

SYMBOL LEGEND

- Name Elevation FLOOR ELEVATION
- DRAWING NUMBER SHEET NUMBER DETAIL KEY
- DOOR TAG
- GRID TAG
- ROOM NUMBER ROOM TAG
- DRAWING NUMBER SHEET NUMBER BUILDING SECTION
- DRAWING NUMBER SHEET NUMBER WALL SECTION
- DRAWING NUMBER SHEET NUMBER DETAIL
- DRAWING NUMBER SHEET NUMBER DETAIL
- CEILING ELEVATION
- PARTITION TYPE
- WINDOW TYPE
- STOREFRONT TYPE
- DRAWING NUMBER SHEET NUMBER ELEVATION TAG
- DRAWING NUMBER SHEET NUMBER INTERIOR ELEVATION TAG
- ACCESSORY TAG
- CENTERLINE
- CONTROL JOINT
- EXPANSION JOINT
- FIRE EXTINGUISHER CABINET

DRAWING INDEX

Sheet Number	Sheet Name
A0.1	PROJECT INFO AND CODE RESEARCH
A1.0	DEMOLITION PLAN
A2.0	BUILDING ENTRANCE PLAN
A2.1	FRONT SIDEWALK PLAN
A3.0	ELEVATIONS/DETAILS

STRUCTURAL NOTES

1. THE CONTRACTOR SHALL COORDINATE THE FIELD VERIFICATION OF ALL EXISTING SITE CONDITIONS SUCH AS EXISTING FLOOR ELEVATIONS, EXISTING FOOTING ELEVATIONS, EXISTING UTILITIES, ETC. WHETHER NOTED OR NOT IN THE CONTRACT DOCUMENTS AND SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS, DISCREPANCIES OR UNKNOWN CONDITIONS PRIOR TO FABRICATION AND CONSTRUCTION.

CONCRETE NOTES (03 00 00)

- CONCRETE REINFORCEMENT (03 20 00)**
- CONCRETE REINFORCEMENT SUPPLIER SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW PRIOR TO CONSTRUCTION.
 - ALL REINFORCING STEEL SHALL BE ASTM A615, GRADE 60, UNLESS NOTED OTHERWISE.
 - PROVIDE THE FOLLOWING PROTECTIVE COVERING FOR ALL REINFORCING BARS UNLESS DETAILED OR NOTED OTHERWISE:

SLAB-ON-GRADE BARS (BOTTOM)	3" CLEAR
BELOW GRADE (CAST AGAINST EARTH)	3" CLEAR
BELOW GRADE (FORMED EDGE) WALLS	2" CLEAR

CAST-IN-PLACE CONCRETE (03 30 00)

- CONCRETE SUPPLIER SHALL SUBMIT CONCRETE MIX DESIGN DATA TO THE ARCHITECT FOR REVIEW PRIOR TO CONSTRUCTION.
- CONCRETE SHALL HAVE AT LEAST THE FOLLOWING MINIMUM COMPRESSIVE STRENGTHS AT 28 DAYS:

A. FOOTINGS, WALLS, SLABS	3000 PSI
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- SEE CONCRETE MIX DESIGN TABLE
- MIX DESIGN MAY INCLUDE WATER REDUCING ADMIXTURES CONFORMING TO ASTM C494, TYPE A, TO PROVIDE WORKABILITY AND SPECIFIED SLUMP WITHOUT EXCEEDING SPECIFIED WATER/CEMENT RATIOS. WATER SHALL NOT BE ADDED ON SITE WITHOUT PRIOR APPROVAL. ANY APPROVED WATER AMOUNTS ADDED ON SITE MUST BE RECORDED & REPORTED BY THE TESTING AGENCY.
- ALL CONCRETE EXPOSED TO WEATHER SHALL CONTAIN 5.5% AIR ENTRAINMENT (±1.5%). DO NOT EXCEED 3% AIR CONTENT IN CONCRETE RECEIVING A STEEL TROWEL FINISH.

EARTHWORK & FOUNDATION NOTES (31 00 00)

EXCAVATION & FILL (31 22 00 & 31 23 23)

- ALL UNDERCUTTING, SITE PREPARATION, FILL SELECTION, BACKFILLING AND COMPACTION SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE SPECIFICATIONS.

SPREAD FOOTINGS (31 24 50)

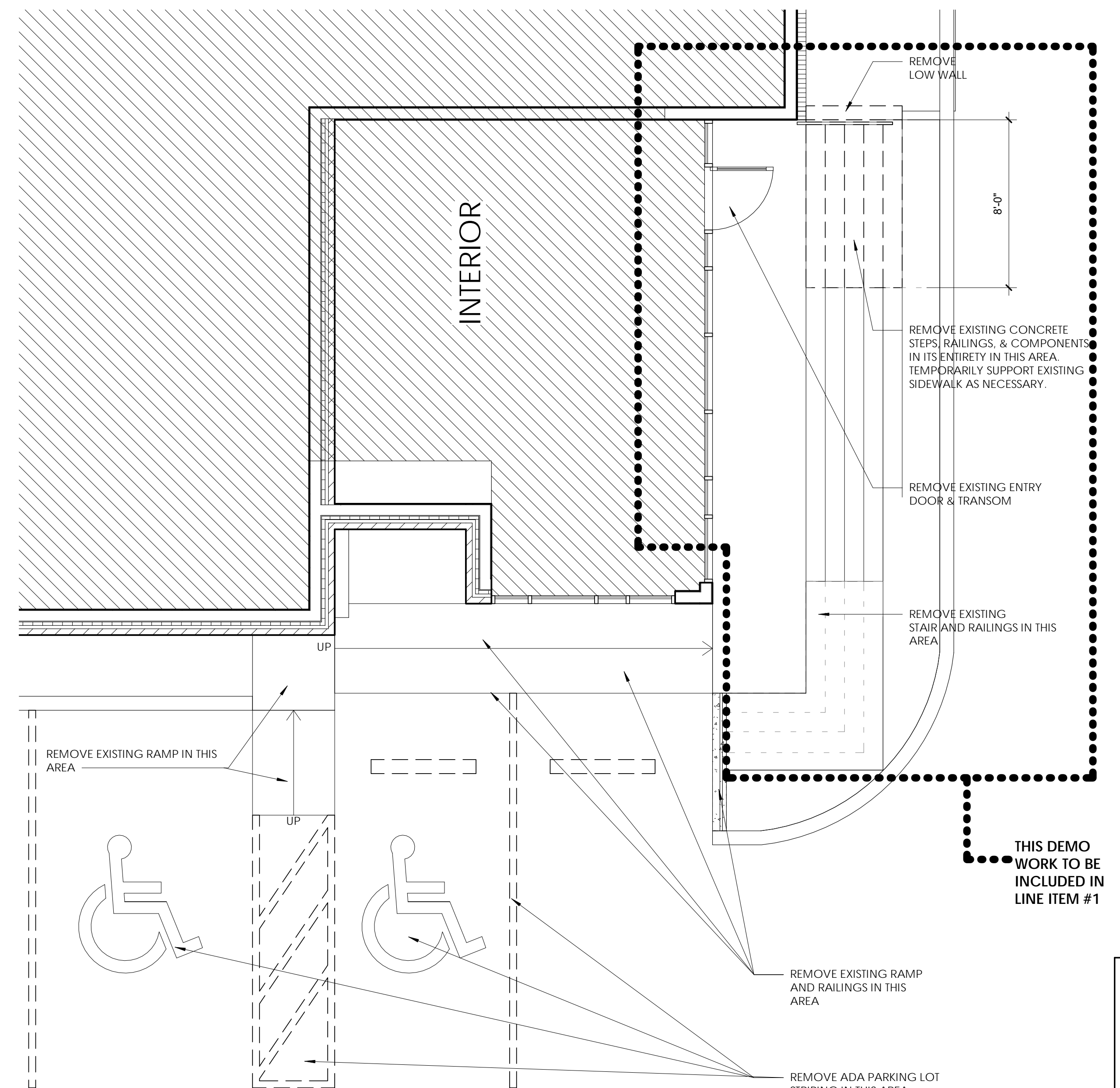
- ALL SPREAD FOOTINGS SHALL BE FOUNDED IN PROPERLY COMPACTED SELECT FILL OR IN THE NATURAL SOILS WITH AN ALLOWABLE NET BEARING CAPACITY OF AT LEAST 1500 PSF.
- MAINTAIN FINISHED GRADE (AND/OR BOTTOM OF FOOTING ELEVATIONS) TO PROVIDE AT LEAST 1'-6" COVER ABOVE THE BOTTOM OF ALL EXTERIOR FOOTINGS FOR FROST PROTECTION.

RETAINING WALLS (32 32 13)

- ALL RETAINING WALLS SHALL HAVE A PROPERLY INSTALLED DRAINAGE SYSTEM TO RELIEVE HYDROSTATIC PRESSURE.
- PROVIDE ADDITIONAL SHORING FOR ALL FOUNDATION WALLS AS REQUIRED DURING CONSTRUCTION BACKFILLING AND COMPACTION OPERATIONS.
- IF RETAINING WALLS ARE REQUIRED BY THE BUILDING OFFICIALS TO BE INSPECTED (AS-BUILT CERTIFICATION FORM), THE CONTRACTOR SHALL RETAIN THE SERVICES OF AN INDEPENDENT REGISTERED ENGINEER OR NOTIFY THE ENGINEER-OF-RECORD AT LEAST 3 DAYS PRIOR TO COVERING UP THE REBAR WITH WALL FACING MATERIAL (WHETHER CONCRETE OR MASONRY), SO THAT IN-PLACE REBAR MAY BE PROPERLY INSPECTED.

CAST-IN-PLACE CONCRETE MIX DESIGN TABLE
MIX DESIGN SHALL INCLUDE AT LEAST THE FOLLOWING AMOUNTS OF PORTLAND CEMENT MEETING ASTM C150 OR D595 PER CUBIC YARD OF CONCRETE

28 DAY MIN. COMPRESSIVE STRENGTH	NON-AIR ENTRAINED		AIR ENTRAINED		MAX. SLUMP w/ WRA
	MIN. CEMENT CONTENT (LBS/YARD ³)	MAXIMUM PERMISSIBLE W/C RATIO	MIN. CEMENT CONTENT (LBS/YARD ³)	MAXIMUM PERMISSIBLE W/C RATIO	
3000	470	0.53	517	0.46	6"



1 DEMOLITION PLAN
1/4" = 1'-0"

*THIS DEMO WORK TO BE INCLUDED IN LINE ITEM #2

GENERAL NOTES

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL ESTABLISH LOCATION OF ALL PARTITIONS. LARGER SCALE DRAWINGS HAVE PRIORITY OVER SMALLER SCALE DRAWINGS. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES IN THE DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION.
- NOTES TO "ALIGN" SHALL MEAN TO ALIGN FINISHED FACE OF PARTITION UNLESS OTHERWISE NOTED AND SHALL HAVE PRIORITY OVER A DIMENSIONED LOCATION.
- PLAN DIMENSIONS SHOWN ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE ON DETAILS.
- GENERAL CONTRACTOR TO TAKE THE NECESSARY SAFETY PRECAUTIONS DURING DEMOLITION/CONSTRUCTION TO ENSURE THE SAFETY FOR THE BUILDING OCCUPANTS.
- CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS. WORK PERFORMED WITHOUT CLARIFICATION FROM ARCHITECT IS ENTIRELY AT CONTRACTOR'S RISK.

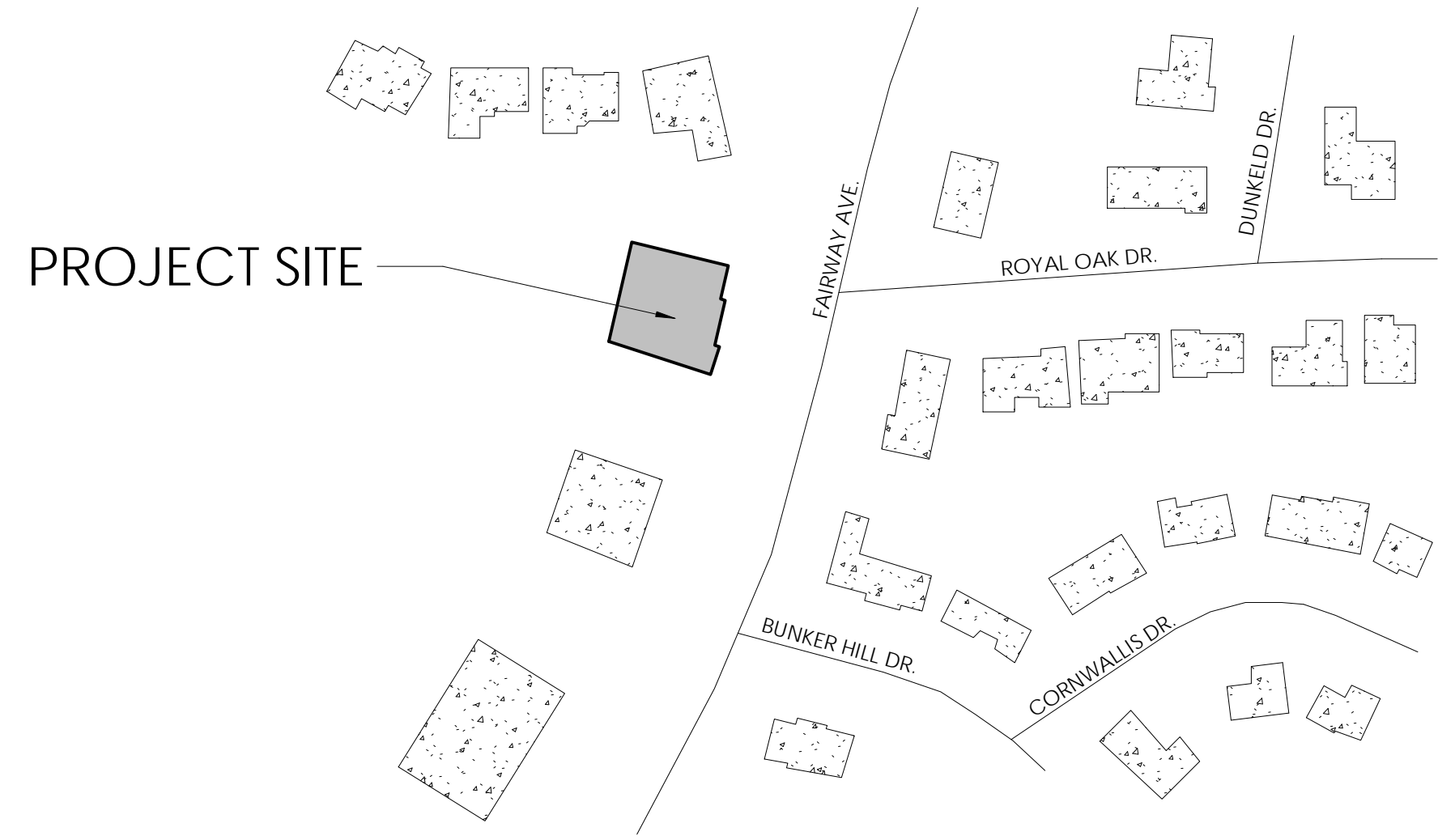
SAFETY NOTICE TO CONTRACTOR

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOBSITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

THE DUTY OF THE ARCHITECT IS TO CONDUCT CONSTRUCTION OBSERVATION OF THE CONTRACTOR'S PERFORMANCE AND IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN OR NEAR THE CONSTRUCTION SITE.

OWNERSHIP OF DOCUMENTS

THESE DOCUMENTS, AND THE DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICES, ARE THE PROPERTY OF FENNEL PURIFOY ARCHITECTS, P.L.C., AND ARE NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT WRITTEN AUTHORIZATION OF FENNEL PURIFOY ARCHITECTS, P.L.C.



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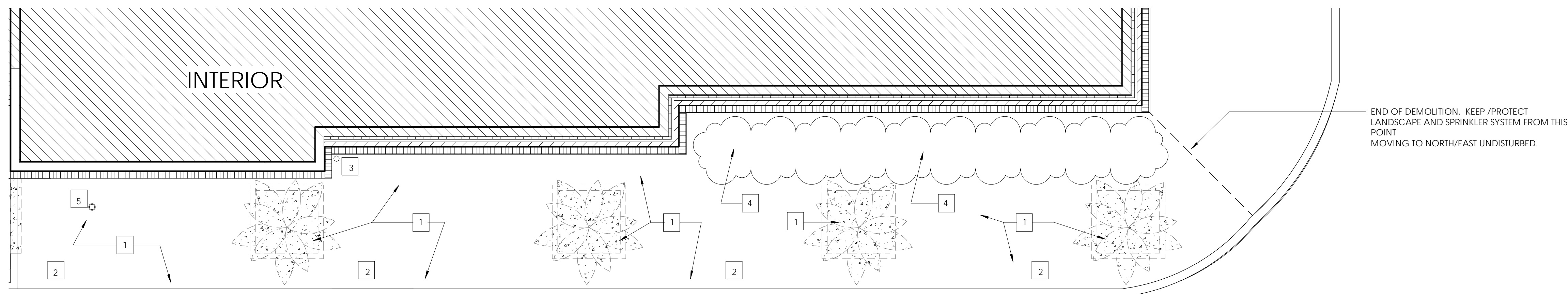


NLRHA ADMIN BUILDING ENTRANCE
4901 Fairway Avenue, Ste. A
North Little Rock, AR 72116

REVISIONS:
9/27/2018

100% CONSTRUCTION DOCUMENTS
9.26.19

DEMOLITION PLAN
A1.0

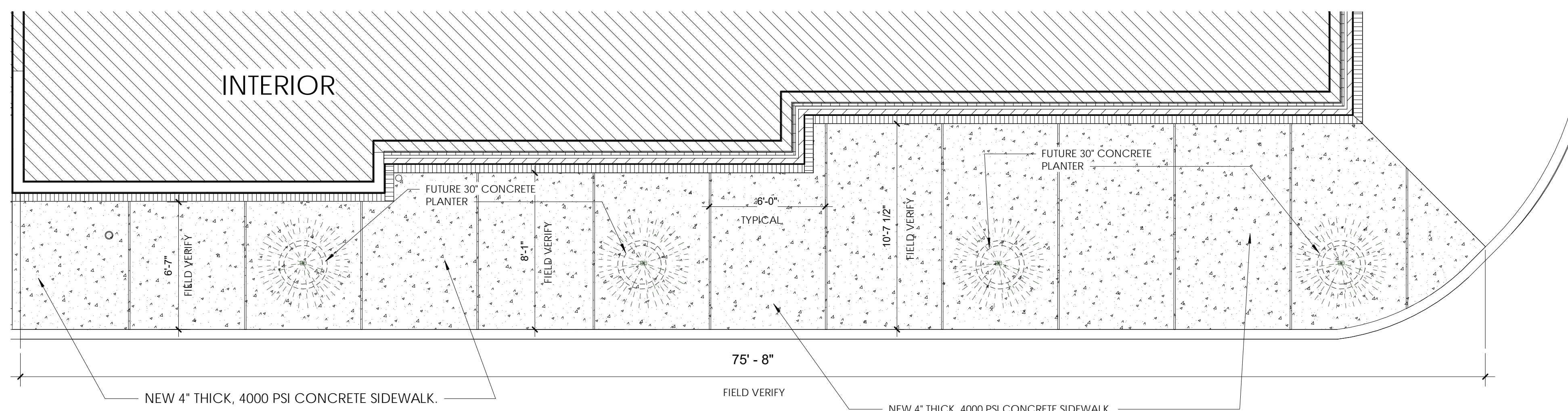


1 DEMO - BAMBOO PLANTER
1/4" = 1'-0"

*ALL ASSOCIATED WORK INCLUDED IN THIS DEMOLITION SHOULD BE INCLUDED IN LINE ITEM #3 IN BID (DEMOLITION AND NEW)

DEMOLITION KEYED NOTES:

1. REMOVE THE EXISTING MULCH, PLANTERS, ROCKS, WEED EDGING, BAMBOO ROOTS IN THEIR ENTIRETY.
2. REMOVE THE EXISTING SPRINKLER SYSTEM WHERE THE MULCH, PLANTERS, ROCK, WEED EDGING AND BAMBOO ROOTS WERE REMOVED. BE SURE TO REWORK AND KEEP THE NORTH SPRINKLER SYSTEM INTACT.
3. PROTECT AND KEEP THE EXISTING FRENCH DRAIN PIPE IN PLACE.
4. REMOVE THE EXISTING SHRUBS IN THIS AREA ONLY.
5. PROTECT AND KEEP EXISTING CLEAN-OUT IN PLACE.



2 ENLARGED - SIDEWALK EXTENSION
1/4" = 1'-0"

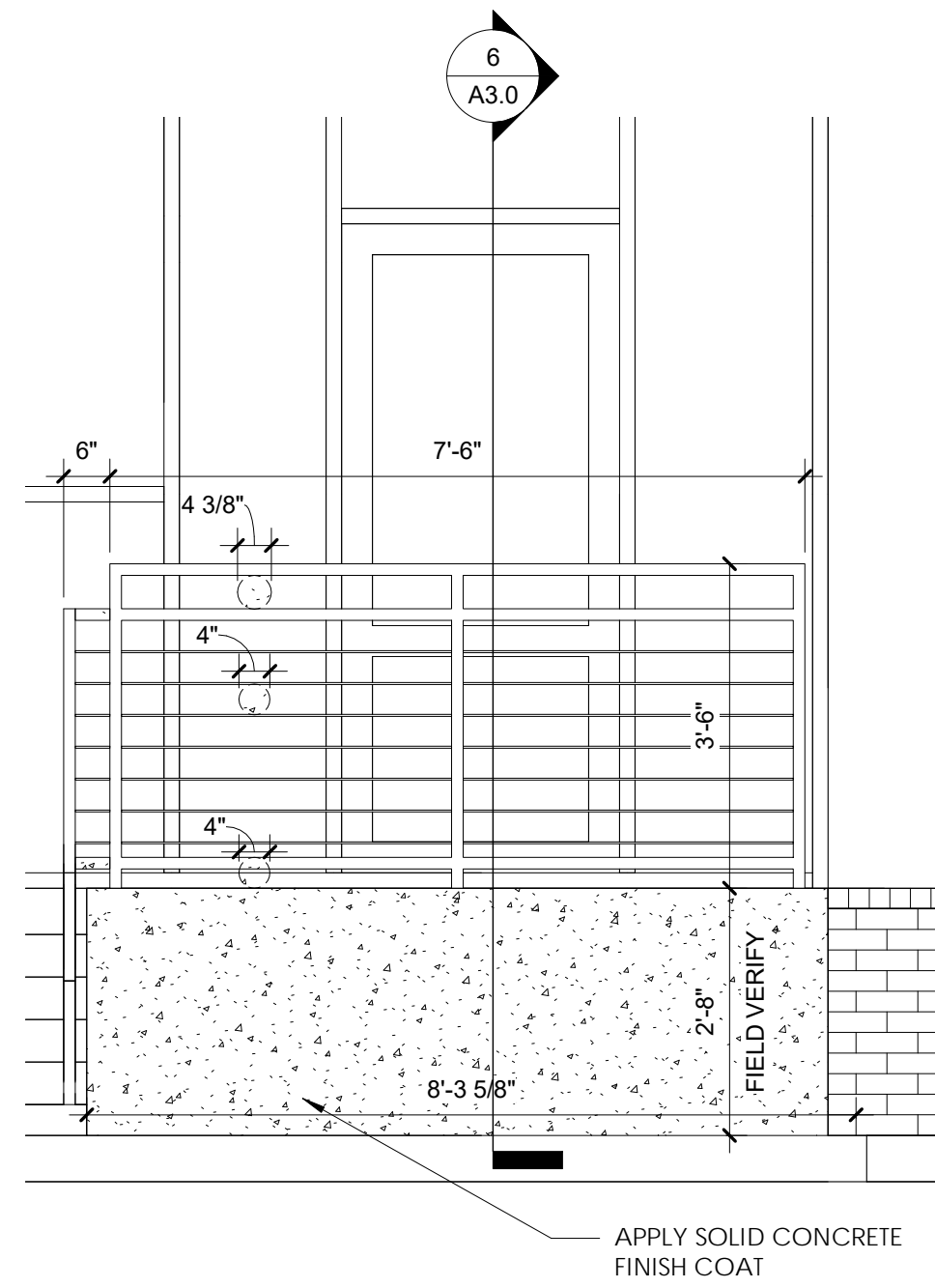
*ALL ASSOCIATED WORK INCLUDED IN THIS DEMOLITION SHOULD BE INCLUDED IN LINE ITEM #3 IN BID (DEMOLITION AND NEW)

GENERAL NOTES:

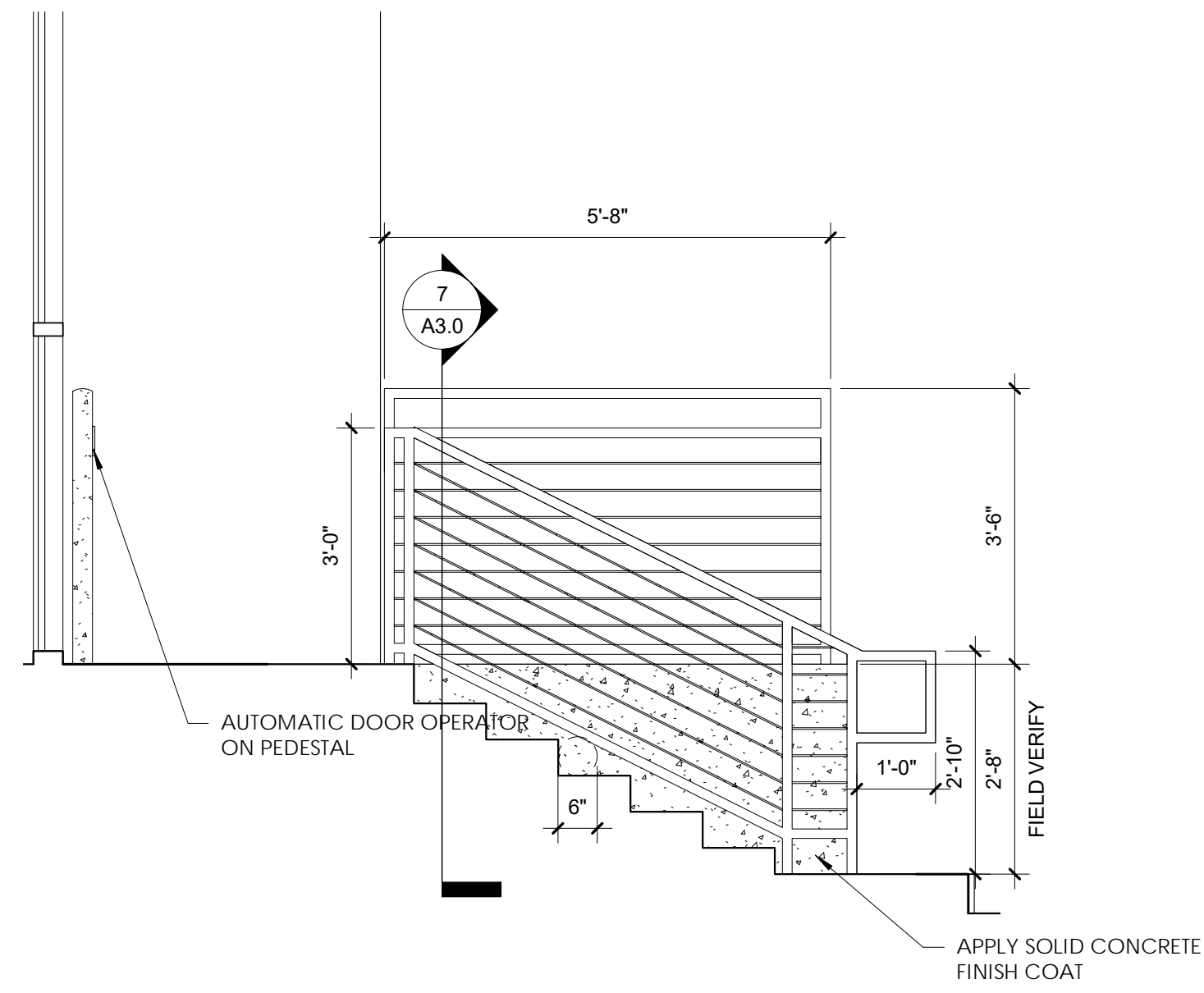
1. COORDINATE NEW SIDEWALK INSTALLATION WITH REWORKING EXISTING SPRINKLER SYSTEM.
2. INSTALL 1" EXPANSION JOINT BETWEEN NEW CONCRETE LANDING TO THE SOUTH AND EXISTING BUILDING PERIMETER.
3. PROTECT EXISTING 5" CLEAN OUT AND 5" FRENCH DRAIN DURING DEMOLITION/CONSTRUCTION.
4. COORDINATE SIDEWALK CONTROL JOINT LOCATIONS.

PLAN NOTES:

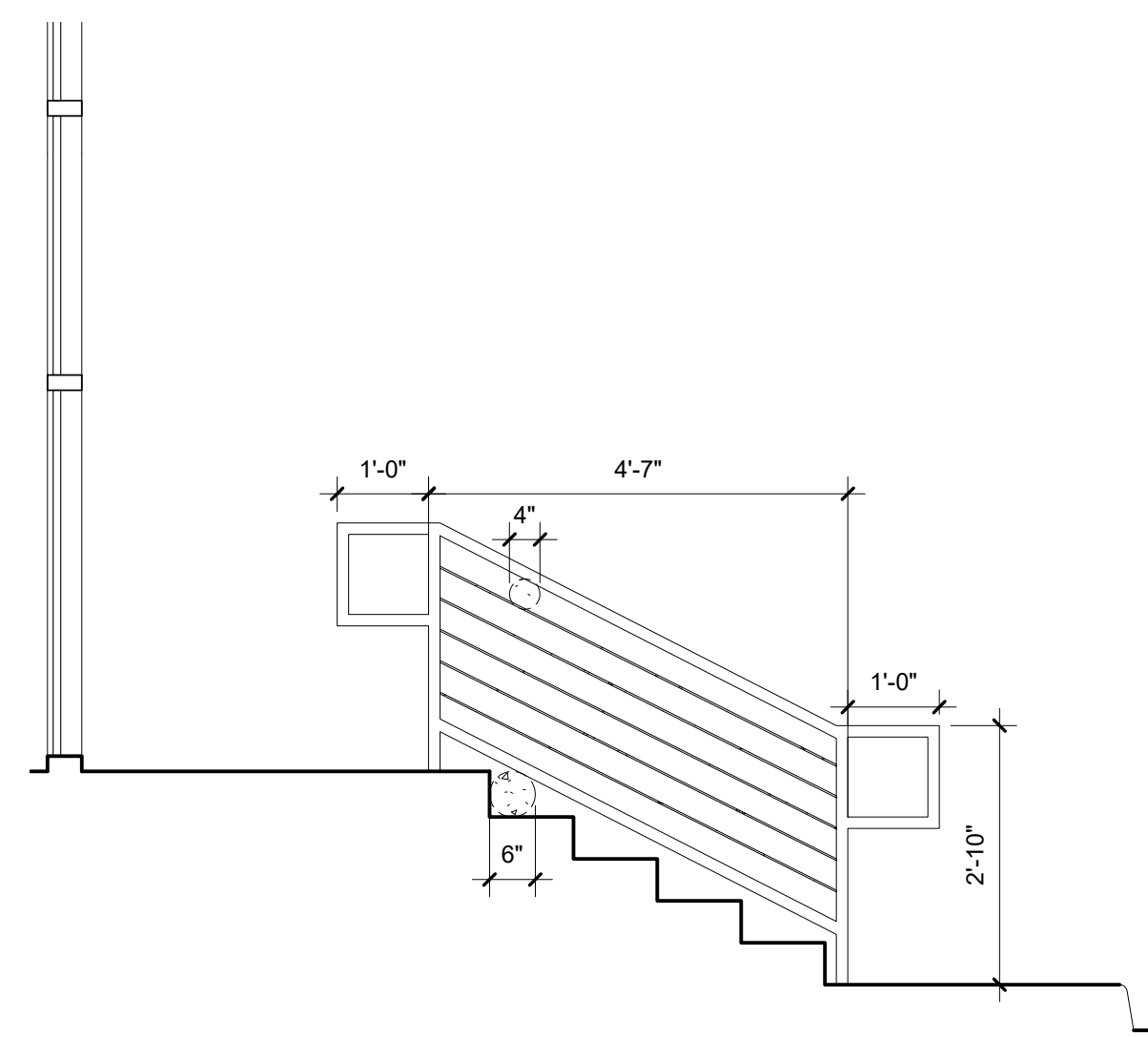
1. FUTURE PLANTER NOT IN CONTRACT.



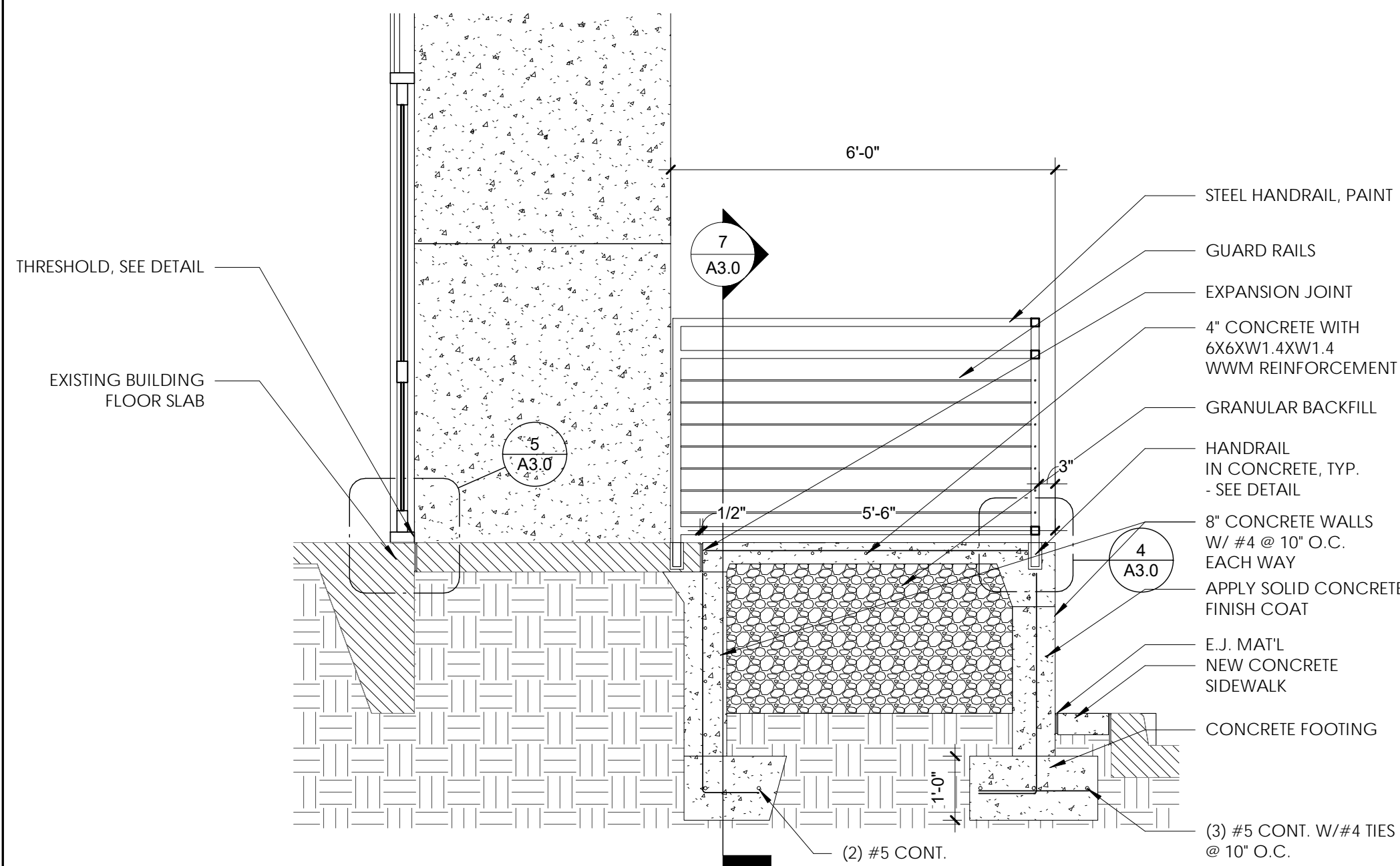
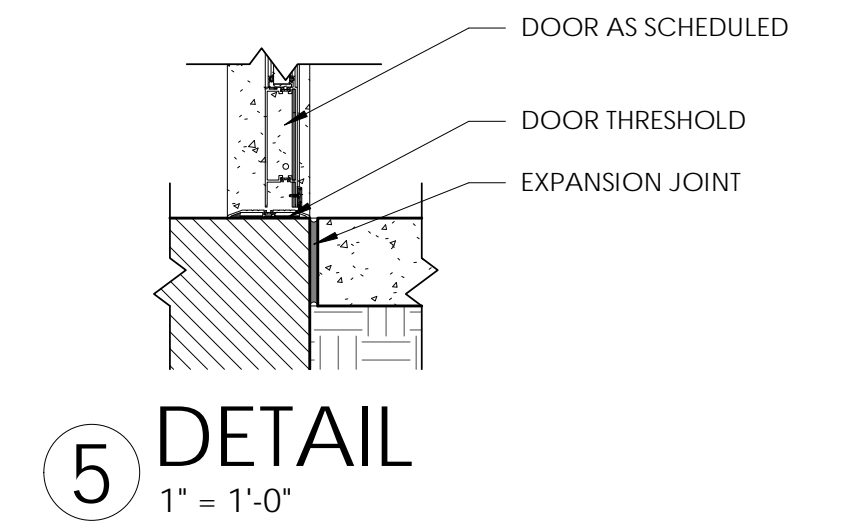
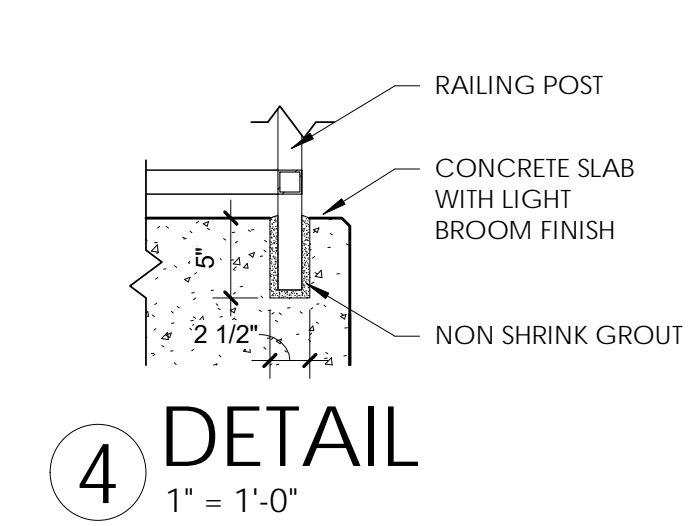
1 PORCH - EAST
1/2" = 1'-0"



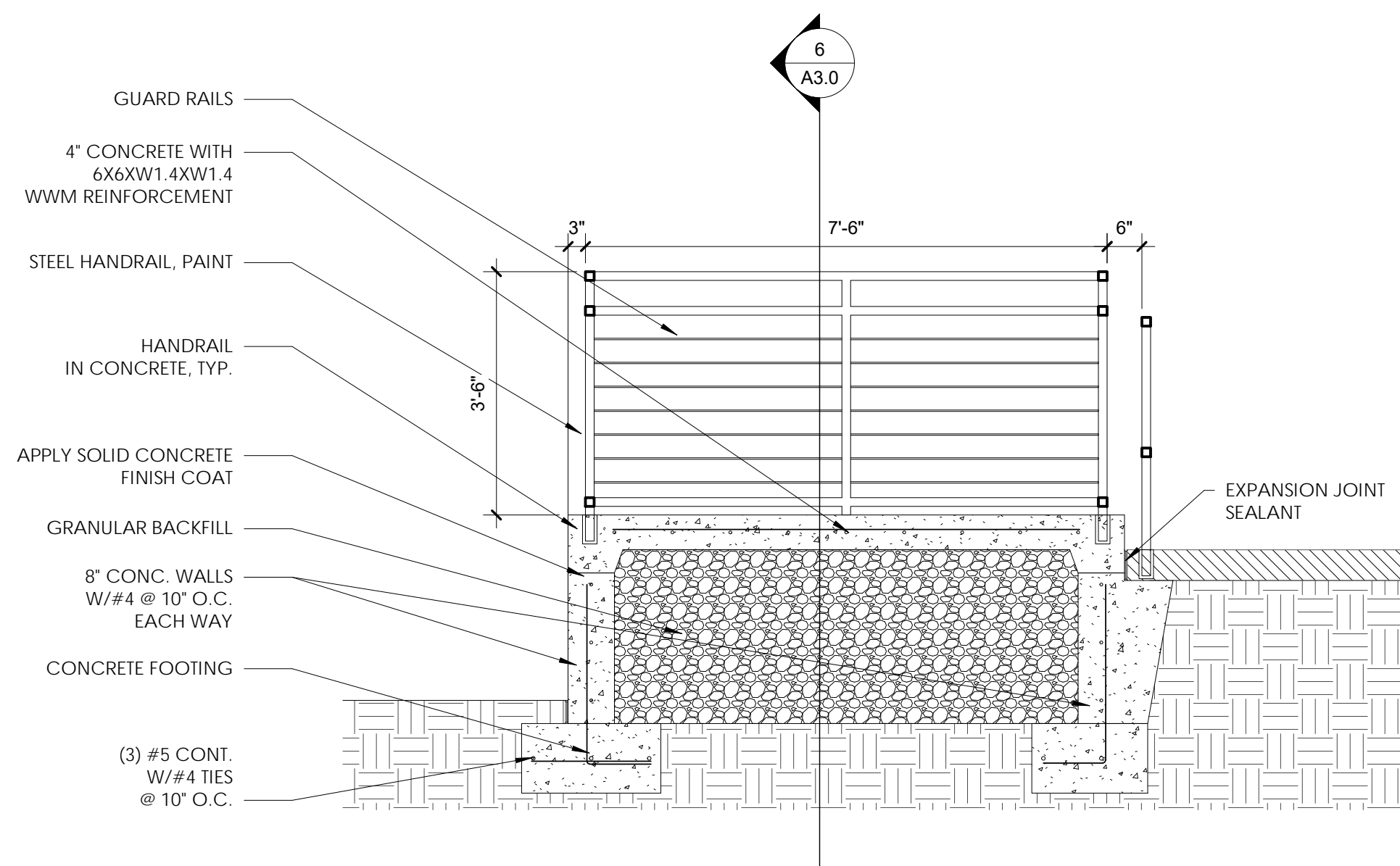
2 PORCH - SOUTH
1/2" = 1'-0"



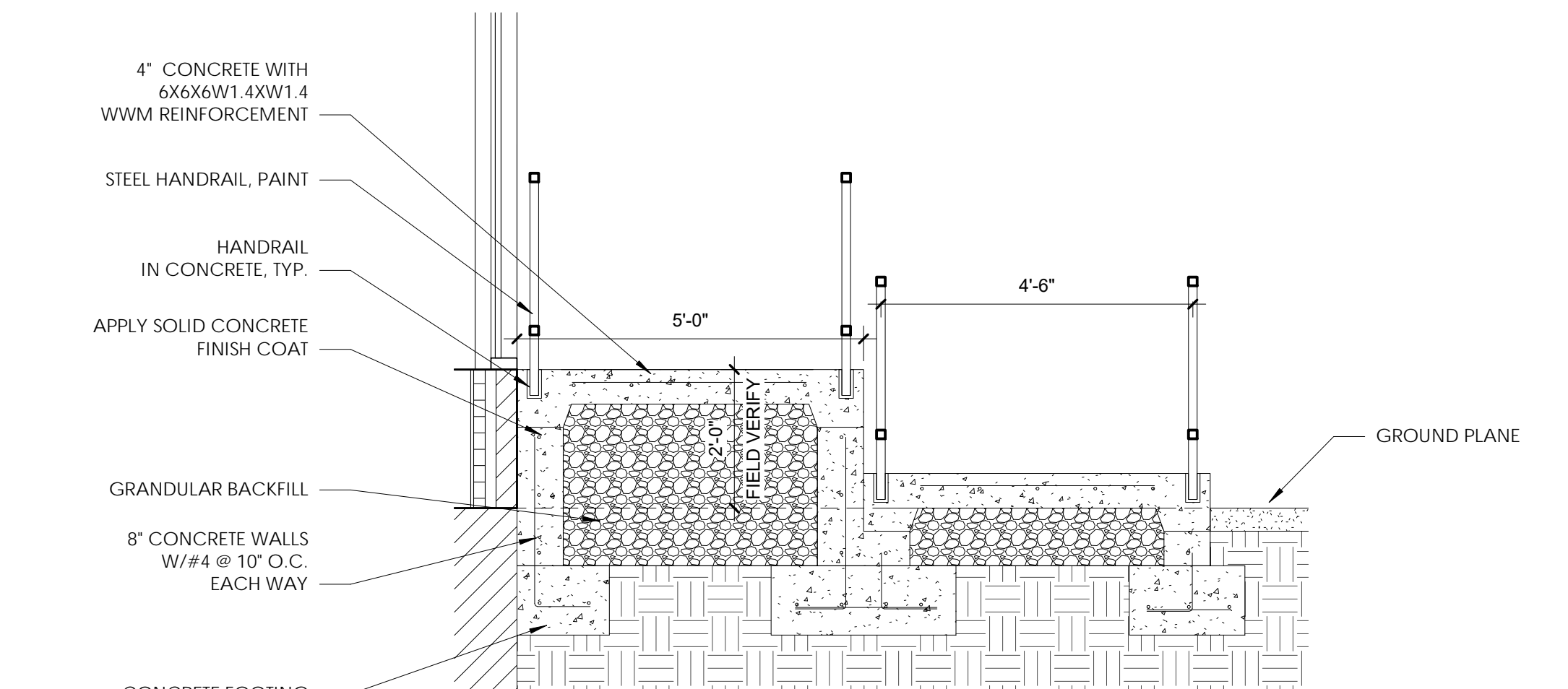
3 RAILING - SOUTH
1/2" = 1'-0"



6 PORCH SECTION
1/2" = 1'-0"



7 PORCH SECTION
1/2" = 1'-0"



8 RAMP SECTION
1/2" = 1'-0"