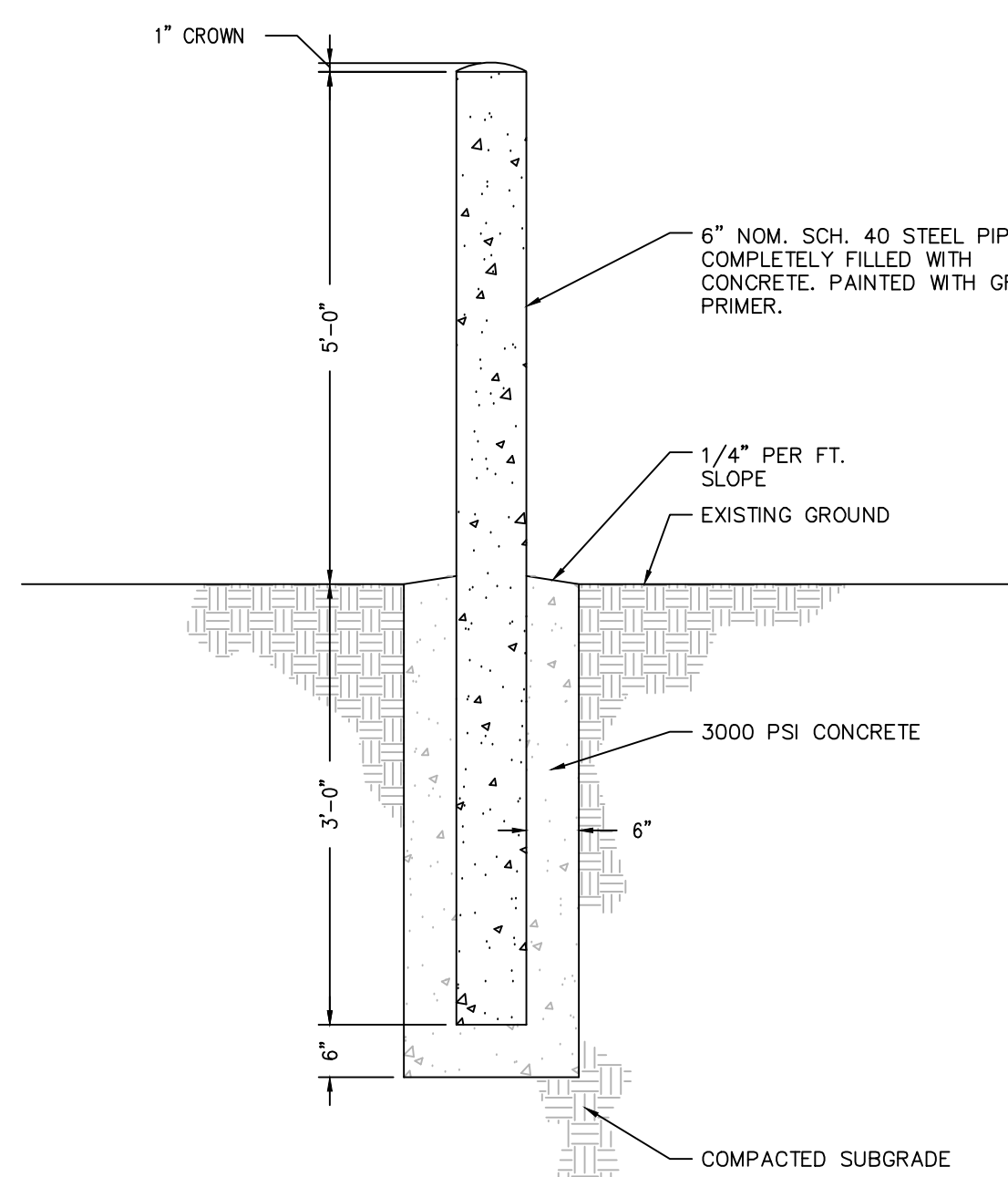


CONTROL JOINT
(SPACED EVERY 5')

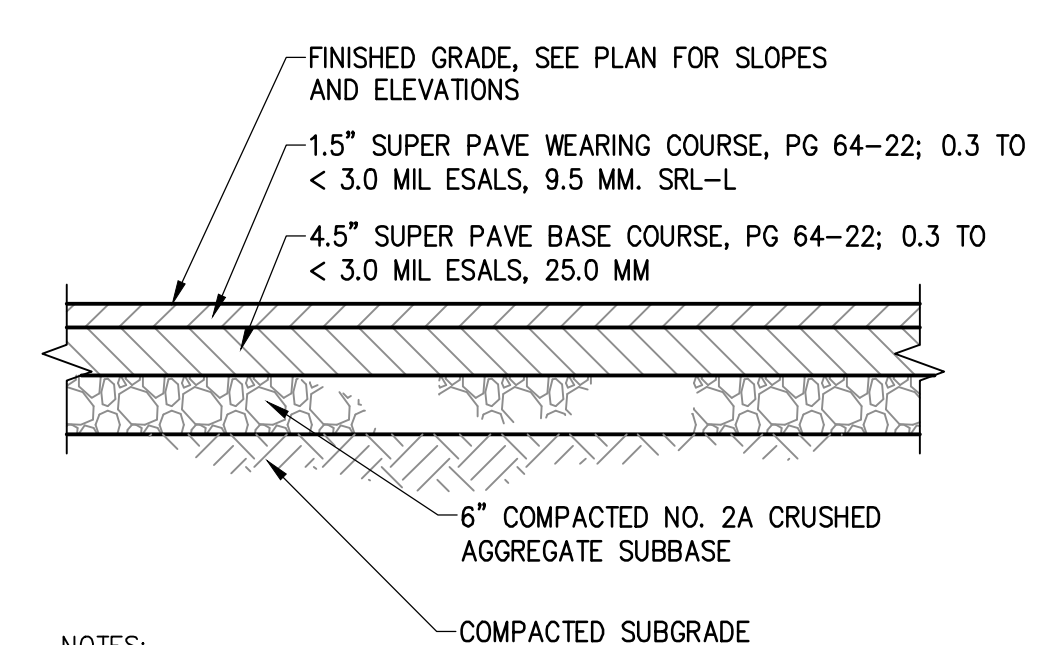
EXPANSION JOINT
(SPACED EVERY 20' OR AT THE END OF WORK DAY)



1 CONCRETE SIDEWALK
NOT TO SCALE

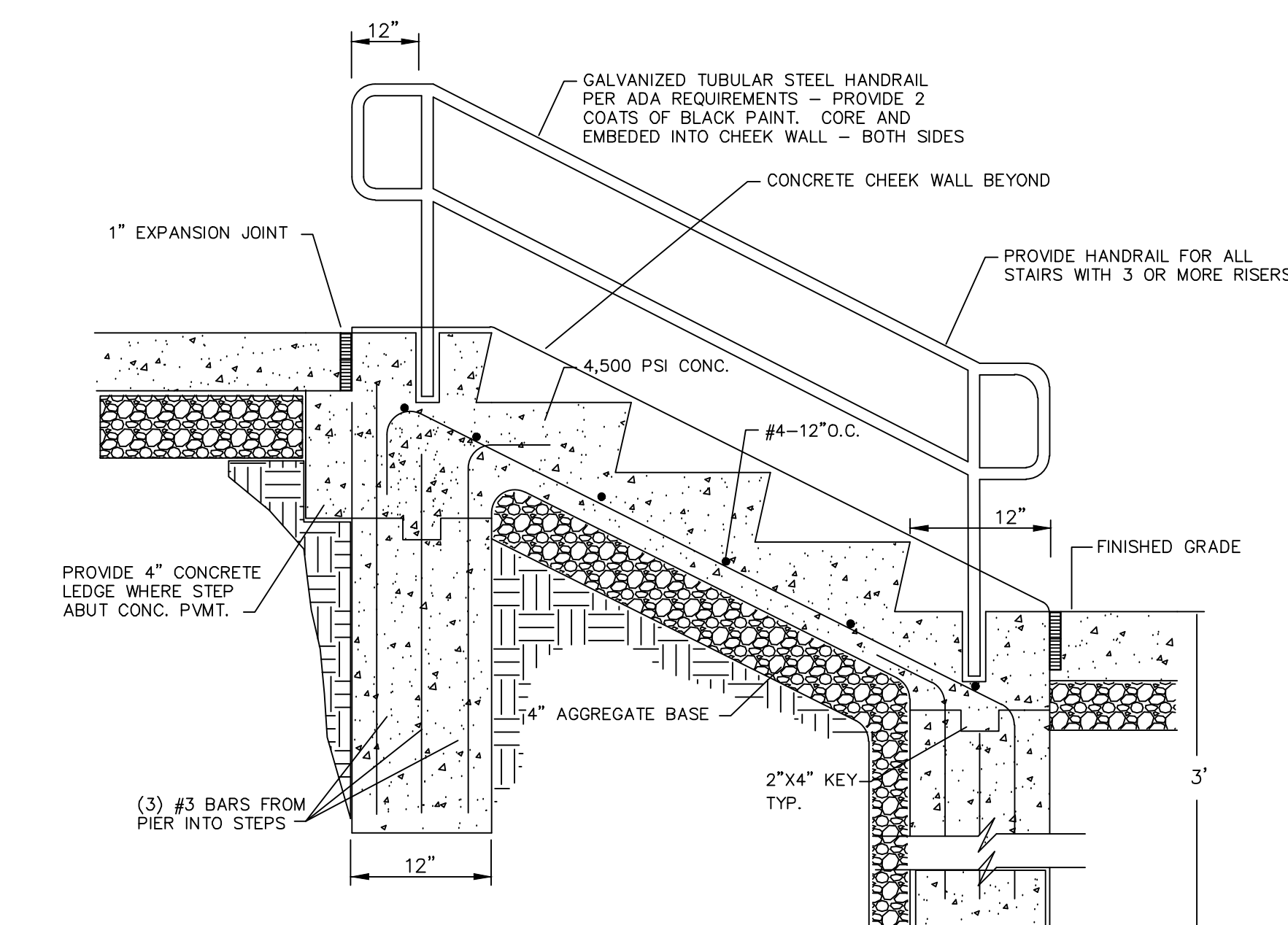


4 TYPICAL BOLLARD DETAIL
NOT TO SCALE

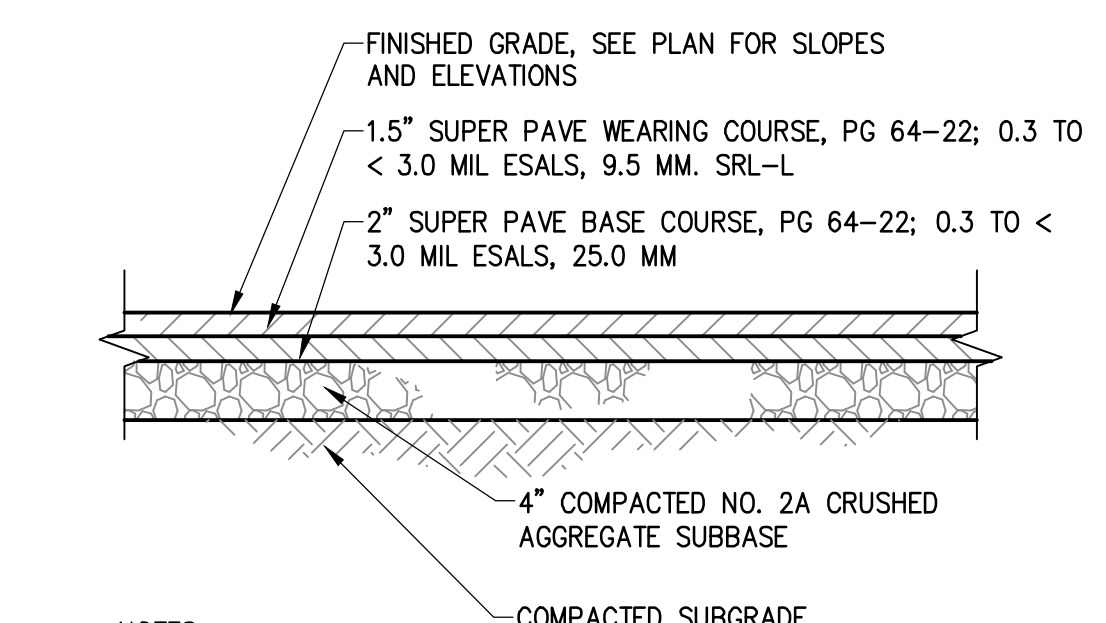


2 BITUMINOUS PAVING (LIGHT DUTY)
NOT TO SCALE

NOTES:
1. APPLY TACK COAT BETWEEN BASE COURSE & WEARING COURSE IF 90 DAYS HAVE ELAPSED SINCE THE BINDER COURSE HAS BEEN PAVED.

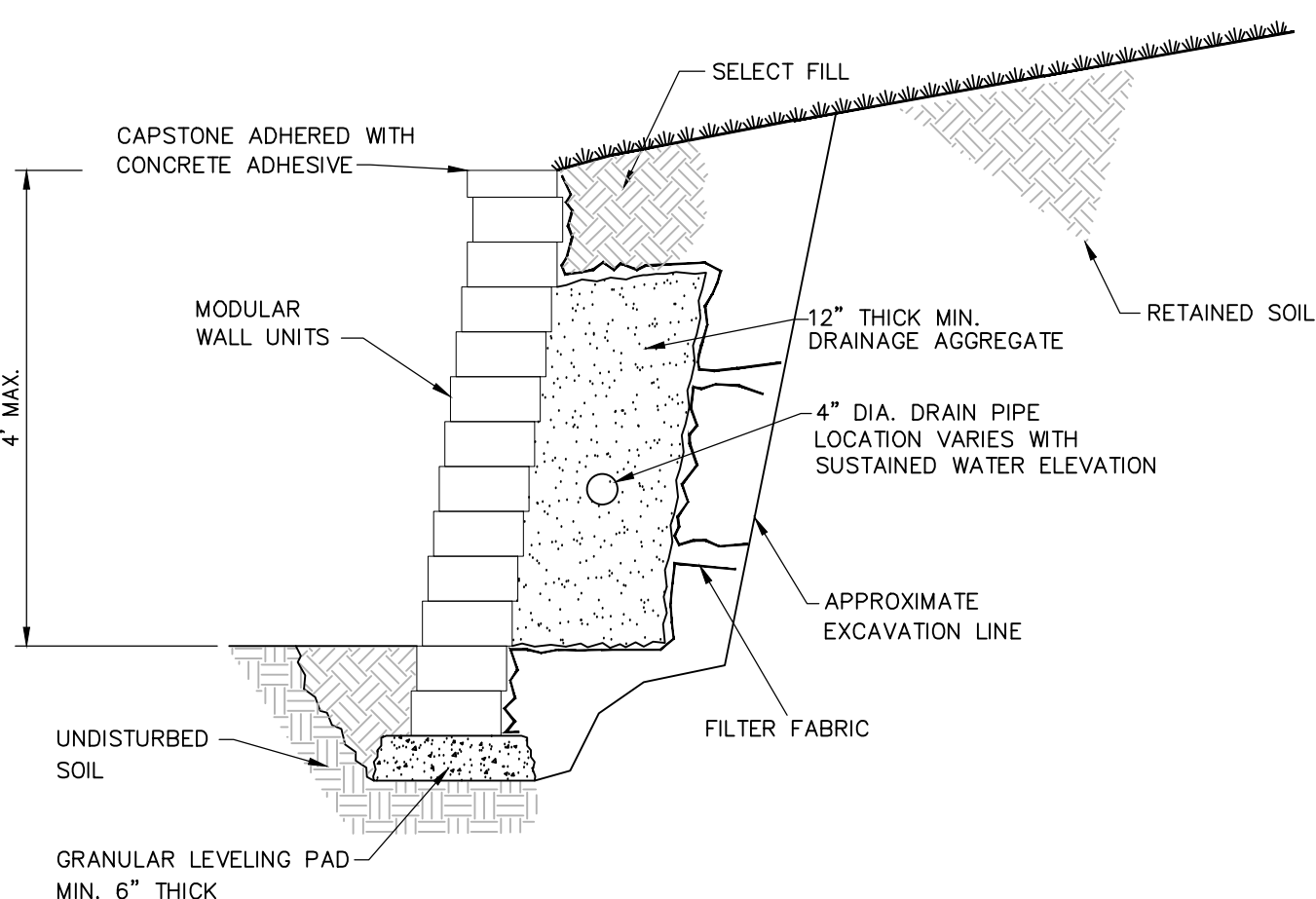


4 CONCRETE STAIR DETAIL
NOT TO SCALE

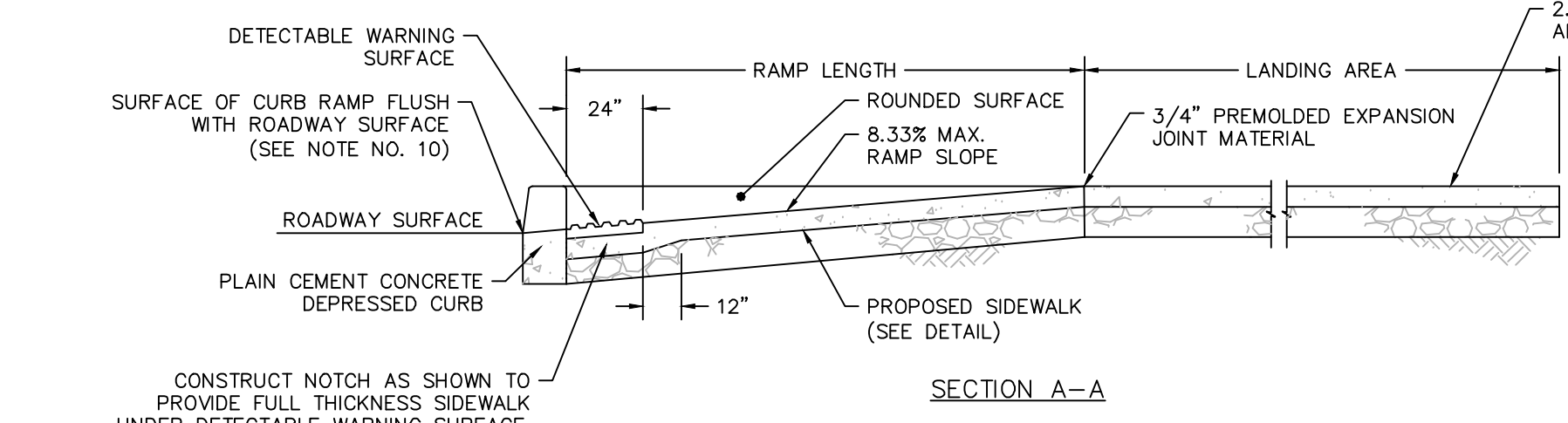


6 ASPHALT WALK (LIGHT DUTY)
NOT TO SCALE

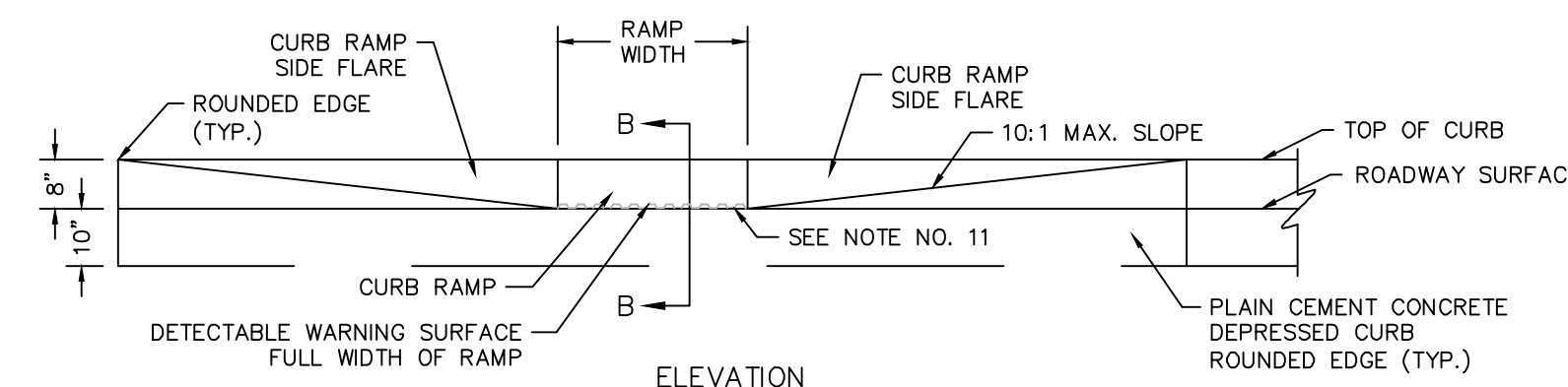
NOTES:
1. APPLY TACK COAT BETWEEN BASE COURSE & WEARING COURSE IF 90 DAYS HAVE ELAPSED SINCE THE BINDER COURSE HAS BEEN PAVED.



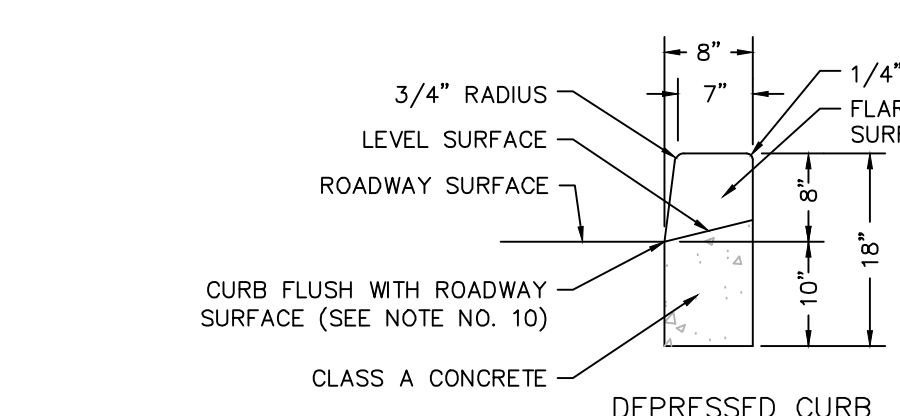
7 TYPICAL SEGMENTAL RETAINING WALL SECTION
NOT TO SCALE



SECTION A-A



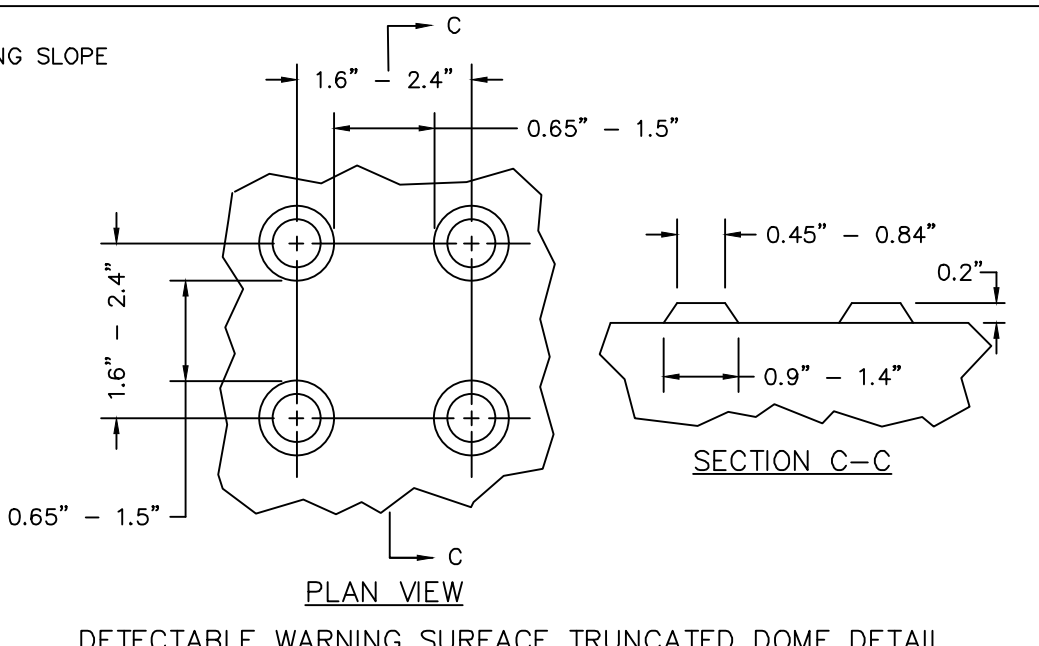
ELEVATION



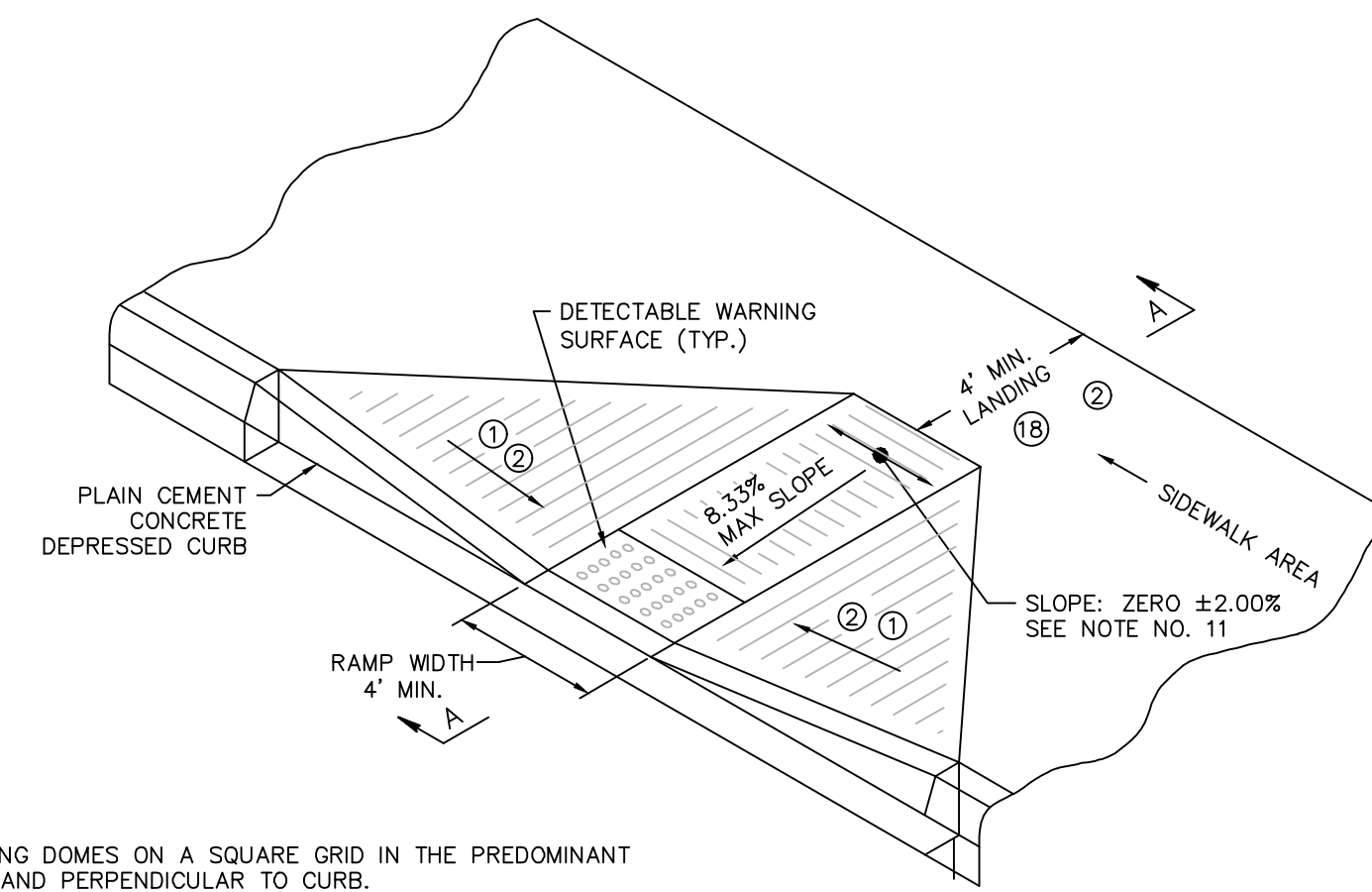
SECTION B-B

NOTES:
1. PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTIONS 350, 409, 630, 676 AND 694.
2. PROVIDE EXPANSION JOINT MATERIAL 1/2" THICK WHERE CURB RAMP ADJOINS ANY RIGID PAVEMENT, SIDEWALK OR STRUCTURE WITH THE TOP OF JOINT FILLER FLUSH WITH ADJACENT CONCRETE SURFACE.
3. SEAL JOINTS WITH AN APPROVED SEALING MATERIAL.
4. PROVIDE SLIP RESISTANT TEXTURE ON CURB RAMP BY COARSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP. EXTEND TEXTURE THE FULL WIDTH AND LENGTH OF THE CURB RAMP INCLUDING FLARED SIDE RAMPS.
5. MODIFY CONSTRUCTION DETAILS TO ADAPT DIMENSIONS TO EXISTING CURB HEIGHTS WHERE THE CURB IS LESS THAN THE STANDARD 8" HEIGHT.
6. CURB RAMP AND SIDE FLARE LENGTHS ARE VARIABLE AND BASED ON CURB HEIGHT AND THE SIDEWALK SLOPE.
7. WHENEVER POSSIBLE, CONSTRUCT THE TRANSITION SLOPE FROM THE CURB RAMP AND FLARE SIDES TO ADJOINING SURFACES WITH GRADUAL CURVE RATHER THAN ABRUPT ANGLE.

3 TYPE 1 CURB RAMP
(PER RC-67M APPROVED AUG. 29, 2008)
NOT TO SCALE

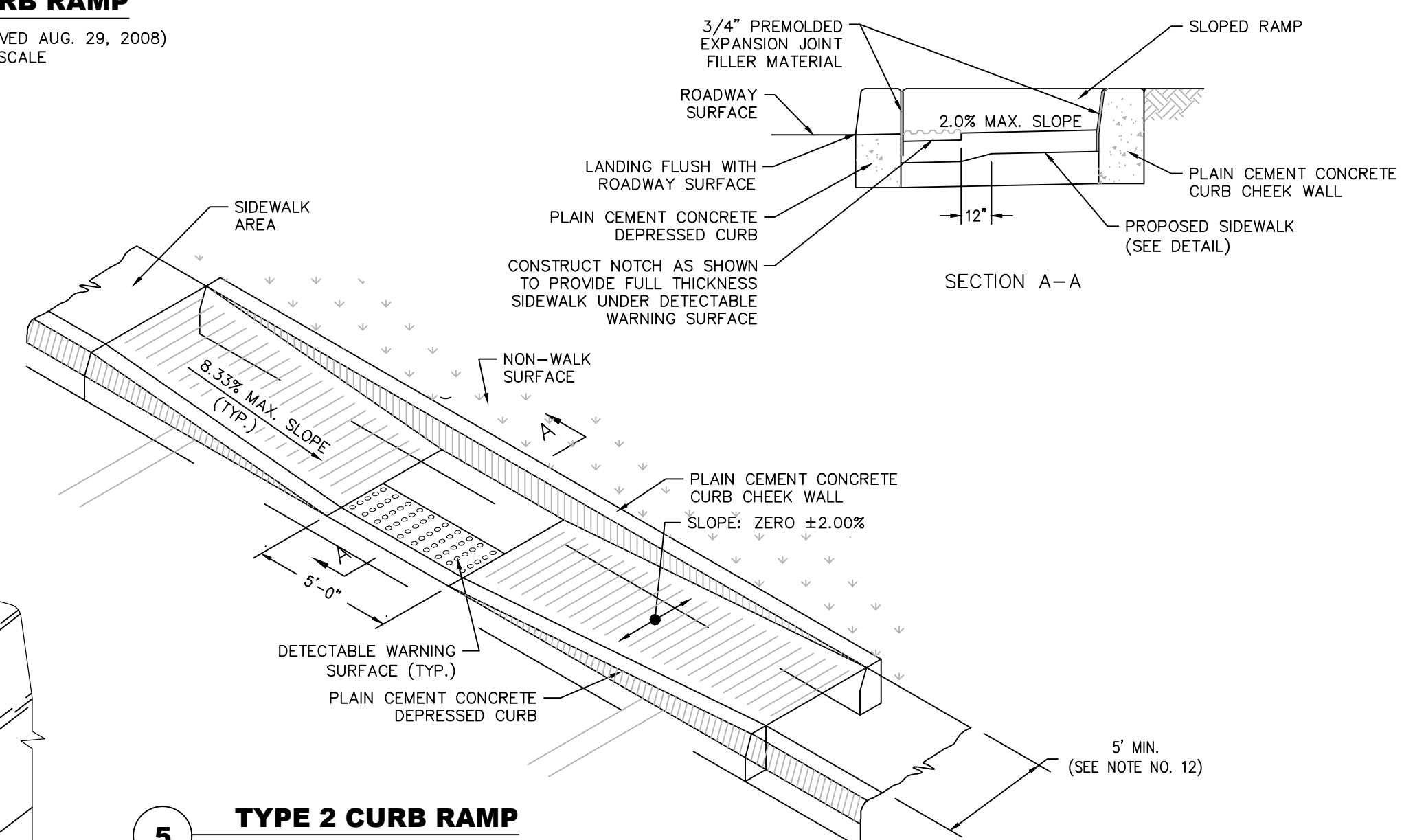


DETECTABLE WARNING SURFACE TRUNCATED DOME DETAIL

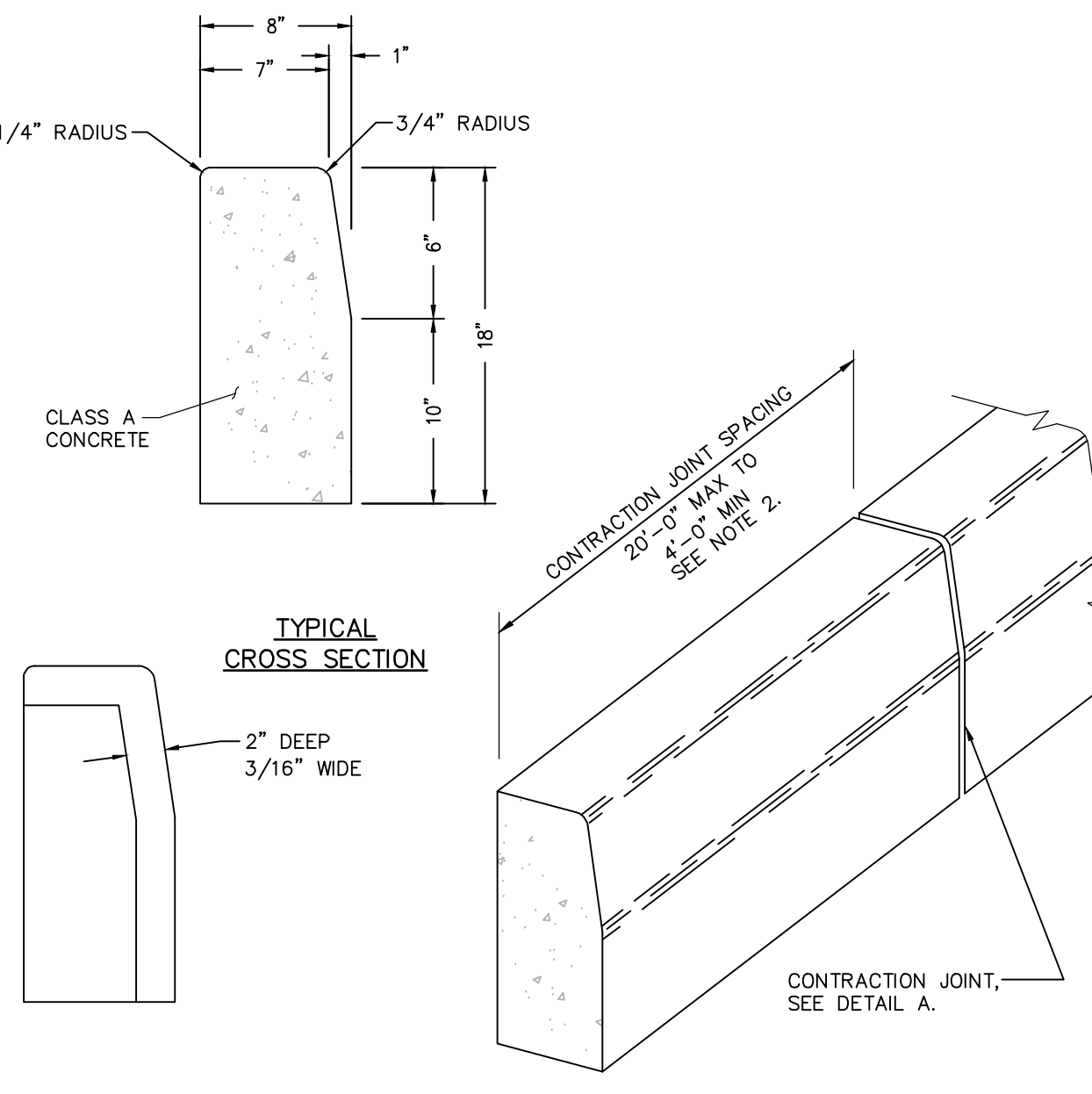


NOTES:
1. SIDE FLARES 10.00% MAX. SLOPE
2. IF THE LANDING IS INDICATED TO BE LESS THAN 4', CONSTRUCT SIDE FLARES AT 8.33% MAX. SLOPE
18. CURB RAMPS REQUIRE A 4' MINIMUM LANDING WITH A MAXIMUM SLOPE OF 2.00% IN ALL DIRECTIONS WHERE PEDESTRIANS PERFORM TURNING MOVEMENTS

8. ALIGN DETECTABLE WARNING DOMES ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF THE RAMP AND PERPENDICULAR TO CURB.
9. PROVIDE DETECTABLE WARNING SURFACES (DWS) 24" MINIMUM (IN THE DIRECTION OF PEDESTRIAN TRAVEL) ACROSS FULL WIDTH OF RAMP AT THE GRADE BREAK NEAR STREET EDGE. PROVIDE DWS THAT CONTRAST VISUALLY WITH ADJACENT WALKWAY SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT FOR THE FULL WIDTH OF RAMP.
10. DEPRESSED CURB FOR CURB RAMPS MUST BE FLUSH TO ADJACENT ROADWAY. EDGE OF ROAD ELEVATIONS AT THE FLOW LINE SHALL BE GRADED TO ENSURE POSITIVE DRAINAGE AND PREVENT PONDING.
11. FOR NEW CONSTRUCTION, DO NOT EXCEED 2.0% CROSS SLOPE ON THE CURB RAMP OR ACCESSIBLE ROUTE.
12. SIDEWALK WIDTH MAY BE REDUCED TO 4'-0", WHEN PASSING AREAS 5'-0" X 5'-0" ARE PROVIDED EVERY 200'.



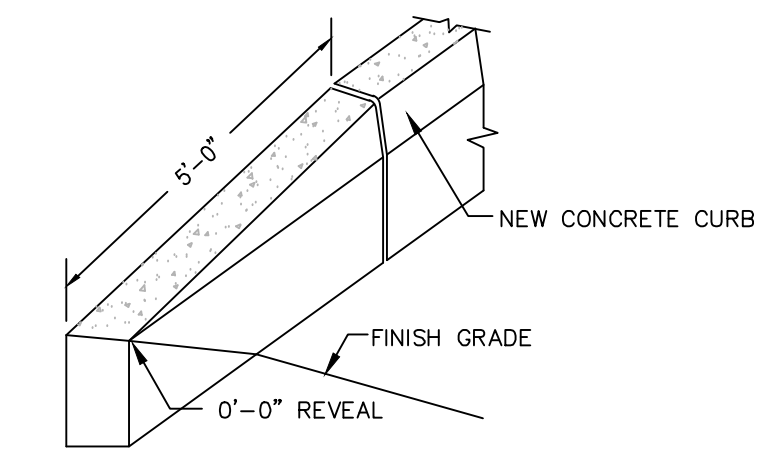
5 TYPE 2 CURB RAMP
(PER RC-67M APPROVED AUG. 29, 2008)
NOT TO SCALE



DETAIL A CONTRACTION JOINT

NOTES:
1. PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTION 630 FOR PLAIN CEMENT CONCRETE CURB AND DEPRESSED CURB, SECTION 640 FOR PLAIN CEMENT CONCRETE GUTTER AND SECTION 641 FOR PLAIN CEMENT CONCRETE CURB GUTTER.
2. SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTIONS.
3. PLACE 3/4" THICK PREMOLDED EXPANSION JOINT FILLER MATERIAL AT STRUCTURES AND AT THE END OF THE WORK DAY. CUT MATERIAL TO CONFORM TO AREA ADJACENT TO CURB OR TO CONFORM TO CROSS SECTIONAL AREA OF CURB.
4. PROVIDE AN ASPHALTIC SEALER AT THE CURB TO PAVEMENT JOINT.

8 CONCRETE CURB



9 END CURB TREATMENT
NOT TO SCALE

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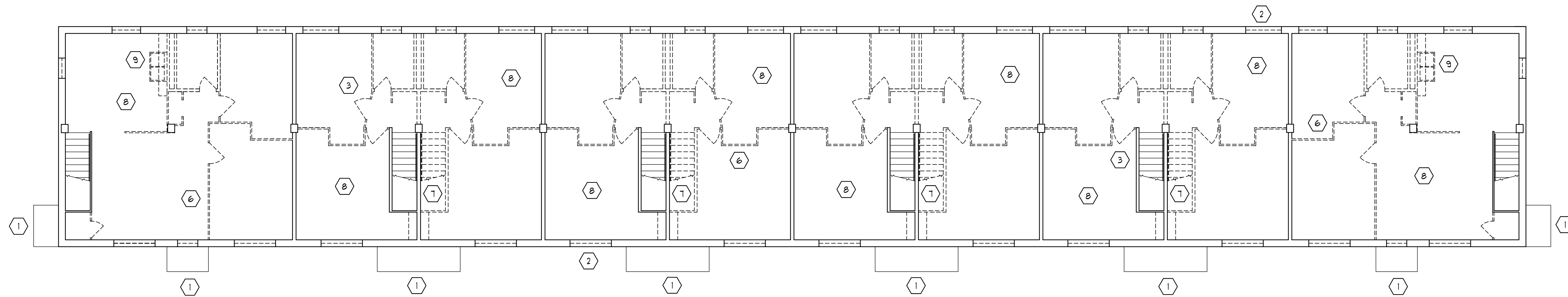
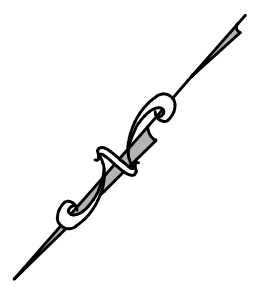
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RENOVATIONS - BUILDINGS K, L & M
HARRISBURG HOUSING AUTHORITY

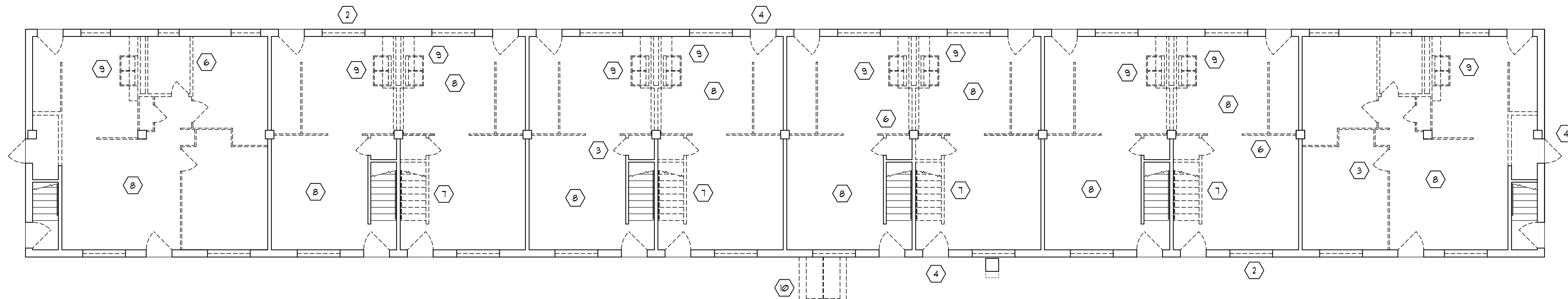
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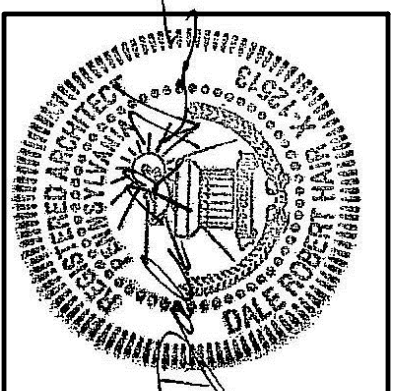


BUILDING K - SECOND FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



BUILDING K - FIRST FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

GENERAL DEMOLITION NOTES	DEMOLITION NOTES
1. DEMOLITION CONTRACTOR TO FOLLOW CONSTRUCTION WASTE MANAGEMENT PLAN (SEE SPECIFICATIONS) THROUGHOUT DEMOLITION PROCESS.	① REMOVE EXISTING ROOF IN ENTIRETY EXCEPT EXISTING CONCRETE ROOF SLAB.
2. DEMOLITION CONTRACTOR TO PROVIDE TEMPORARY STRUCTURAL SUPPORTS AS REQUIRED DURING REMOVAL OF EXISTING CONSTRUCTION ITEMS.	② REMOVE EXISTING WINDOW IN ENTIRETY INCLUDING EXISTING ALUMINUM, CONCRETE OR PRECAST CONCRETE SILL. TYPICAL AT ALL EXTERIOR WINDOWS.
3. DEMOLITION CONTRACTOR TO MAINTAIN WEATHERPROOF EXTERIOR BUILDING ENCLOSURE, EXCEPT FOR INTERRUPTIONS REQUIRED FOR DEMOLITION WORK. GENERAL CONTRACTOR TO PROVIDE TEMPORARY WEATHERPROOF ENCLOSURE OF OPENINGS THAT WILL BE INFILLED DURING NEW CONSTRUCTION. DEMOLITION CONTRACTOR AND GENERAL CONTRACTOR TO COORDINATE PROJECT WORK SCHEDULES AT BEGINNING OF PROJECT SO THAT BUILDING IS MAINTAINED WEATHERTIGHT THROUGHOUT THE DURATION.	③ REMOVE EXISTING DOOR, FRAME AND HARDWARE IN ENTIRETY. TYPICAL AT ALL INTERIOR DOORS.
4. DEMOLITION CONTRACTOR TO PROTECT EXISTING WORK TO REMAIN. PERFORM CUTTING TO ACCOMPLISH REMOVALS NEATLY AND AS SPECIFIED FOR NEW WORK.	④ REMOVE EXISTING DOOR, FRAME AND HARDWARE IN ENTIRETY. REMOVE EXISTING INTERIOR PLASTER WALL FLUSH WITH EXTERIOR MASONRY OPENING. TYPICAL AT ALL EXTERIOR DOORS.
5. DEMOLITION CONTRACTOR TO REMOVE ALL STORAGE SHELVING AND CLOSET RODS LOCATED IN THE BUILDING IN ENTIRETY.	⑤ NOT USED
6. BUILDING CONTAINS HAZARDOUS MATERIALS - ASBESTOS AND LEAD PAINT. DEMOLITION CONTRACT REQUIRED TO REMOVE HAZARDOUS MATERIALS PER ABATEMENT TECHNICAL SPECIFICATIONS AND DRAWINGS LOCATED IN APPENDIX A OF THE PROJECT MANUAL.	⑥ REMOVE EXISTING PLASTER WALL IN ENTIRETY FROM FLOOR TO CEILING/ROOF ABOVE. TYPICAL ALL INTERIOR WALLS INDICATED WITH DASHED LINES.
7. DEMOLITION CONTRACTOR TO PROTECT EXPOSED EDGES OF ALL EXISTING COLUMNS DURING DEMOLITION OF WALLS THAT CONNECT TO COLUMNS. DEMOLITION CONTRACTOR IS RESPONSIBLE FOR REPAIRS TO COLUMN EDGES AT ALL LOCATIONS WHEN DAMAGED DURING DEMOLITION OPERATIONS.	⑦ REMOVE EXISTING INTERIOR STAIR IN ENTIRETY INCLUDING HANDRAIL.
	⑧ REMOVE ALL EXISTING VCT FLOORING AND MASTIC IN ENTIRETY.
	⑨ REMOVE EXISTING BASE AND WALL CABINETS IN ENTIRETY INCLUDING ANY COUNTERTOPS. AS PART OF WALL CABINET DEMOLITION REMOVE EXISTING SOFFIT ABOVE CABINETS IN ENTIRETY TO STRUCTURE ABOVE.
	⑩ REMOVE EXISTING HATCH WOOD STAIR AND CMU WALL OUTSIDE OF MAIN BUILDING FOOTPRINT IN ENTIRETY.



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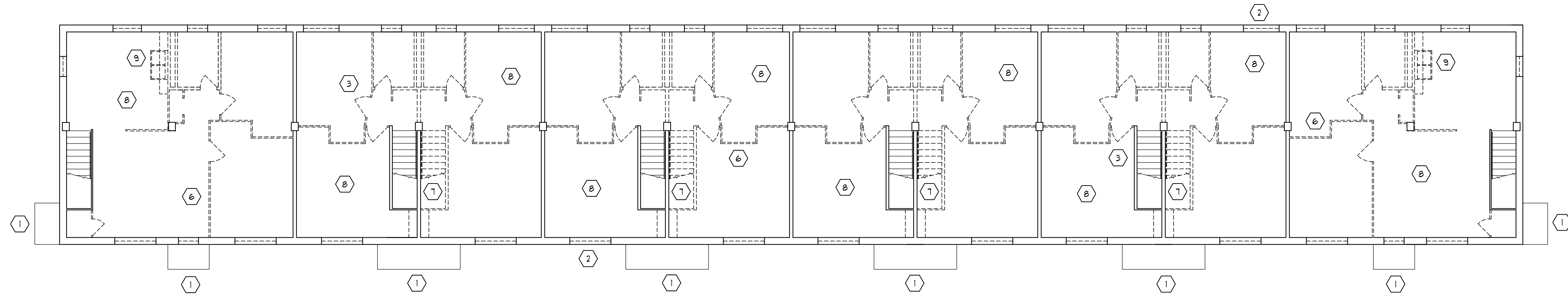
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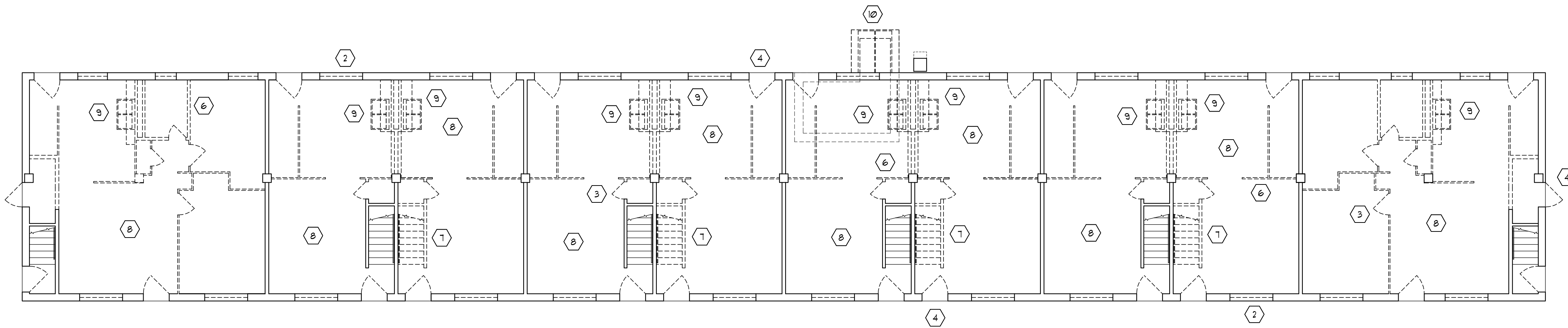
BUILDING K
DEMOLITION PLANS

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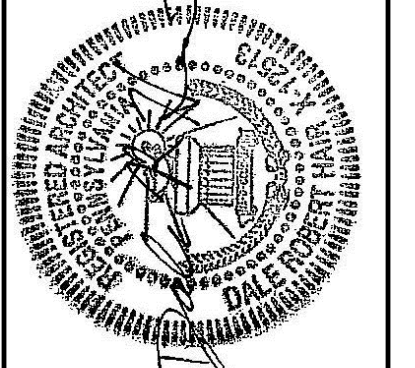
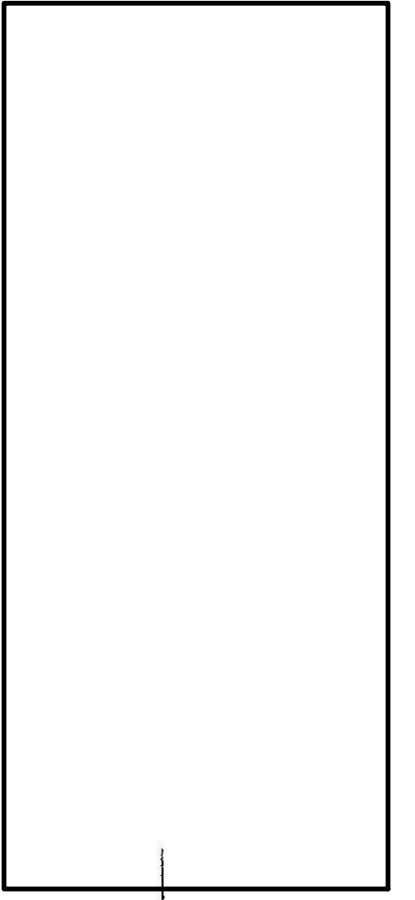


BUILDING L - SECOND FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



BUILDING L - FIRST FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

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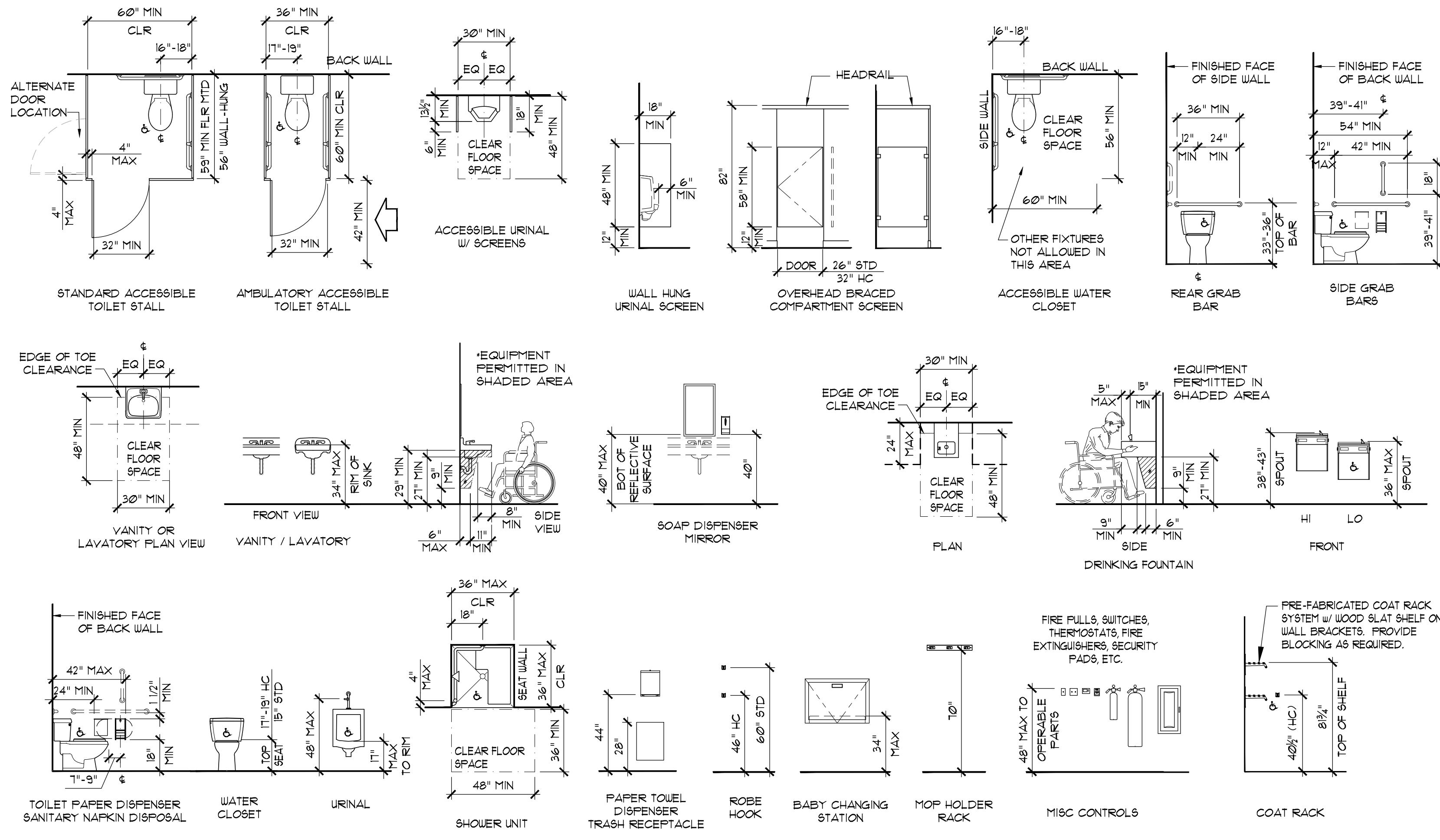
BUILDING L
DEMOLITION PLANS

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SHEET
D102

ADA ACCESSIBLE FIXTURE MOUNTING REQUIREMENTS



ACCESSIBLE NOTES

- GENERAL:**
- ALL OPERATING CONTROLS, OPERATING DEVICES, AND HARDWARE ON CABINETS, PLUMBING FIXTURES AND STORAGE FACILITIES SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, FINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5.0 POUNDS.
 - THE HIGHEST OPERABLE PART OF THE CONTROLS, DISPENSERS, RECEPTACLES, AND OTHER OPERABLE EQUIPMENT SHALL BE NO HIGHER THAN 48" ABOVE FINISHED FLOOR FOR UNOBSTRUCTED FORWARD AND SIDE APPROACH AND NOT LESS THAN 15" ABOVE FINISHED FLOOR FOR EITHER APPROACH.
 - TOE AND KNEE CLEARANCES REQUIRED AT ALL LAVATORIES, VANITIES AND DRINKING FOUNTAINS.
 - SEE THE ENLARGED FLOOR PLANS FOR TOILET ACCESSORY LOCATIONS, QUANTITIES, AND MOUNTING REQUIREMENTS.
 - COAT HOOKS PROVIDED WITHIN TOILET COMPARTMENTS SHALL BE 48" MAXIMUM ABOVE THE FLOOR. SHELVES SHALL BE 40" MINIMUM AND 48" MAXIMUM ABOVE THE FLOOR.
- WATER CLOSETS:**
- FLUSH CONTROLS SHALL BE HAND OPERATED OR AUTOMATIC. FLUSH CONTROLS SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET.
- GRAB BARS:**
- GRAB BARS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF 1/4" MINIMUM AND 2" MAXIMUM. GRAB BARS WITH A NONCIRCULAR CROSS SECTION SHALL HAVE A CROSS SECTION DIMENSION OF 2" MAXIMUM AND A PERIMETER DIMENSION OF 4" MINIMUM AND 4.8" MAXIMUM.
 - THE SPACE BETWEEN THE WALL AND THE GRAB BAR SHALL BE 1/2". THE SPACE BETWEEN THE GRAB BAR AND PROJECTING OBJECTS BELOW AND AT THE ENDS OF THE GRAB BAR SHALL BE 1/2" MINIMUM. THE SPACE BETWEEN THE GRAB BAR AND PROJECTING OBJECTS ABOVE THE GRAB BAR SHALL BE 12" MINIMUM.
 - GRAB BARS AND ANY WALL OR OTHER SURFACES ADJACENT TO GRAB BARS, SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS. EDGES SHALL BE ROUNDED.
 - BENDING STRESS IN A GRAB BAR INDUCED BY THE MAXIMUM BENDING MOMENT FROM THE APPLICATION OF 250 POUNDS SHALL BE LESS THAN THE ALLOWABLE FOR THE MATERIAL.
 - GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.
- LAVATORIES AND SINKS AT VANITIES:**
- ALL WATER SUPPLY AND DRAIN PIPES EXPOSED UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT.
 - THERE SHALL BE NO SHARP SURFACES UNDER LAVATORIES AND VANITIES.
 - HAND-OPERATED METERING FAUCETS SHALL REMAIN OPEN FOR 10 SECONDS MINIMUM.
- SHOWER STALL COMPARTMENTS:**
- CONTROLS, FAUCETS, AND SHOWER SPRAY UNIT SHALL BE INSTALLED ON THE SIDE WALL OPPOSITE THE SEAT 38" MINIMUM ABOVE FINISHED FLOOR AND 48" MAXIMUM ABOVE FINISHED FLOOR AND SHALL BE LOCATED WITHIN 15" FROM THE CENTERLINE OF THE CONTROL WALL TOWARD THE SHOWER OPENING.
 - THRESHOLDS AT THE ENTRANCE TO THE COMPARTMENT SHALL BE 1/2" HIGH MAXIMUM AND SHALL BE BEVELED, ROUNDED, OR VERTICAL.

BUILDING CODE INFORMATION

CONSTRUCTION TO MEET THE APPLICABLE STATE BUILDING CODE REQUIREMENTS, FEDERAL REGULATIONS, AND OTHER LOCAL CODES HAVING JURISDICTION, INCLUDING THE FOLLOWING:

INTERNATIONAL BUILDING CODE 2015, APPENDIX E 4 (ICC A111) 2009
 INTERNATIONAL EXISTING BUILDING CODE 2015
 INTERNATIONAL ENERGY CONSERVATION CODE 2015
 INTERNATIONAL FIRE CODE 2015
 INTERNATIONAL PLUMBING CODE 2015
 INTERNATIONAL MECHANICAL CODE 2015
 NATIONAL ELECTRIC CODE NFPA 70-2014

INTERNATIONAL EXISTING BUILDING CODE 2015 APPLIES

CLASSIFICATION OF WORK: LEVEL 3 ALTERATION

OCCUPANCY CLASS: RESIDENTIAL R-2

TOTAL 35 UNITS IN THREE BUILDINGS - ALL UNITS ARE TWO BEDROOM

105.11 - COMPLY WITH IBC 1101
 TABLE 1101.6.11 - 2 ACCESSIBLE UNITS WITHOUT ROLL-IN SHOWER ARE REQUIRED
 2 ACCESSIBLE UNITS PROVIDED IN BUILDING M

105.11.2 THRESHOLDS MAXIMUM OF 3/4" WITH BEVELED EDGE ON EACH SIDE

108 ALTERATIONS COMPLY WITH IECC
 EXTERIOR WALLS ARE THE ONLY ELEMENTS BEING ALTERED
 ZONE 5 GROUP R MASS WALLS REQUIRED R-13.3 CI
 PROVIDING R-15 SPRAY FOAMED INSULATION
 PROVIDING ENERGY STAR WINDOWS

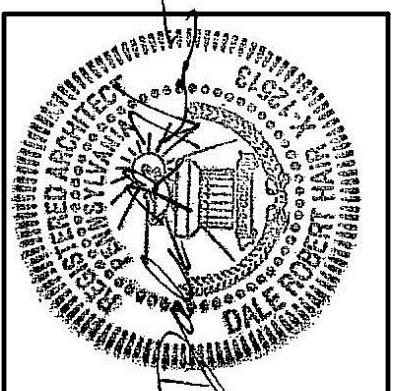
803.21 EXISTING VERTICAL OPENINGS - ONE HOUR FIRE RATING REQUIRED
 EXISTING STAIR WALLS ARE ONE HOUR FIRE RATED

804.2.2 ALL EXITS ARE FOR SINGLE TENANTS

804.4.1 FIRE ALARM SYSTEM BEING INSTALLED IN ALL UNITS

809 NEW ELECTRICAL SYSTEMS BEING INSTALLED PER CODE REQUIREMENTS

809 NEW MECHANICAL SYSTEMS BEING INSTALLED PER CODE REQUIREMENTS



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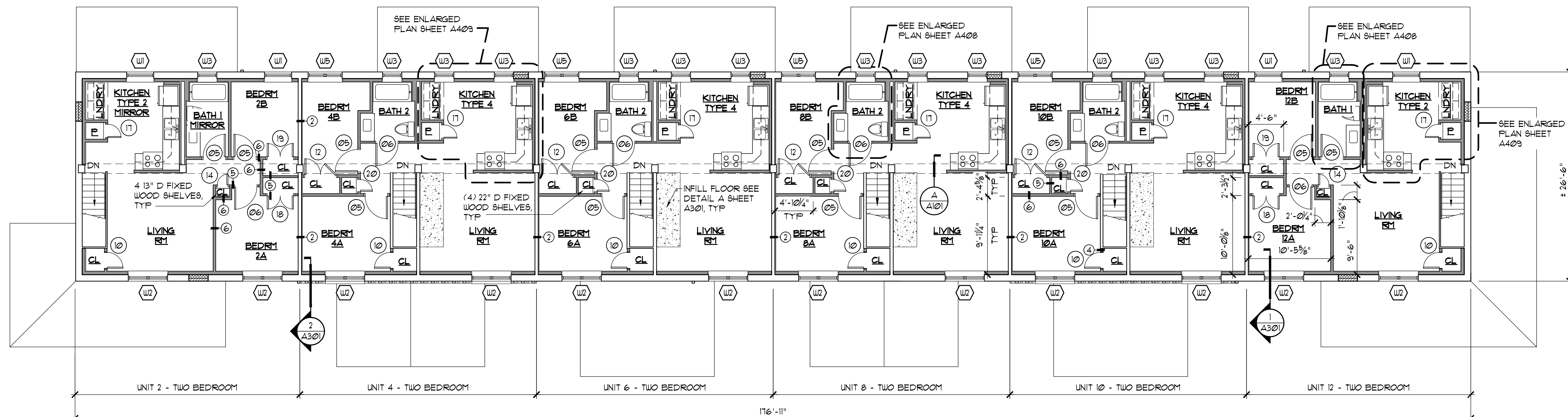
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CODE INFORMATION

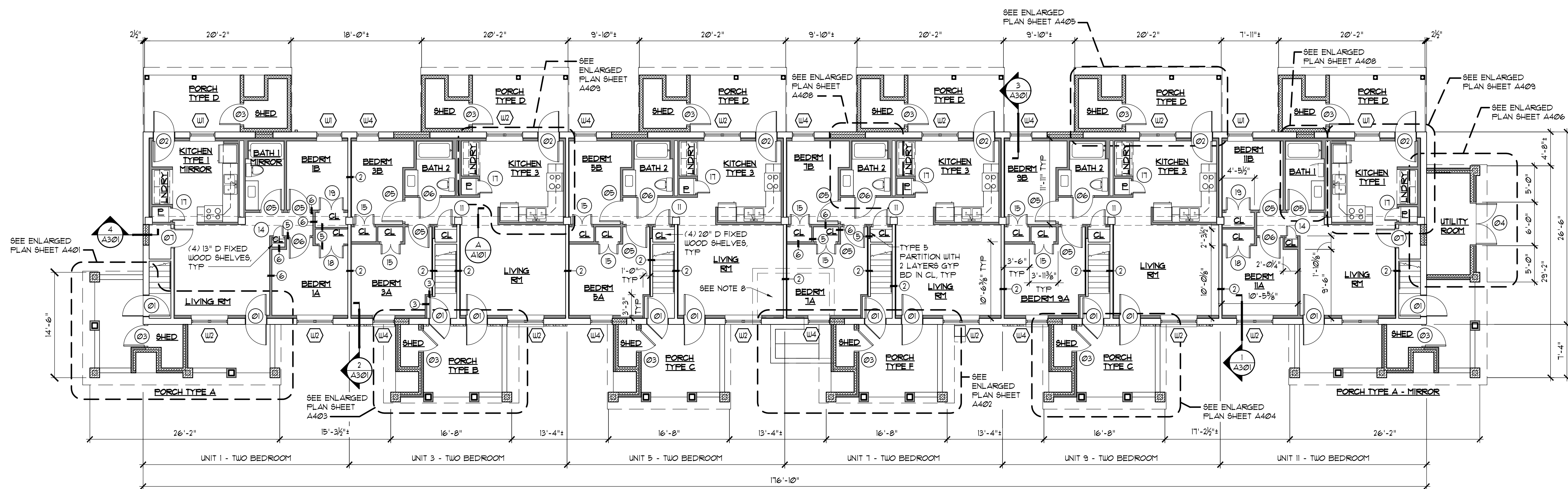
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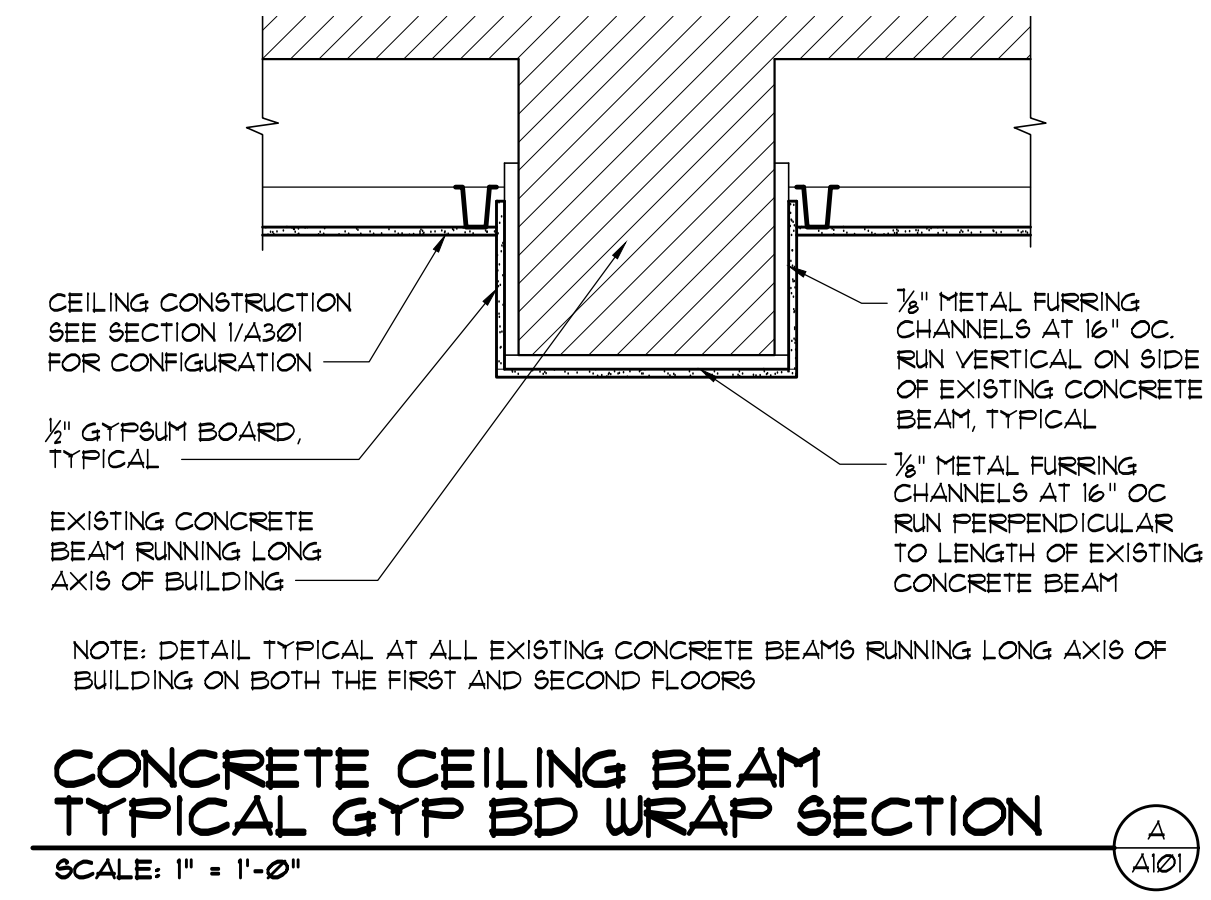
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BUILDING K - SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



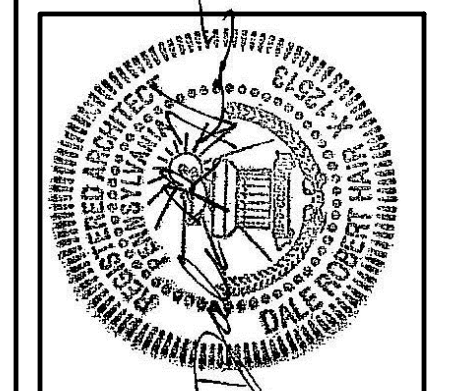
BUILDING K - FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



CONCRETE CEILING BEAM TYPICAL GYP BD WRAP SECTION
SCALE: 1" = 1'-0"

- GENERAL NOTES**
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 - INTERIOR PARTITION TYPES AND DIMENSIONS SHOWN ARE TYPICAL AT SIMILAR LOCATIONS IN ALL UNITS.
 - ALL EXISTING WALL, CEILING, AND STRUCTURE SURFACES TO BE CLEANED OF ALL LOOSE MATERIAL, MOLD, GRAFFITI, AND/OR ANY OTHER FOREIGN MATTER.
 - CONTRACTOR TO FOLLOW CONSTRUCTION WASTE MANAGEMENT PLAN (SEE SPECIFICATIONS) THROUGHOUT CONSTRUCTION PERIOD. GENERAL CONTRACTOR IS RESPONSIBLE FOR WASTE MANAGEMENT PLAN IMPLEMENTATION FOR ALL CONTRACTS EXCEPT DEMOLITION CONTRACT.
 - GENERAL CONTRACTOR TO MAINTAIN WEATHERPROOF EXTERIOR BUILDING ENCLOSURE EXCEPT FOR INTERRUPTIONS REQUIRED FOR DEMOLITION AND NEW CONSTRUCTION WORK. GENERAL CONTRACTOR AND DEMOLITION CONTRACTOR TO COORDINATE PROJECT WORK SCHEDULES AT BEGINNING OF PROJECT SO THAT BUILDING IS MAINTAINED WEATHERTIGHT THROUGHOUT THE PROJECT DURATION.
 - GENERAL CONTRACTOR WILL BE REQUIRED TO PROVIDE MINOR DEMOLITION WORK AND ADJUSTMENTS TO EXISTING STRUCTURE AS REQUIRED TO MAKE EXISTING STRUCTURE READY TO RECEIVE NEW CONSTRUCTION WORK.
 - AT ALL LOCATIONS WHERE HOLE IS LEFT IN CONCRETE FLOOR DUE TO WATER CLOSET AND TUB DRAIN REMOVAL, GENERAL CONTRACTOR IS TO INFILL HOLES USING 18 GAUGE GALVANIZED PLATE ATTACHED TO UNDERSIDE AND FILL WITH CONCRETE TO MATCH TOP OF SLAB OF EXISTING SURROUNDING CONCRETE.
 - MECH ROOM BELOW - SEE ENLARGED PLAN ON SHEET A401.

- PARTITION TYPES**
- NOTE: ALL PARTITIONS ARE TYPE ① UNLESS INDICATED OTHERWISE. FOR ADDITIONAL PARTITION TYPE LOCATIONS SEE ENLARGED PLANS ON SHEETS, A406, A401, AND A408.
- EXISTING INTERIOR PARTITION - REPAIR ANY DAMAGED AREAS AND PREPARE PARTITION TO RECEIVE FINAL PAINTING. PROVIDE A SMOOTH AND FLUSH SURFACE TO MATCH ADJACENT CONSTRUCTION.
 - EXISTING INTERIOR PARTITION WITH 1/2" RC-1 RESILIENT CHANNEL SPACED AT 16" OC HORIZONTAL, 5/8" FIRE RATED SOUND REDUCING GYPSUM BOARD.
 - 2 1/2" 25 GAUGE METAL STUDS SPACED AT 24" OC WITH 1/2" FIRE RATED GYPSUM BOARD ON BOTH SIDES WITH 2" THICK MINERAL WOOL BATT. ONE HOUR FIRE RATED PARTITION - UL DESIGN NO V401. FIRE SEAL AROUND PERIMETER OF PARTITION ONE SIDE.
 - 2 X 4 WOOD STUDS WITH 1/2" GYPSUM BOARD ON ALL EXPOSED FACES (USED AT ALL CLOSET DOOR LOCATIONS).
 - 2 1/2" 25 GAUGE METAL STUDS SPACED AT 16" OC WITH 1/2" GYPSUM BOARD ON ALL EXPOSED FACES. (USED AT KITCHEN 4 BATH)
 - 3 5/8" 25 GAUGE METAL STUDS SPACED AT 16" OC WITH 1/2" GYPSUM BOARD ON ALL EXPOSED FACES.
 - 4" 25 GAUGE METAL STUDS SPACED AT 16" OC WITH 1/2" GYPSUM BOARD ON ALL EXPOSED FACES. (USE AT ELECTRICAL PANEL LOCATIONS)



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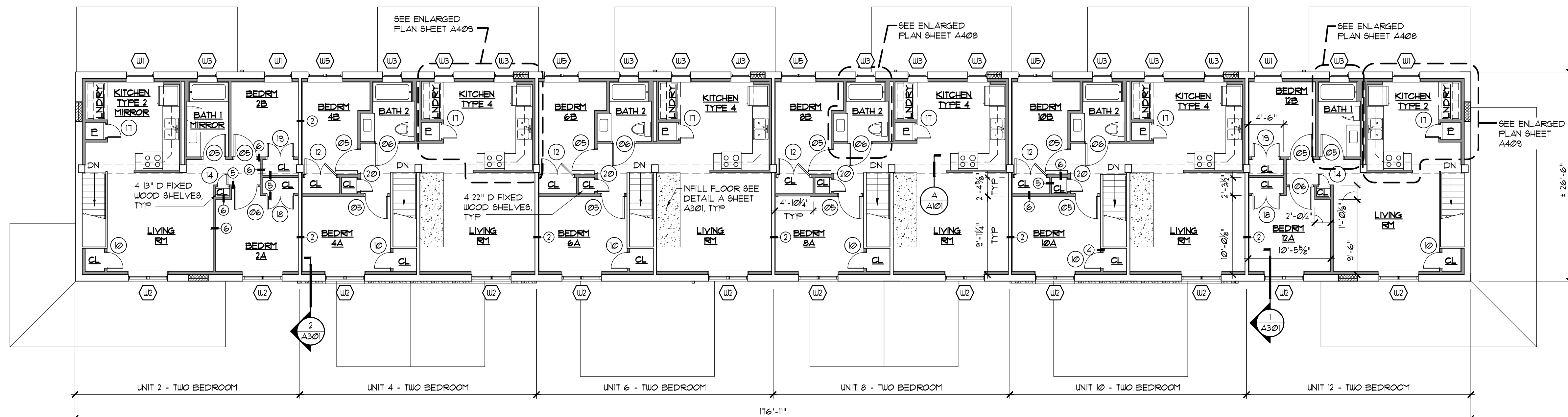
BUILDING K
FLOOR PLANS

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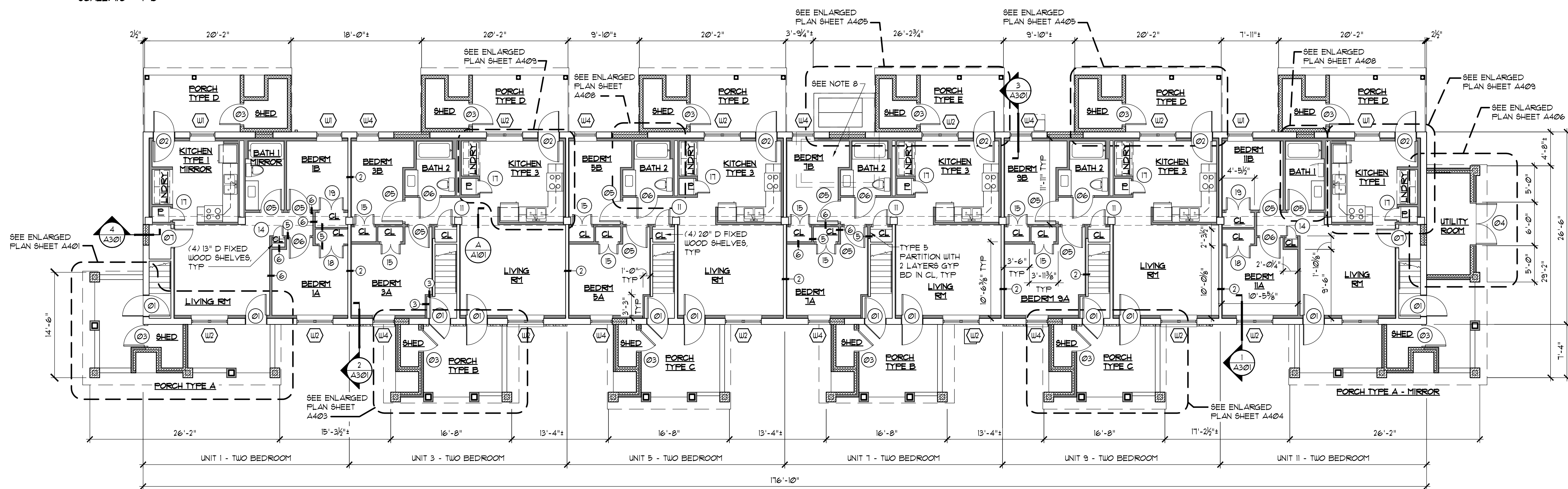
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SHEET

A101

BID DRAWINGS

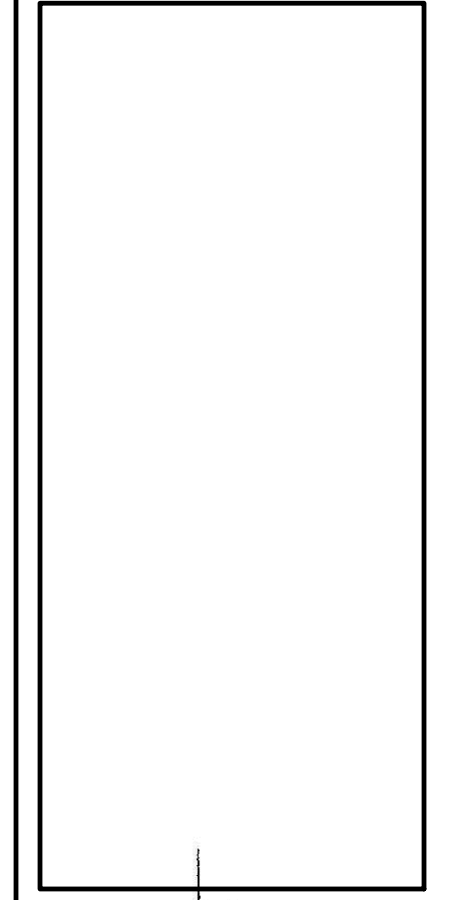


BUILDING L - SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING L - FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES	PARTITION TYPES
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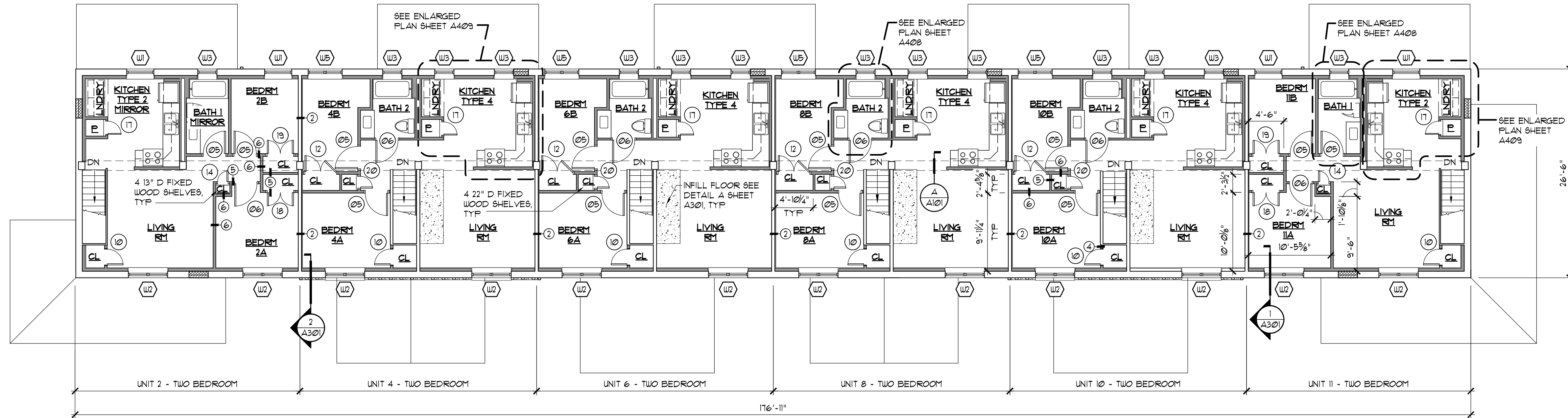
BUILDING L
FLOOR PLANS

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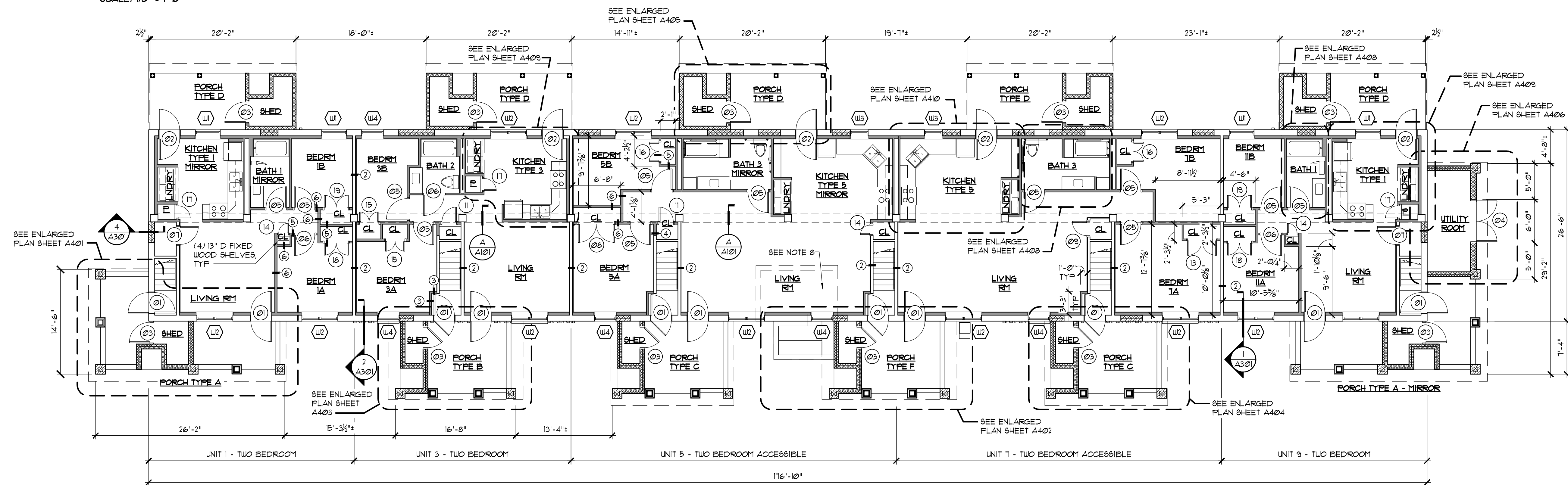
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A102

BID DRAWINGS



BUILDING M - SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



BUILDING M - FIRST FLOOR PLAN

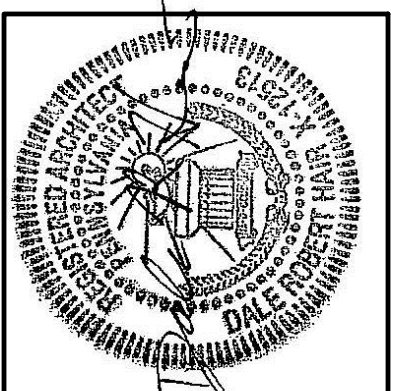
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2. INTERIOR PARTITION TYPES AND DIMENSIONS SHOWN ARE TYPICAL AT SIMILAR LOCATIONS IN ALL UNITS.
3. ALL EXISTING WALL, CEILING, AND STRUCTURE SURFACES TO BE CLEANED OF ALL LOOSE MATERIAL, MOLD, GRAFFITI, AND/OR ANY OTHER FOREIGN MATTER.
4. CONTRACTOR TO FOLLOW CONSTRUCTION WASTE MANAGEMENT PLAN (SEE SPECIFICATIONS) THROUGHOUT CONSTRUCTION PERIOD. GENERAL CONTRACTOR IS RESPONSIBLE FOR WASTE MANAGEMENT PLAN IMPLEMENTATION FOR ALL CONTRACTS EXCEPT DEMOLITION CONTRACT.
5. GENERAL CONTRACTOR TO MAINTAIN WEATHERPROOF EXTERIOR BUILDING ENCLOSURE, EXCEPT FOR INTERRUPTIONS REQUIRED FOR DEMOLITION AND NEW CONSTRUCTION WORK. GENERAL CONTRACTOR AND DEMOLITION CONTRACTOR TO COORDINATE PROJECT WORK SCHEDULES AT BEGINNING OF PROJECT SO THAT BUILDING IS MAINTAINED WEATHERTIGHT THROUGHOUT THE PROJECT DURATION.
6. GENERAL CONTRACTOR WILL BE REQUIRED TO PROVIDE MINOR DEMOLITION WORK AND ADJUSTMENTS TO EXISTING STRUCTURE AS REQUIRED TO MAKE EXISTING STRUCTURE READY TO RECEIVE NEW CONSTRUCTION WORK.
7. AT ALL LOCATIONS WHERE HOLE IS LEFT IN CONCRETE FLOOR DUE TO WATER CLOSET AND TUB DRAIN REMOVAL, GENERAL CONTRACTOR IS TO INFILL HOLES USING 18 GAUGE GALVANIZED PLATE ATTACHED TO UNDERSIDE AND FILL WITH CONCRETE TO MATCH TOP OF SLAB OF EXISTING SURROUNDING CONCRETE.
8. MECH ROOM BELOW - SEE ENLARGED PLAN ON SHEET A401.

PARTITION TYPES

- NOTE: ALL PARTITIONS ARE TYPE ① UNLESS INDICATED OTHERWISE. FOR ADDITIONAL PARTITION TYPE LOCATIONS SEE ENLARGED PLANS ON SHEETS, A406, A401, AND A408.
- ① EXISTING INTERIOR PARTITION - REPAIR ANY DAMAGED AREAS AND PREPARE PARTITION TO RECEIVE FINAL PAINTING. PROVIDE A SMOOTH AND FLUSH SURFACE TO MATCH ADJACENT CONSTRUCTION.
 - ② EXISTING INTERIOR PARTITION WITH 1/2" RC-1 RESILIENT CHANNEL SPACED AT 16" OC HORIZONTAL, 5/8" FIRE RATED SOUND REDUCING GYPSUM BOARD.
 - ③ 2 1/2" 25 GAUGE METAL STUDS SPACED AT 24" OC WITH 1/2" FIRE RATED GYPSUM BOARD ON BOTH SIDES WITH 2" THICK MINERAL WOOL BATT'S. ONE HOUR FIRE RATED PARTITION - UL DESIGN NO V420. FIRE SEAL AROUND PERIMETER OF PARTITION ONE SIDE.
 - ④ 2 X 4 WOOD STUDS WITH 3/4" GYPSUM BOARD ON ALL EXPOSED FACES (USED AT ALL CLOSET DOOR LOCATIONS).
 - ⑤ 2 1/2" 25 GAUGE METAL STUDS SPACED AT 16" OC WITH 1/2" GYPSUM BOARD ON ALL EXPOSED FACES. (USED AT KITCHEN & BATH)
 - ⑥ 3 5/8" 25 GAUGE METAL STUDS SPACED AT 16" OC WITH 1/2" GYPSUM BOARD ON ALL EXPOSED FACES.
 - ⑦ 4" 25 GAUGE METAL STUDS SPACED AT 16" OC WITH 1/2" GYPSUM BOARD ON ALL EXPOSED FACES. (USE AT ELECTRICAL PANEL LOCATIONS)



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RENOVATIONS - BUILDINGS K, L & M
HARRISBURG HOUSING AUTHORITY
BUILDING M
FLOOR PLANS

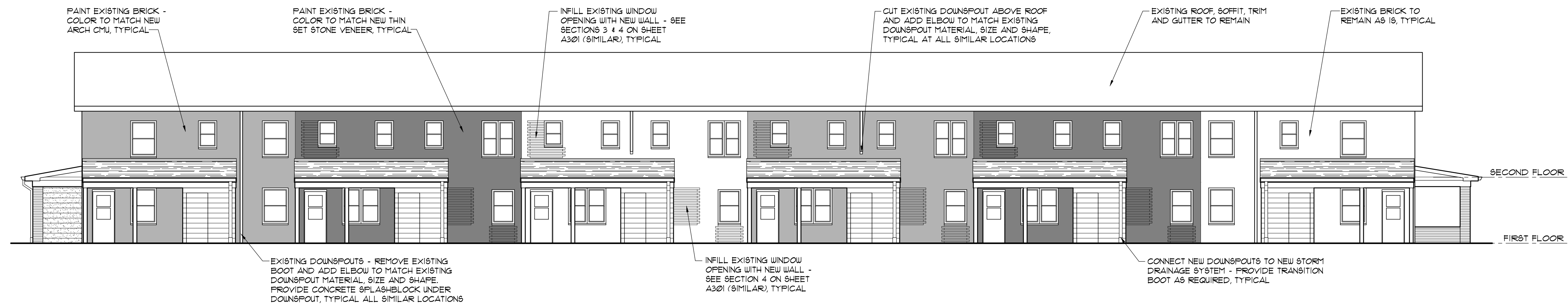
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SHEET
A103

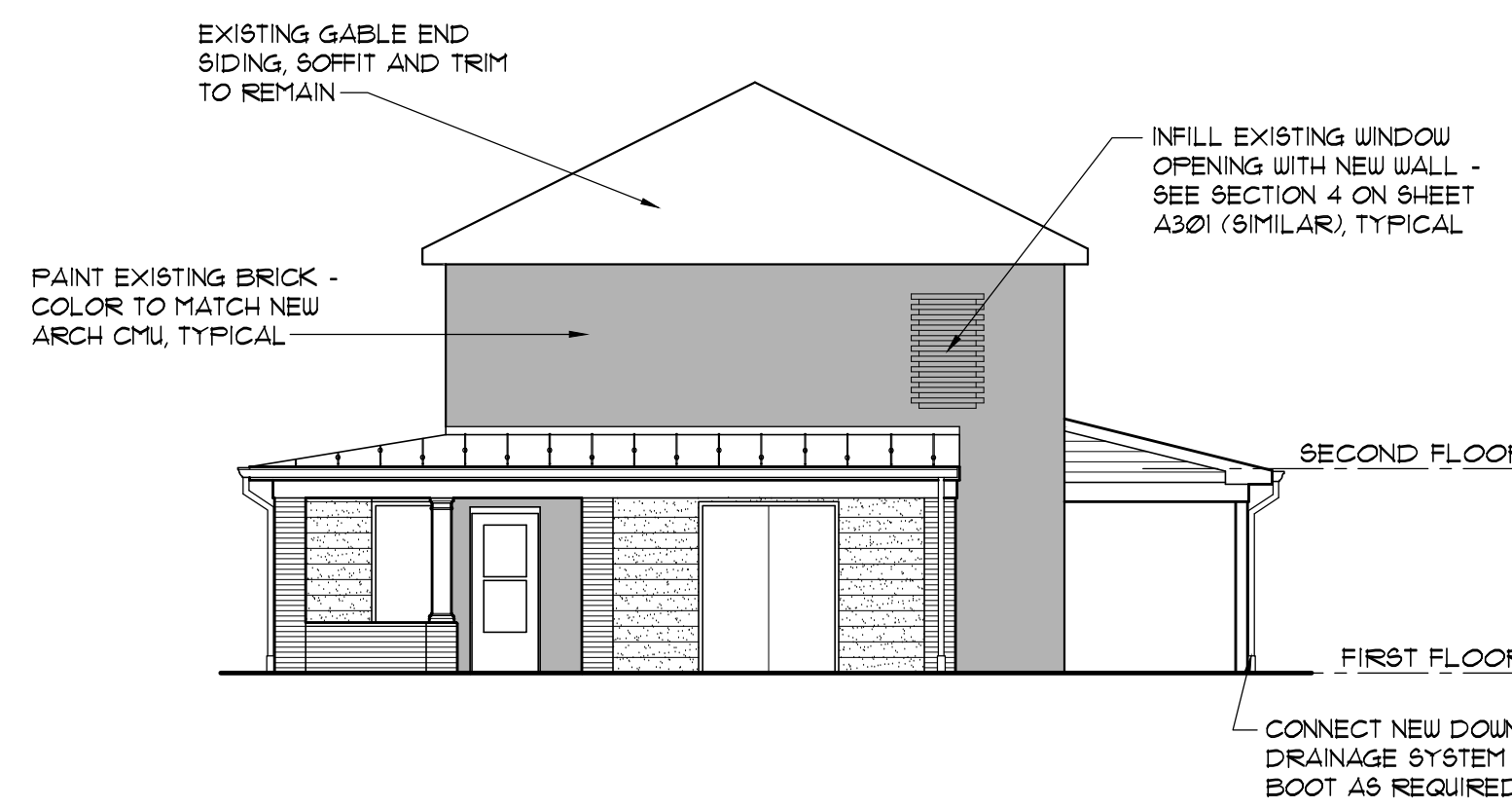


BUILDING K - NORTH ELEVATION
SCALE: 1/8" = 1'-0"

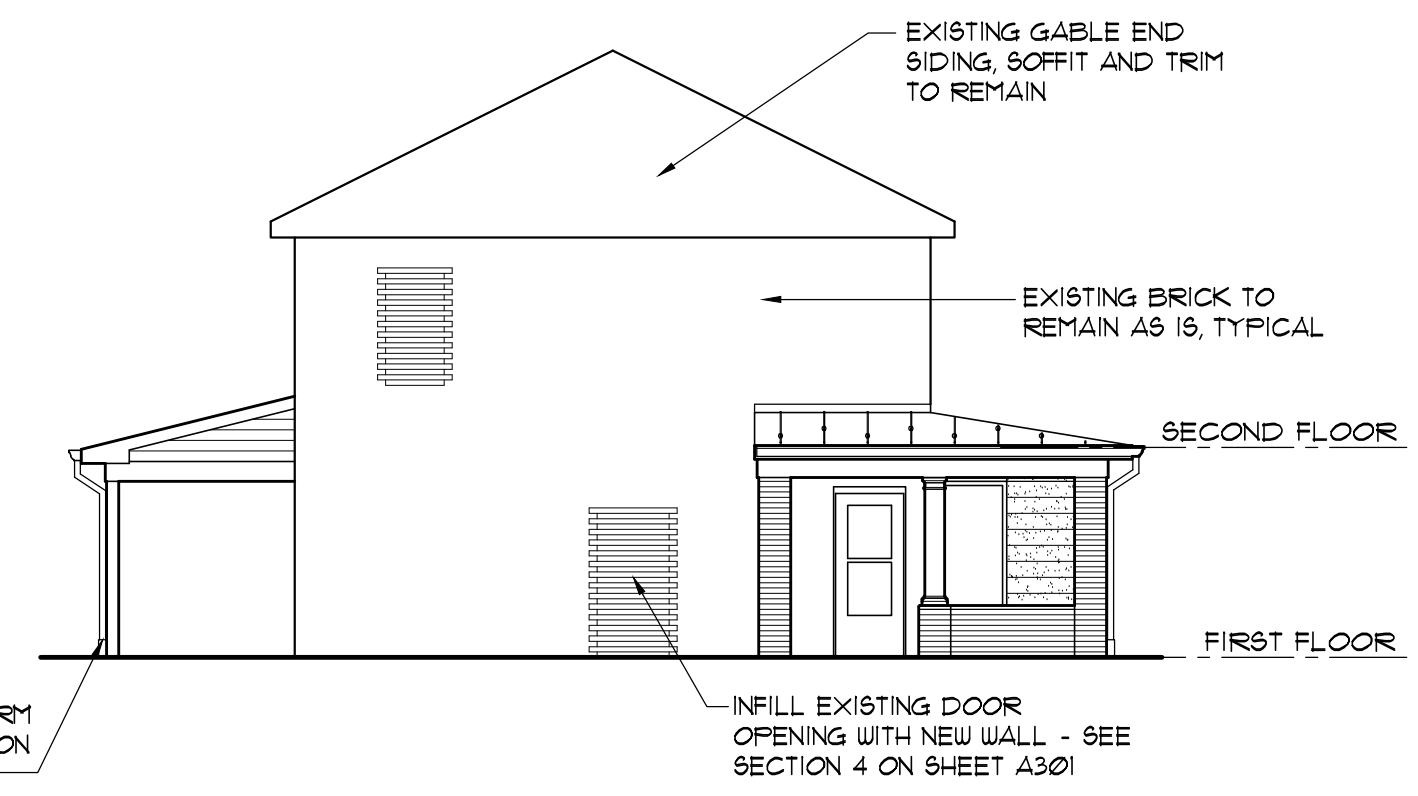


BUILDING K - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

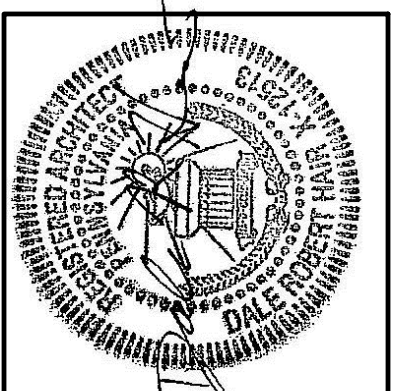
- GENERAL ELEVATION NOTES**
- SEE SHEET A401 THROUGH A405 FOR PORCH, SHED, AND UTILITY ROOM ENLARGED PLANS, ELEVATIONS, SECTIONS AND DETAILS.
 - ALL WINDOWS SHOWN ON ELEVATIONS ARE NEW FIBERGLASS WINDOWS. NEW WINDOWS TO BE PLACED IN EXISTING OPENINGS UNLESS INDICATED OTHERWISE. SEE SHEET A601 FOR ELEVATIONS AND TYPICAL DETAILS.
 - REMOVE ALL EXISTING CRAWL SPACE VENTS AND INFLILL WITH NEW BRICK AND 4" CMU (INTERIOR). INFLILL AT THESE LOCATIONS DOES NOT NEED TO BE TOOTHED INTO EXISTING MASONRY.
 - INFLILL OPENINGS IN BRICK CREATED FROM REMOVAL OF WALL HYDRANTS AND ANY OTHER HOLES IN THE BRICK ON EXTERIOR WALLS WITH MORTAR TO MATCH COLOR OF EXISTING BRICK.
 - TOOTH IN ALL NEW BRICK INFILLS TO MATCH EXISTING BRICK LAYOUT, COURSING AND MORTAR JOINTS UNLESS INDICATED OTHERWISE.
 - ADDRESS PLAQUES: PROVIDE ADDRESS PLAQUES FOR ALL UNITS. PROVIDE "SQUARE STANDARD WALL ONE" ARCHITECTURAL PLAQUE 11 INCHES BY 11 INCHES IN SIZE, WALL MOUNTED, AS MANUFACTURED BY WHITEHALL PRODUCTS LLC (WWW.WHITEHALLPRODUCTS.COM) OR APPROVED EQUAL. PROVIDE PLAQUES WITH SILVER TRIM AND CHARACTERS WITH GREEN (K), RED (L), OR BLUE (M) BACKGROUNDS. ADDRESS NUMBERS FOR EACH UNIT TO BE PROVIDED BY OWNER. CHARACTERS TO BE 3 INCHES HIGH. MOUNT PLAQUES AT THE SIDE OF EACH MAIN ENTRANCE DOOR PLACED SO THAT NEW PLAQUES COVERS THE EXISTING PAINTED NUMBER.



BUILDING K - WEST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING K - EAST ELEVATION
SCALE: 1/8" = 1'-0"



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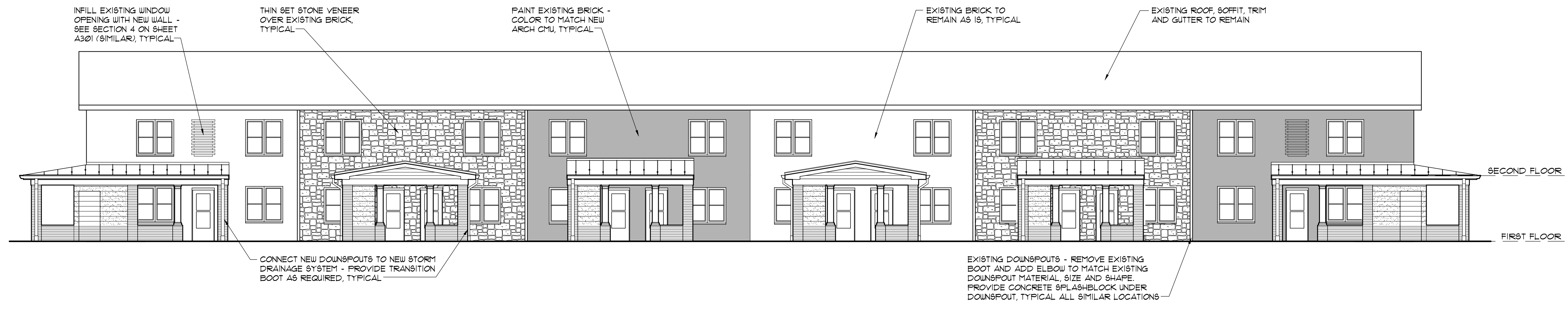
BUILDING K
EXTERIOR ELEVATIONS

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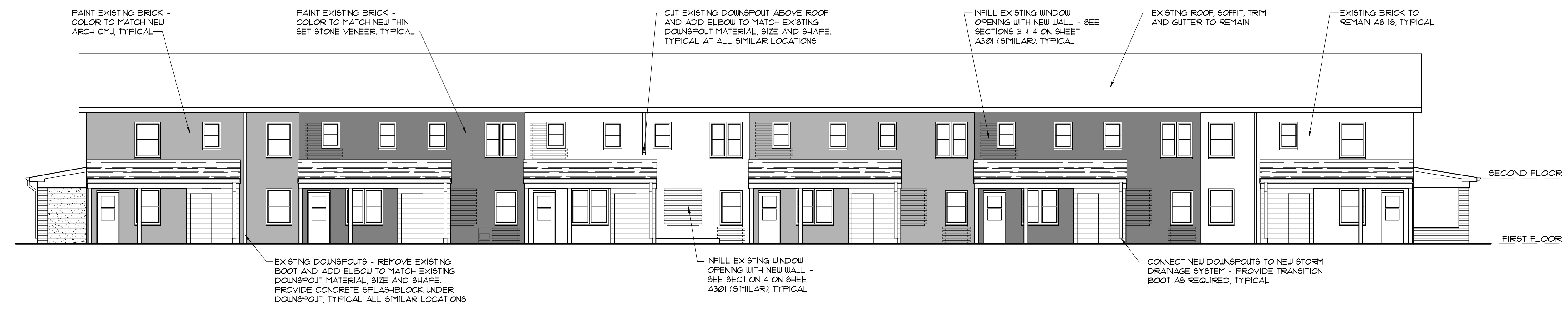
SHEET
A201

BID DRAWINGS



BUILDING L - NORTH ELEVATION

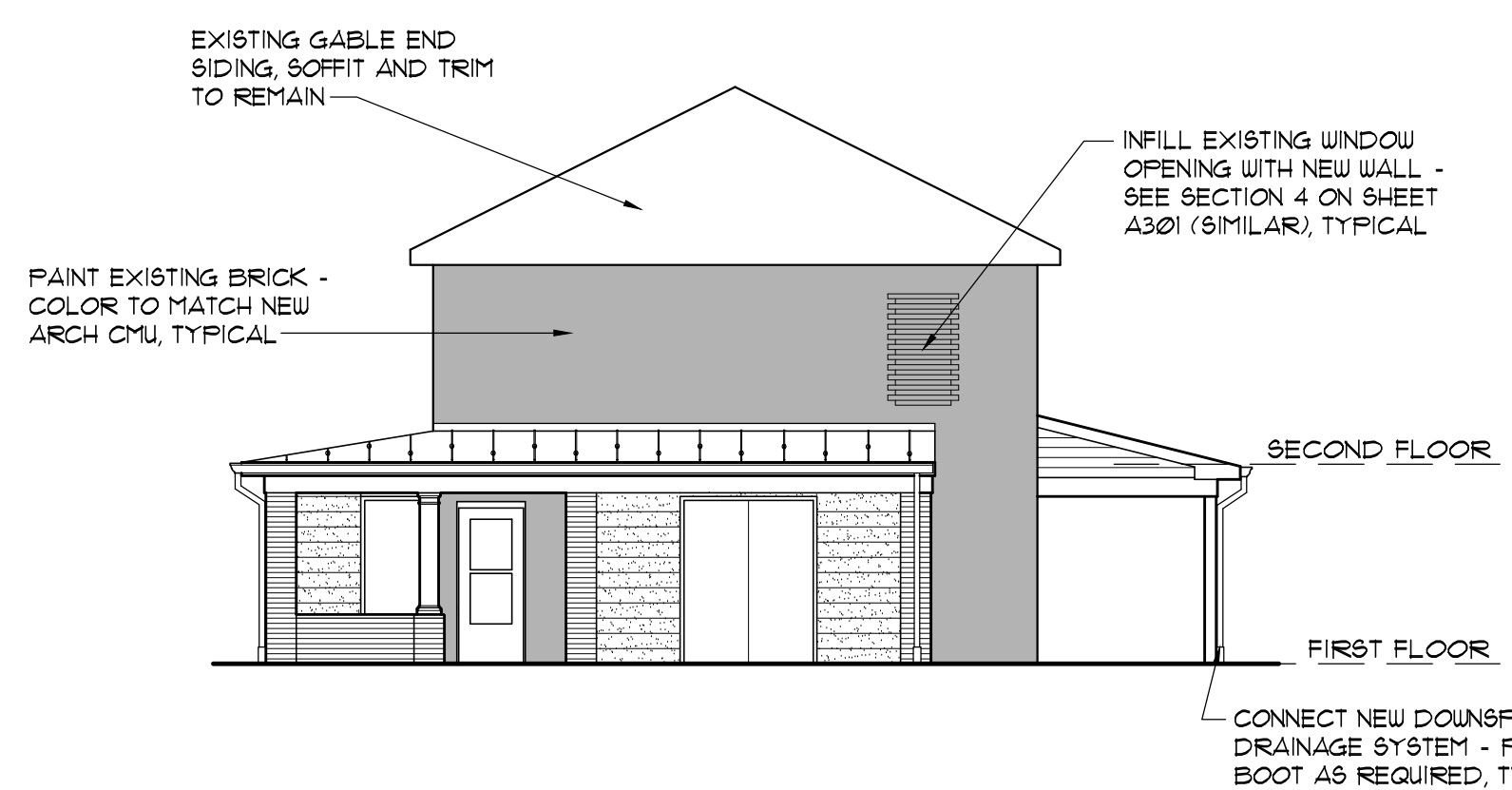
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BUILDING L - SOUTH ELEVATION

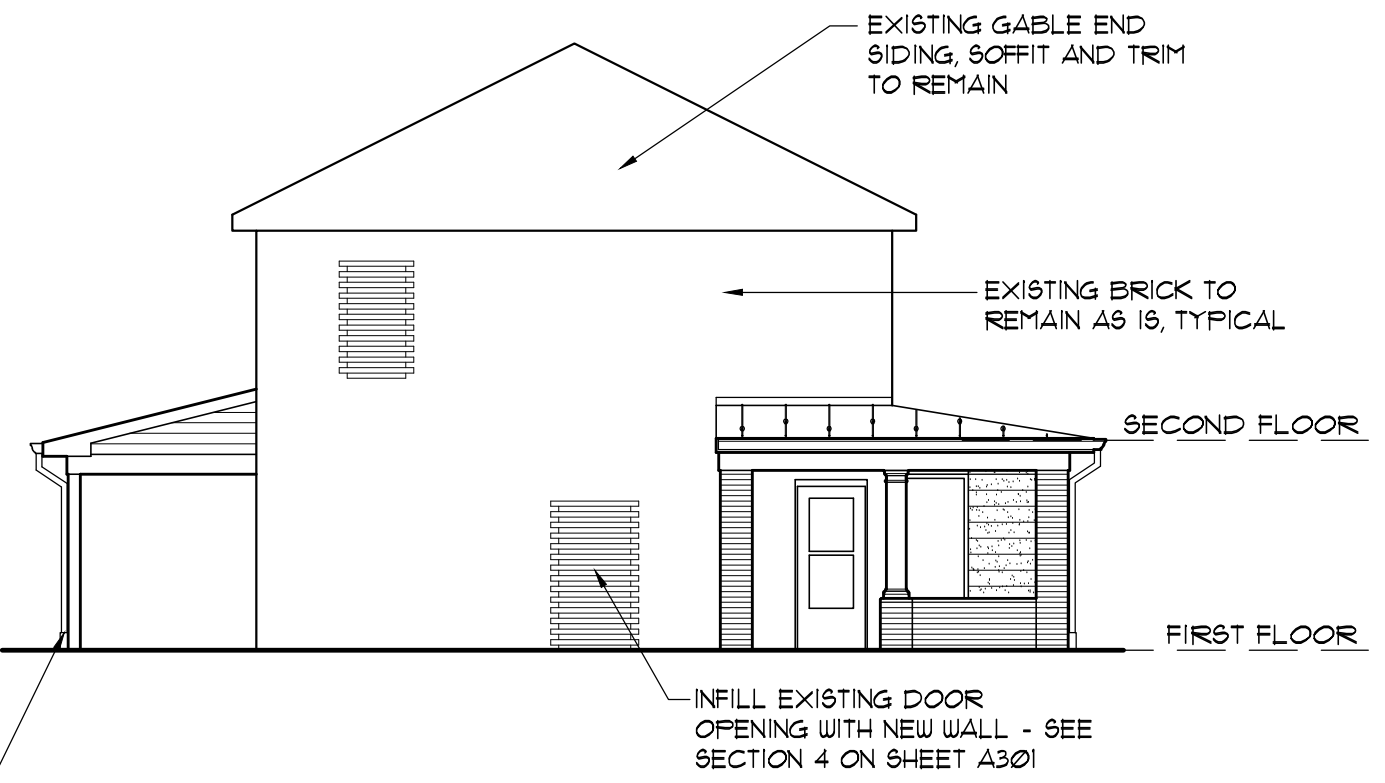
SCALE: 1/8" = 1'-0"

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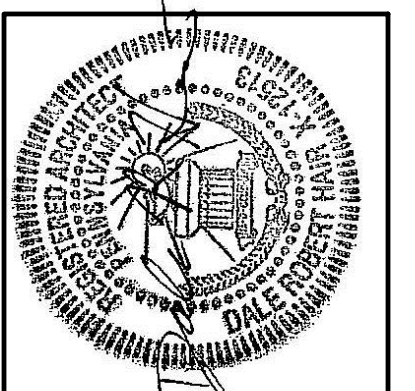
BUILDING L - WEST ELEVATION

SCALE: 1/8" = 1'-0"



BUILDING L - EAST ELEVATION

SCALE: 1/8" = 1'-0"



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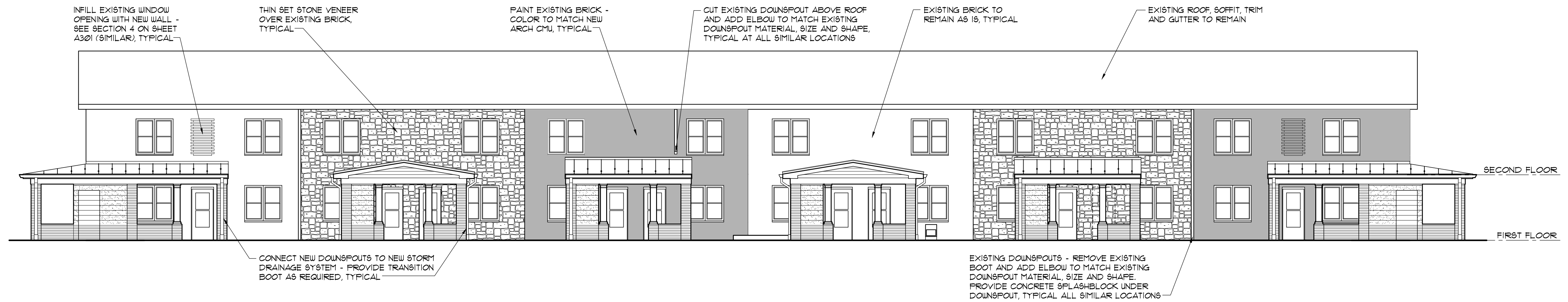
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BUILDING L
EXTERIOR ELEVATIONS

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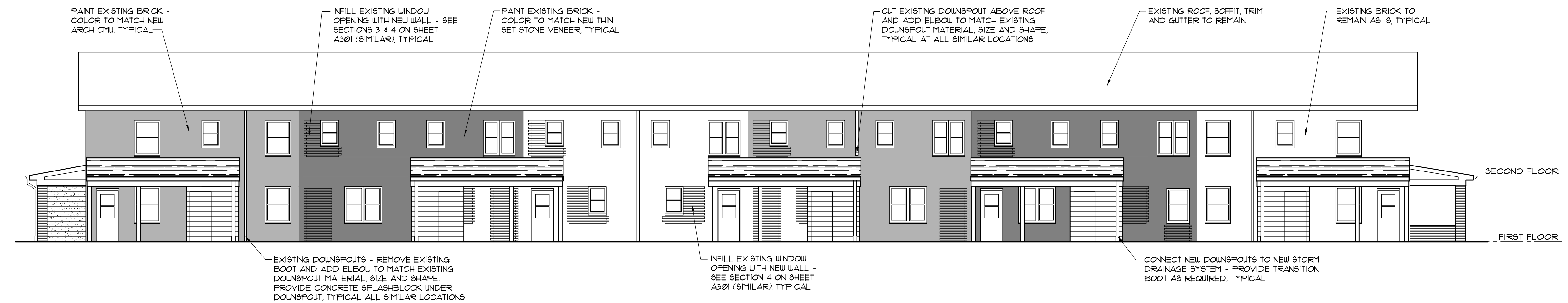
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SHEET	A202

BID DRAWINGS



BUILDING M - NORTH ELEVATION

SCALE: 1/8" = 1'-0"



BUILDING M - SOUTH ELEVATION

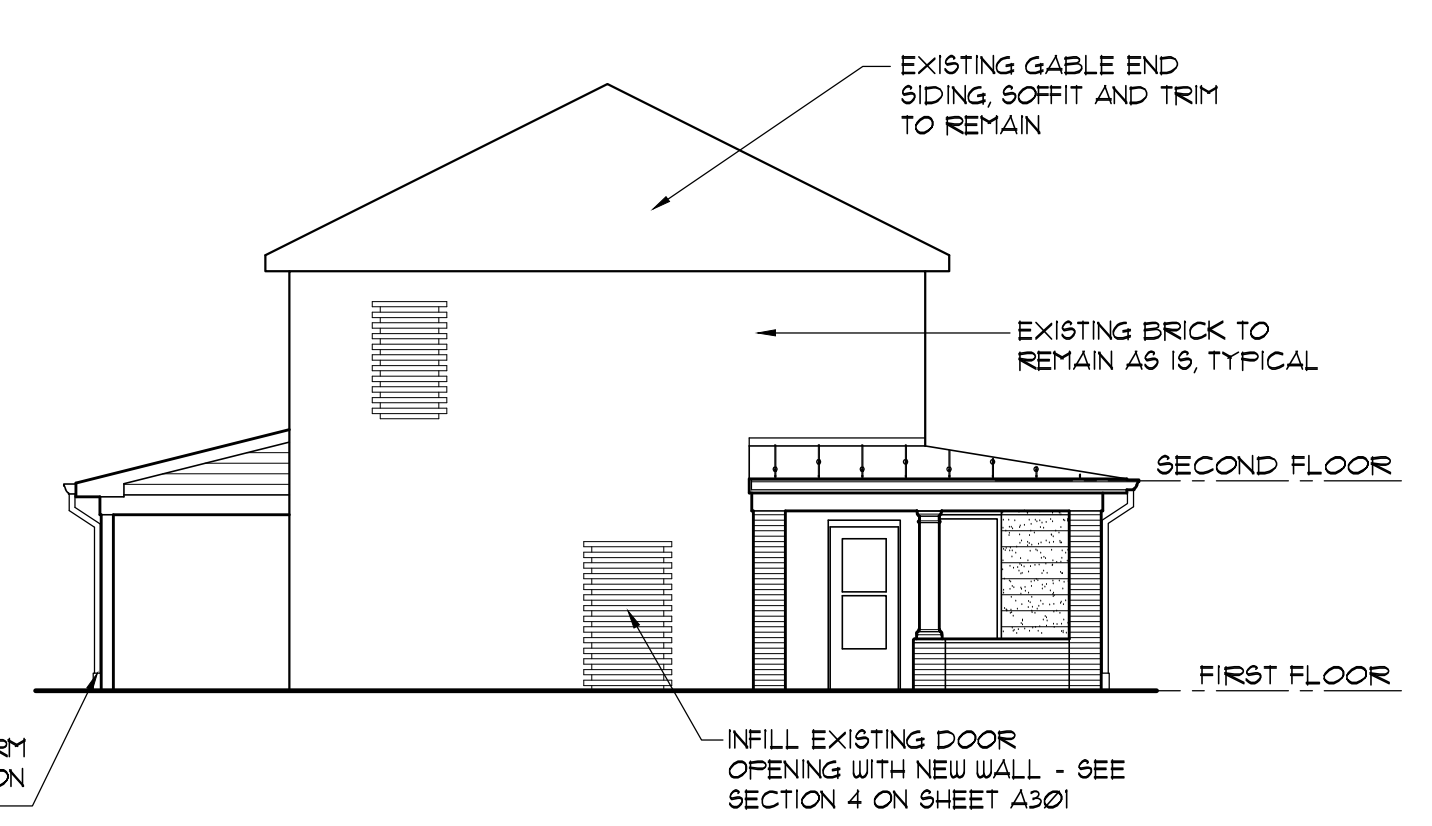
SCALE: 1/8" = 1'-0"

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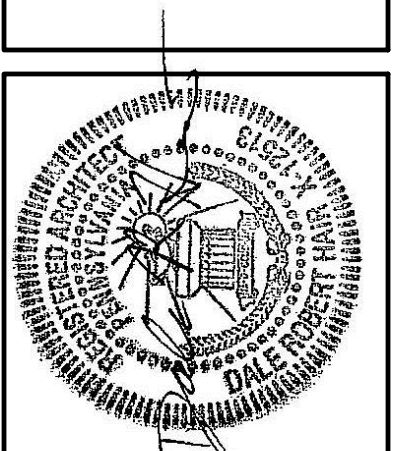
BUILDING M - WEST ELEVATION

SCALE: 1/8" = 1'-0"



BUILDING M - EAST ELEVATION

SCALE: 1/8" = 1'-0"



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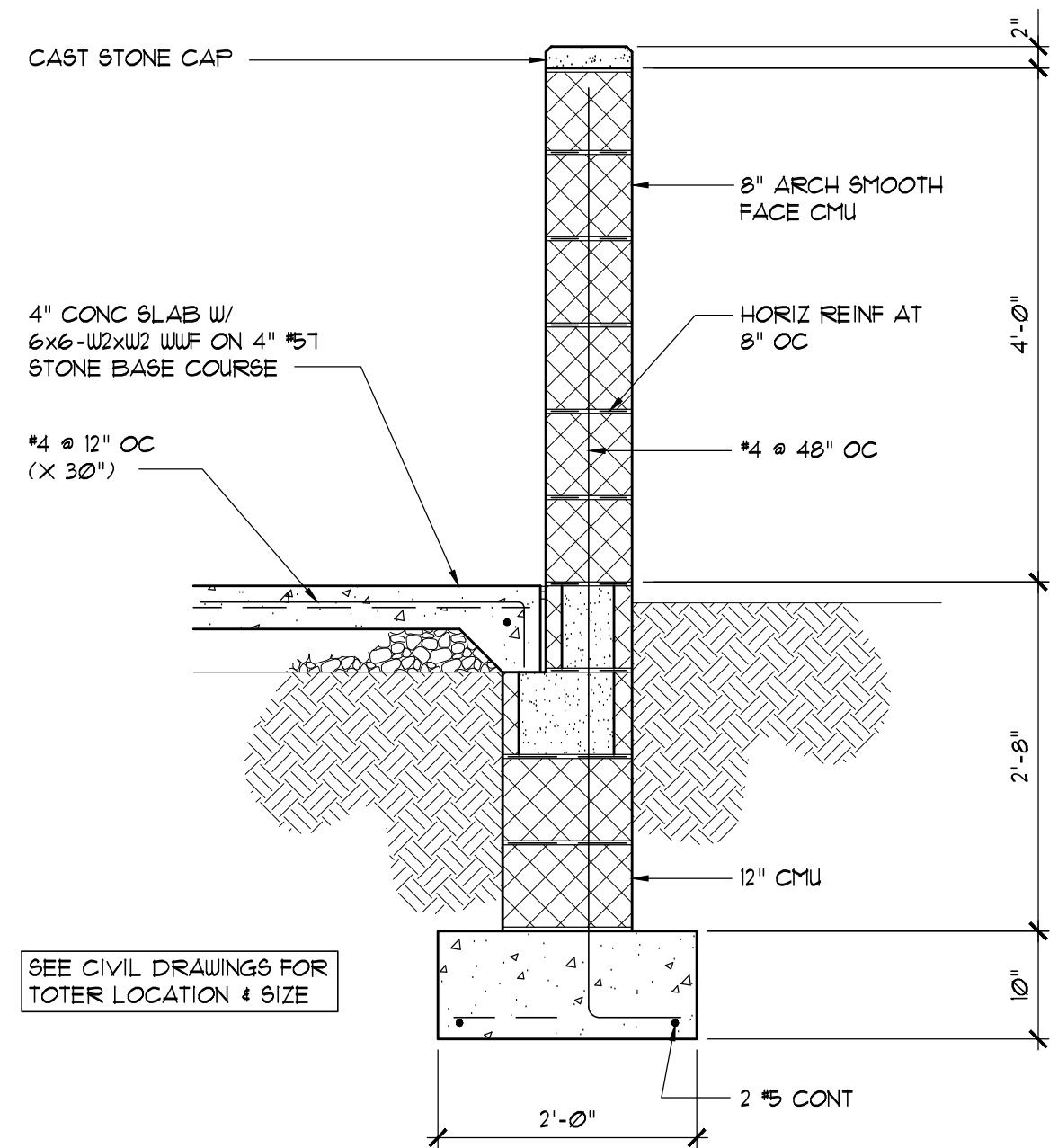
BUILDING M
EXTERIOR ELEVATIONS

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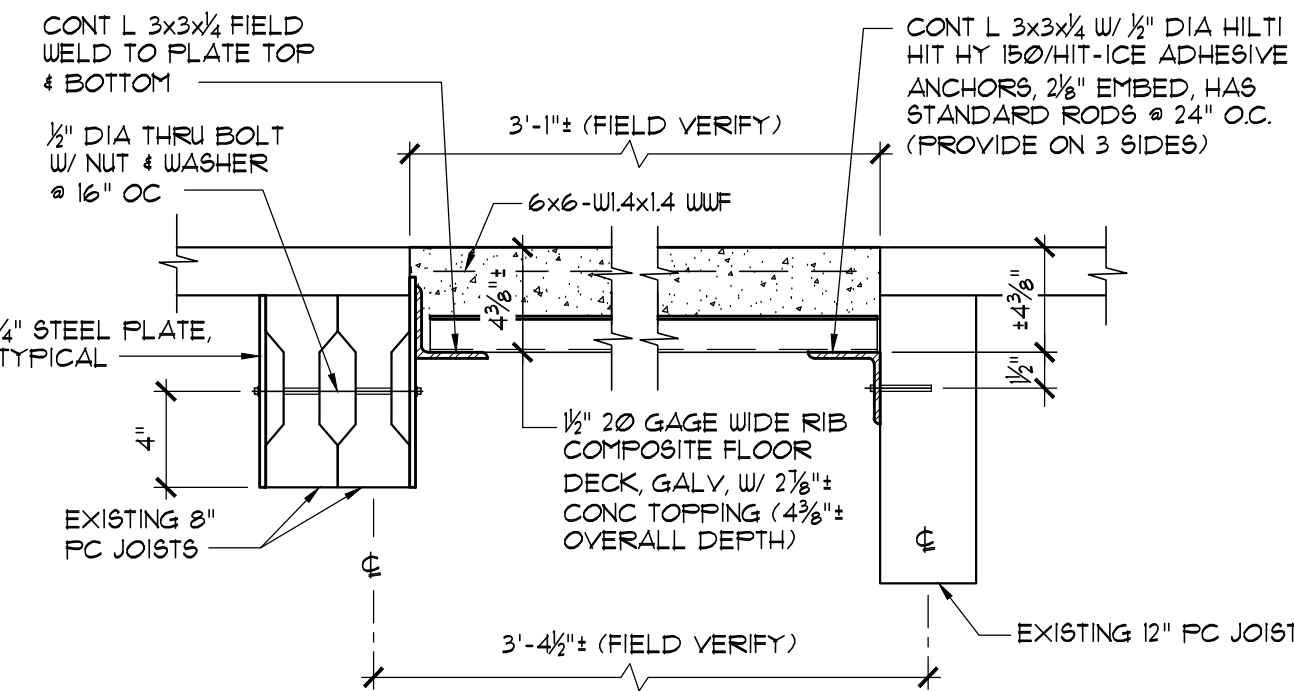
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SHEET
A203

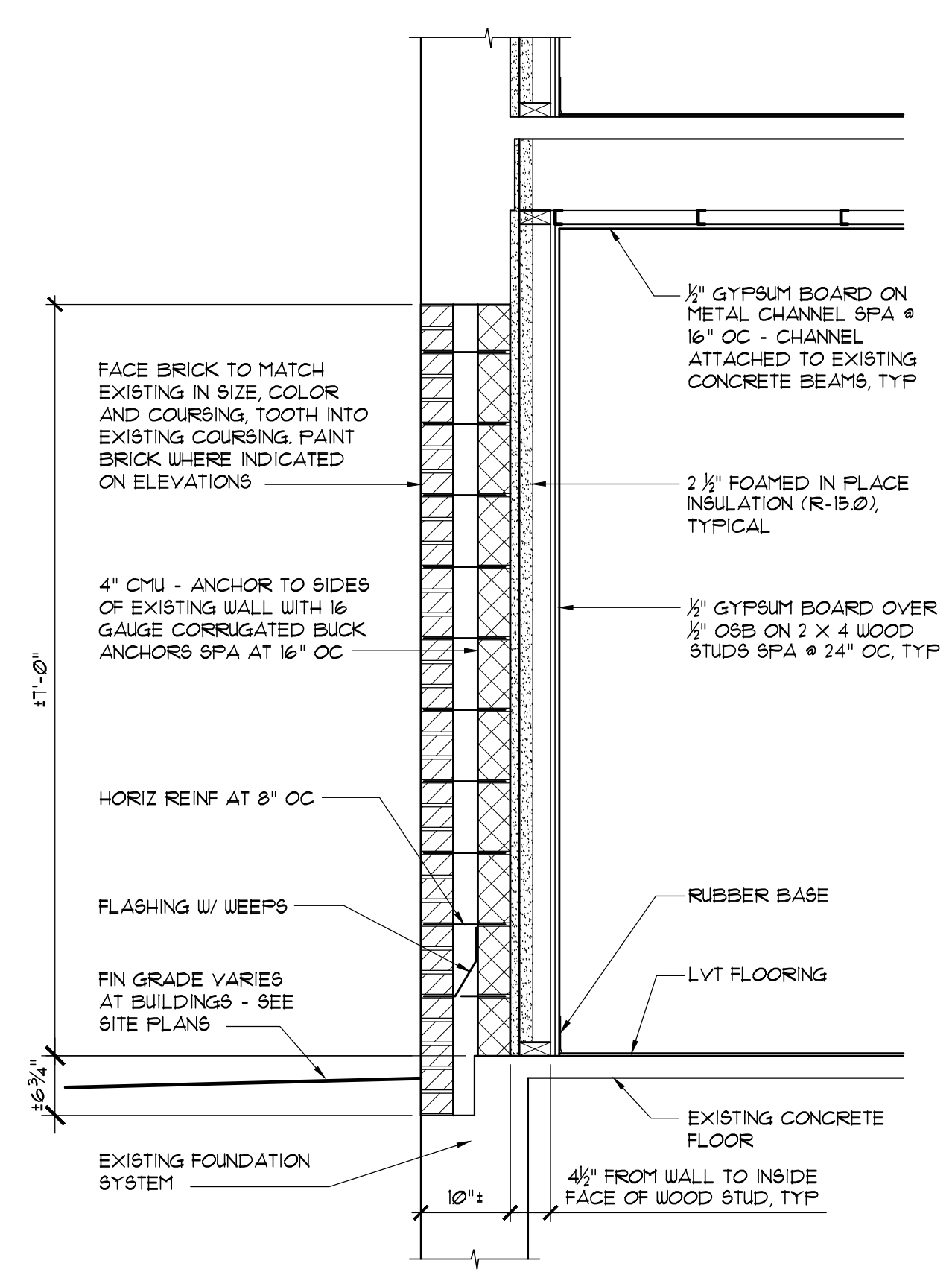
BID DRAWINGS



TOTER ENCLOSURE SECTION
SCALE: 3/4" = 1'-0"

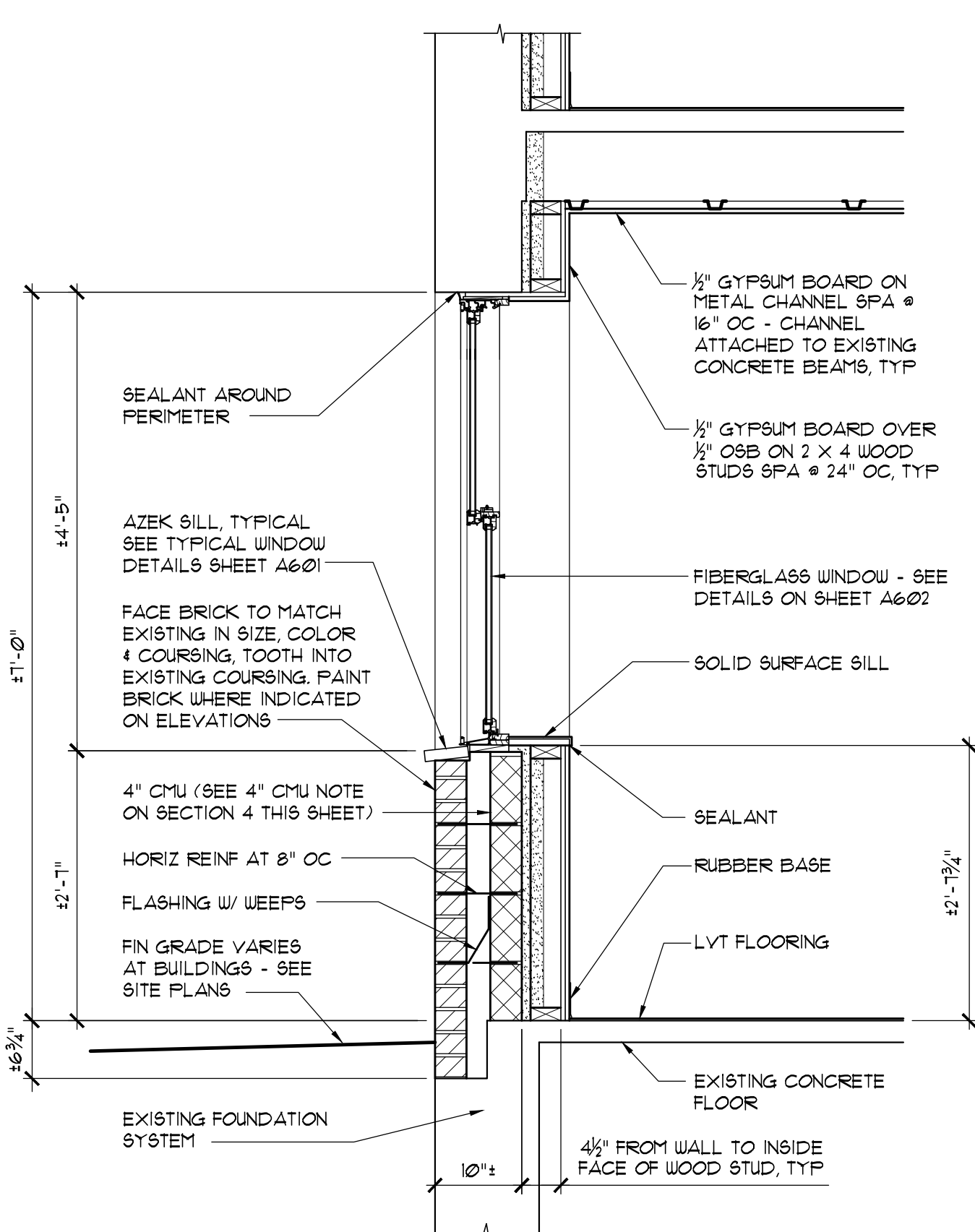


TYPICAL FLOOR INFILL @ STAIR OPENING
SCALE: 1/2" = 1'-0"



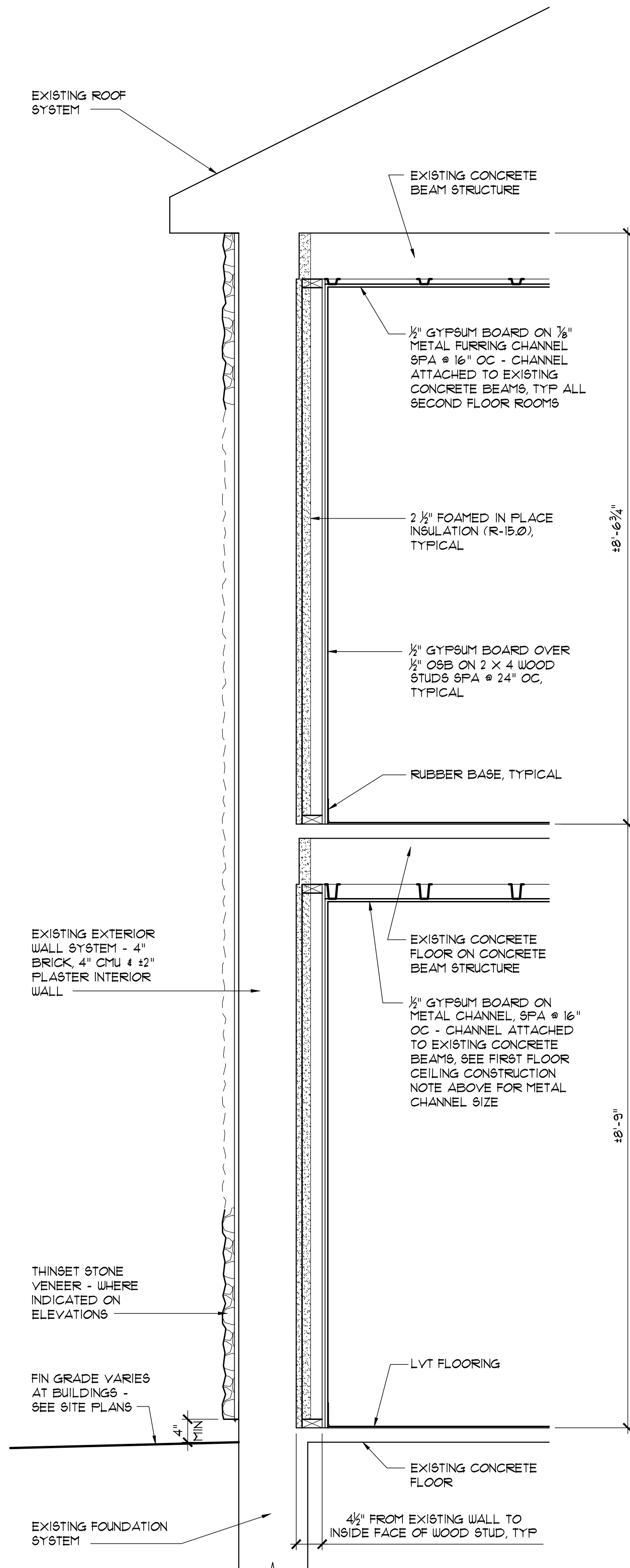
NOTE: SECTION TYPICAL AT ALL LOCATIONS WHERE EXISTING DOOR OPENINGS ARE REQUIRED TO BE INFILLED. SECTION SIMILAR AT ALL LOCATIONS WHERE EXISTING WINDOW OPENINGS ARE REQUIRED TO BE INFILLED. SEE PLANS AND ELEVATIONS FOR LOCATIONS.

WALL SECTION 4
SCALE: 3/4" = 1'-0"



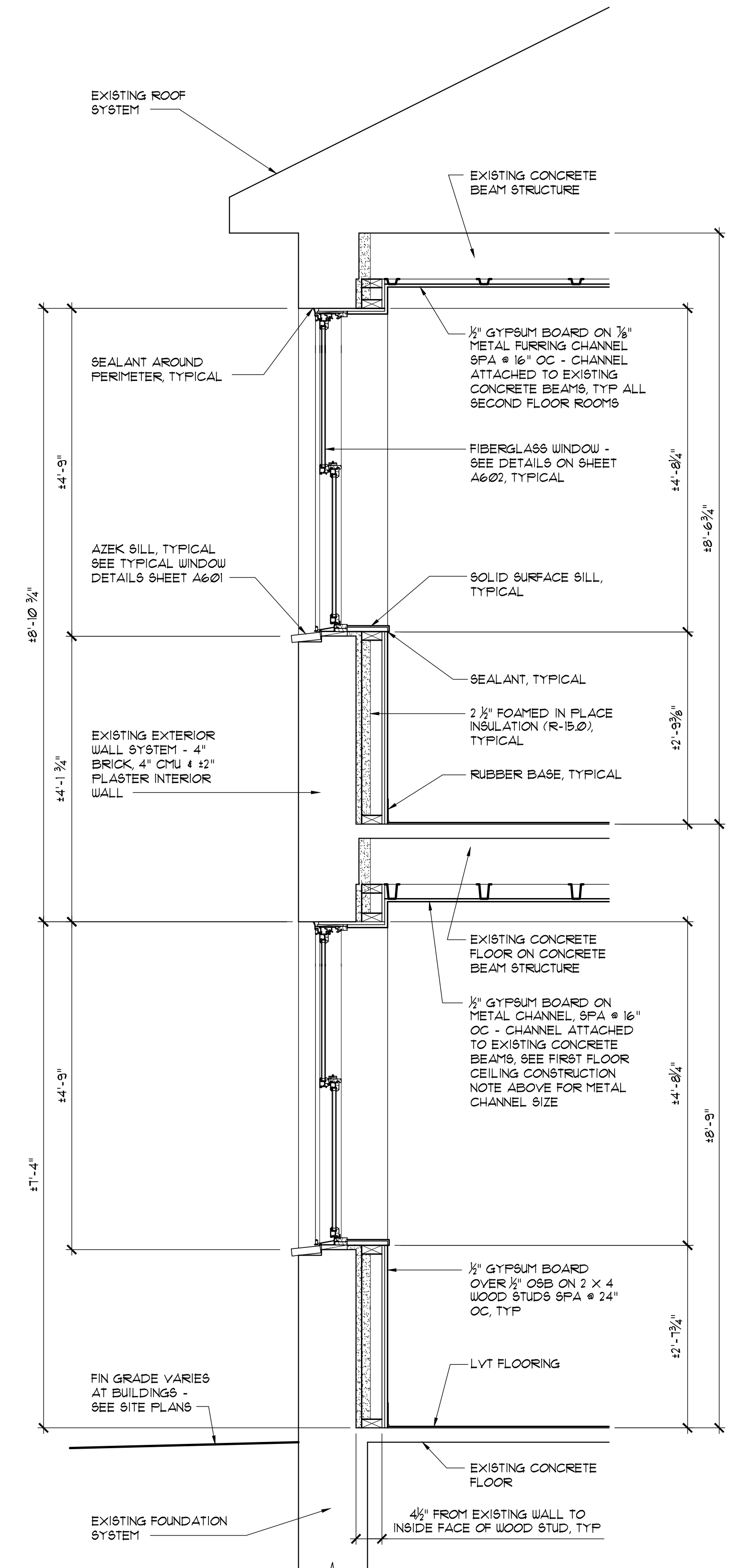
NOTE: WINDOW SILL HEIGHT TO MATCH SILL HEIGHT OF NEW WINDOWS PLACED IN EXISTING WINDOW OPENING.

WALL SECTION 3
SCALE: 3/4" = 1'-0"

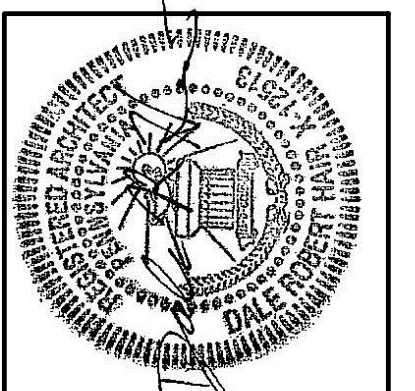


WALL SECTION 2
SCALE: 3/4" = 1'-0"

FIRST FLOOR CEILING CONSTRUCTION NOTE:
PROVIDE 1/2" FURRING CHANNEL AT BUILDINGS K, L & M.
EXCEPT PROVIDE 3 3/8" METAL STUDS AT THE FOLLOWING LOCATIONS:
BUILDINGS K & L: FIRST FLOOR BATHROOMS
BUILDING M: FIRST FLOOR BATHROOMS, UNIT 5 KITCHEN & BEDROOM 5B



WALL SECTION 1
SCALE: 3/4" = 1'-0"



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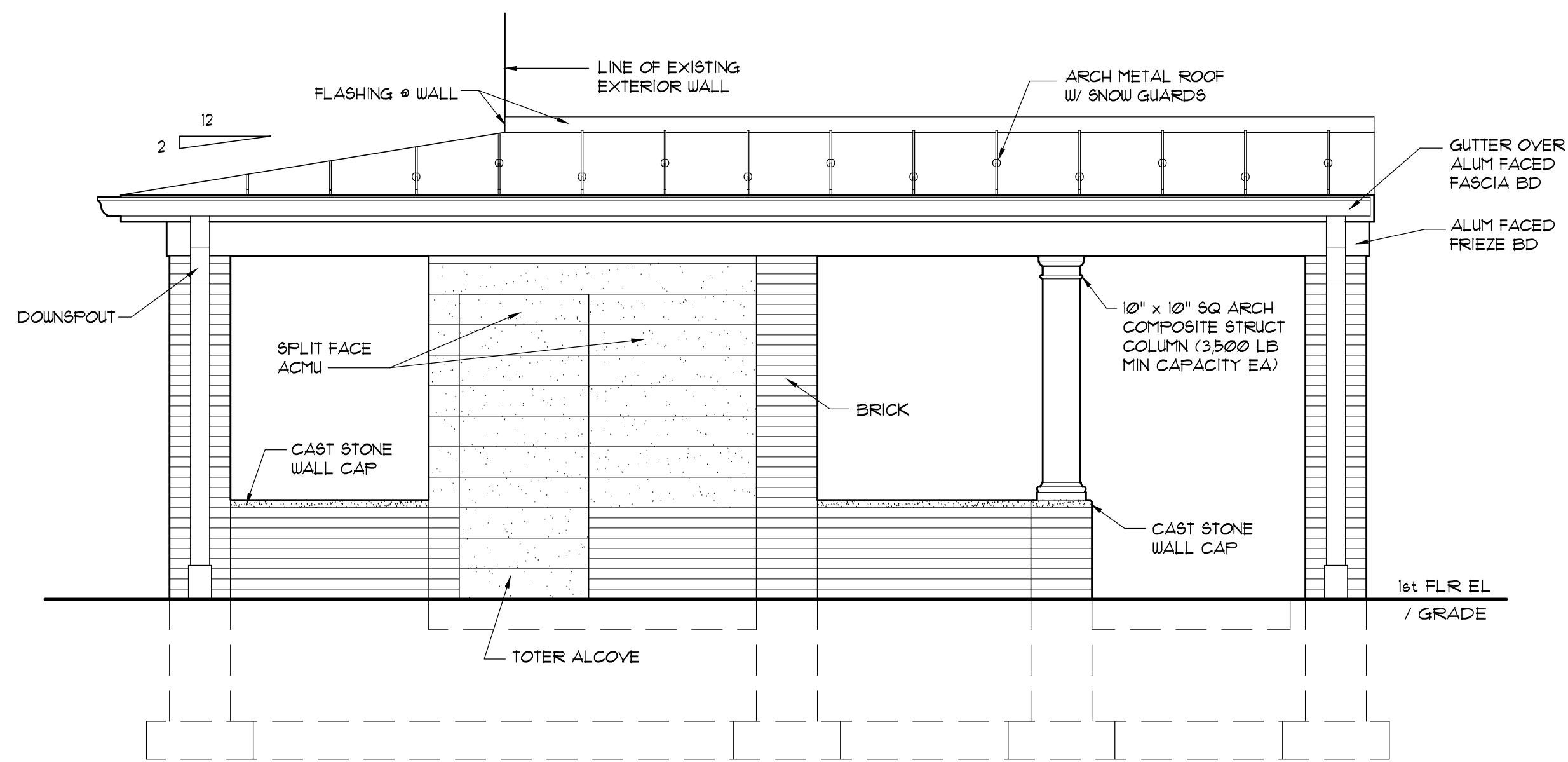
BUILDINGS K, L, & M
SECTIONS

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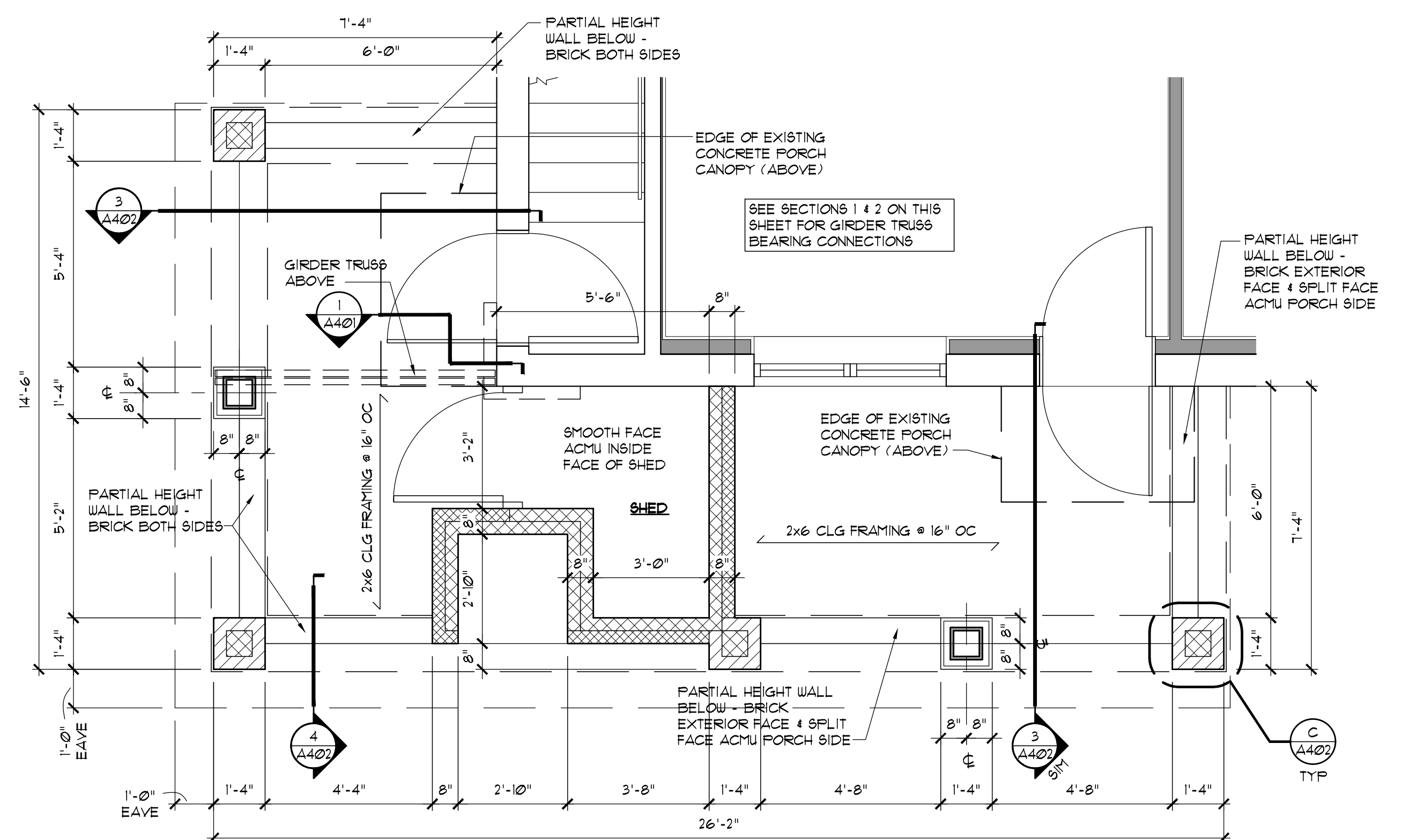
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A301

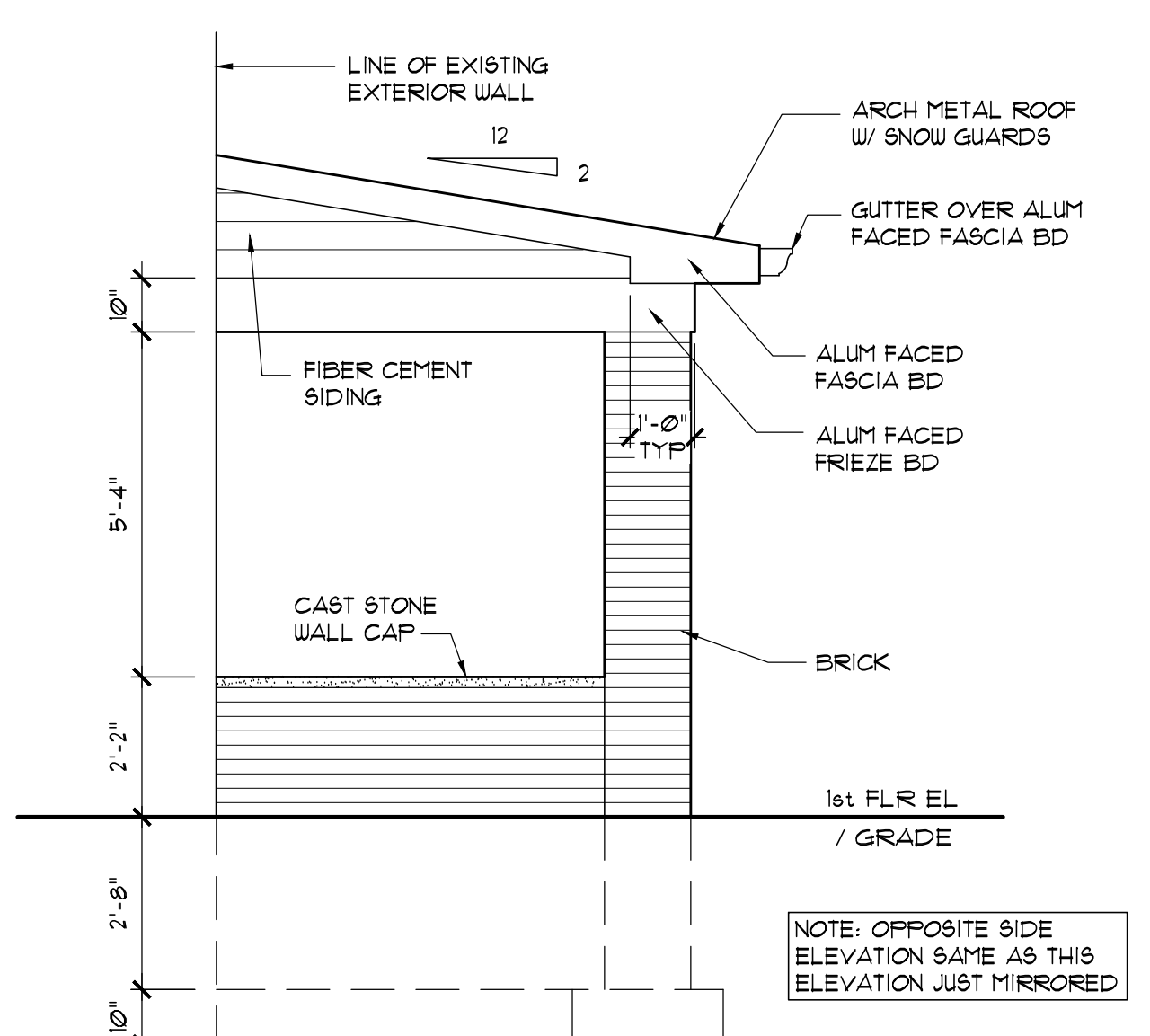
BID DRAWINGS



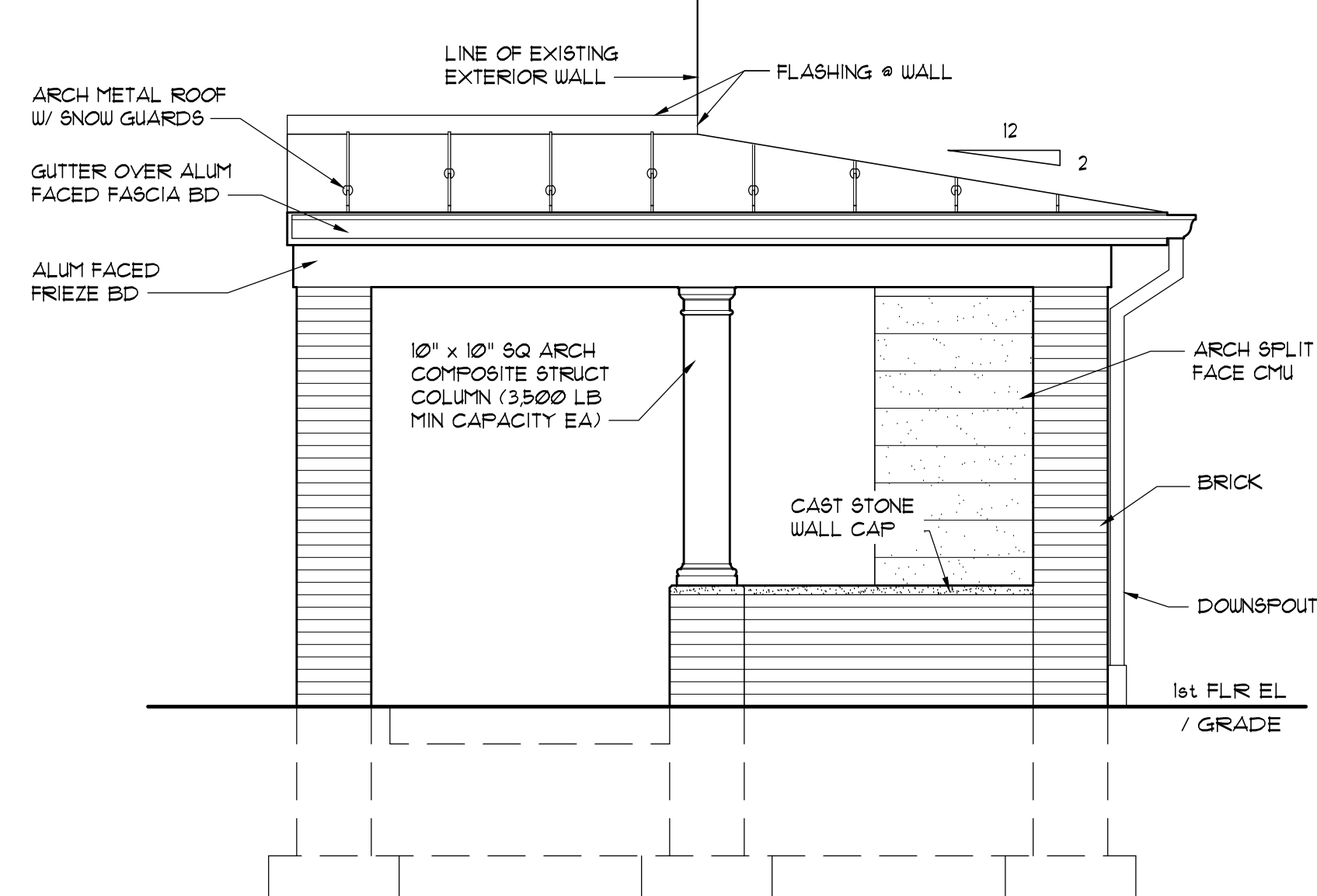
NORTH ELEVATION - PORCH TYPE 'A'
SCALE: 3/8" = 1'-0"



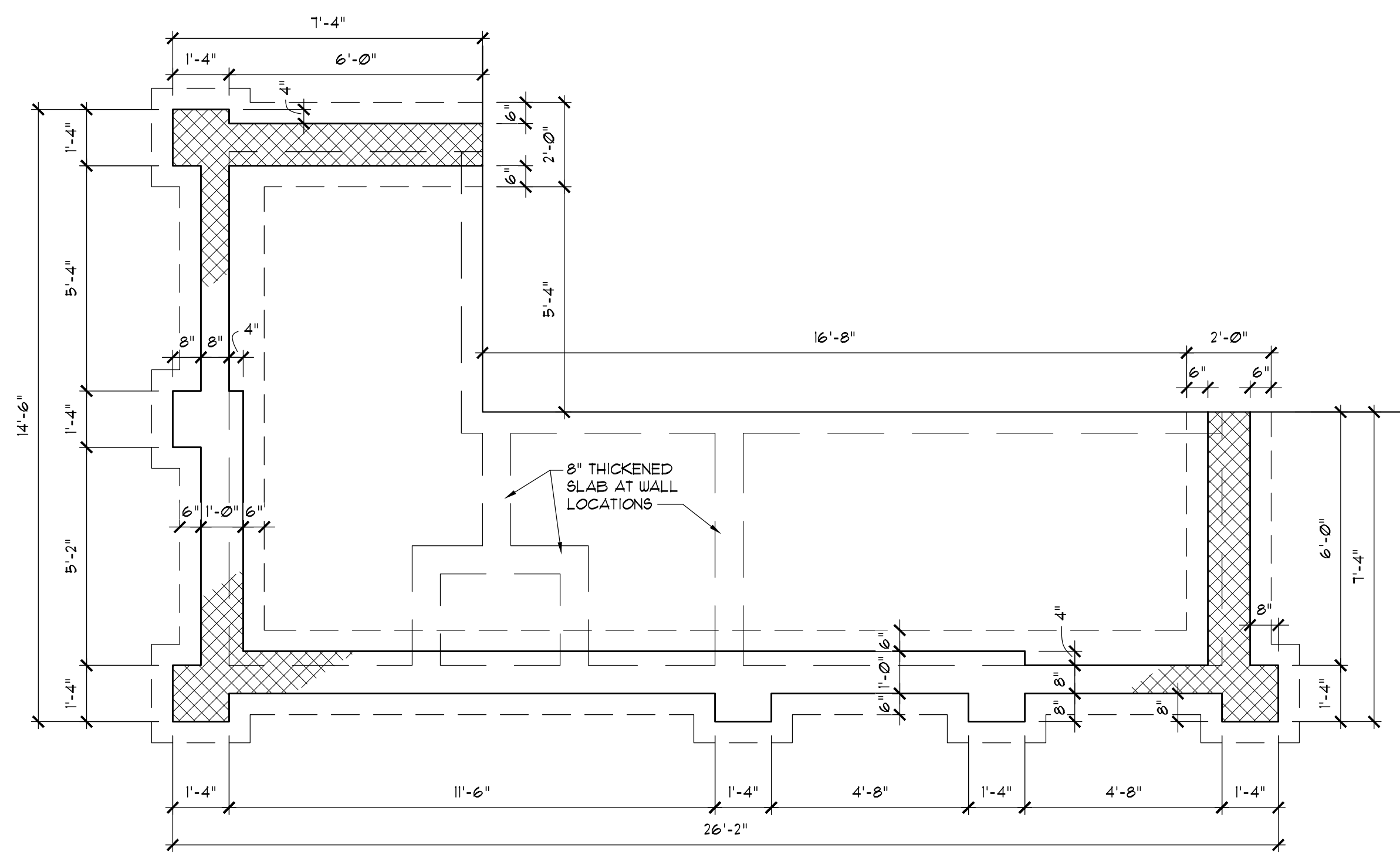
FLOOR PLAN - PORCH TYPE 'A'
SCALE: 3/8" = 1'-0"



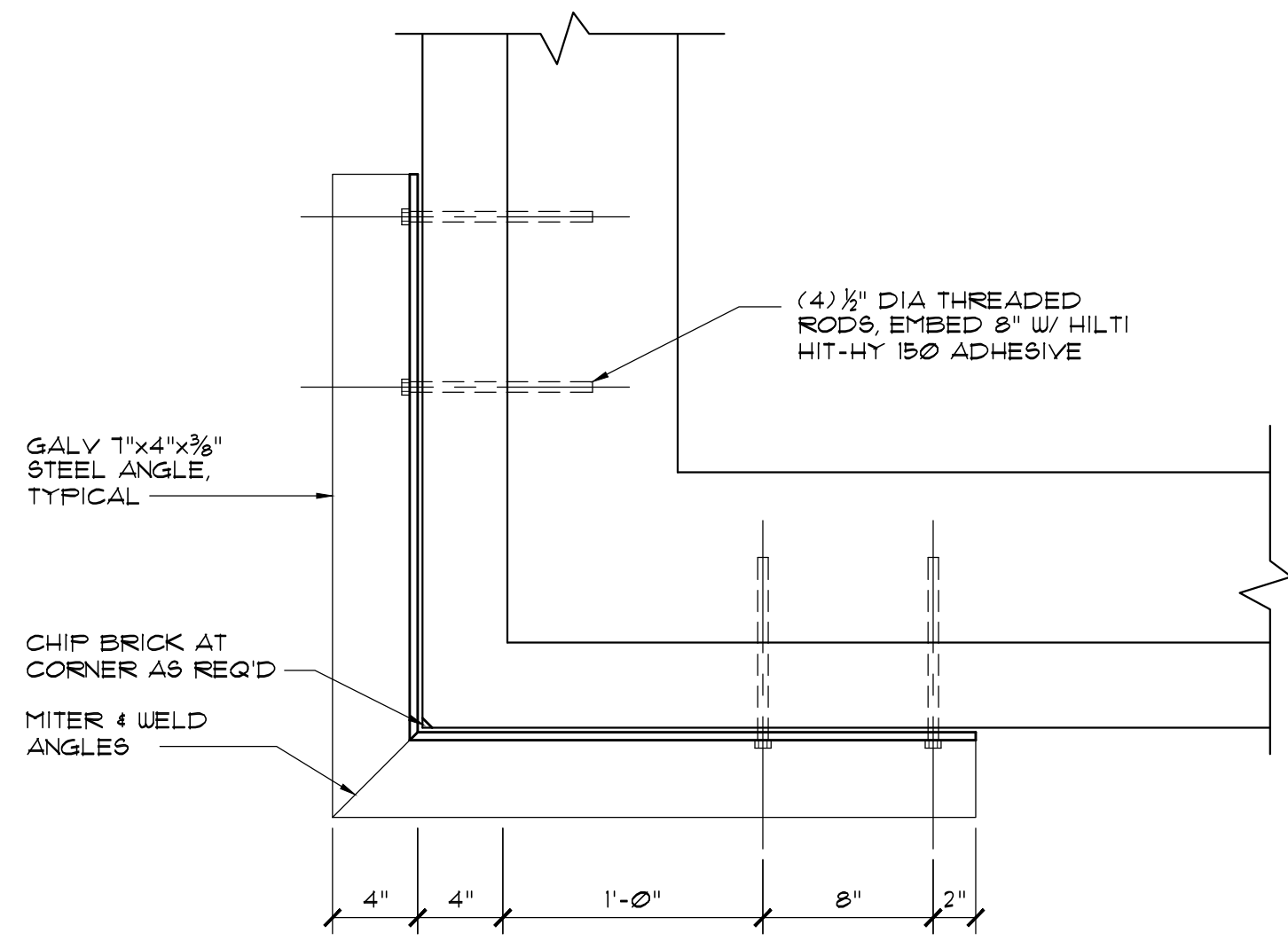
SIDE ELEVATION - PORCH TYPE 'A'
SCALE: 3/8" = 1'-0"



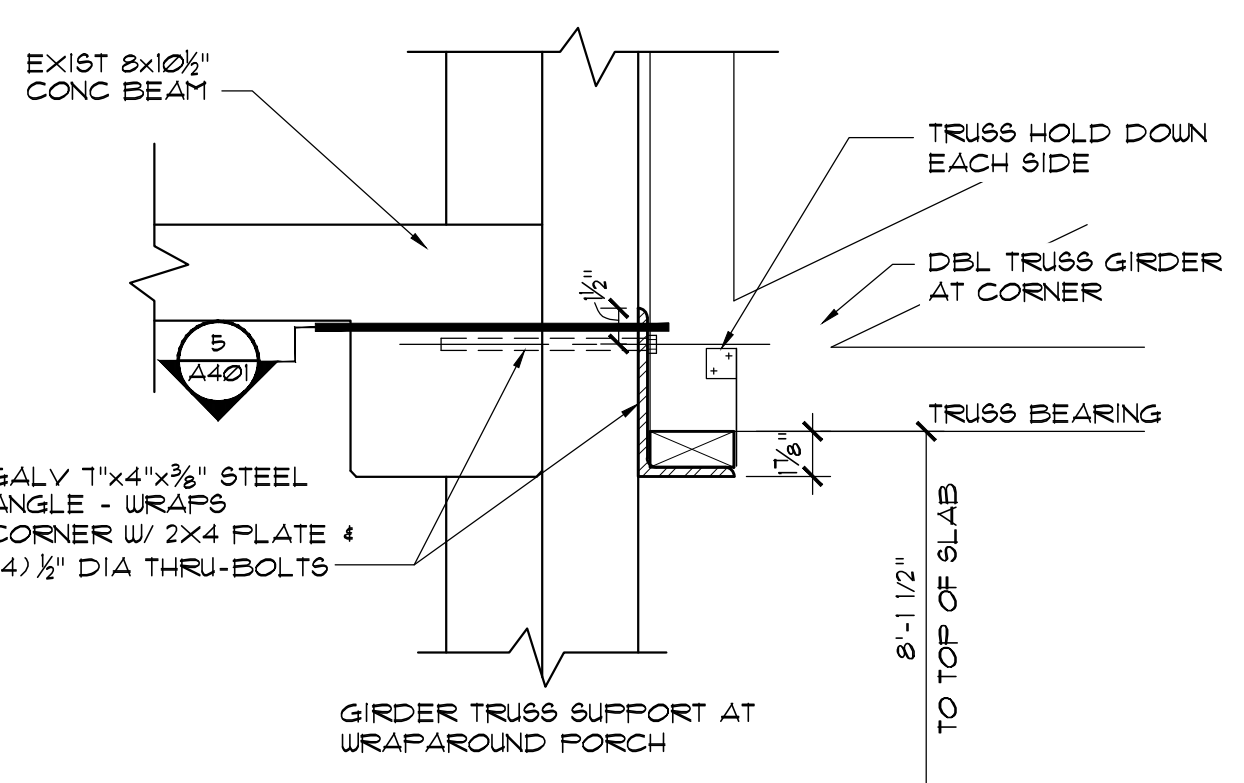
FRONT ELEVATION - PORCH TYPE 'A'
SCALE: 3/8" = 1'-0"



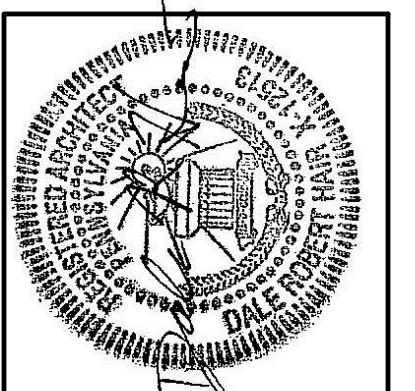
FOUNDATION PLAN - PORCH TYPE 'A'
SCALE: 3/8" = 1'-0"



SECTION 1
SCALE: 1 1/2" = 1'-0"



SECTION 2
SCALE: 1 1/2" = 1'-0"



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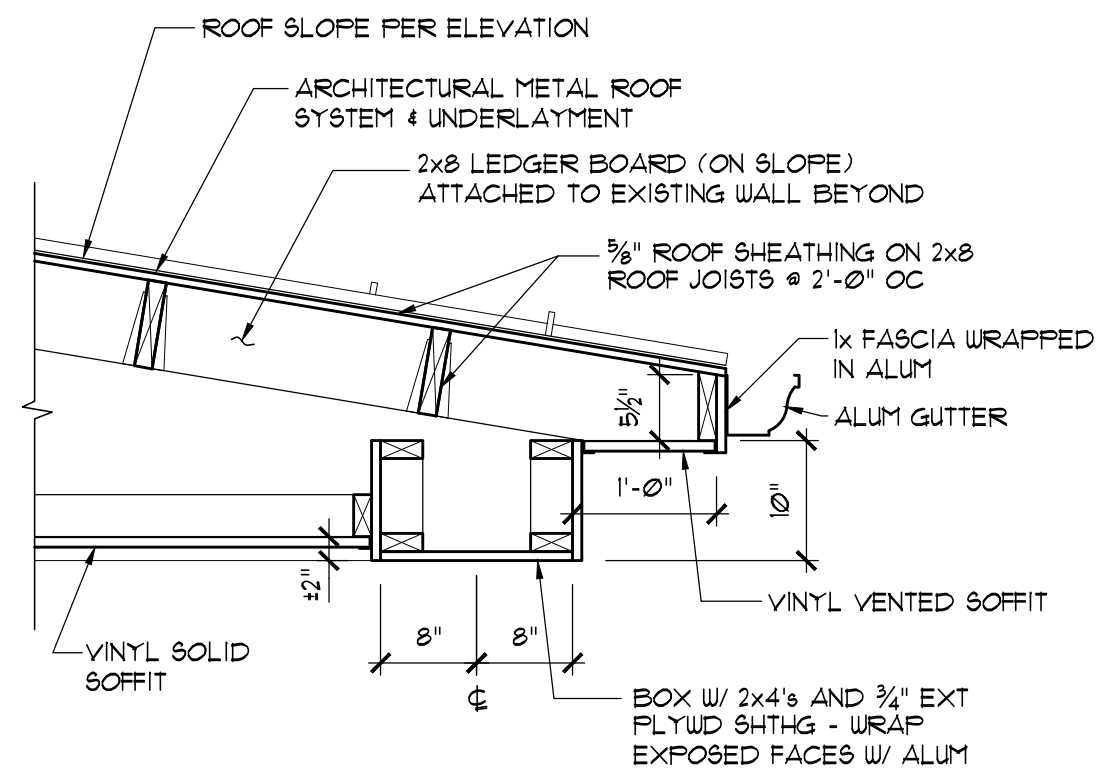
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BUILDINGS K, L & M
ENLARGED PORCH 'A' PLANS & DETAILS

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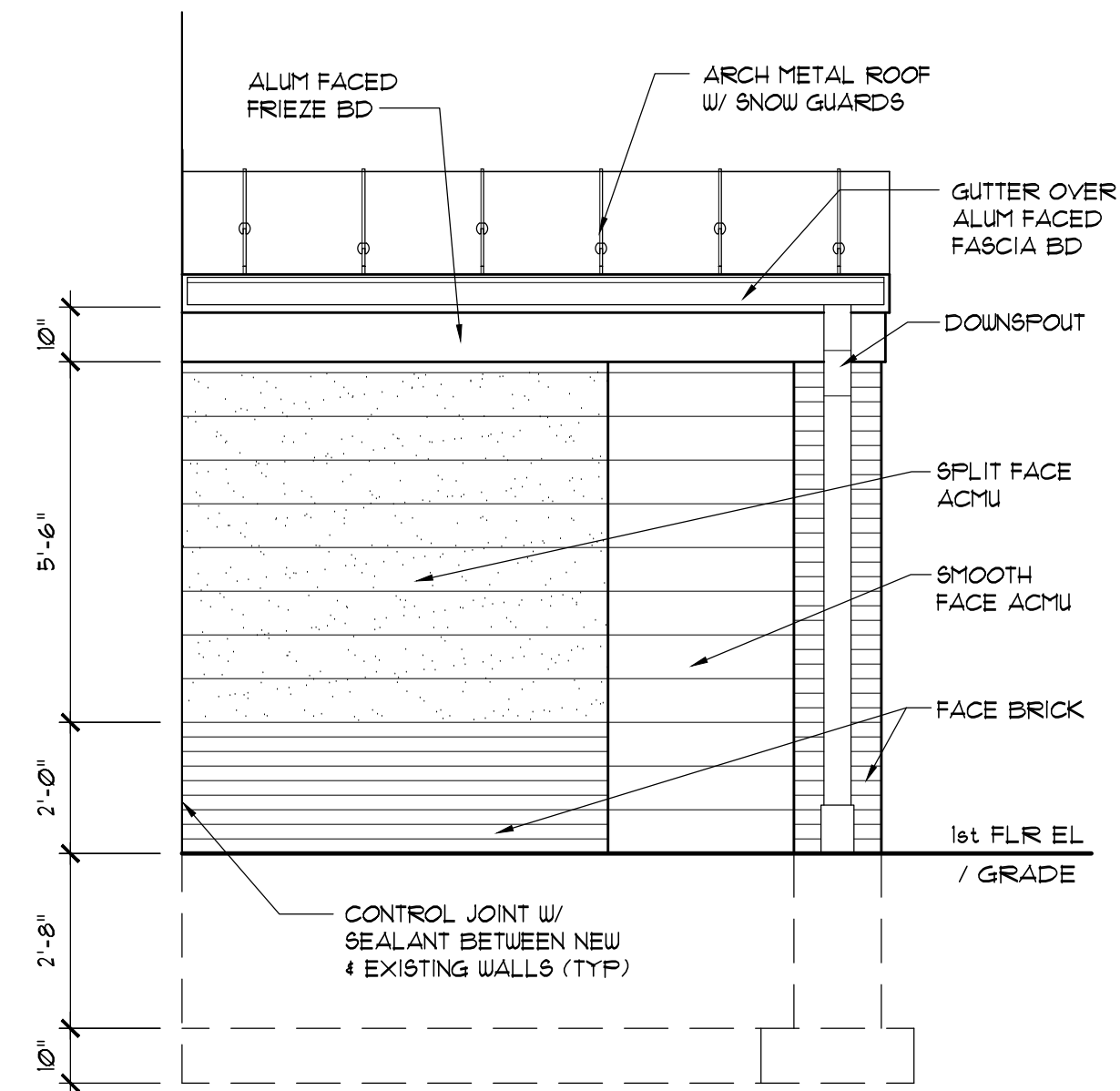
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SHEET
A401



DETAIL

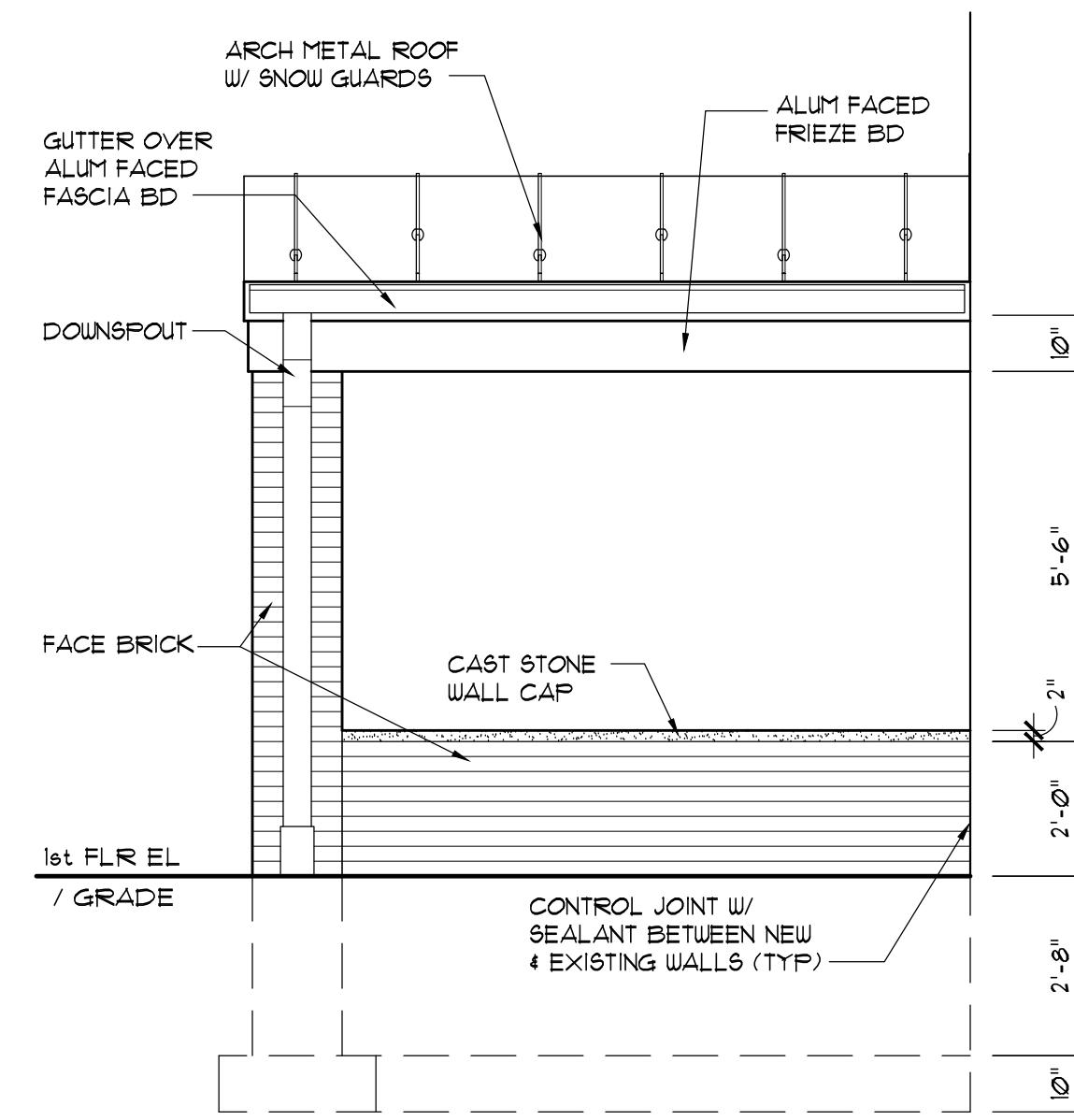
SCALE: 3/4" = 1'-0"

B
A403



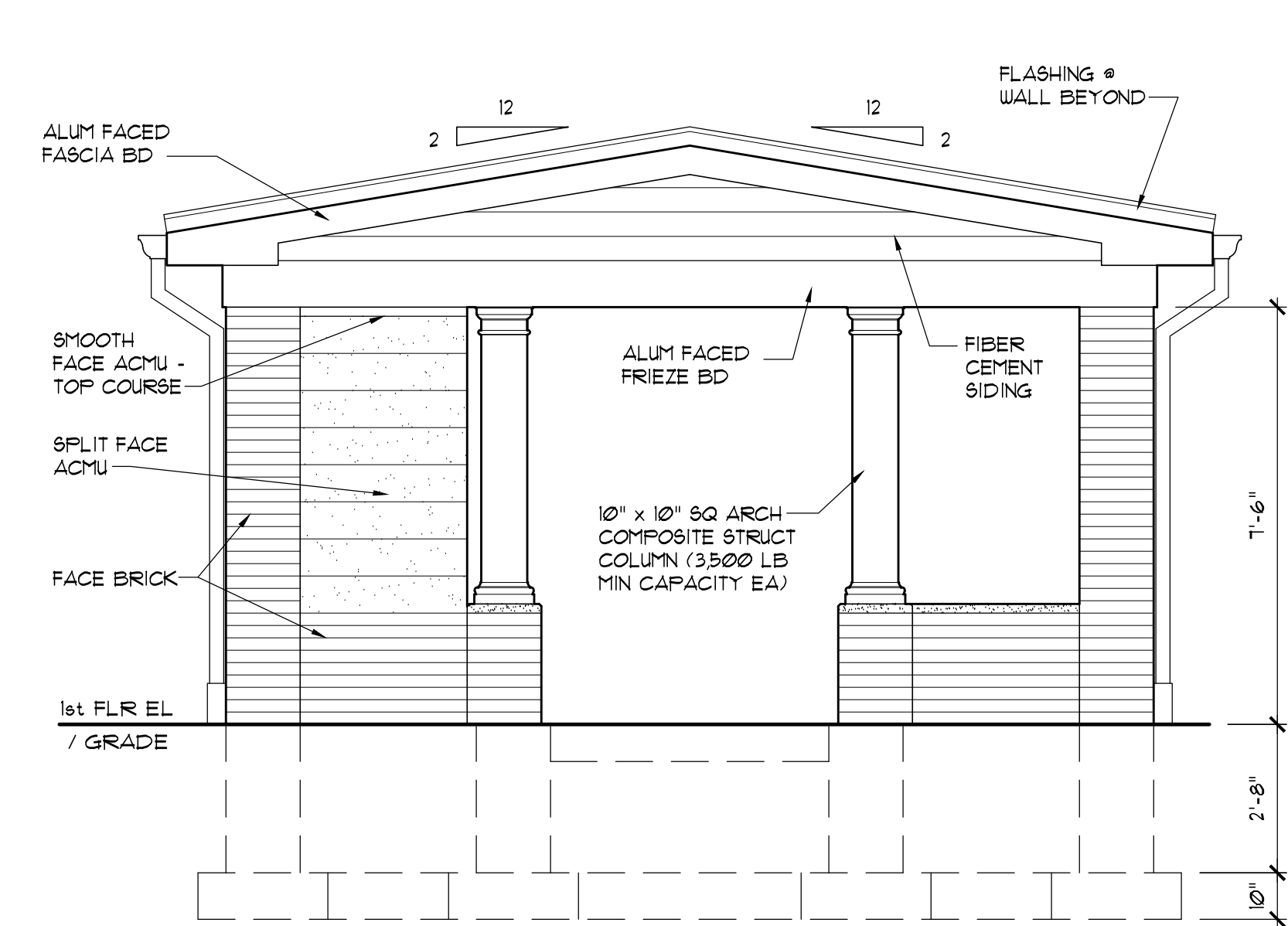
SIDE ELEVATION - PORCH TYPE 'B'

SCALE: 3/8" = 1'-0"



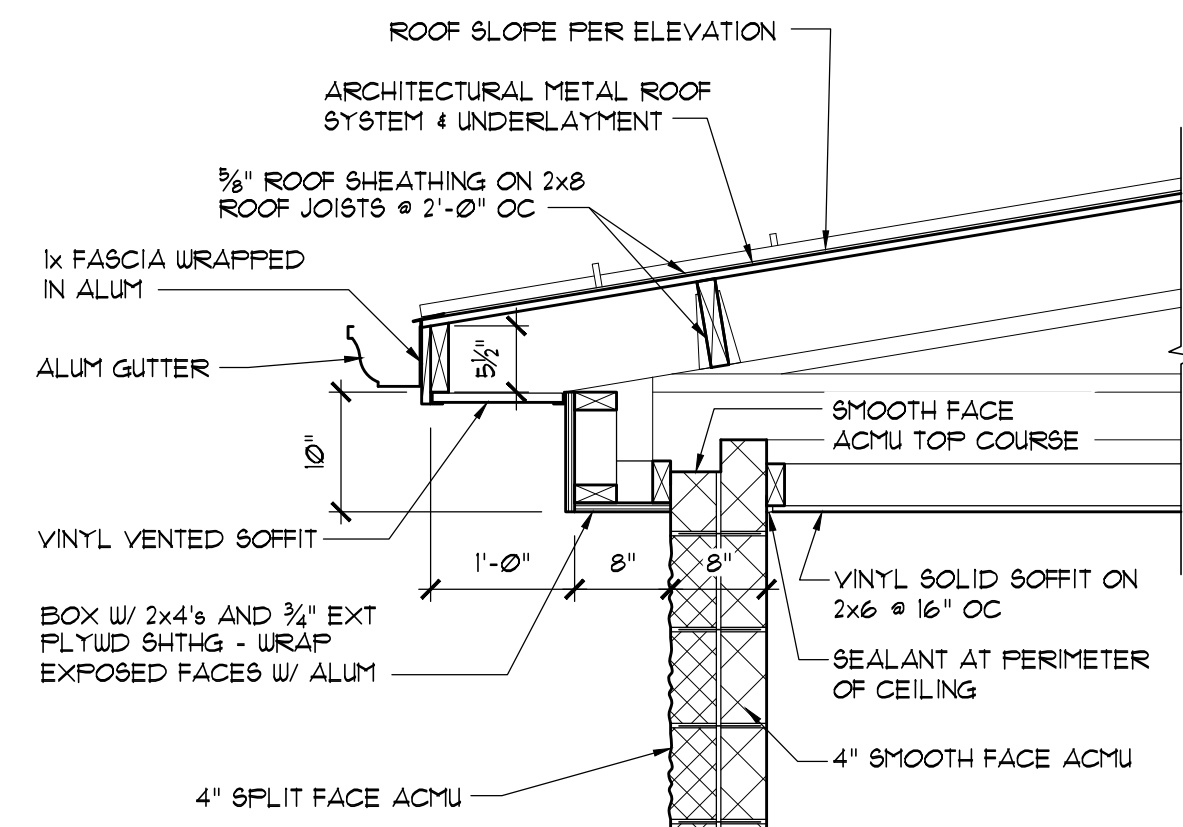
SIDE ELEVATION - PORCH TYPE 'B' & 'F'

SCALE: 3/8" = 1'-0"



NORTH ELEVATION - PORCH TYPE 'B' & 'F'

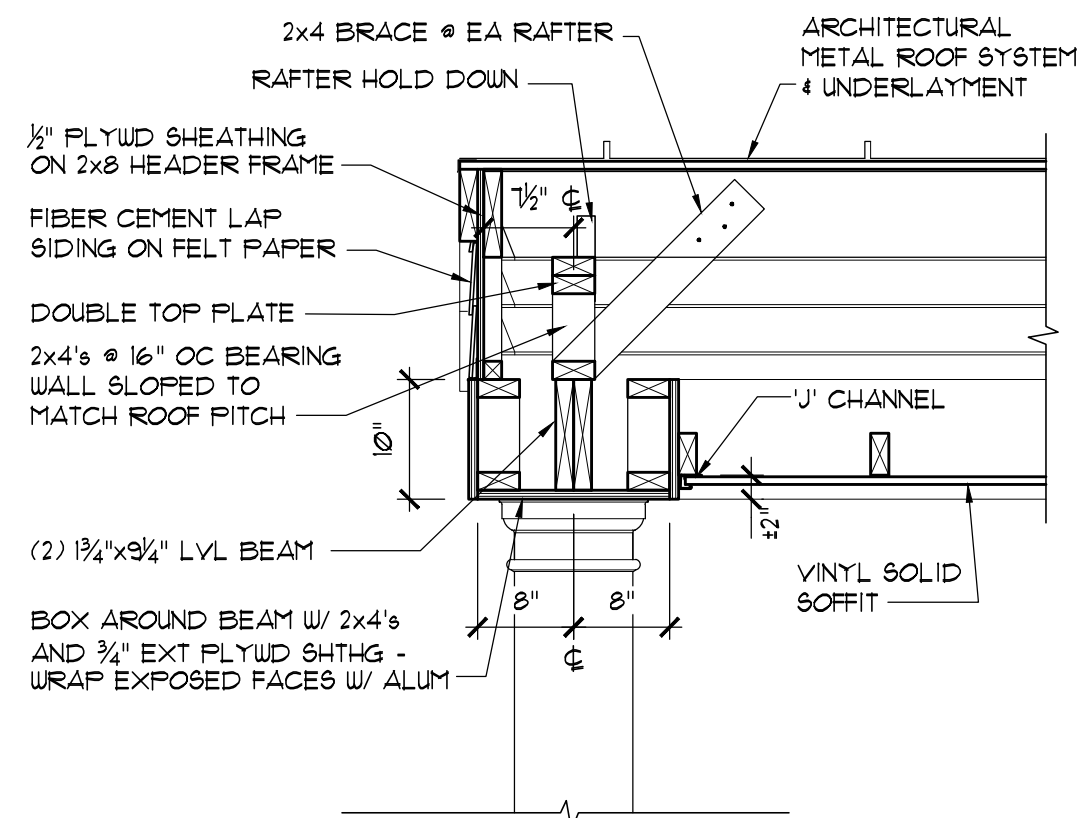
SCALE: 3/8" = 1'-0"



DETAIL

SCALE: 3/4" = 1'-0"

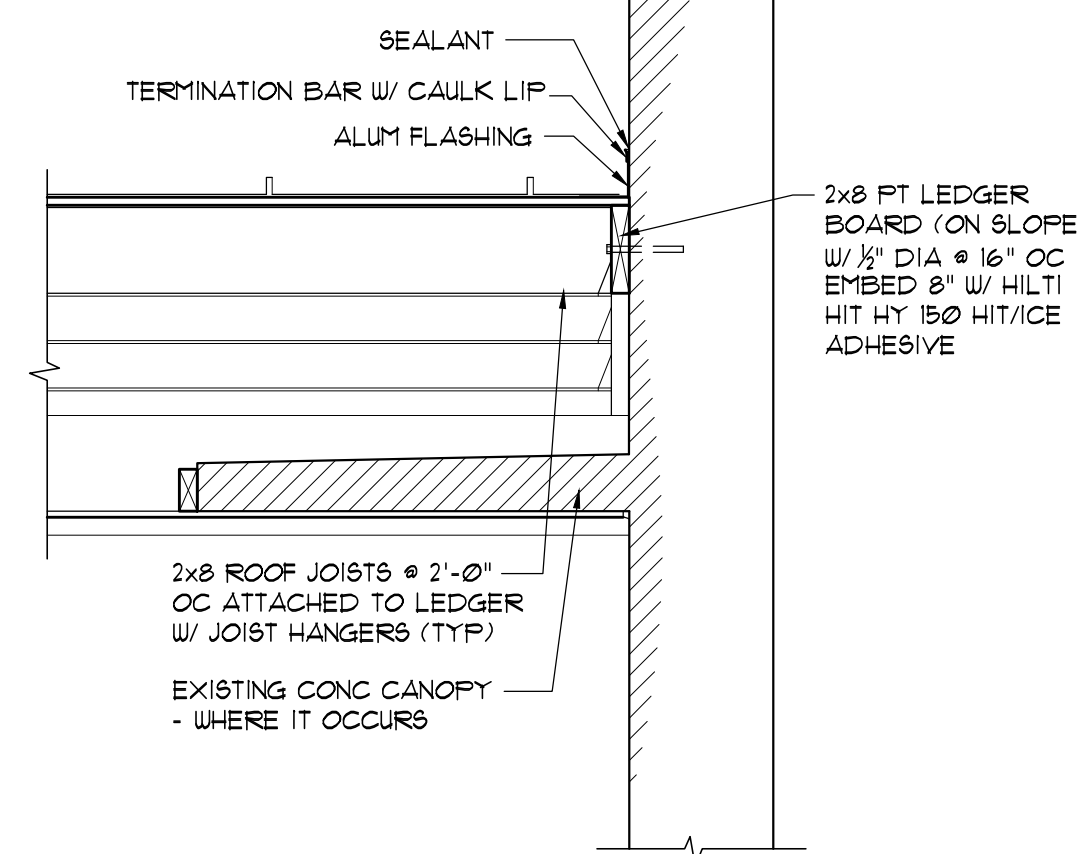
A
A403



DETAIL

SCALE: 3/4" = 1'-0"

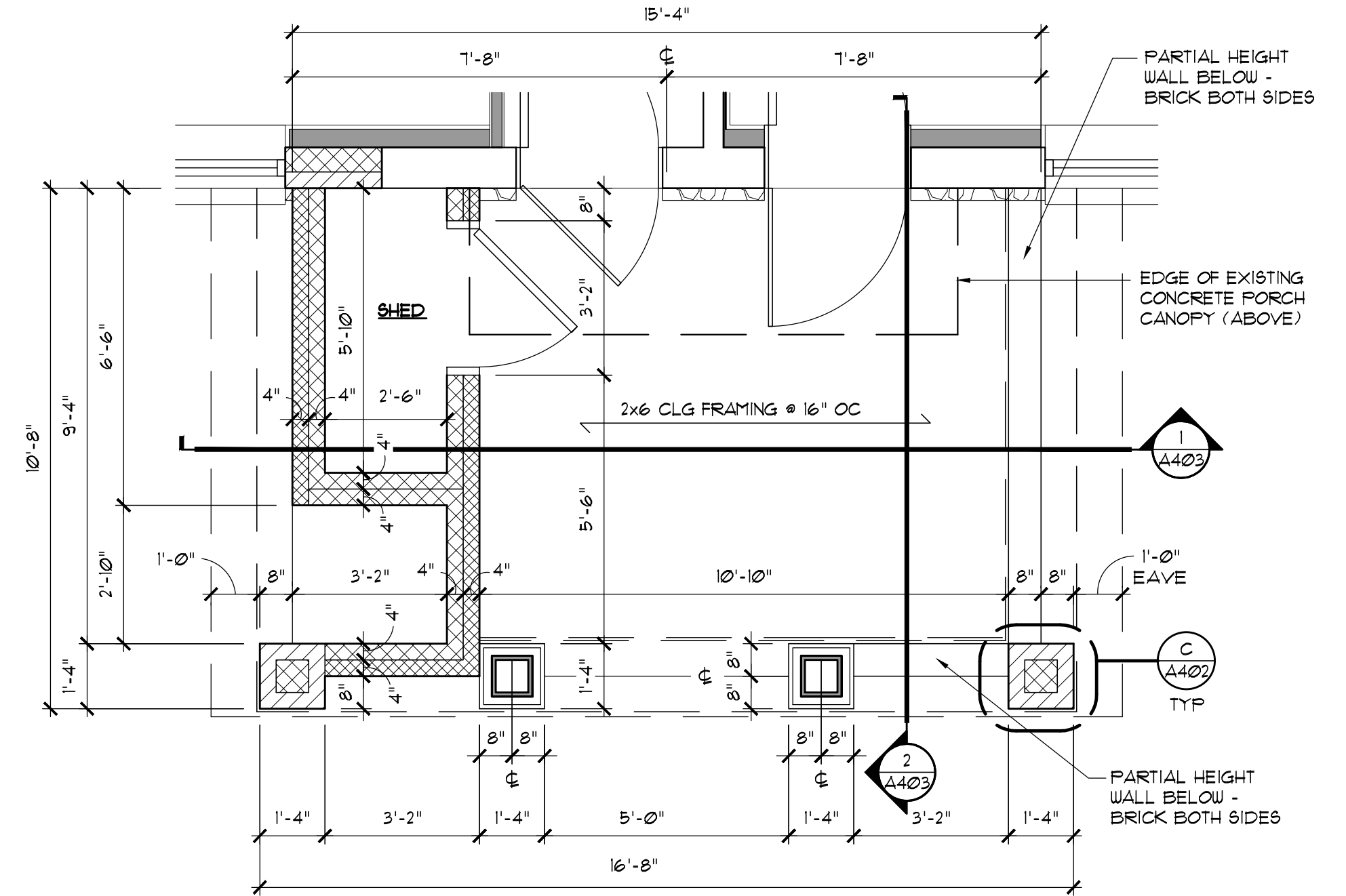
C
A403



DETAIL

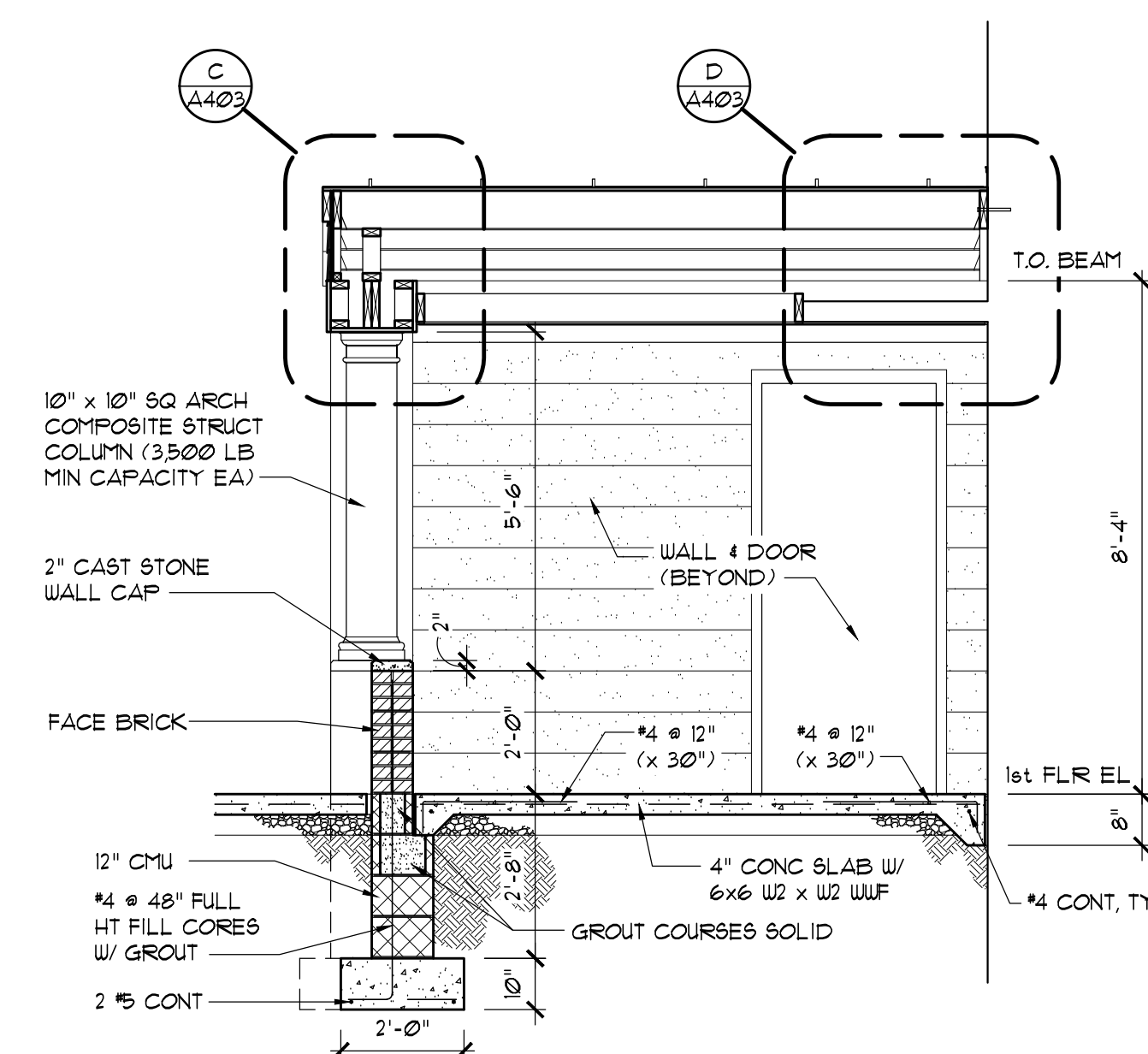
SCALE: 3/4" = 1'-0"

D
A403



FLOOR PLAN - PORCH TYPE 'B'

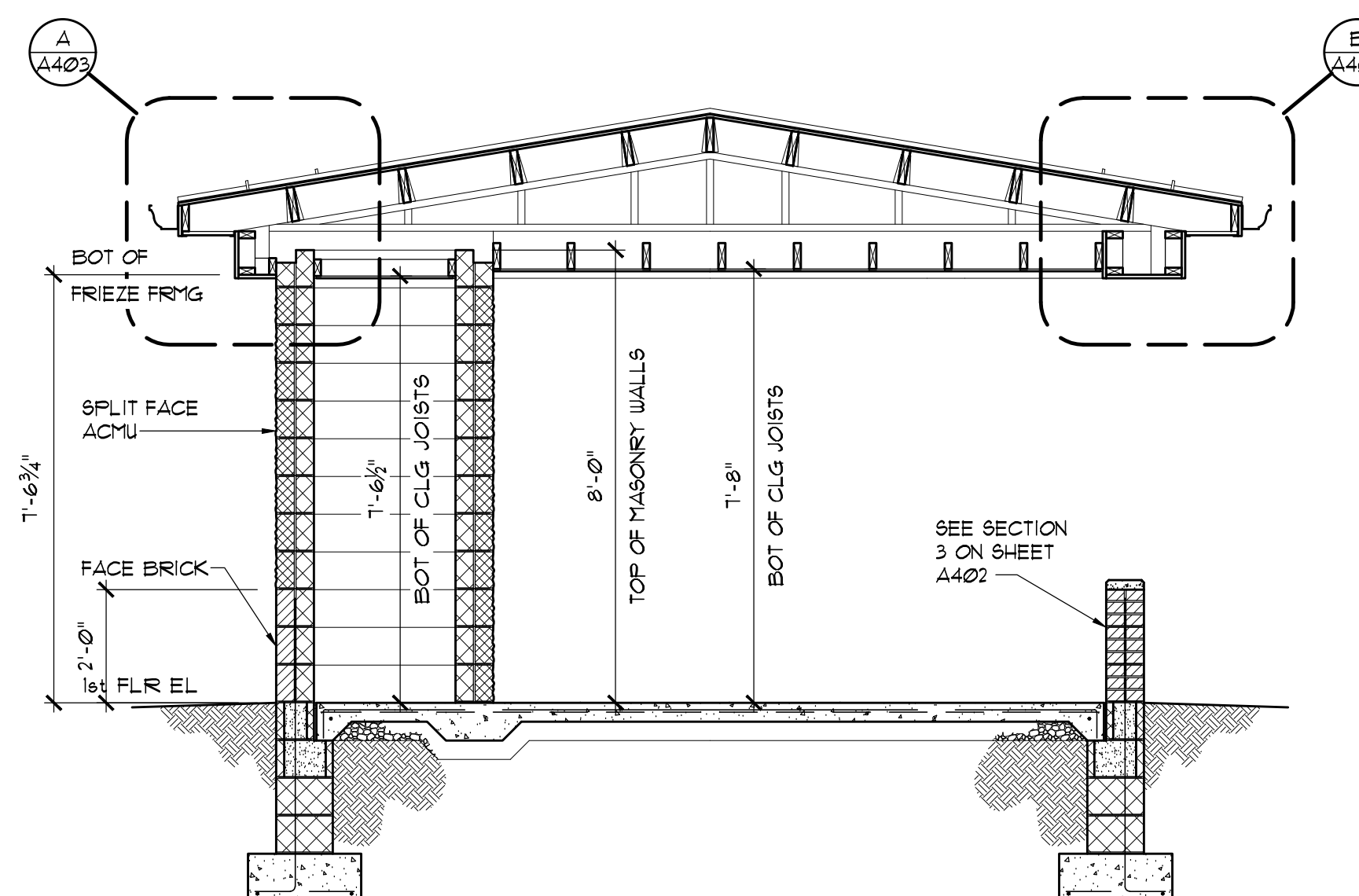
SCALE: 3/8" = 1'-0"



SECTION

SCALE: 3/8" = 1'-0"

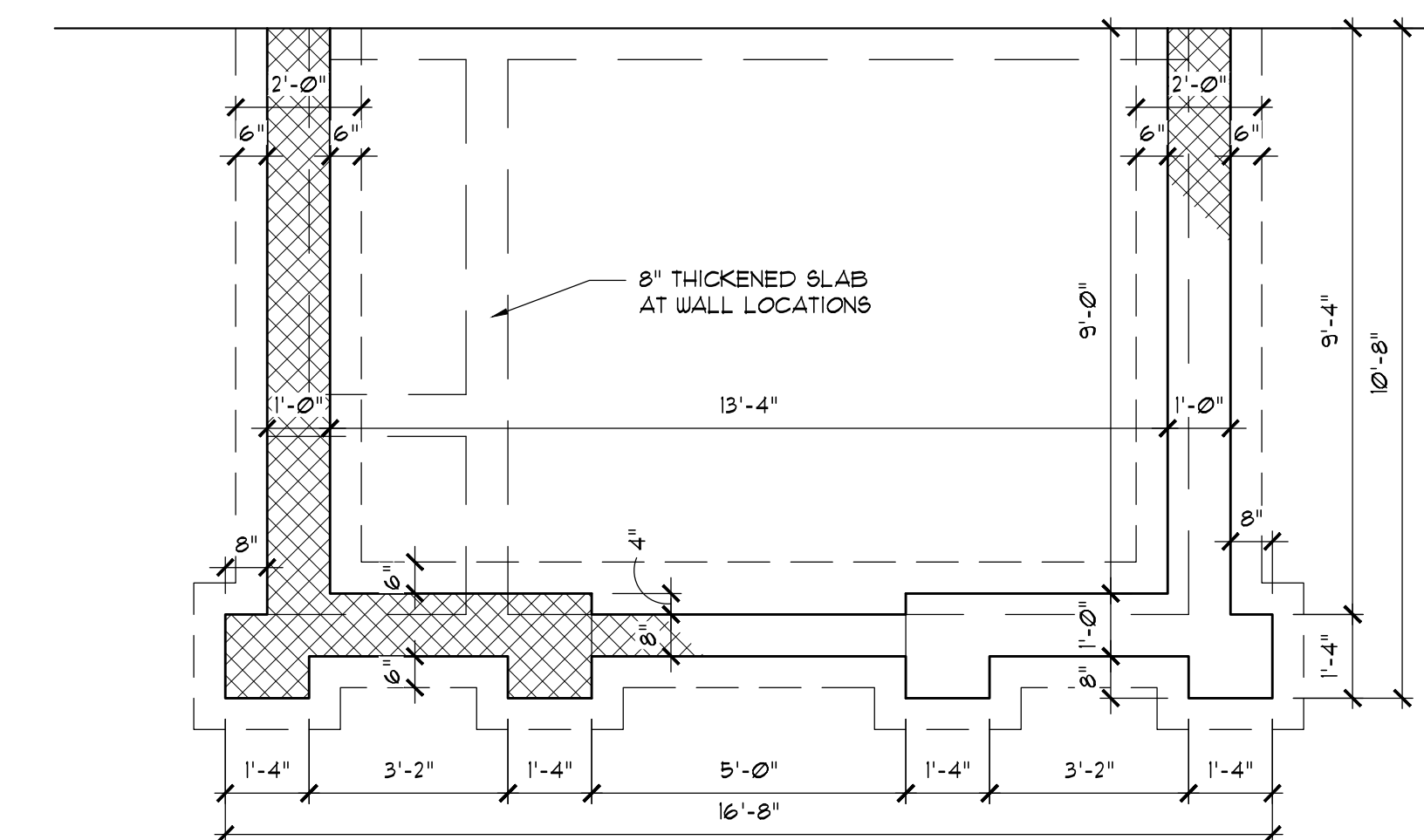
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A403



SECTION

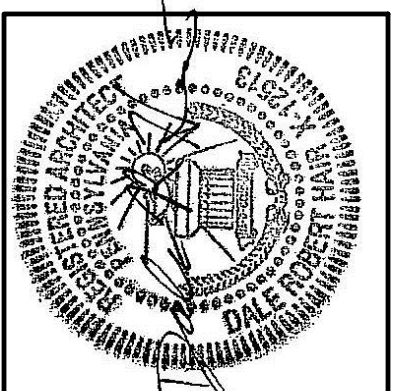
SCALE: 3/8" = 1'-0"

1
A403



FOUNDATION PLAN - PORCH TYPE 'B' & 'F' (SIM)

SCALE: 3/8" = 1'-0"



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 RENOVATIONS - BUILDINGS K, L & M
 HARRISBURG HOUSING AUTHORITY

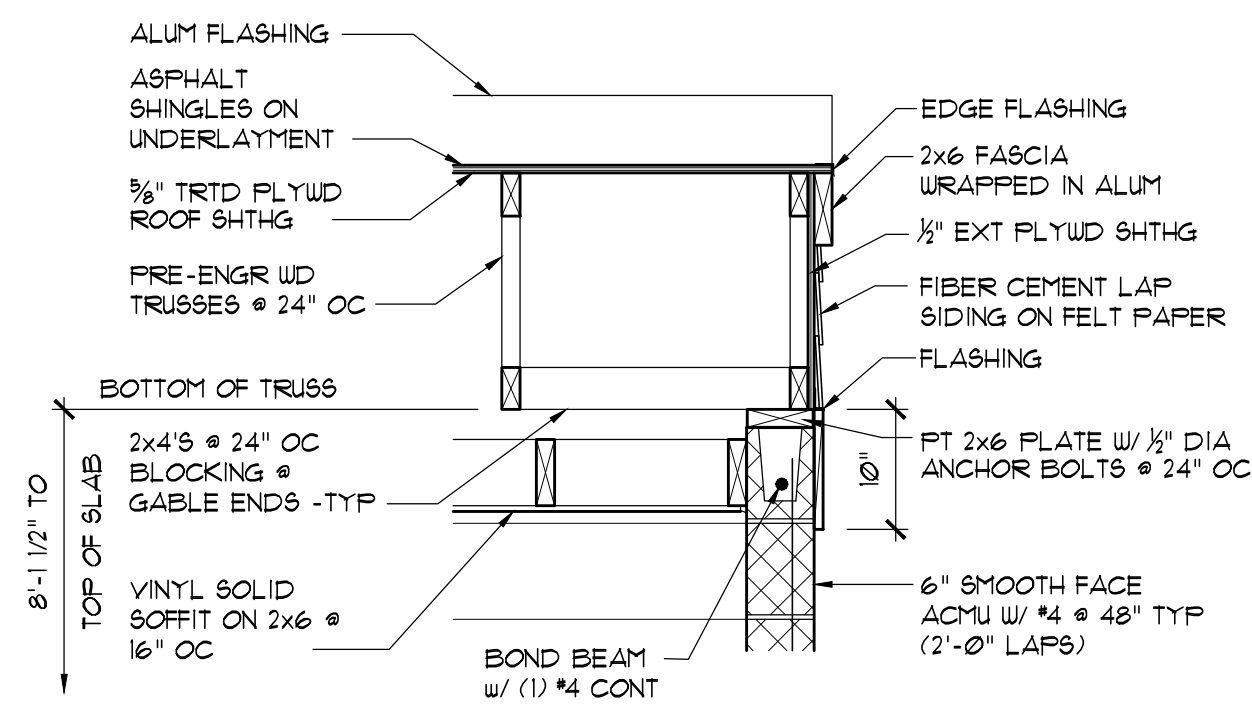
BUILDINGS K, L & M
 ENLARGED PORCH 'B' & 'F' PLANS & DETS

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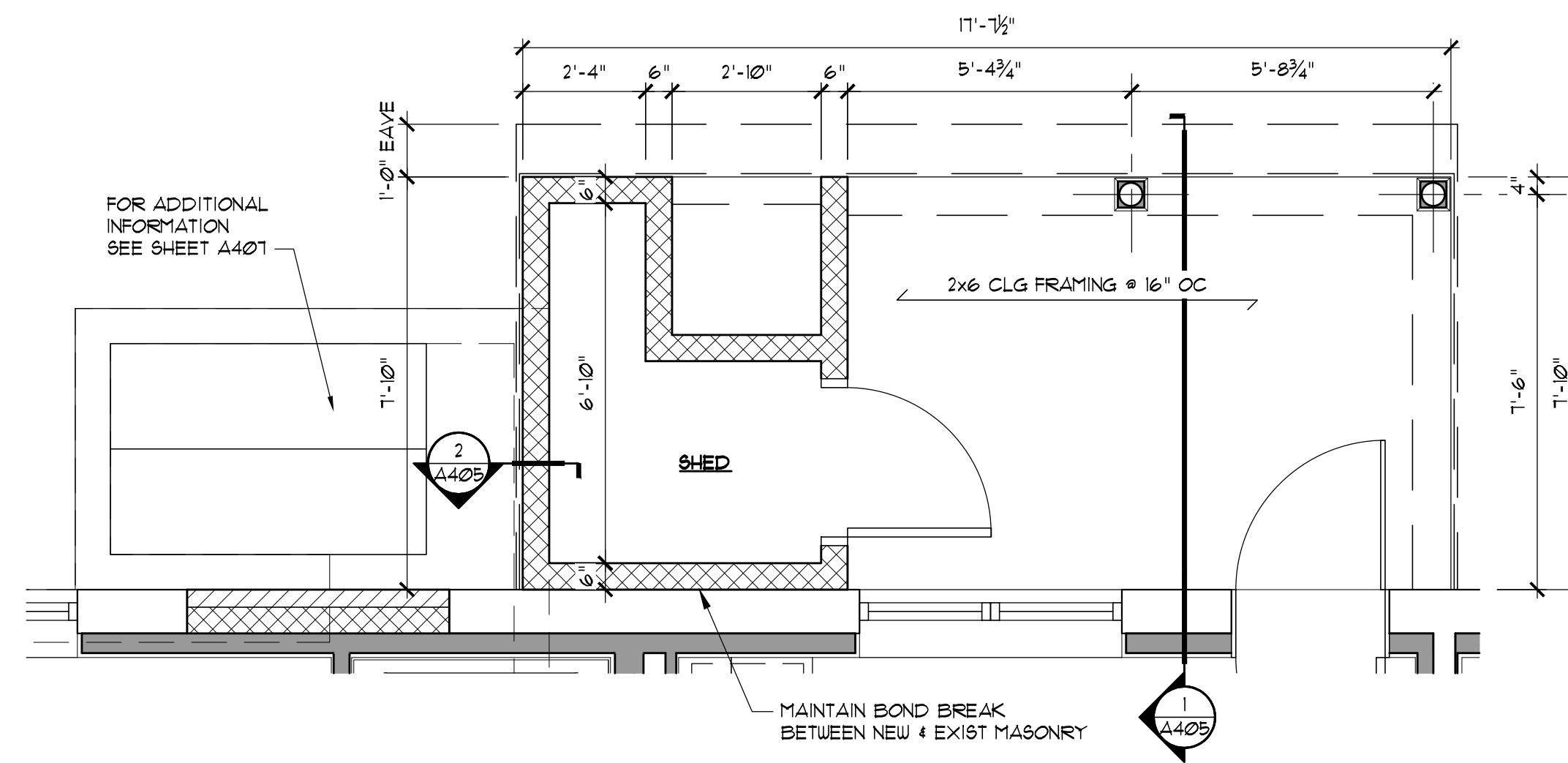
BID DRAWINGS



SECTION

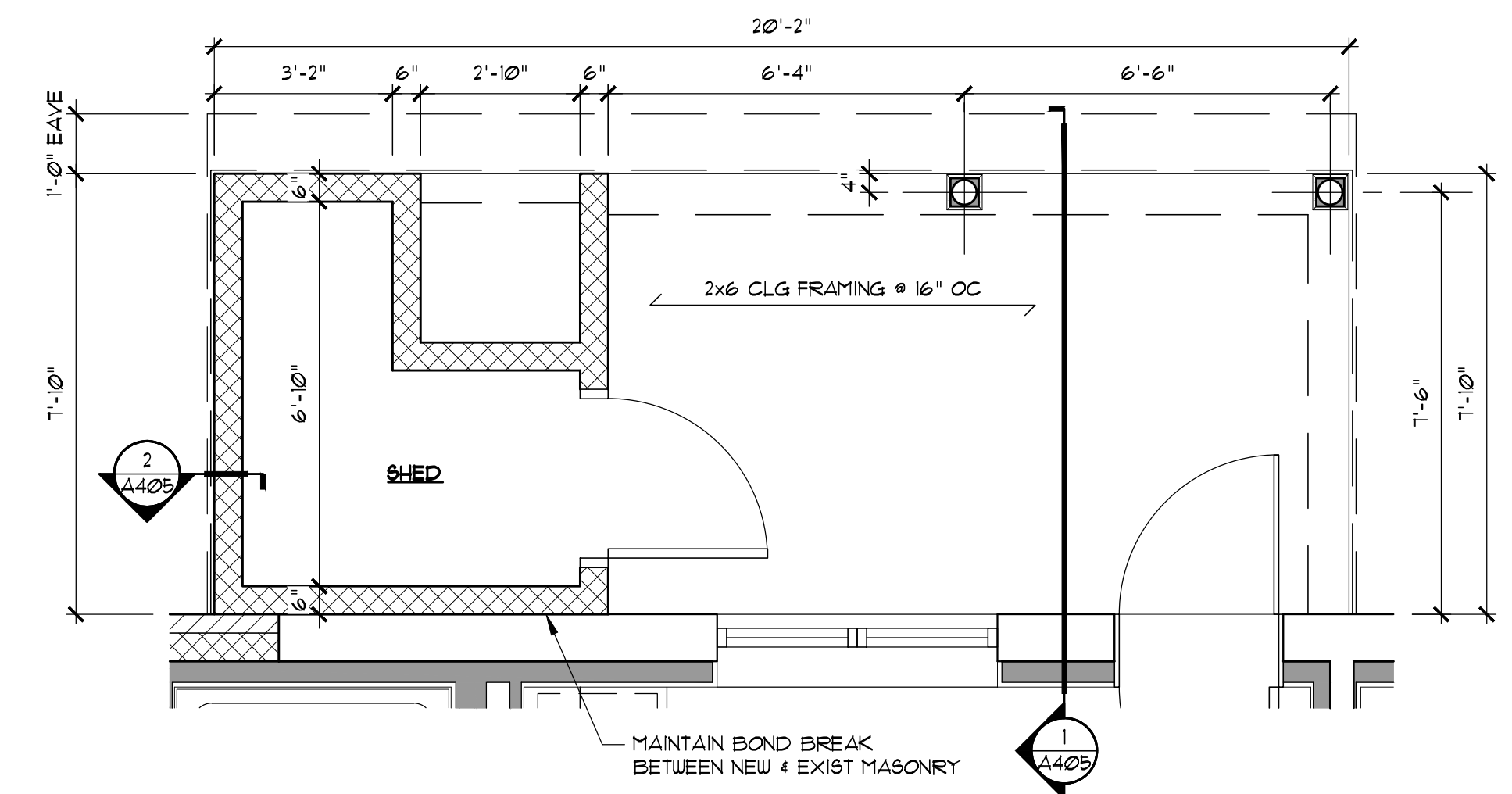
SCALE: 3/4" = 1'-0"

2
A405



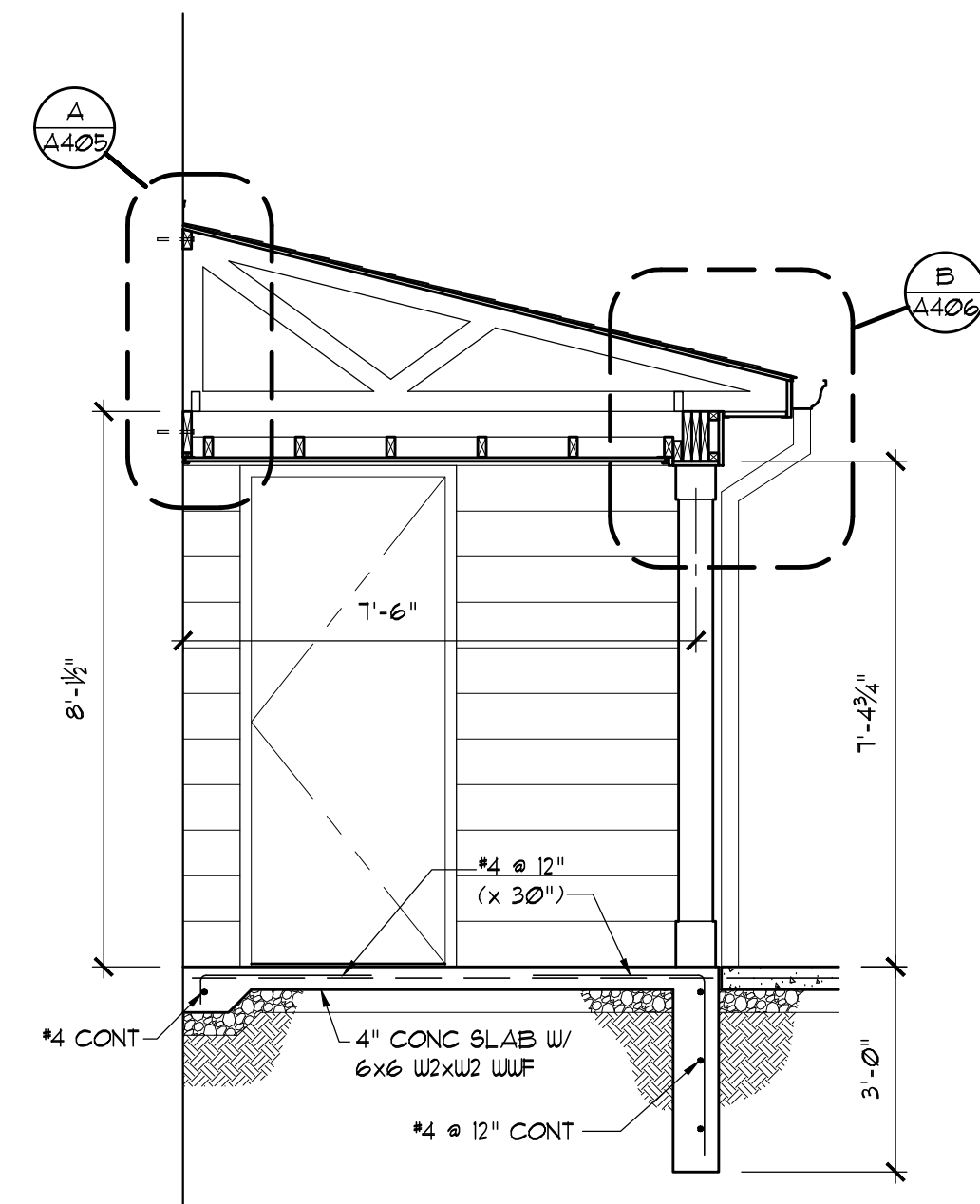
**PORCH TYPE 'E'
FLOOR PLAN**

SCALE: 3/8" = 1'-0"



**PORCH TYPE 'D'
FLOOR PLAN**

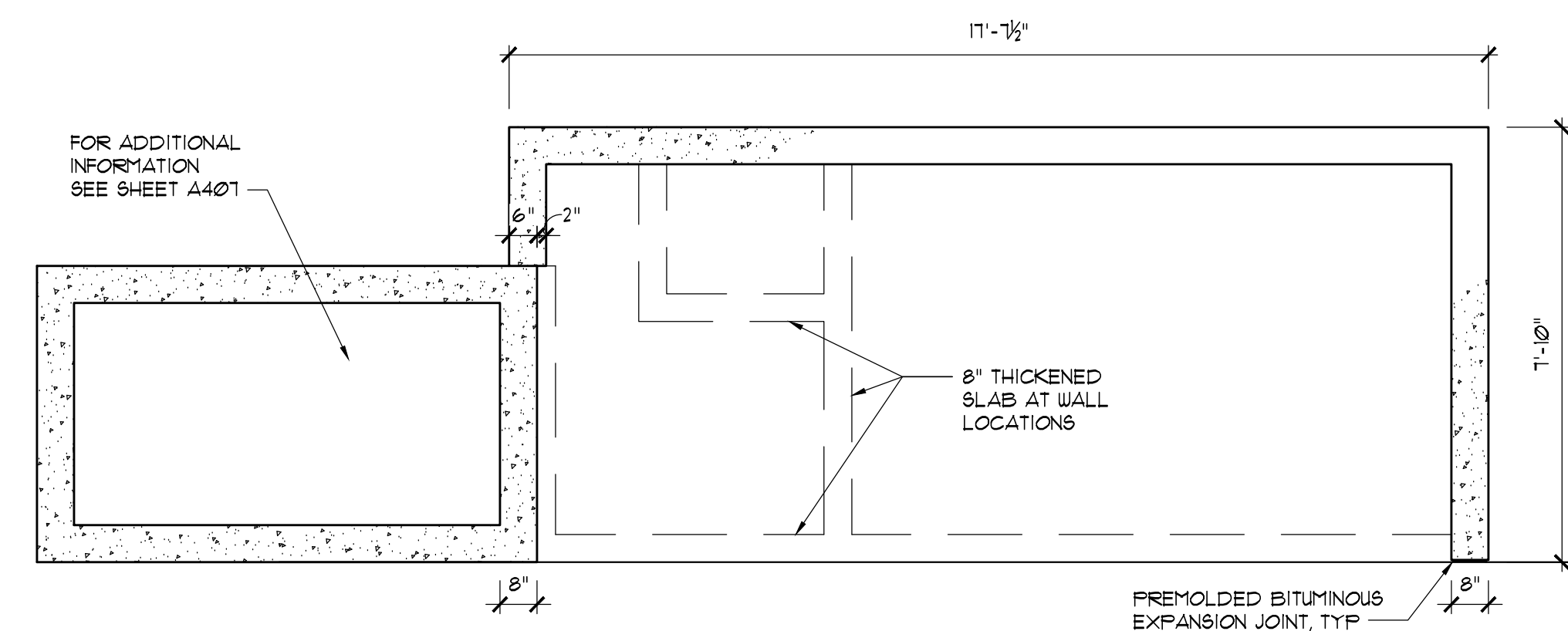
SCALE: 3/8" = 1'-0"



SECTION

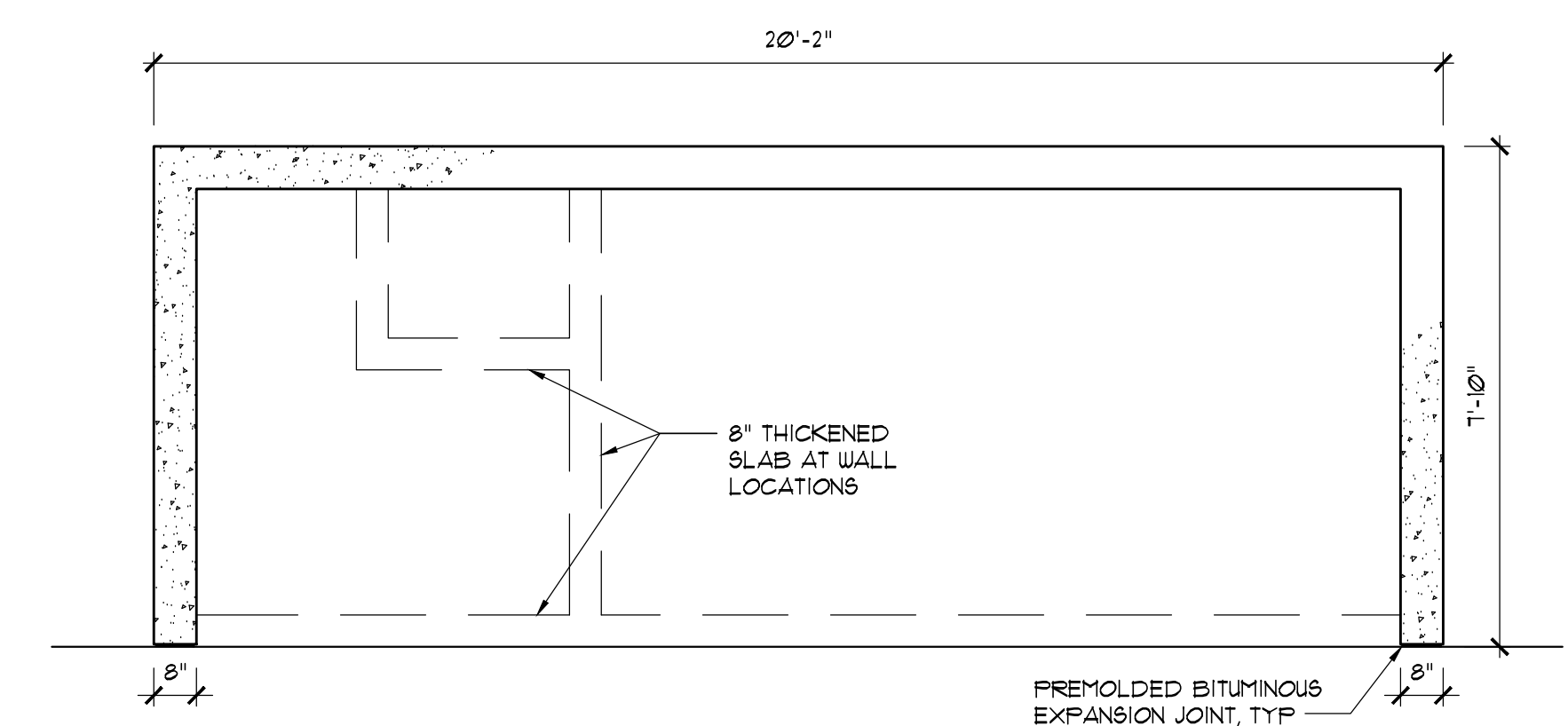
SCALE: 3/8" = 1'-0"

1
A405



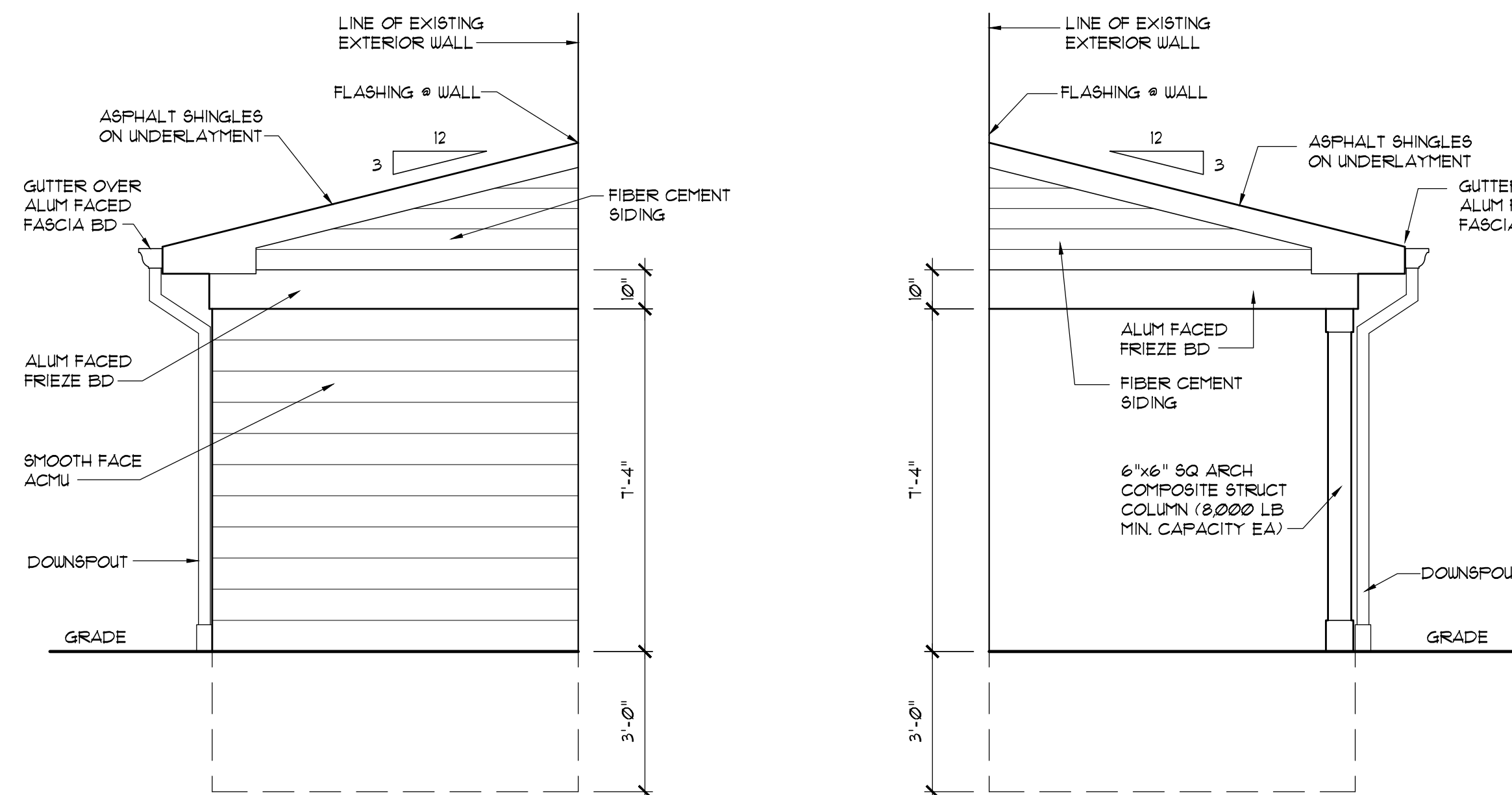
**PORCH TYPE 'E'
FOUNDATION PLAN**

SCALE: 3/8" = 1'-0"



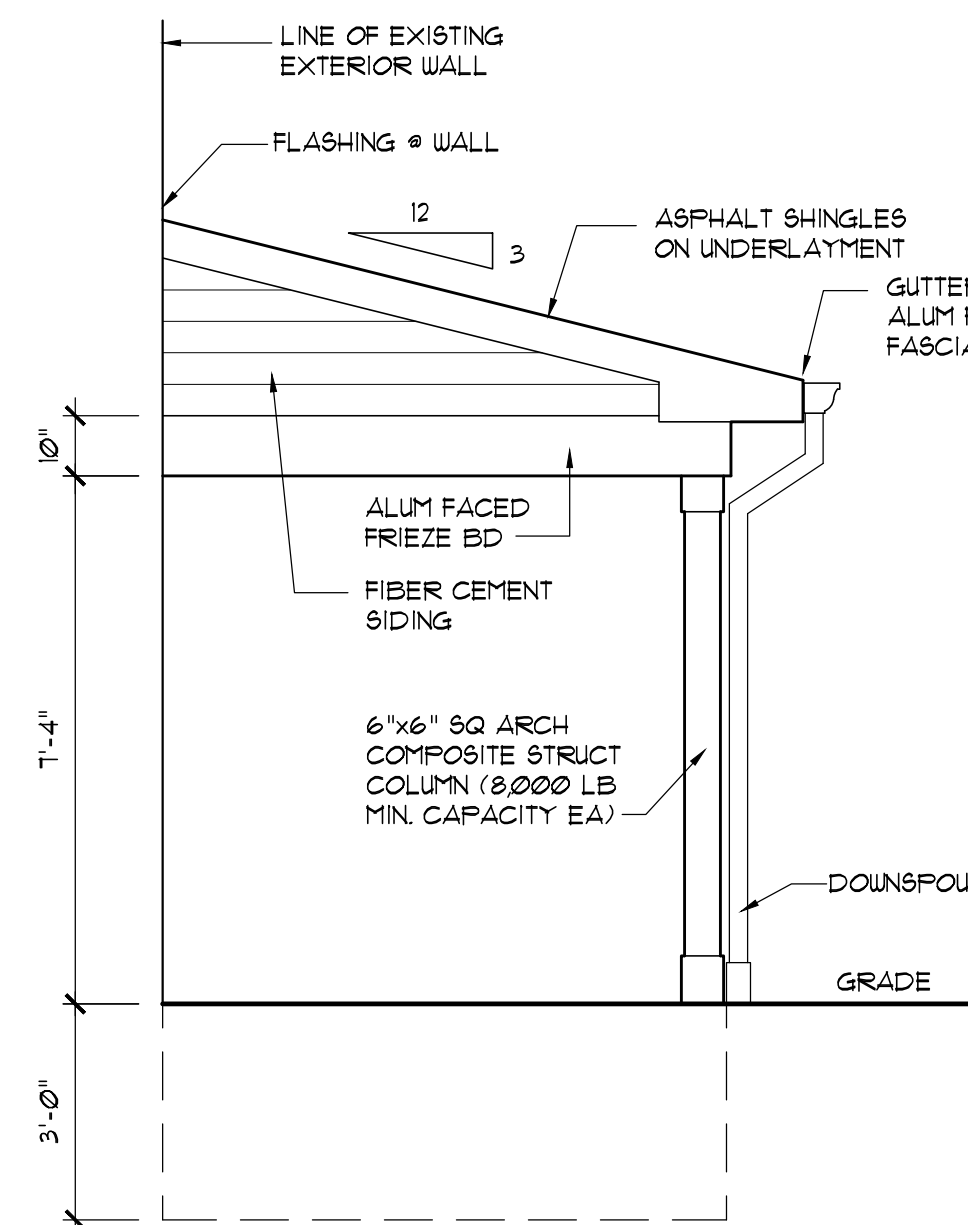
**PORCH TYPE 'D'
FOUNDATION PLAN**

SCALE: 3/8" = 1'-0"



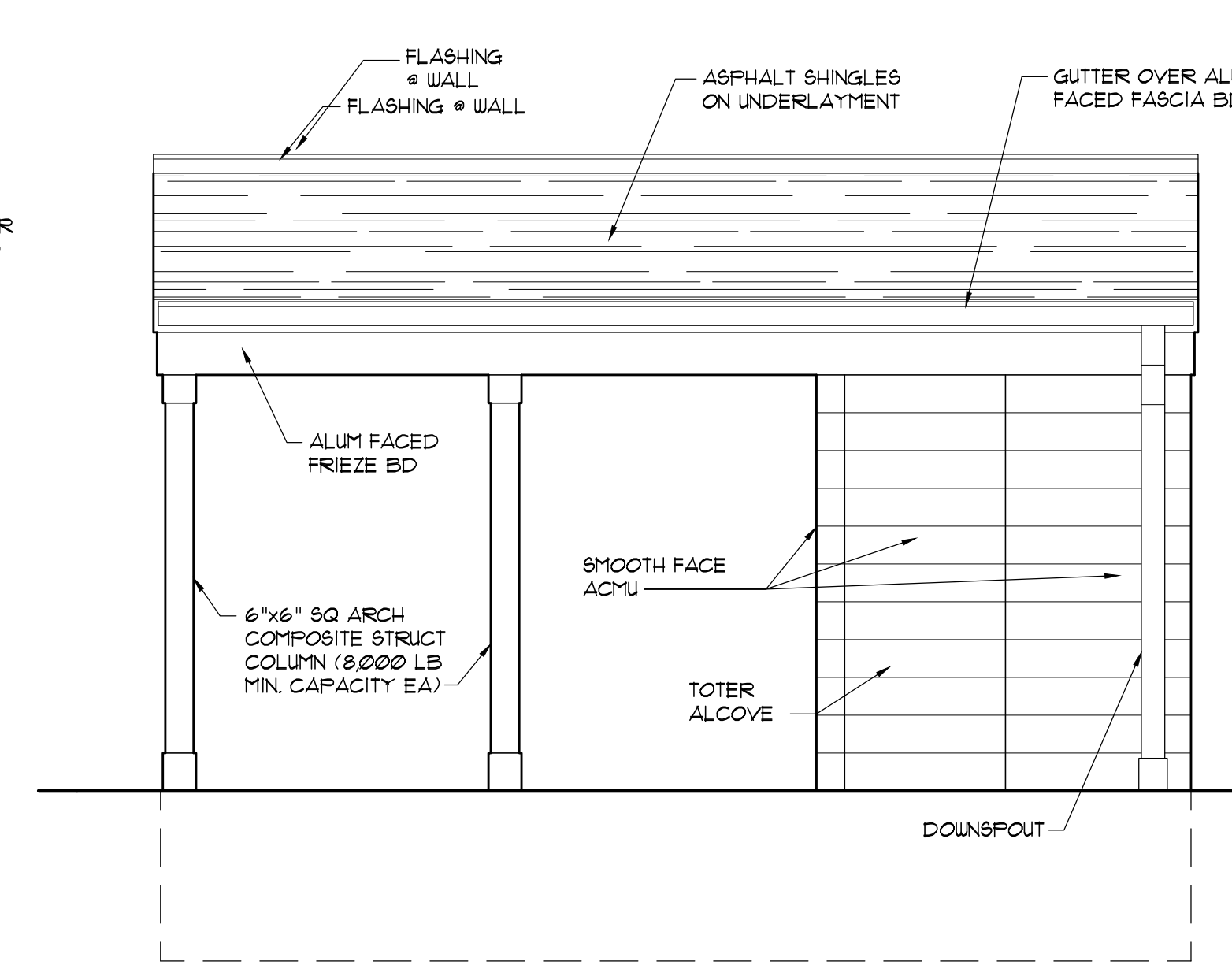
**SIDE ELEVATION
PORCH TYPE 'D' & 'E' (SIM)**

SCALE: 3/8" = 1'-0"



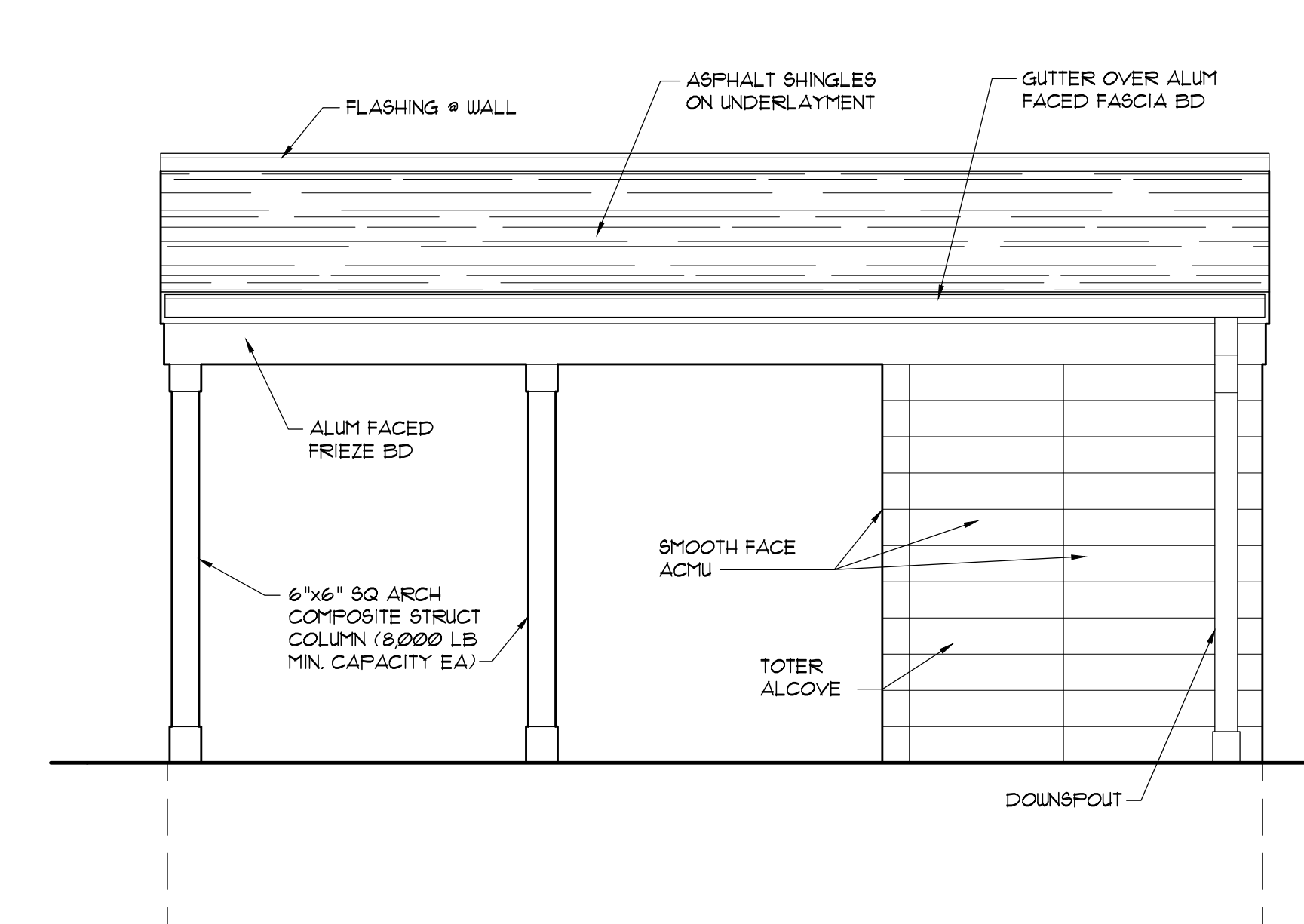
**SIDE ELEVATION
PORCH TYPE 'D' & 'E'**

SCALE: 3/8" = 1'-0"



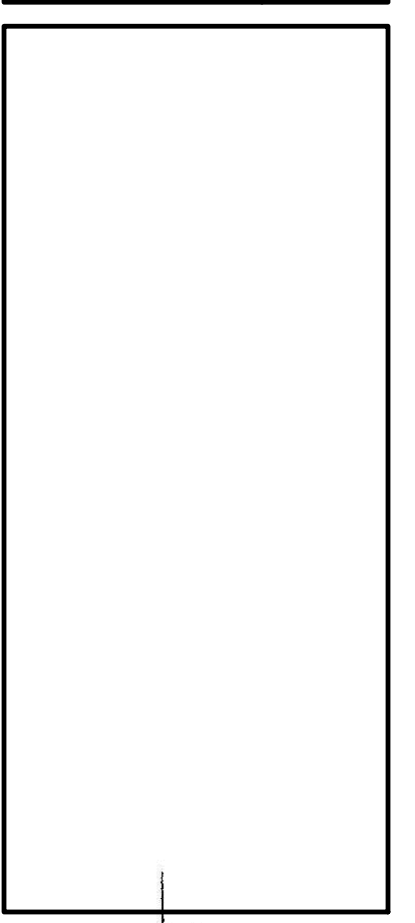
SOUTH ELEVATION - PORCH TYPE 'E'

SCALE: 3/8" = 1'-0"



SOUTH ELEVATION - PORCH TYPE 'D'

SCALE: 3/8" = 1'-0"



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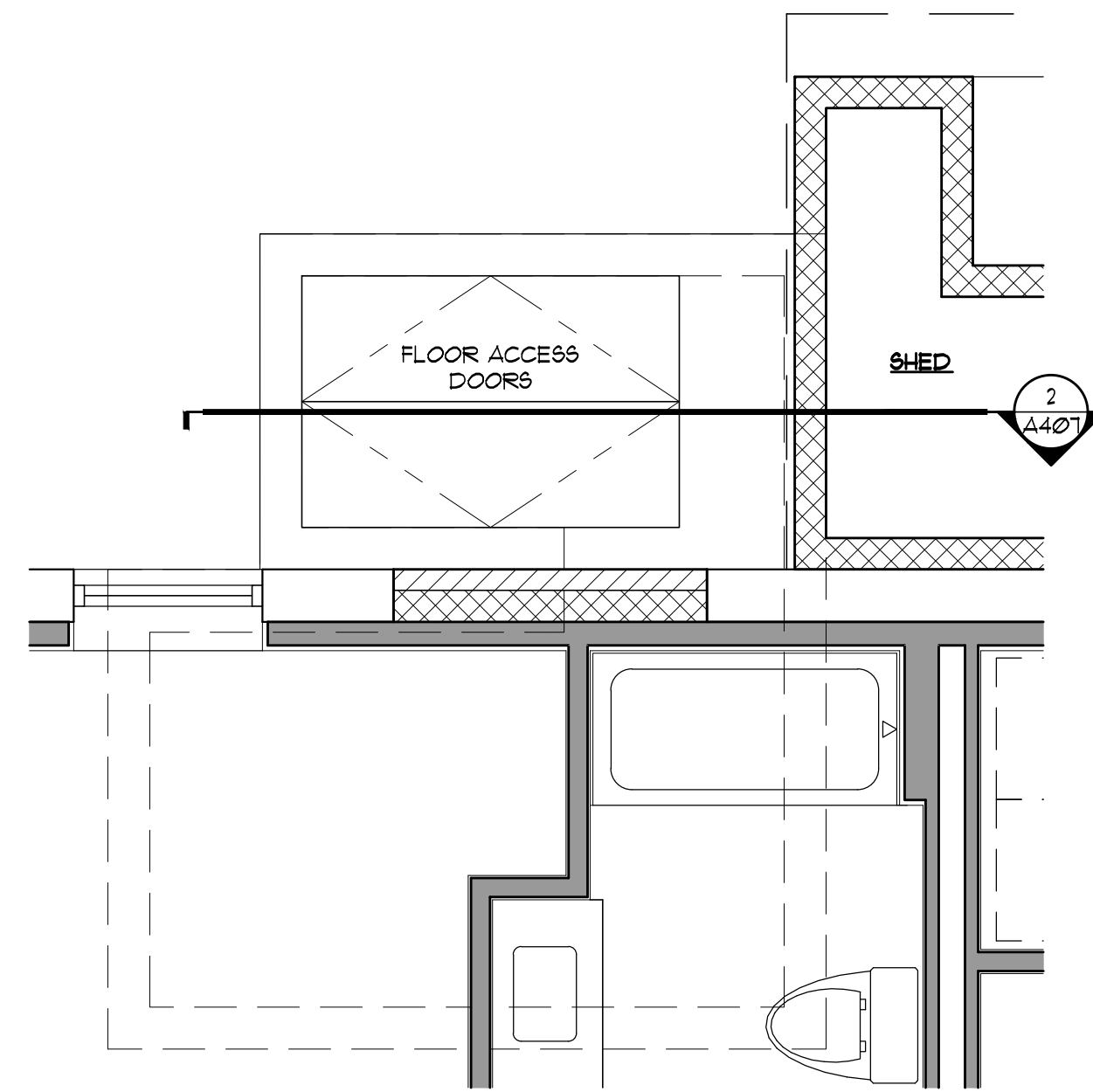
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HARRISBURG HOUSING AUTHORITY

BUILDINGS K, L & M
ENLARGED PORCH 'D' & 'E' PLANS & DETS

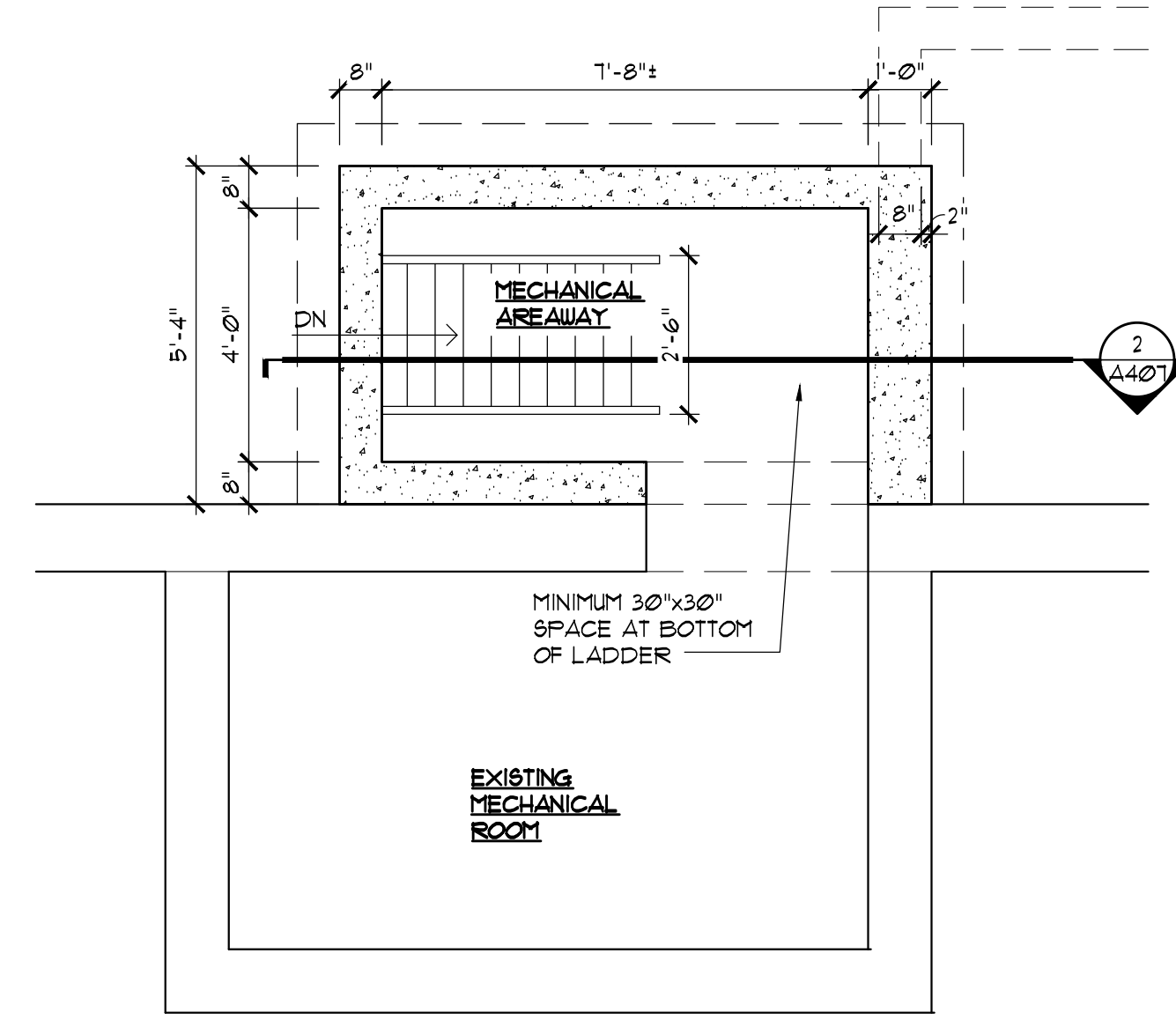
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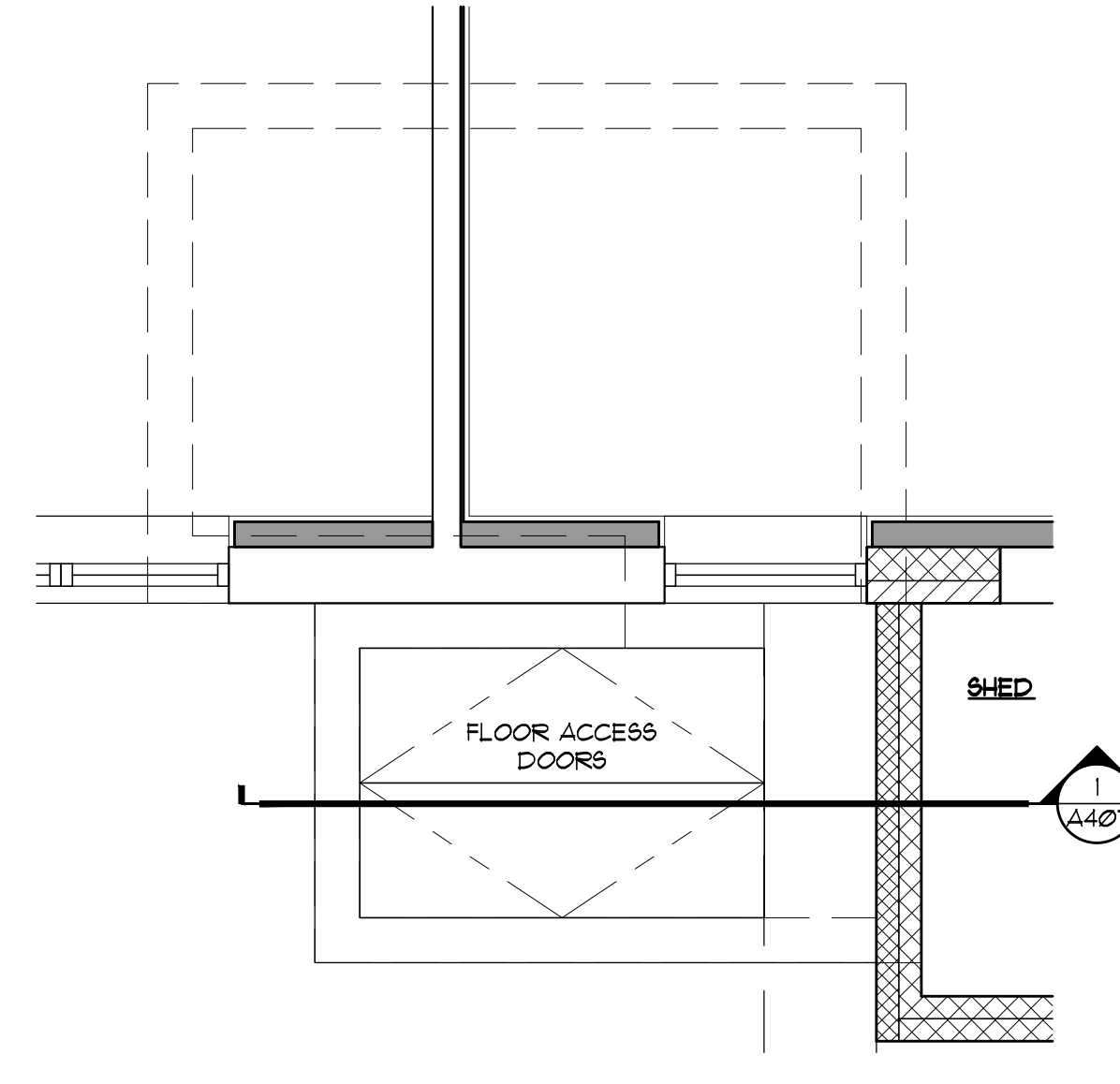
BID DRAWINGS



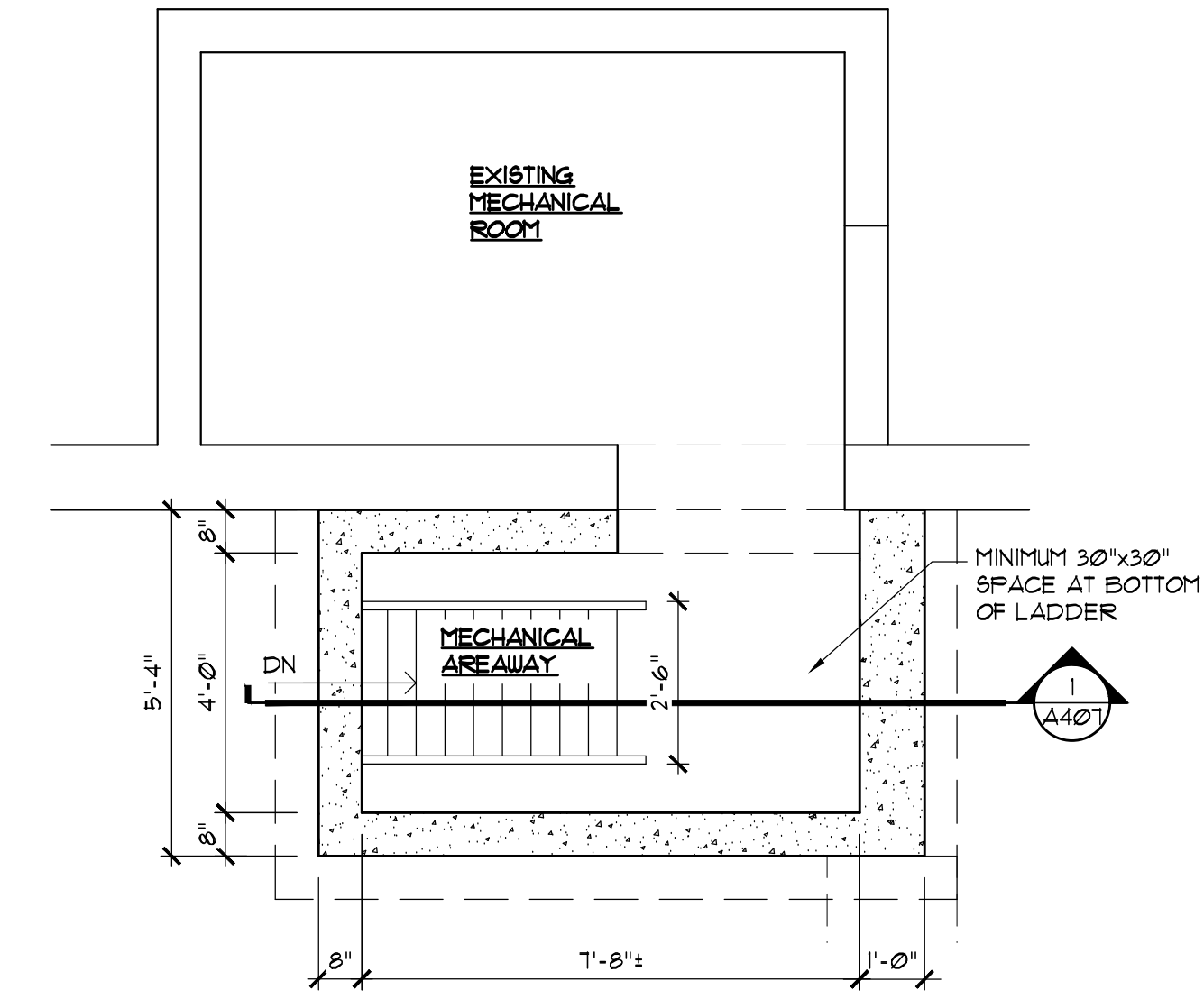
**BUILDING L
FIRST FLOOR PLAN**
SCALE: 3/8" = 1'-0"



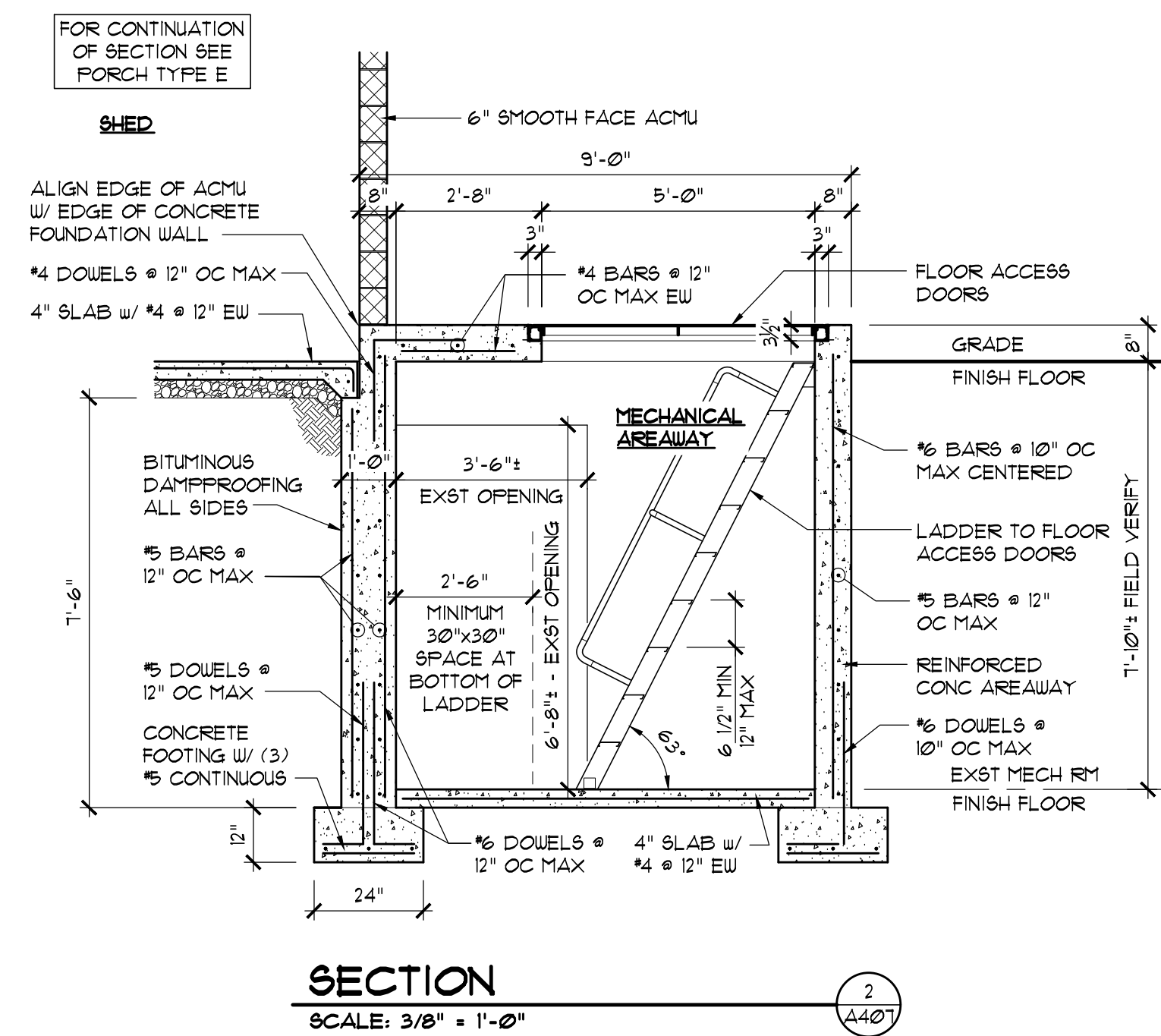
**BUILDING L
MECHANICAL ROOM PLAN**
SCALE: 3/8" = 1'-0"



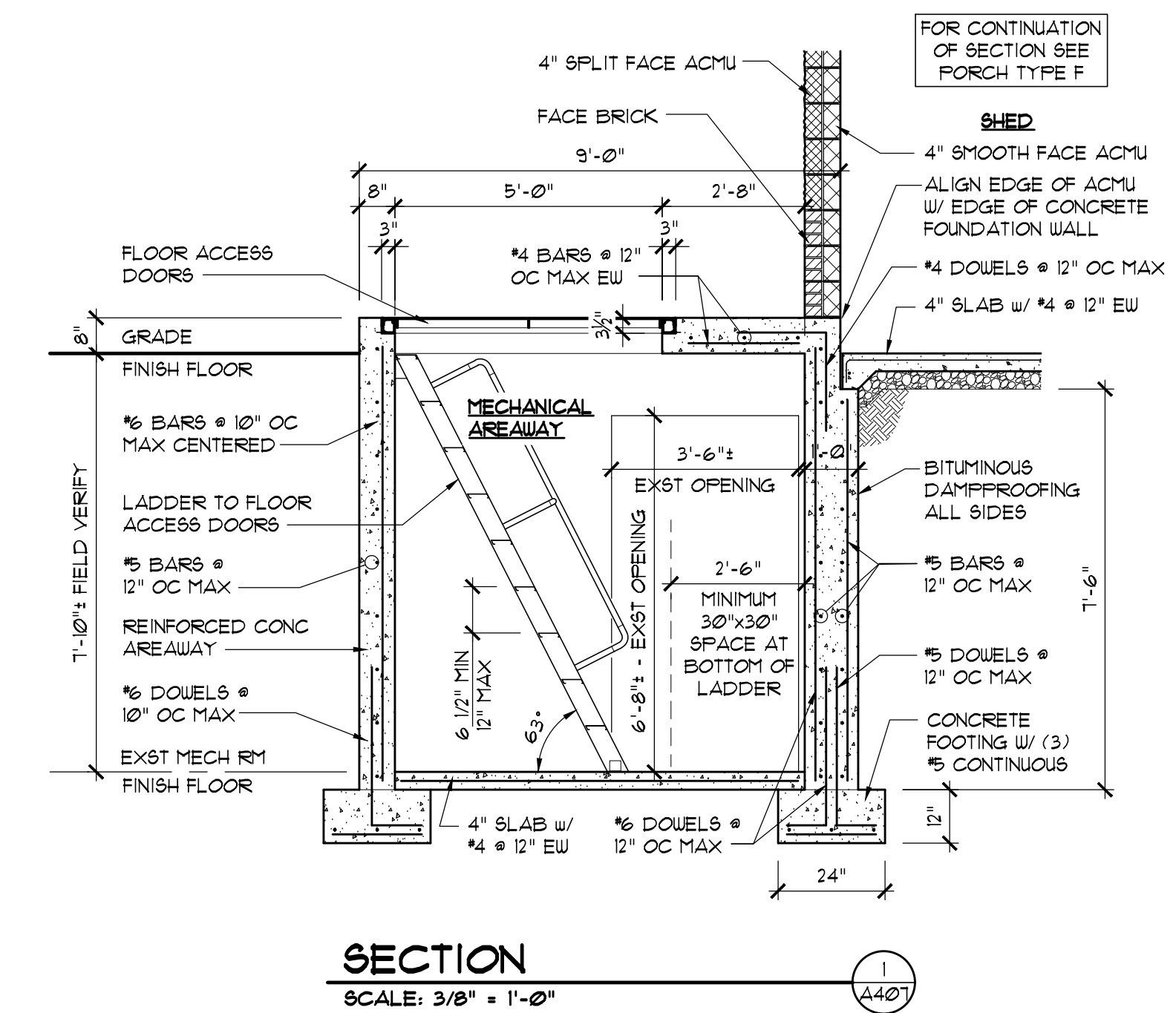
**BUILDINGS K & M
FIRST FLOOR PLAN**
SCALE: 3/8" = 1'-0"



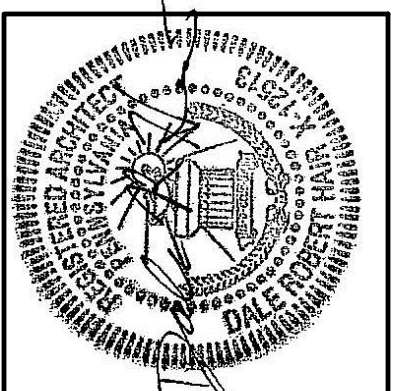
**BUILDINGS K & M
MECHANICAL ROOM PLAN**
SCALE: 3/8" = 1'-0"



SECTION 2
SCALE: 3/8" = 1'-0"



SECTION 1
SCALE: 3/8" = 1'-0"



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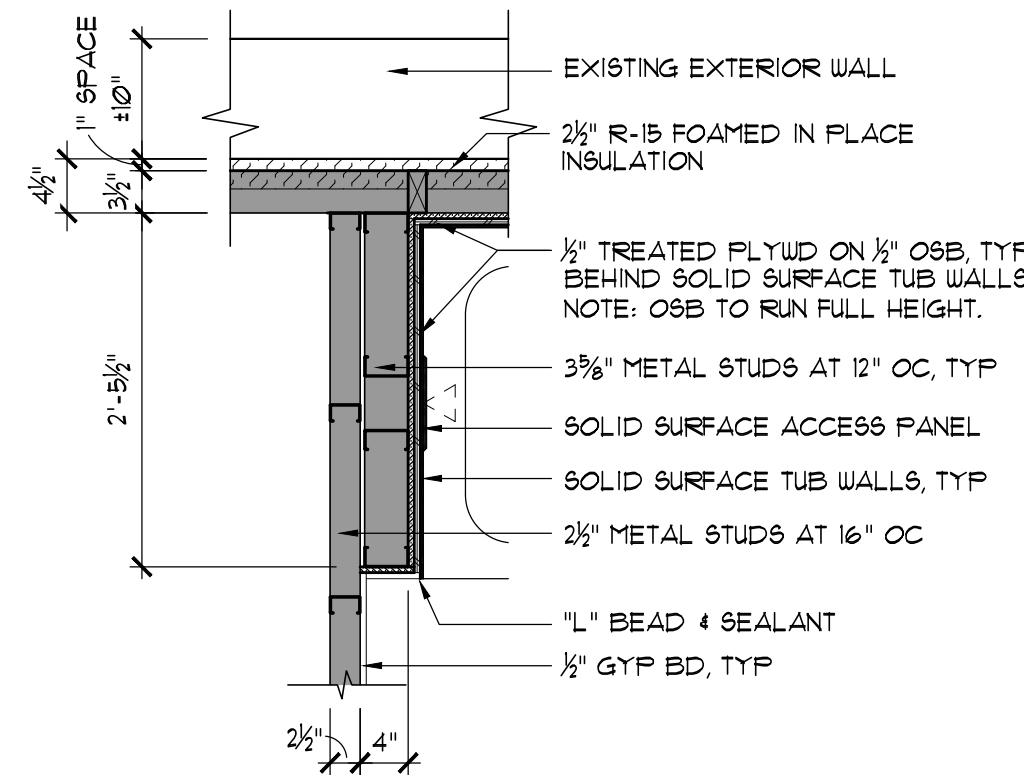
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BUILDINGS K, L & M
ENLARGED MECH RM PLANS & DETAILS

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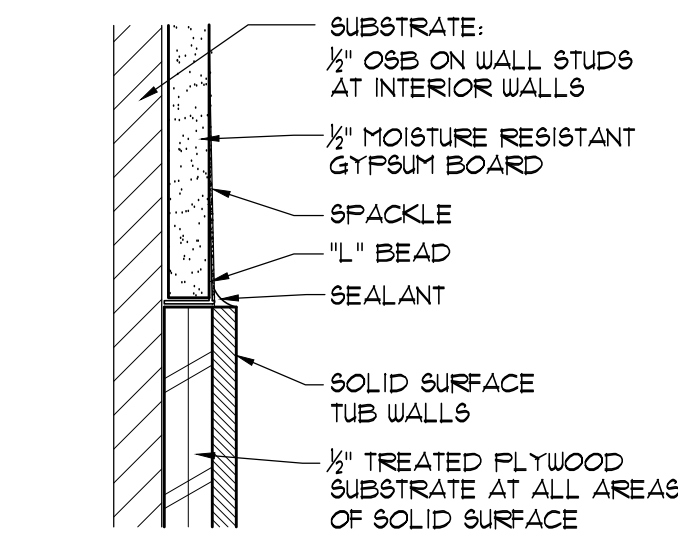
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**TUB CONTROL WALL
TYPICAL PLAN DETAIL**

SCALE: 3/4" = 1'-0"

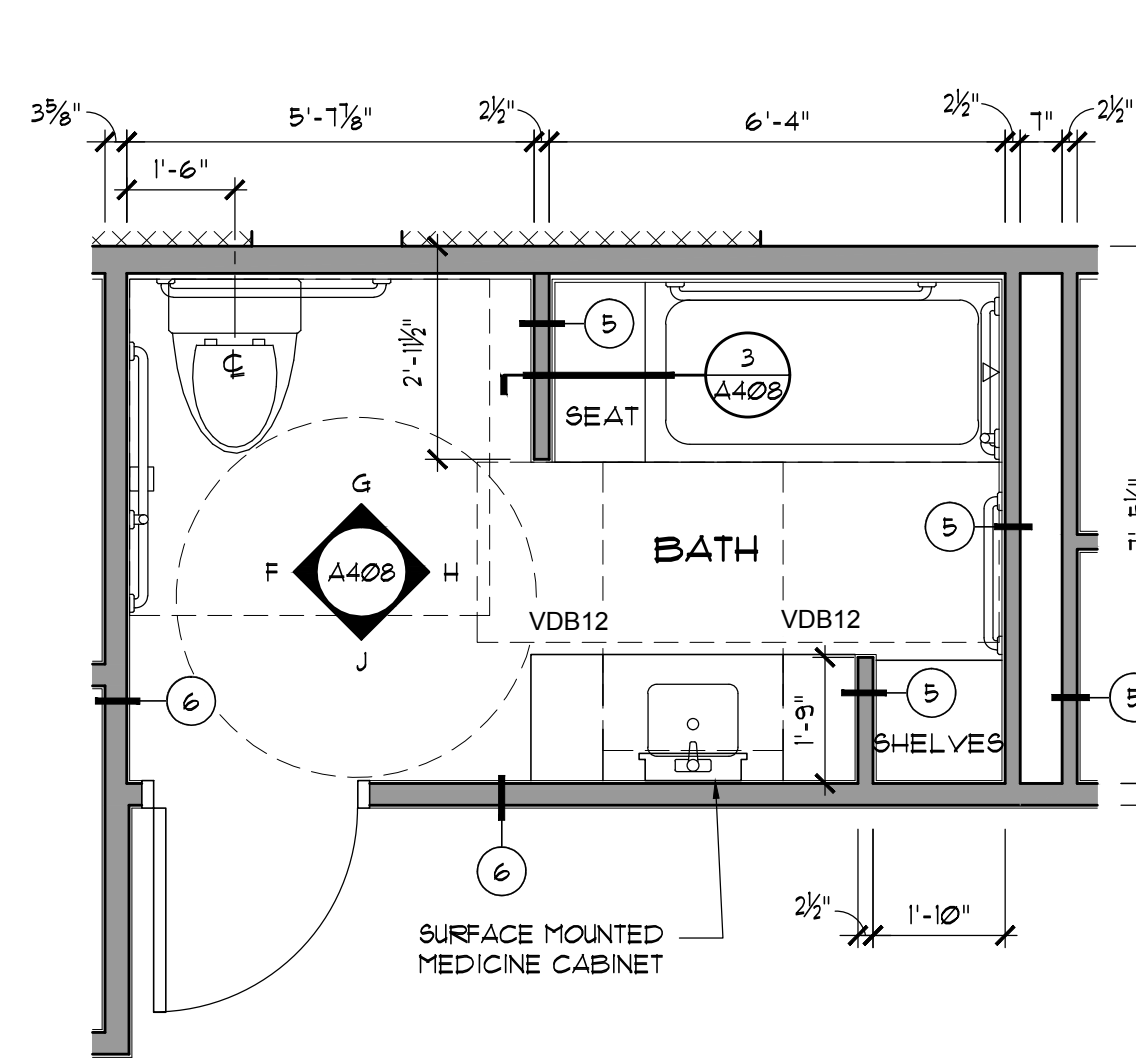
2
A408



**SOLID SURFACE EDGE
TYPICAL DETAIL**

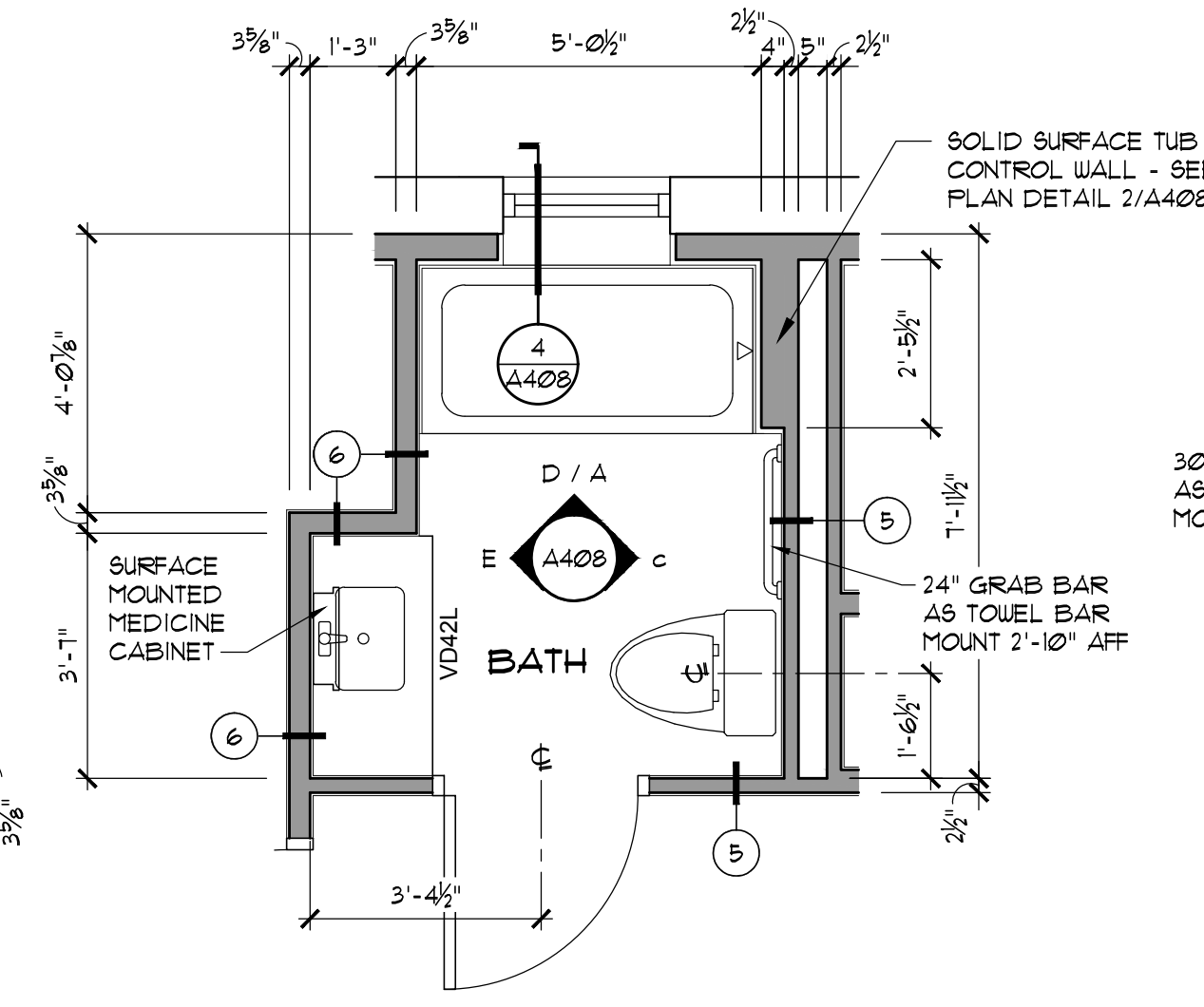
SCALE: 6" = 1'-0"

1
A408



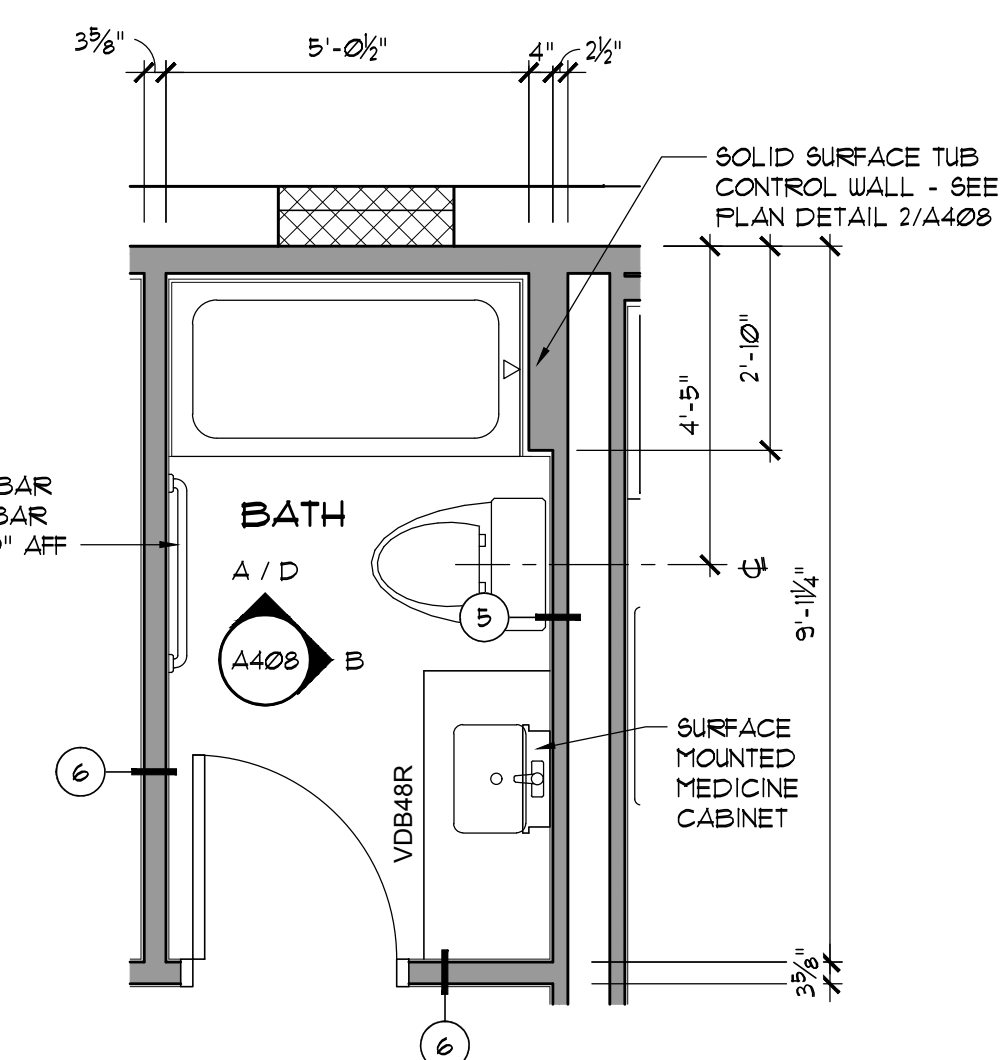
**BATHROOM TYPE 3
TYPICAL ENLARGED PLAN**

SCALE: 3/8" = 1'-0"



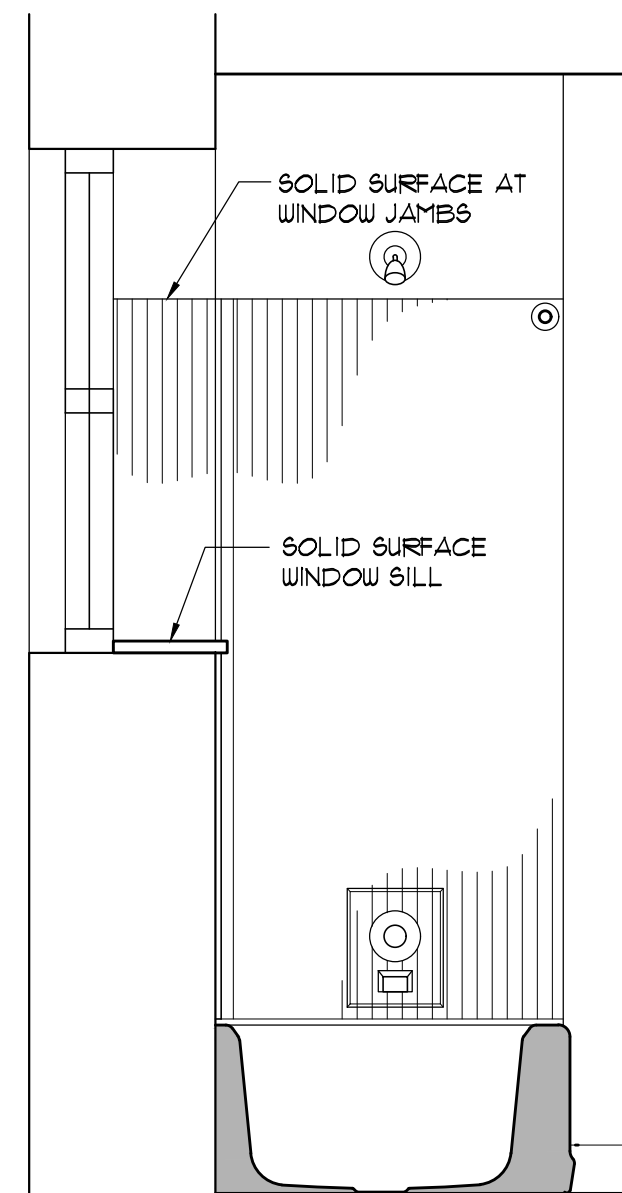
**BATHROOM TYPE 2
TYPICAL ENLARGED PLAN**

SCALE: 3/8" = 1'-0"



**BATHROOM TYPE 1
TYPICAL ENLARGED PLAN**

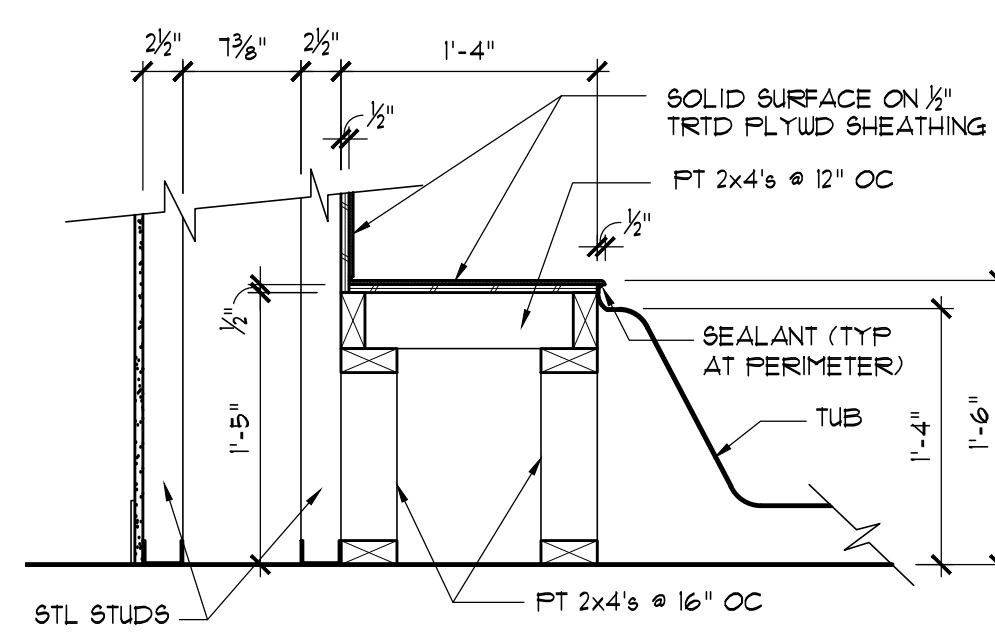
SCALE: 3/8" = 1'-0"



**WINDOW IN SHOWER
SECTIONAL DETAIL**

SCALE: 3/4" = 1'-0"

4
A408



**BUILT-IN TUB SEAT
SECTIONAL DETAIL**

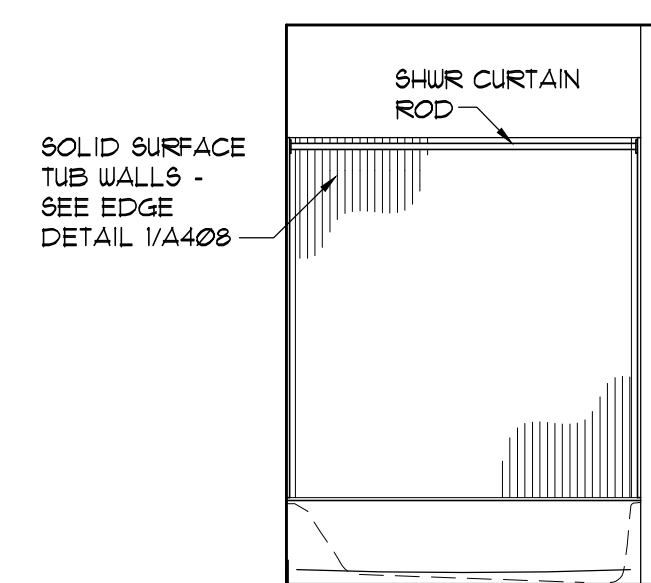
SCALE: 1" = 1'-0"

3
A408

PARTITION TYPES	
NOTE: ALL PARTITIONS ARE TYPE 1 UNLESS INDICATED OTHERWISE. FOR ADDITIONAL PARTITION TYPE LOCATIONS SEE ENLARGED PLANS ON SHEETS, A408, A401, AND A408.	
1	EXISTING INTERIOR PARTITION - REPAIR ANY DAMAGED AREAS AND PREPARE PARTITION TO RECEIVE FINAL PAINTING. PROVIDE A SMOOTH AND FLUSH SURFACE TO MATCH ADJACENT CONSTRUCTION.
2	EXISTING INTERIOR PARTITION WITH 1/2" RC-1 RESILIENT CHANNEL SPACED AT 16" OC HORIZONTAL, 5/8" FIRE RATED SOUND REDUCING GYPSUM BOARD.
3	2 1/2" 25 GAUGE METAL STUDS SPACED AT 24" OC WITH 1/2" FIRE RATED GYPSUM BOARD ON BOTH SIDES WITH 2" THICK MINERAL WOOL BATTS. ONE HOUR FIRE RATED PARTITION - UL DESIGN NO V401. FIRE SEAL AROUND PERIMETER OF PARTITION ONE SIDE.
4	2 X 4 WOOD STUDS WITH 1/2" GYPSUM BOARD ON ALL EXPOSED FACES (USED AT ALL CLOSET DOOR LOCATIONS).
5	2 1/2" 25 GAUGE METAL STUDS SPACED AT 16" OC WITH 1/2" GYPSUM BOARD ON ALL EXPOSED FACES.
6	3 5/8" 25 GAUGE METAL STUDS SPACED AT 16" OC WITH 1/2" GYPSUM BOARD ON ALL EXPOSED FACES.
7	4" 25 GAUGE METAL STUDS SPACED AT 16" OC WITH 1/2" GYPSUM BOARD ON ALL EXPOSED FACES. (USE AT ELECTRICAL PANEL LOCATIONS)

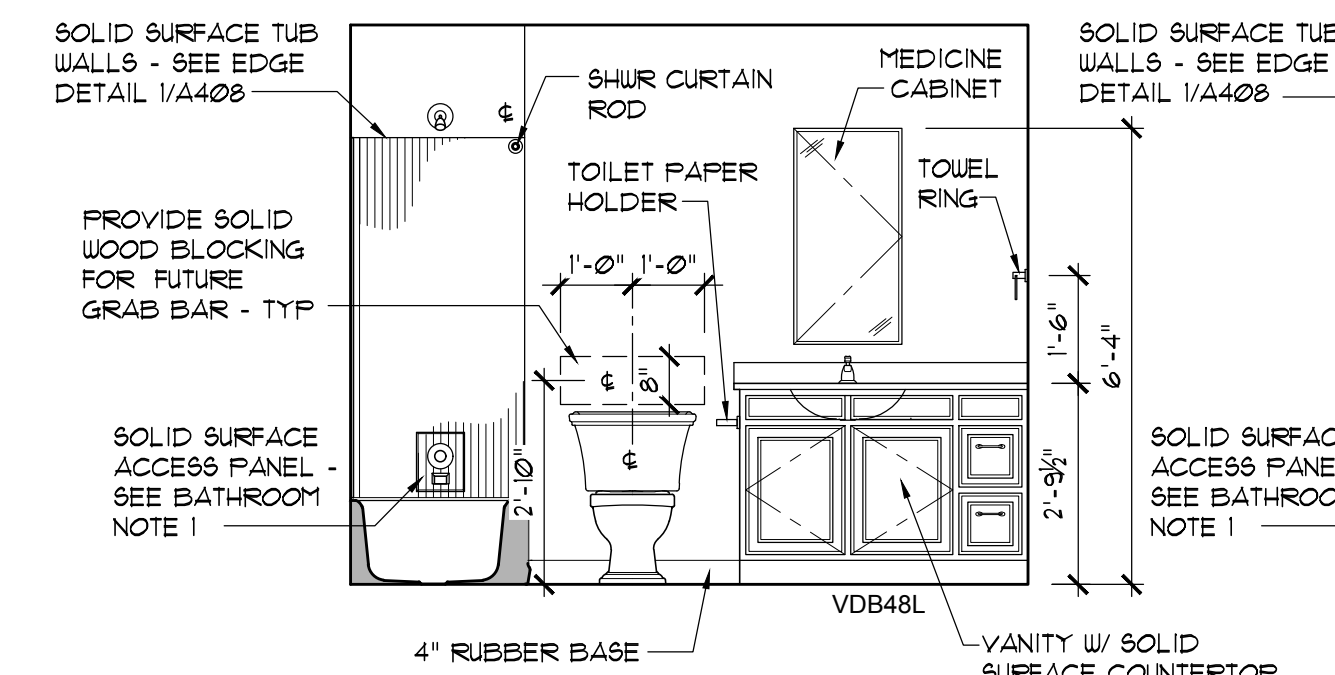
GENERAL NOTES	
1.	ALL DIMENSIONS SHOWN ARE FACE OF STUD TO FACE OF STUD OR FACE OF EXISTING WALL.
2.	PROVIDE SEALANT BETWEEN TOP EDGE OF SOLID SURFACE COUNTERTOP AND WALL AT ALL LOCATIONS.

BATHROOM NOTES	
1.	IN ALL BATHROOMS PROVIDE ACCESS PANEL IN TUB SURROUND FOR ACCESS TO PLUMBING - PANEL TO BE SOLID SURFACE MATERIAL, TO OVERLAP TUB WALL PANEL 4 TO BE SEALED AT PERIMETER WITH SEALANT AND ANCHORED TO WALL WITH STAINLESS STEEL SCREWS AND RUBBER WASHERS. COUNTERSINK INTO MATERIAL AT ALL FOUR CORNERS - COORDINATE SIZE AND LOCATION WITH PLUMBING CONSTRUCTION CONTRACT.
2.	PROVIDE BLOCKING IN WALL BEHIND SURFACE MOUNTED MEDICINE CABINET FOR SECURE MOUNTING.
3.	ALL ACCESSORIES TO BE SURFACE MOUNTED. PROVIDE WOOD BLOCKING OR CONCEALED ANCHOR PLATES FOR ACCESSORIES MOUNTED IN GYP BD PARTITIONS. ALL WEIGHT BEARING ACCESSORIES TO CARRY MIN LOAD OF 250 POUNDS.



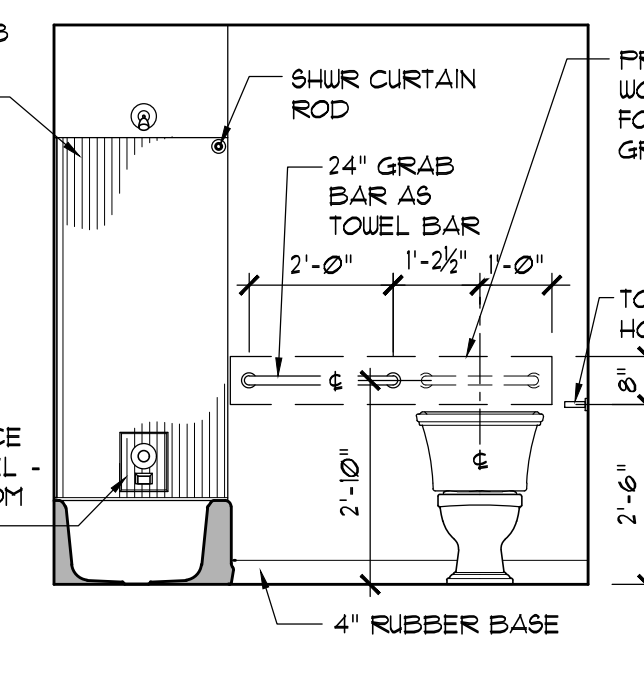
ELEVATION A

SCALE: 3/8" = 1'-0"



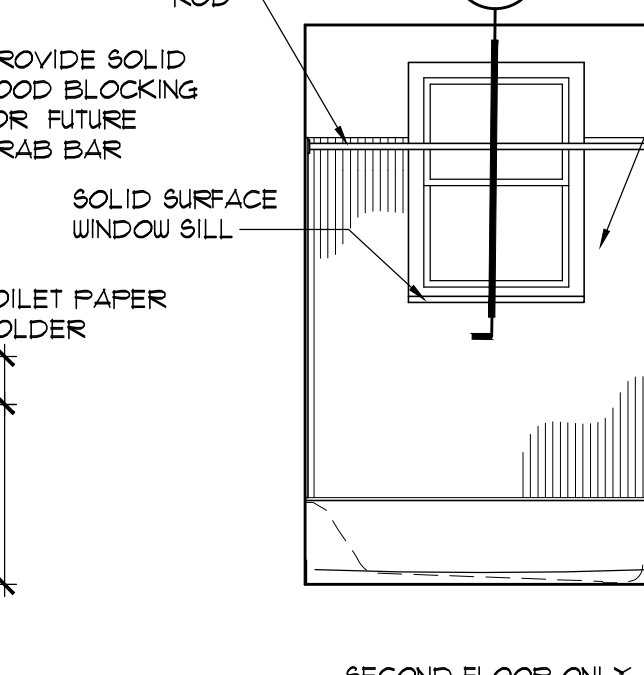
ELEVATION B

SCALE: 3/8" = 1'-0"



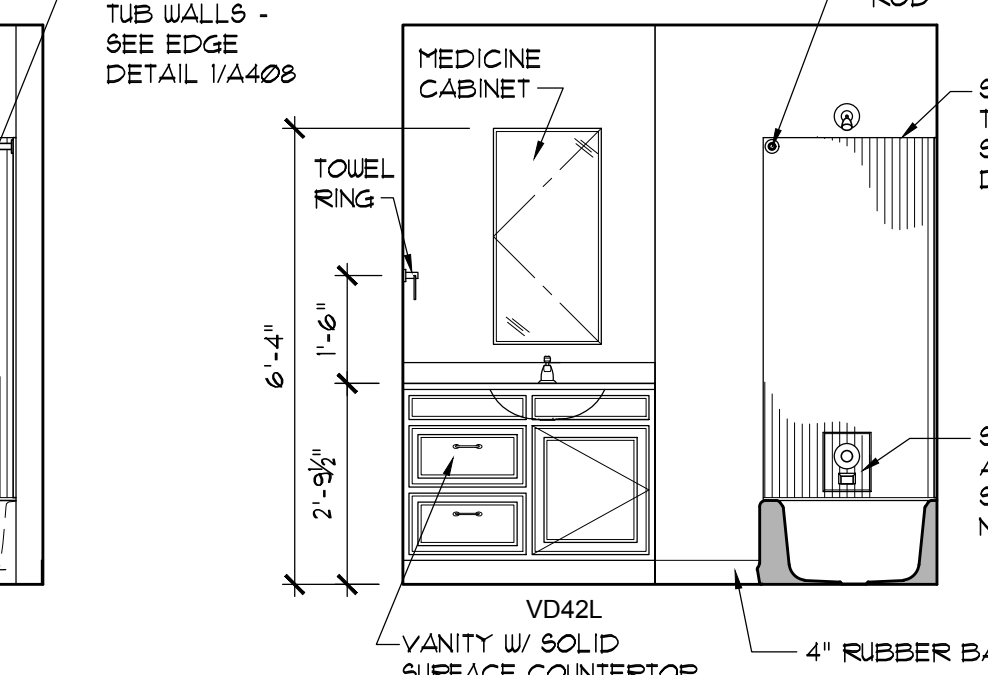
ELEVATION C

SCALE: 3/8" = 1'-0"



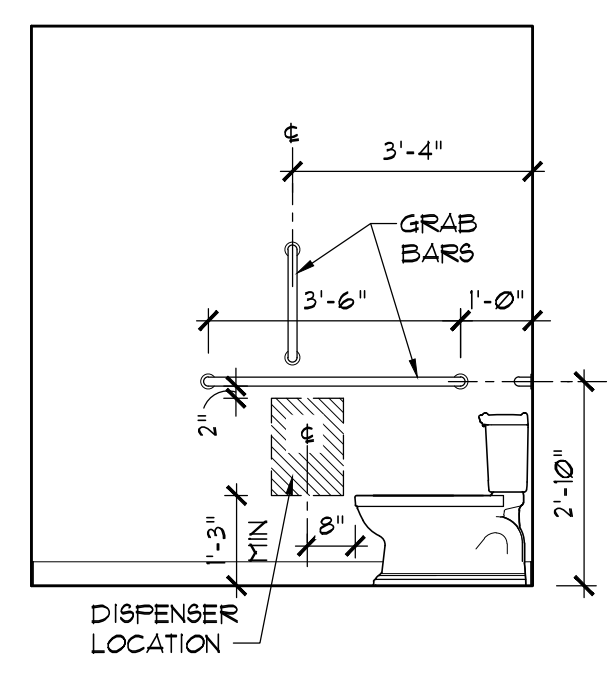
ELEVATION D

SCALE: 3/8" = 1'-0"



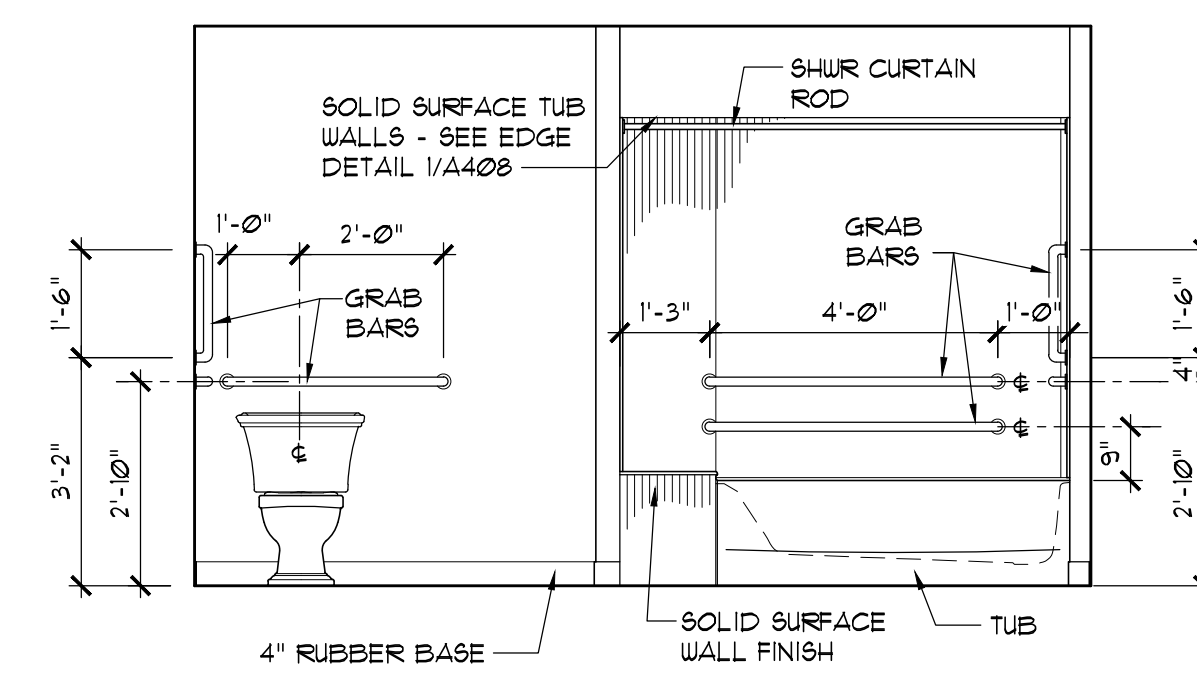
ELEVATION E

SCALE: 3/8" = 1'-0"



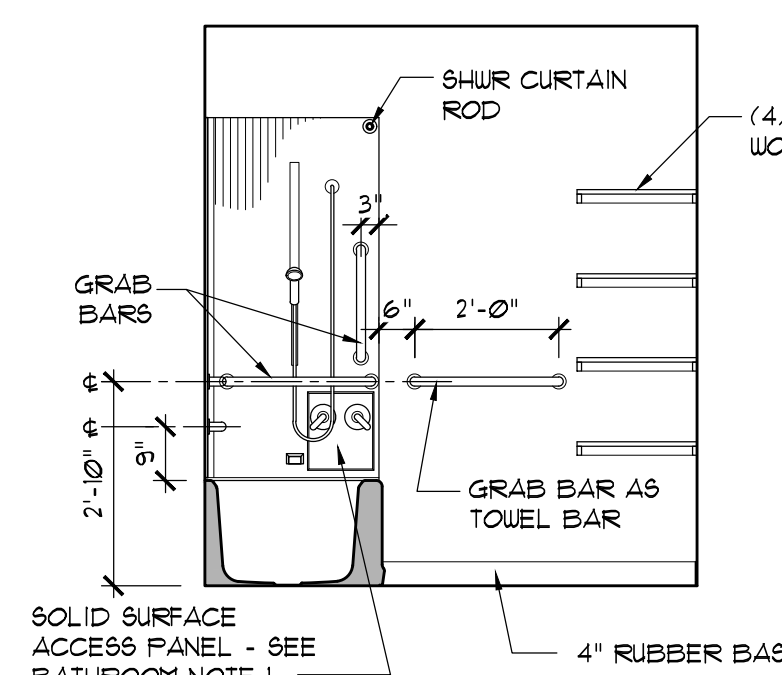
ELEVATION F

SCALE: 3/8" = 1'-0"



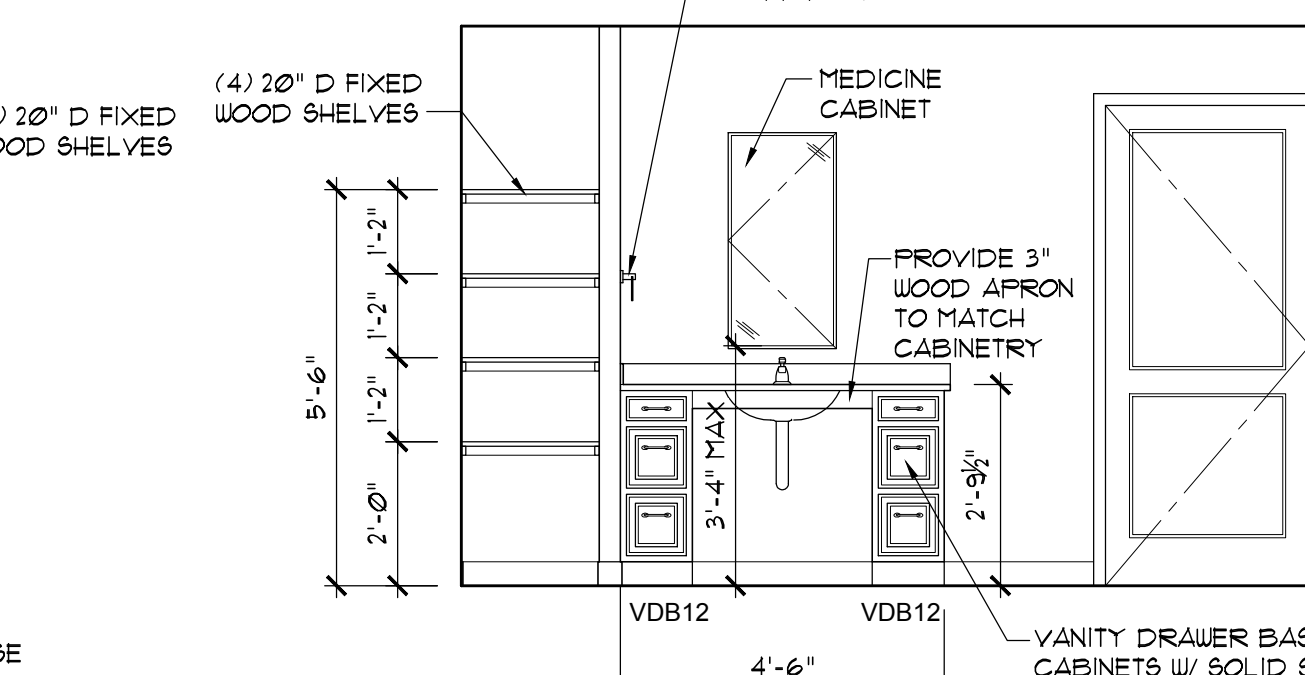
ELEVATION G

SCALE: 3/8" = 1'-0"



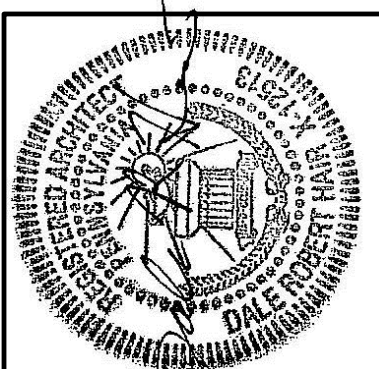
ELEVATION H

SCALE: 3/8" = 1'-0"



ELEVATION J

SCALE: 3/8" = 1'-0"



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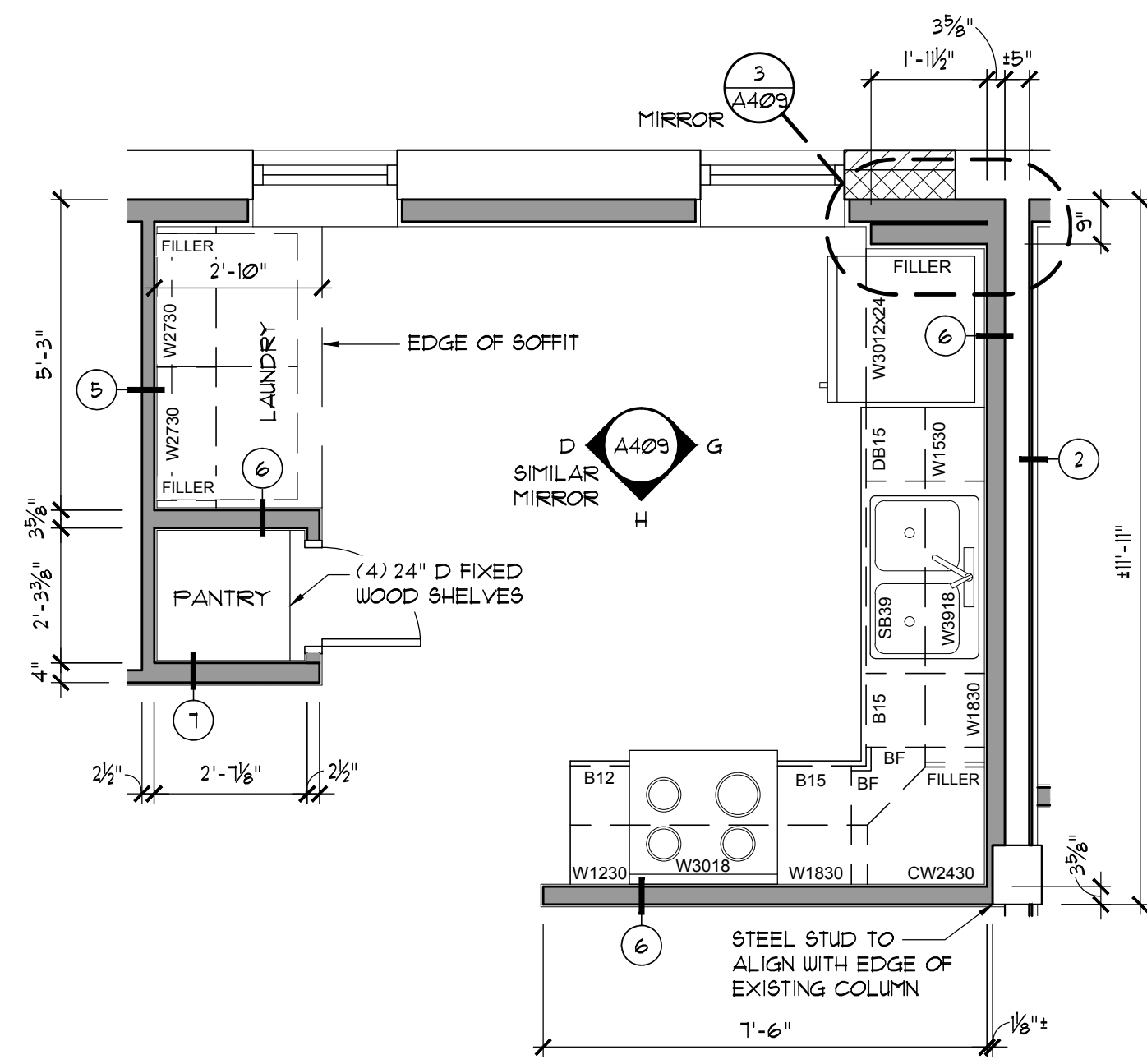
BUILDINGS K, L & M
ENLARGED BATH PLANS, ELEV & DETAILS

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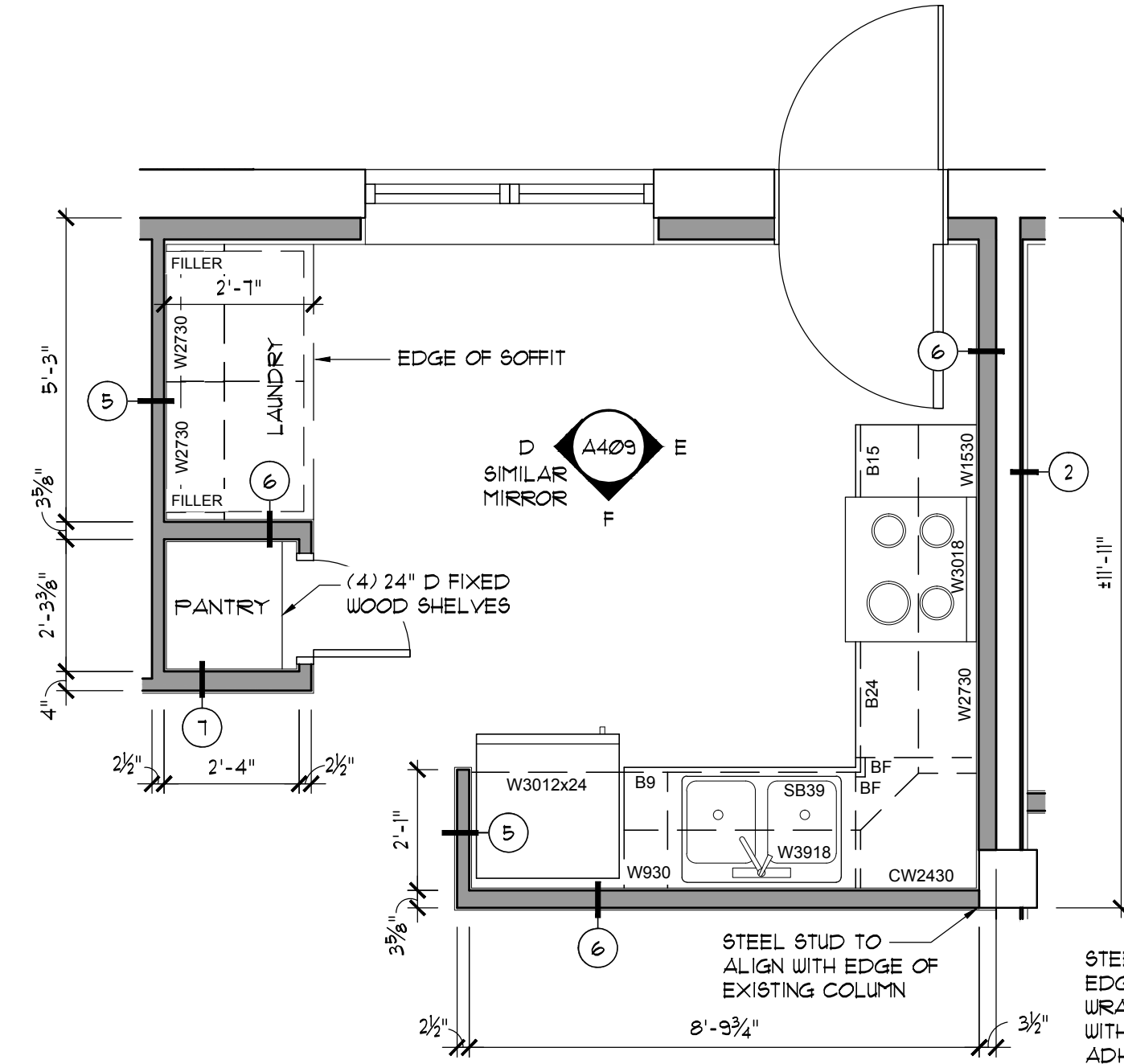
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SHEET
A408

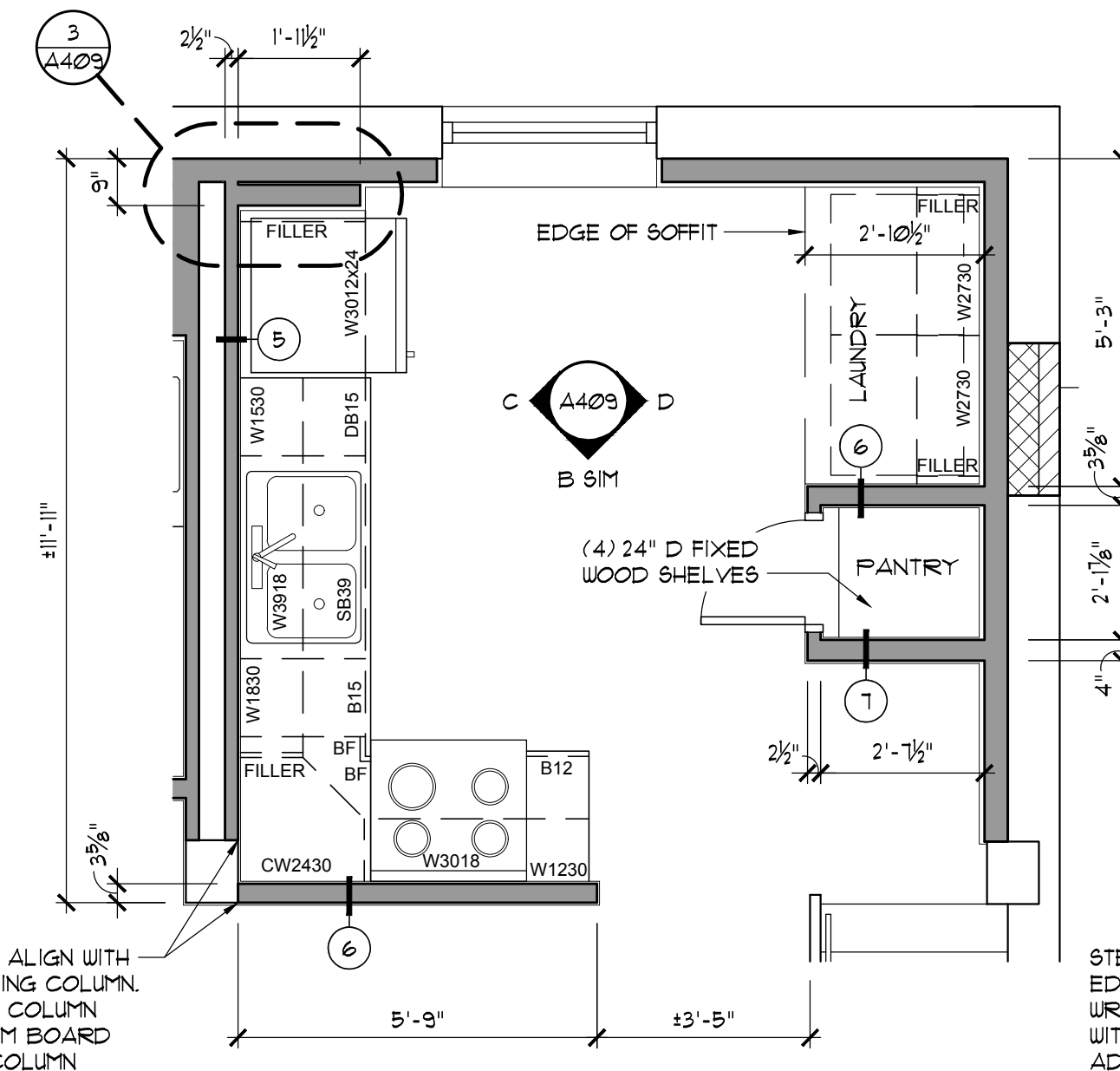
BID DRAWINGS



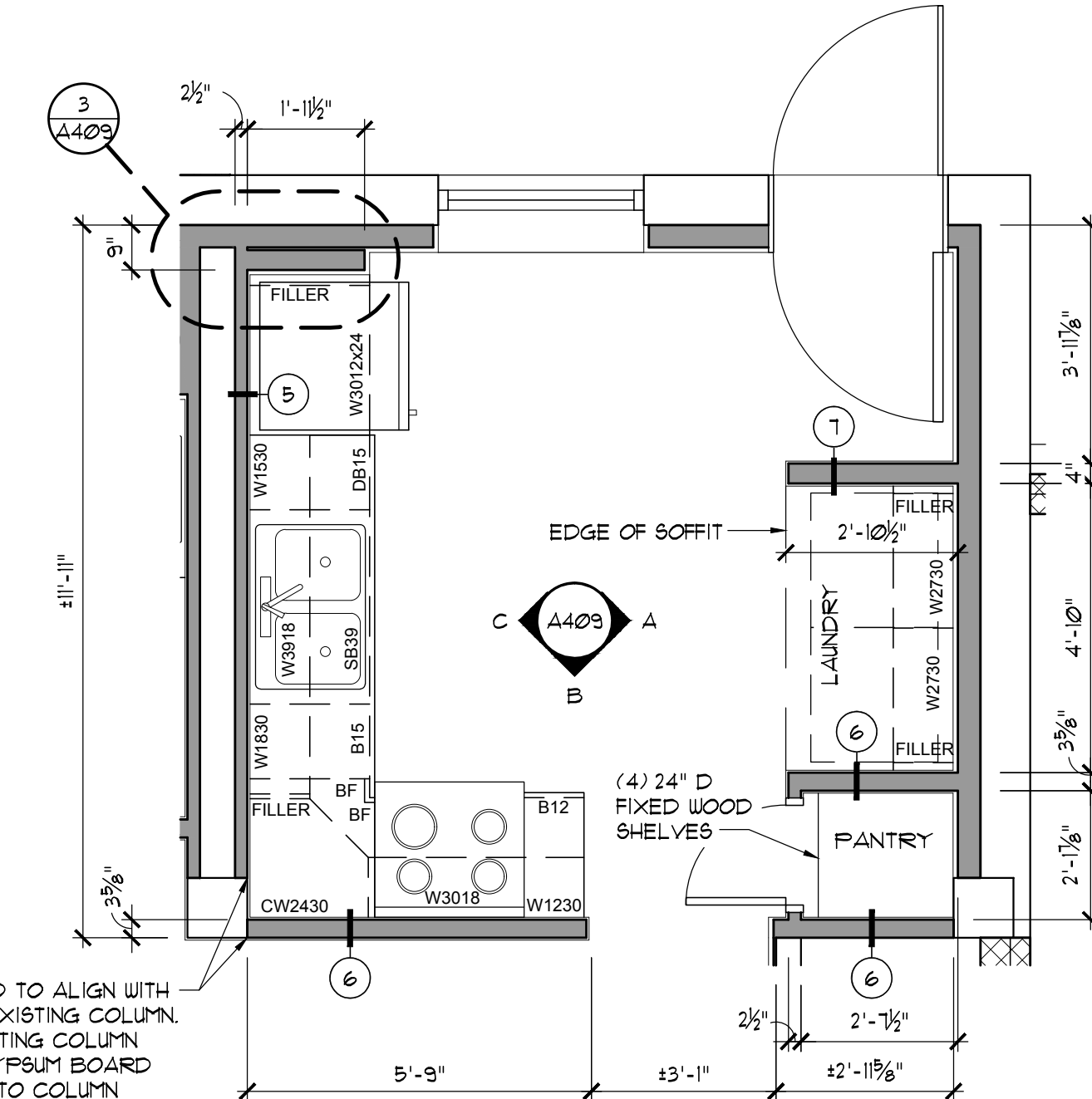
**KITCHEN TYPE 4
TYPICAL ENLARGED PLAN**
SCALE: 3/8" = 1'-0"



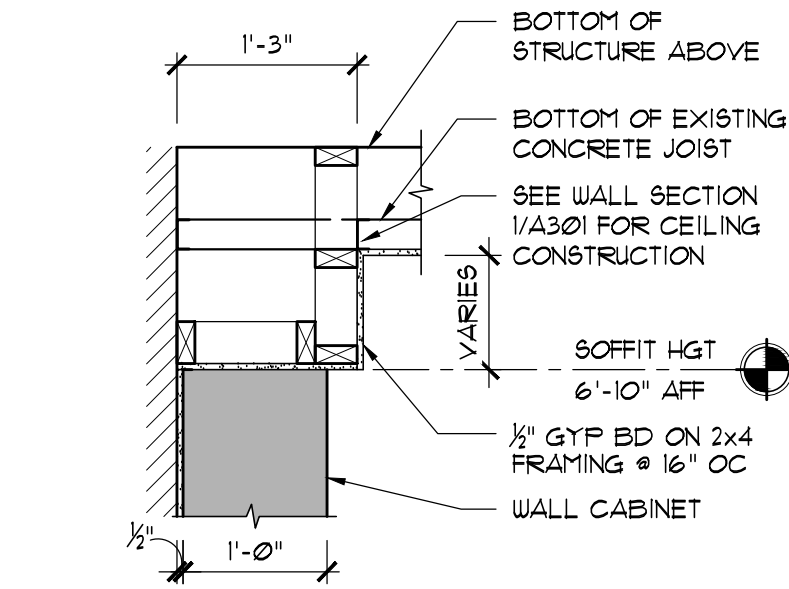
**KITCHEN TYPE 3
TYPICAL ENLARGED PLAN**
SCALE: 3/8" = 1'-0"



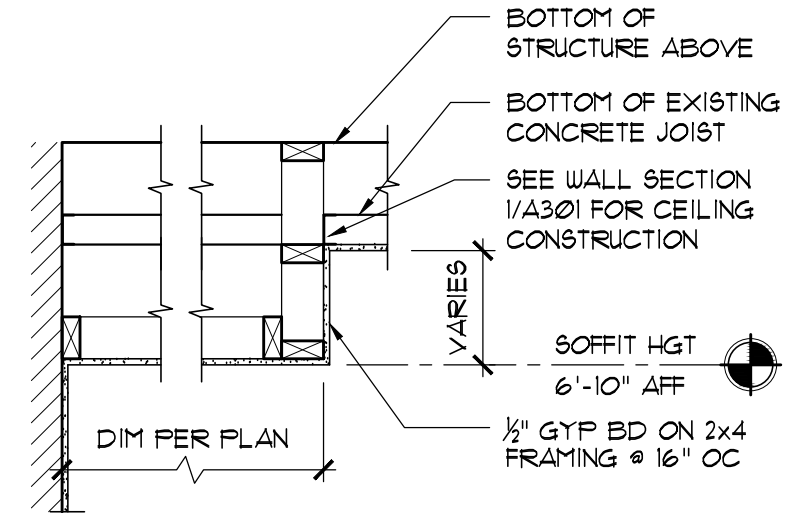
**KITCHEN TYPE 2
TYPICAL ENLARGED PLAN**
SCALE: 3/8" = 1'-0"



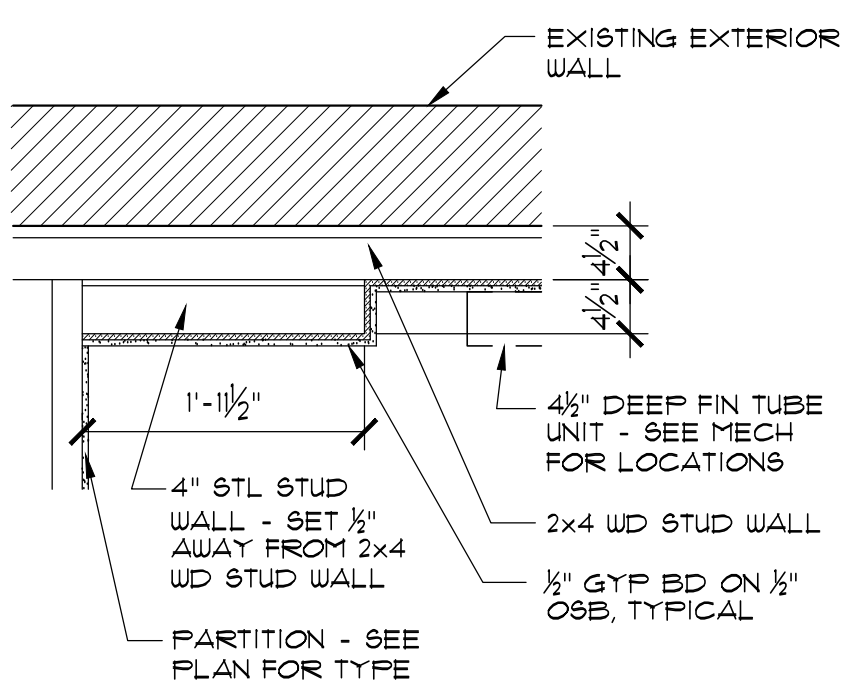
**KITCHEN TYPE 1
TYPICAL ENLARGED PLAN**
SCALE: 3/8" = 1'-0"



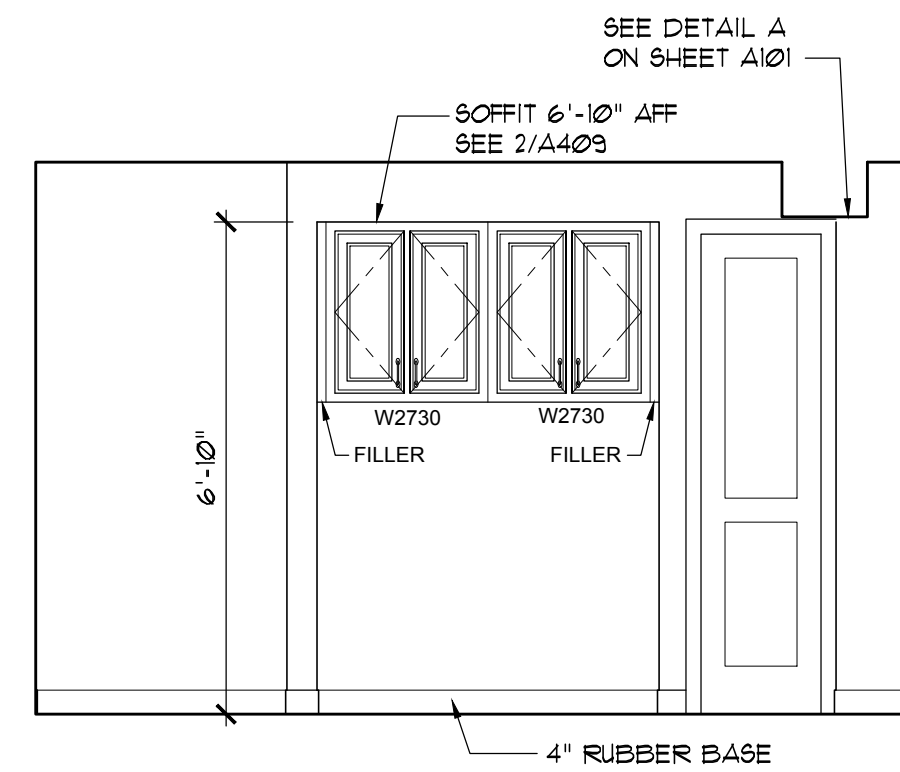
**KITCHEN CABINET
TYPICAL SOFFIT DETAIL**
SCALE: 3/4" = 1'-0"



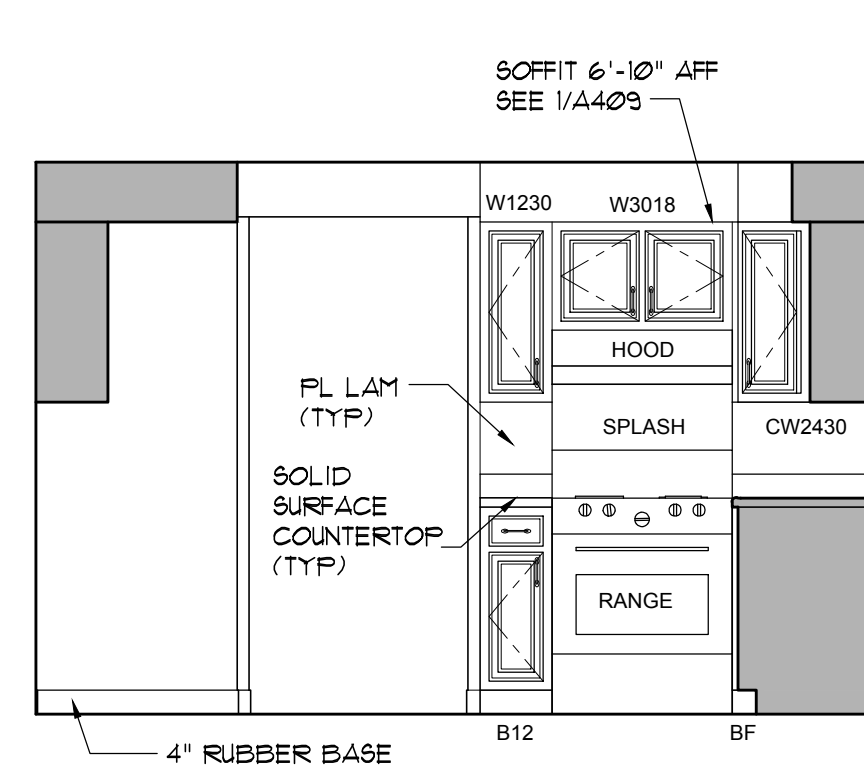
**LAUNDRY & REFRIG
TYPICAL SOFFIT DETAIL**
SCALE: 3/4" = 1'-0"



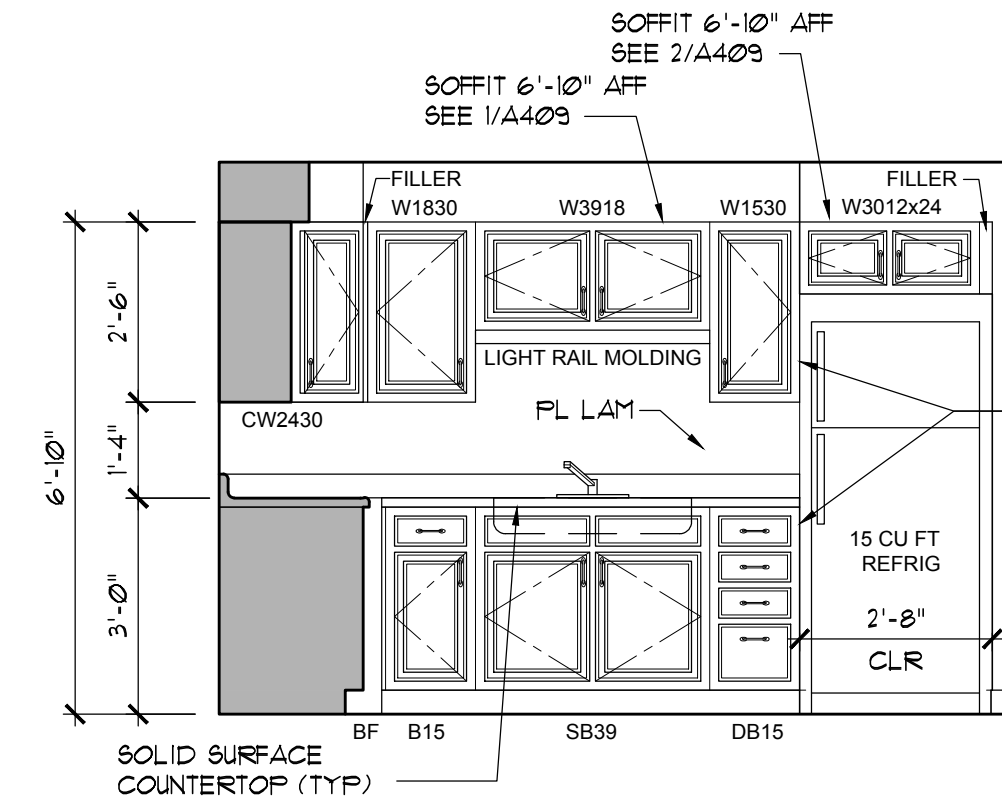
DETAIL
SCALE: 3/4" = 1'-0"



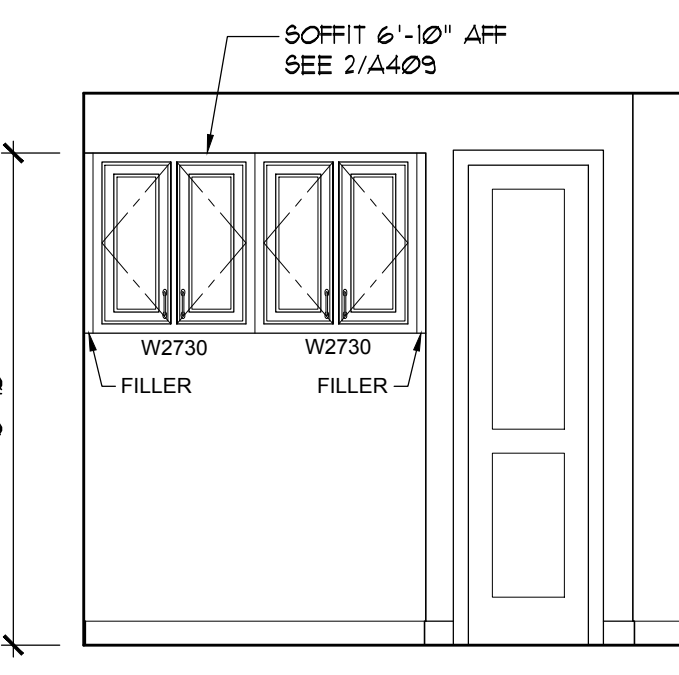
ELEVATION A
SCALE: 3/8" = 1'-0"



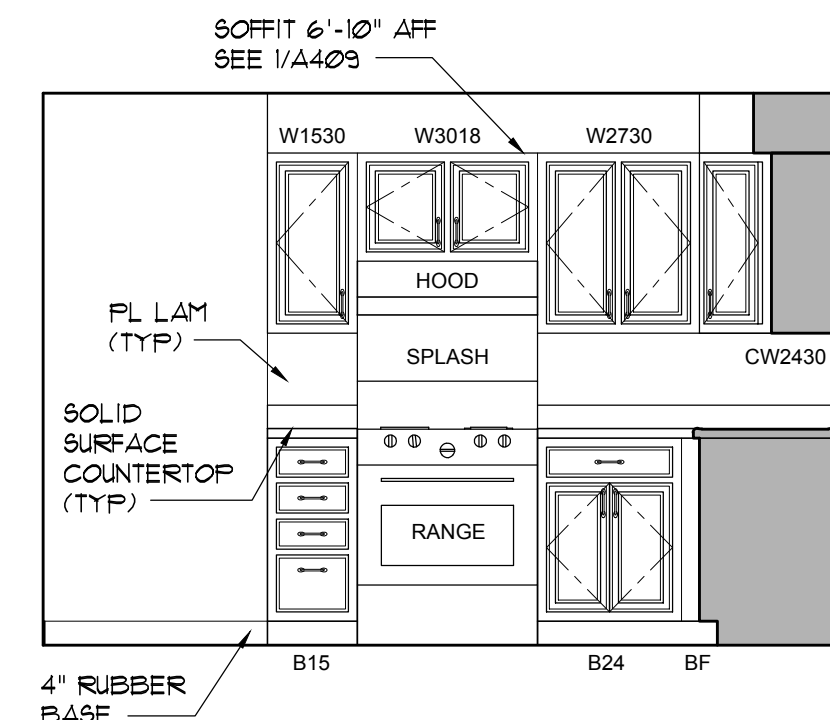
ELEVATION B
SCALE: 3/8" = 1'-0"



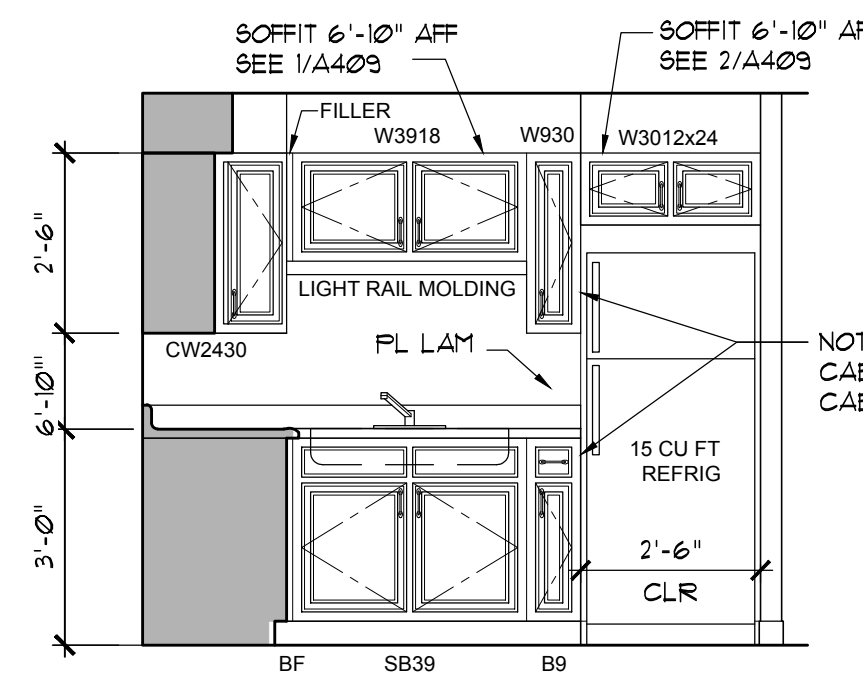
ELEVATION C
SCALE: 3/8" = 1'-0"



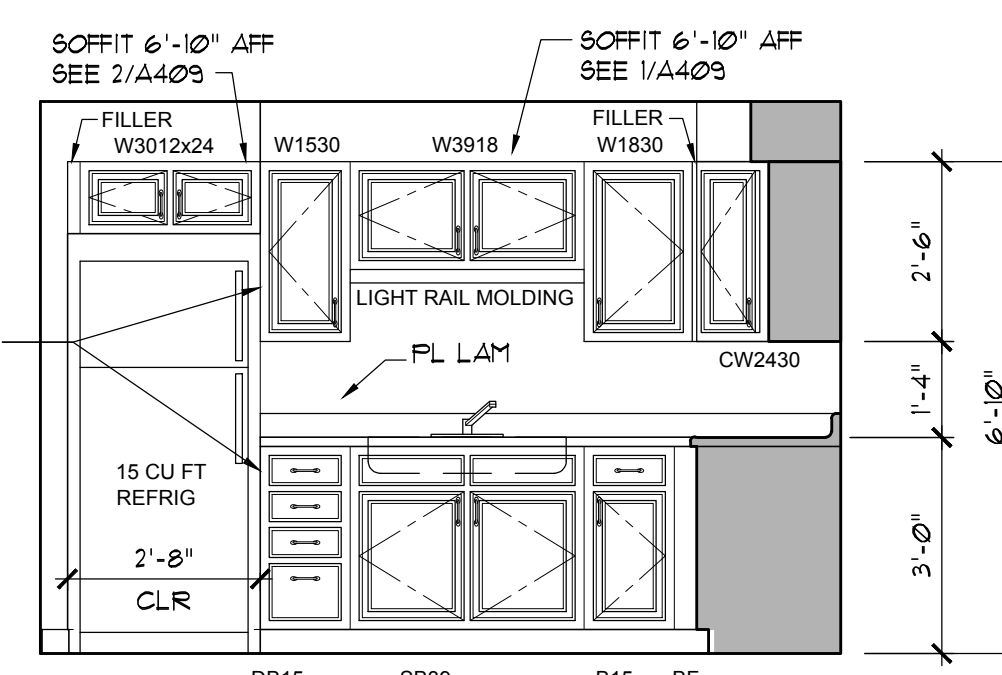
ELEVATION D
SCALE: 3/8" = 1'-0"



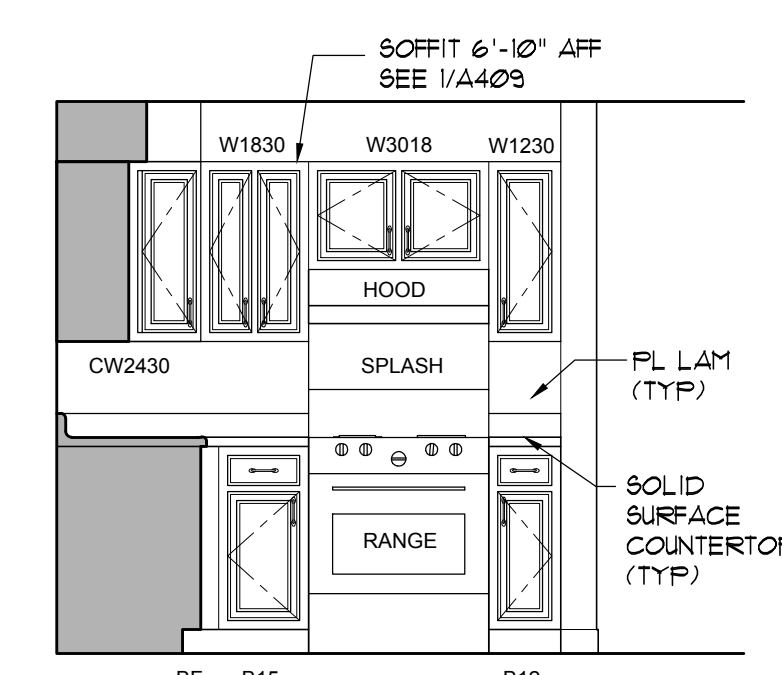
ELEVATION E
SCALE: 3/8" = 1'-0"



ELEVATION F
SCALE: 3/8" = 1'-0"



ELEVATION G
SCALE: 3/8" = 1'-0"



ELEVATION H
SCALE: 3/8" = 1'-0"

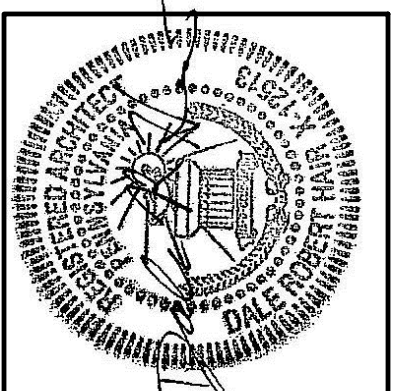
GENERAL NOTES

- ALL DIMENSIONS SHOWN ARE FACE OF STUD TO FACE OF STUD OR FACE OF EXISTING WALL.
- PROVIDE SEALANT BETWEEN TOP EDGE OF SOLID SURFACE COUNTERTOP AND FLAM BACKSPASH AT ALL LOCATIONS

PARTITION TYPES

NOTE: ALL PARTITIONS ARE TYPE ① UNLESS INDICATED OTHERWISE. FOR ADDITIONAL PARTITION TYPE LOCATIONS SEE ENLARGED PLANS ON SHEETS, A406, A407, AND A408.

- EXISTING INTERIOR PARTITION - REPAIR ANY DAMAGED AREAS AND PREPARE PARTITION TO RECEIVE FINAL PAINTING. PROVIDE A SMOOTH AND FLUSH SURFACE TO MATCH ADJACENT CONSTRUCTION.
- EXISTING INTERIOR PARTITION WITH 1/2" RC-1 RESILIENT CHANNEL SPACED AT 16" OC HORIZONTAL, 5/8" FIRE RATED SOUND REDUCING GYPSUM BOARD.
- 2 1/2" 25 GAUGE METAL STUDS SPACED AT 24" OC WITH 1/2" FIRE RATED GYPSUM BOARD ON BOTH SIDES WITH 2" THICK MINERAL WOOL BATTS. ONE HOUR FIRE RATED PARTITION - UL DESIGN NO V401. FIRE SEAL AROUND PERIMETER OF PARTITION ONE SIDE.
- 2 X 4 WOOD STUDS WITH 1/2" GYPSUM BOARD ON ALL EXPOSED FACES (USED AT ALL CLOSET DOOR LOCATIONS).
- 2 1/2" 25 GAUGE METAL STUDS SPACED AT 16" OC WITH 1/2" GYPSUM BOARD ON ALL EXPOSED FACES.
- 3 5/8" 25 GAUGE METAL STUDS SPACED AT 16" OC WITH 1/2" GYPSUM BOARD ON ALL EXPOSED FACES.
- 4" 25 GAUGE METAL STUDS SPACED AT 16" OC WITH 1/2" GYPSUM BOARD ON ALL EXPOSED FACES. (USE AT ELECTRICAL PANEL LOCATIONS)



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BUILDINGS K, L & M
ENLARGED KITCHEN PLANS & ELEV

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