

STANDARD ABBREVIATIONS:

Table with 4 columns: Symbol, Abbreviation, Symbol, Abbreviation. Includes symbols for AND, ANGLE, AT SPACING OF, BENCH MARK, CENTER LINE, CHANNEL, NUMBER, PENNY, PERPENDICULAR, PLATE, ROUND, SQUARE, WIDTH X HEIGHT, WITH.

NOTE: NOT ALL ABBREVIATIONS NECESSARILY USED SYMBOLS USED AS ABBREVIATIONS

MATERIAL DESIGNATIONS:

Table with 2 columns: Material Name, Material Pattern. Includes Structural Concrete, Metal, Plywood, Hardwood Finish, Insulation, Earth, Insulation (Rigid), Fiberboard, Acoustical Tile, Gypsum Wall Board, Plaster, Sand, Cement, Grout, Gravel.

CODE COMPLIANCE:

ALL WORK SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES OF RECORD:
*FLORIDA BUILDING CODE 2017.
*FLORIDA FIRE PREVENTION CODE 2017.
*NFPA 101 LIFE SAFETY CODE 2015 EDITION.
*FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION 2017 EDITION.
*FEMA MAPS.
*FLORIDA PLUMBING CODE 2017 EDITION.
*ASCE 7-10 EDITION.
*NEC 2014 EDITION.
*NFPA 13 2013 EDITION.
*FLORIDA BUILDING CODE - ENERGY 2017.
*FLORIDA BUILDING CODE - EXISTING BUILDINGS 2017.
*NFPA 70

LEGAL DESCRIPTION:

2 53 40 2.234 AC MIL
ROSE LAWN REPLAT PORT TR A
DESC - S234.93FT OF N1942.02FT
OF W499.86FT OF E534.86FT OF
SEC LESS N40FT FOR RW
/AKA PROJ FLA 66-3/
LOT SIZE 97458 SQUARE FEET

INDEX OF DRAWINGS

Sheet List Table

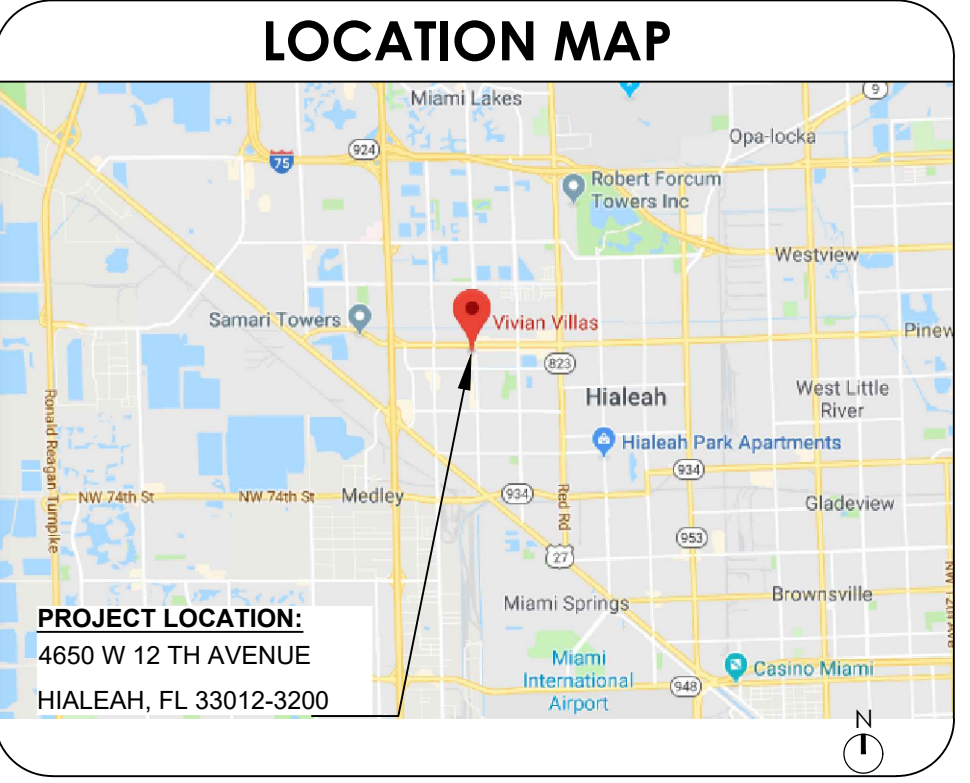
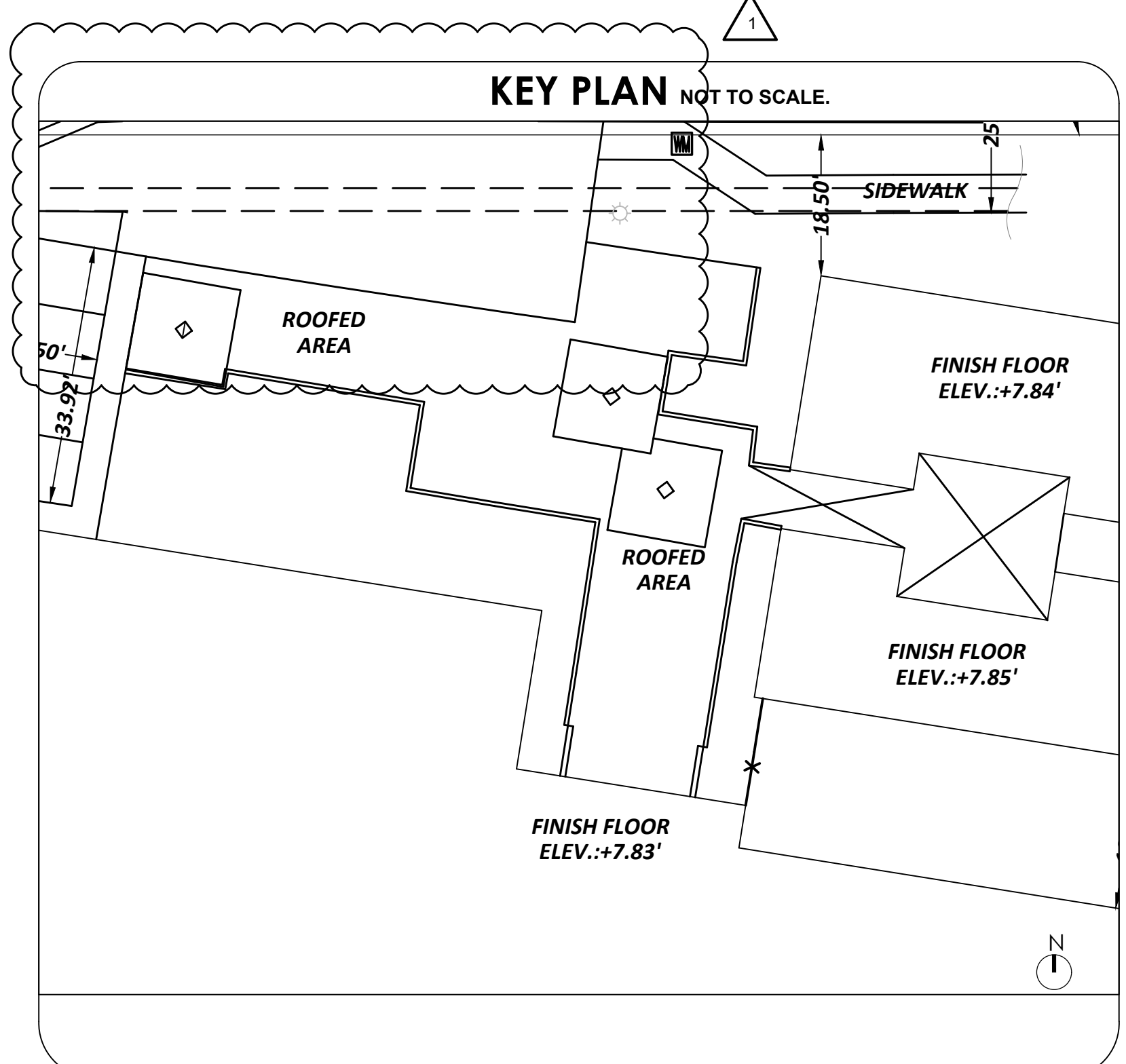
Table with 4 columns: SHT #, DWG #, DESCRIPTION, REV. #. Lists drawing sheets for General, Architecture, Structure, and Electrical.

SCOPE OF WORK:

DEMOLITION AND REPLACEMENT OF EXISTING CANOPY.

ABBREVIATIONS

Large table listing abbreviations for various construction materials and components, including AC, ACT, ADJ, ADM, A/E, AFF, ALUM, ALT, ANC, ANT, APPROX, ARCH, AUTO, AVG, BEL, BTW, BLDG, BLK, BLDG, BM, BO, BOTT, BWH, C, C/C, CC, CAB, CAM, CD, CEM, CER, CIP, CIR, CIRC, CJ, CL, CLF, CLG, CLOS, CLR, CML, C.O, COL, COMM, COMP, CONC.



STATEMENT OF COMPLIANCE. I HEREBY CERTIFY THAT ALL THE DOCUMENTS SUBMITTED FOR THIS PROJECT HAVE BEEN COORDINATED AMONG ALL THE FOLLOWING DESIGN AND/OR SPECIALTY DISCIPLINES. THE A/E FIRM ATTEST TO THE BEST OF OUR KNOWLEDGE AND PROFESSIONAL BELIEF, THESE DOCUMENTS ARE COMPLETE AND IN COMPLIANCE WITH THE APPLICABLE STATE CODES, STATUTES, SREF, AND SBBC REQUIREMENTS. Includes a professional seal for Robert A. Torres, Registered Professional Engineer, State of Florida, No. AR0017381.

VIVIAN VILLAS

4650 W 12TH AVENUE
HIALEAH, FL 33012 - 3200
CSA GROUP PROJECT No. : 18-0221

OWNER:
HIALEAH HOUSING AUTHORITY
CAPITAL FUND PROGRAM DEPARTMENT
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MARIO DIAZ, VICE- CHAIRMAN
FARA ALVAREZ, COMMISSIONER
JUAN JUNCO, COMMISSIONER
JULIO PONCE, EXECUTIVE DIRECTOR

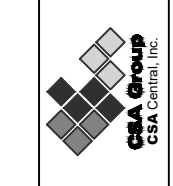


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100% CONSTRUCTION DOCUMENTS

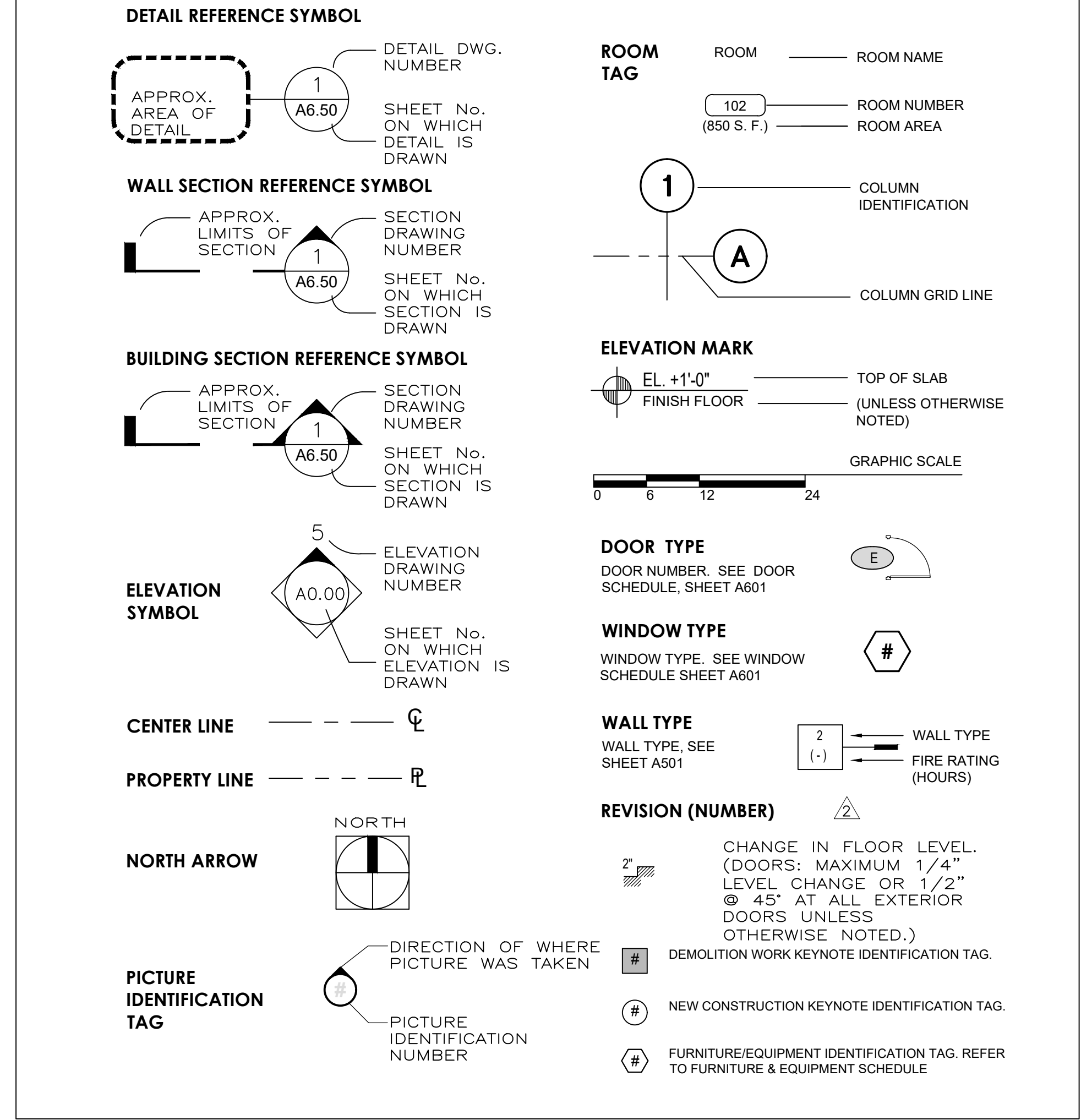
ENTRY RENOVATION : VIVIAN VILLAS



GENERAL NOTES

- GENERAL NOTES - ARCHITECTURAL**
- GOVERNING BUILDING CODE :**
THE WORK OF THIS CONTRACT SHALL CONFORM WITH THE REQUIREMENTS OF THE FOLLOWING GOVERNING CODES & STANDARDS:
 - 2017 FLORIDA BUILDING CODE: BUILDING
 - FLORIDA FIRE PREVENTION CODE - SIXTH EDITION - 2017.
 - NFPA 101 LIFE SAFETY CODE 2015 EDITION.
 - FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION 2017 EDITION.
 - EXCEPT AS OTHERWISE INDICATED, GOVERNING CODES REFER TO THE EDITION IN FORCE AT THE TIME THESE CONTRACT DOCUMENTS ARE ISSUED FOR PERMIT.
 - CITY OF HIALEAH ZONING CODE.
 - DIMENSIONS :**
 - FIELD VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR PRIOR TO COMMENCEMENT WITH CONSTRUCTION PHASE.
 - DO NOT SCALE DRAWINGS; USE DIMENSIONS.
 - GENERAL NOTES AND TYPICAL DETAILS :**
 - THE GENERAL NOTES & TYPICAL DETAILS APPLY THROUGHOUT THE JOB, EXCEPT AS OTHERWISE INDICATED.
 - DETAILS AND NOTES LABELED "TYPICAL" ON THE DRAWINGS APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED OR NOTED. SUCH DETAILS APPLY WHETHER OR NOT THEY ARE KEYPED IN EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS OR NOTES SHALL BE RESPONDED BY THE ARCHITECT UPON REQUEST.
 - PLANS, SPECIFICATIONS & OTHER CONTRACT DOCUMENTS:**
 - THE ARCHITECTURAL DRAWINGS ARE TO BE USED IN CONJUNCTION WITH THE MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AND OTHER DRAWINGS INCLUDED AS PART OF THE CONTRACT DOCUMENTS. THESE ARE GENERAL NOTES & SHALL BE USED IN CONJUNCTION WITH ALL DRAWINGS. IF A CONFLICT EXISTS, THE MORE STRINGENT REQUIREMENT GOVERNS.
 - ALL WORK THAT IS REASONABLY IMPLIED AND/OR INFERRED IN THE CONTRACT DOCUMENTS, DRAWINGS AND/OR AND WHICH IS NECESSARY FOR AND/OR INCIDENTAL TO A COMPLETE INSTALLATION, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - THE INCLUSION OF ANY WORK BY MENTION, ANNOTATION, DETAIL, ITEMIZATION, AND/OR OTHER REFERENCE, IMPLICATION, OR INFERENCE, HOWEVER BRIEF, SHALL BE CONSIDERED TO INDICATE THAT THE CONTRACTOR IS TO PROVIDE SUCH WORK AS NECESSARY FOR, AND/OR INCIDENTAL TO A COMPLETE INSTALLATION CONSISTENT WITH THE DESIGN INTENT.
 - REVISIONS: REVISIONS ARE IDENTIFIED BY A REVISION NUMBER WITHIN A TRIANGLE. ALL REVISIONS ISSUED ON A SINGLE DATE WILL BE IDENTIFIED BY THE SAME REVISION NUMBER ISSUED CONSEQUENTLY.
 - FEES, PERMITS, INSPECTIONS, AND APPROVALS :**
ALL FEES, PERMITS, INSPECTIONS, APPROVALS, ETC. RELATED TO AND/OR REQUIRED FOR THE WORK OF THIS CONTRACT SHALL BE THE RESPONSIBILITY OF THE OWNER, EXCEPT AS OTHERWISE INDICATED.
 - PROTECTION OF WORK :**
ALL WORK, INCLUDING WORK TO REMAIN, COMPLETED WORK, WORK IN PROGRESS, SHALL BE PROPERLY PROTECTED FROM DAMAGE AT ALL TIMES.
 - ALL DEMOLITION WORK SHALL BE PERFORMED WITH CARE, SEEKING NOT TO DISTURB OR DAMAGE THE PORTIONS OF ANY STRUCTURE TO REMAIN.
 - SHOULD THE STRUCTURE TO REMAIN RESULT DAMAGED DURING THE COURSE OF THE WORK, THE CONTRACTOR SHALL REPAIR IT AT HIS/HER EXPENSE.
 - CONSTRUCTION MEANS AND METHODS :**
THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS & METHODS OF CONSTRUCTION, PROJECT SUPERVISION, & CONSTRUCTION & WORK SITE SAFETY. ACTIONS OF AND/OR INFORMATION PROVIDED BY THE ARCHITECT/ENGINEER SHALL NOT BE CONSTRUED TO RELIEVE THE CONTRACTOR OF THIS RESPONSIBILITY, REGARDLESS OF THE CIRCUMSTANCES.
 - EXAMINATION OF THE CONTRACT DOCUMENTS & SITE :**
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME COMPLETELY FAMILIAR WITH ALL ASPECTS OF THE PROJECT PRIOR TO SUBMITTING A BID.
 - THE SUBMISSION OF A BID BY THE CONTRACTOR SHALL BE PRIMA FACIE EVIDENCE THAT THE CONTRACTOR HAS EXAMINED COMPLETELY THE ENTIRE WORK SITE, ANALYZED THOROUGHLY ALL CONTRACT DOCUMENTS, AND BECOME FAMILIAR WITH ALL ASPECTS OF THE PROJECT, INCLUDING BUT NOT LIMITED TO THE FOLLOWING CONTRACT CONDITIONS:
 - CONTRACT DOCUMENTS, INCLUDES BUT IS NOT LIMITED TO ALL DRAWINGS & SPECIFICATIONS
 - PROJECT CONDITIONS, INCLUDING ALL EXISTING CONDITIONS & OWNER'S OPERATIONAL REQUIREMENTS
 - REQUIREMENTS OF APPLICABLE CODES AND REFERENCED STANDARDS
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING TO THE A/E AND OBTAINING A/E'S CLARIFICATION OF THE FOLLOWING:
 - PRIOR TO SUBMISSION OF A BID, THE CONTRACTOR SHALL REPORT ANY AND ALL APPARENT DISCREPANCIES, ERRORS, AND/OR OMISSIONS WHICH MIGHT AFFECT THE CONTRACT PRICE AND/OR CONTRACT DURATION.
 - PRIOR TO THE COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL REPORT ANY & ALL APPARENT DISCREPANCIES, ERRORS, AND/OR OMISSIONS NOT PREVIOUSLY REPORTED.
 - ANY WORK RELATED TO ANY APPARENT DISCREPANCIES, ERRORS, AND/OR OMISSIONS NOT REPORTED TO THE A/E, THAT PROCEEDS IN ADVANCE OF CLARIFICATION BY THE A/E, IF INCORRECTLY PERFORMED BY THE CONTRACTOR, SHALL BE PROVIDED, REPLACED OR REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 - COORDINATION OF WORK :**
 - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES PERFORMING WORK UNDER THIS CONTRACT, & FOR COORDINATING THE WORK OF THIS CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADDITIONAL WORK REQUIRED TO CORRECT CONFLICTS BETWEEN TRADES AND/OR BETWEEN NEW WORK & EXISTING FIELD CONDITIONS AFTER THE WORK HAS COMMENCED, AT NO ADDITIONAL COST TO THE OWNER.
 - UPON FINAL COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE OWNER THE PREMISES WITH ALL WORK COMPLETED & FREE OF DEFECTS FOR ALL AREAS IN SCOPE OF WORK.
 - PRIOR TO ACCEPTANCE OF THE WORK BY THE OWNER, ALL DAMAGE TO EXISTING & NEW STRUCTURES, GROUNDS, UTILITIES, ETC. AND/OR WORK PERFORMED BY OTHERS WHICH, IN THE OPINION OF THE A/E, IS ATTRIBUTABLE TO THE CONTRACTOR, SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR, AT NO ADDITIONAL COST TO THE OWNER.
 - THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS. PRIOR TO COMMENCEMENT OF THE WORK, ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER BY THE CONTRACTOR.
 - THE CONTRACTOR SHALL PROVIDE A "SAFETY PLAN" WHICH DELINEATES AREAS OF CONSTRUCTION AND CONSTRUCTION TRAFFIC DURING PHASES OF THE PROJECT, MAINTAINS REQUIRED EXITS, & PROVIDES FOR BARRIERS & OR TEMPORARY CONSTRUCTION TO SEPARATE CONSTRUCTION AREAS FROM HOMES.
 - COORDINATION WITH OWNER :**
THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE BUILDING OWNER REGARDING SCHEDULING, ACCESS, & SPECIAL REQUIREMENTS WHICH MAY BE REQUIRED BY THE SCOPE OF THE WORK OR BY THE BUILDING OWNER.

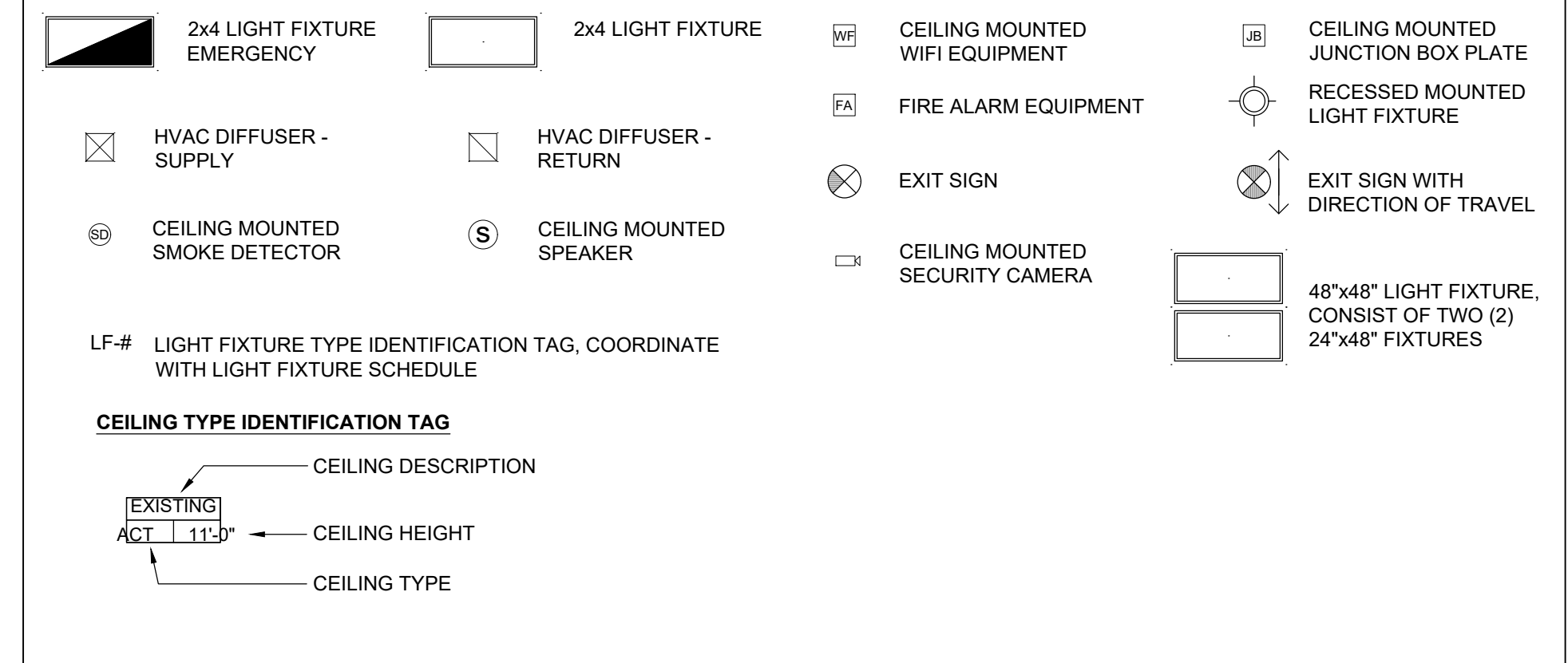
GENERAL SYMBOLS LEGEND



GENERAL NOTES (CONT'D)

- G.C. IS RESPONSIBLE FOR ALL SAFETY CONSTRUCTION AND ASSURING PROTECTION FOR ALL ADJACENT OCCUPANCIES.
- G.C. SHALL VISIT THE SITE OF THE WORK & INSPECT EXISTING CONDITIONS AFFECTING THE WORK.
- G.C. SHALL PROVIDE SHOP DRAWINGS OF HVAC, SHEET METAL, AND LIGHTING SHOWING ANY POSSIBLE CONFLICTS WITH CEILING HEIGHTS AND EXISTING BEAMS, DUCTS, PIPES, ETC. THAT COULD CRITICALLY AFFECT THE ULTIMATE CEILING HEIGHT.
- DO NOT SCALE DRAWING. DIMENSIONS SHALL GOVERN. LARGE SCALE DETAILS SHALL GOVERN OVER SMALLER SCALE DETAILS.
- NO SUBSTITUTIONS ARE TO BE MADE WITHOUT CONSULTING WITH THE ARCHITECT. G.C. SHALL SUBMIT SUBSTITUTE MATERIAL SPECIFICATIONS AND SAMPLES FOR APPROVAL IN WRITING TO ARCHITECT PRIOR TO OWNER'S APPROVAL.
- G.C. SHALL PROVIDE WOOD BLOCKING AND NAILERS FOR WALL HUNG INSTRUCTIONAL AIDES AND ACCESSORIES AS REQUIRED FOR ADEQUATE SUPPORT.
- G.C. IS RESPONSIBLE FOR ALL REQUIRED TEMPORARY LIGHT, POWER & HVAC TO ACCOMPLISH THE WORK.
- G.C. SHALL COORDINATE WORK BEING PERFORMED BY OTHERS. G.C. SHALL COOPERATE AND COORDINATE WITH OTHER CONTRACTORS TO ENSURE HARMONY AT THE SITE, & SHALL COORDINATE THE USE OF BUILDING FACILITIES.
- ALL WORK PERFORMED UNDER THIS CONTRACT SHALL CONFORM TO THE BEST PRACTICES OF THE CONSTRUCTION TRADES IN A PROFESSIONAL AND WORKMANLIKE MANNER. ANY WORK WHICH DOES NOT MEET THESE STANDARDS MAY BE REJECTED BY THE ARCHITECT AND REDONE AT NO ADDITIONAL EXPENSE TO THE OWNER.
- G.C. SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AND SHALL COORDINATE ALL TRADES PRIOR TO COMMENCEMENT OF THE WORK. ANY DISCREPANCIES SHOWN IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION PRIOR TO EXECUTING THE JOB.
- INSTALLATION OF ALL MATERIALS AND EQUIPMENT SHALL BE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND INDUSTRY STANDARDS IN ACCORDANCE WITH NATIONAL (U.S.) TRADE ASSOCIATIONS.
- ALL ITEMS MARKED "NIC" ARE NOT-IN-CONTRACT & SHALL BE FURNISHED AND/OR INSTALLED BY OTHERS. ALL ITEMS MARKED "IC" ARE IN CONTRACT & ARE TO BE FURNISHED & INSTALLED BY CONTRACTOR
- DIMENSIONS INDICATED TO BE "CLEAR" SHALL HAVE A MINIMUM DIMENSION, FACE TO FACE OF FINISH MATERIALS, AS INDICATED.
- CONTRACTOR SHALL COORDINATE FLOOR SLAB ELEVATIONS W/ FLOOR DRAIN INVERT ELEVATION.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER ANY AREAS OF THE WORK REQUIRING ABATEMENT OF HAZARDOUS MATERIALS PRIOR TO DEMOLITION.
- ALL EXTERIOR CUSTOM MADE DECORATIVE COMPONENTS, INCLUDING BUT NOT LIMITED TO FACADE ALUMINUM GRILLES AND TRELIS ASSEMBLIES, AND ALL OTHER SYSTEMS OR ASSEMBLIES THAT DO NOT CONTAIN A CURRENT DADE COUNTY NOTICE OF ACCEPTANCE, SHALL BE DESIGNED AND ENGINEERED TO MEET ALL APPLICABLE SECTIONS OF THE FLORIDA BUILDING CODE 2017, PARTICULARLY THOSE APPLICABLE TO HIGH VELOCITY HURRICANE ZONES. CONTRACTOR SHALL SUBMIT TO ARCHITECT AND ENGINEER SIGNED AND SEALED SHOP DRAWINGS FOR ALL SYSTEMS WHICH MUST CERTIFY COMPLIANCE WITH THESE REQUIREMENTS.
- MAIN LOBBY AREA MUST BE ACCESSIBLE AT ALL TIMES.

REFLECTED CEILING PLAN SYMBOLS LEGEND:



GENERAL NOTES FOR FINISHES

- SEE SPECIFICATIONS FOR APPLICABLE FINISH INFORMATION U.O.N.
- SUBMIT WITH FINISH SAMPLES, EVIDENCE OF COMPLIANCE WITH FIRE & BUILDING CODES & REGULATIONS IN RESPECT TO FLAME SPREAD, SMOKE AND RELATED AND APPURTENANT ITEMS, CONDUCT MATERIALS & ASSEMBLIES TESTING AS APPLICABLE & AS REQUIRED.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PRODUCT APPROVALS.
- ALL FINISHES SHALL BE APPLIED IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS FOR THE PARTICULAR SURFACE.
- PRIOR TO APPLICATION OF PAINT, ALL WALLS SHALL BE PREPARED AS PER PAINT MANUFACTURER'S RECOMMENDATIONS.



REV. NO. DATE DESCRIPTION

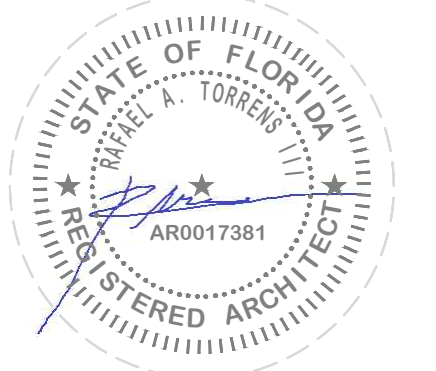
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01	12-14-2020	CLIENT COMMENTS

NOTES:

DISCIPLINE INFORMATION:

PROFESSIONAL OF RECORD: RAFAEL TORRENS	STAFF DESIGNER: RAFAEL TORRENS
Q.C. AUDITOR: MAYRA OROGEO	PRINCIPAL CAD TECHNICIAN: SANDY GUARIZO
PROJECT MANAGER: SELVA FERRERES	

PROFESSIONAL SEAL:



PROJECT:
ENTRY RENOVATION

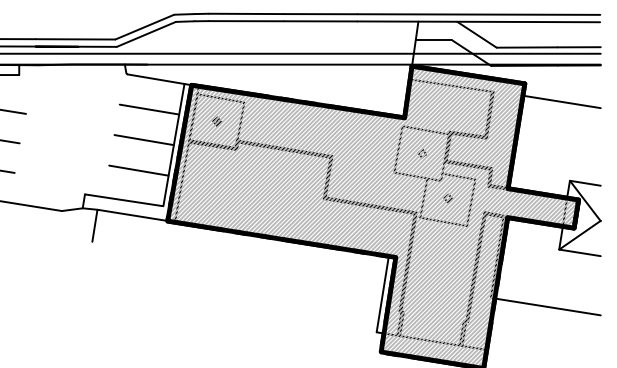
VIVIAN VILLAS

4650 W 12 TH AVENUE
HIALEAH, FL 33012-3200

DATE ISSUE DESCRIPTION

07/17/2019	ISSUED FOR PERMIT
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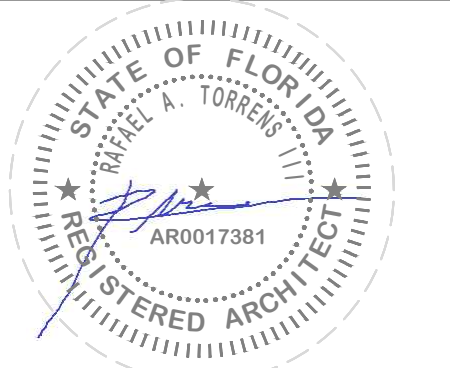
IN ASSOCIATION WITH:

REV. NO.	DATE	DESCRIPTION
01	12-14-2020	CLIENT COMMENTS

NOTES:

DISCIPLINE INFORMATION:	
PROFESSIONAL OF RECORD: RAFAEL TORRENS	STAFF DESIGNER: RAFAEL TORRENS
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PROJECT MANAGER: SELVA FUENTES	

PROFESSIONAL SEAL:



PROJECT:

ENTRY RENOVATION

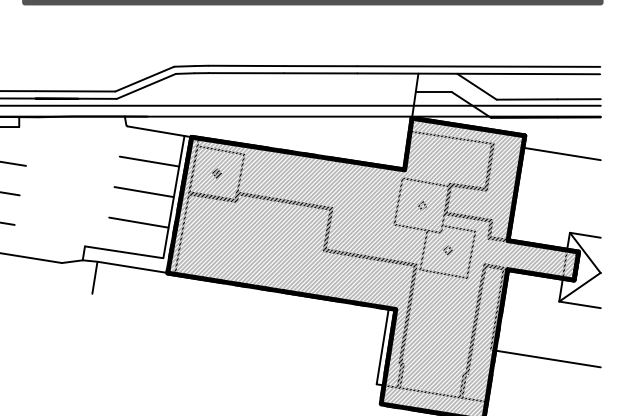
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HALEAH, FL 33012-3200

DATE ISSUE DESCRIPTION

07/17/2019 ISSUED FOR PERMIT

DRAWING INFORMATION:



KEY PLAN

SHEET TITLE:

EXISTING SITE PLAN

DELIVERY DATE: 05/20/2019

PROJECT NUMBER: 18-0221 C05

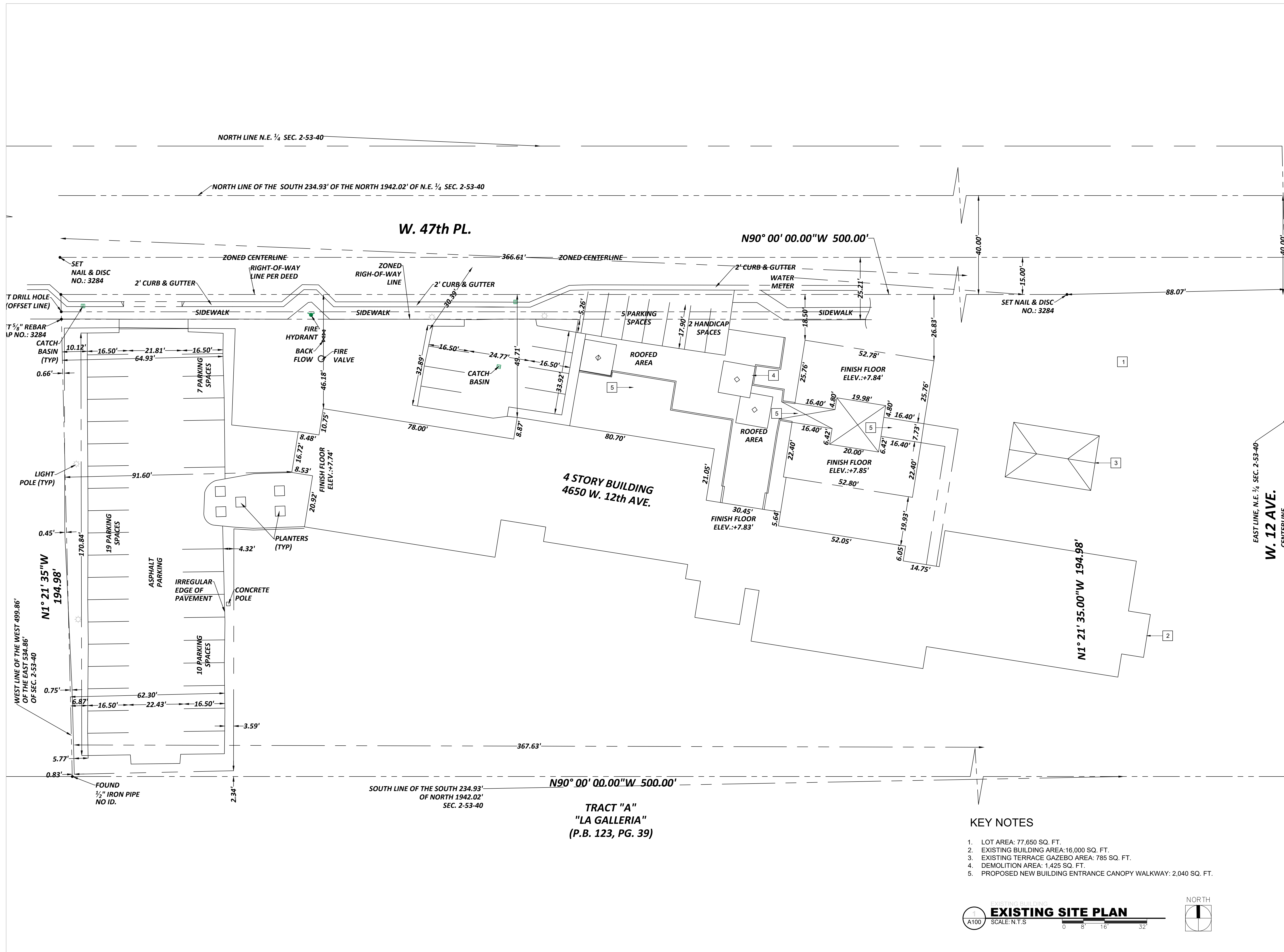
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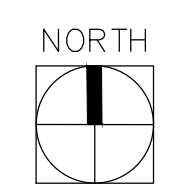
02 of 13



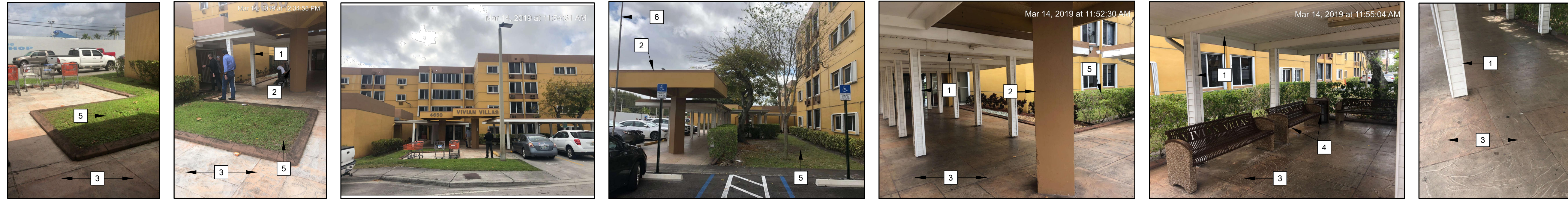
KEY NOTES

1. LOT AREA: 77,650 SQ. FT.
2. EXISTING BUILDING AREA: 16,000 SQ. FT.
3. EXISTING TERRACE GAZEBO AREA: 785 SQ. FT.
4. DEMOLITION AREA: 1,425 SQ. FT.
5. PROPOSED NEW BUILDING ENTRANCE CANOPY WALKWAY: 2,040 SQ. FT.

EXISTING BUILDING
EXISTING SITE PLAN
SCALE: N.T.S.



TRACT "A"
"LA GALLERIA"
(P.B. 123, PG. 39)

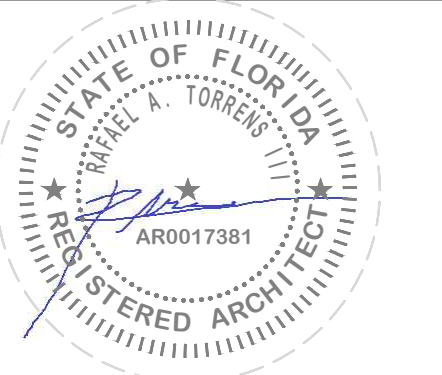


REV. NO.	DATE	DESCRIPTION
01	12-14-2020	CLIENT COMMENTS

NOTES:

DISCIPLINE INFORMATION:	
PROFESSIONAL OF RECORD: RAFAEL TORRENS	STAFF DESIGNER: RAFAEL TORRENS
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PROFESSIONAL SEAL:



PROJECT:

ENTRY RENOVATION

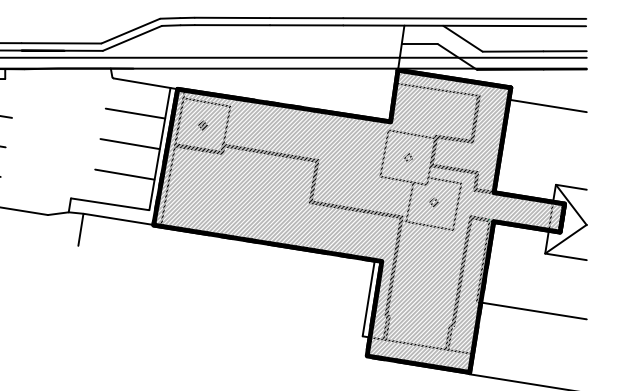
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DATE ISSUE DESCRIPTION

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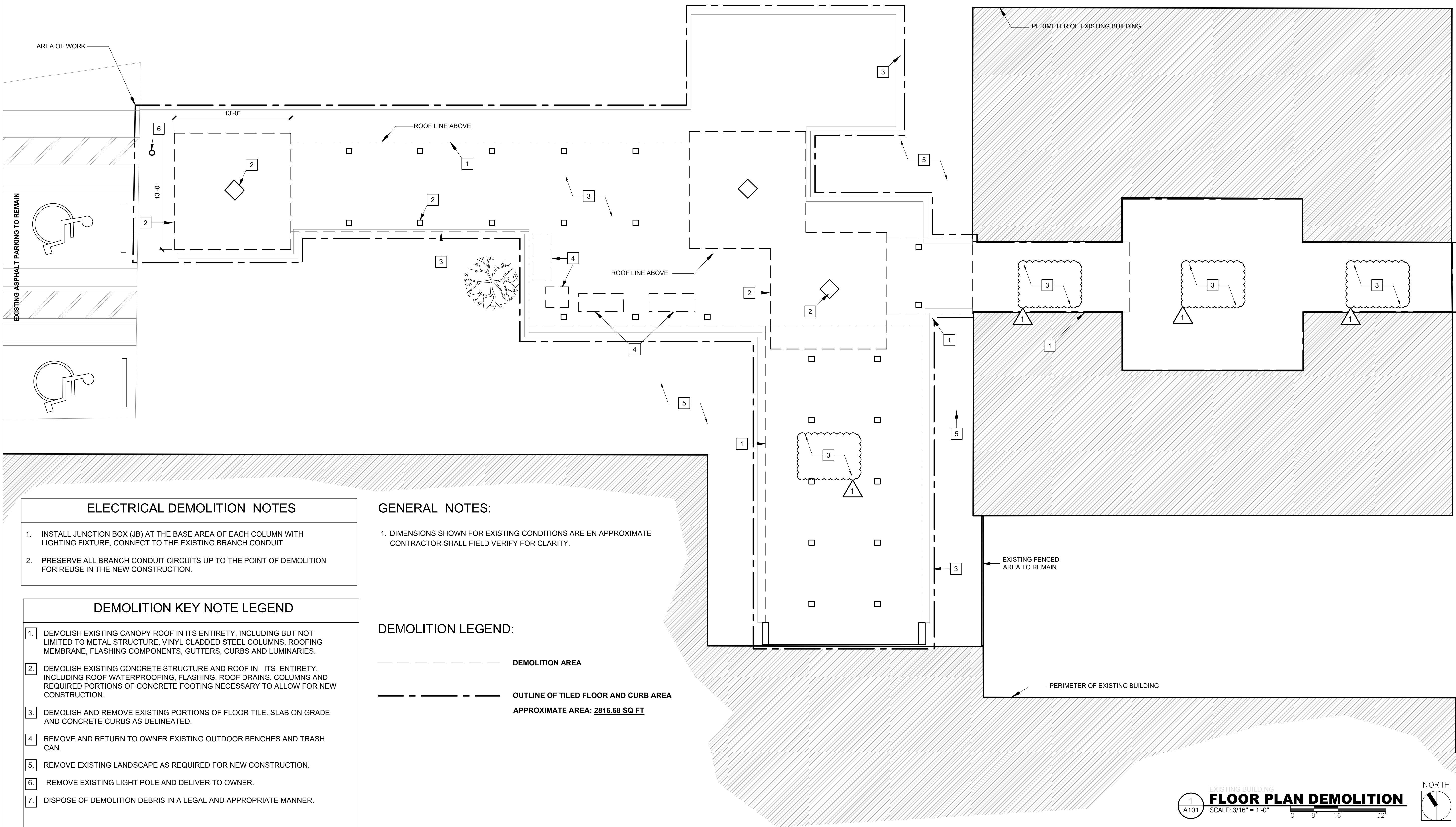


KEY PLAN

SHEET TITLE:

FLOOR PLAN DEMOLITION

DELIVERY DATE: 05/20/2019	PROJECT NUMBER: 18-0221 C05
PRINT DATE & TIME: 05/20/2019	CAD FILE NAME: A101
DRAWING LOCATION: A:\Projects\MA_Projects\0418-0221\C05\06\Technical\08Architecture\DWG	
SHEET NO. A101.0	



ELECTRICAL DEMOLITION NOTES

- INSTALL JUNCTION BOX (JB) AT THE BASE AREA OF EACH COLUMN WITH LIGHTING FIXTURE, CONNECT TO THE EXISTING BRANCH CONDUIT.
- PRESERVE ALL BRANCH CONDUIT CIRCUITS UP TO THE POINT OF DEMOLITION FOR REUSE IN THE NEW CONSTRUCTION.

DEMOLITION KEY NOTE LEGEND

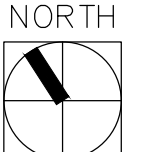
- DEMOLISH EXISTING CANOPY ROOF IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO METAL STRUCTURE, VINYL CLADDED STEEL COLUMNS, ROOFING MEMBRANE, FLASHING COMPONENTS, GUTTERS, CURBS AND LUMINARIES.
- DEMOLISH EXISTING CONCRETE STRUCTURE AND ROOF IN ITS ENTIRETY, INCLUDING ROOF WATERPROOFING, FLASHING, ROOF DRAINS, COLUMNS AND REQUIRED PORTIONS OF CONCRETE FOOTING NECESSARY TO ALLOW FOR NEW CONSTRUCTION.
- DEMOLISH AND REMOVE EXISTING PORTIONS OF FLOOR TILE, SLAB ON GRADE AND CONCRETE CURBS AS DELINEATED.
- REMOVE AND RETURN TO OWNER EXISTING OUTDOOR BENCHES AND TRASH CAN.
- REMOVE EXISTING LANDSCAPE AS REQUIRED FOR NEW CONSTRUCTION.
- REMOVE EXISTING LIGHT POLE AND DELIVER TO OWNER.
- DISPOSE OF DEMOLITION DEBRIS IN A LEGAL AND APPROPRIATE MANNER.

GENERAL NOTES:

- DIMENSIONS SHOWN FOR EXISTING CONDITIONS ARE EN APPROXIMATE CONTRACTOR SHALL FIELD VERIFY FOR CLARITY.

DEMOLITION LEGEND:

- DEMOLITION AREA
- OUTLINE OF TILED FLOOR AND CURB AREA
APPROXIMATE AREA: 2816.68 SQ FT

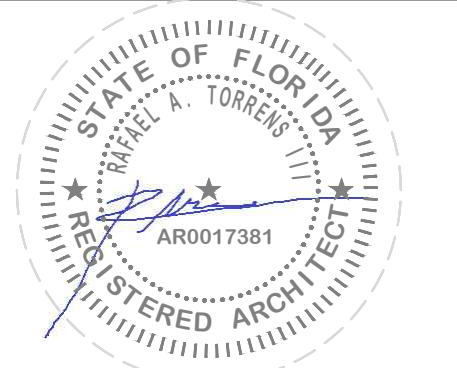


REV. NO.	DATE	DESCRIPTION
01	12-14-2020	CLIENT COMMENTS
01BD	09-25-2019	BD (BUILDING DEPARTMENT) CHANGES
02	11-26-2019	CLIENT CHANGES
03	11-25-2020	REVISION TO PERMIT

NOTES:

DISCIPLINE INFORMATION:	
PROFESSIONAL OF RECORD: RAFAEL TORRENS	STAFF DESIGNER: RAFAEL TORRENS
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PROJECT MANAGER: SELVA RUIZ	

PROFESSIONAL SEAL:



PROJECT:

ENTRY RENOVATION

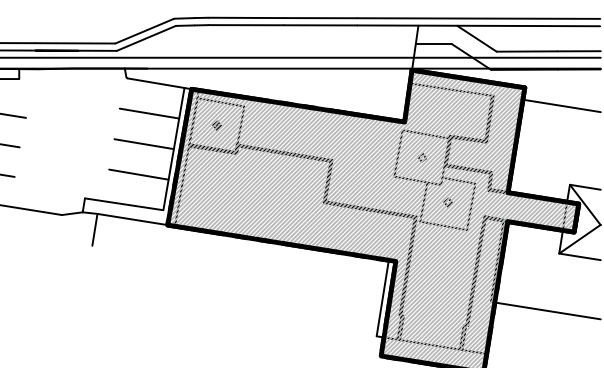
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HALEAH, FL 33012-3200

DATE ISSUE DESCRIPTION

07/17/2019 ISSUED FOR PERMIT

DRAWING INFORMATION:



KEY PLAN

SHEET TITLE:

PROPOSED FLOOR PLAN

DELIVERY DATE: 05/20/2019

PRINT DATE & TIME: 05/20/2019

DRAWING LOCATION: A:\Projects\MA_Projects\418-0221\C05\05\Technical\08a\Architecture\DWG

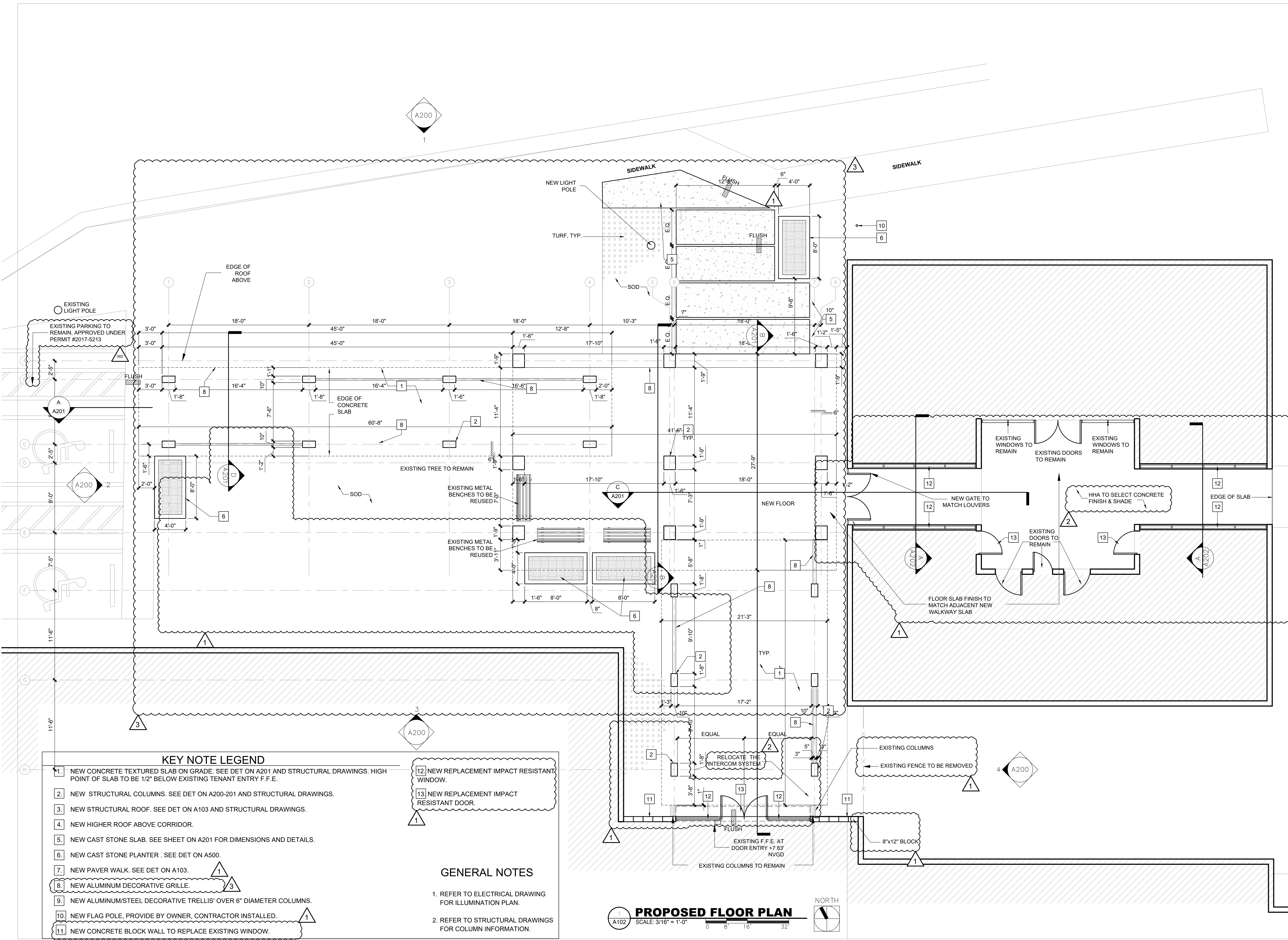
SHEET NO. 04 of 13

PROJECT NUMBER: 18-0221 C05

CAD FILE NAME: A102

A102.0

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KEY NOTE LEGEND

1. NEW CONCRETE TEXTURED SLAB ON GRADE. SEE DET ON A201 AND STRUCTURAL DRAWINGS. HIGH POINT OF SLAB TO BE 1/2" BELOW EXISTING TENANT ENTRY F.F.E.
2. NEW STRUCTURAL COLUMNS. SEE DET ON A200-201 AND STRUCTURAL DRAWINGS.
3. NEW STRUCTURAL ROOF. SEE DET ON A103 AND STRUCTURAL DRAWINGS.
4. NEW HIGHER ROOF ABOVE CORRIDOR.
5. NEW CAST STONE SLAB. SEE SHEET ON A201 FOR DIMENSIONS AND DETAILS.
6. NEW CAST STONE PLANTER. SEE DET ON A500.
7. NEW PAVER WALK. SEE DET ON A103.
8. NEW ALUMINUM DECORATIVE GRILLE.
9. NEW ALUMINUM/STEEL DECORATIVE TRELLIS OVER 6" DIAMETER COLUMNS.
10. NEW FLAG POLE. PROVIDE BY OWNER. CONTRACTOR INSTALLED.
11. NEW CONCRETE BLOCK WALL TO REPLACE EXISTING WINDOW.

GENERAL NOTES

1. REFER TO ELECTRICAL DRAWING FOR ILLUMINATION PLAN.
2. REFER TO STRUCTURAL DRAWINGS FOR COLUMN INFORMATION.

PROPOSED FLOOR PLAN

SCALE: 3/16" = 1'-0"



NORTH

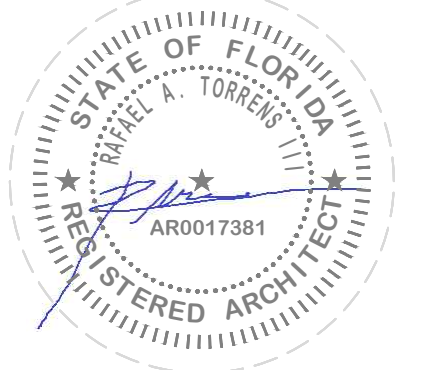
REV. NO.	DATE	DESCRIPTION
01	12-14-2020	CLIENT COMMENTS
03	11-25-2020	CHANGE TO PERMIT

NOTES:

DISCIPLINE INFORMATION:

PROFESSIONAL OF RECORD: RAFAEL TORRENS	STAFF DESIGNER: RAFAEL TORRENS
Q.C. AUDITOR: MAYRA CORDERO	PRINCIPAL CAD TECHNICIAN: SANDY SUAREZ
PROJECT MANAGER: SELVA FUENTES	

PROFESSIONAL SEAL:



PROJECT:

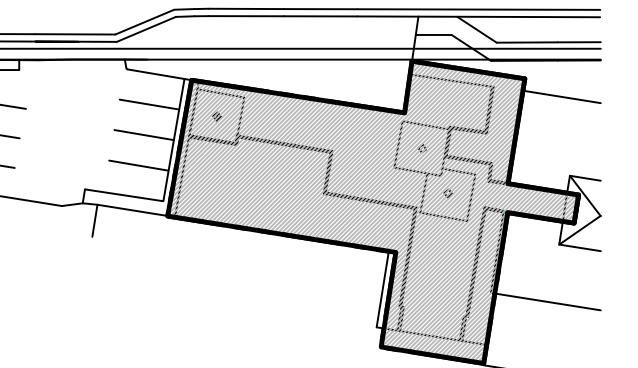
ENTRY RENOVATION

VIVIAN VILLAS

4650 W 12 TH AVENUE
HALEAH, FL 33012-3200

DATE	ISSUE DESCRIPTION
07/17/2019	ISSUED FOR PERMIT

DRAWING INFORMATION:

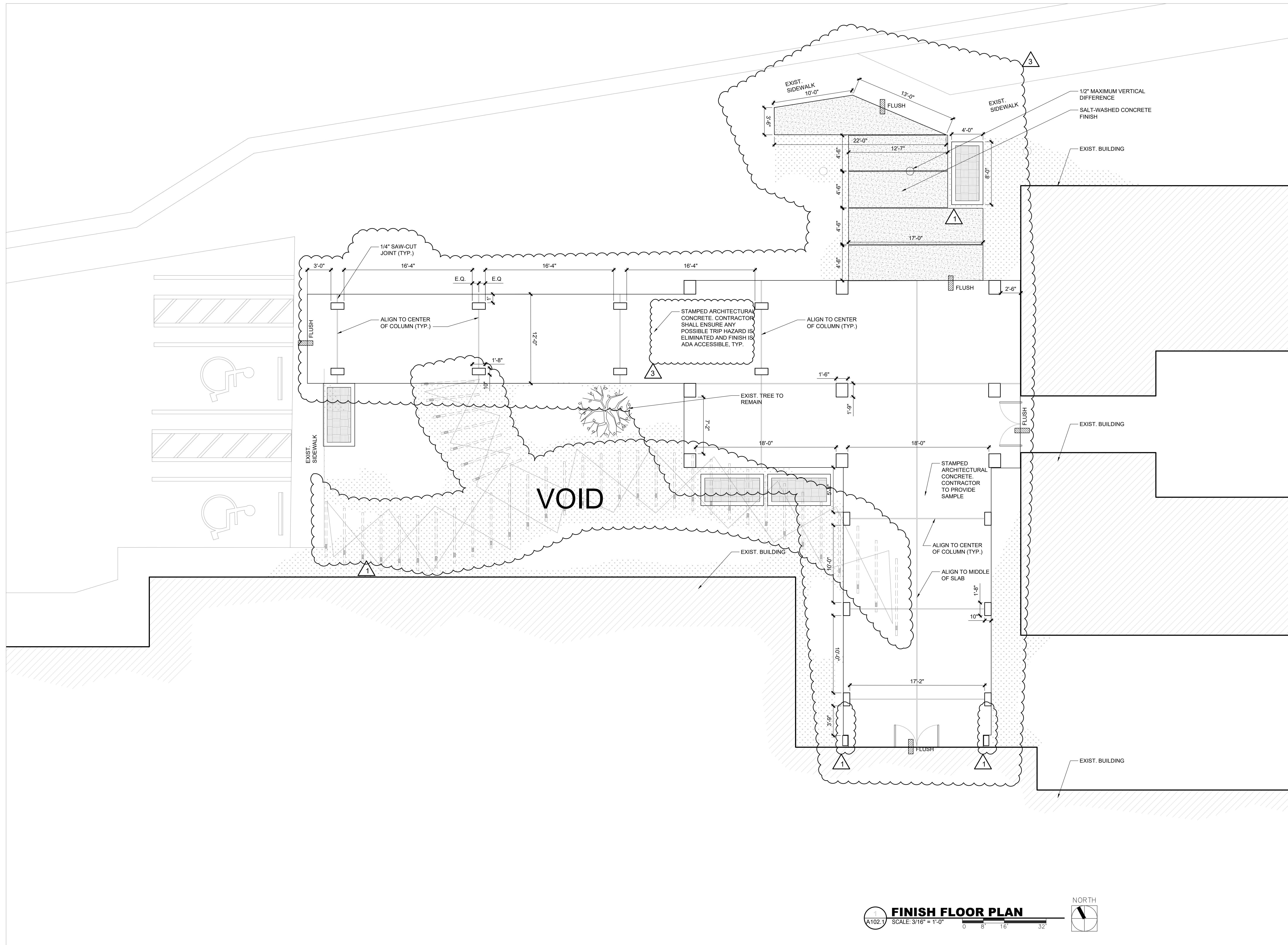


KEY PLAN

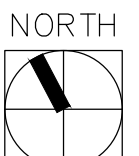
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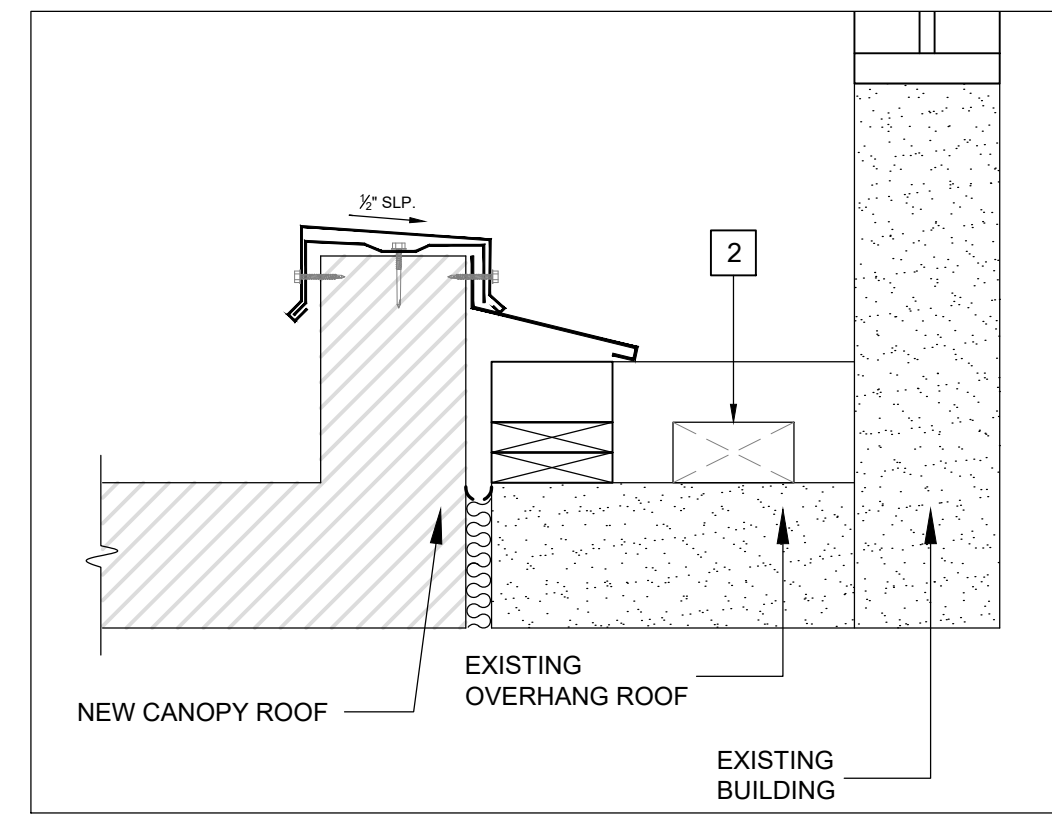
FINISH FLOOR PLAN

DELIVERY DATE: 05/20/2019	PROJECT NUMBER: 18-0221 C05
PRINT DATE & TIME: 05/20/2019	CAD FILE NAME: A102.1
DRAWING LOCATION: A:\Projects\MA_Projects\0418-0221\C05\06\Technical\08Architecture\DWG	
SHEET NO. A102.1.0	

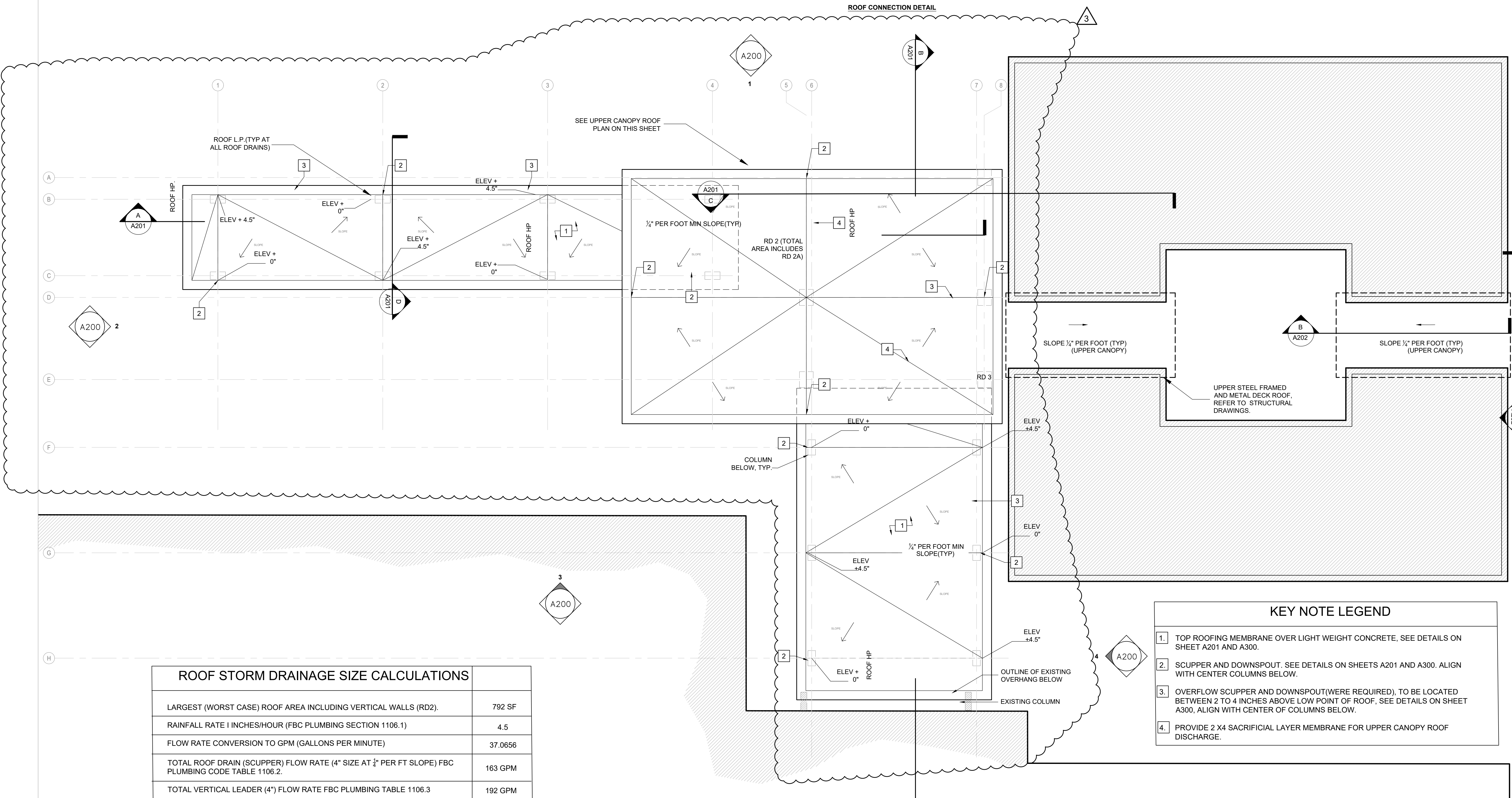


FINISH FLOOR PLAN
SCALE: 3/16" = 1'-0"
0 8' 16' 32'





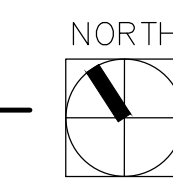
ROOF CONNECTION DETAIL



ROOF STORM DRAINAGE SIZE CALCULATIONS	
LARGEST (WORST CASE) ROOF AREA INCLUDING VERTICAL WALLS (RD2).	792 SF
RAINFALL RATE I INCHES/HOUR (FBC PLUMBING SECTION 1106.1)	4.5
FLOW RATE CONVERSION TO GPM (GALLONS PER MINUTE)	37.0656
TOTAL ROOF DRAIN (SCUPPER) FLOW RATE (4" SIZE AT 1/4" PER FT SLOPE) FBC PLUMBING CODE TABLE 1106.2.	163 GPM
TOTAL VERTICAL LEADER (4") FLOW RATE FBC PLUMBING TABLE 1106.3	192 GPM
GENERAL ROOF STORM DRAINAGE NOTES:	
1. UNLESS OTHERWISE NOTED, ALL SCUPPERS, OVERFLOW SCUPPERS AND DOWNSPOUTS ARE TO BE NO LESS THAN 4 INCHES IN SIZE.	

- KEY NOTE LEGEND**
- TOP ROOFING MEMBRANE OVER LIGHT WEIGHT CONCRETE, SEE DETAILS ON SHEET A201 AND A300.
 - SCUPPER AND DOWNSPOUT. SEE DETAILS ON SHEETS A201 AND A300. ALIGN WITH CENTER COLUMNS BELOW.
 - OVERFLOW SCUPPER AND DOWNSPOUT(WERE REQUIRED), TO BE LOCATED BETWEEN 2 TO 4 INCHES ABOVE LOW POINT OF ROOF, SEE DETAILS ON SHEET A300, ALIGN WITH CENTER OF COLUMNS BELOW.
 - PROVIDE 2 X4 SACRIFICIAL LAYER MEMBRANE FOR UPPER CANOPY ROOF DISCHARGE.

PROPOSED ROOF PLAN
SCALE: 3/16" = 1'-0"

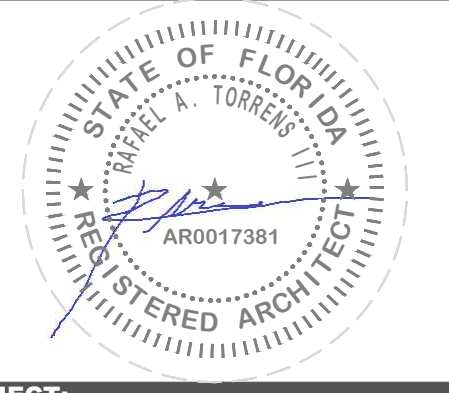


REV. NO.	DATE	DESCRIPTION
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03	11-25-2020	REVISION TO PERMIT

NOTES:

DISCIPLINE INFORMATION:

PROFESSIONAL OF RECORD: RAFAEL TORRENS	STAFF DESIGNER: RAFAEL TORRENS
Q.C. AUDITOR: MAYRA OREGO	PRINCIPAL CAD TECHNICIAN: SANDY SUAREZ
PROJECT MANAGER: SELVA FUENTES	



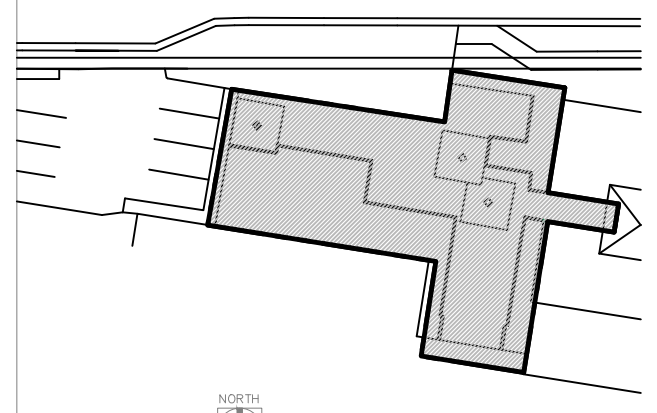
PROJECT:
ENTRY RENOVATION

VIVIAN VILLAS

4650 W 12 TH AVENUE
HIALEAH, FL 33012-3200

DATE	ISSUE DESCRIPTION
07/17/2019	ISSUED FOR PERMIT

DRAWING INFORMATION:



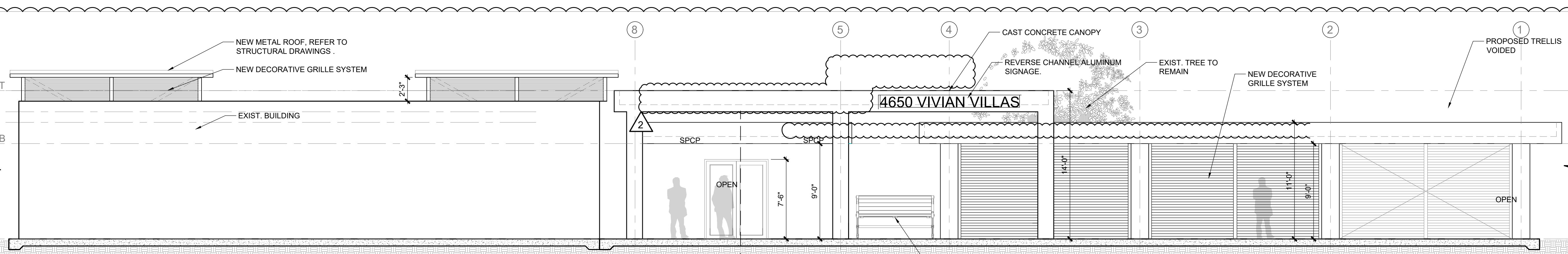
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PROPOSED ROOF PLAN

DELIVERY DATE: 05/20/2019	PROJECT NUMBER: 18-0221 C05
PRINT DATE & TIME: 05/20/2019	CAD FILE NAME: A103
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SHEET NO. A103.0	

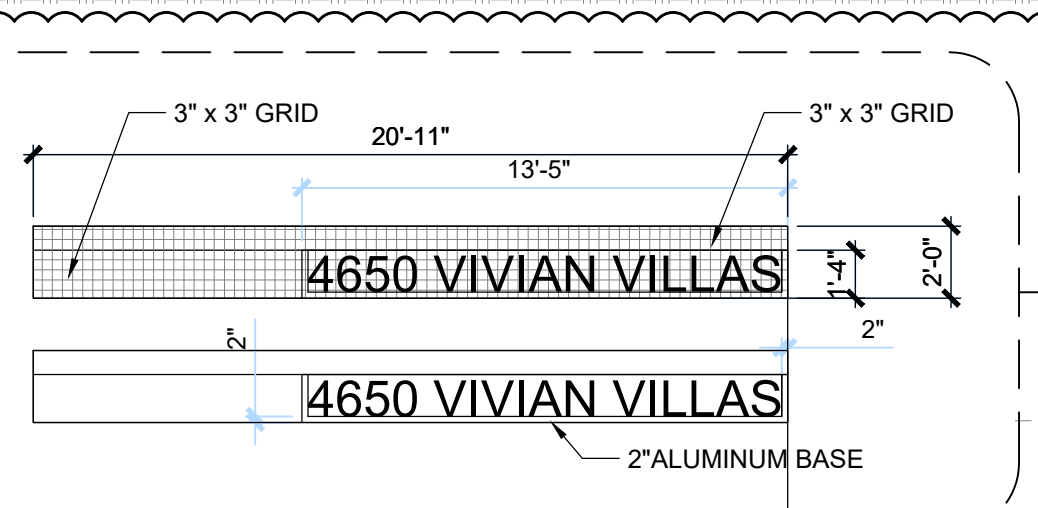
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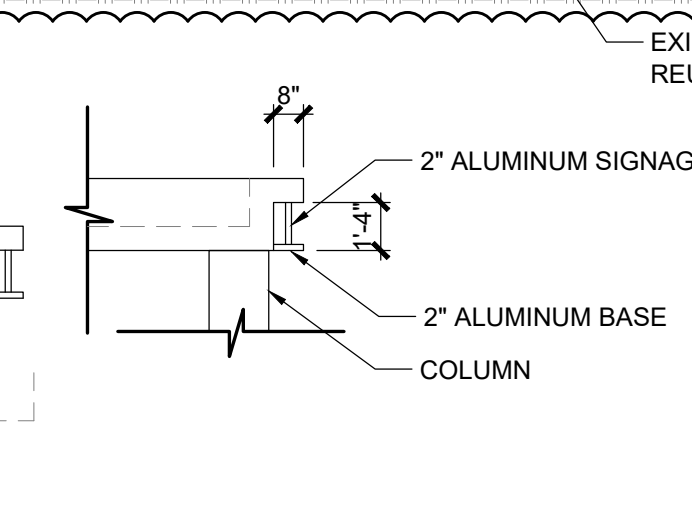
IN ASSOCIATION WITH:



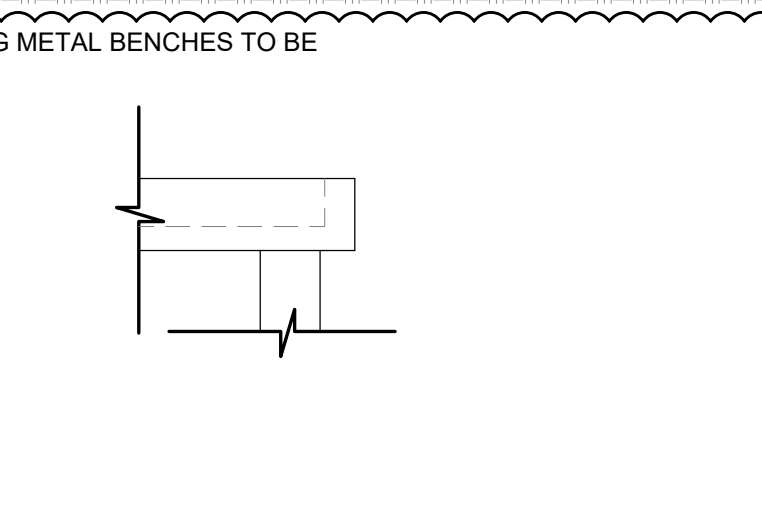
1 NORTH ELEVATION
A200 SCALE: 3/16" = 1'-0"



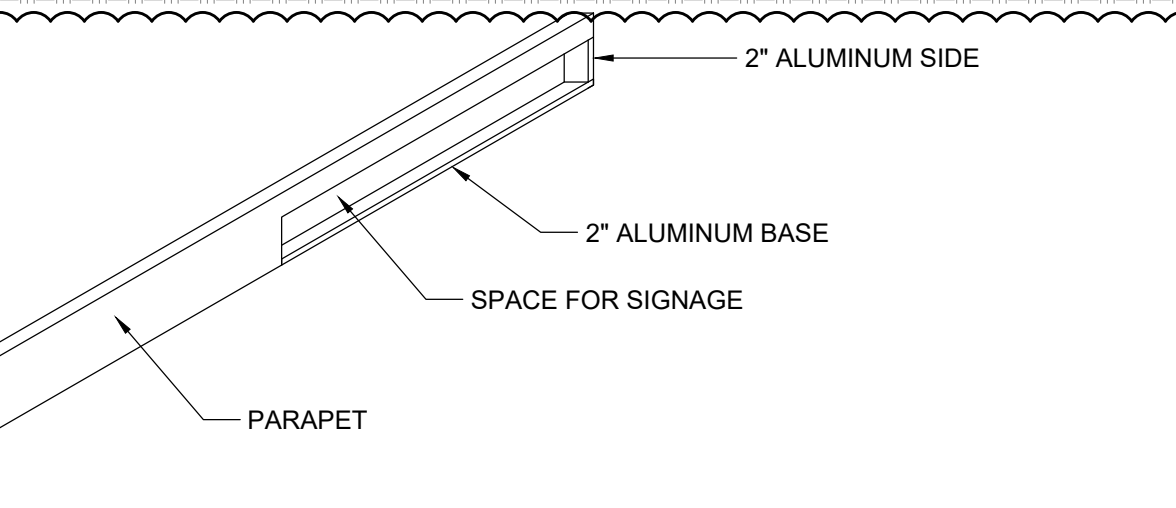
5 ENTRANCE SIGN ELEVATION
A200 SCALE: 3/16" = 1'-0"



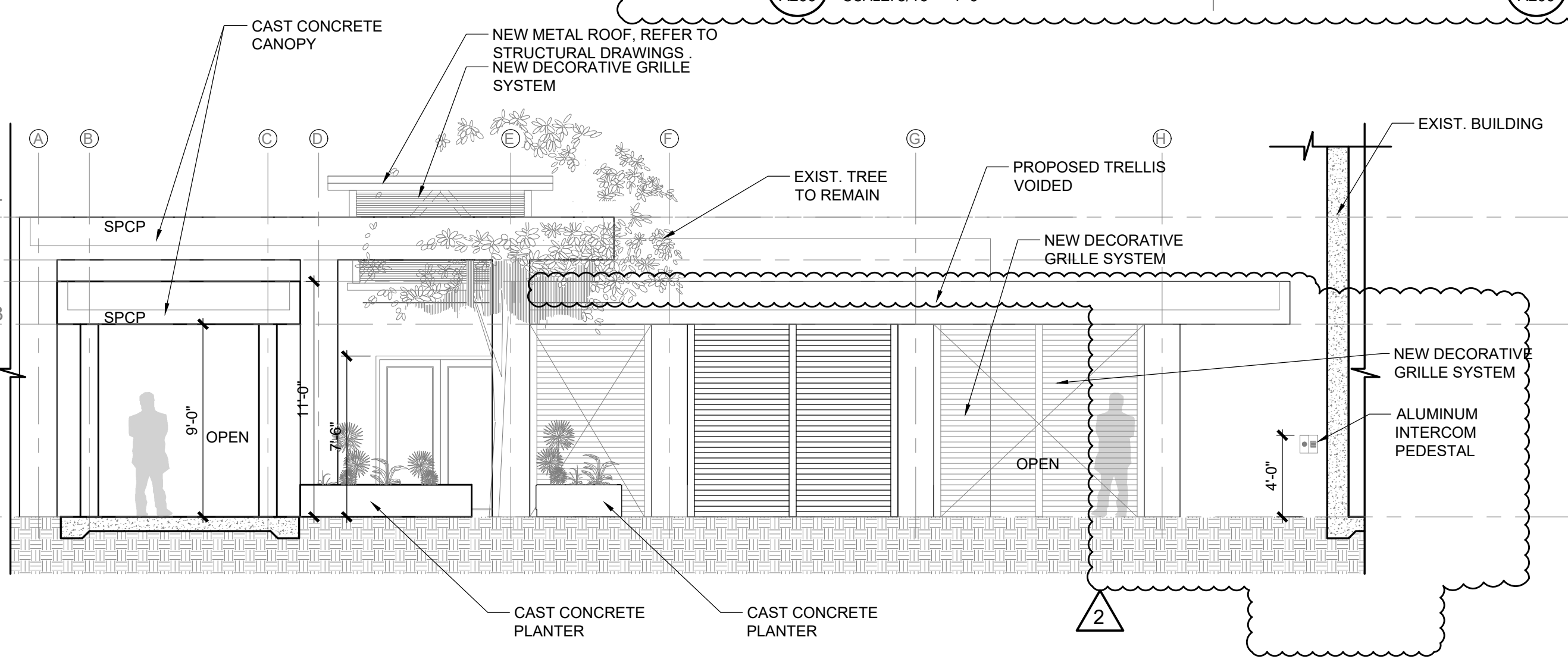
6 SECTION AT SIGN
A200 SCALE: 3/16" = 1'-0"



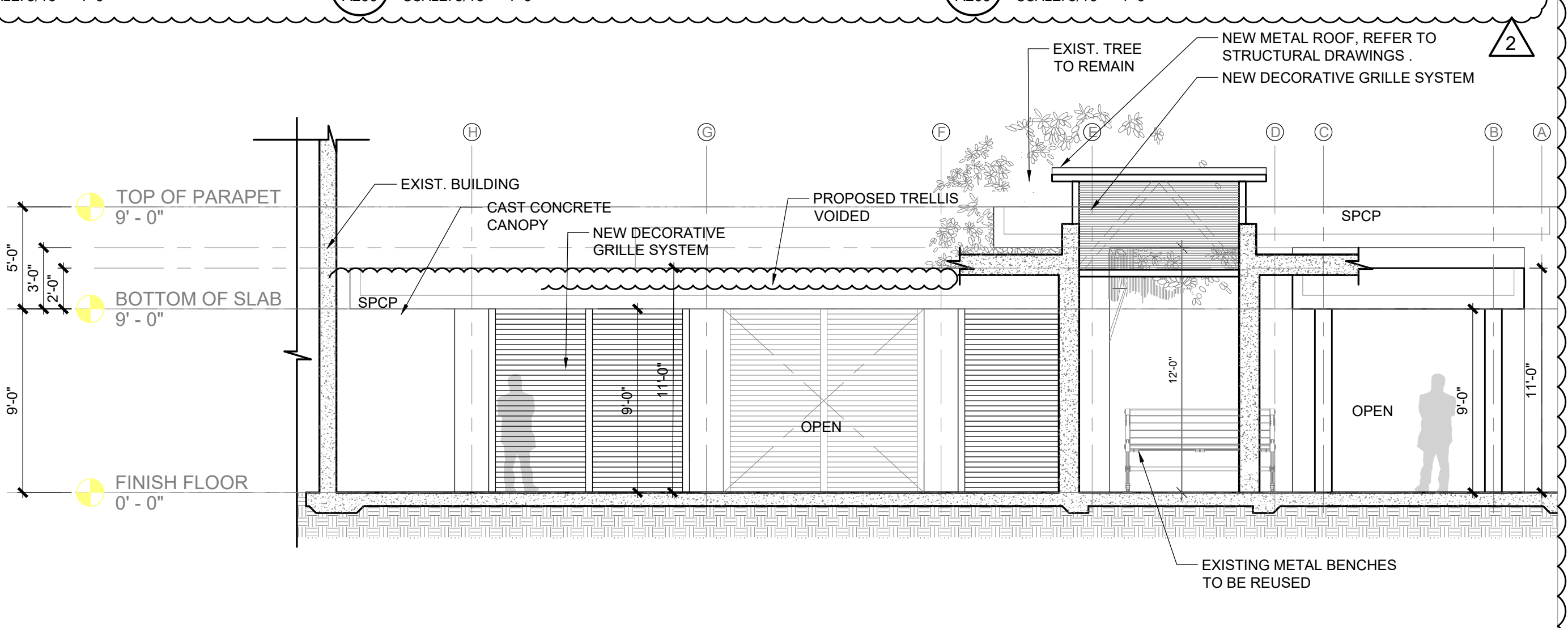
7 SECTION AT PARAPET
A200 SCALE: 3/16" = 1'-0"



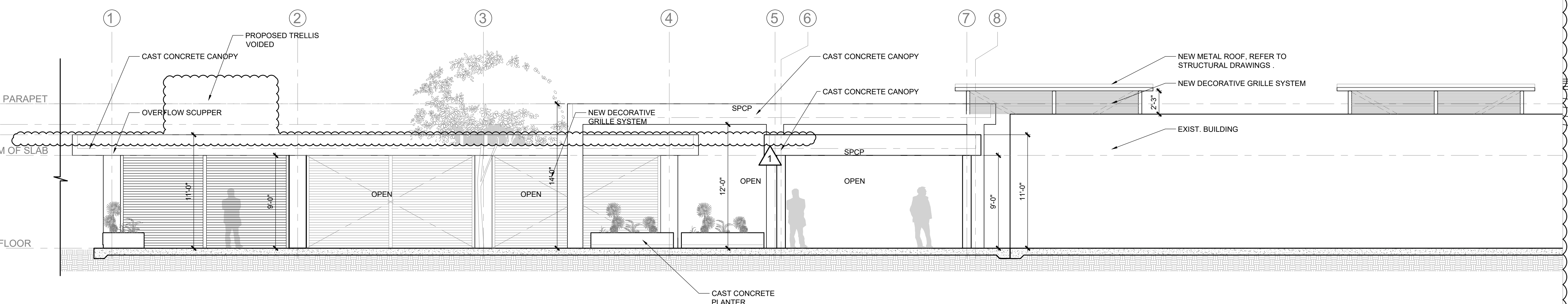
8 ISONOMETRIC SIGNAGE
A200 SCALE: 3/16" = 1'-0"



2 WEST ELEVATION
A200 SCALE: 3/16" = 1'-0"



4 EAST ELEVATION
A200 SCALE: 3/16" = 1'-0"



3 SOUTH ELEVATION
A200 SCALE: 3/16" = 1'-0"

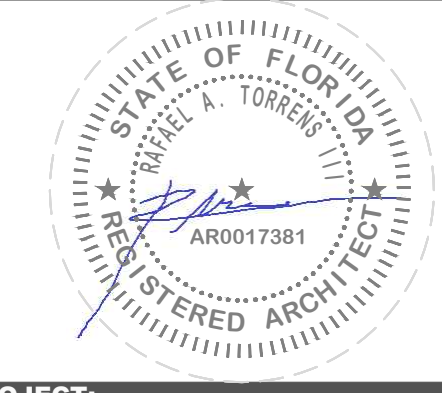
REV. NO.	DATE	DESCRIPTION
01	12-14-2020	CLIENT COMMENTS
02	11-26-2019	CLIENT CHANGES
03	11-25-2020	REVISION TO PERMIT

NOTES:

DISCIPLINE INFORMATION:

PROFESSIONAL OF RECORD: RAFAEL TORRENS	STAFF DESIGNER: RAFAEL TORRENS
Q.C. AUDITOR: MAYRA CIBREDO	PRINCIPAL CAD TECHNICIAN: SANDY SUAREZ
PROJECT MANAGER: SELVA FUENTES	

PROFESSIONAL SEAL:



PROJECT:

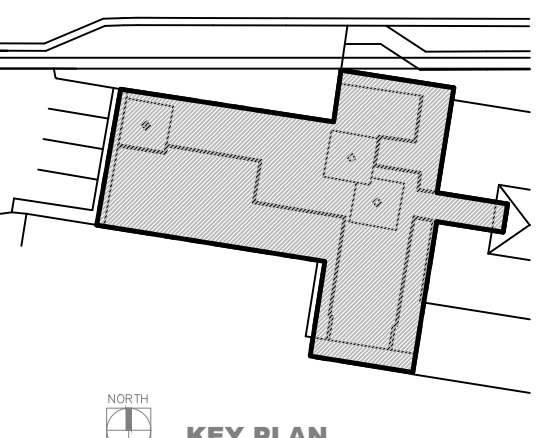
ENTRY RENOVATION

VIVIAN VILLAS

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HIALEAH, FL 33012-3200

DATE	ISSUE DESCRIPTION
07/17/2019	ISSUED FOR PERMIT

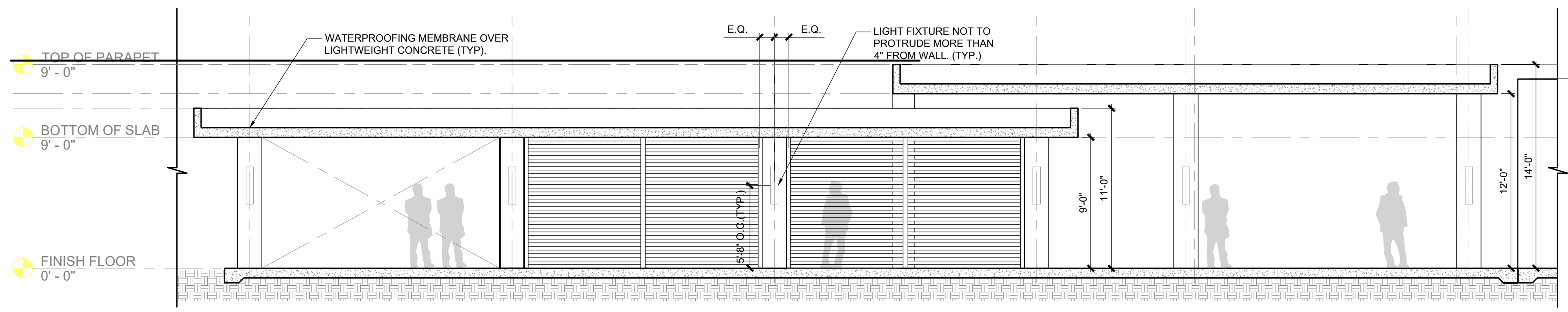
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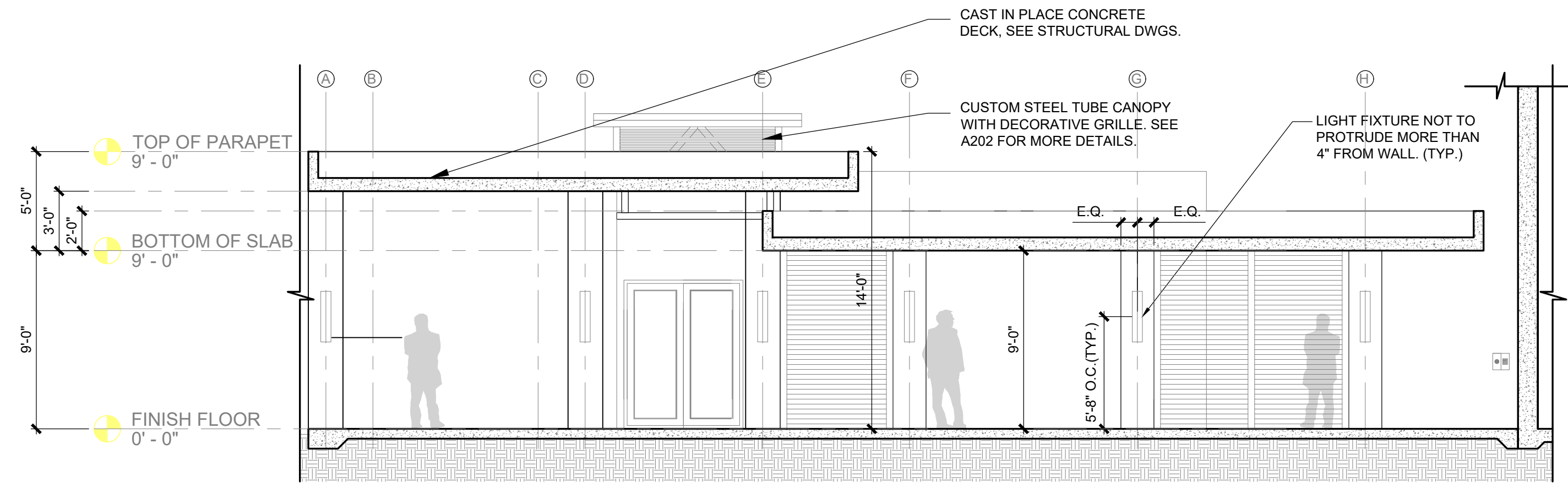
SHEET TITLE:

PROPOSED ELEVATIONS

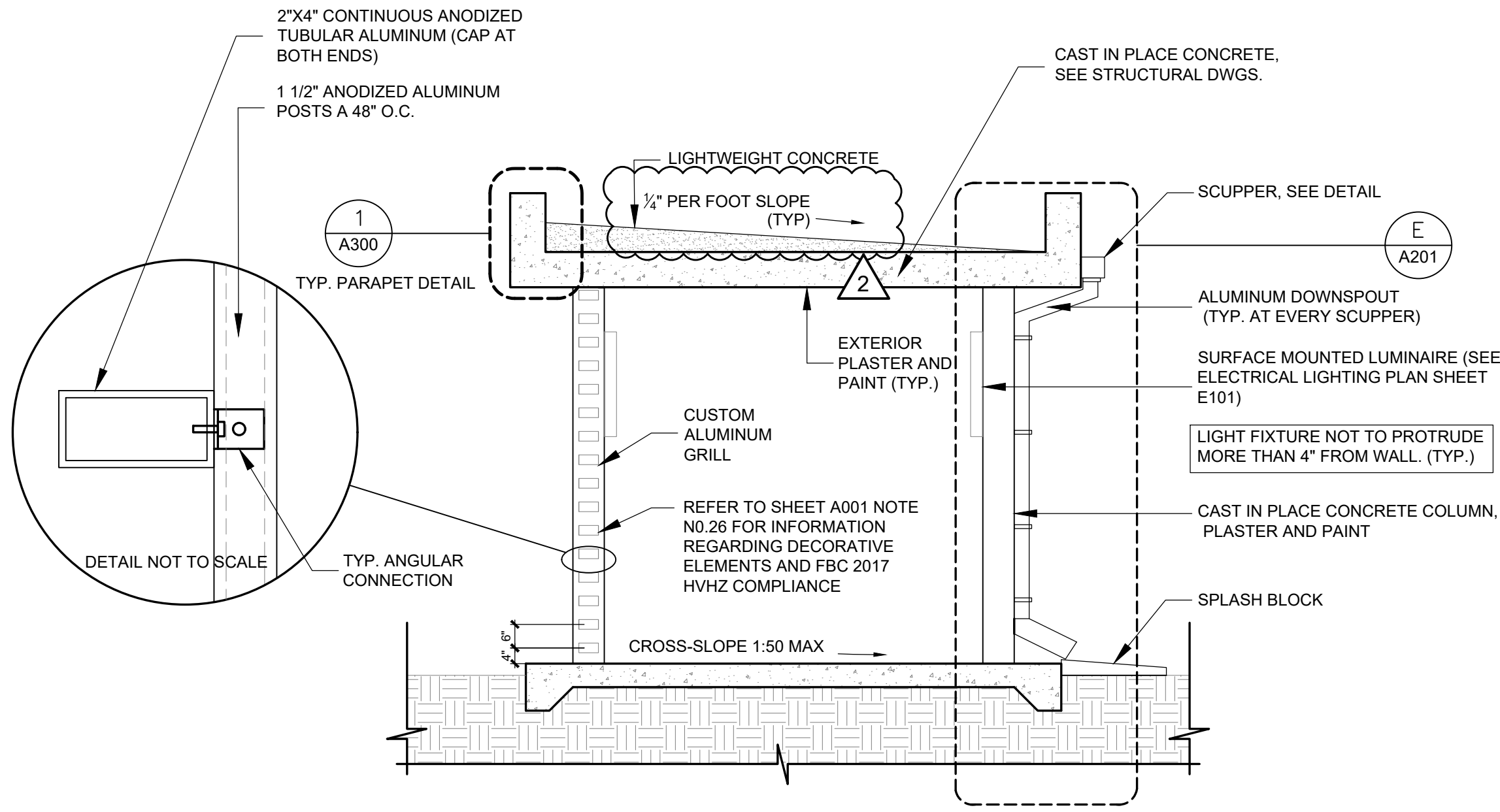
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PRINT DATE & TIME: 05/20/2019	CAD FILE NAME: A200
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SHEET NO.:	A200.0



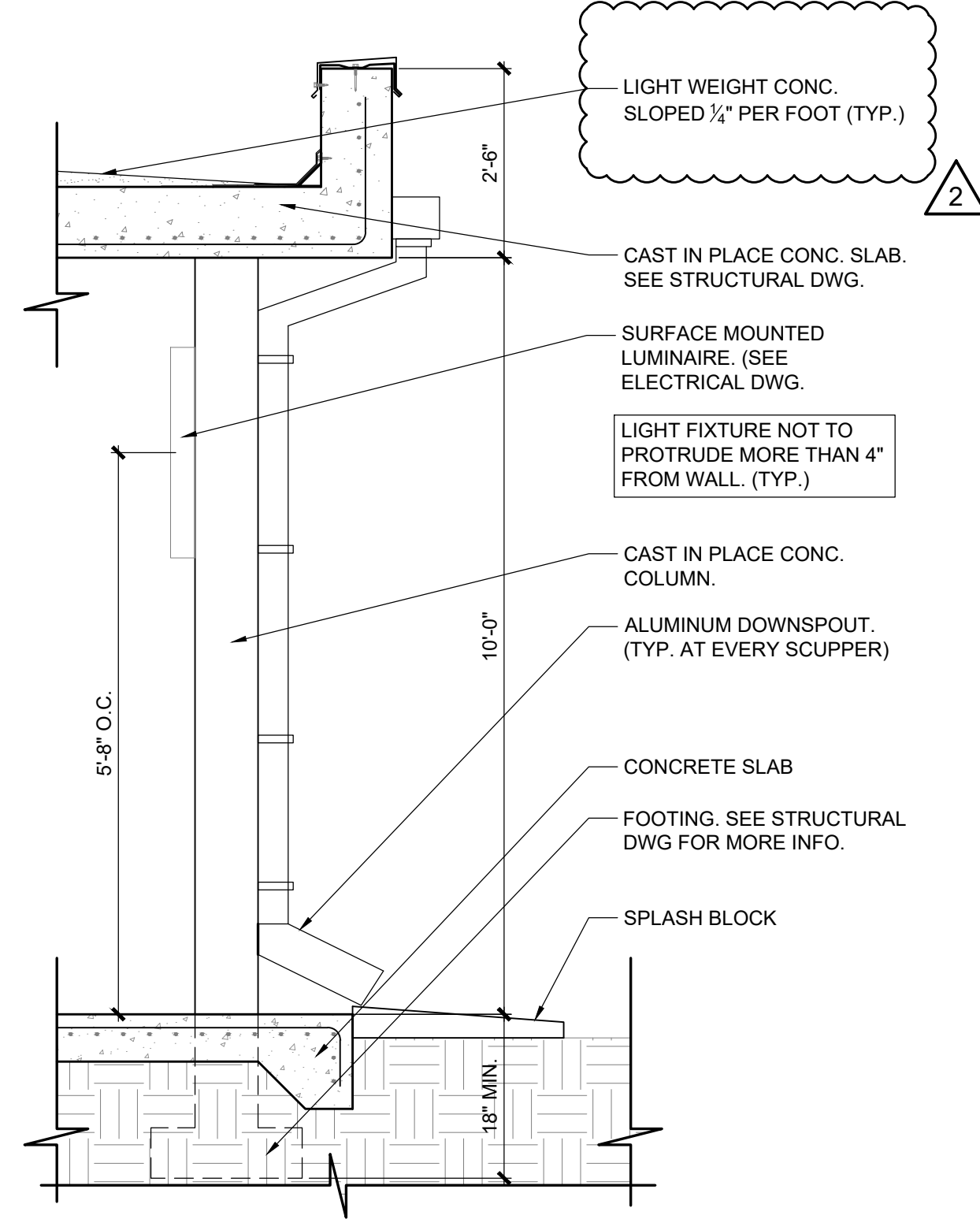
A ELEVATION SECTION
A201 SCALE: 3/16" = 1'-0"



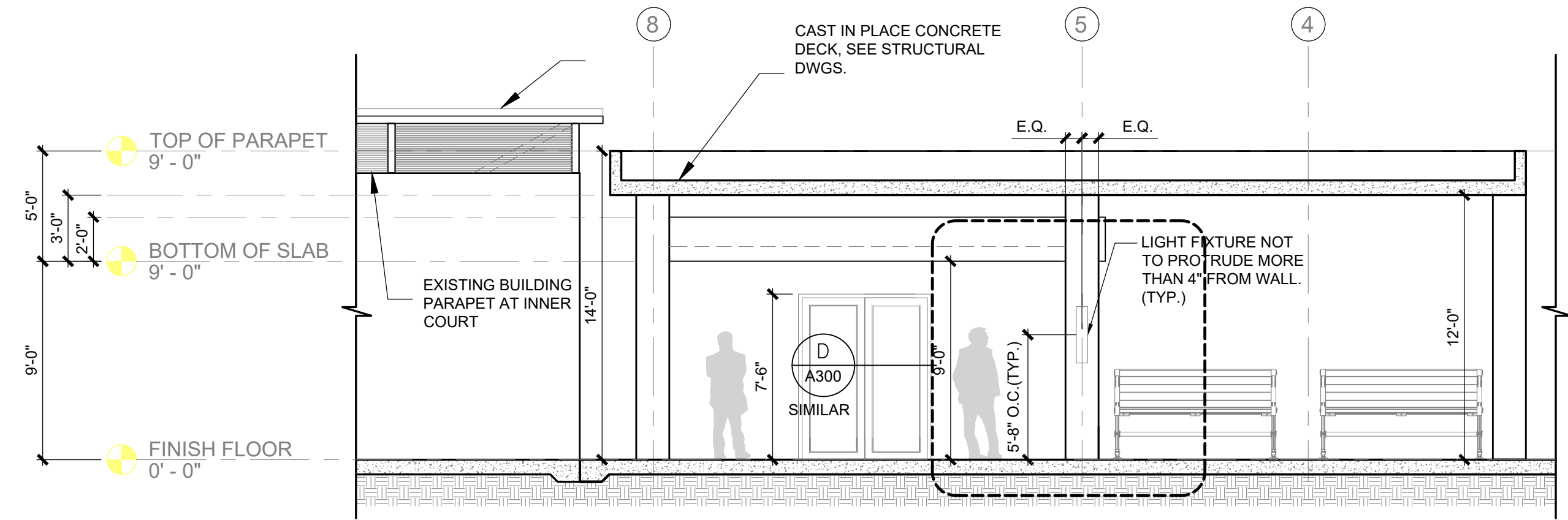
B ELEVATION SECTION
A201 SCALE: 3/16" = 1'-0"



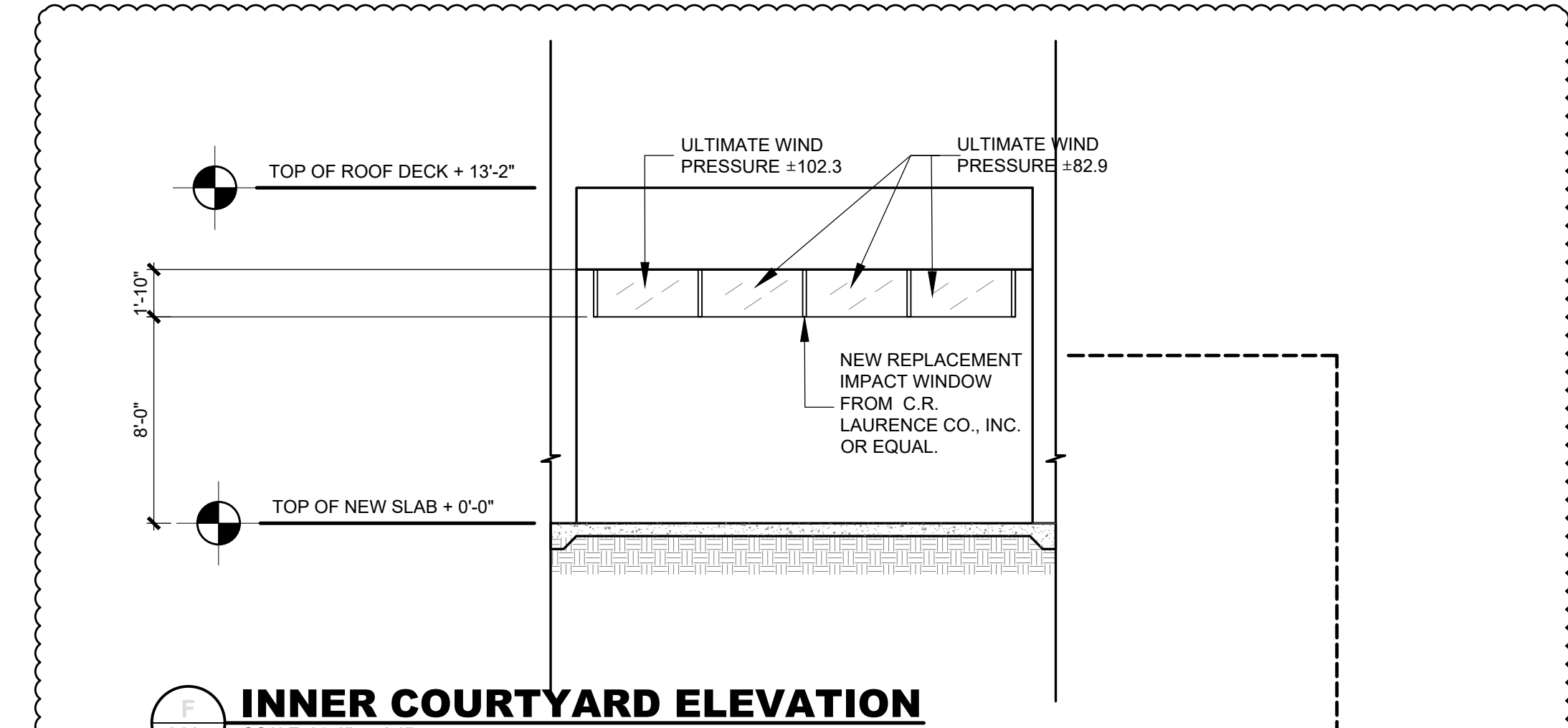
C ELEVATION SECTION
A201 SCALE: 3/8" = 1'-0"



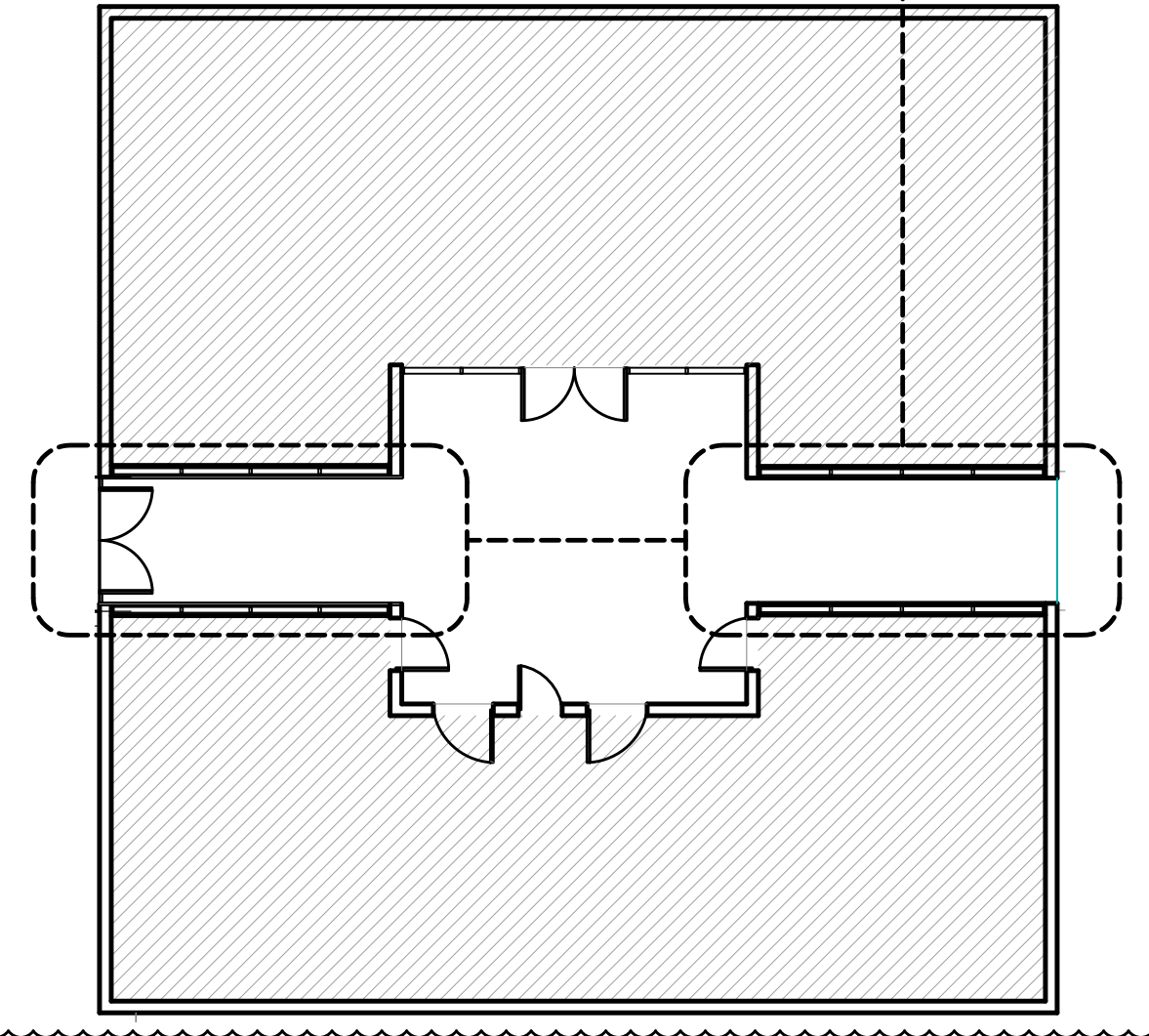
E TYPICAL CANOPY SECTION DETAIL
A201 SCALE: 1/2" = 1'-0"



C ELEVATION SECTION
A201 SCALE: 3/16" = 1'-0"



F INNER COURTYARD ELEVATION
A201 SCALE: 3/16" = 1'-0"



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01	12-14-2020	CLIENT COMMENTS
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NOTES:

DISCIPLINE INFORMATION:	
PROFESSIONAL OF RECORD: RAFAEL TORRENS	STAFF DESIGNER: RAFAEL TORRENS
Q.C. AUDITOR: MAYRA OREGO	PRINCIPAL CAD TECHNICIAN: SANDY SUAREZ
PROJECT MANAGER: SELIA FUENTES	

PROFESSIONAL SEAL:

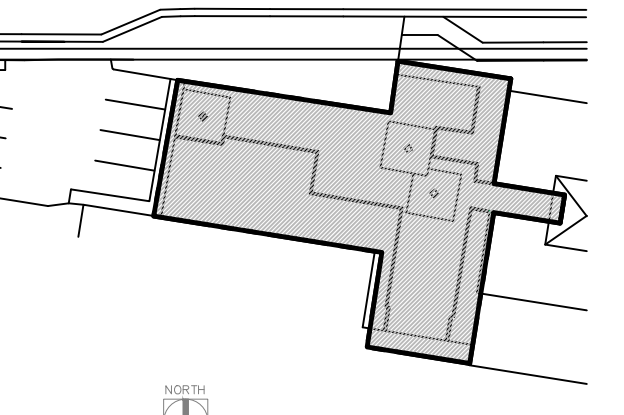


PROJECT:
ENTRY RENOVATION

VIVIAN VILLAS

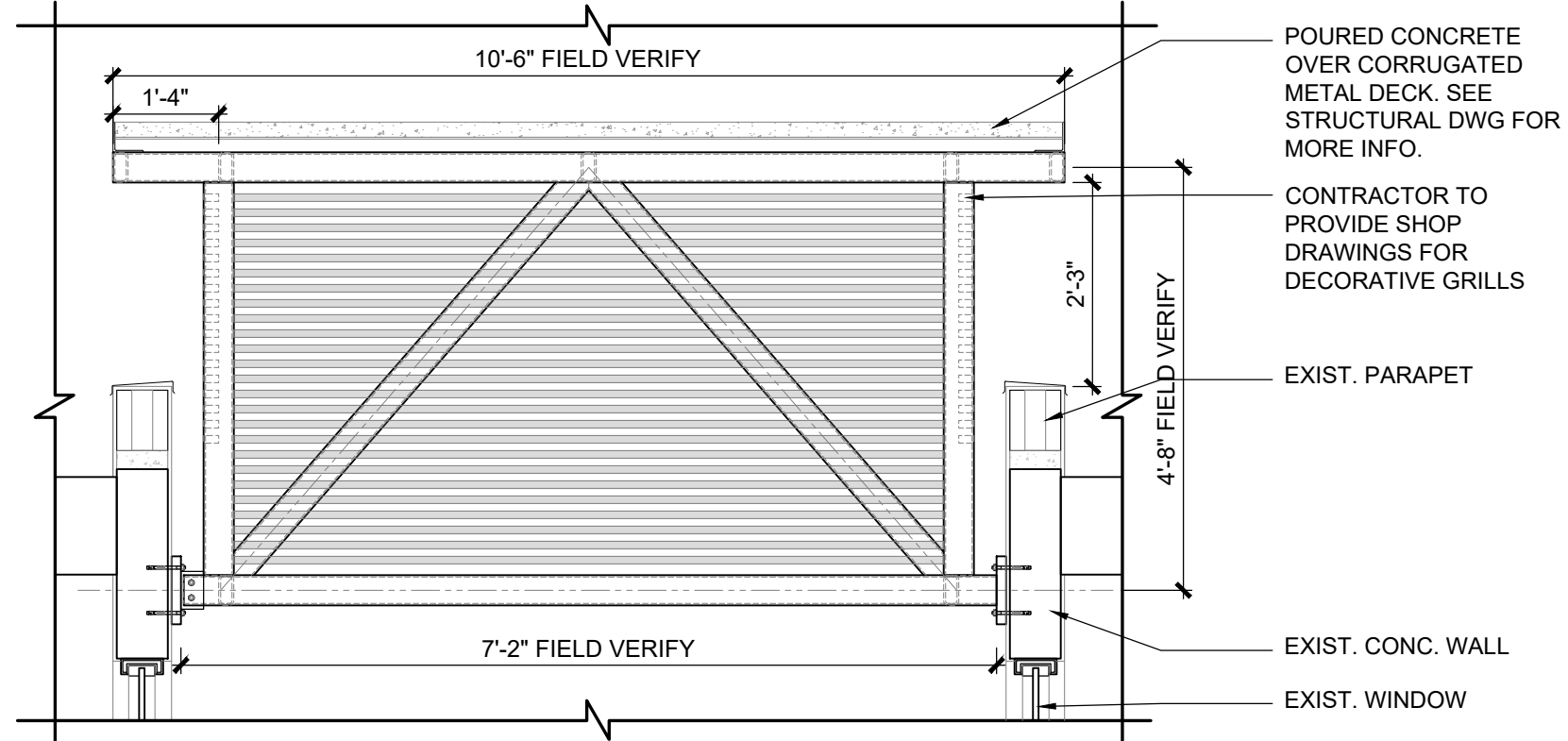
4650 W 12 TH AVENUE
HIALEAH, FL 33012-3200
DATE **ISSUE DESCRIPTION**
07/17/2019 ISSUED FOR PERMIT

DRAWING INFORMATION:



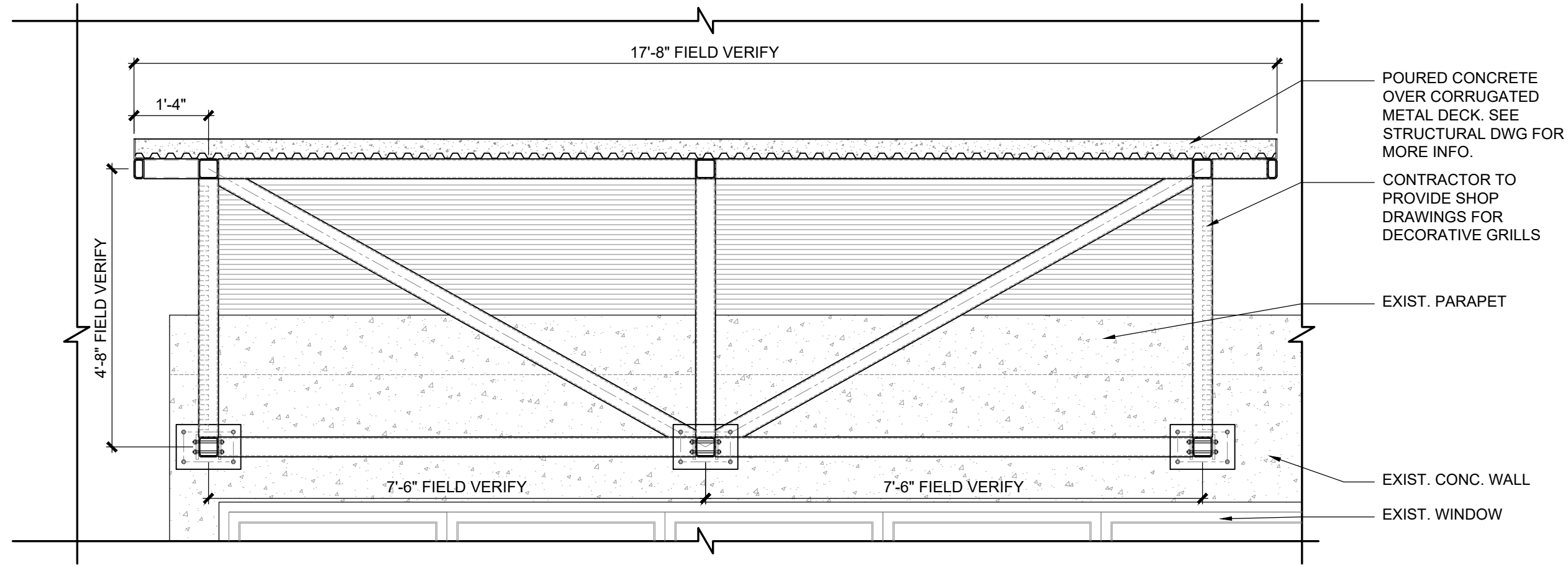
KEY PLAN
PROPOSED SECTIONS

DELIVERY DATE: 05/20/2019	PROJECT NUMBER: 18-0221 C05
PRINT DATE & TIME: 05/20/2019	CAD FILE NAME: A201
DRAWING LOCATION: A:\Projects\MA_Projects\0418-0221\C05\05\Technical\08A\Architecture\DWG	
SHEET NO. A201.0	

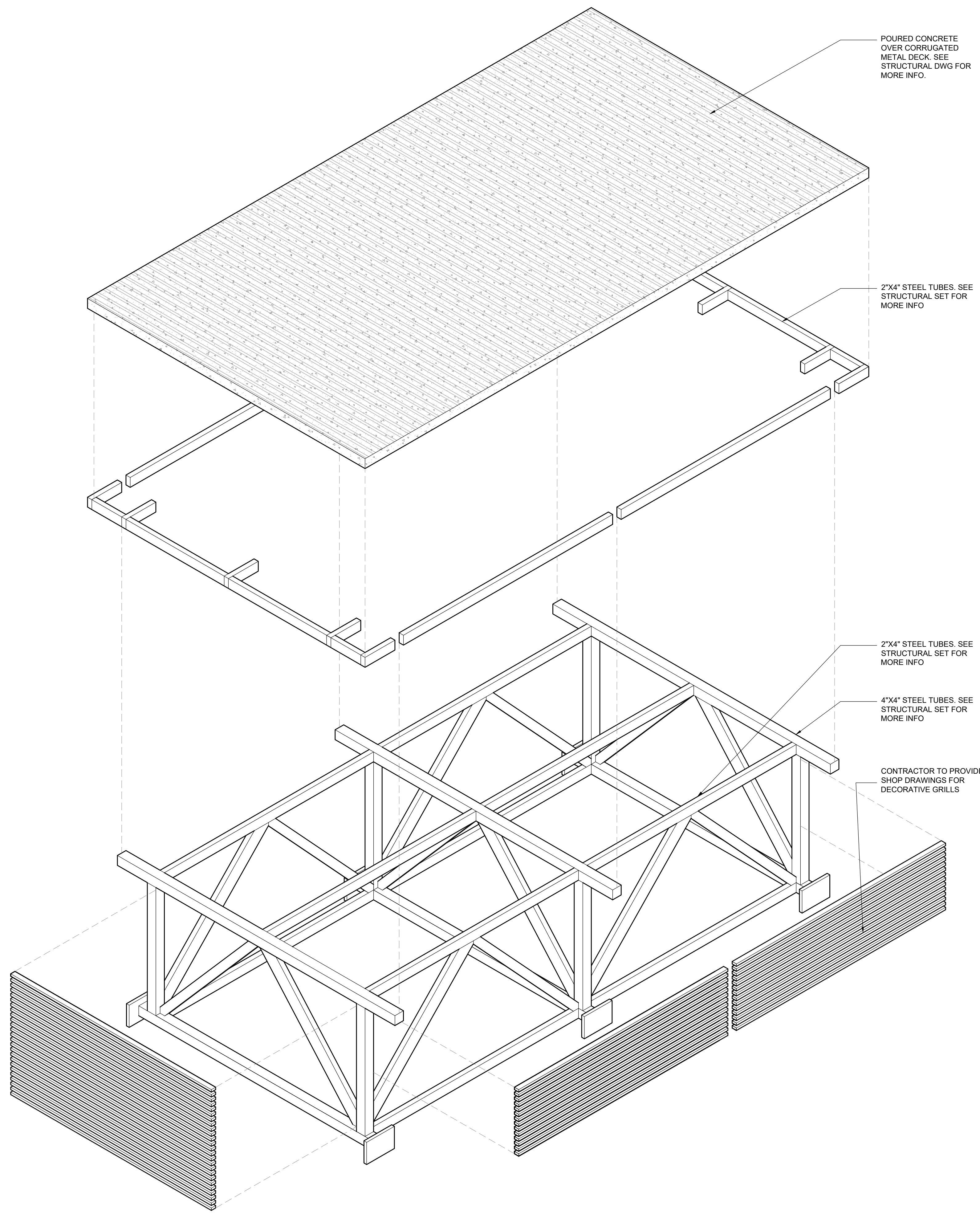


NOTE: FOR MEMBER SIZES AND STRUCTURAL DETAILS REFER TO STRUCTURAL DRAWING

NEW BUILDING
SECTION DETAIL
A202 SCALE: 1/2" = 1'-0"



NEW BUILDING
SECTION DETAIL
B202 SCALE: 1/2" = 1'-0"



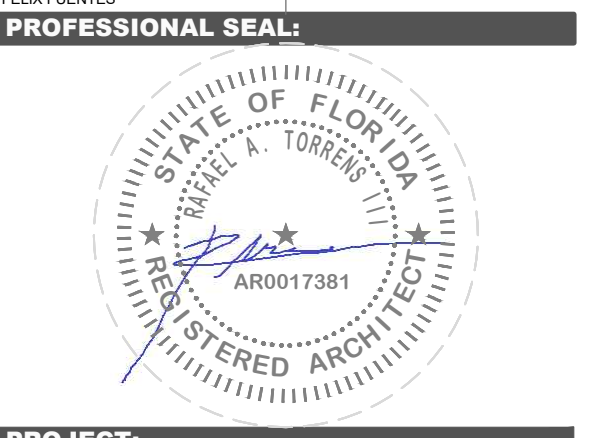
NEW BUILDING
EXPLODED AXONOMETRIC
A202 SCALE: 1/2" = 1'-0"

REV. NO.	DATE	DESCRIPTION
01	12-14-2020	CLIENT COMMENTS

NOTES:

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PROFESSIONAL OF RECORD: RAFAEL TORRENS	STAFF DESIGNER: RAFAEL TORRENS
Q.C. AUDITOR: MAYRA CORDERO	PRINCIPAL CAD TECHNICIAN: SANDY SUAREZ
PROJECT MANAGER: SOLA FUENTES	



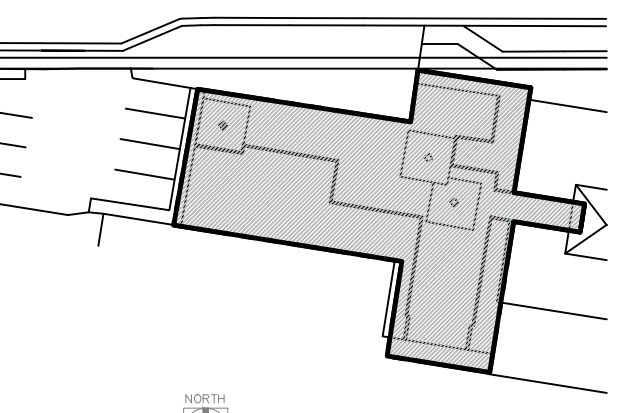
PROJECT:
ENTRY RENOVATION

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4650 W 12 TH AVENUE
HALEAH, FL 33012-3200

DATE	ISSUE DESCRIPTION
07/17/2019	ISSUED FOR PERMIT

DRAWING INFORMATION:



SHEET TITLE:
PROPOSED SECTIONS

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PRINT DATE & TIME: 05/20/2019	CAD FILE NAME: A202
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SHEET NO. A202.0	

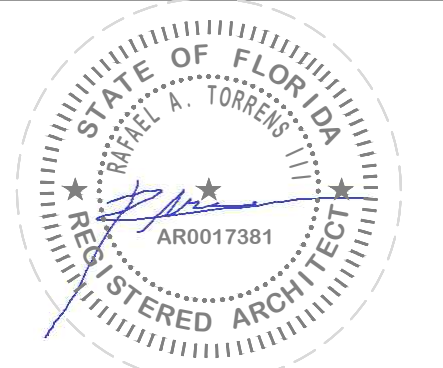


REV. NO.	DATE	DESCRIPTION
01	12-14-2020	CLIENT COMMENTS

NOTES:

DISCIPLINE INFORMATION:	
PROFESSIONAL OF RECORD: RAFAEL TORRENS	STAFF DESIGNER: RAFAEL TORRENS
Q.C. AUDITOR: MAYRA CRIBO	PRINCIPAL CAD TECHNICIAN: SANDY SUAREZ
PROJECT MANAGER: SELA FUENTES	

PROFESSIONAL SEAL:



PROJECT:

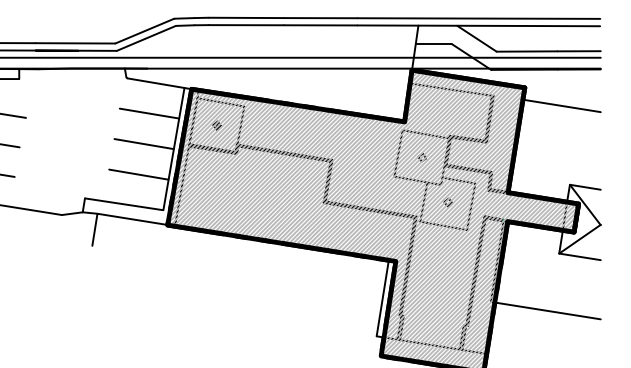
ENTRY RENOVATION

VIVIAN VILLAS

4650 W 12 TH AVENUE
HIALEAH, FL 33012-3200

DATE	ISSUE DESCRIPTION
07/12/2019	ISSUED FOR PERMIT

DRAWING INFORMATION:

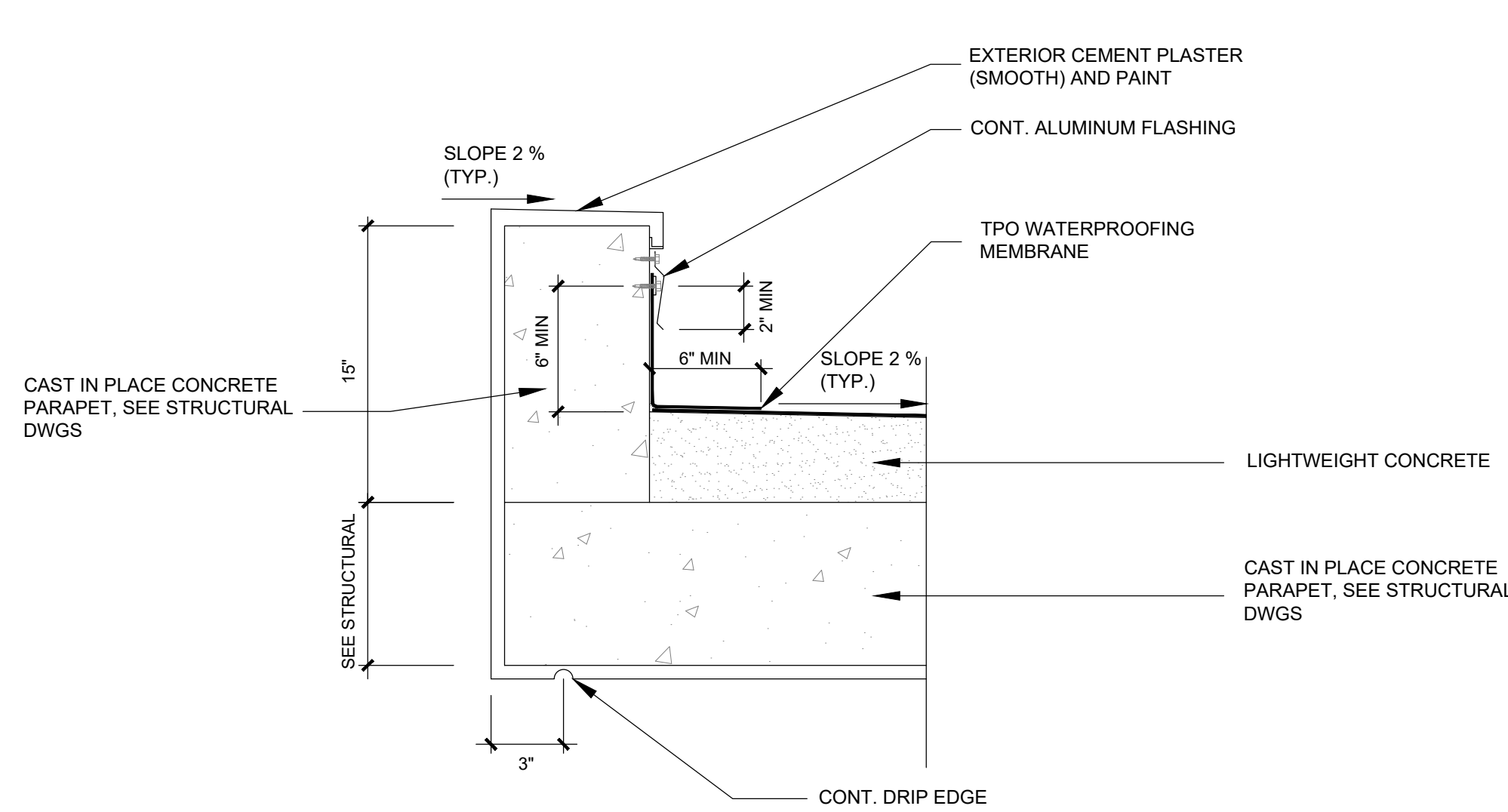


KEY PLAN

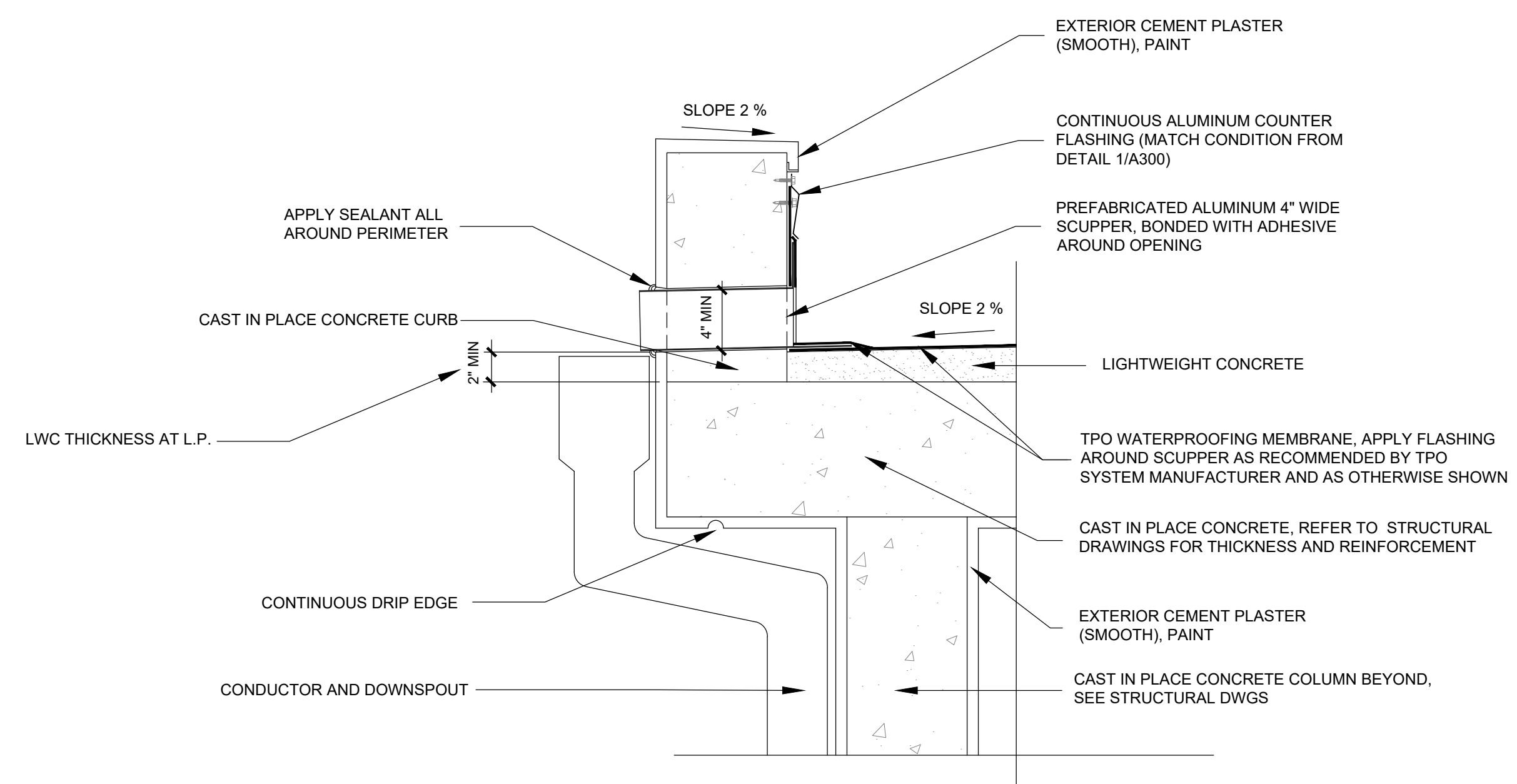
WALL SECTIONS (ROOF PARAPET DETAILS)

DELIVERY DATE: 05/20/2019	PROJECT NUMBER: 18-0221 C05
PRINT DATE & TIME: 05/20/2019	CAD FILE NAME: A300
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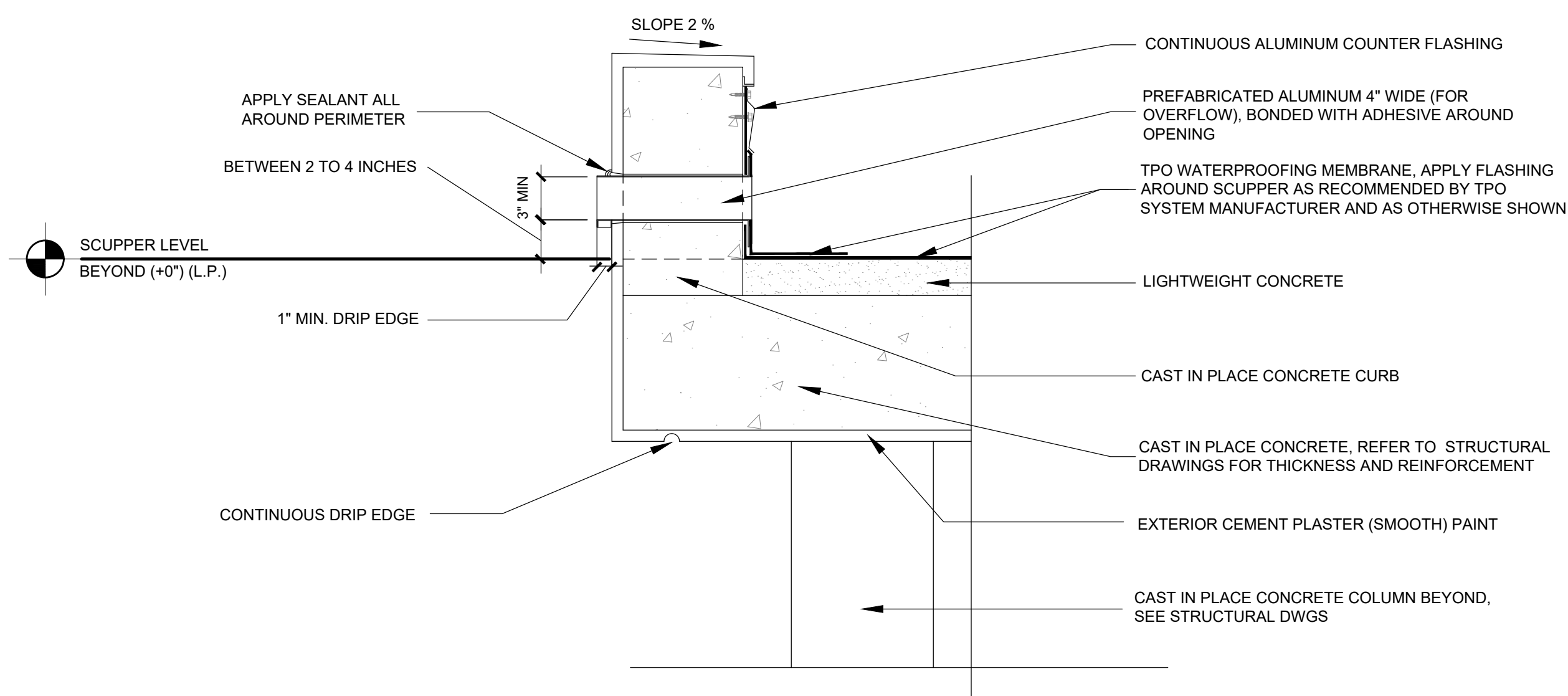
SHEET NO. **A300.0**



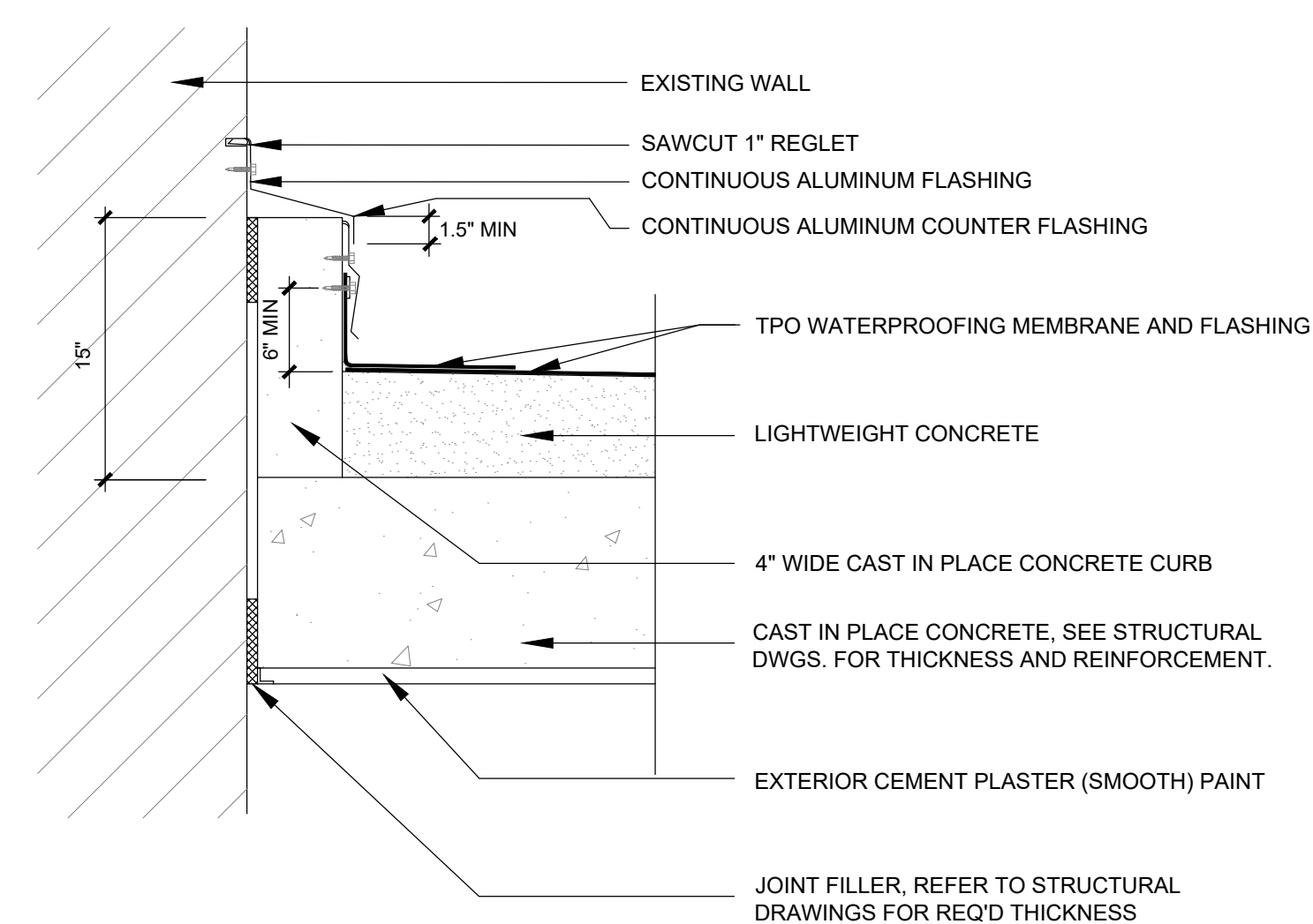
1 TYPICAL PARAPET DETAIL
SCALE: 1-1/2" = 1'-0"



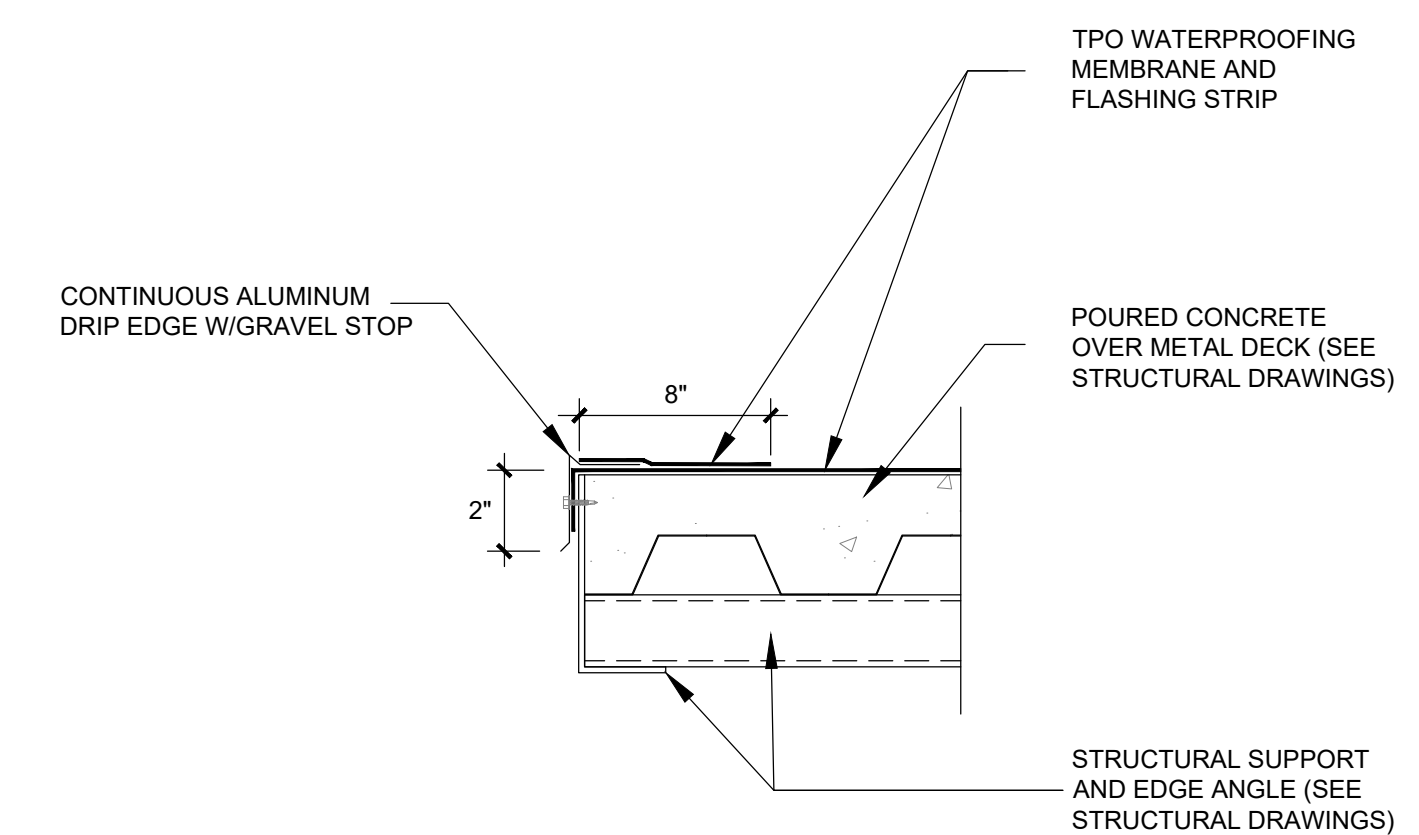
2 SCUPPER DETAIL
SCALE: 1-1/2" = 1'-0"



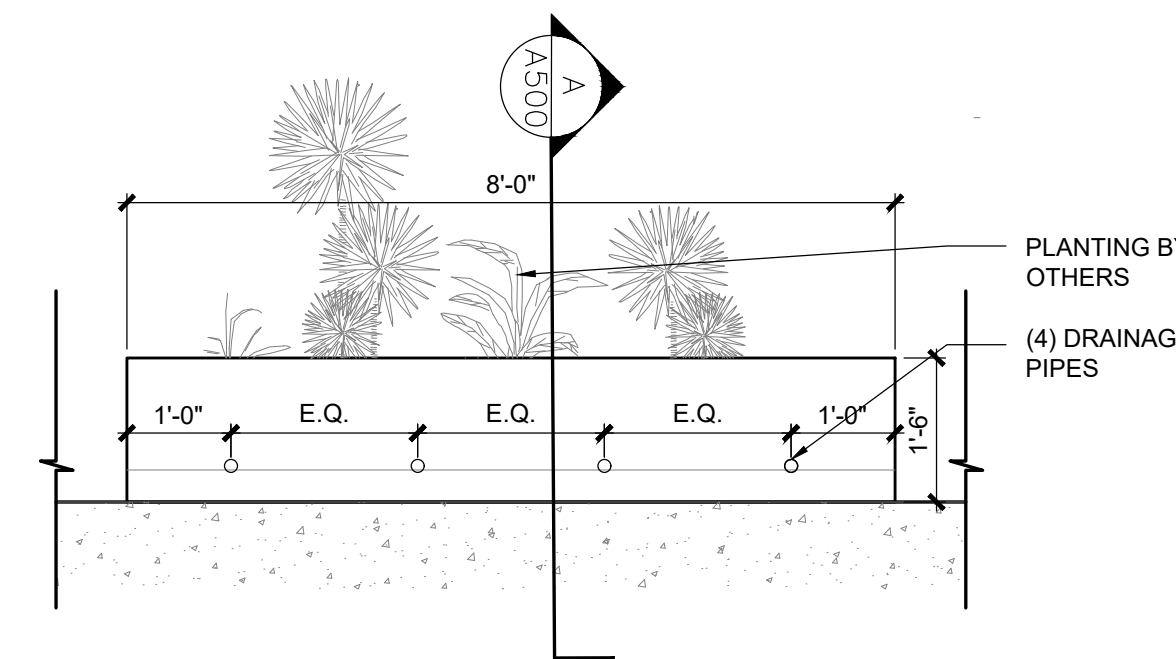
3 OVERFLOW SCUPPER DETAIL
SCALE: 1-1/2" = 1'-0"



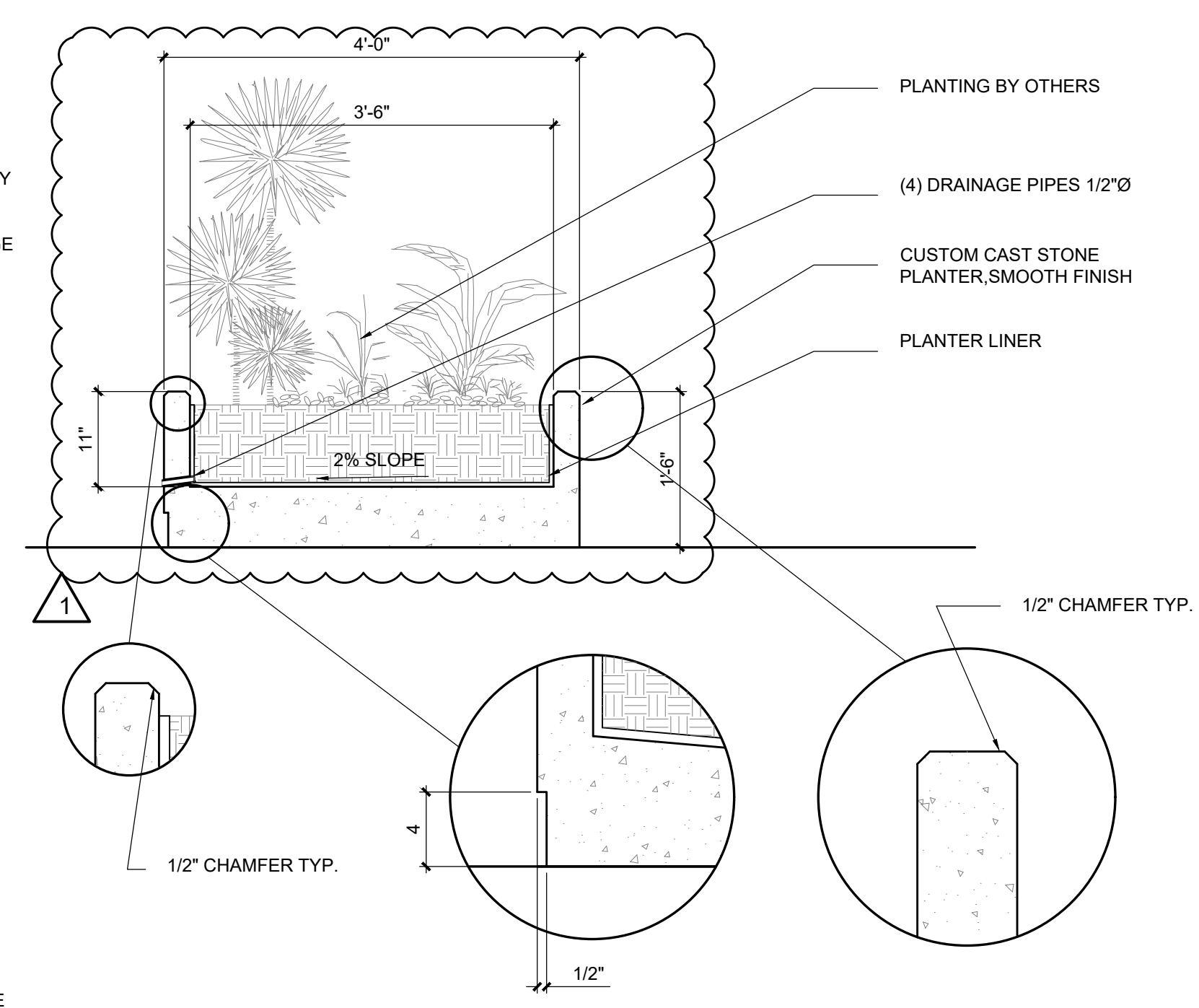
4 CANOPY END JOINT DETAIL
SCALE: 1-1/2" = 1'-0"



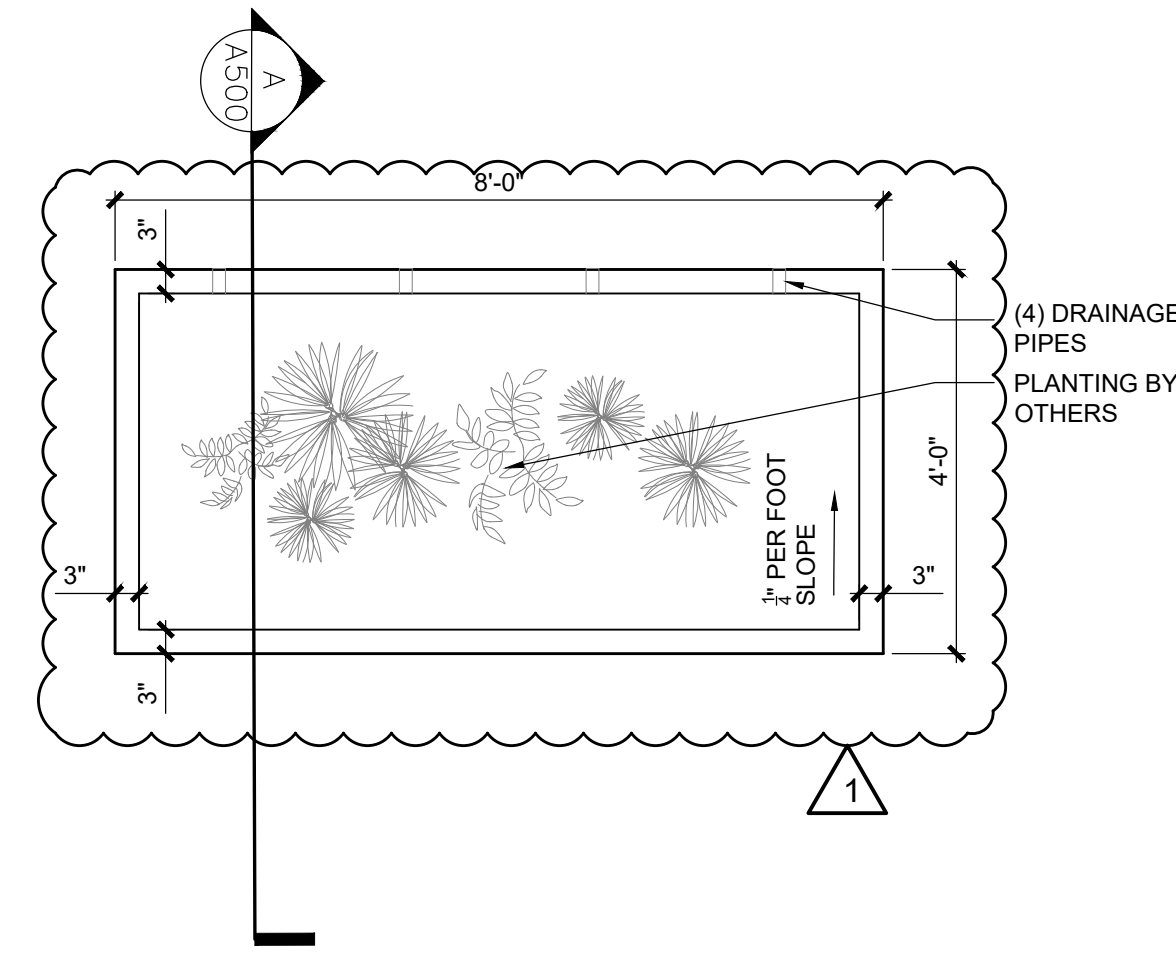
5 DRIP EDGE DETAIL AT HIGHER CANOPY
SCALE: 1-1/2" = 1'-0"



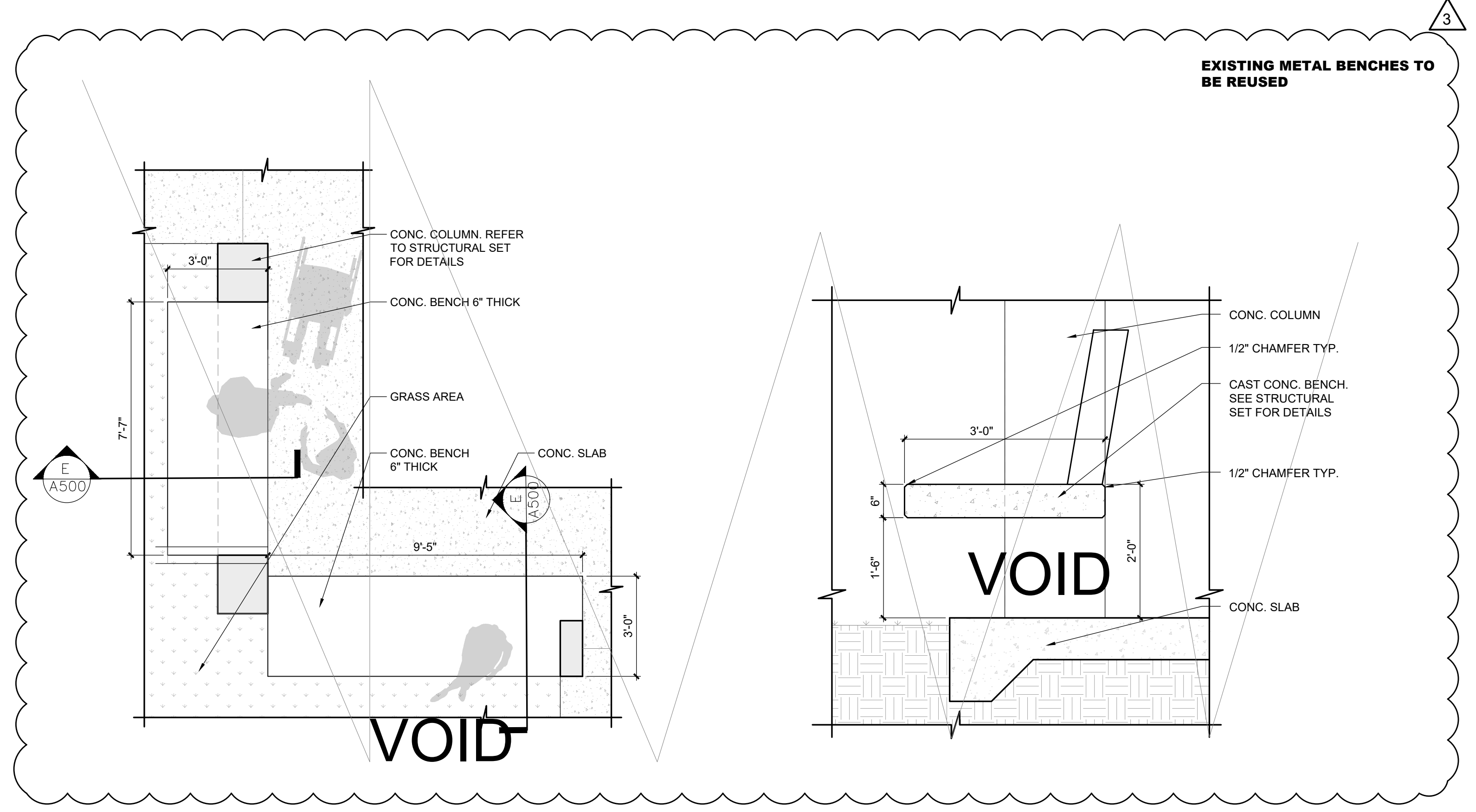
2 PLANTER ELEVATION
A500 SCALE: 1/2" = 1'-0"



3 PLANTER SECTION DETAIL
A500 SCALE: 3/4" = 1'-0"



4 PLANTER PLAN
A500 SCALE: 1/2" = 1'-0"



4 BENCHES PLAN VIEW
A500 SCALE: 3/8" = 1'-0"

5 BENCH SECTION
A500 SCALE: 3/8" = 1'-0"

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CSA Central, Inc.
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Doral, Florida 33166
Tel : (305) 461-5484
Fax : (305) 461-5494
Web : www.csagroup.com

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HHA
Hialeah Housing Authority
IN ASSOCIATION WITH:

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01	12-14-2020	CLIENT COMMENTS
03	11-25-2020	REVISION TO PERMIT

DISCIPLINE INFORMATION:
PROFESSIONAL OF RECORD: RAFAEL TORRENS
STAFF DESIGNER: RAFAEL TORRENS
Q.C. AUDITOR: MATIAS OREGO
PRINCIPAL CAD TECHNICIAN: SANDY SUAREZ
PROJECT MANAGER: SELVA FUENTES

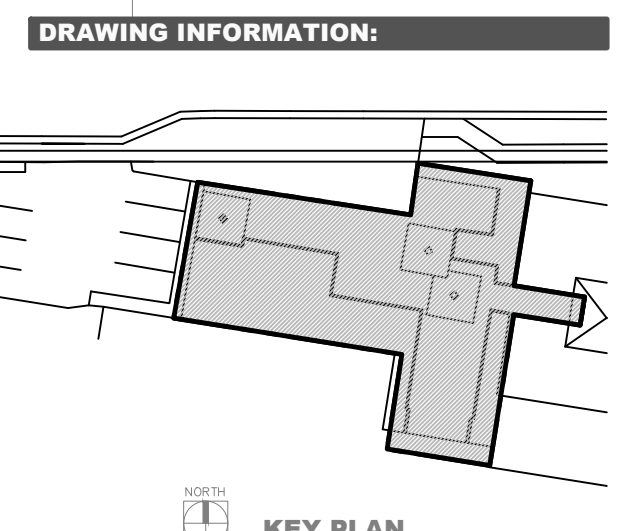


PROJECT:
ENTRY RENOVATION

VIVIAN VILLAS

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HIALEAH, FL 33012-3200

DATE	ISSUE DESCRIPTION
07/17/2019	ISSUED FOR PERMIT



SHEET TITLE:
PROPOSED DETAILS

DELIVERY DATE: 05/20/2019
PROJECT NUMBER: 18-0221 C05
PRINT DATE & TIME: 05/20/2019
CAD FILE NAME: A500
DRAWING LOCATION: A:\Projects\MA_Projects\418-0221\C05\06\Technical\08Architecture\DWG
SHEET NO. **A500.0**

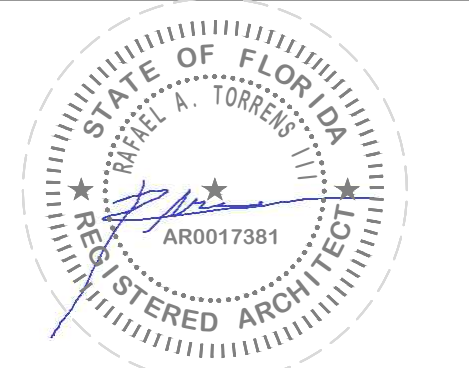


REV. NO.	DATE	DESCRIPTION
01	12-14-2020	CLIENT COMMENTS
03	11-25-2020	REVISION TO PERMIT

NOTES:

DISCIPLINE INFORMATION:	
PROFESSIONAL OF RECORD: RAFAEL TORRES	STAFF DESIGNER: RAFAEL TORRES
Q.C. AUDITOR: MATHIS CIBREO	PRINCIPAL CAD TECHNICIAN: SANDY SUAREZ
PROJECT MANAGER: SELVA FUENTES	

PROFESSIONAL SEAL:



PROJECT:

ENTRY RENOVATION

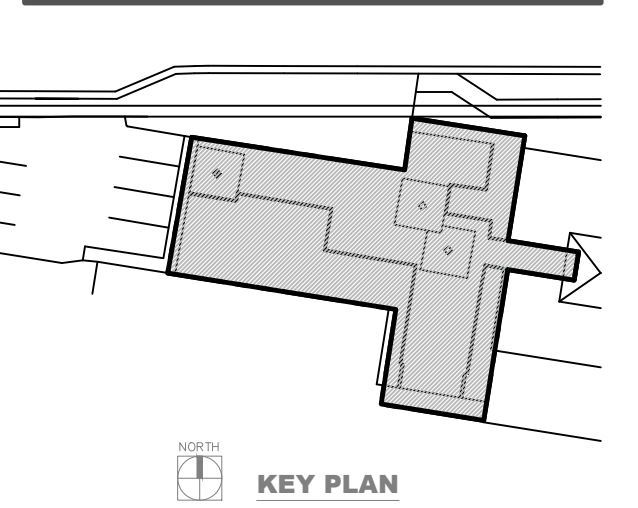
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DATE ISSUE DESCRIPTION

07/17/2019 ISSUED FOR PERMIT

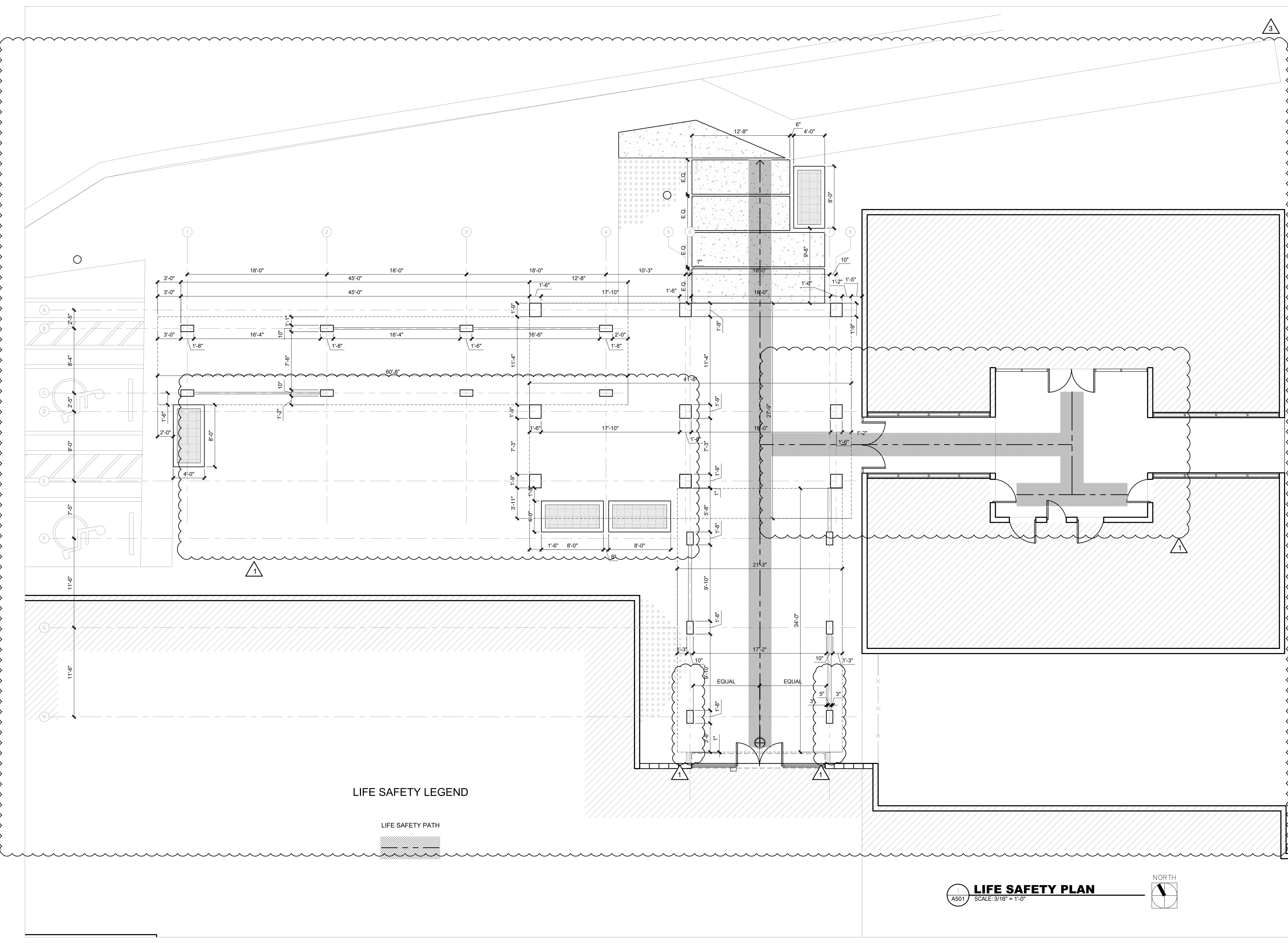
DRAWING INFORMATION:



SHEET TITLE:

LIFE SAFETY PLAN

DELIVERY DATE: 05/20/2019	PROJECT NUMBER: 18-0221 C05
PRINT DATE & TIME: 05/20/2019	CAD FILE NAME: A501
DRAWING LOCATION: A:\Projects\MA_Projects\0418-0221\C05\06\Technical\08A\Architecture\DWG	
SHEET NO. A501.0	

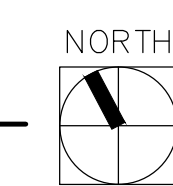


LIFE SAFETY LEGEND

LIFE SAFETY PATH



LIFE SAFETY PLAN
A501 SCALE: 3/16" = 1'-0"





REV. NO.	DATE	DESCRIPTION
01	12-14-2020	CLIENT COMMENTS
03	11-25-2020	REVISION TO PERMIT

NOTES:

DISCIPLINE INFORMATION:	
PROFESSIONAL OF RECORD: RAFAEL TORRENS	STAFF DESIGNER: RAFAEL TORRENS
Q.C. AUDITOR: MAYRA CRESPO	PRINCIPAL CAD TECHNICIAN: SANDY SUAREZ
PROJECT MANAGER: SELVA FUENTES	

PROFESSIONAL SEAL:



PROJECT:

ENTRY RENOVATION

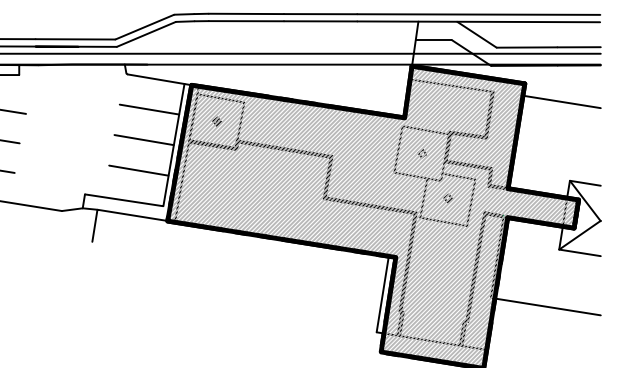
VIVIAN VILLAS

4650 W 12 TH AVENUE
HIALEAH, FL 33012-3200

DATE ISSUE DESCRIPTION

07/17/2019 ISSUED FOR PERMIT

DRAWING INFORMATION:



KEY PLAN

SHEET TITLE:

REFLECTED CEILING PLAN

DELIVERY DATE: PROJECT NUMBER:

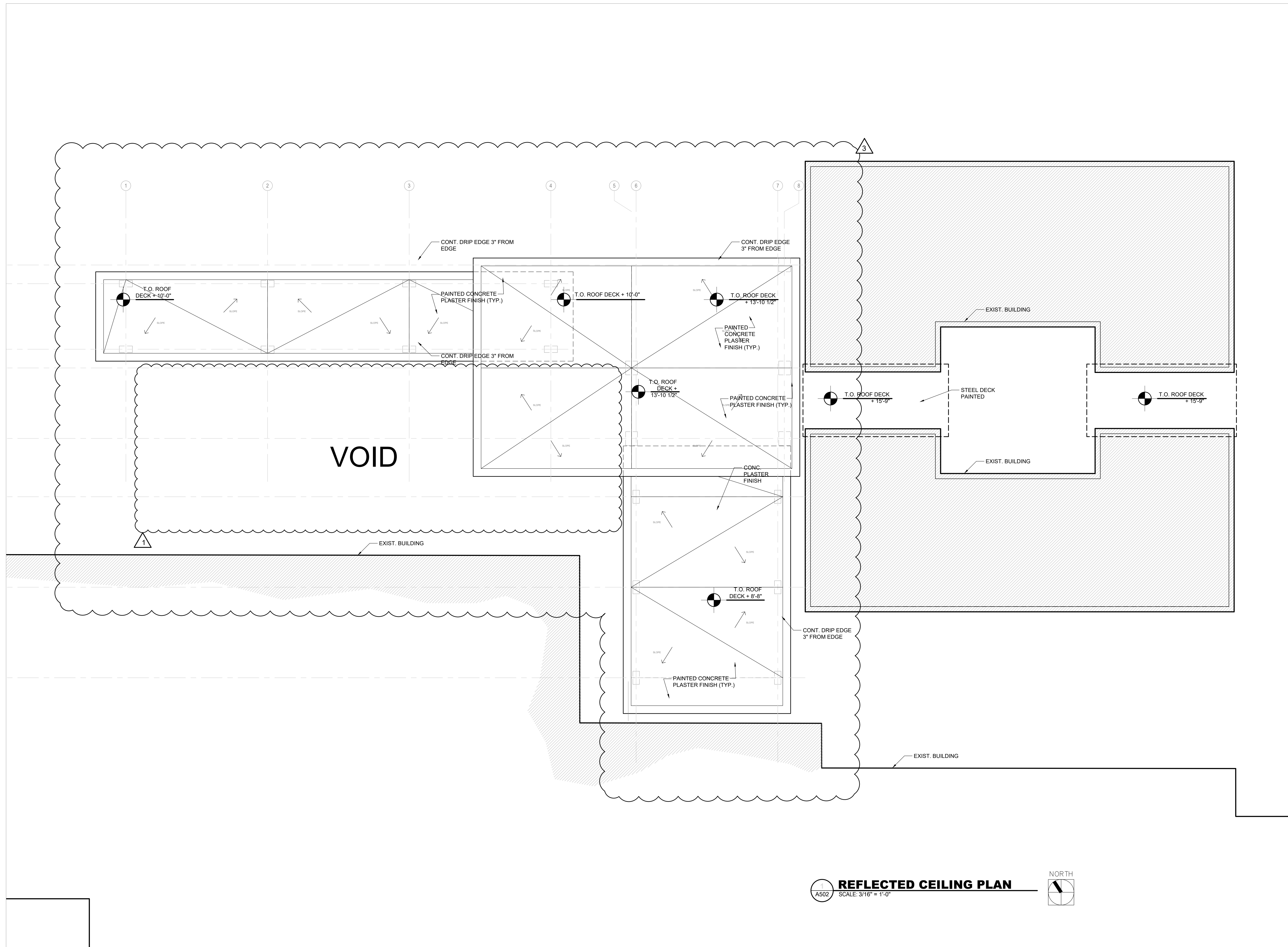
05/20/2019 18-0221 C05

PRINT DATE & TIME: CAD FILE NAME:

05/20/2019 A502

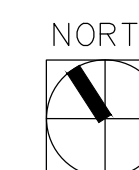
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A:\Projects\MA_Projects\418-0221\C05\06\Technical\08\Architecture\DWG

SHEET NO. **A502.0**



REFLECTED CEILING PLAN

SCALE: 3/16" = 1'-0"



NORTH

REV. NO.	DATE	DESCRIPTION
01	09-25-2019	CLIENT CHANGES
02	07-16-2020	CITY COMMENTS
03	12-07-2020	PERMIT REVISION

NOTES:

DISCIPLINE INFORMATION:

PROFESSIONAL OF RECORD: RODERICK HOANG	STAFF DESIGNER: J. RIVERA / M. GHOSHSABAI
Q.C. AUDITOR: JOSE L. PARRIS	PRINCIPAL CAD TECHNICIAN: ENRIQUE TORRES
PROJECT MANAGER: RELI RUIZ	

PROFESSIONAL SEAL:

PROJECT:

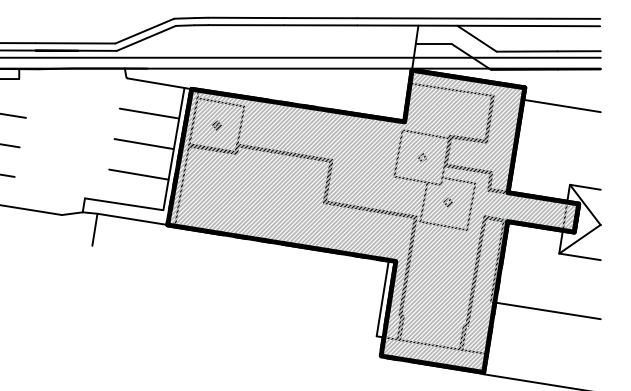
ENTRY RENOVATION

VIVIAN VILLAS

4650 W 12 TH AVENUE
HALEAH, FL 33012-3200

DATE	ISSUE DESCRIPTION
07/17/2019	ISSUED FOR PERMIT

DRAWING INFORMATION:

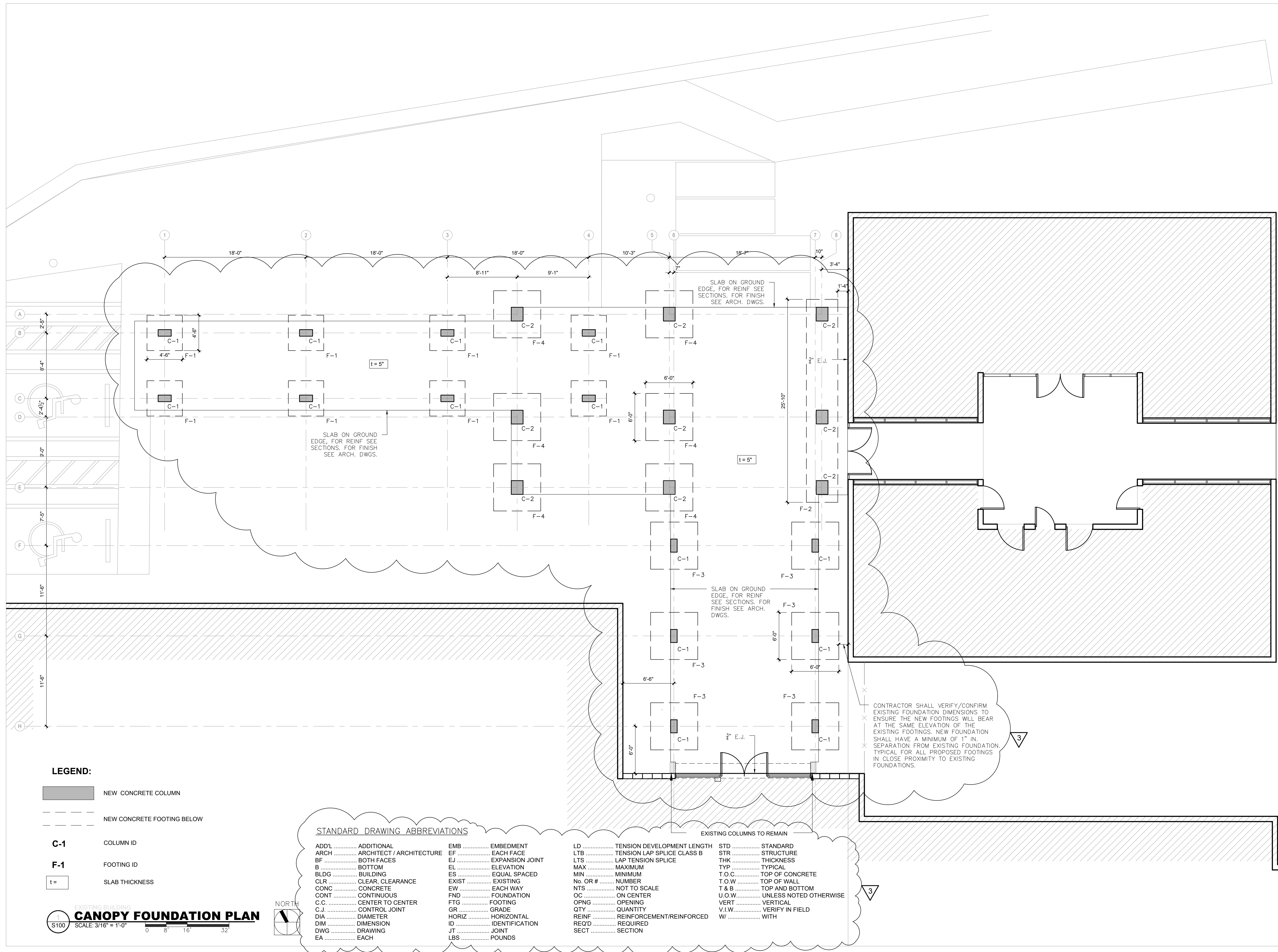


KEY PLAN

SHEET TITLE:

CANOPY FOUNDATION PLAN

DELIVERY DATE: 05/20/2019	PROJECT NUMBER: 18-0221 C05
PRINT DATE & TIME: 05/20/2019	CAD FILE NAME: S100
DRAWING LOCATION: A:\Projects\MA_Projects\0418-0221\10506\Technical\07\Structure\DWG	
SHEET NO. S100.0	



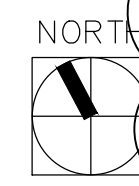
LEGEND:

- NEW CONCRETE COLUMN
- NEW CONCRETE FOOTING BELOW
- C-1** COLUMN ID
- F-1** FOOTING ID
- t =** SLAB THICKNESS

STANDARD DRAWING ABBREVIATIONS

ADD'L ADDITIONAL	EMB EMBEDMENT	LD TENSION DEVELOPMENT LENGTH	STD STANDARD
ARCH ARCHITECT / ARCHITECTURE	EF EACH FACE	LTB TENSION LAP SPLICE CLASS B	STR STRUCTURE
BF BOTH FACES	EJ EXPANSION JOINT	LTS LAP TENSION SPLICE	THK THICKNESS
B BOTTOM	EL ELEVATION	MAX MAXIMUM	TYP TYPICAL
BLDG BUILDING	ES EQUAL SPACED	MIN MINIMUM	T.O.C TOP OF CONCRETE
CLR CLEAR, CLEARANCE	EXIST EXISTING	No. OR # NUMBER	T.O.W TOP OF WALL
CONC CONCRETE	EW EACH WAY	NTS NOT TO SCALE	T & B TOP AND BOTTOM
CONT CONTINUOUS	FND FOUNDATION	OC ON CENTER	U.O.W UNLESS NOTED OTHERWISE
C.C CENTER TO CENTER	FTG FOOTING	OPNG OPENING	VERT VERTICAL
C.J CONTROL JOINT	GR GRADE	QTY QUANTITY	V.I.W VERIFY IN FIELD
DIA DIAMETER	HORIZ HORIZONTAL	REINF REINFORCEMENT/REINFORCED	W WITH
DIM DIMENSION	ID IDENTIFICATION	REQD REQUIRED	
DWG DRAWING	JT JOINT	SECT SECTION	
EA EACH	LBS POUNDS		

CANOPY FOUNDATION PLAN
SCALE: 3/16" = 1'-0"



REV. NO.	DATE	DESCRIPTION
01	09-25-2019	CLIENT CHANGES
02	07-16-2020	CITY COMMENTS
03	12-07-2020	PERMIT REVISION

NOTES:

DISCIPLINE INFORMATION:	
PROFESSIONAL OF RECORD: RODERICK HOANG	STAFF DESIGNER: J. RIVERA / M. GHOSFASAEI
Q.C. AUDITOR: JOSE I. PINTO	PRINCIPAL CAD TECHNICIAN: ENRIQUE TORRES
PROJECT MANAGER: SELV RUIZ	

PROFESSIONAL SEAL:

PROJECT:

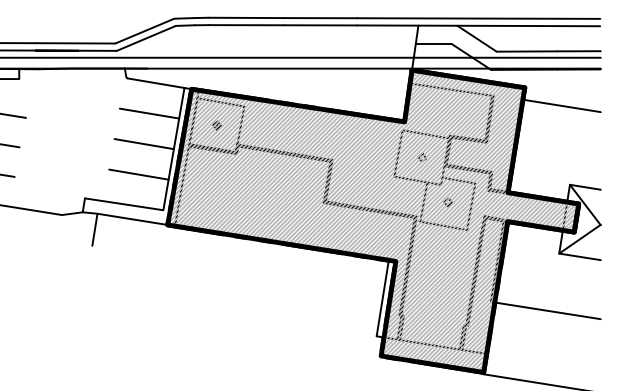
ENTRY RENOVATION

VIVIAN VILLAS

4650 W 12 TH AVENUE
HIALEAH, FL 33012-3200

DATE	ISSUE DESCRIPTION
07/17/2019	ISSUED FOR PERMIT

DRAWING INFORMATION:

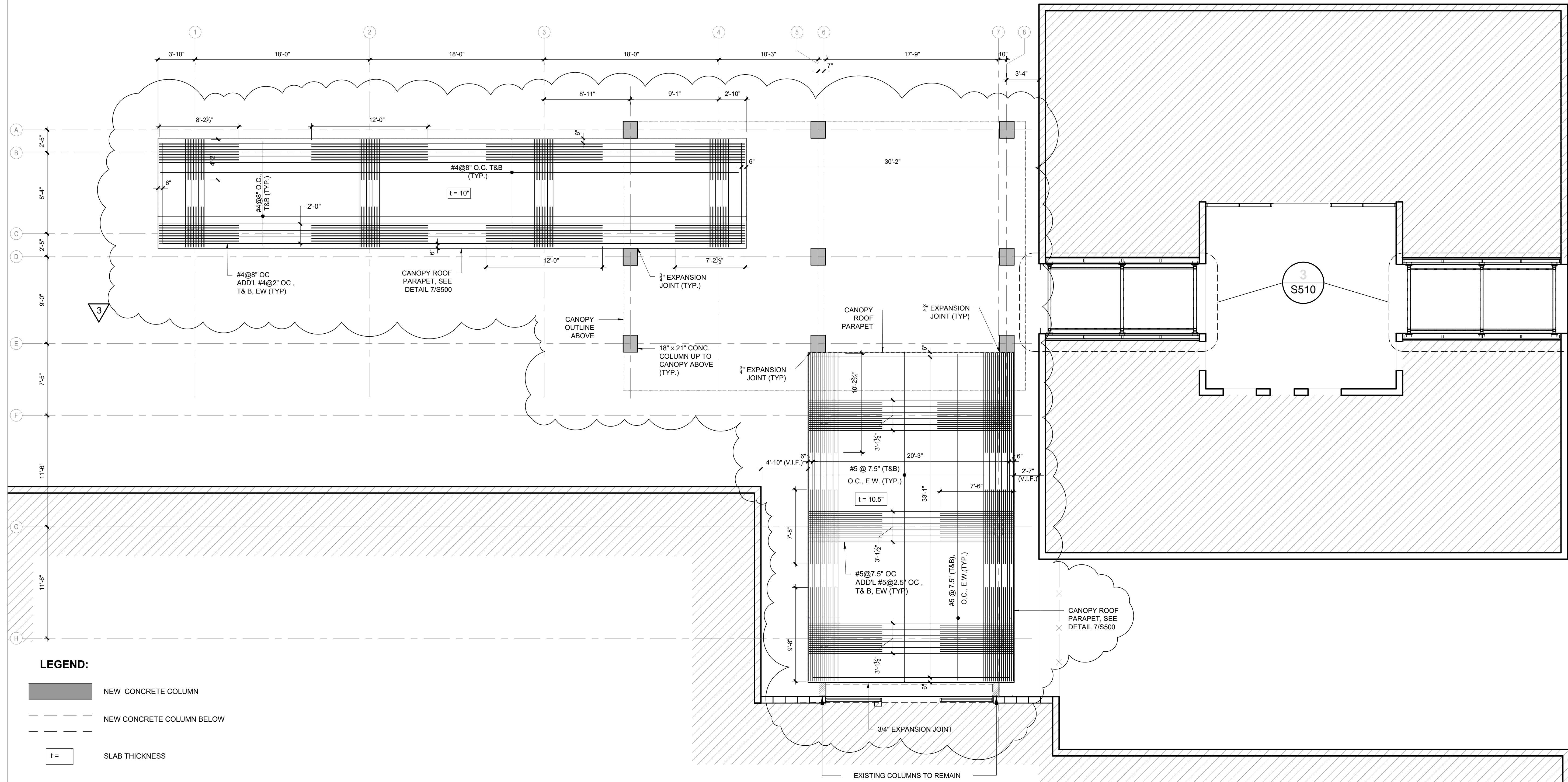


SHEET TITLE:
CANOPY ROOF PLAN 1

DELIVERY DATE: 05/20/2019
PRINT DATE & TIME: 05/20/2019
DRAWING LOCATION: A:\Projects\MA_Projects\0418-0221\050506\Technical\07Structure\DWG

PROJECT NUMBER: 18-0221 C05	CAD FILE NAME: S110
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SHEET NO. **S110.0**



- LEGEND:**
- NEW CONCRETE COLUMN
 - NEW CONCRETE COLUMN BELOW
 - SLAB THICKNESS

CANOPY ROOF PLAN 1
SCALE: 3/16" = 1'-0"
NORTH

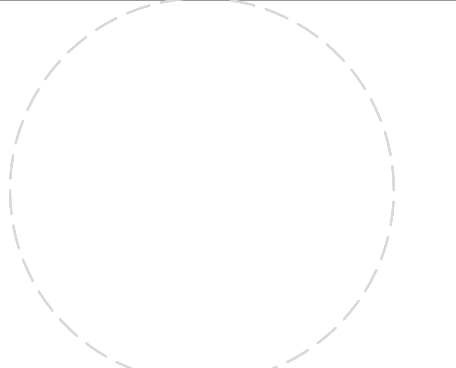


REV. NO.	DATE	DESCRIPTION
01	09-25-2019	CLIENT CHANGES
02	07-16-2020	CITY COMMENTS
03	12-07-2020	PERMIT REVISION

NOTES:

DISCIPLINE INFORMATION:	
PROFESSIONAL OF RECORD: RODERICK HOANG	STAFF DESIGNER: J. RIVERA / M. GHOSFASAEI
O.C. AUDITOR: JOSE L. PINO	PRINCIPAL CAD TECHNICIAN: ENRIQUE TORRES
PROJECT MANAGER: SELIA RUIZ	

PROFESSIONAL SEAL:



PROJECT:

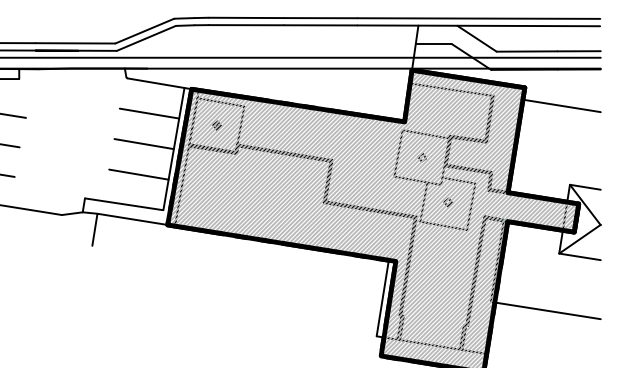
ENTRY RENOVATION

VIVIAN VILLAS

4650 W 12 TH AVENUE
HIALEAH, FL 33012-3200

DATE	ISSUE DESCRIPTION
07/17/2019	ISSUED FOR PERMIT

DRAWING INFORMATION:



KEY PLAN

SHEET TITLE:

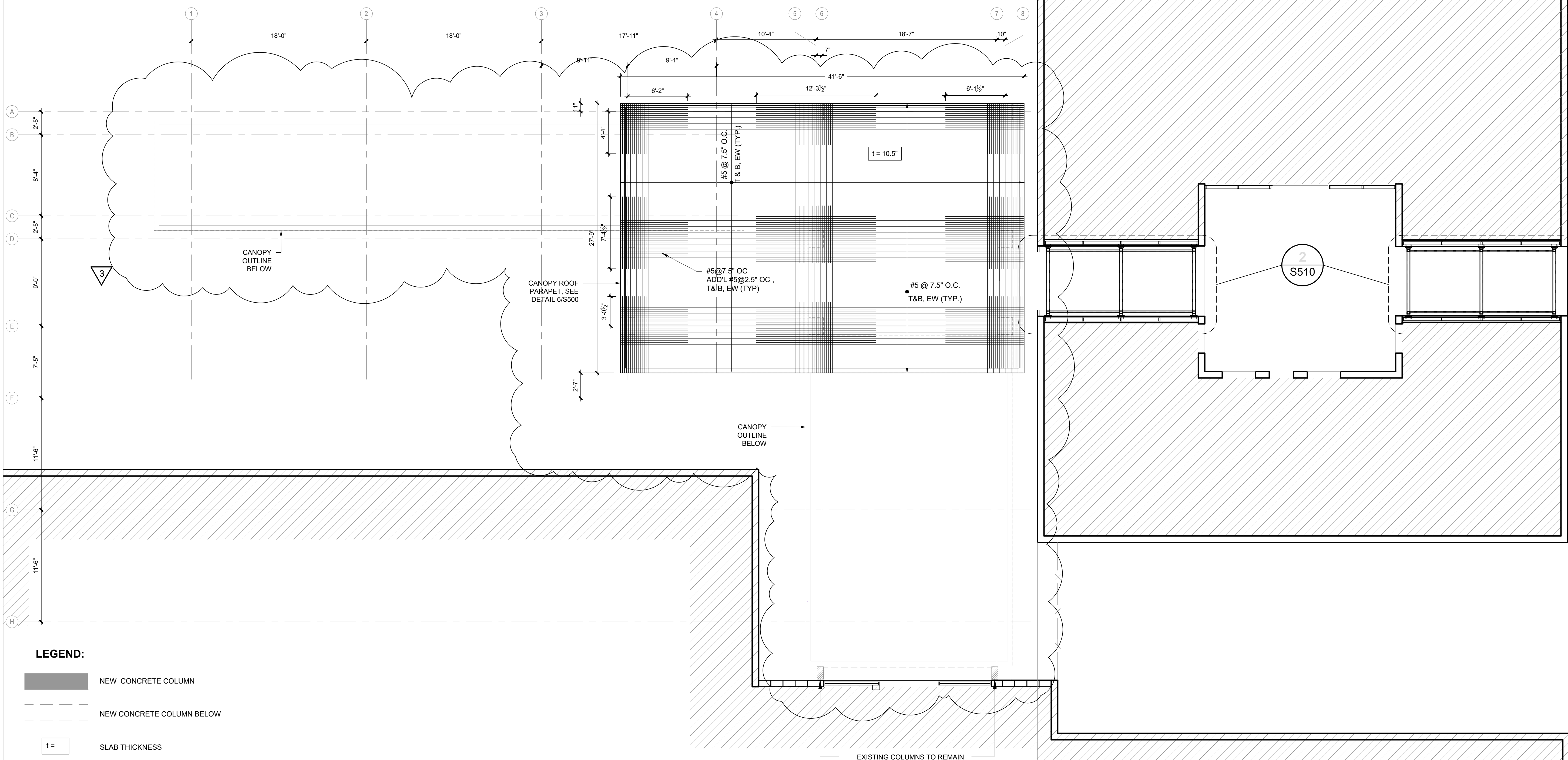
CANOPY ROOF PLAN 2

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PRINT DATE & TIME: 05/20/2019	CAD FILE NAME: S120

DRAWING LOCATION:
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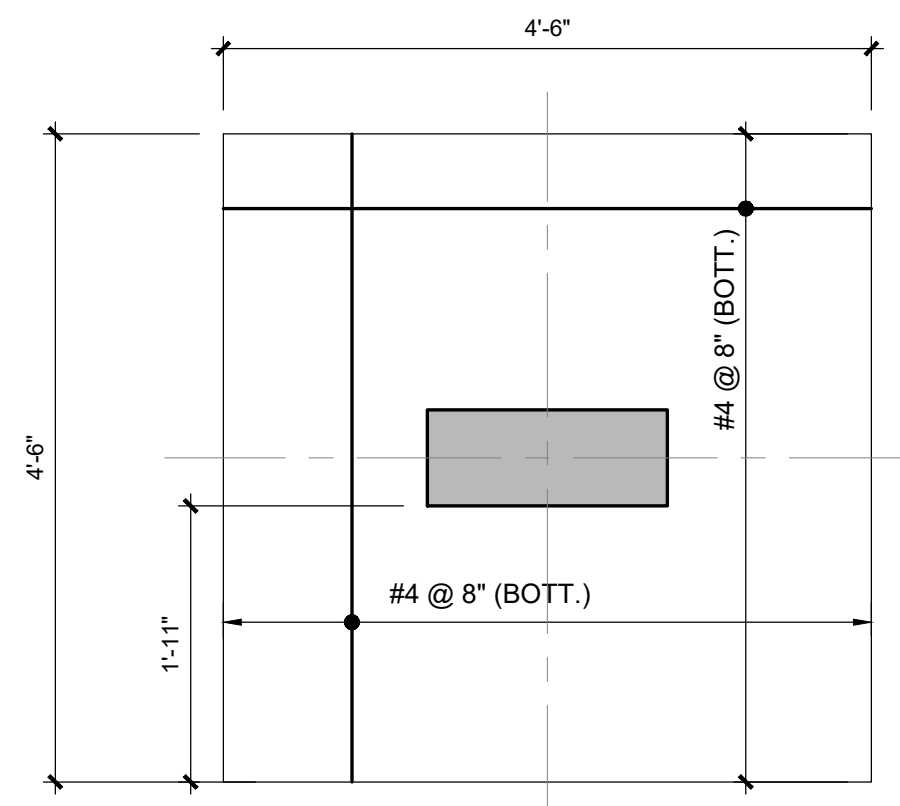
SHEET NO. **S120.0**

04 of 02

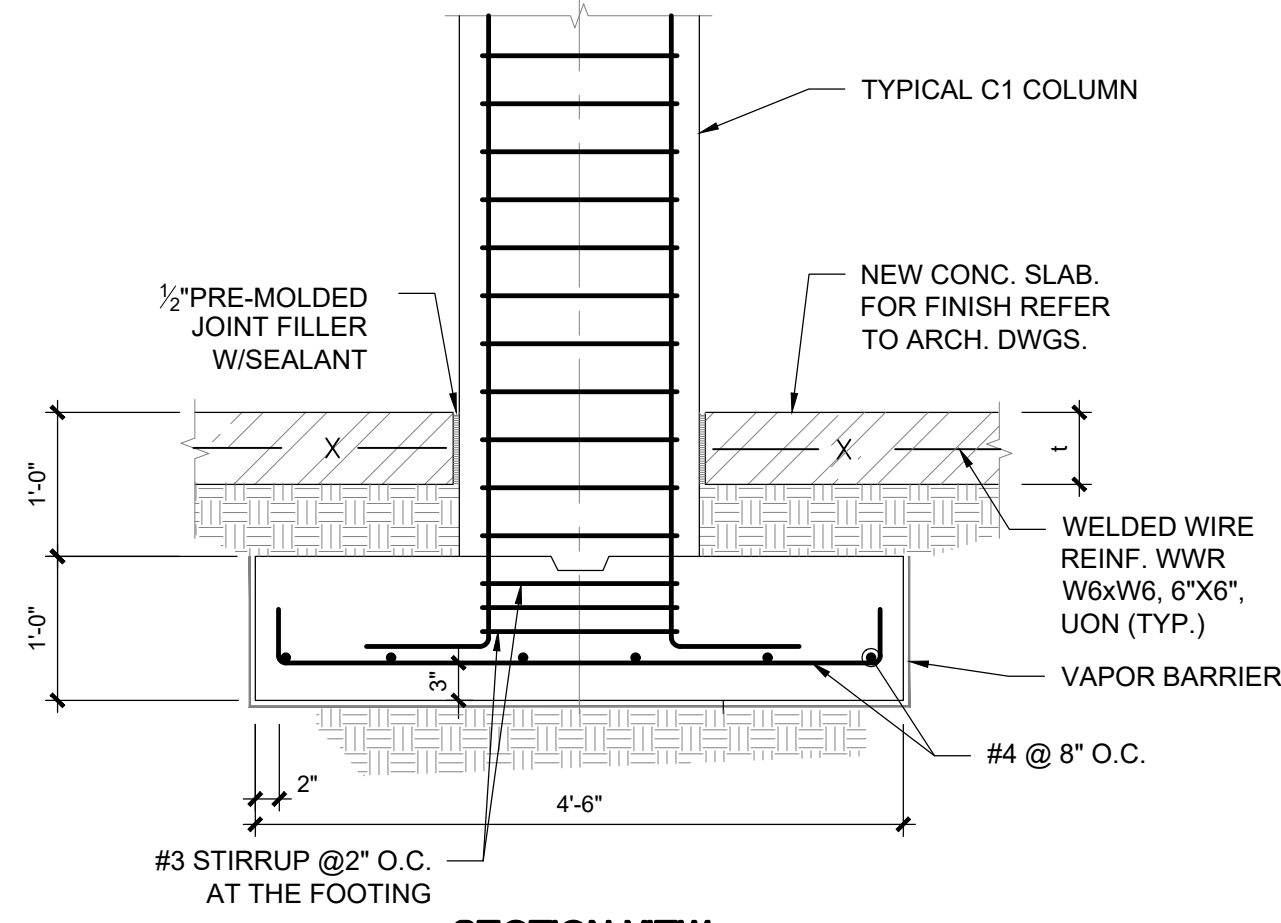


- LEGEND:**
- NEW CONCRETE COLUMN
 - NEW CONCRETE COLUMN BELOW
 - t = SLAB THICKNESS

EXISTING BUILDING
CANOPY ROOF PLAN 2
SCALE: 3/16" = 1'-0"



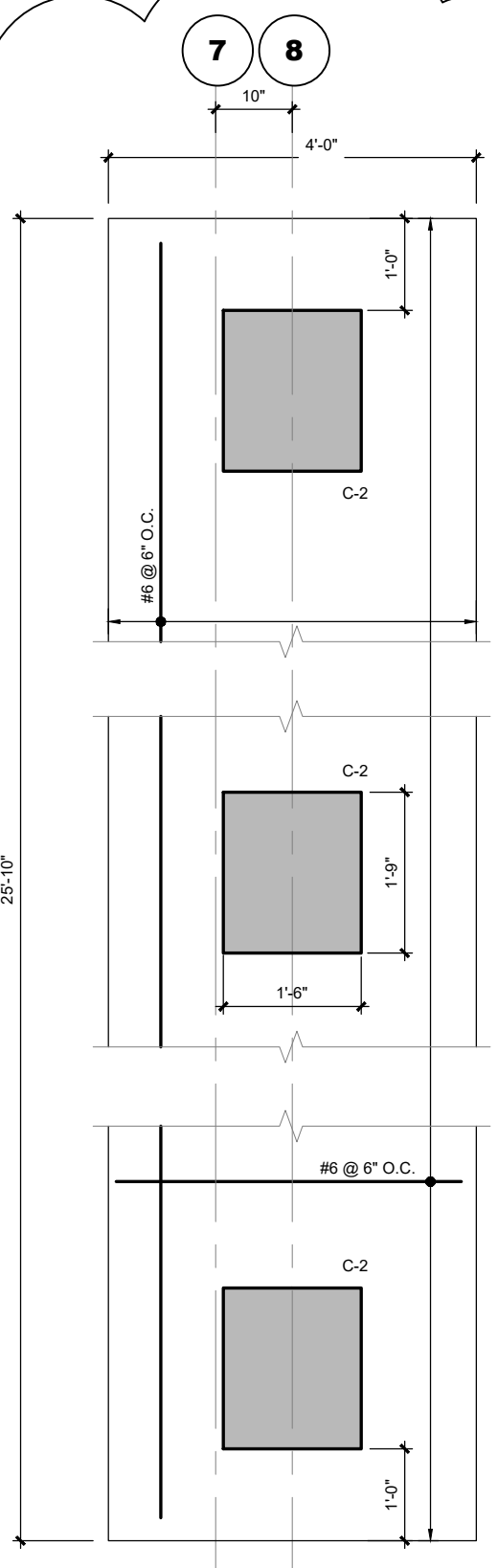
PLAN VIEW



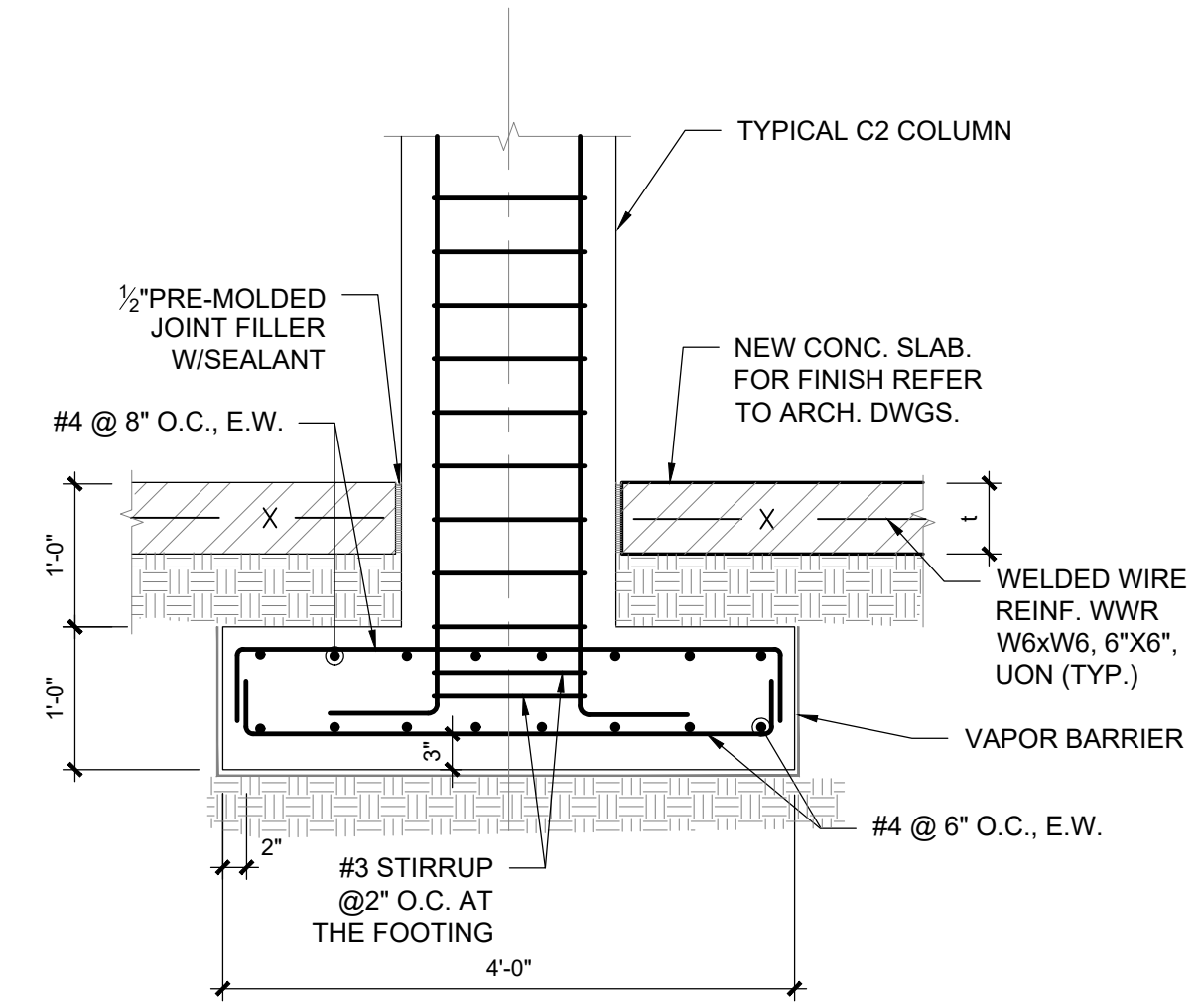
SECTION VIEW

FOOTING TYPE F-1 DETAIL
SCALE: 3/4" = 1'-0"

1
S100



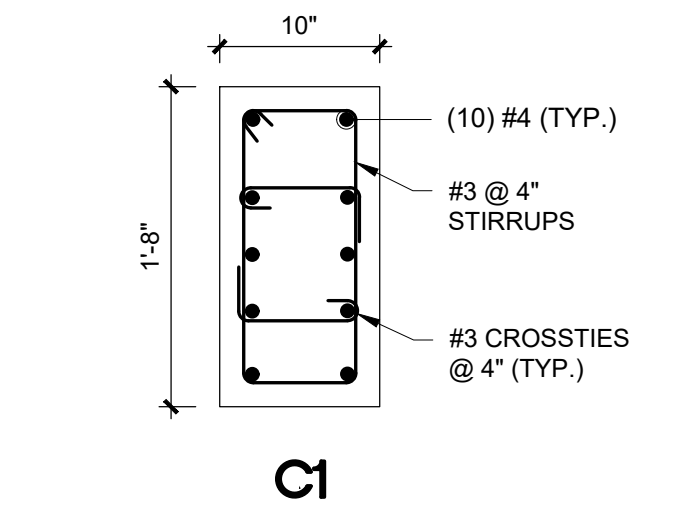
PLAN VIEW



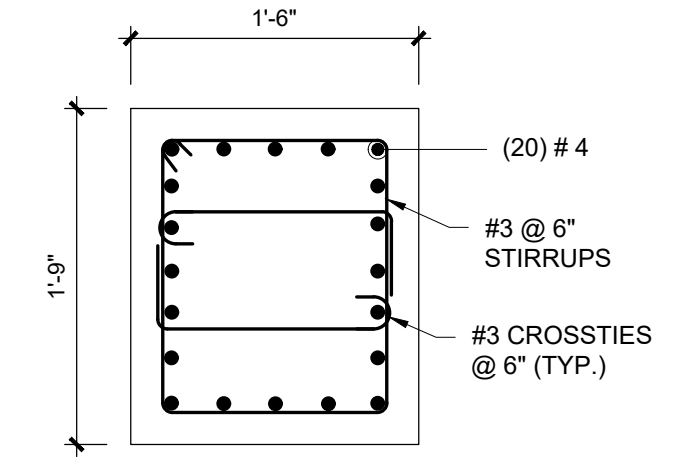
SECTION VIEW

FOOTING TYPE F-2 DETAIL
SCALE: 3/4" = 1'-0"

2
S100



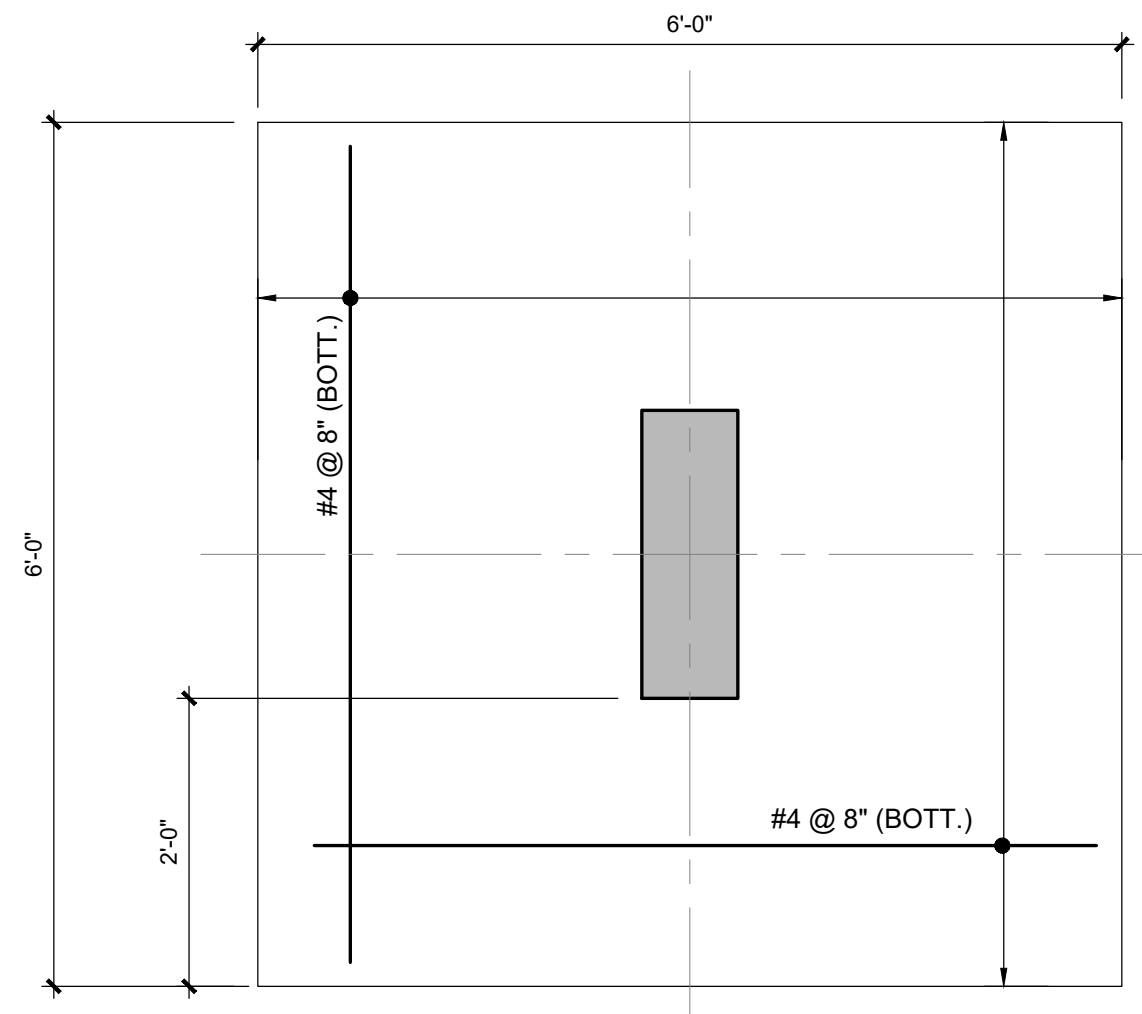
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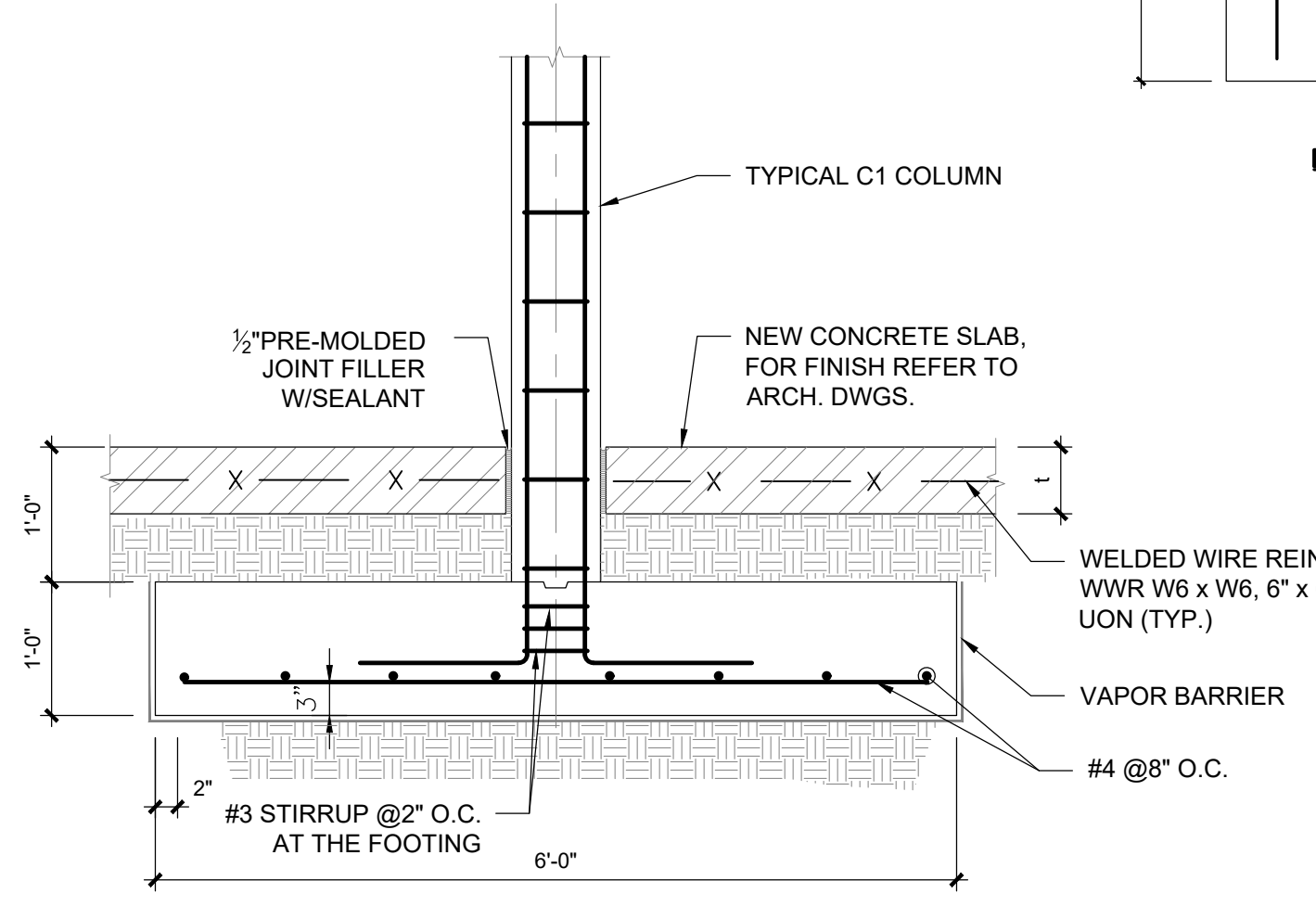
C2

TYPICAL COLUMN DETAILS
NO TO SCALE

6
S500



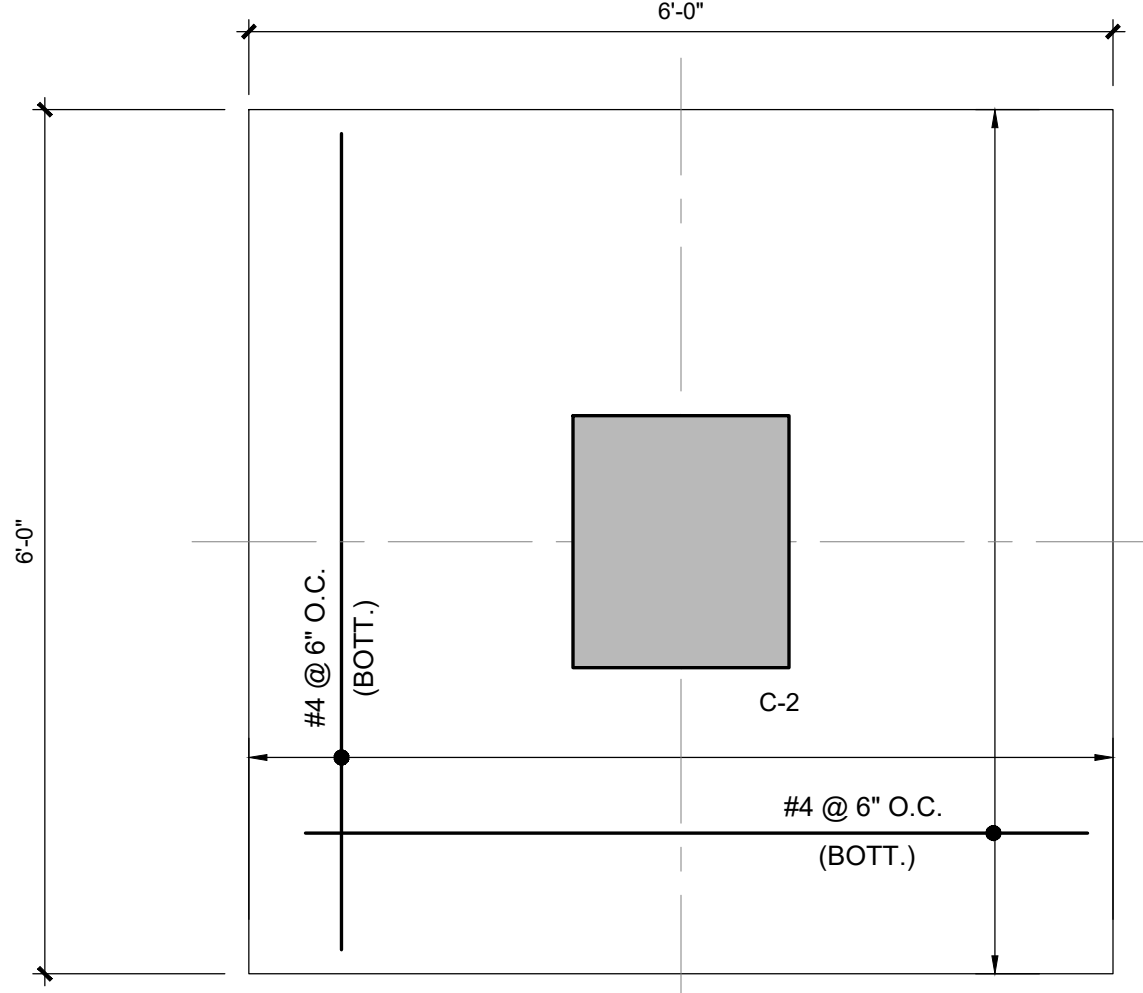
PLAN VIEW



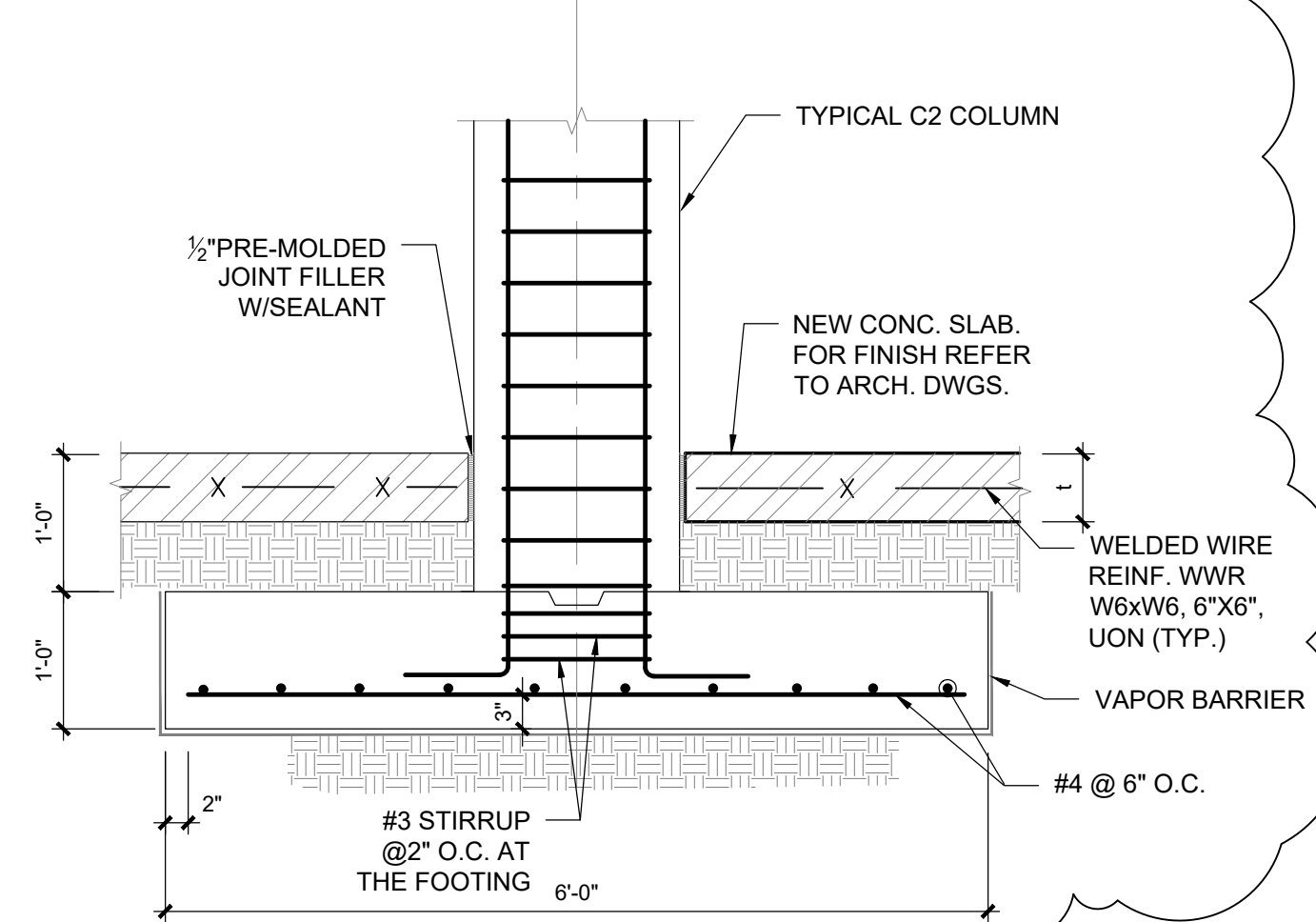
SECTION VIEW

FOOTING TYPE F-3 DETAIL
SCALE: 3/4" = 1'-0"

3
S100



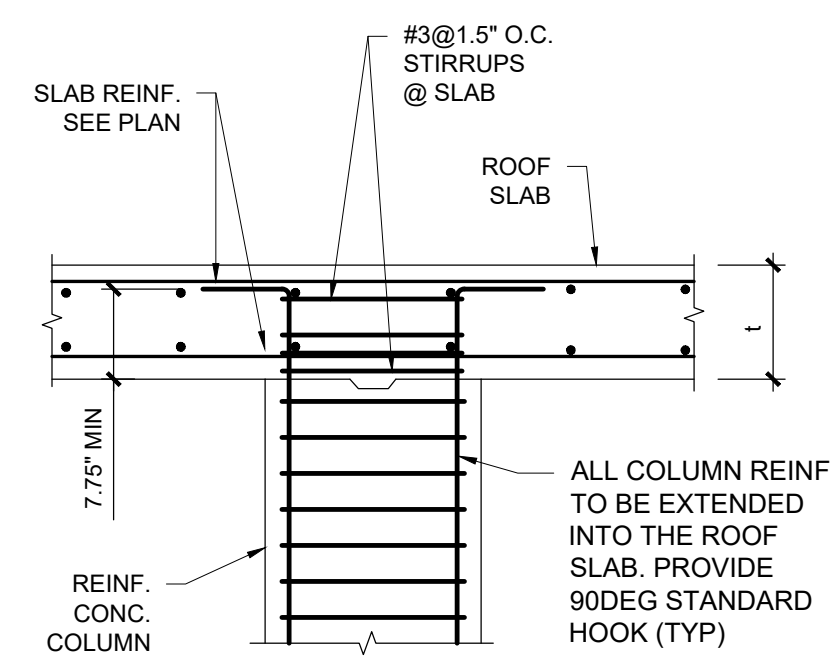
PLAN VIEW



SECTION VIEW

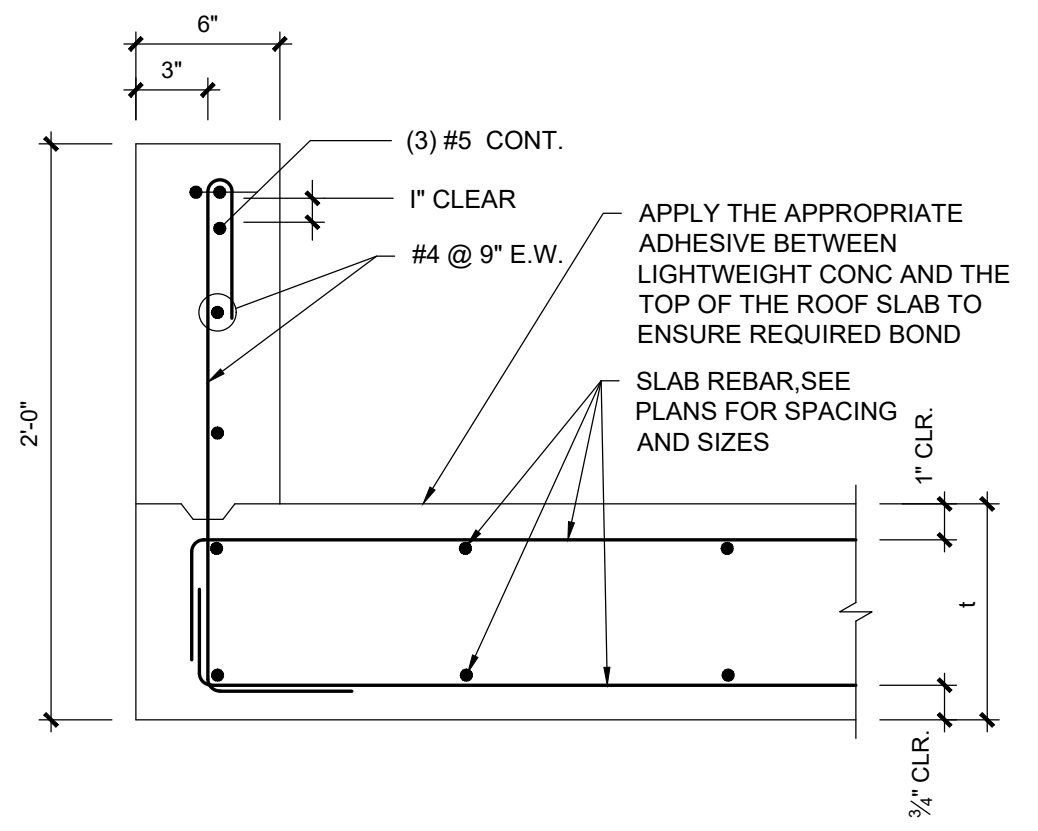
FOOTING TYPE F-4 DETAIL
SCALE: 3/4" = 1'-0"

4
S100



TYP. COLUMN CONNECTION DETAIL
NO TO SCALE

5
S100



TYPICAL PARAPET AND SLAB DETAIL
SCALE: 1 1/2" = 1'-0"

7
S110

REV. NO.	DATE	DESCRIPTION
01	09-25-2019	CLIENT CHANGES
02	07-16-2020	CITY COMMENTS
03	12-07-2020	PERMIT REVISION

NOTES:

DISCIPLINE INFORMATION:	
PROFESSIONAL OF RECORD: RODERICK HOANG	START DESIGNER: J. RIVERA / M. GHOSHSABAI
Q.C. AUDITOR: JOSE I. PINO	PRINCIPAL CAD TECHNICIAN: ENRIQUE TORRES
PROJECT MANAGER: SELIA FUENTES	

PROFESSIONAL SEAL:

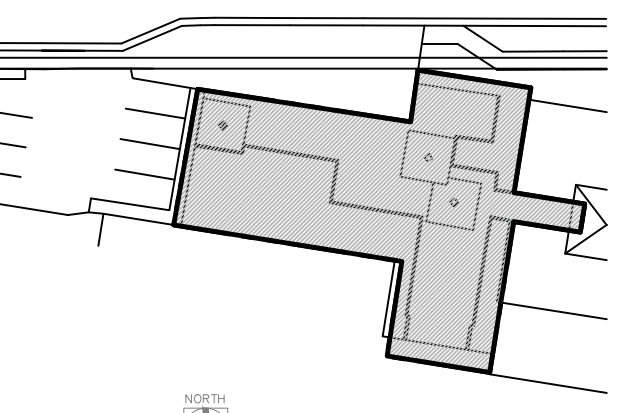
PROJECT:
ENTRY RENOVATION

VIVIAN VILLAS

4650 W 12 TH AVENUE
HIALEAH, FL 33012-3200

DATE	ISSUE DESCRIPTION
07/17/2019	ISSUED FOR PERMIT

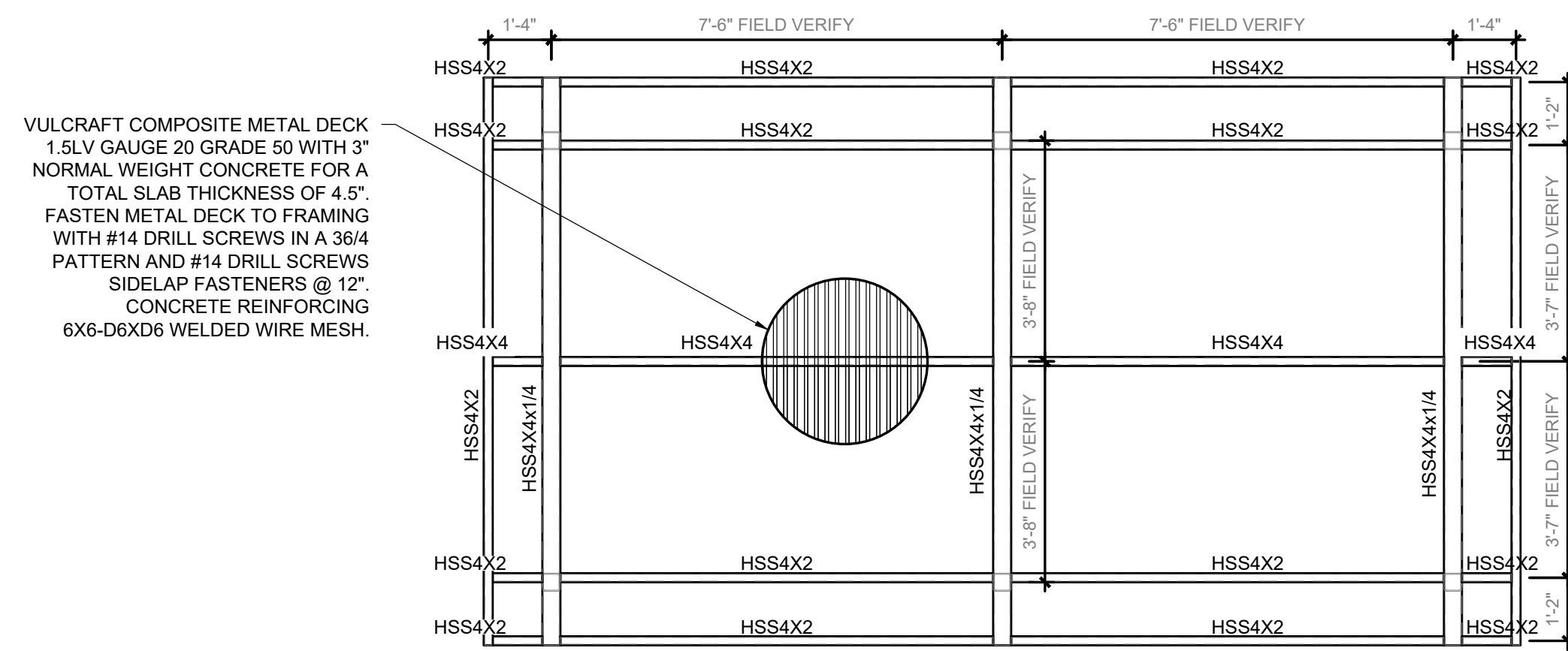
DRAWING INFORMATION:



KEY PLAN

STRUCTURAL DETAILS

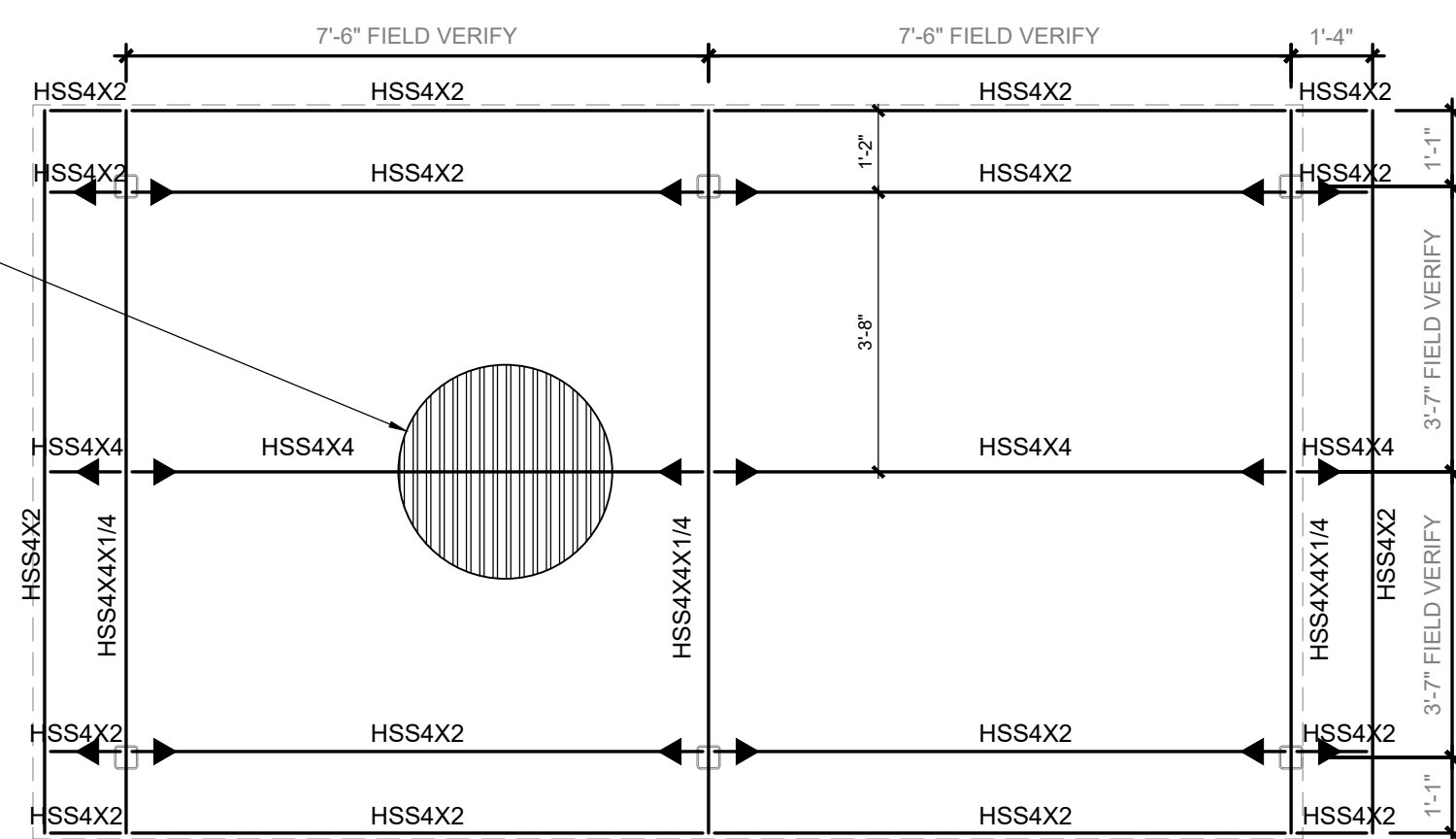
DELIVERY DATE: 05/20/2019	PROJECT NUMBER: 18-0221 C05
PRINT DATE & TIME: 05/20/2019	CAD FILE NAME: S500
DRAWING LOCATION: A:\Projects\MA_Projects\0418-0221\105006\Technical\07\Structure\DWG	
SHEET NO.	S500



VULCRAFT COMPOSITE METAL DECK
1.5LV GAUGE 20 GRADE 50 WITH 3"
NORMAL WEIGHT CONCRETE FOR A
TOTAL SLAB THICKNESS OF 4.5".
FASTEN METAL DECK TO FRAMING
WITH #14 DRILL SCREWS IN A 36/4
PATTERN AND #14 DRILL SCREWS
SIDELAP FASTENERS @ 12".
CONCRETE REINFORCING
6X6-D6X6 WELDED WIRE MESH.

NOTE:
ALL HSS 4X2X1/8 U.O.N.

STEEL CANOPY ROOF PLAN
SCALE: NTS

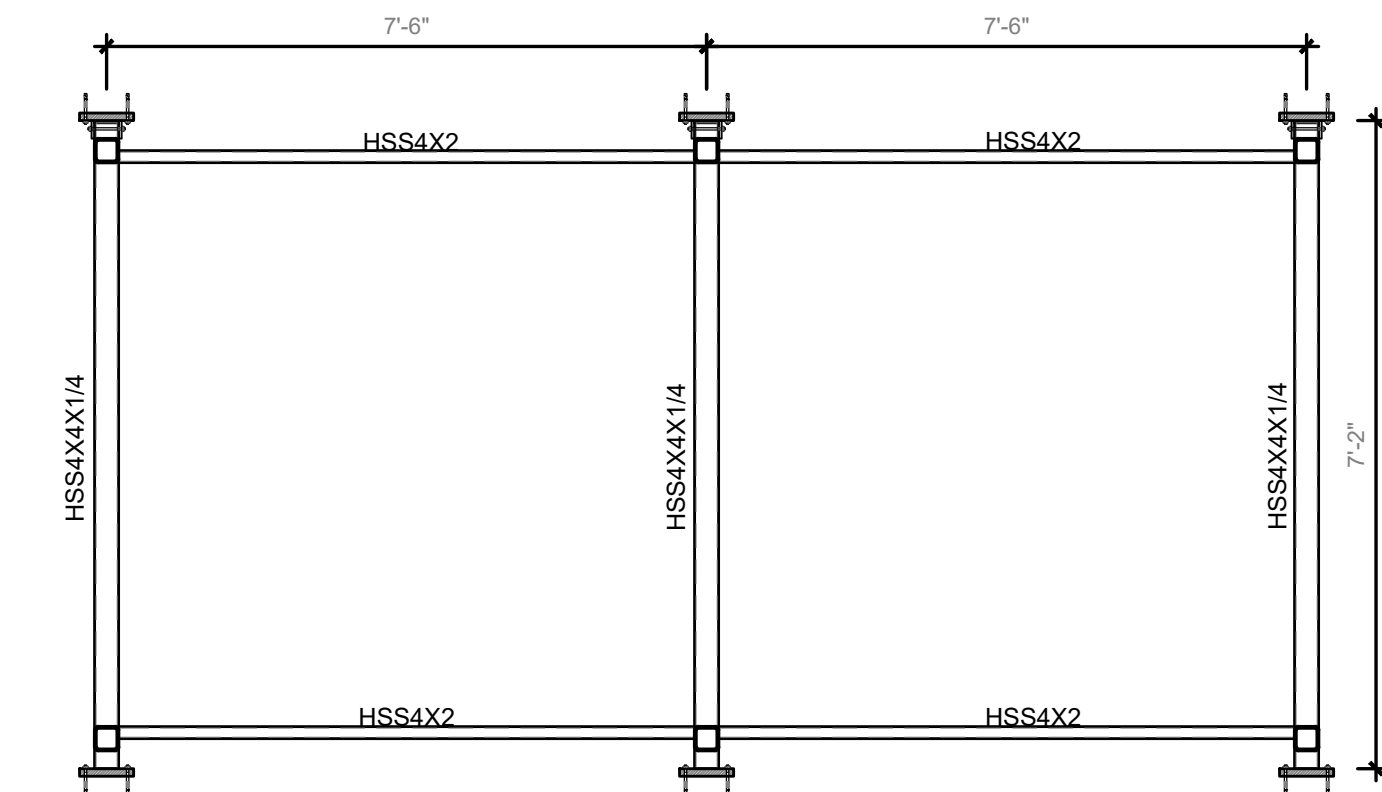


VULCRAFT COMPOSITE METAL DECK
1.5LV GAUGE 20 GRADE 50 WITH 3"
NORMAL WEIGHT CONCRETE FOR A
TOTAL SLAB THICKNESS OF 4.5".
FASTEN METAL DECK TO FRAMING
WITH #14 DRILL SCREWS IN A 36/4
PATTERN AND #14 DRILL SCREWS
SIDELAP FASTENERS @ 12".
CONCRETE REINFORCING
6X6-D6X6 WELDED WIRE MESH.

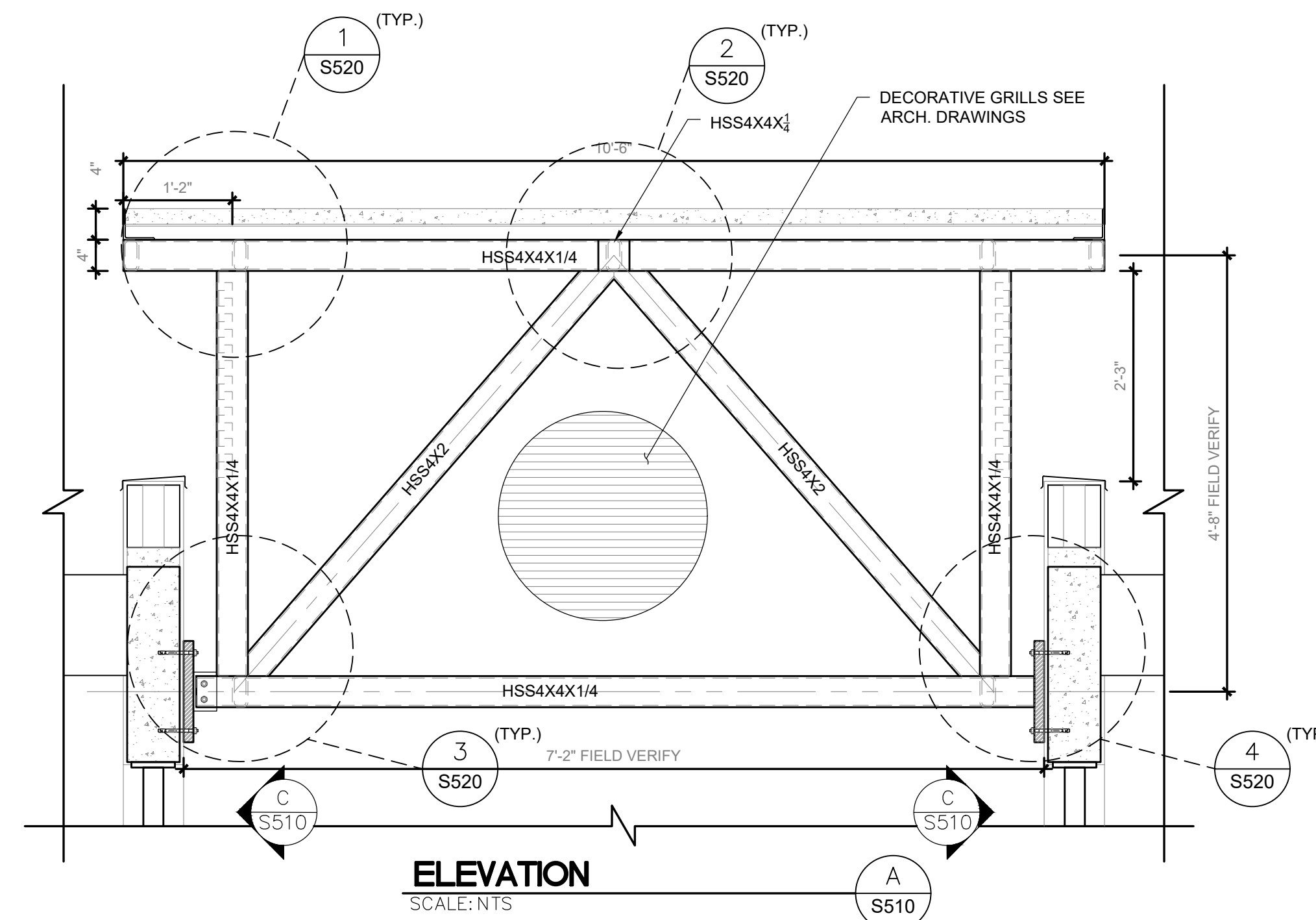
FULLY RESTRAINED CONNECTION

STEEL CANOPY ROOF FRAMING PLAN
SCALE: NTS

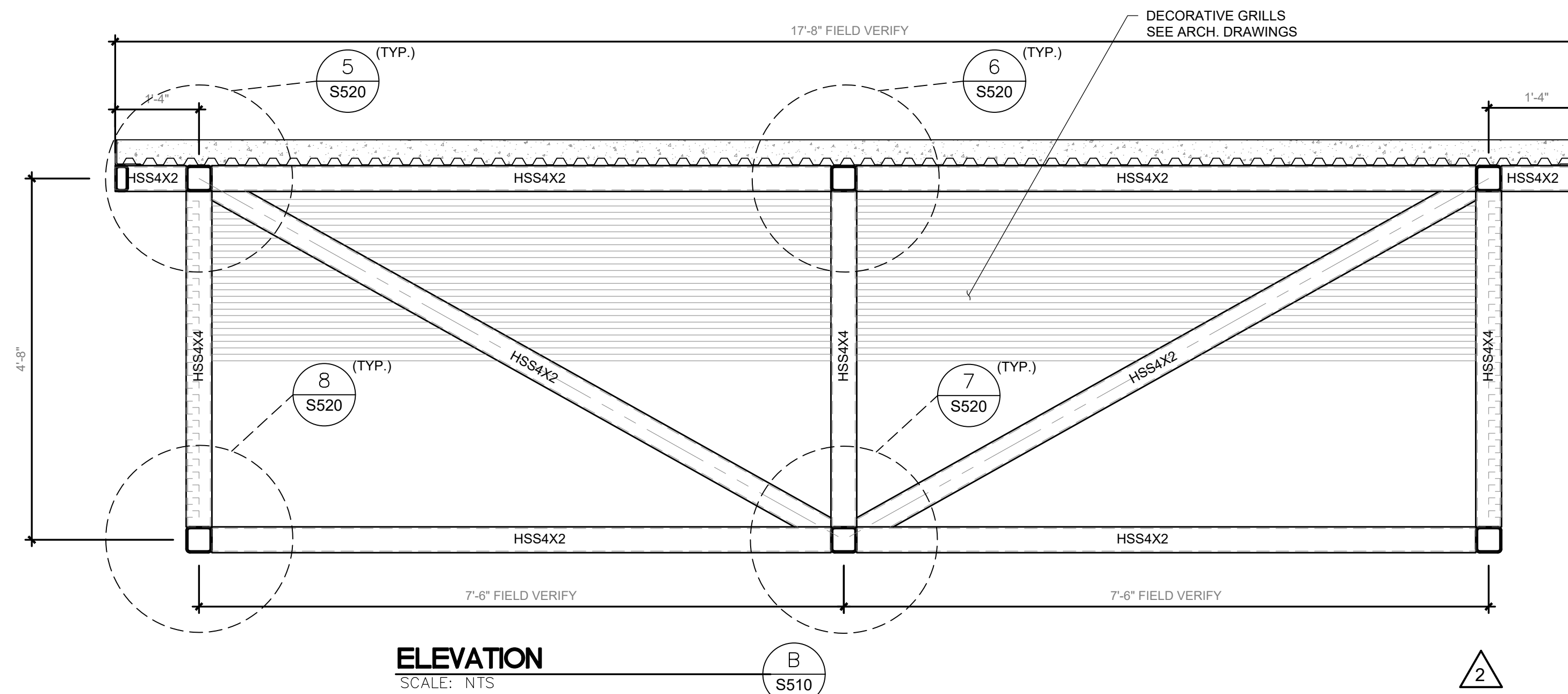
NOTE:
ALL HSS 4X2X1/8 U.O.N.



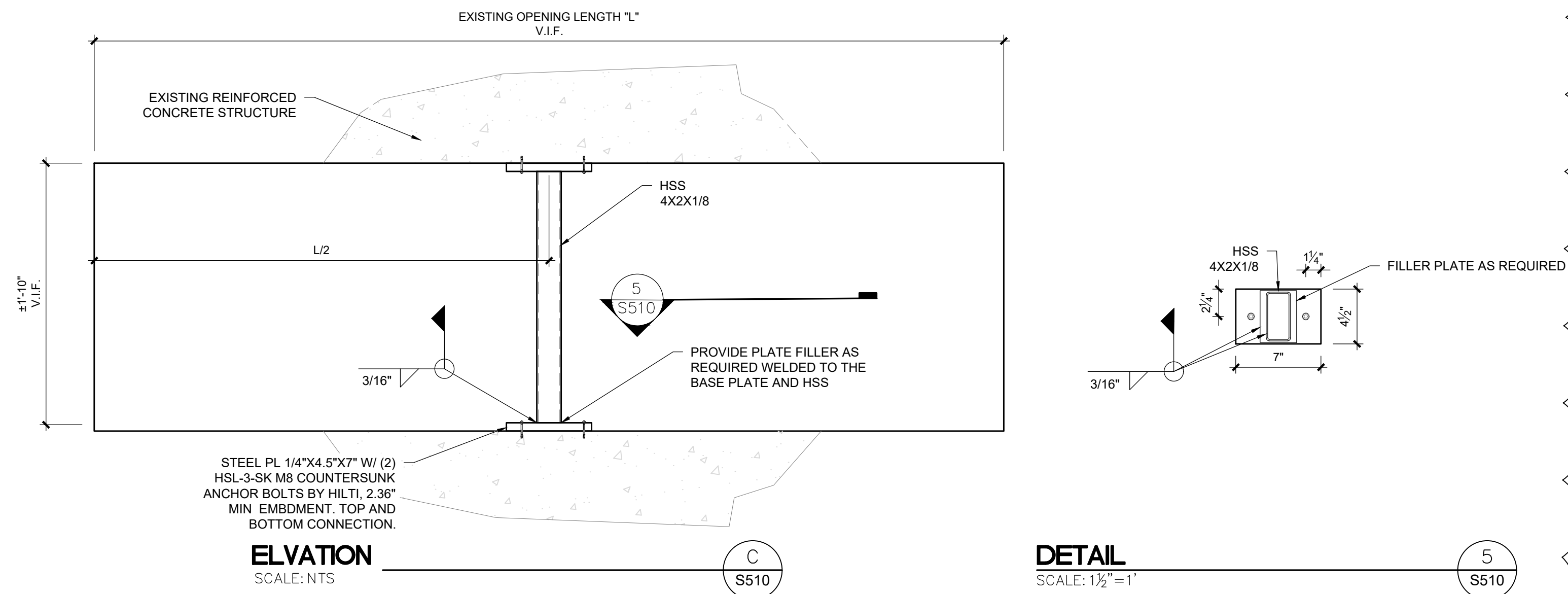
STEEL CANOPY BOTTOM CHORD FRAMING PLAN
SCALE: NTS



ELEVATION
SCALE: NTS



ELEVATION
SCALE: NTS



ELEVATION
SCALE: NTS

DETAIL
SCALE: 1 1/2" = 1"

REV. NO.	DATE	DESCRIPTION
01	09-25-2019	CLIENT CHANGES
02	07-16-2020	CITY COMMENTS

NOTES:

DISCIPLINE INFORMATION:

PROFESSIONAL OF RECORD: RODRICK HOANG	STAFF DESIGNER: J. RIVERA / M. GHOSFASAEI
Q.C. AUDITOR: JOSE I. PINTO	PRINCIPAL CAD TECHNICIAN: ENRIQUE TORRES
PROJECT MANAGER: RELI FUENTES	

PROFESSIONAL SEAL:

PROJECT:

ENTRY RENOVATION

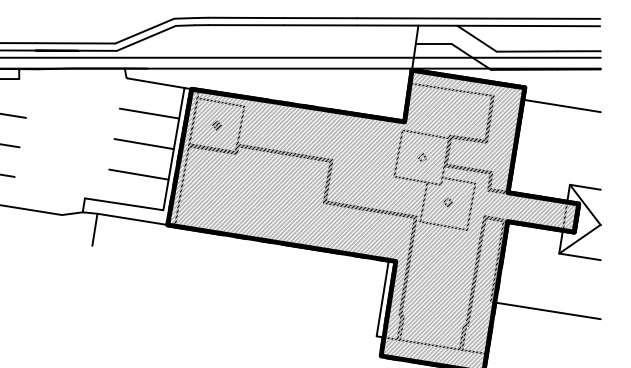
VIVIAN VILLAS

4650 W 12 TH AVENUE
HIALEAH, FL 33012-3200

DATE ISSUE DESCRIPTION

07/17/2019 ISSUED FOR PERMIT

DRAWING INFORMATION:



KEY PLAN

SHEET TITLE:

STRUCTURAL DETAILS

DELIVERY DATE:

05/20/2019

PROJECT NUMBER:
18-0221 C05

PRINT DATE & TIME:

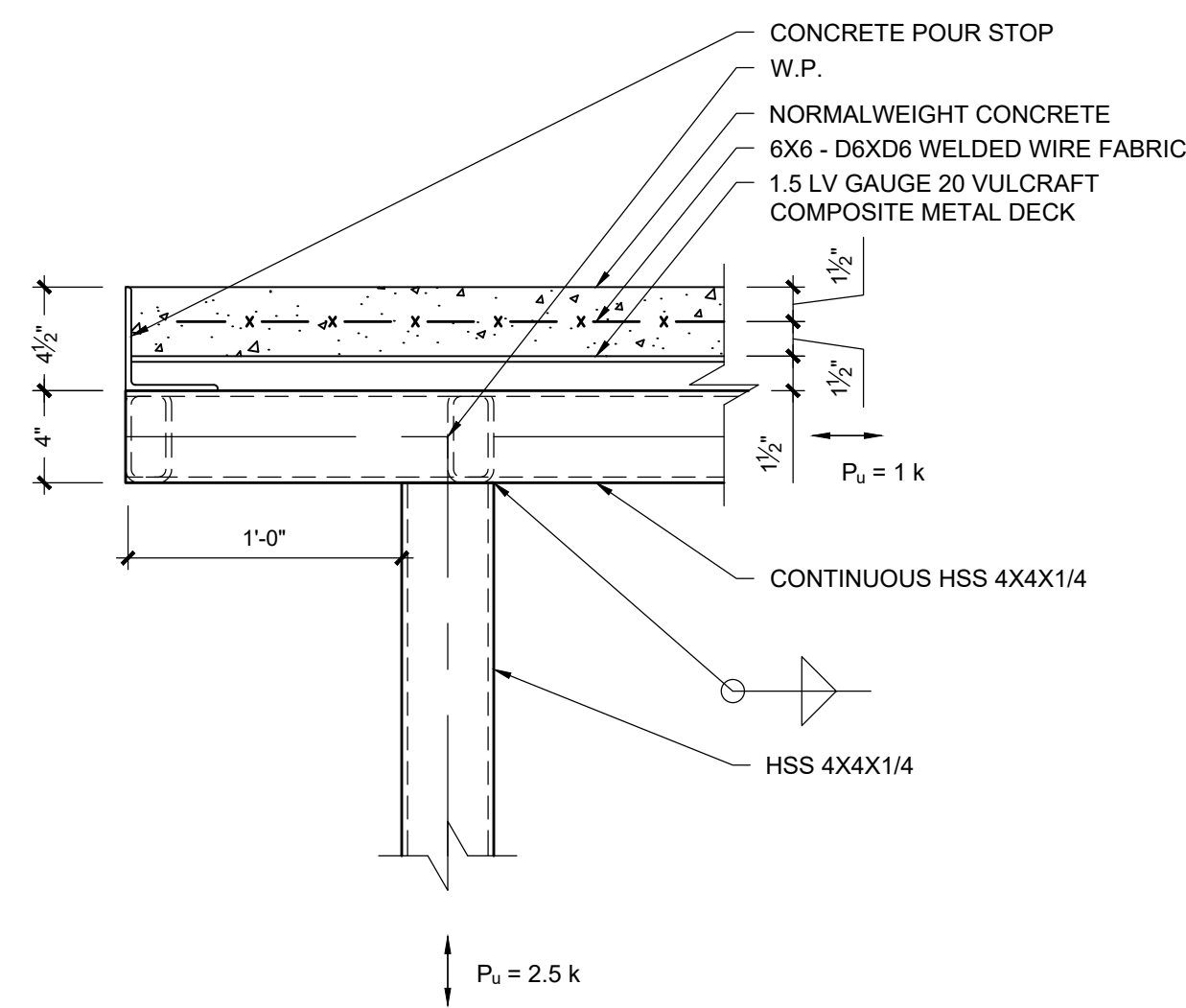
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CAD FILE NAME:
S510

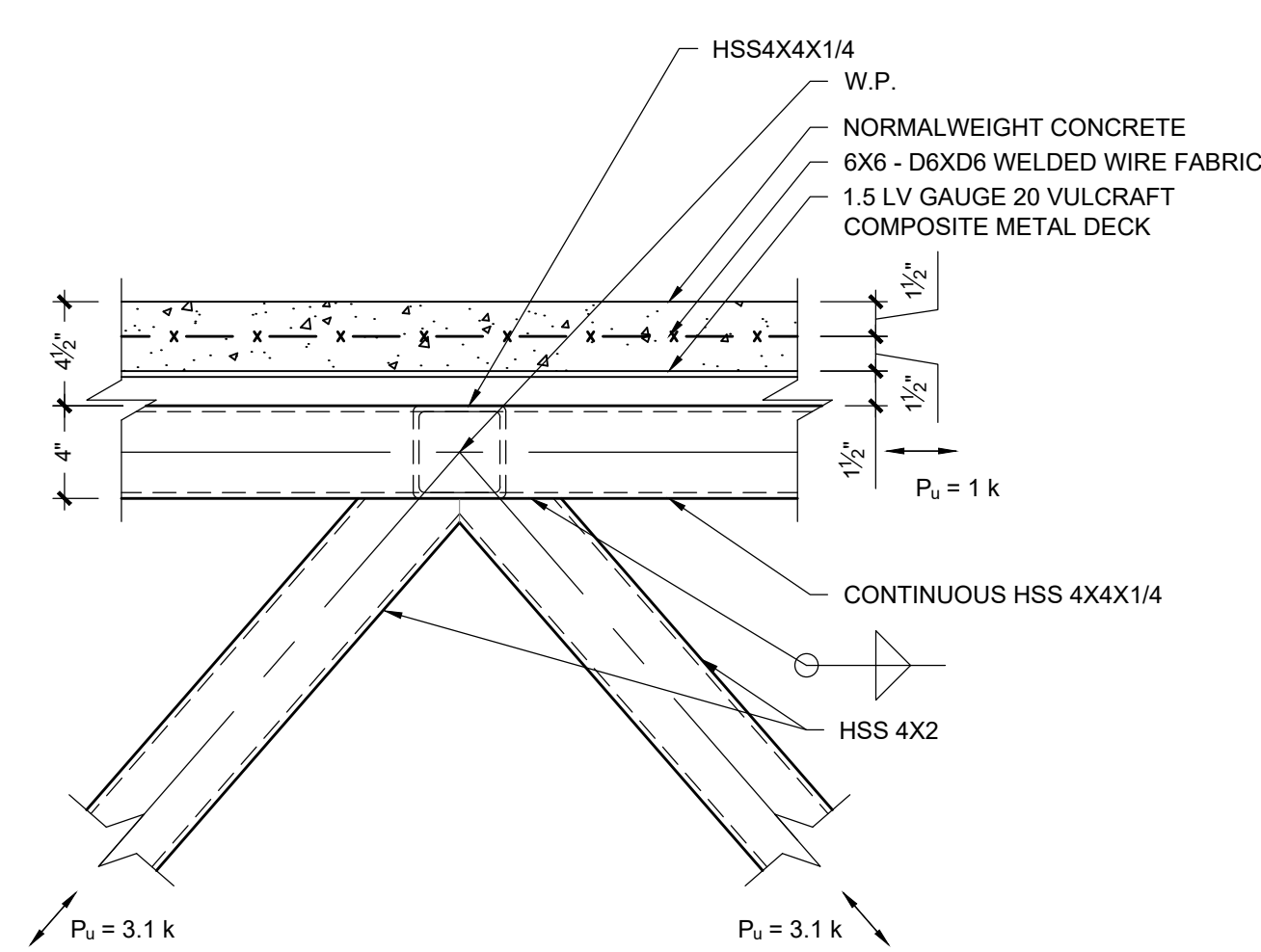
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SHEET NO. **S510**

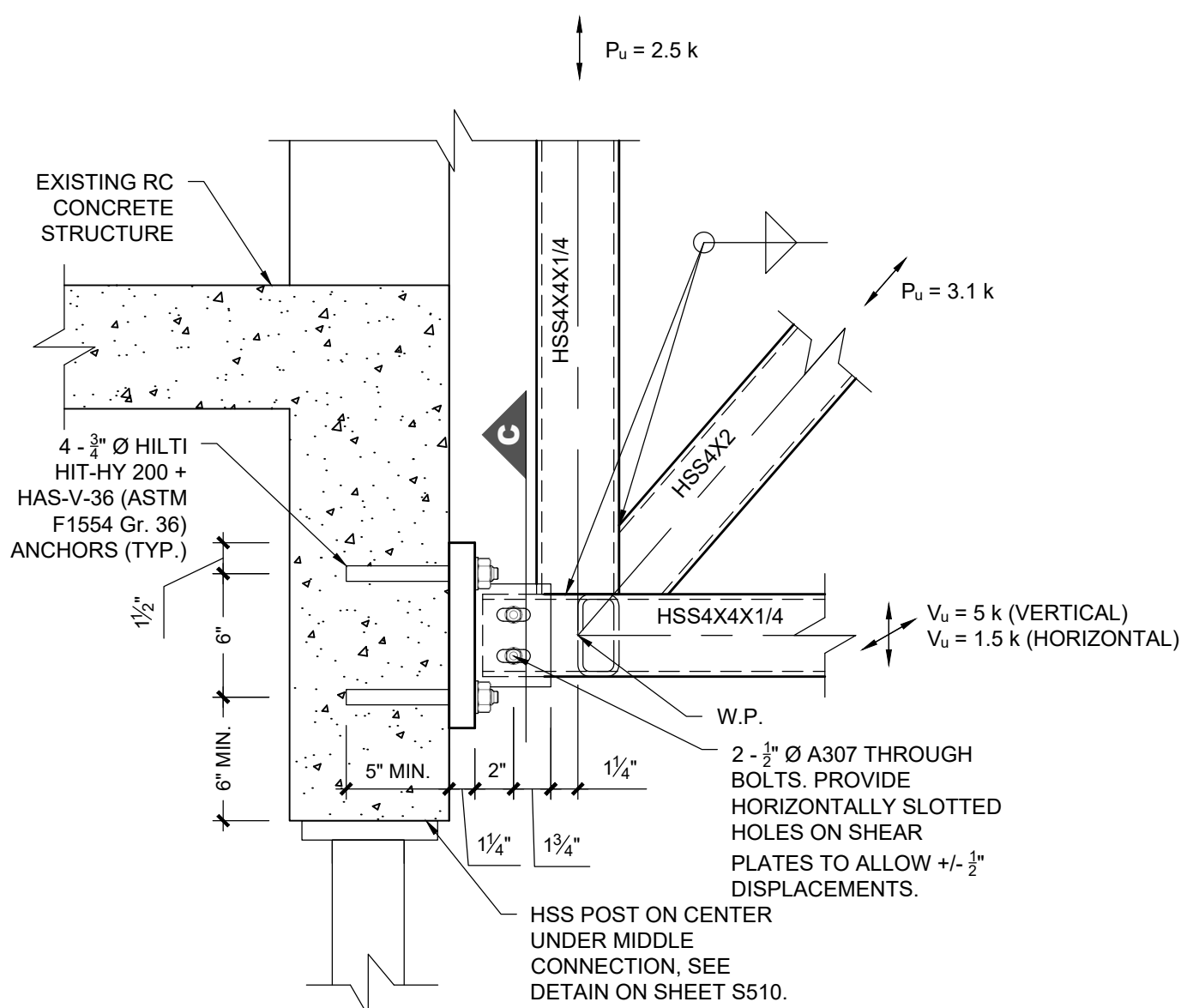
06 OF 02



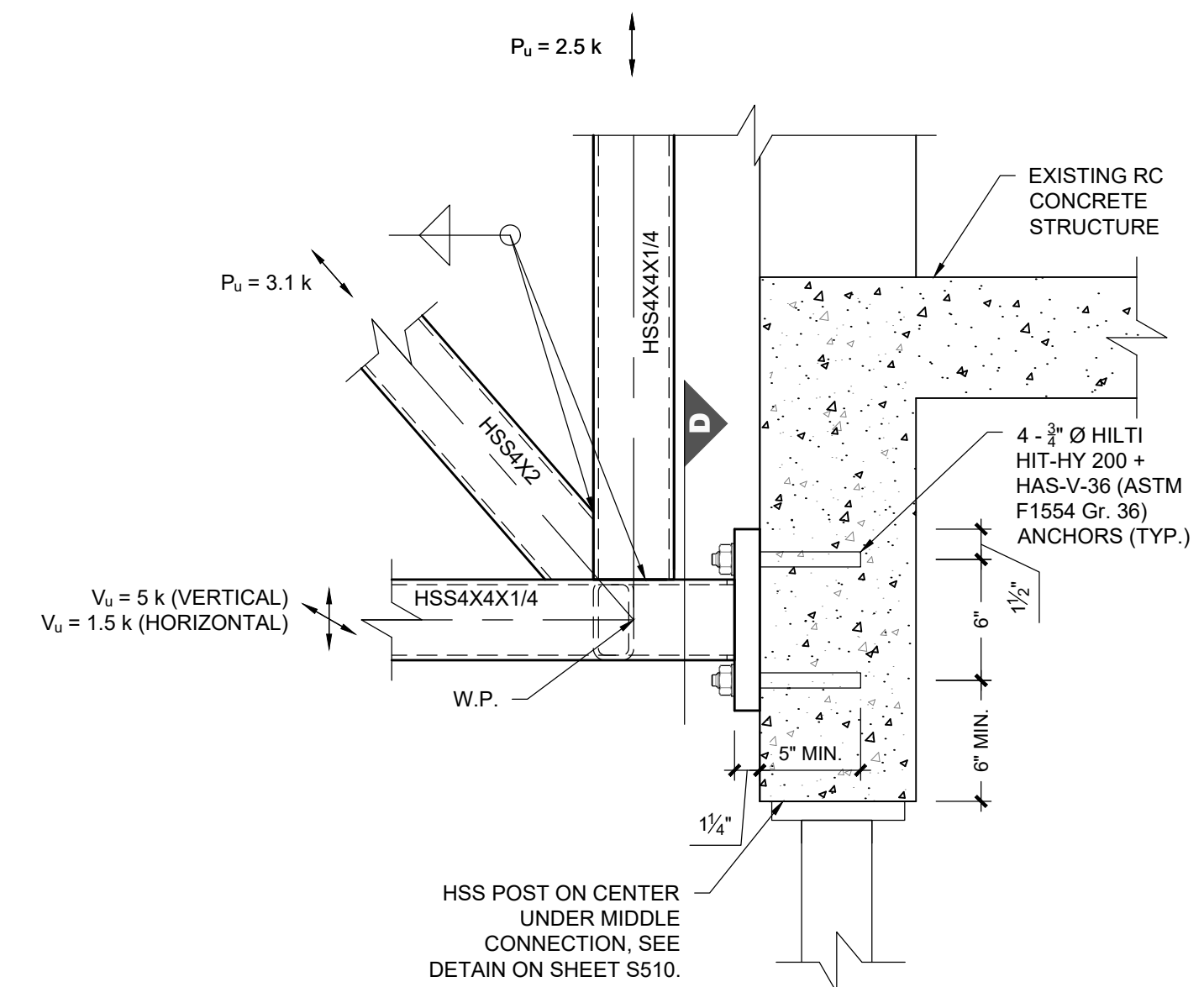
1 DETAIL
S520 SCALE: 1-1/2" = 1'-0"



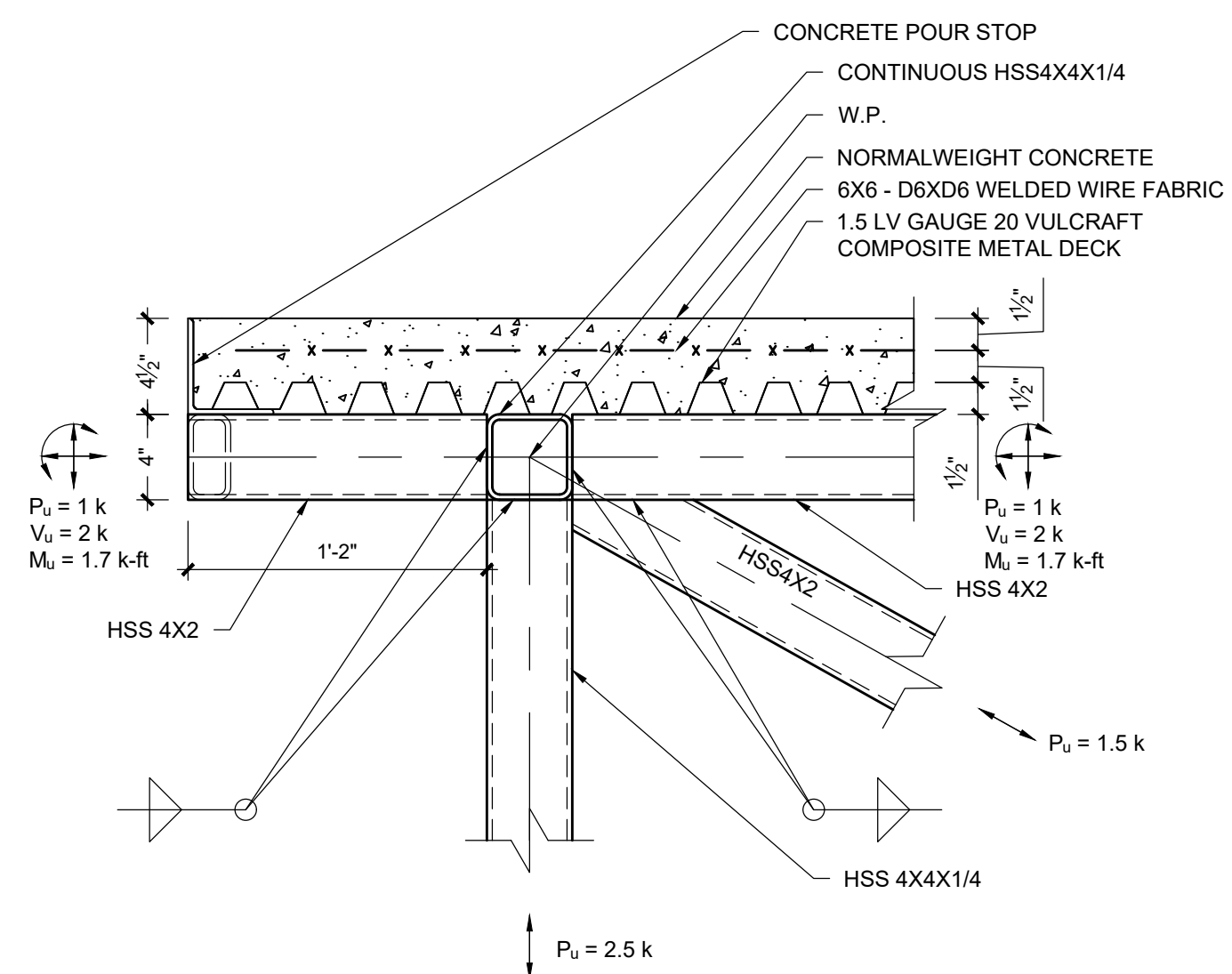
2 DETAIL
S520 SCALE: 1-1/2" = 1'-0"



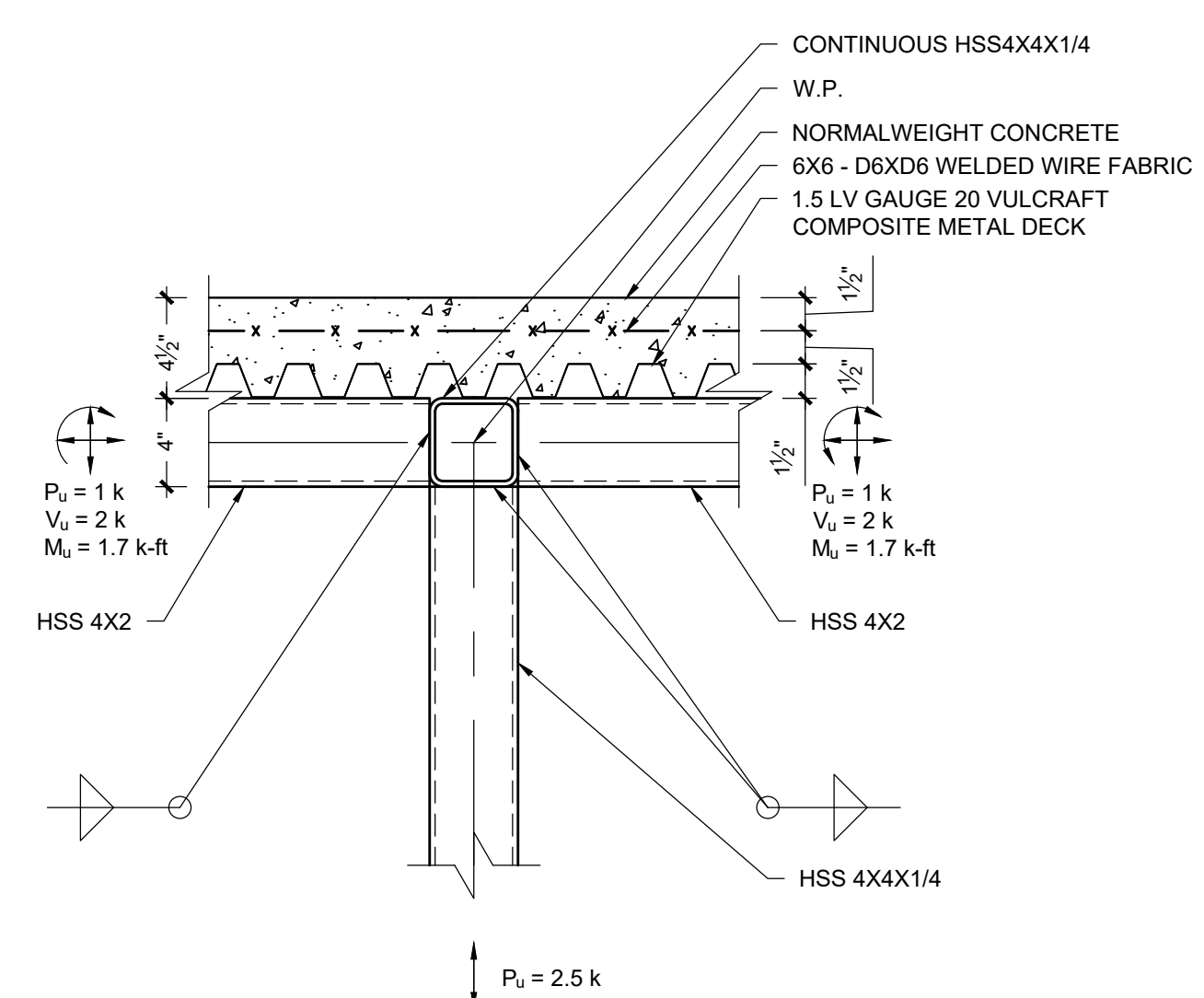
3 DETAIL
S520 SCALE: 1-1/2" = 1'-0"



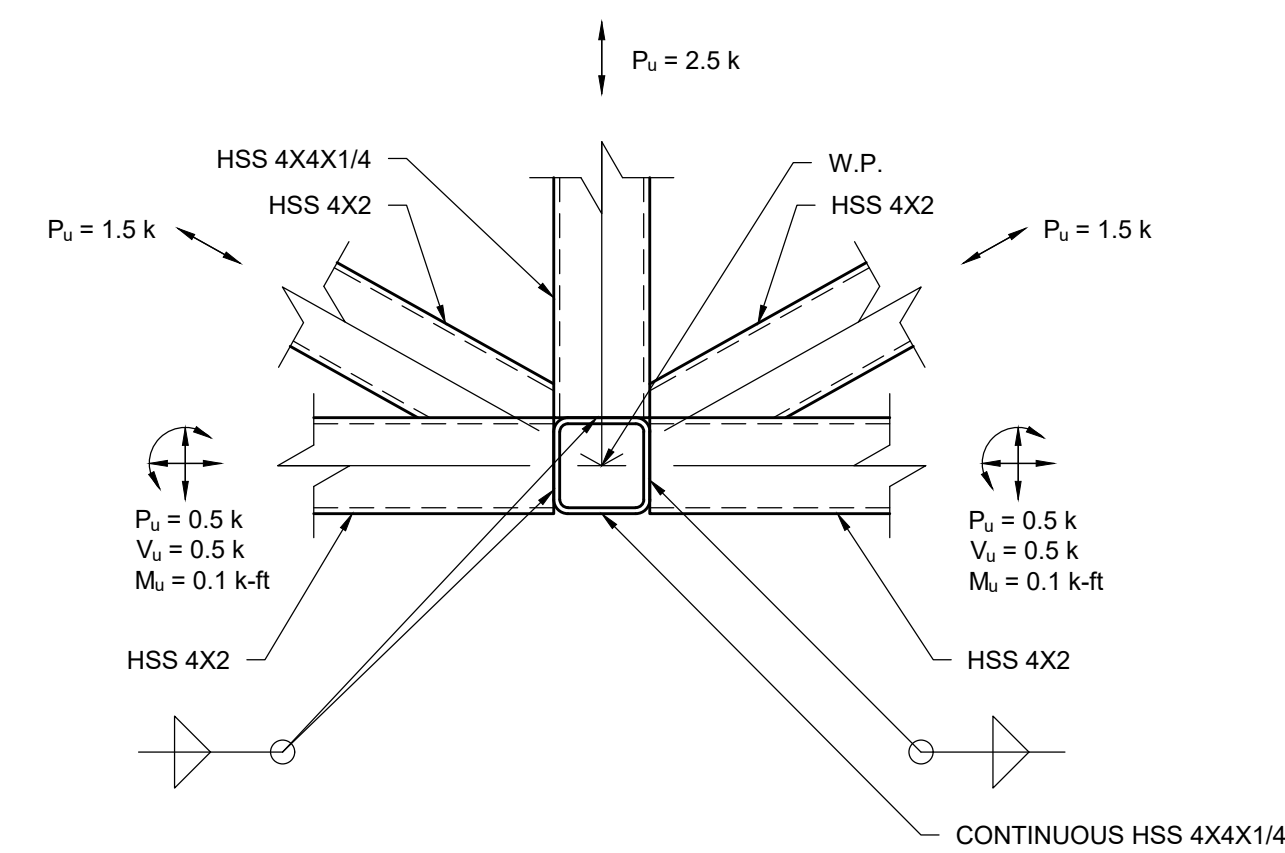
4 DETAIL
S520 SCALE: 1-1/2" = 1'-0"



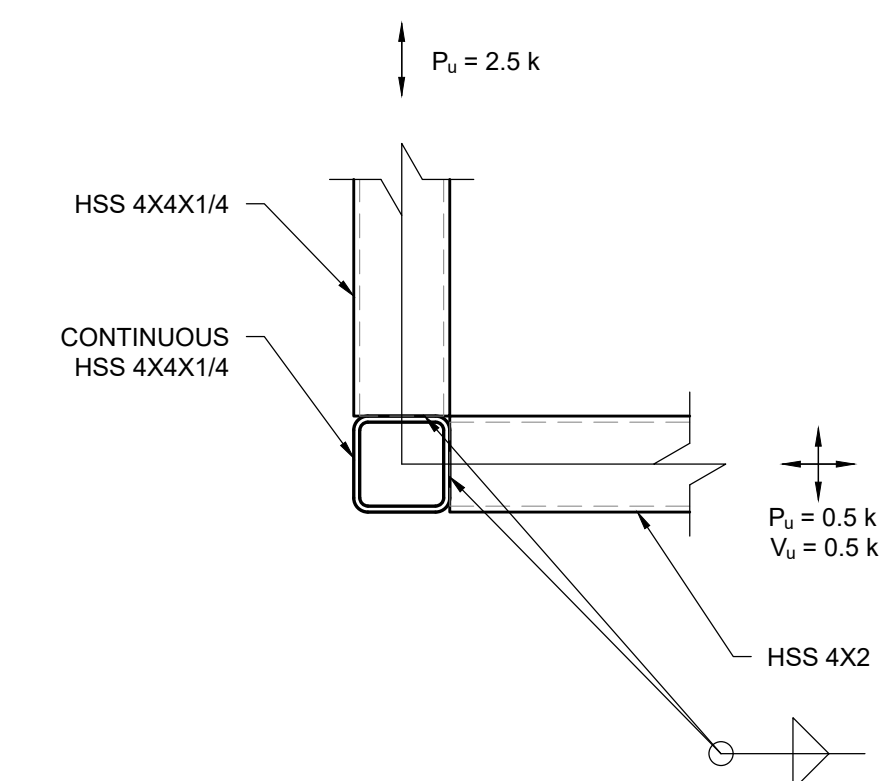
5 DETAIL
S520 SCALE: 1-1/2" = 1'-0"



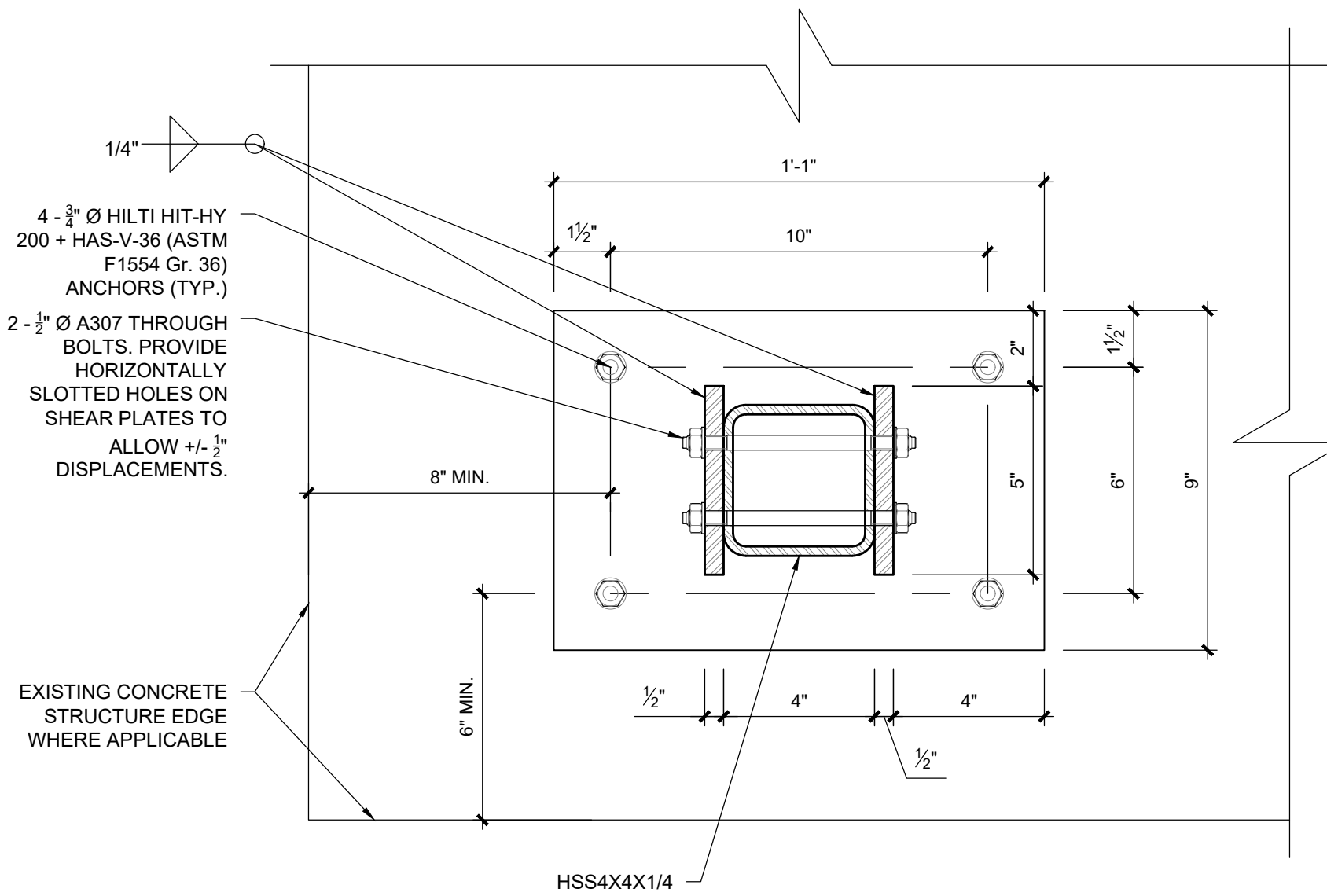
6 DETAIL
S520 SCALE: 1-1/2" = 1'-0"



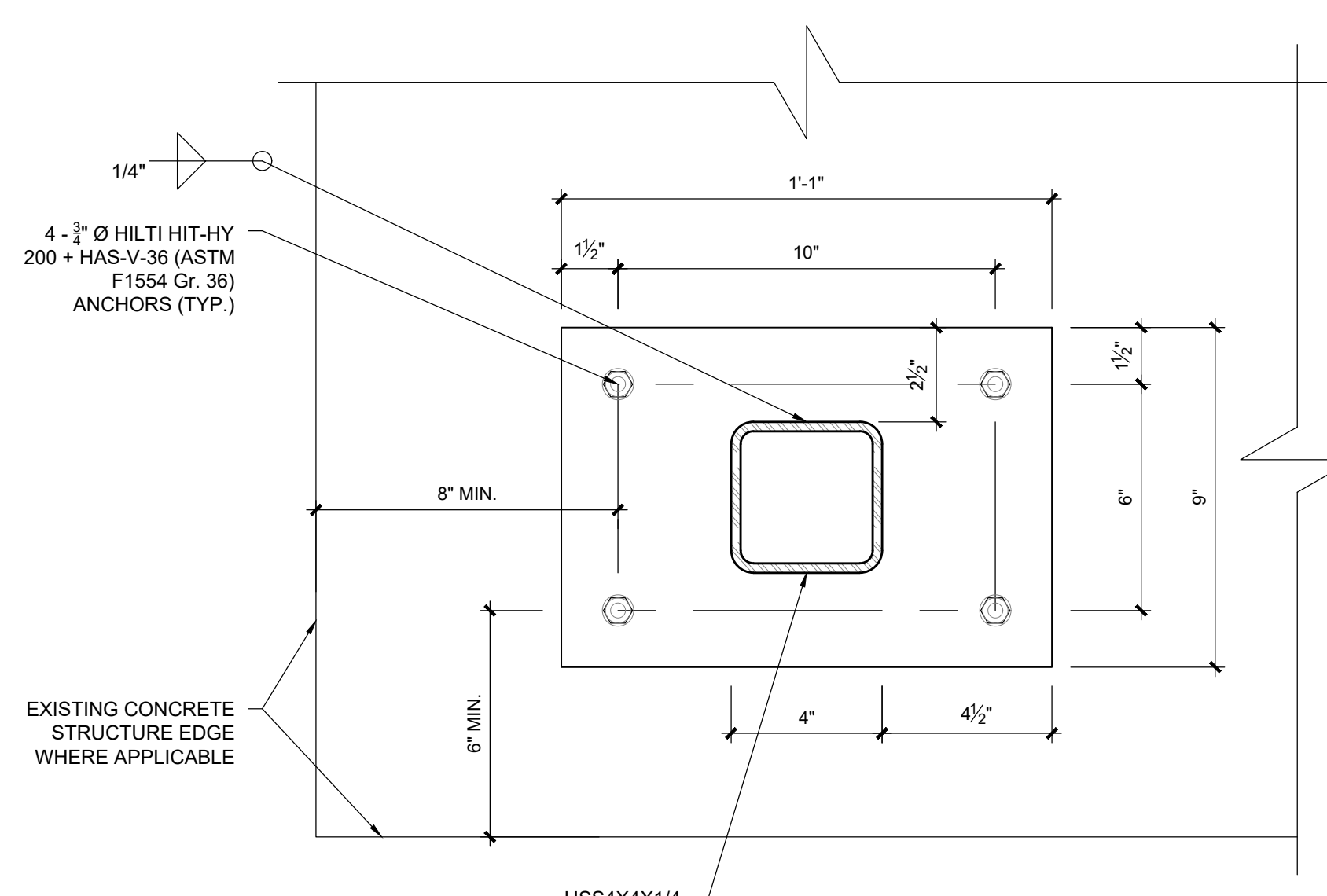
7 DETAIL
S520 SCALE: 1-1/2" = 1'-0"



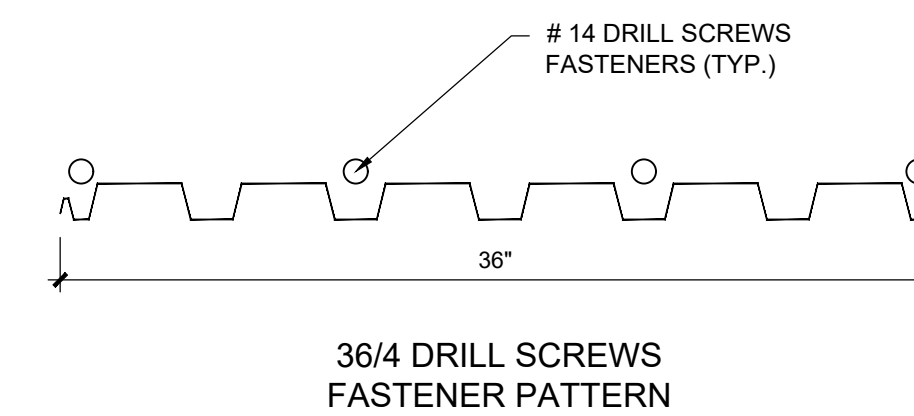
8 DETAIL
S520 SCALE: 1-1/2" = 1'-0"



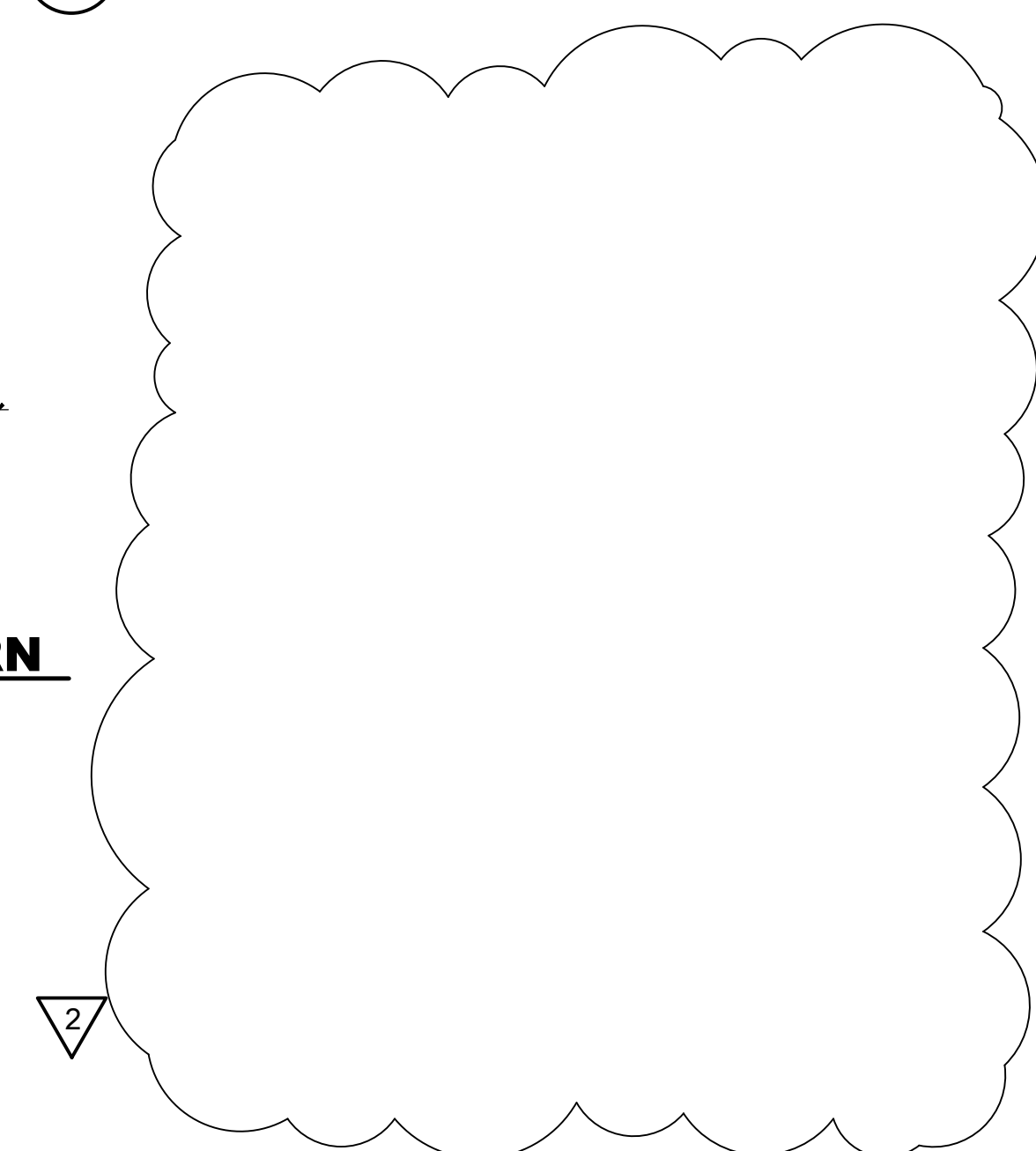
C



D



9 TYPICAL FASTENER PATTERN
S520 SCALE: N.T.S.



GENERAL NOTE:
ALL STEEL CONNECTIONS IN THIS SHEET SHALL BE DESIGNED AND DETAILED BY THE MANUFACTURER ENGINEER REFER TO STRUCTURAL STEEL NOTE 5 ON SHEET S001

REV. NO.	DATE	DESCRIPTION
01	09-25-2019	CLIENT CHANGES
02	12-07-2020	PERMIT REVISION

NOTES:

DISCIPLINE INFORMATION:	
PROFESSIONAL OF RECORD: RODRICK HOANG	START DESIGNER: J. RIVERA / M. GHOSHSABAI
Q.C. AUDITOR: JOSE I. PIRATE	PRINCIPAL CAD TECHNICIAN: ENRIQUE TORRES
PROJECT MANAGER: SILVIA RUIZ	

PROFESSIONAL SEAL:

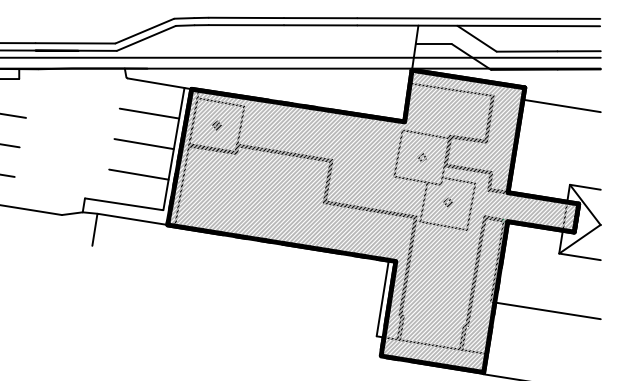
PROJECT:
ENTRY RENOVATION

VIVIAN VILLAS

4650 W 12 TH AVENUE
HALEAH, FL 33012-3200

DATE	ISSUE DESCRIPTION
07/17/2019	ISSUED FOR PERMIT

DRAWING INFORMATION:



KEY PLAN

SHEET TITLE:

STRUCTURAL DETAILS

DELIVERY DATE: 05/20/2019	PROJECT NUMBER: 18-0221 C05
PRINT DATE & TIME: 05/20/2019	CAD FILE NAME: S520
DRAWING LOCATION: A:\Projects\MA_Projects\0418-0221\0506\Technical\07Structure\DWG	
SHEET NO.	S520

SCOPE OF WORK:

1. DEMOLISH EXISTING LUMINAIRES UNDER THE EXISTING CANOPY COVERED WALKWAY, REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR MORE DETAIL.
2. FURNISH AND INSTALL NEW LUMINAIRES AND RECEPTACLES AS SHOWN ON PLANS.
3. PROVIDE NEW CONDUITS AND CONDUCTORS FROM EXISTING ELECTRICAL PANEL TO NEW EQUIPMENT.

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REV. NO.	DATE	DESCRIPTION
01	12-14-2020	CLIENT COMMENTS

NOTES:

DISCIPLINE INFORMATION:

PROFESSIONAL OF RECORD: JOSE I. PRATS	START DESIGNER: JOSE CANO
Q.C. AUDITOR: JOSE I. PRATS	PRINCIPAL CAD TECHNICIAN: JOSE CANO
PROJECT MANAGER: REIN FUENTES	

PROFESSIONAL SEAL:

PROJECT:

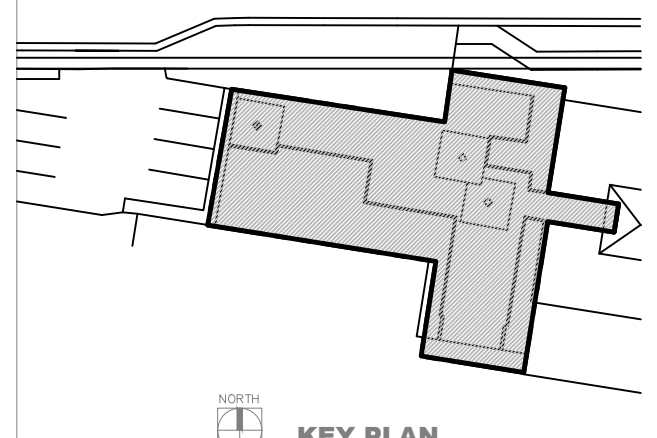
ENTRY RENOVATION

VIVIAN VILLAS

4650 W 12 TH AVENUE
HIALEAH, FL 33012-3200

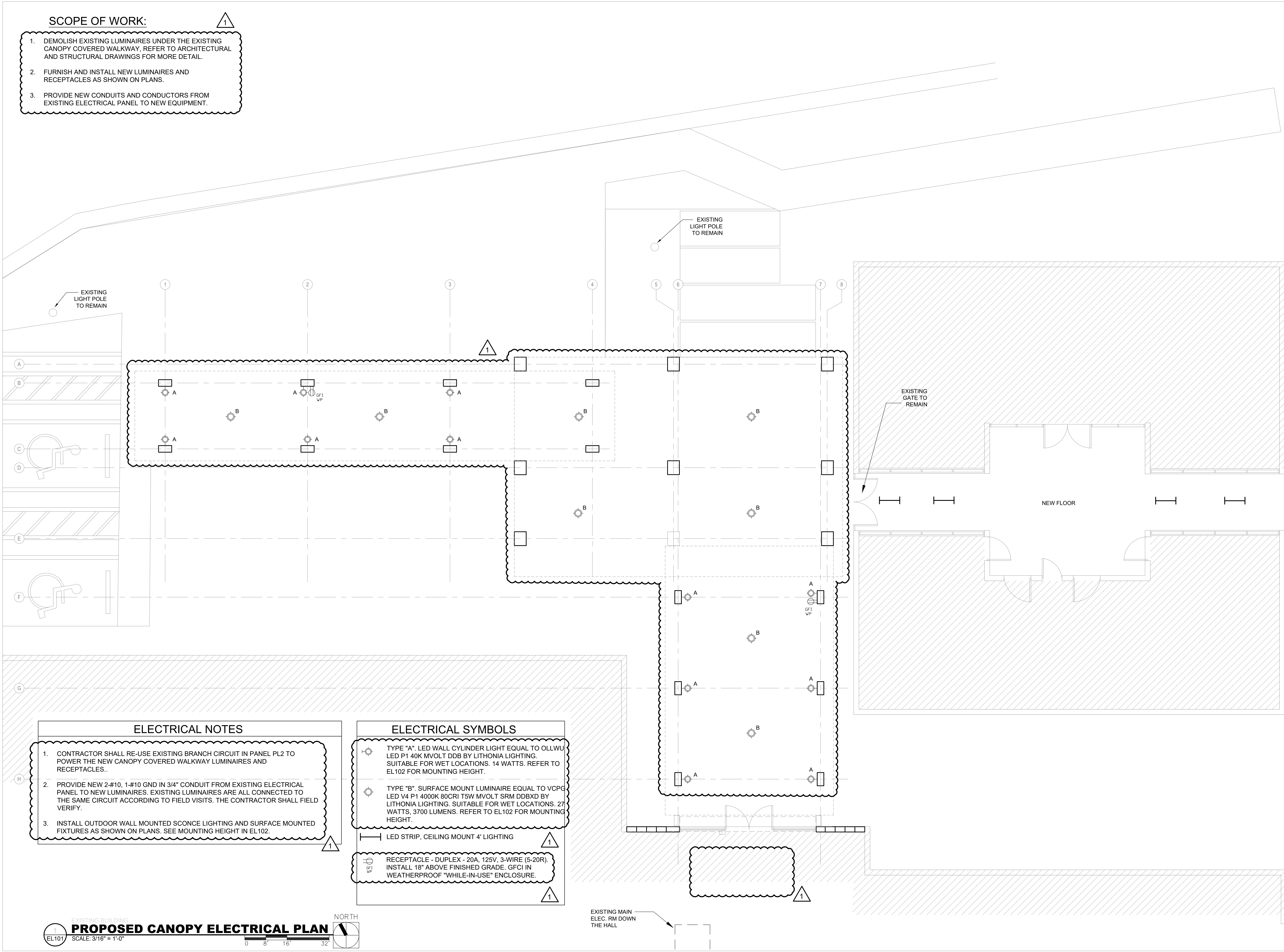
DATE	ISSUE DESCRIPTION
07/17/2019	ISSUED FOR PERMIT

DRAWING INFORMATION:



PROPOSED CANOPY ELECTRICAL PLAN

DELIVERY DATE: 05/20/2019	PROJECT NUMBER: 18-0221 C05
PRINT DATE & TIME: 05/20/2019	CAD FILE NAME: EL101
DRAWING LOCATION: A:\Projects\MA_Projects\0418-0221\050506\Technical\15Electrical\DWG	
SHEET NO.	EL101.0



ELECTRICAL NOTES

1. CONTRACTOR SHALL RE-USE EXISTING BRANCH CIRCUIT IN PANEL PL2 TO POWER THE NEW CANOPY COVERED WALKWAY LUMINAIRES AND RECEPTACLES.
2. PROVIDE NEW 2-#10, 1-#10 GND IN 3/4" CONDUIT FROM EXISTING ELECTRICAL PANEL TO NEW LUMINAIRES. EXISTING LUMINAIRES ARE ALL CONNECTED TO THE SAME CIRCUIT ACCORDING TO FIELD VISITS. THE CONTRACTOR SHALL FIELD VERIFY.
3. INSTALL OUTDOOR WALL MOUNTED SCENCE LIGHTING AND SURFACE MOUNTED FIXTURES AS SHOWN ON PLANS. SEE MOUNTING HEIGHT IN EL102.

ELECTRICAL SYMBOLS

- TYPE "A". LED WALL CYLINDER LIGHT EQUAL TO OLLWU LED P1 40K MVOLT DDB BY LITHONIA LIGHTING. SUITABLE FOR WET LOCATIONS. 14 WATTS. REFER TO EL102 FOR MOUNTING HEIGHT.
- TYPE "B". SURFACE MOUNT LUMINAIRE EQUAL TO VCPG LED V4 P1 4000K 80CRI T5W MVOLT SRM DDBXD BY LITHONIA LIGHTING. SUITABLE FOR WET LOCATIONS. 27 WATTS, 3700 LUMENS. REFER TO EL102 FOR MOUNTING HEIGHT.
- LED STRIP, CEILING MOUNT 4' LIGHTING
- RECEPTACLE - DUPLEX - 20A, 125V, 3-WIRE (5-20R). INSTALL 18" ABOVE FINISHED GRADE. GFCI IN WEATHERPROOF "WHILE-IN-USE" ENCLOSURE.

EXISTING MAIN ELEC. RM DOWN THE HALL

REV. NO.	DATE	DESCRIPTION
01	12-14-2020	CLIENT COMMENTS

NOTES:

DISCIPLINE INFORMATION:

PROFESSIONAL OF RECORD: JOSE I. PRATS	START DESIGNER: JOSE CANO
Q.C. AUDITOR: JOSE I. PRATS	PRINCIPAL CAD TECHNICIAN: JOSE CANO
PROJECT MANAGER: REMI FUENTES	

PROFESSIONAL SEAL:

PROJECT:

ENTRY RENOVATION

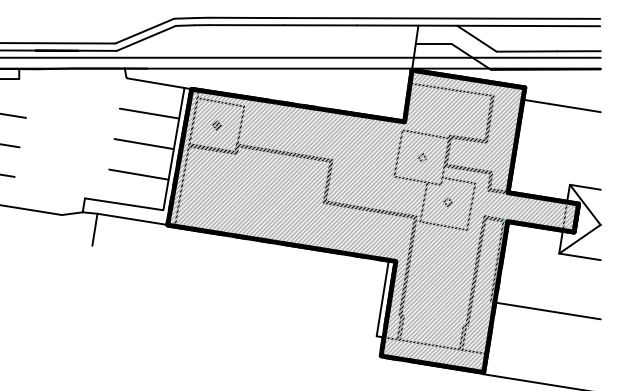
VIVIAN VILLAS

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DATE **ISSUE DESCRIPTION**

07/17/2019 ISSUED FOR PERMIT

DRAWING INFORMATION:



KEY PLAN

SHEET TITLE:

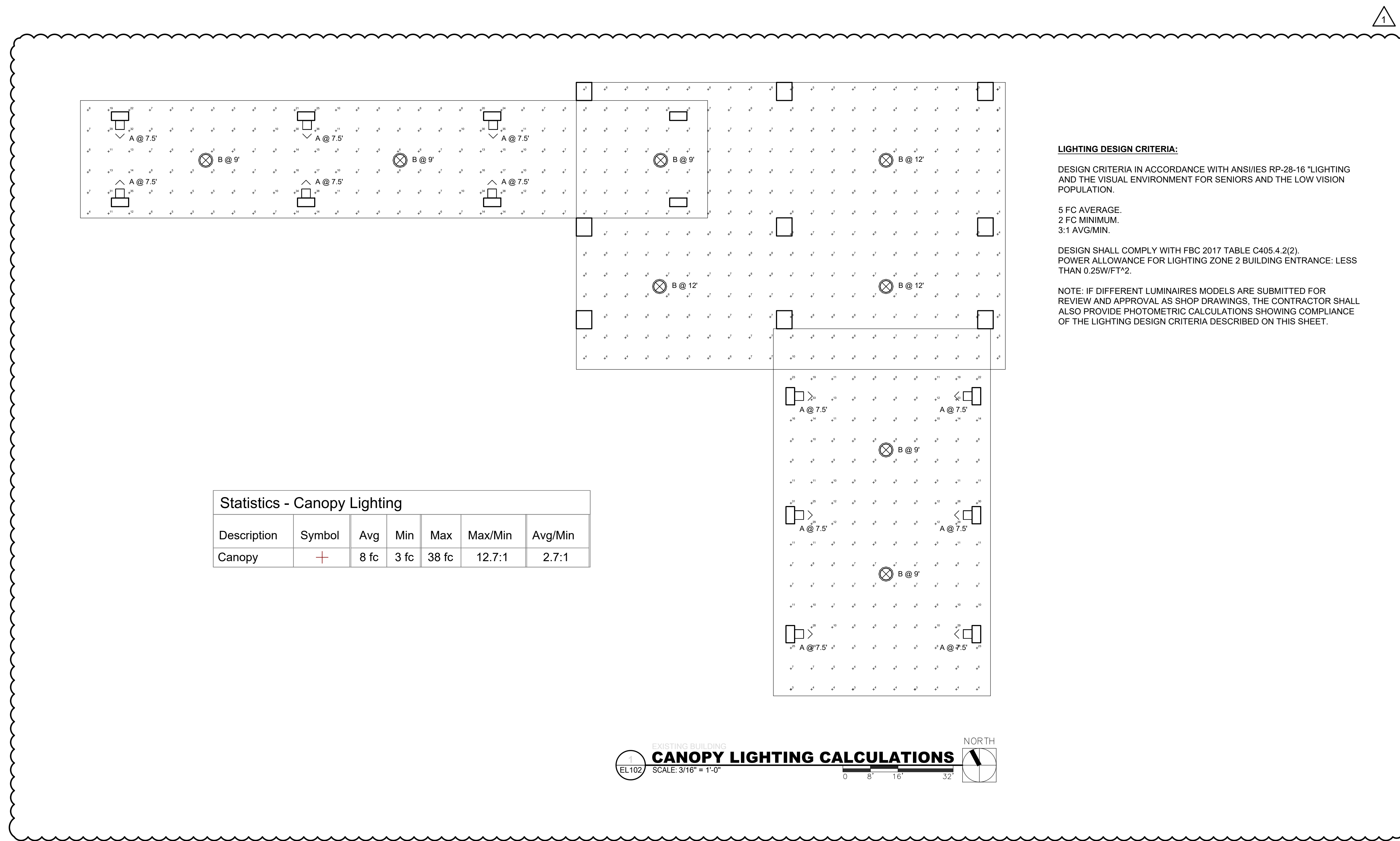
CANOPY LIGHTING CALCULATIONS

DELIVERY DATE: 05/20/2019 PROJECT NUMBER: 18-0221 C05

PRINT DATE & TIME: 05/20/2019 CAD FILE NAME: EL102

DRAWING LOCATION:
A:\Projects\MA_Projects\0418-0221\0506\Technical\15Electrical\DWG

SHEET NO. **EL102.0**



LIGHTING DESIGN CRITERIA:

DESIGN CRITERIA IN ACCORDANCE WITH ANSI/IES RP-28-16 "LIGHTING AND THE VISUAL ENVIRONMENT FOR SENIORS AND THE LOW VISION POPULATION."

5 FC AVERAGE.
2 FC MINIMUM.
3:1 AVG/MIN.

DESIGN SHALL COMPLY WITH FBC 2017 TABLE C405.4.2(2).
POWER ALLOWANCE FOR LIGHTING ZONE 2 BUILDING ENTRANCE: LESS THAN 0.25W/FT².

NOTE: IF DIFFERENT LUMINAIRES MODELS ARE SUBMITTED FOR REVIEW AND APPROVAL AS SHOP DRAWINGS, THE CONTRACTOR SHALL ALSO PROVIDE PHOTOMETRIC CALCULATIONS SHOWING COMPLIANCE OF THE LIGHTING DESIGN CRITERIA DESCRIBED ON THIS SHEET.

Statistics - Canopy Lighting

Description	Symbol	Avg	Min	Max	Max/Min	Avg/Min
Canopy	+	8 fc	3 fc	38 fc	12.7:1	2.7:1



1
EL102