# VILLAS VIVIAN RENOVATION ENTRY

	STAND	)AR	D ABBREVIA	TION	15:
&	AND	L	CHANNEL	ф	ROUND
۷	ANGLE	#	NUMBER	ф	SQUARE
@	AT SPACING OF	d	PENNY	Х	WIDTH X HEIGH
B.M.	BENCH MARK	$\perp$	PERPENDICULAR	W/	WITH
¢	CENTER LINE	也	PLATE		
NOTE NOT A	=	NECES	SARILY USED SYMBOL	S USED	AS ABBREVIATION
	MATE	ERIA	L DESIGNAT	ION	S:
	STRUG	CTURAL			

STRUCTURAL CONCRETE (CAST IN INSULATION (RIGID) PLACE OR PRECAST) FIBERBOARD METAL ACOUSTICAL TILE

PLYWOOD TILE (CERAMIC, BRICK OR QUARRY HARDWOOD FINISH GYPSUM WALL BOARD

PLASTER, SAND,

CEMENT, GROUT

(LOOSE OR BATT)

CODE COMPLIANCE: ALL WORK SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES OF

\*FLORIDA BUILDING CODE 2017. \*FLORIDA FIRE PREVENTION CODE 2017.

\*NFPA 101 LIFE SAFETY CODE 2015 EDITION. \*FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION 2017 EDITION:

\*ASCE 7-10 EDITION. \*NEC 2014 EDITION. \*NFPA 13 2013 EDITION.

\*FLORIDA BUILDING CODE - ENERGY 2017. \*FLORIDA BUILDING CODE - EXISTING BULDINGS 2017

## **LEGAL DESCRIPTION:**

\*FLORIDA PLUMBING CODE 2017 EDITION.

2 53 40 2.234 AC M/L ROSE LAWN REPLAT PORT TR A DESC - S234.93FT OF N1942.02FT OF W499.86FT OF E534.86FT OF SEC LESS N40FT FOR R/W /AKA PROJ FLA 66-3/ LOT SIZE 97458 SQUARE FEET

FES 0 E PLAN 0 DEMOLITION 0 LOOR PLAN 0 DOF PLAN 0 DOF PLAN 0 EVATIONS 0 ECTIONS 0 ECTIONS 0 ENS (ROOF PARAPET DETAILS) 0 ETAILS 0 PLAN 0 EILING PLAN 0 F PLAN 1 0 F PLAN 2 0 DETAILS 2 0 DETAILS 2 0 DETAILS 3 0	SHT#	DWG#	DESCRIPTION	REV.#
FES 0 E PLAN 0 DEMOLITION 0 LOOR PLAN 0 DOF PLAN 0 DOF PLAN 0 EVATIONS 0 ECTIONS 0 ECTIONS 0 ENS (ROOF PARAPET DETAILS) 0 ETAILS 0 PLAN 0 EILING PLAN 0 F PLAN 1 0 F PLAN 2 0 DETAILS 2 0 DETAILS 2 0 DETAILS 3 0	GENER	RAL	1	<u> </u>
E PLAN DEMOLITION DOOR PLAN DOOF PLAN DOF PLAN D	01	G001	COVER SHEET	0
E PLAN DEMOLITION DOOR PLAN DOOF PLAN DOF PLAN D	ARCHI	TECTURE		1
DEMOLITION  OOR PLAN  OPLAN  OF PLAN  O	01	A001	GENERAL NOTES	0
OOR PLAN OOF PARAPET DETAILS OOF PLAN O	02	A100	EXISTING SITE PLAN	0
PLAN  OF PLA	03	A101	FLOOR PLAN DEMOLITION	0
DOF PLAN  EVATIONS  ECTIONS  O  ECTIONS  NS (ROOF PARAPET DETAILS)  PLAN  PLAN  O  EILING PLAN  O  NOTES  NDATION PLAN  F PLAN 1  F PLAN 2  DETAILS  DETAILS 2  DETAILS 3  O	04	A102	PROPOSED FLOOR PLAN	0
LEVATIONS  ECTIONS  O ECTIONS  NS (ROOF PARAPET DETAILS)  ETAILS  PLAN  O EILING PLAN  NOTES  NDATION PLAN  F PLAN 1  F PLAN 2  DETAILS  DETAILS 2  DETAILS 3	05	A102.1	FINISH FLOOR PLAN	0
ECTIONS  ECTIONS  NS (ROOF PARAPET DETAILS)  ETAILS  PLAN  PLAN  O  EILING PLAN  NOTES  NDATION PLAN  F PLAN 1  F PLAN 2  DETAILS  DETAILS 2  DETAILS 3  O  O  O  O  O  O  O  O  O  O  O  O  O	06	A103	PROPOSED ROOF PLAN	0
ECTIONS  NS (ROOF PARAPET DETAILS)  ETAILS  PLAN  PLAN  O  EILING PLAN  NOTES  NDATION PLAN  F PLAN 1  F PLAN 2  DETAILS  DETAILS 2  DETAILS 3  O  O  O  O  O  O  O  O  O  O  O  O  O	07	A200	PROPOSED ELEVATIONS	0
NS (ROOF PARAPET DETAILS)  ETAILS  PLAN  EILING PLAN  NOTES  NDATION PLAN  F PLAN 1  F PLAN 2  DETAILS  DETAILS  DETAILS 2  DETAILS 3	08	A201	PROPOSED SECTIONS	0
ETAILS  PLAN  PLAN  0  EILING PLAN  0  NOTES  NDATION PLAN  F PLAN 1  F PLAN 2  DETAILS  DETAILS  DETAILS 3  0	09	A202	PROPOSED SECTIONS	0
PLAN 0 EILING PLAN 0 NOTES 0 NDATION PLAN 0 F PLAN 1 0 F PLAN 2 0 DETAILS 0 DETAILS 2 0 DETAILS 3 0	10	A300	WALL SECTIONS (ROOF PARAPET DETAILS)	0
NOTES  NOTES  NDATION PLAN  F PLAN 1  F PLAN 2  DETAILS  DETAILS 2  DETAILS 3  O	11	A500	PROPOSED DETAILS	0
NOTES  NDATION PLAN  F PLAN 1  F PLAN 2  DETAILS  DETAILS 2  DETAILS 3	12	A501	LIFE SAFETY PLAN	0
NDATION PLAN  F PLAN 1  O  F PLAN 2  DETAILS  O  DETAILS 2  DETAILS 3	13	A502	REFLECTED CEILING PLAN	0
NDATION PLAN  F PLAN 1  O  F PLAN 2  DETAILS  O  DETAILS 2  DETAILS 3	STRUC	TURE		<u>'</u>
F PLAN 1 0 F PLAN 2 0 DETAILS 0 DETAILS 2 0 DETAILS 3 0	01	S001	STRUCTURAL NOTES	0
F PLAN 2 0 DETAILS 0 DETAILS 2 0 DETAILS 3 0	02	S100	CANOPY FOUNDATION PLAN	0
DETAILS 0 DETAILS 2 0 DETAILS 3 0	03	S110	CANOPY ROOF PLAN 1	0
DETAILS 2 0 DETAILS 3 0	04	S120	CANOPY ROOF PLAN 2	0
DETAILS 3 0	05	S500	STRUCTURAL DETAILS	0
	06	S510	STRUCTURAL DETAILS 2	0
ANOPY ELECTRICAL PLAN 0	07	S520	STRUCTURAL DETAILS 3	0
ANOPY ELECTRICAL PLAN 0	ELECTI	RICAL	•	<u>'</u>
	ELECTI 01	RICAL EL101	PROPOSED CANOPY ELECTRICAL PLAN	0

**INDEX OF DRAWINGS** 

#### **SCOPE OF WORK:**

DEMOLITION AND REPLACEMENT OF EXISTING CANOPY.

					OF EXISTING CANOFT.				
ADDE		CONST	CONSTRUCTION	<b>→</b> FR	FRAME (D) (ING)	MTL	METAL	SCH	SCHEDULE
ADDI	REVIATIONS	CONT	CONTINUOUS OR CONTINUE	FT	FOOT	N	NORTH	SECT	SECTION
		CONTR	CONTRACT (OR)	FTG	FOOTING	NIC	NOT IN CONTRACT	SH	SHELF
A/C	AIR CONDITIONING	CORR	CORRIDOR	FU	FURR (ED) (ING)	NO	NUMBER	SHT	SHEET
ACT	ACOUSTICAL TILE	CPT	CARPET (ED)	FIXT	FIXTURE	NOM	NOMINAL	SIM	SIMILAR
ADD	ADDENDUM/ADHESIVE	CWSR	CHILLED WATER SUPPLY AND RETURN	GA	GAGE, GAUGE	NTS	NOT TO SCALE	SNT	SEALANT
ADJ	ADJUSTABLE	CUFT	CUBIC FEET (FOOT)	GALV	GALVANIZED	O/A	OUTSIDE AIR	SC	SMOOTH CONCRETE
ADM	ADMIN/ADMINISTRATION	CUIN	CUBIC INCH CUBIC YARD CUYD	GC	GENERAL CONTRACT (OR)	OC	ON CENTER (S)	SL	SLOPE
A/E	ARCHITECT/ENGINEER	DBL	DOUBLE	GL	GLASS, GLAZING	OD	OUTSIDE DIAMETER	SPEC	SPECIFICATION
AFF	ABOVE FINISHED FLOOR	DECOR	DECORATIVE	GRND	GROUND	OH	OVERHEAD	SPCP	SMOOTH,PANTED CONCRETE PLASTER
ALUM	ALUMINUM	DEPT	DEPARTMENT	GWB	GYPSUM WALLBOARD	OPNG	OPENING	SQ	SQUARE
ALT	ALTERNATE	DET	DETAIL	GYP	GYPSUM	OPP	OPPOSITE	SST	STAINLESS STEEL
ANC	ANCHOR (AGE)	DF	DRINKING FOUNTAIN	HB	HOSE BIBB	os	OVERFLOW SCUPPER	STL	STEEL
ANT	ANTENNA	DIA	DIAMETER DIA	HC	HANDICAP	PC	PRECAST	STD	STANDARD
APPROX	APPROXIMATE	DIM	DIMENSION	HDR	HEADER	PORC	PORCELAIN	STO	STORAGE
ARCH	ARCHITECT (URAL)	DISP	DISPENSER	HDW	HARDWARE	PERF	PERFORATE (D)	STRUC	STRUCTURE
AUTO	AUTOMATIC	DN	DOWN	HM	HOLLOW METAL	PERP	PERPENDICULAR	SUPV	SUPERVISOR
AVG	AVERAGE	DO	DOOR OPENING	HORIZ	HORIZONTAL	PL	PLATE	SUR	SURFACE
BD	BOARD	DR	DOOR	HP	HIGH POINT	PLAM	PLASTIC LAMINATE	SUSP	SUSPENDED
BEL	BELOW	DS	DOWNSPOUT & SCUPPER	HT	HEIGHT	PLAS	PLASTER	SYM	SYMMETRICAL
BTW	BETWEEN	DWG	DRAWING	HVAC	HEATING/VENTILATING/AIR	PLS	PLASTIC	SYS	SYSTEM
BLDG	BUILDING	E/A	EXHAUST AIR	CONDITIO		PNEU	PNEUMATIC	TEL	TELEPHONE
BLK	BLOCK	EA	EACH	HWH	HOT WATER HEATER	PNL	PANEL	TEMP	TEMPERED
BLKG	BLOCKING	EF	EXHAUST FAN	INCL	INCLUDE (D) (ING)	PREFAB	PREFABRICATED (D)	THK	THICK (NESS)
BM	BENCH MARK	EJ	EXPANSION JOINT	INS	INSULATE (D) (ING)	PREP	PREPARATION	TKT	TICKET
BO	BOTTOM OF	EL	ELEVATION	INT	INTERIOR	PSF	POUNDS PER SQUARE FOOT	TO	TOP OF
BOTT	BOTTOM	ELEC	ELECTRIC (AL)	JT	JOINT	PSI	POUNDS PER SQUARE INCH	TS	TUBE STEEL
BW	BOTH WAYS	EWC	ELECTRIC WATER COOLER	KO	KNOCKOUT	PT	PRESSURE TREATED	TYP	TYPICAL
C/C	CENTER TO CENTER	ELEV	ELEVATOR	ı	LENGTH	PTD	PAINT (ED)	UGND	UNDERGROUND
CC	CENTER TO CENTER	EMER	EMERGENCY	LAM	LAMINATE	PVC	POLYVINYL CHLORIDE	UNL	UNLIMITED
CAB	CABINET	EQ	EQUAL	LANDG	LANDING	PAVE	PAVEMENT	UON	UNLESS OTHERWISE NOTED
CAM	CAMERA	EQUIP	EQUIPMENT	LAV	LAVATORY	PWD	PLYWOOD	VEH	VEHICLE
CD	CONDENSATE DRAIN	EQUIV	EQUIVALENT	LBL	LABEL	QTY	QUANTITY	VEN	VENEER
CEM	CEMENT	EXH	EXHAUST	LH	LEFT HAND	RA R/A	RETURN AIR	VEN	VERTICAL
CER	CERAMIC	EXIST	EXISTING	LL	LIVE LOAD	RAD	RADIUS	VEST	VESTIBULE
CIP	CAST-IN-PLACE CONCRETE	EXP	EXPANSION	LP	LOW POINT	RD	ROOF DRAIN	VEST	VESTIBULE VERIFY IN FIELD
CIR	CIRCLE	EP	EPOXY-PAINTED	LT	LIGHT	REC	RECEPTACLE	VII	VOLUME
CIRC	CIRCUMFERENCE	EXPO	EXPOSED TO STRUCTURE	LVR	LOUVER	RECEPT	RECEPTION	VOL	VENT THROUGH ROOF
CJ	CONTROL JOINT	EXT	EXTERIOR	MAS	MASONRY	REF	REFERENCE	VTT	VINYL COMPOSITION TILE
CL	CENTER LINE	FA	FIRE ALARM	MAX	MAXIMUM	REINF	REINFORCE (ING)	W/	WITH
CLF	CHAIN LINK FENCE	FCA	FIRE CONTROL ASSEMBLY	MECH	MECHANIC (AL)	REQD	REQUIRED	W/O	WITHOUT
CLG	CEILING	FCU	FAM COIL UNIT	M/E/P	MECHANICAL/ELECTRICAL/PLUMBING	REF	REFRIGERATOR/FREEZER	WC	WATER CLOSET
CLOS	CLOSET	FD	FLOOR DRAIN	MFR	MANUFACTURE (R)	RFL	REFLECT (ED) (IVE) (OR)	WD	WOOD
CLR	CLEAR (ANCE)	FDC	FIRE DEPT CONNECTION	MIN	MINIMUM			WDW	WINDOW
CMU	CONCRETE MASONRY UNIT		FIRE EXTINGUISHER	MIR	MIRROR	RH PI	RIGHT HAND RAIL (ING)	WM	WIRE MESH
C.O.	CLEAN OUT	FE FEC	FIRE EXTINGUISHER CABINET	MISC	MISCELLANEOUS	RL PM	ROOM	WP	WATERPROOFING
COL	COLUMN				MASONRY OPENING	RM PO			
COMM	COMMUNICATIONS	FG FHC	FIXED GLASS FIRE HOSE CABINET	MO MT	MOUNT (ING)	RO RWL	ROUGH OPENING RAINWATER LEADER	WT WWF	WEIGHT WELDED WIRE FABRIC
COMP	COMPOSITE	FIN	FINISH (ED)	MTD	MOUNTED	SA S/A	SUPPLY AIR	WS	WAINSCOT
COMP	CONCRETE	FIN FLR		MTG	MEETING	SA S/A SAN	SANITARY	VVO	VVAINOCUT
CONC	CONCRETE	FLK	FLOOR(ING)	IVITG	IVILLITING	SAN	SAMIARI		/

# **VIVIAN VILLAS**

4650 W 12TH AVENUE HIALEAH, FL 33012 - 3200 CSA GROUP PROJECT No.: 18-0221

OWNER:

## **HIALEAH HOUSING AUTHORITY**

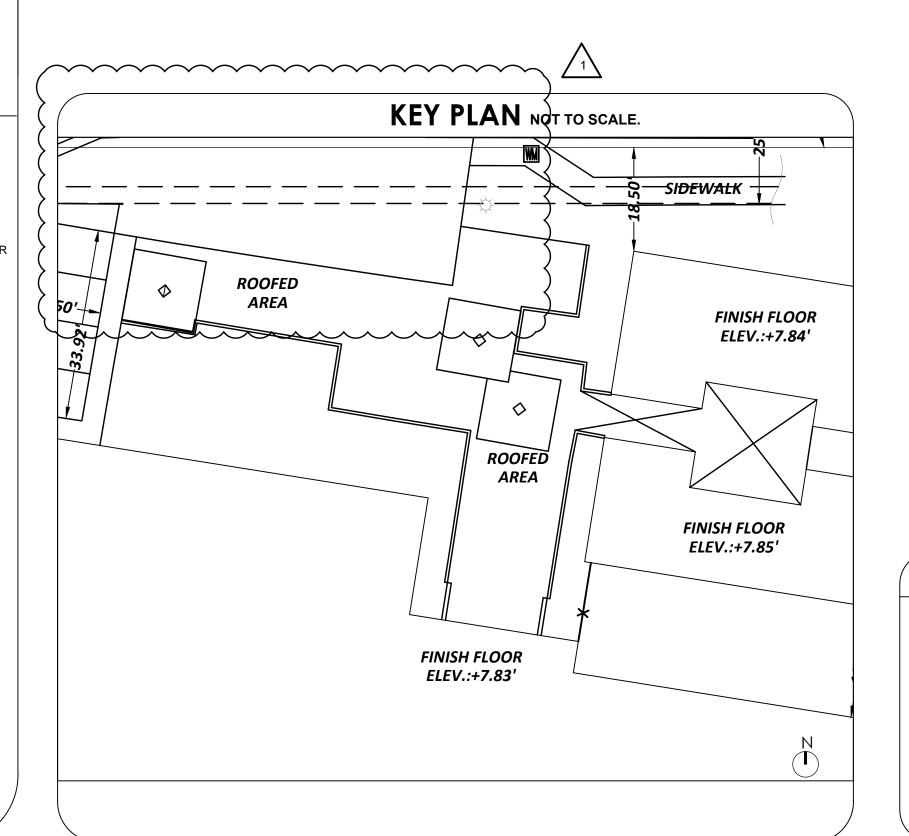
CAPITAL FUND PROGRAM DEPARTMENT 75 EAST 6 TH STREET, HIALEAH, FL 33010 PH: 3028889744 - FAX: 305-887-0997 TTY: 1.800877.8339 SPANISH: 1.800.845.6136 MAIDA GUTIERREZ, CHAIRPERSON MARIO DIAZ, VICE- CHAIRMAN FARA ALVAREZ, COMMISSIONER JUAN JUNCO, COMMISSIONER JULIO PONCE, EXECUTIVE DIRECTOR

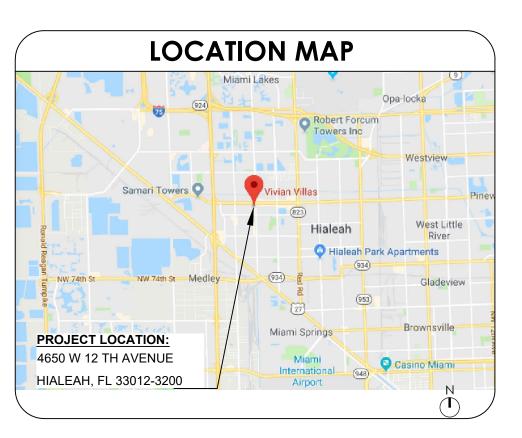


#### **CSA** Central, Inc.

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tel. : (305) 461-5484 fax: (305) 461-5494 web: www.csagroup.com





### STATEMENT OF COMPLIANCE

I HEREBY CERTIFY THAT ALL THE DOCUMENTS SUBMITTED FOR THIS PROJECT HAVE BEEN COORDINATED AMONG ALL THE FOLLOWING DESIGN AND/ OR SPECIALTY DISCIPLINES. THE A/E FIRM ATTEST TO THE BEST OF OUR KNOWLEDGE AND PROFESSIONAL BELIEF, THESE DOCUMENTS ARE COMPLETE AND IN COMPLIANCE WITH THE APPLICABLE STATE CODES, STATUTES, SREF, AND SBBC REQUIREMENTS.





#### GENERAL NOTES

#### GENERAL NOTES - ARCHITECTURAL

#### 1. GOVERNING BUILDING CODE:

THE WORK OF THIS CONTRACT SHALL CONFORM WITH THE REQUIREMENTS OF THE FOLLOWING GOVERNING CODES &

#### 2017 FLORIDA BUILDING CODE: BUILDING

- FLORIDA FIRE PREVENTION CODE SIXTH EDITION 2017.
- NFPA 101 LIFE SAFETY CODE 2015 EDITION.
- FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION 2017 EDITION.
- EXCEPT AS OTHERWISE INDICATED, GOVERNING CODES REFER TO THE EDITION IN FORCE AT THE TIME THESE CONTRACT DOCUMENTS ARE ISSUED FOR PERMIT.
- CITY OF HIALEAH ZONING CODE.

#### 2. DIMENSIONS

A. FIELD VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR PRIOR TO COMMENCEMENT WITH CONSTRUCTION PHASE

#### B. DO NOT SCALE DRAWINGS; USE DIMENSIONS.

#### 3. GENERAL NOTES AND TYPICAL DETAILS:

A. THE GENERAL NOTES & TYPICAL DETAILS APPLY THROUGHOUT THE JOB, EXCEPT AS OTHERWISE INDICATED.

B. DETAILS AND NOTES LABELED "TYPICAL" ON THE DRAWINGS APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED OR NOTED. SUCH DETAILS APPLY WHETHER OR NOT THEY ARE KEYED IN EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS OR NOTES SHALL BE RESPONDED BY THE ARCHITECT UPON REQUEST.

#### 4. PLANS, SPECIFICATIONS & OTHER CONTRACT DOCUMENTS:

- A. THE ARCHITECTURAL DRAWINGS ARE TO BE USED IN CONJUNCTION WITH THE MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AND OTHER DRAWINGS INCLUDED AS PART OF THE CONTRACT DOCUMENTS. THESE ARE GENERAL NOTES & SHALL BE USED IN CONJUNCTION WITH ALL DRAWINGS. IF A CONFLICT EXISTS, THE MORE STRINGENT REQUIREMENT GOVERNS.
- B. ALL WORK THAT IS REASONABLY IMPLIED AND/OR INFERRED IN THE CONTRACT DOCUMENTS, DRAWINGS AND/OR AND WHICH IS NECESSARY FOR AND/OR INCIDENTAL TO A COMPLETE INSTALLATION, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- C. THE INCLUSION OF ANY WORK BY MENTION, ANNOTATION, DETAIL, ITEMIZATION, AND/OR OTHER REFERENCE, IMPLICATION, OR INFERENCE, HOWEVER BRIEF, SHALL BE CONSIDERED TO INDICATE THAT THE CONTRACTOR IS TO PROVIDE SUCH WORK AS NECESSARY FOR, AND/OR INCIDENTAL TO A COMPLETE INSTALLATION CONSISTENT WITH THE DESIGN INTENT
- D. REVISIONS: REVISIONS ARE IDENTIFIED BY A REVISION NUMBER WITHIN A TRIANGLE. ALL REVISIONS ISSUED ON A SINGLE DATE WILL BE IDENTIFIED BY THE SAME REVISION NUMBER ISSUED CONSEQUENTLY.

#### 5. FEES, PERMITS, INSPECTIONS, AND APPROVALS:

ALL FEES, PERMITS, INSPECTIONS, APPROVALS, ETC. RELATED TO AND/OR REQUIRED FOR THE WORK OF THIS CONTRACT SHALL BE THE RESPONSIBILITY OF THE OWNER, EXCEPT AS OTHERWISE INDICATED.

#### 6. PROTECTION OF WORK:

ALL WORK, INCLUDING WORK TO REMAIN, COMPLETED WORK, WORK IN PROGRESS, SHALL BE PROPERLY PROTECTED FROM

- A. ALL DEMOLITION WORK SHALL BE PERFORMED WITH CARE, SEEKING NOT TO DISTURB OR DAMAGE THE PORTIONS OF ANY STRUCTURE TO REMAIN.
- B. SHOULD THE STRUCTURE TO REMAIN RESULT DAMAGED DURING THE COURSE OF THE WORK, THE CONTRACTOR SHALL REPAIR IT AT HIS/HER EXPENSE.

#### CONSTRUCTION MEANS AND METHODS:

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS & METHODS OF CONSTRUCTION, PROJECT SUPERVISION. & CONSTRUCTION & WORK SITE SAFETY. ACTIONS OF AND/OR INFORMATION PROVIDED BY THE ARCHITECT/ENGINEER SHALL NOT BE CONSTRUED TO RELIEVE THE CONTRACTOR OF THIS RESPONSIBILITY, REGARDLESS OF THE CIRCUMSTANCES.

#### 8. EXAMINATION OF THE CONTRACT DOCUMENTS & SITE:

- A. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME COMPLETELY FAMILIAR WITH ALL ASPECTS OF THE PROJECT PRIOR TO SUBMITTING A BID.
- B. THE SUBMISSION OF A BID BY THE CONTRACTOR SHALL BE PRIMA FACIE EVIDENCE THAT THE CONTRACTOR HAS EXAMINED COMPLETELY THE ENTIRE WORK SITE, ANALYZED THOROUGHLY ALL CONTRACT DOCUMENTS, AND BECOME FAMILIAR WITH ALL ASPECTS OF THE PROJECT, INCLUDING BUT NOT LIMITED TO THE FOLLOWING CONTRACT CONDITIONS:
- CONTRACT DOCUMENTS, INCLUDES BUT IS NOT LIMITED TO ALL DRAWINGS & SPECIFICATIONS
- PROJECT CONDITIONS, INCLUDING ALL EXISTING CONDITIONS & OWNER'S OPERATIONAL REQUIREMENTS
- REQUIREMENTS OF APPLICABLE CODES AND REFERENCED STANDARDS
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING TO THE A/E AND OBTAINING A/E'S CLARIFICATION OF THE FOLLOWING:
- PRIOR TO SUBMISSION OF A BID, THE CONTRACTOR SHALL REPORT ANY AND ALL APPARENT DISCREPANCIES, ERRORS, AND/OR OMISSIONS WHICH MIGHT AFFECT THE CONTRACT PRICE AND/OR CONTRACT DURATION.
- PRIOR TO THE COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL REPORT ANY & ALL APPARENT DISCREPANCIES. ERRORS, AND/OR OMISSIONS NOT PREVIOUSLY REPORTED.
- ANY WORK RELATED TO ANY APPARENT DISCREPANCIES, ERRORS, AND/OR OMISSIONS NOT REPORTED TO THE A/E, THAT PROCEEDS IN ADVANCE OF CLARIFICATION BY THE A/E, IF INCORRECTLY PERFORMED BY THE CONTRACTOR, SHALL BE PROVIDED, REPLACED OR REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

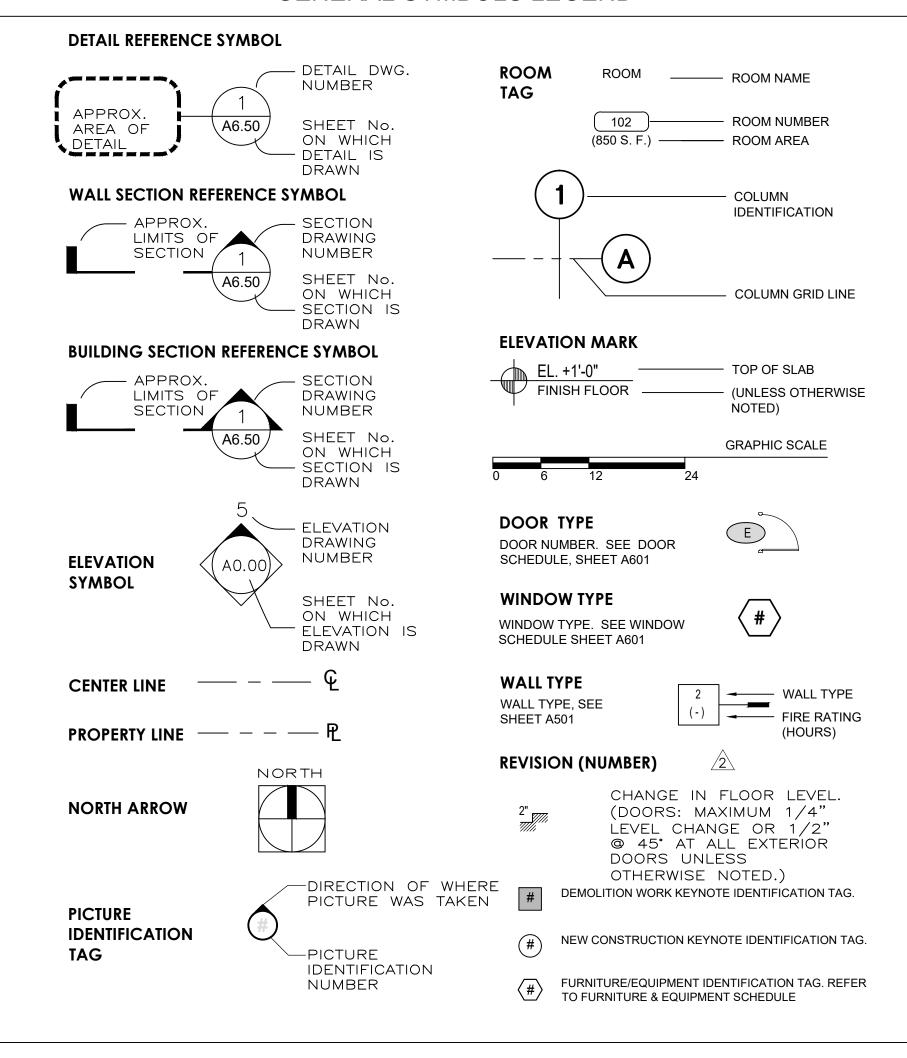
#### 9. COORDINATION OF WORK:

- A. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES PERFORMING WORK UNDER THIS CONTRACT, & FOR COORDINATING THE WORK OF THIS CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADDITIONAL WORK REQUIRED TO CORRECT CONFLICTS BETWEEN TRADES AND/OR BETWEEN NEW WORK & EXISTING FIELD CONDITIONS AFTER THE WORK HAS COMMENCED, AT NO ADDITIONAL COST TO THE OWNER.
- B. UPON FINAL COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE OWNER THE PREMISES WITH ALL WORK COMPLETED & FREE OF DEFECTS FOR ALL AREAS IN SCOPE OF WORK.
- C. PRIOR TO ACCEPTANCE OF THE WORK BY THE OWNER, ALL DAMAGE TO EXISTING & NEW STRUCTURES, GROUNDS, UTILITIES, ETC. AND/OR WORK PERFORMED BY OTHERS WHICH, IN THE OPINION OF THE A/E, IS ATTRIBUTABLE TO THE CONTRACTOR, SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR, AT NO ADDITIONAL COST TO THE OWNER
- D. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS. PRIOR TO COMMENCEMENT OF THE WORK, ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER BY THE CONTRACTOR.
- E. THE CONTRACTOR SHALL PROVIDE A "SAFETY PLAN" WHICH DELINEATES AREAS OF CONSTRUCTION AND CONSTRUCTION TRAFFIC DURING PHASES OF THE PROJECT, MAINTAINS REQUIRED EXITS, & PROVIDES FOR BARRIERS & OR TEMPORARY CONSTRUCTION TO SEPARATE CONSTRUCTION AREAS FROM HOMES.

#### 10. COORDINATION WITH OWNER:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE BUILDING OWNER REGARDING SCHEDULING, ACCESS, & SPECIAL REQUIREMENTS WHICH MAY BE REQUIRED BY THE SCOPE OF THE WORK OR BY THE BUILDING OWNER

#### GENERAL SYMBOLS LEGEND



#### GENERAL NOTES (CONT'D)

- 11. G.C. IS RESPONSIBLE FOR ALL SAFETY CONSTRUCTION AND ASSURING PROTECTION FOR ALL ADJACENT OCCUPANCIES.
- 12. G.C. SHALL VISIT THE SITE OF THE WORK & INSPECT EXISTING CONDITIONS AFFECTING THE WORK.
- 13. G. C. SHALL PROVIDE SHOP DRAWINGS OF HVAC, SHEET METAL, AND LIGHTING SHOWING ANY POSSIBLE CONFLICTS WITH CEILING HEIGHTS AND EXISTING BEAMS, DUCTS, PIPES, ETC. THAT COULD CRITICALLY AFFECT THE ULTIMATE CEILING HEIGHT.
- 14. DO NOT SCALE DRAWING. DIMENSIONS SHALL GOVERN. LARGE SCALE DETAILS SHALL GOVERN OVER SMALLER SCALE DETAILS.
- 15. NO SUBSTITUTIONS ARE TO BE MADE WITHOUT CONSULTING WITH THE ARCHITECT. G.C. SHALL SUBMIT SUBSTITUTE MATERIAL SPECIFICATIONS AND SAMPLES FOR APPROVAL IN WRITING TO ARCHITECT PRIOR TO OWNER'S APPROVAL
- 16. G.C. SHALL PROVIDE WOOD BLOCKING AND NAILERS FOR WALL HUNG INSTRUCTIONAL AIDES AND ACCESSORIES AS REQUIRED FOR ADEQUATE SUPPORT.
- 17. G.C. IS RESPONSIBLE FOR ALL REQUIRED TEMPORARY LIGHT, POWER & HVAC TO ACCOMPLISH THE
- 18. G.C. SHALL COORDINATE WORK BEING PERFORMED BY OTHERS. G.C. SHALL COOPERATE AND COORDINATE WITH OTHER CONTRACTORS TO ENSURE HARMONY AT THE SITE, & SHALL COORDINATE THE USE OF BUILDING FACILITIES.
- 19. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL CONFORM TO THE BEST PRACTICES OF THE CONSTRUCTION TRADES IN A PROFESSIONAL AND WORKMANLIKE MANNER. ANY WORK WHICH DOES NOT MEET THESE STANDARDS MAY BE REJECTED BY THE ARCHITECT AND REDONE AT NO ADDITIONAL EXPENSE TO THE OWNER.
- 20. G.C. SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AND SHALL COORDINATE ALL TRADES PRIOR TO COMMENCEMENT OF THE WORK. ANY DISCREPANCIES SHOWN IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION PRIOR TO EXECUTING THE
- 21. INSTALLATION OF ALL MATERIALS AND EQUIPMENT SHALL BE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND INDUSTRY STANDARDS IN ACCORDANCE WITH NATIONAL (U.S.) TRADE ASSOCIATIONS.
- 22. ALL ITEMS MARKED "NIC" ARE NOT-IN-CONTRACT & SHALL BE FURNISHED AND/OR INSTALLED BY OTHERS. ALL ITEMS MARKED "IC" ARE IN CONTRACT & ARE TO BE FURNISHED & INSTALLED BY CONTRACTOR
- 23. DIMENSIONS INDICATED TO BE "CLEAR" SHALL HAVE A MINIMUM DIMENSION, FACE TO FACE OF FINISH MATERIALS, AS INDICATED.
- 24. CONTRACTOR SHALL COORDINATE FLOOR SLAB ELEVATIONS W/ FLOOR DRAIN INVERT ELEVATION.
- 25. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER ANY AREAS OF THE WORK REQUIRING ABATEMENT OF HAZARDOUS MATERIALS PRIOR TO DEMOLITION.
- 26. ALL EXTERIOR CUSTOM MADE DECORATIVE COMPONENTS, INCLUDING BUT NOT LIMITED TO FACADE ALUMINUM GRILLES AND TRELLIS ASSEMBLIES, AND ALL OTHER SYSTEMS OR ASSEMBLIES THAT DO NOT CONTAIN A CURRENT DADE COUNTY NOTICE OF ACCEPTANCE, SHALL BE DESIGNED AND ENGINEERED TO MEET ALL APPLICABLE SECTIONS OF THE FLORIDA BUILDING CODE 2017, PARTICULARLY THOSE APPLICABLE TO HIGH VELOCITY HURRICANE ZONES. CONTRACTOR SHALL SUBMIT TO ARCHITECT AND ENGINEER SIGNED AND SEALED SHOP DRAWINGS FOR ALL SYSTEMS WHICH MUST CERTIFY COMPLIANCE WITH THESE REQUIREMENTS.
- 27. MAIN LOBBY AREA MUST BE ACCESSIBLE AT ALL TIMES.

### REFLECTED CEILING PLAN SYMBOLS LEGEND:



SEE SPECIFICATIONS FOR APPLICABLE FINISH INFORMATION U.O. N.

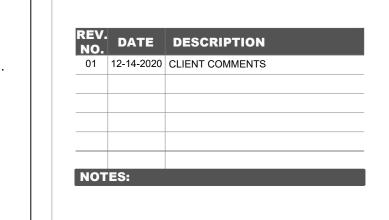
2. SUBMIT WITH FINISH SAMPLES, EVIDENCE OF COMPLIANCE WITH FIRE & BUILDING CODES & REGULATIONS IN RESPECT TO FLAME SPREAD. SMOKE AND RELATED AND APPURTENANT ITEMS. CONDUCT MATERIALS & ASSEMBLIES TESTING AS APPLICABLE & AS REQUIRED.

GENERAL NOTES FOR FINISHES

- 3. CONTRACTOR SHALL OBTAIN ALL REQUIRED PRODUCT APPROVALS.
- 4. ALL FINISHES SHALL BE APPLIED IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS FOR THE PARTICULAR SURFACE.
- PRIOR TO APPLICATION OF PAINT, ALL WALLS SHALL BE PREPARED AS PER PAINT MANUFACTURER'S RECOMMENDATIONS.

#### **CSA** Central, Inc. CSA Group | 8200 N.W. 41st Street | Suite 305 Doral, Florida 33166 tel. : (305) 461-5484 fax: (305) 461-5494 web: www.csagroup.co THIS DOCUMENT REPRESENTS THE IDEAS AND EFFORTS OF CSA CENTRAL, INC. IT SHALL BE USED ONLY BY AUTHORIZED PERSONS AND SHALL NOT BE REPRODUCED OR EXHIBITED WITHOUT WRITTEN CONSENT OF CSA CENTRAL, INC.

IN ASSOCIATION WITH:



**DISCIPLINE INFORMATION:** RAFAEL TORREN PROJECT MANAGER PROFESSIONAL SEAL:

**ENTRY RENOVATION** 

VIVIAN VILLAS

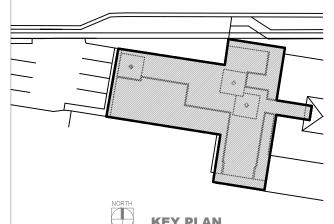
4650 W 12 TH AVENUE HIALEAH, FL 33012-3200

07172019 ISSUED FOR PERMIT

DATE ISSUE DESCRIPTION

**DRAWING INFORMATION:** 

SHEET TITLE:



**KEY PLAN** 

GENERAL NOTES

DELIVERY DATE: PROJECT NUMBER: 05/20/2019 18-0221 C05 PRINT DATE & TIME: CAD FILE NAME: 05/20/2019 DRAWING LOCATION

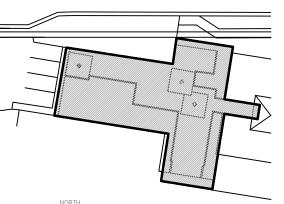
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tel. : (305) 461-5484 fax : (305) 461-5494 web: www.csagroup.com THIS DOCUMENT REPRESENTS THE IDEAS AND EFFORTS OF CSA CENTRAL, INC. IT SHALL BE USED ONLY BY AUTHORIZED PERSONS AND SHALL NOT BE REPRODUCED OR EXHIBITED WITHOUT WRITTEN CONSENT OF CSA CENTRAL, INC. NORTH LINE N.E.  $\frac{1}{4}$  SEC. 2-53-40 IN ASSOCIATION WITH:  $\nearrow$ NORTH LINE OF THE SOUTH 234.93' OF THE NORTH 1942.02' OF N.E.  $^1\!\!/_4$  SEC. 2-53-40 W. 47th PL. N90° 00' 00.00"W 500.00'-√RIGHT-OF-WAY NAIL & DISC RIGH-OF-WAY LINE PER DEED NO.: 3284 2' CURB & GUTTER \_2' CURB∕& GUTTER T DRILL HOLE-SET NAIL & DISC (OFFSET LINE) NO.: 3284 -SIDEWALK-SIDEWALK . 5 PARKING SPACES 8 2 HANDICAP T 5/8" REBAR \P NO.: 3284 FIRE<sup>\(\)</sup> SPACES HYDRANT REV. DATE DESCRIPTION 24.77' Si 16.50' CATCH-BASIN 10.12' 16.50' 21.81' 16.50' 64.93' 01 12-14-2020 CLIENT COMMENTS BACK-52.78' ROOFED FLOW O VALVE 1 AREA FINISH FLOOR 0.66' ELEV.:+7.84'  $\Diamond$ BASIN  $\Diamond$ ₹ 16.40' 16.40' N ROOFED AREA ₩ 16.40' N FINISH FLOOR ELEV.:+7.85' 4 STORY BUILDING 4650 W. 12th AVE. LIGHT~ POLE (TYP) 52.80° 30.45' FINISH FLOOR ELEV.:+7.83' **PLANTERS** 52.05' (TYP) IRREGULAR-EDGE OF PAVEMENT ° 21′ 194. **ENTRY RENOVATION** CONCRETE POLE VIVIAN VILLAS 2 WEST LINE OF THE WE.
OF THE EAST 534.86'
OF SEC. 2-53-40

24.0 4650 W 12 TH AVENUE HIALEAH, FL 33012-3200 DATE ISSUE DESCRIPTION 07172019 ISSUED FOR PERMIT 6.87 16.50' 22.43' 16.50' **DRAWING INFORMATION:** <del>-</del>-3.59′ 0.83' <u>N90° 00' 00.00"W 500.00'</u> SOUTH LINE OF THE SOUTH 234.93'  $\frac{1}{2}$ " IRON PIPE NO ID. OF NORTH 1942.02' SEC. 2-53-40 TRACT "A" "LA GALLERIA" **KEY NOTES** KEY PLAN (P.B. 123, PG. 39) 1. LOT AREA: 77,650 SQ. FT. EXISTING BUILDING AREA:16,000 SQ. FT.
 EXISTING TERRACE GAZEBO AREA: 785 SQ. FT. EXISTING SITE PLAN 4. DEMOLITION AREA: 1,425 SQ. FT. 5. PROPOSED NEW BUILDING ENTRANCE CANOPY WALKWAY: 2,040 SQ. FT. DELIVERY DATE: PROJECT NUMBER: 05/20/2019 18-0221 C05 NORTH PRINT DATE & TIME: CAD FILE NAME: **EXISTING SITE PLAN** A100 05/20/2019 DRAWING LOCATION: A:\Projects\MIA\_Projects04\18-0221\C05\06Technical\08Architecture\DWG

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A100.0



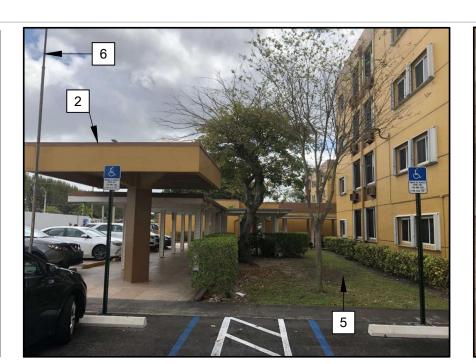
5. REMOVE EXISTING LANDSCAPE AS REQUIRED FOR NEW CONSTRUCTION.

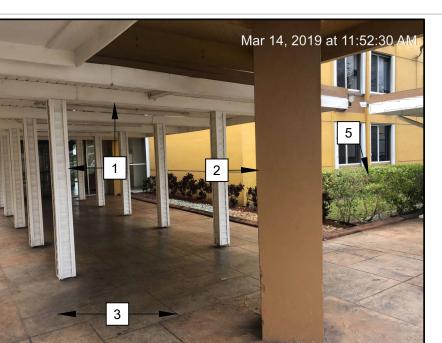
7. DISPOSE OF DEMOLITION DEBRIS IN A LEGAL AND APPROPRIATE MANNER.

6. REMOVE EXISTING LIGHT POLE AND DELIVER TO OWNER.













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Doral, Florida 33166

tel. : (305) 461-5484

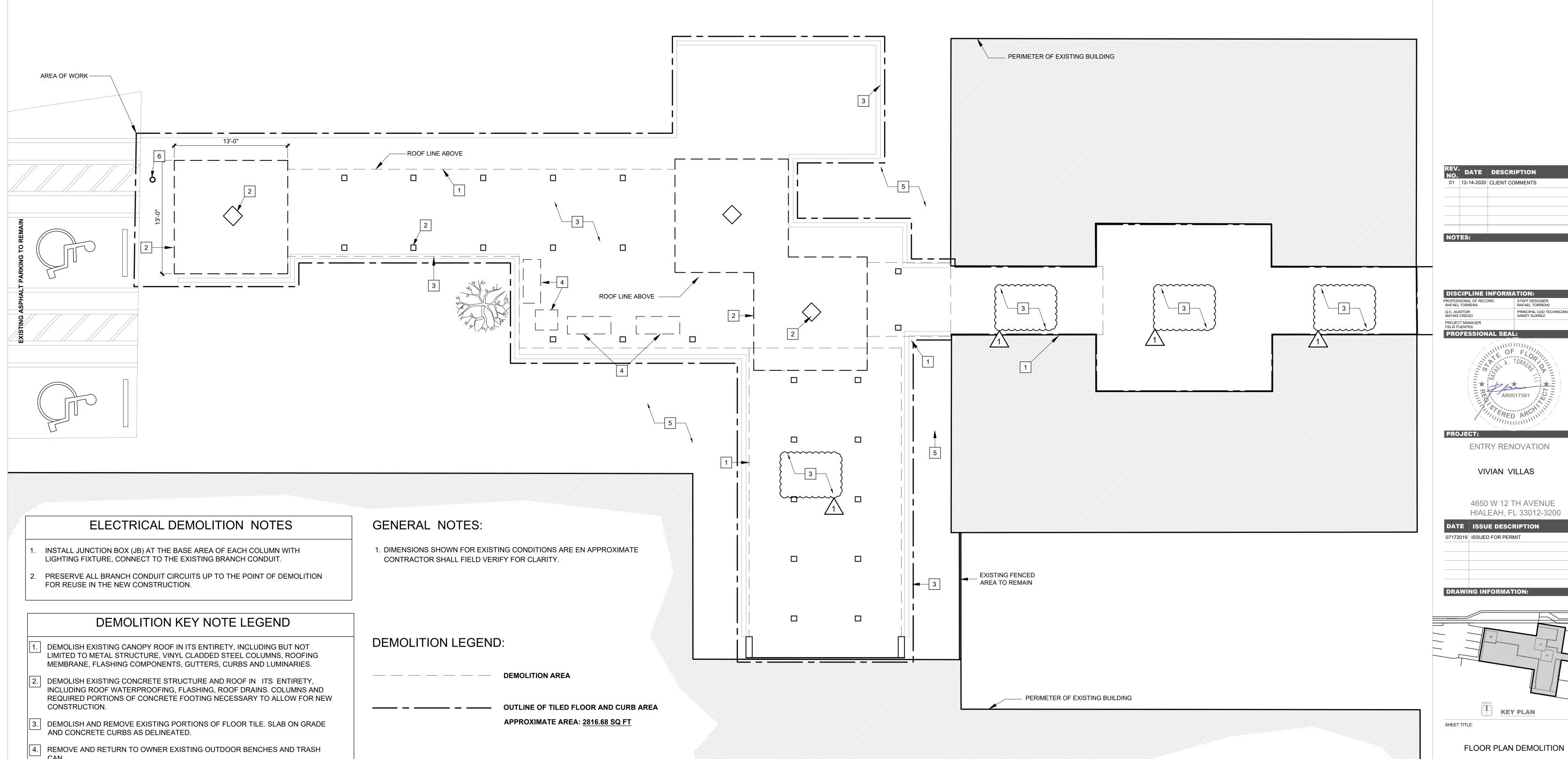
fax : (305) 461-5494

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PRINT DATE & TIME:

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SHEET NO.

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Continuous A101

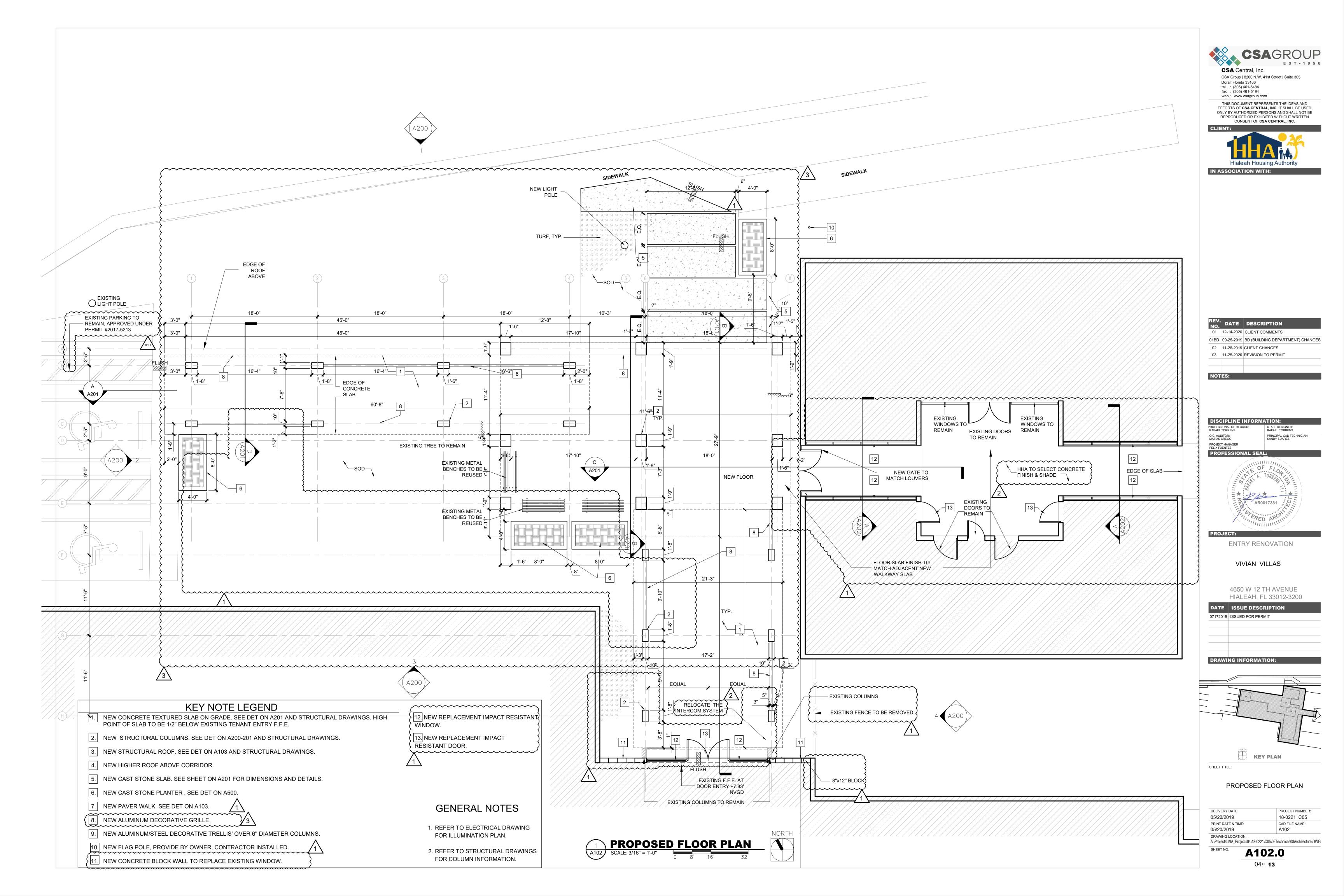
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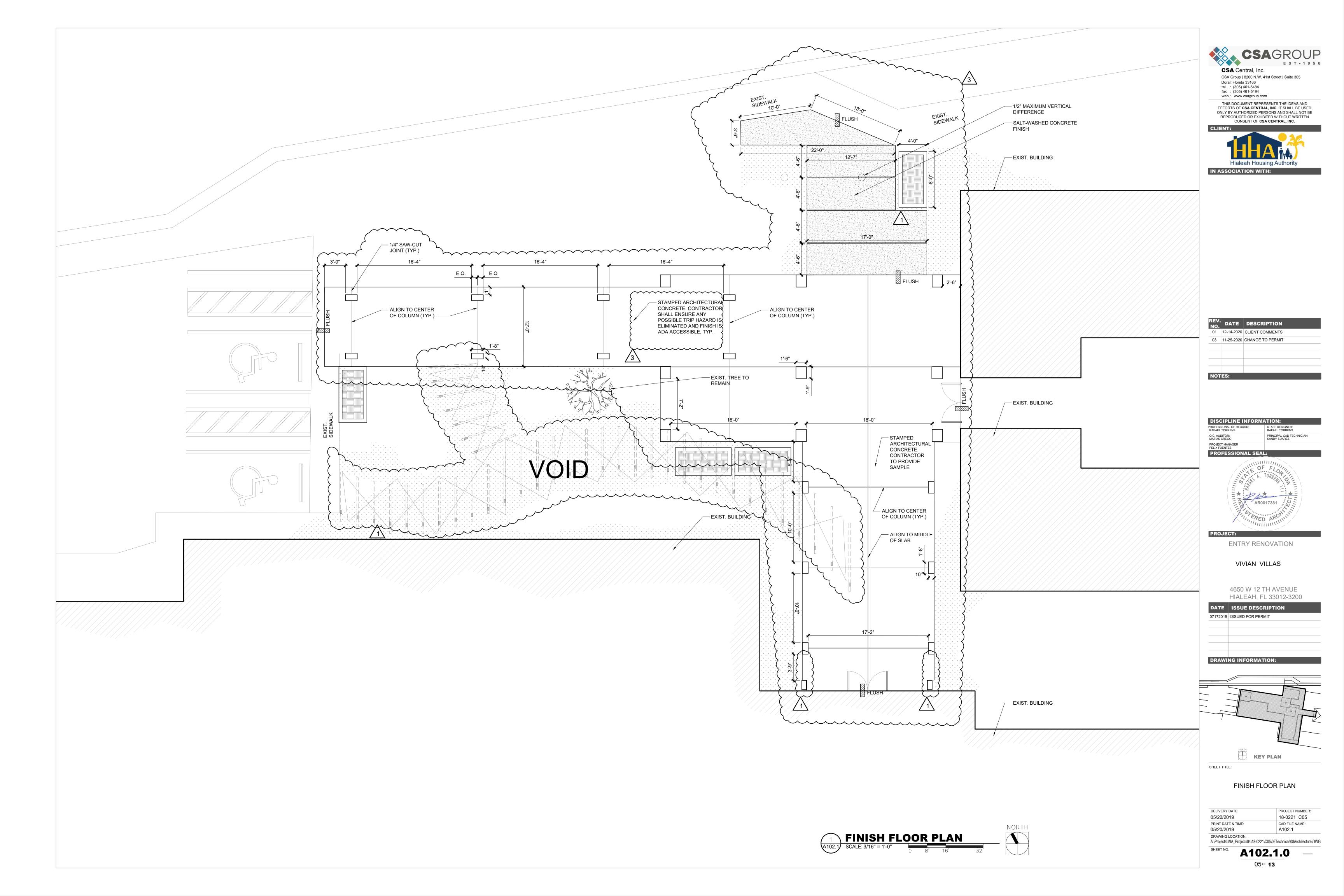
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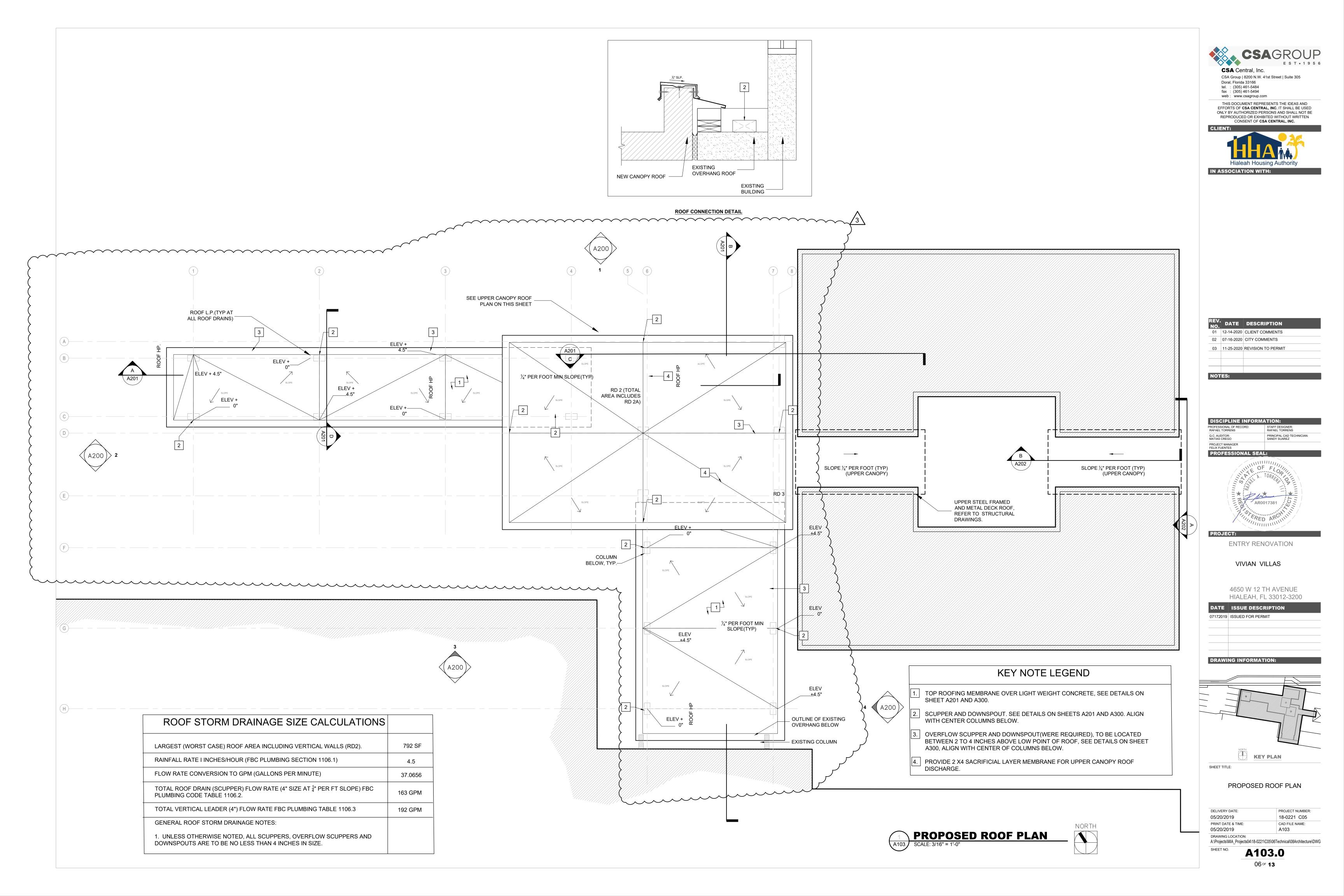
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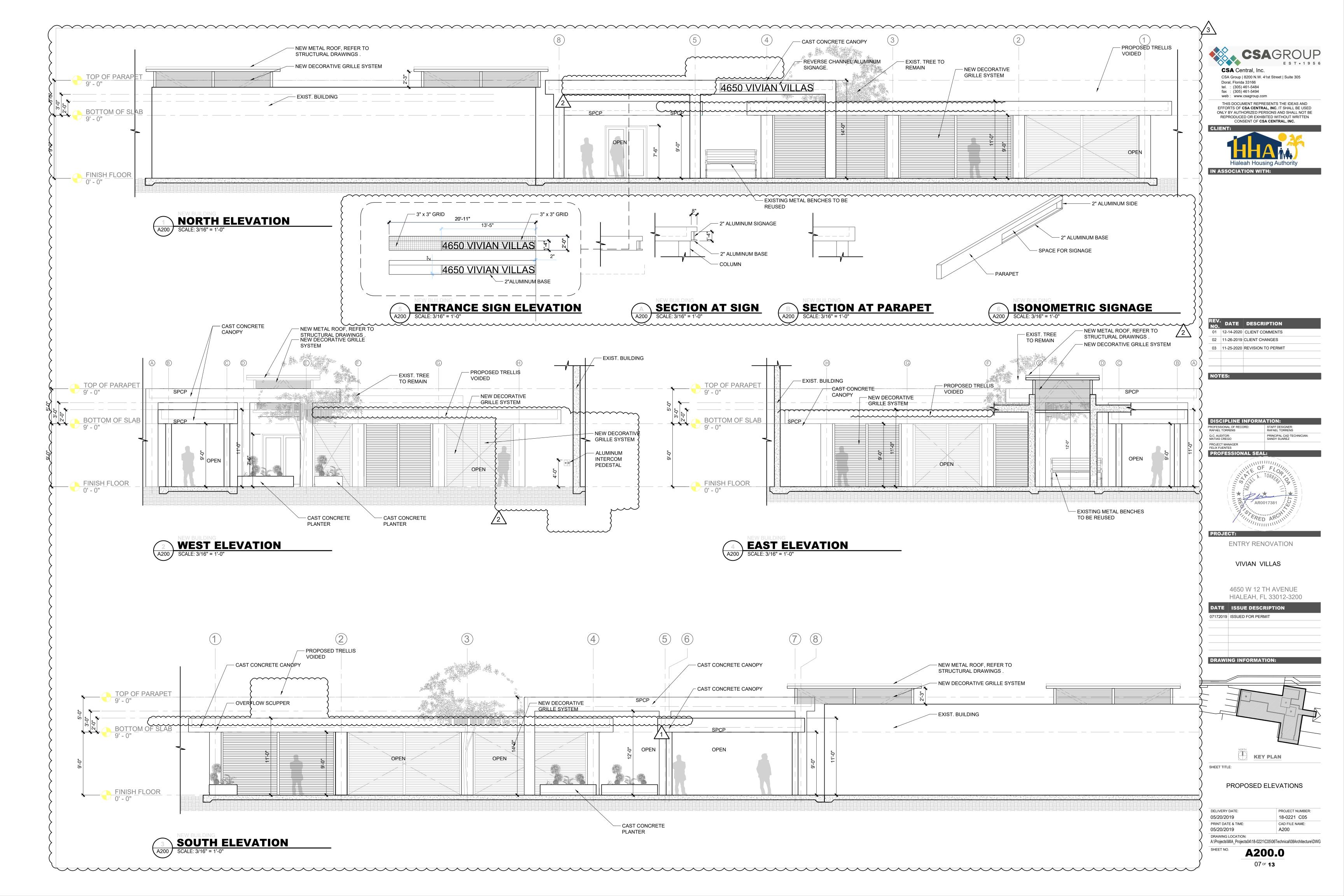
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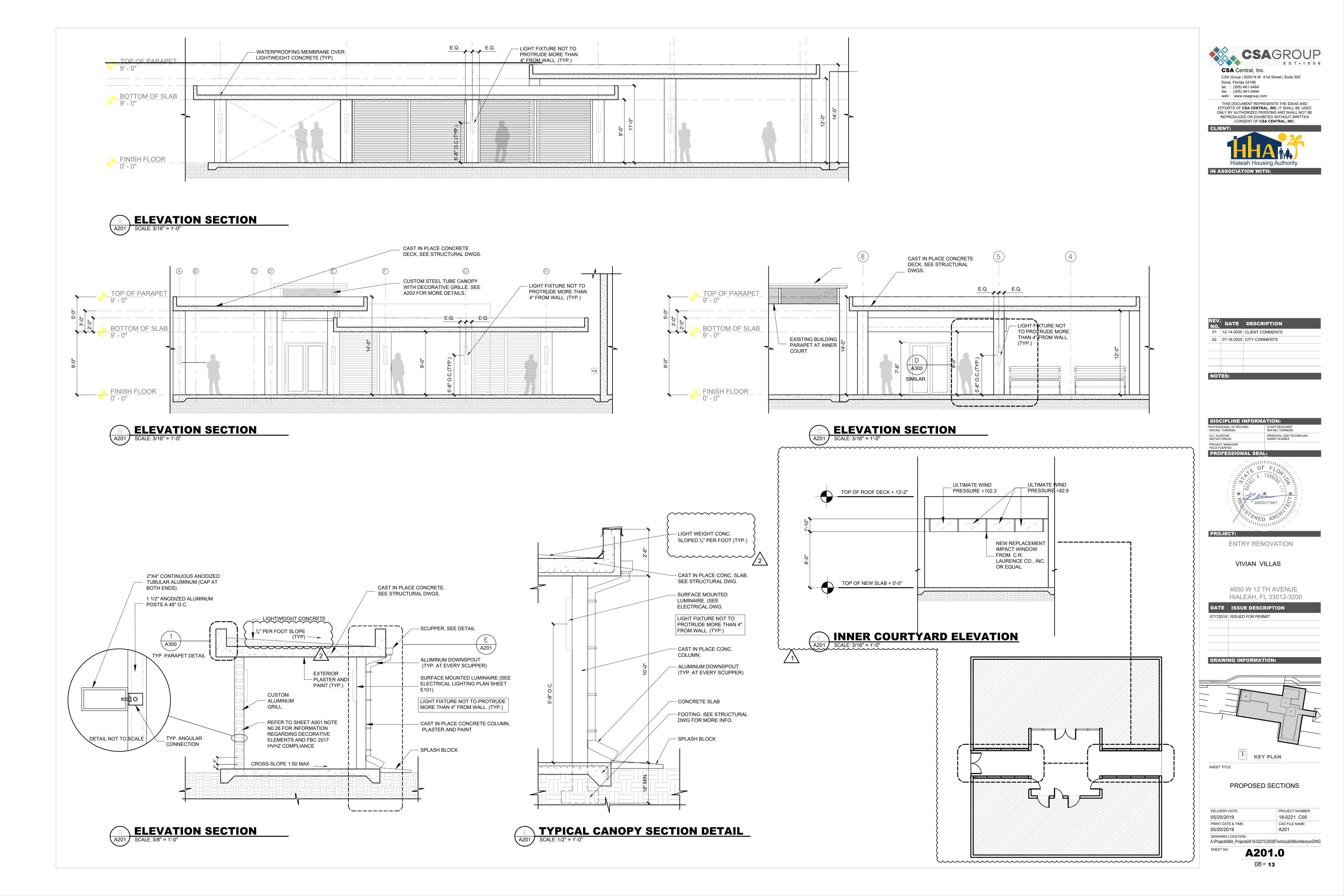
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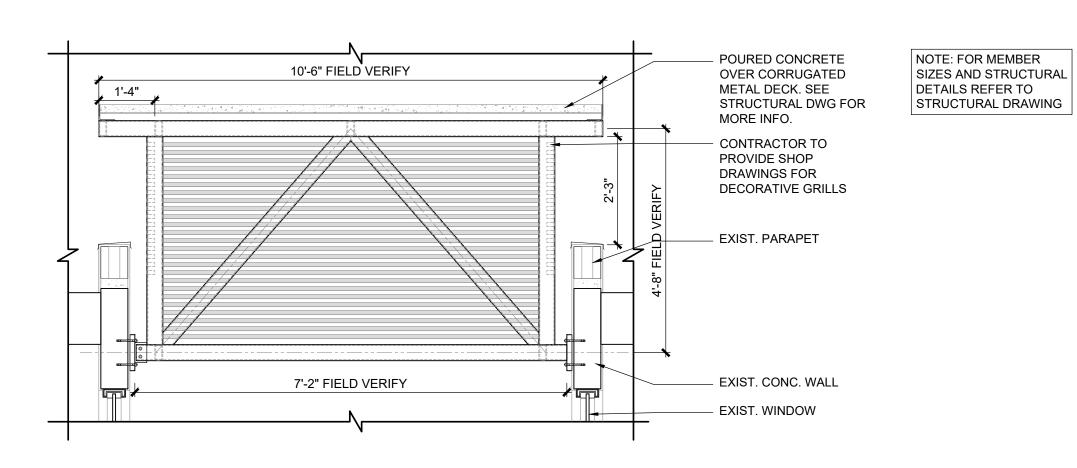




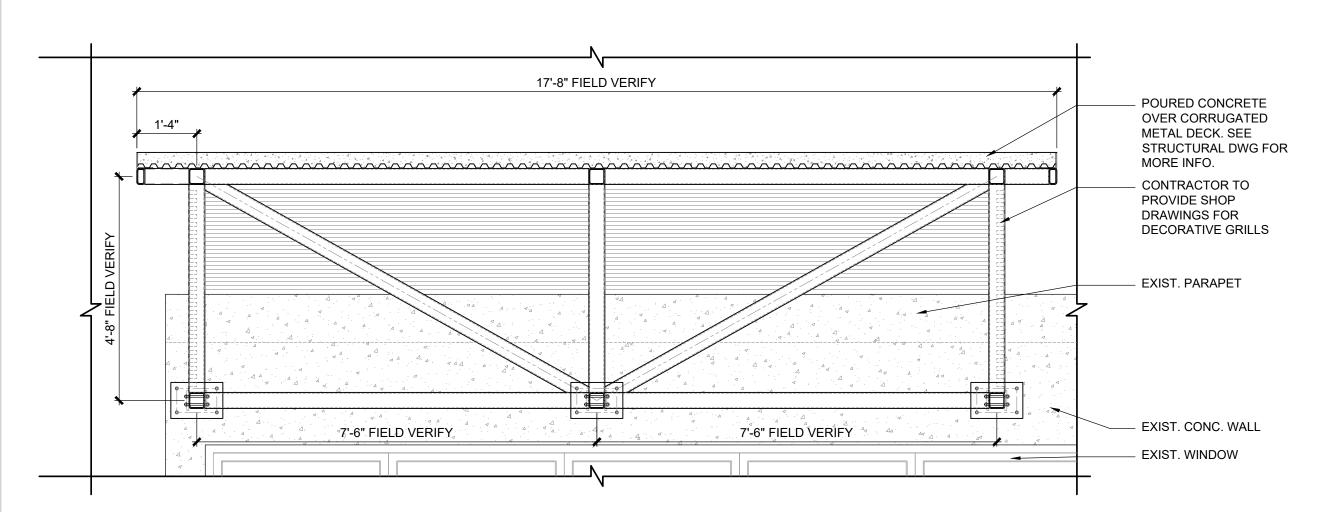






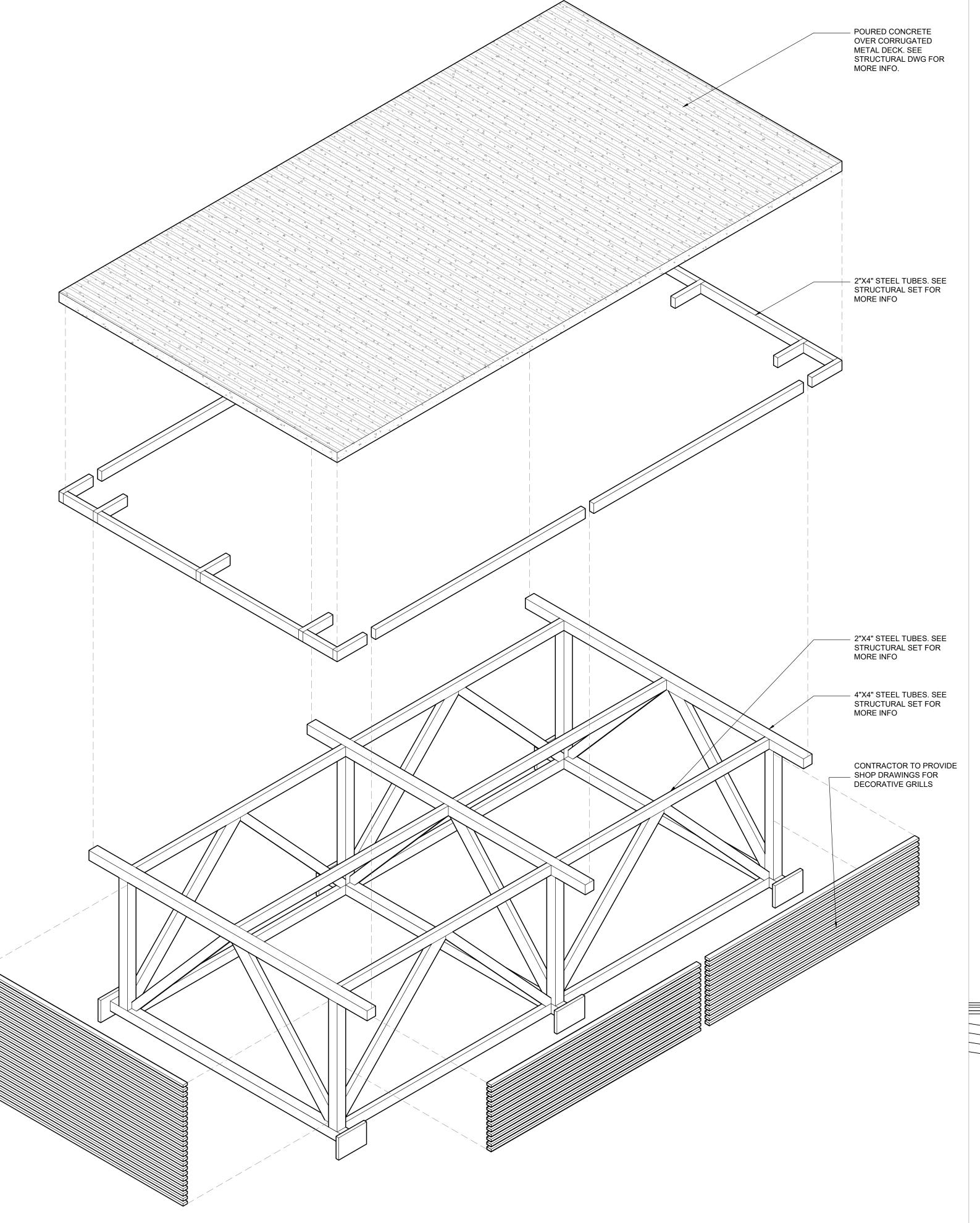


SECTION DETAIL
A202 SCALE: 1/2" = 1'-0"



B SECTION DETAIL

A202 SCALE: 1/2" = 1'-0"





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STENT:

Hialeah Housing Authority

REV. DATE DESCRIPTION
01 12-14-2020 CLIENT COMMENTS

NOTES:

DISCIPLINE INFORMATION:
PROFESSIONAL OF RECORD: STAFF DESIGN

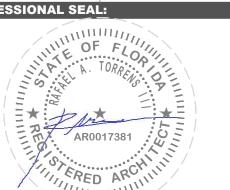
PROFESSIONAL OF RECORD:
RAFAEL TORRENS

Q.C. AUDITOR:
MATIAS CREGO

RECORD:
STAFF DESIGNER
RAFAEL TORRENS

PRINCIPAL CAD TI
SANDY SUAREZ

PROJECT MANAGER
FELIX FUENTES
PROFESSIONAL SEAL:



ENTRY RENOVATION

LIVITATI INCINO VALIDIN

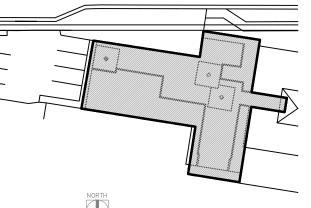
VIVIAN VILLAS

4650 W 12 TH AVENUE

HIALEAH, FL 33012-3200

DATE ISSUE DESCRIPTION
07172019 ISSUED FOR PERMIT

DRAWING INFORMATION:



KEY PLAN

PROPOSED SECTIONS

DELIVERY DATE:

05/20/2019

PRINT DATE & TIME:

05/20/2019

DRAWING LOCATION:

PROJECT NUMBER:

05/201 C05

CAD FILE NAME:

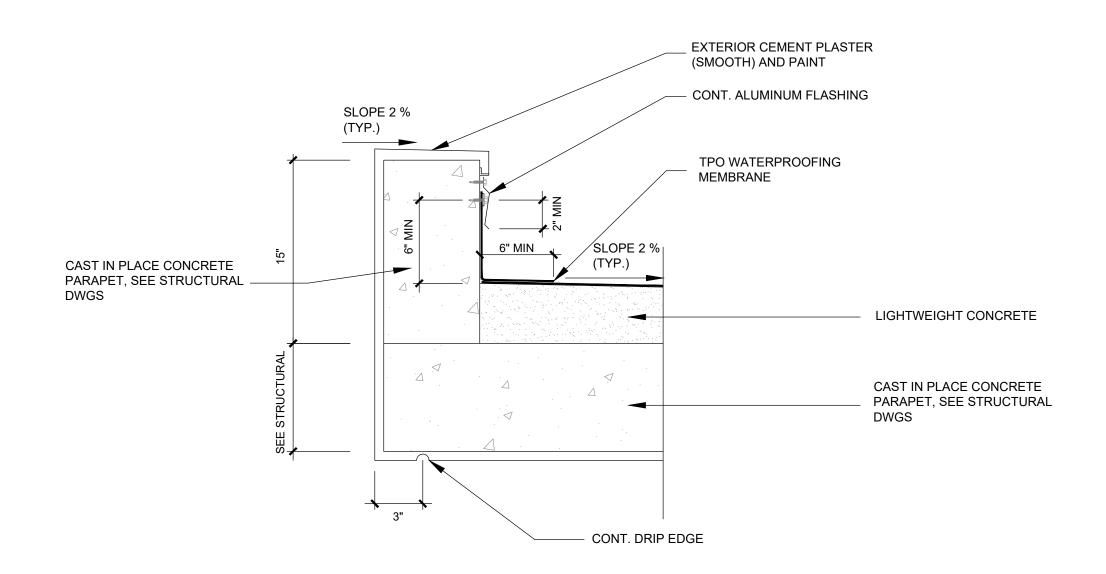
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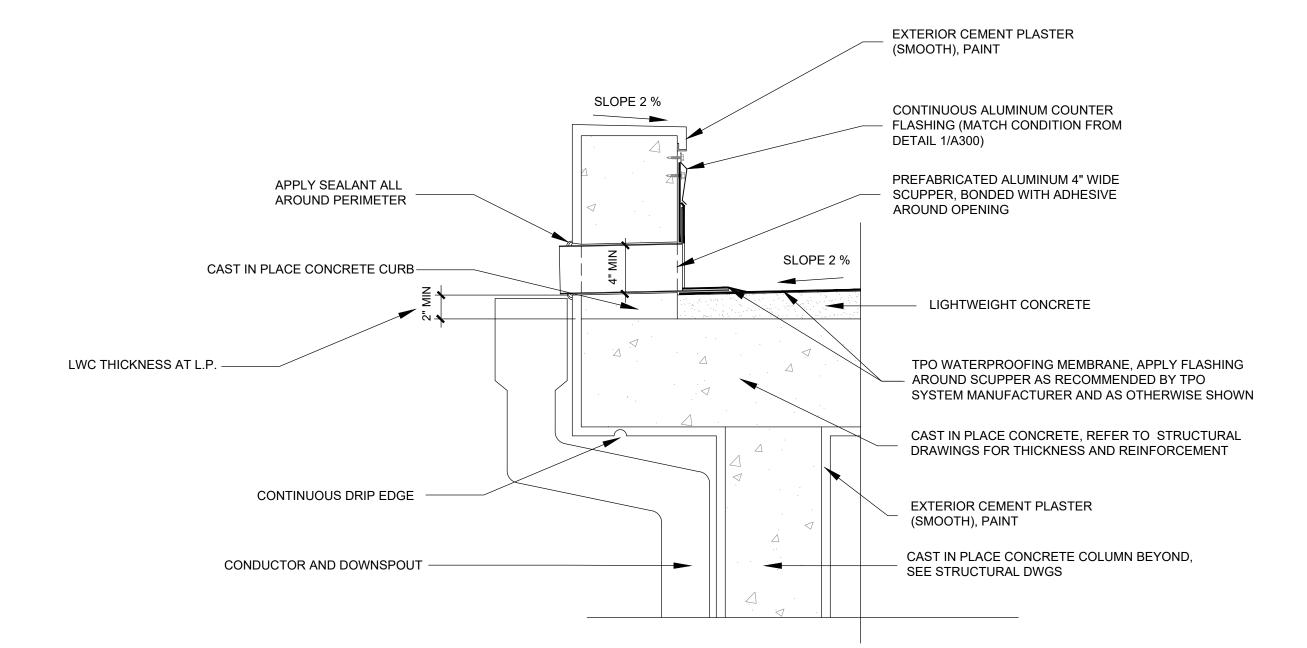
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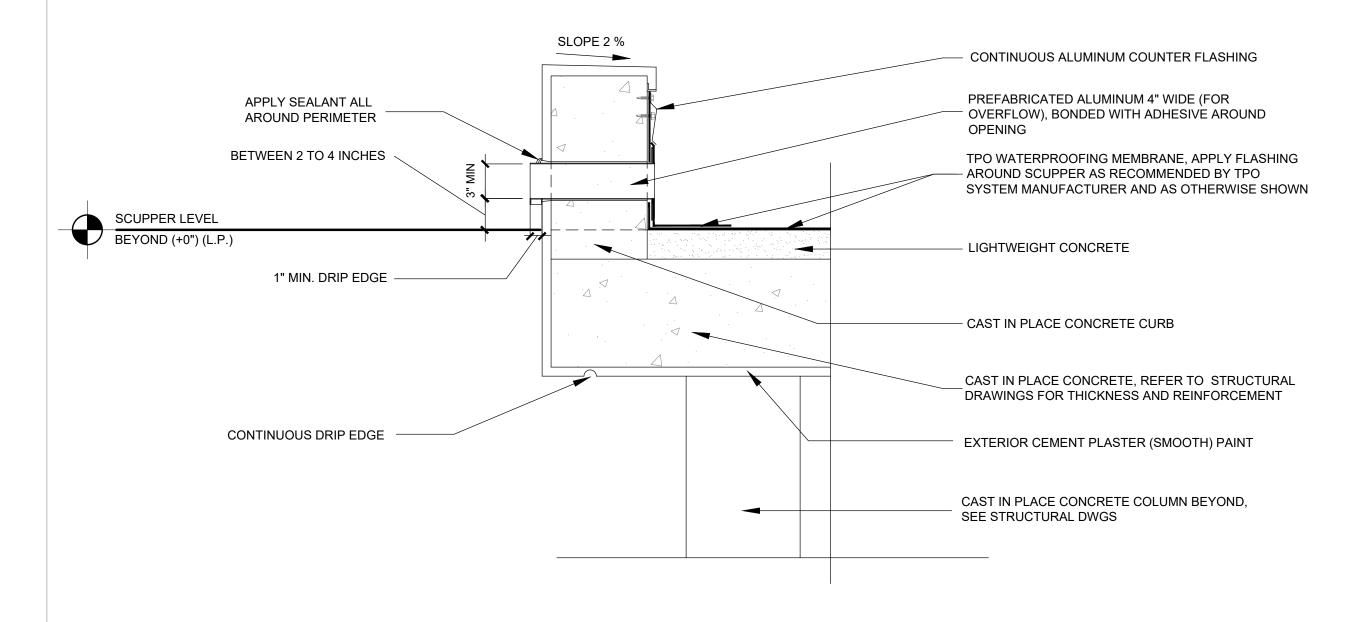
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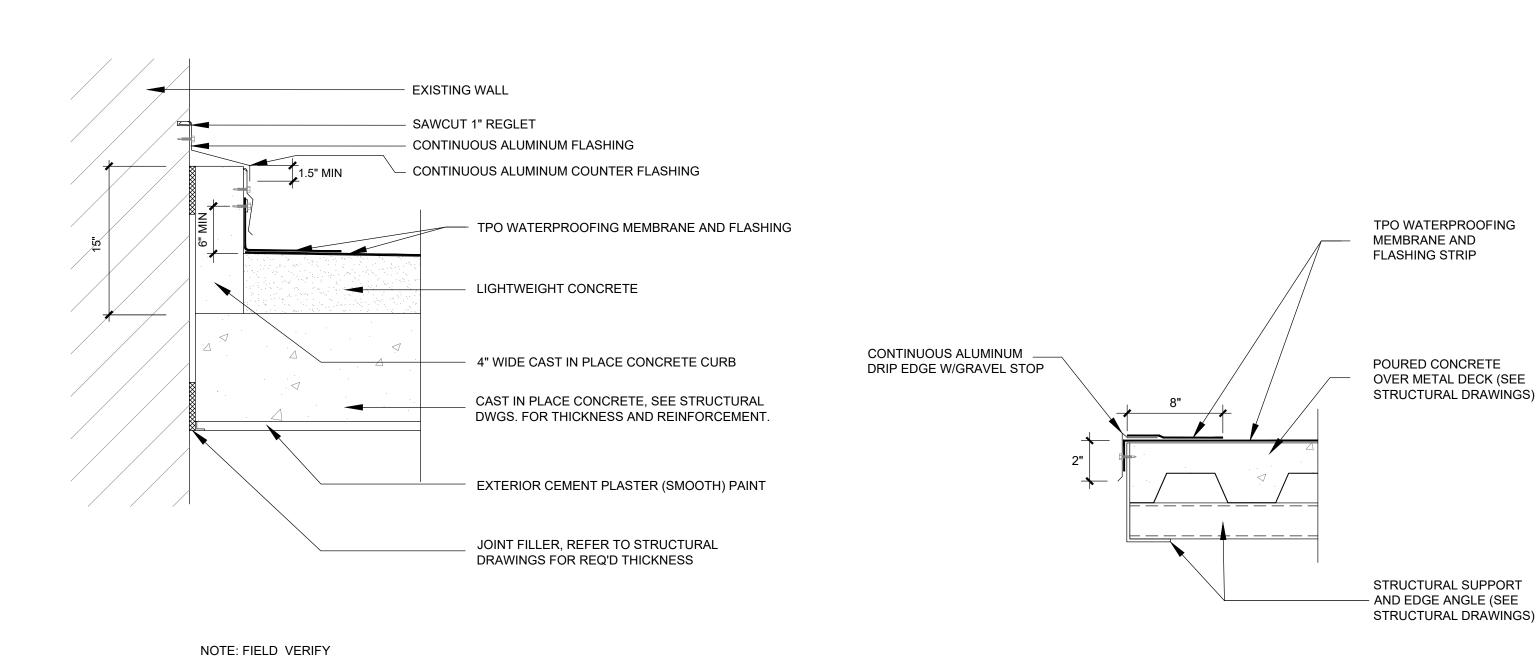








**OVERFLOW SCUPPER DETAIL** 









<b>NO.</b> 01	12-14-2020	CLIENT COMMENTS	
TON	ES:		

<b>DISCIPLINE INFORM</b>	MATION:
PROFESSIONAL OF RECORD: RAFAEL TORRENS	STAFF DESIGNER: RAFAEL TORRENS
Q.C. AUDITOR: MATIAS CREGO	PRINCIPAL CAD TECHNICIAN: SANDY SUAREZ
PROJECT MANAGER FELIX FUENTES	
PROFESSIONAL SEA	AL:
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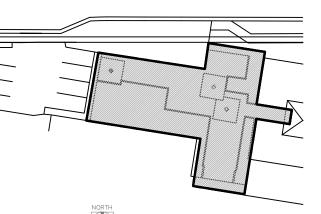
ENTRY RENOVATION

VIVIAN VILLAS

4650 W 12 TH AVENUE HIALEAH, FL 33012-3200

DATE ISSUE DESCRIPTION
07172019 ISSUED FOR PERMIT

DRAWING INFORMATION:



KEY PLAN

SHEET TITLE:

WALL SECTIONS (ROOF PARAPET DETAILS)

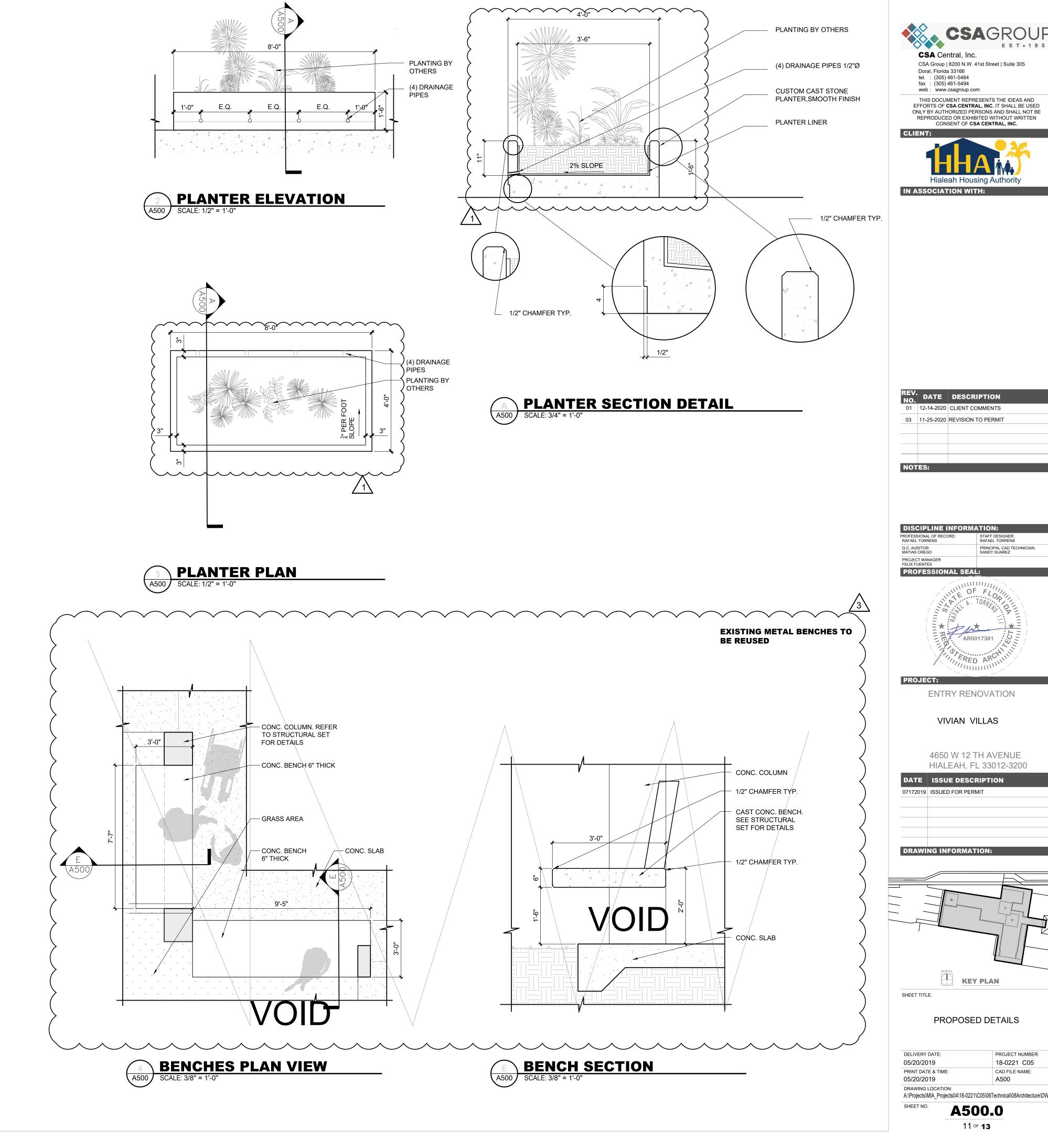
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05/20/2019

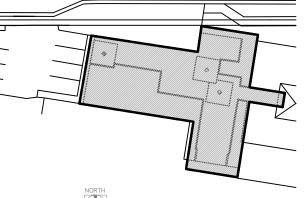
PRINT DATE & TIME:

05/20/2019

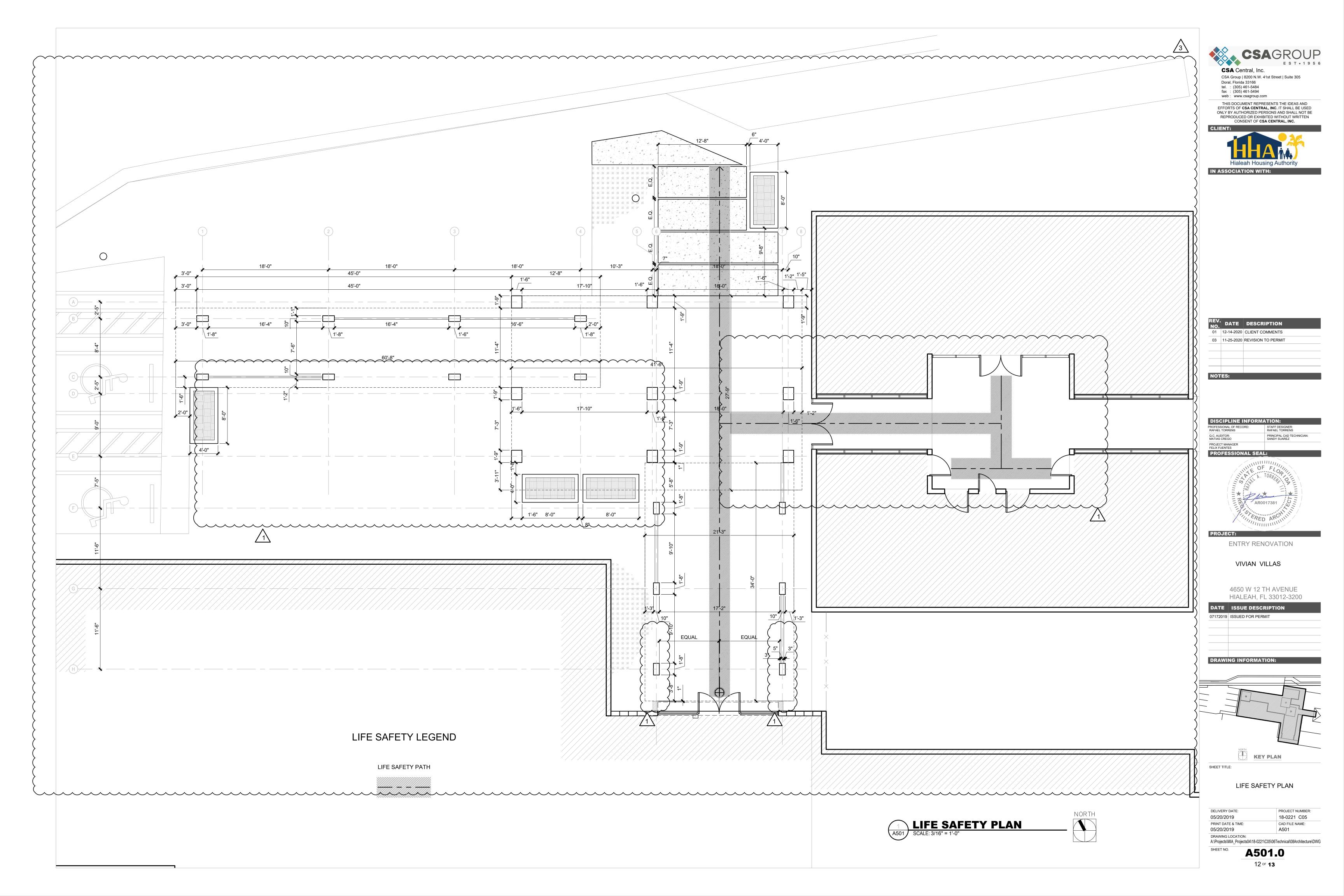
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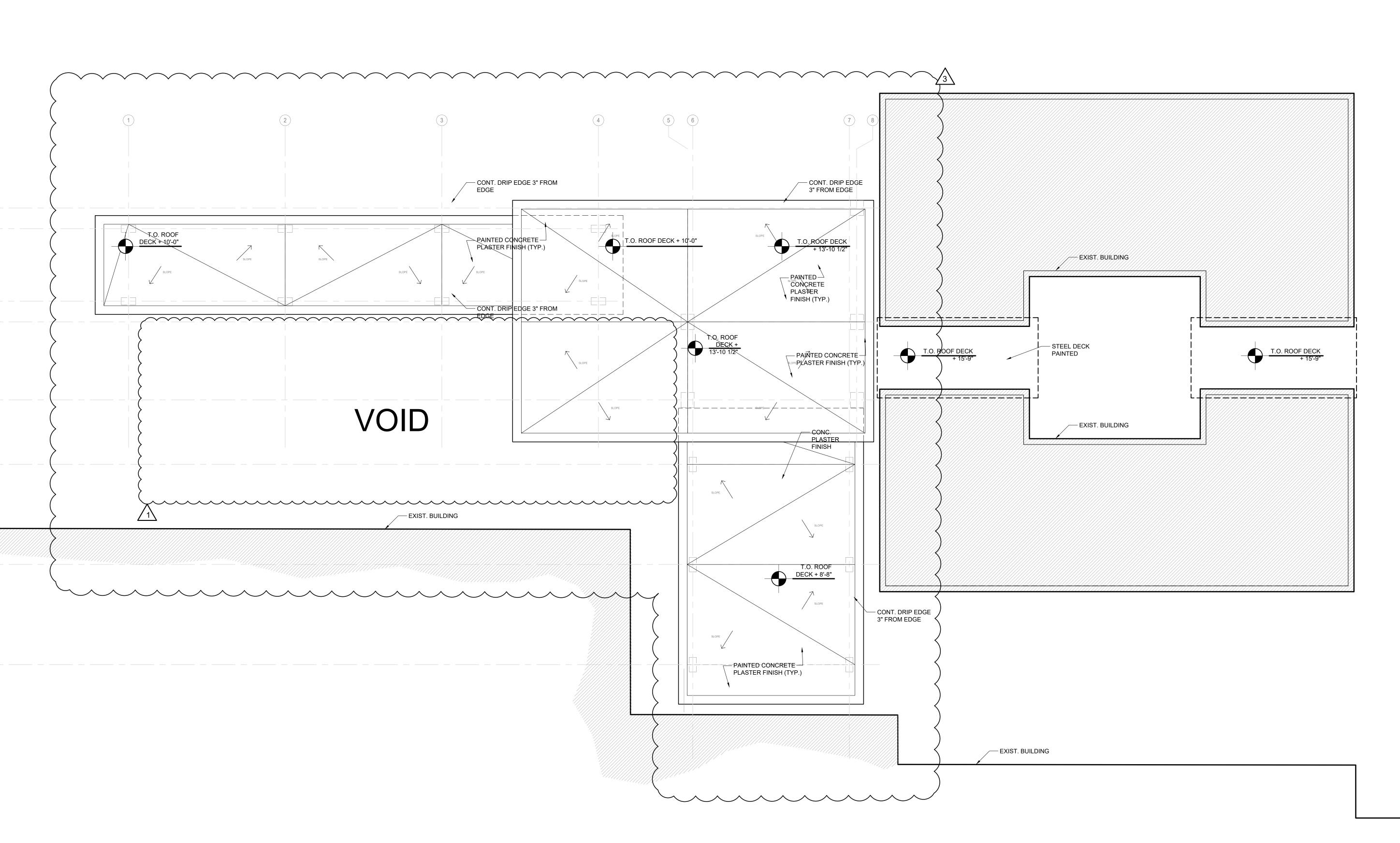






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REFLECTED CEILING PLAN

A502 SCALE: 3/16" = 1'-0"

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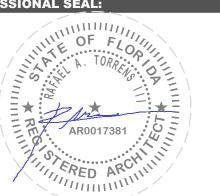


REV. DATE DESCRIPTION 01 12-14-2020 CLIENT COMMENTS 03 11-25-2020 REVISION TO PERMIT

STAFF DESIGNER: RAFAEL TORRENS PRINCIPAL CAD TECHNICIAN: SANDY SUAREZ

PROJECT MANAGER
FELIX FUENTES

PROFESSIONAL SEAL:



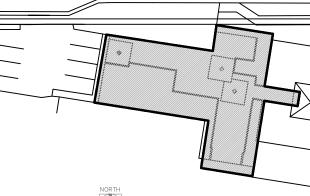
ENTRY RENOVATION

VIVIAN VILLAS

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DATE ISSUE DESCRIPTION

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KEY PLAN

REFLECTED CEILING PLAN

SHEET TITLE:

DELIVERY DATE: PROJECT NUMBER: 05/20/2019 18-0221 C05 PRINT DATE & TIME: CAD FILE NAME: 05/20/2019 A502 DRAWING LOCATION: A:\Projects\MIA\_Projects04\18-0221\C05\06Technical\08Architecture\DWG

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#### STRUCTURAL NOTES

- . THE DRAWINGS ARE INTENDED TO SHOW THE GENERAL ARRANGEMENT, DESIGN AND EXTENT OF THE WORK AND ARE PARTLY DIAGRAMMATIC. THEY ARE NOT INTENDED TO BE SCALED FOR
- PORTIONS THEREOF. 2. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE ON THE PROJECT, EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.

ROUGHING-IN MEASUREMENTS, OR TO SERVE AS SHOP DRAWINGS OR

- 3. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL GRADES, LINES, LEVELS, CONDITIONS AND DIMENSIONS AT THE JOB SITE AND AS SHOWN ON THE DRAWINGS. THEY SHALL REPORT ANY ERRORS OR INCONSISTENCIES TO THE ARCHITECT/ENGINEER (A/E) BEFORE COMMENCING WORK. THE CONTRACTOR SHALL LAY OUT THEIR WORK FROM ESTABLISHED REFERENCE POINTS AND BE RESPONSIBLE FOR ALL LINES. ELEVATIONS AND MEASUREMENTS IN CONNECTION WITH THEIR WORK.
- 4. PROTECTION:
- 4.a. THE CONTRACTOR IS RESPONSIBLE AND SHALL COMPLY WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 2017 AND ALL LOCAL, STATE AND FEDERAL LAWS. THE ENGINEER AND HIS EMPLOYEES ARE NOT RESPONSIBLE FOR SAFETY PROCEDURES ON THIS PROJECT. THIS IS THE CONTRACTOR' S RESPONSIBILITY
- PROVIDE ALL SHORING, BRACING AND SHEETING AS REQUIRED FOR THE PROPER EXECUTION OF THE WORK. REMOVE WHEN THE WORK IS COMPLETED.
- 4.c. PROVIDE AND MAINTAIN GUARD LIGHTS AT ALL BARRICADES. RAILINGS, OBSTRUCTIONS IN THE STREETS, ROADS OR SIDEWALKS AND ALL TRENCHES OR PITS ADJACENT TO PUBLIC WALKS OR ROADS.
- 4.d. AT ALL TIMES PROVIDE PROTECTION AGAINST WEATHER (RAIN, WIND, STORMS OR HEAT) SO AS TO MAINTAIN ALL WORK.
- MATERIALS, APPARATUS AND FIXTURES FREE FROM DAMAGE. 4.e. THE CONTRACTOR SHALL PAY FOR ALL DAMAGES TO ADJACENT STRUCTURES, SIDEWALKS AND TO STREETS OR OTHER PUBLIC
- PROPERTY OR TO ANY PUBLIC UTILITIES. 4.f. AT THE END OF THE DAYS WORK, COVER ALL WORK LIKELY TO BE DAMAGED. ANY WORK DAMAGED BY FAILURE TO PROVIDE PROTECTION SHALL BE REMOVED AND REPLACED WITH NEW WORK AT THE CONTRACTOR'S EXPENSE
- 5. CONTRACTOR AGREES THAT HE WILL HOLD OWNER, ENGINEERS AND/OR ANY OF THEIR EMPLOYEES OR AGENTS HARMLESS FROM ANY AND ALL DAMAGE AND CLAIMS WHICH MAY ARISE BY REASON OF ANY NEGLIGENCE ON PART OF CONTRACTOR, ANY OF HIS SUBCONTRACTORS AND/OR SUBCONTRACTORS, MATERIALS AND EQUIPMENT SUPPLIERS OF THEIR EMPLOYEES OR AGENTS, IN PERFORMANCE OF THIS CONTRACT; AND, IN CASE ANY ACTION IS BROUGHT THEREFORE AGAINST OWNER, ENGINEERS AND/OR ANY OF THEIR EMPLOYEES OR AGENTS, CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DEFENSE THEREOF, AND UPON HIS FAILURE TO DO SO ON PROPER NOTICE, OWNER, ENGINEERS AND/OR ANY OF THEIR EMPLOYEES OR AGENTS RESERVE THE RIGHT TO DEFEND SUCH ACTION AND CHARGE ALL COSTS THEREOF TO CONTRACTOR. 6. IF ANY ERRORS OR OMISSIONS APPEAR IN THE DRAWINGS.
- SPECIFICATIONS OR OTHER DOCUMENTS THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF SUCH OMISSIONS OR ERRORS PRIOR TO PROCEEDING WITH ANY WORK WHICH APPEARS IN QUESTION. IN THE EVENT OF THE CONTRACTOR'S FAILING TO GIVE SUCH NOTICE, HE SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY SUCH ERRORS OR OMISSIONS AND THE COST OF RECTIFYING THE SAME.
- 7. THE CONTRACTOR SHALL USE THE STRUCTURAL DRAWINGS TOGETHER WITH THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS TO LOCATE STEPPED FOOTINGS, DEPRESSED SLABS. SLOPES, DRAINS, OUTLETS, RECESSES, OPENINGS, REGLETS, BOLT SETTING, SLEEVES, DIMENSIONS, ETC. POTENTIAL CONFLICTS SHALL BE TRANSMITTED TO THE A/E BEFORE PROCEEDING WITH THE WORK.
- 8. SUBMIT SHOP DRAWINGS FOR A/E REVIEW BEFORE STARTING
- FABRICATION. 9. NO SHOP DRAWINGS SHALL BE SUBMITTED FOR A/E REVIEW UNTIL AFTER DIMENSIONING AND OTHER TRADE REQUIREMENTS BY THE CONTRACTOR AND STAMPED WITH THE CONTRACTOR APPROVAL SEAL. ENGINEER ASSUMES NO RESPONSIBILITY FOR DIMENSIONS QUANTITIES ERRORS OR OMISSIONS AS A RESULT OF CHECKING AND REVIEWING ANY SHOP DRAWING. ANY ERROR OR OMISSIONS MUST BE
- IS DONE IN ACCORDANCE WITH SUCH DRAWINGS. 10. THE REVIEW OF ALL STRUCTURAL SUBMITTALS BY THE STRUCTURAL ENGINEER OF RECORD SHALL BE TO INSURE THAT HIS INTENT HAS BEEN UNDERSTOOD AND THAT THE SPECIFIED CRITERIA HAVE BEEN USED. A COPY OF ALL STRUCTURAL SUBMITTALS WILL BE RETAINED FOR RECORD KEEPING PURPOSES ONLY.

NOTIFIED BY CONTRACTOR, IRRESPECTIVE OF RECEIPT, CHECKING

OR REVIEWED OF DRAWINGS BY ENGINEER AND EVEN THOUGH WORK

11. WHERE CRITICAL DIMENSIONS CANNOT BE DETERMINED FROM THE PLANS, OR WHERE NEW WORK ADJOINS EXISTING CONSTRUCTION, OR WHERE ONE MATERIAL ADJOINS AN IN-PLACE MATERIAL CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AS REQUIRED TO COMPLETE SHOP DRAWINGS AND INSTALLATION. REPORT ANY DISCREPANCIES EXCEEDING 3% BETWEEN FIELD MEASURED DIMENSIONS AND SCALED DRAWING DIMENSIONS TO ARCHITECT BEFORE PROCEEDING WITH THE WORK.

#### STRUCTURAL DESIGN CRITERIA:

1. THE DESIGN COMPLIES WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE (2017 EDITION), ASCE 7-10 MINIMUM DESIGN LOADS FOR **BUILDING AND OTHER STRUCTURES** 

WIND LOAD CRITERIA:

ULTIMATE DESIGN WIND SPEED - 175 MPH. HIGH-VELOCITY HURRICANE ZONE (MIAMI-DADE COUNTY)

NOMINAL WIND SPEED - 135.5 MPH EXPOSURE CATEGORY - C RISK CATEGORY - II

ENCLOSURE CLASSIFICATION - ENCLOSED (GCP<sub>i</sub> = 0.18) LIVE LOADS:

FLOORS. 100 P.S.F.

ROOFS 20 P.S.F

#### **EARTHWORK**

CONTRACTOR SHALL DEWATER SITE AS NECESSARY, SO THAT ALL CONCRETE CAN BE PLACED IN THE DRY. ALL BACKFILL SHALL BE ACCOMPLISHED USING MATERIAL CONSISTING OF CRUSHED STONE MATERIAL. THE BACKFILL SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557. NO BACKFILL MATERIAL SHALL BE PLACED AGAINST WALLS WHICH DO NOT HAVE PERMANENT FLOORS AT THE TOP AND BOTTOM WITHOUT PROVISIONS FOR ADEQUATE TEMPORARY BRACING OF THOSE WALLS. PROVIDE ADEQUATE EXCAVATION SPACING TO MAINTAIN EXISTING FOOTINGS, UTILITIES AND OTHER IMPROVEMENTS IN A SAFE CONDITION.

#### FOUNDATIONS HAVE BEEN DESIGNED BASED ON AN ALLOWABLE SOIL BEARING CAPACITY OF 2,000 PSF, BASED ON TABLE 1806.2 OF THE

2017 FLORIDA BUILDING CODE. CONTRACTOR SHALL COORDINATE WITH THE PROJECT ENGINEER TO ESTABLISH IF ANY UNSUITABLE CONDITIONS ARE DISCOVERED DURING EXCAVATION WHICH WOULD PREVENT ATTAINMENT OF THE DESIGN SOIL PRESSURE PRIOR TO INSTALLATION OF ANY FOOTING REINFORCING.

- ALL CONCRETE SLABS ON GRADE SHALL BE A MINIMUM 6" THICK AND REINFORCED WITH 6x6 D7xD7 WELDED WIRE FABRIC (UNLESS OTHERWISE NOTED).
- 2. ALL CONCRETE SLABS ON GRADE TO BE IN ACCORDANCE WITH THE LATEST "GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION"
- PROVIDE A POLYETHYLENE VAPOR BARRIER MEMBRANE UNDER ALL CONCRETE POURED AGAINST THE SOIL UNLESS OTHERWISE INDICATED ON PLANS.

#### REINFORCING STEEL

- 1. TO BE NEW BILLET STEEL CONFORMING TO ASTM A615 GRADE 60 SPECIFICATIONS. FABRICATED IN ACCORDANCE WITH MANUAL OF STANDARD PRACTICE OF THE C.R.S.I. AND PLACED IN ACCORDANCE WITH ACI 315 AND ACI MANUAL OF ENGINEERING AND PLACING DRAWINGS FOR REINFORCED CONCRETE STRUCTURES
- 2. COLUMN REINFORCEMENT: DOWELS TO BE SAME SIZE AND NUMBER AS VERTICALS ABOVE. LAP BARS WITH A CLASS B LAP SPLICE AS PER TABLE, U.O.N. PROVIDE RIGID TEMPLETS FOR DOWEL LOCATION. PROVIDE STANDARD HOOKS FOR ALL VERTICAL REINFORCEMENT AT NON-CONTINUOUS COLUMNS (U.O.N.).
- ALL DOWELS FOR COLUMNS AND WALLS TO BE SECURED IN POSITION PRIOR TO CONCRETING. DRILLING OR PUSHING THE DOWELS INTO POSITION IN WET CONCRETE IS NOT PERMITTED.
- 4. CONCRETE COVER UNLESS OTHERWISE DETAILED ON DRAWINGS:

FOOTINGS.. COLUMNS.. . 1-1/2" TO TIES BEAMS.. . 1-1/2" TO STIRRUPS INTERIOR SLABS.. EXPOSED SLABS.. ... 1-1/2"

SLABS ON GRADE...... 1-1/2" MEASURED FROM TOP OF SLAB. SLAB AND BEAM REINFORCEMENT: PLACED IN ACCORDANCE WITH REINFORCING DIAGRAMS, LAP BARS WITH A CLASS B LAP SPLICE AS PER TABLE. BOTTOM BARS SHALL BE SPLICED ONLY AT SUPPORTS AND TOP BARS SHALL BE SPLICED ONLY AT MID-SPAN. ALL TOP BARS HOOKED AT NON-CONTINUOUS EDGES (U.O.N.). ALL HOOKS TO BE STANDARD 90 DEGREE OR 180 DEGREE HOOKS AS REQUIRED (U.O.N.)

#### CONCRETE:

- CONCRETE DESIGN AND REINFORCEMENT IN ACCORDANCE WITH "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318) AND WITH DETAILS AND DETAILING OF CONCRETE REINFORCEMENT (ACI 315).
- 2. ALL CONCRETE WORK IN ACCORDANCE WITH SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDING (ACI 301). PRODUCTION OF CONCRETE, DELIVERY, PLACING AND CURING TO BE IN ACCORDANCE WITH 'HOT WEATHER CONCRETING' (ACI 305R).
- 3. NO ADMIXTURES PERMITTED WITHOUT THE REVIEW OF ARCHITECT/ENGINEER.
- FOR ALL CONCRETE TO BE PLACED THE SLUMP SHALL NOT EXCEED 4", EXCEPT AS MODIFIED BY THE ADDITION OF ADMIXTURES SUBJECT TO ARCHITECT/ENGINEER REVIEW CONCRETE TO BE REGULAR WEIGHT WITH A DESIGN STRENGTH
- ACHIEVED AT 28 DAYS, f'c =4,000 psi.
- QUALITY CONTROL TESTING OF CONCRETE SHALL COMPLY WITH 2017FLORIDA BUILDING CODE REQUIREMENTS FOR CAST-IN-PLACE CONCRETE AND REINFORCEMENT.
- NO CONCRETE TEST WILL BE ACCEPTED IF CONCRETE IS TAMPERED WITH IN ANY WAY AFTER SAID TEST IS PERFORMED. REPEAT TEST IF WATER IS ADDED AFTER INITIAL SAMPLING.
- CONTRACTOR IS RESPONSIBLE FOR THE ADEQUACY OF FORMS AND SHORING AND FOR SAFE PRACTICE IN THEIR USE AND REMOVAL. CONTRACTOR SHALL DESIGN AND ERECT FORMWORK IN STRICT COMPLIANCE WITH ACI 347R. CONTRACTOR SHALL COORDINATE ALL OPENINGS AS REQUIRED FOR OTHER TRADES. OPENINGS WHERE SHOWN ON THE STRUCTURAL DRAWINGS ARE TO IDENTIFY DESIGN INTENT ONLY. THE SPECIFIC DIMENSIONS AND LOCATIONS SHALL BE FURNISHED OR CONFIRMED BY THE TRADE REQUIRING THE OPENING.
- PROVIDE CHAMFERS AT ALL CORNERS IN CONCRETE MEMBERS EXPOSED TO VIEW. FORMWORK TO REMAIN IN PLACE UNTIL CONCRETE HAS ATTAINED ENOUGH STRENGTH TO SUPPORT ALL DEAD LOADS PLUS A MINIMUM OF 50 PSF OF ADDITIONAL CONSTRUCTION LOAD.

#### COMPOSITE STEEL ROOF DECK:

- 1. SHALL BE GALVANIZED (G90) STEEL ROOF DECK OF TYPE, GAGE AND DEPTH INDICATED ON DRAWING, AND SHALL CONFORM TO THE PROVISIONS OF THE STEEL DECK INSTITUTE (SDI) SPECIFICATIONS FOR STEEL ROOF DECK.
- 2. DECK CENTERING SHALL BE PLACED IN CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS AND SHALL BE CONTINUOUS OVER AT LEAST 2 SPANS.
- 3. USE # 14 DRILL SCREW IN A 36/4 FASTENER PATTERN AT MAIN DECK SUPPORTS, AND #14 DRILL SCREWS AT 12" SIDELAP CONNECTIONS, **UNLESS NOTED OTHERWISE**
- 4. METAL DECK MANUFACTURER SHALL BE A MEMBER OF THE STEEL DECK INSTITUTE AND ALL DESIGN SHALL BE IN ACCORDANCE WITH APPLICABLE STANDARDS.
- 5. DO NOT HANG MEP SYSTEMS (DUCKWORK, ROOF DRAIN OR FIRE PROTECTION PIPING, ETC.) FROM ROOF DECK. ALL EQUIPMENT SHALL BE HUNG FROM STEEL FRAMING

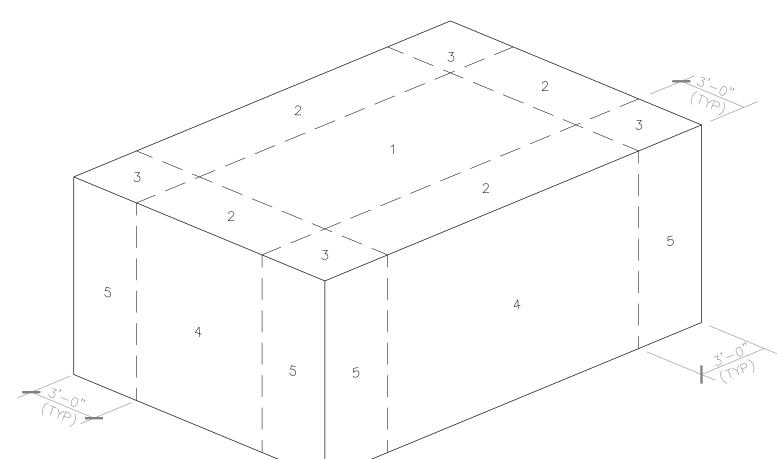
#### STRUCTURAL STEEL

STRUCTURAL STEEL DESIGN SHALL BE IN ACCORDANCE WITH THE LOAD AND RESISTANCE FACTOR DESIGN (LRFD) AS PER AISC 360-10.

STRUCTURAL STEEL SHALL COMPLY WITH THE FOLLOWING SPECIFICATIONS:

STRUCTURAL S	STEEL SPECIFI	CATIONS	
DESCRIPTION	ASTM	Fy	Fu
LATES	A36	36 KSI	58 KSI
LATES-S.S. 316	A240	30 KSI	75 KSI
NGLES	A36	36 KSI	58 KSI
/-SHAPES	A992	50 KSI	65 KSI
ECTANGULAR AND SQUARE ISS	A500 GR. B	46 KSI	58 KSI

- ALL STRUCTURAL STEEL SHALL BE PRIMED WITH RUST INHIBITING COATING AND POWDER CAOTED FINIS, SE ARCH DRAWINGS 4. WELDED SPLICES OF STRUCTURAL SECTIONS WILL NOT BE PERMITTED. CONTRACTOR SHALL OBTAIN SECTIONS IN LENGTHS THAT ARE
- CONNECTIONS SHALL BE DETAILED BY STRUCTURAL STEEL FABRICATOR. STRUCTURAL STEEL FABRICATOR SHALL SUBMIT SIGNED AND SEALED SHOP DRAWINGS AND CALCULATIONS BY A FLORIDA LICENSED PROFESSIONAL ENGINEER. WHEN CONNECTION DESIGN FORCES ARE NOT SHOWN ON PLANS, THESE SHALL BE DESIGNED TO TRANSMIT THE MAXIMUM STRESS ALLOWED FOR THE CONNECTED MEMBERS.
- THE ERECTION OF STRUCTURAL STEEL ELEMENTS SHALL STRICTLY FOLLOW SECTION 7 OF AISC 303-10- CODE OF STANDARD PRACTICE. DIMENSIONS OF STRUCTURAL STEEL ELEMENTS SHALL BE WITHIN THE DIMENSIONAL TOLERANCES SET FORTH IN SECTION 6 OF AISC 303-10 -CODE OF STANDARD PRACTICE.
- 8. NO LOADS SHALL BE PLACED OVER ANY STEEL STRUCTURE UNTIL ALL ANCHORS, PURLINS AND BEAMS, ARE PROPERLY
- BRACED/CONNECTED. FIELD WELDS SHALL BE DONE BY AN AWS CERTIFIED WELDER. WELDS SHALL BE PERFORMED USING E70XX ELECTRODES (U.O.N.).
- 10. SHOP DRAWINGS FOR ALL STRUCTURAL STEEL FABRICATION AND ERECTION SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER FOR APPROVAL WELL IN ADVANCE OF CONSTRUCTION.
- 11. INCORRECTLY FABRICATED, DAMAGED OR OTHERWISE MISFITTING OR NON-CONFORMING MATERIALS OR CONDITIONS SHALL BE REPORTED TO ARCHITECT/ENGINEER FOR REVIEW AND APPROVAL, PRIOR TO REMEDIAL OR CORRECTIVE ACTION TO BE IMPLEMENTED.
- ALL FIELD WELDS SHALL BE INSPECTED BY AN AWS CERTIFIED WELD INSPECTOR.
- 13. MINIMUM WELD SIZE SHALL BE 1/4", U.O.N.
- 14. ALL HSS SECTIONS SHALL BE CAPPED WITH  $\frac{1}{8}$ " CAP PLATE AND SEAL WELDS.
- 15. WHERE NECESSARY CONTRACTOR SHALL PROVIDE SEALANT OVER WELDS FOR SMOOTH FINISH PRIOR TO PAINTING



#### EXISTING BUILDING AND CONC. CANOPY STRUCTURES COMPONENTS NOT TO SCALE AND CLADDING DESIGN PRESSURES

			ROOF	LOADS				
	Vivian Villas	(a =3ft)			Vivian Villas	(a =3ft)		
COMPONENTS AND CLADDING - ROOF WINE		- ROOF WIND LC	ADS [PSF]	COMPONENTS AND	COMPONENTS AND CLADDING - GROSS ROOF WIND WORKING L LOADS [PSF]			
RIBUTARY AREA ROOF ZONES		TRIBUTARY AREA		ROOF ZONES				
[FT <sup>2</sup> ]	ZONE 1	ZONE 2	ZONE 3	[FT <sup>2</sup> ]	ZONE 1	ZONE 2	ZONE 3	
10	-67	-112	-169	10	-40	-67	-101	
10	27	27	27	10	16	16	16	
20	-65	-100	-140	20	-39	-60	-84	
20	25	25	25	20	15	15	15	
50	-63	-84	-101	50	-38	-51	-61	
50	23	23	23	50	14	14	14	
100	-61	-72	-72	100	-37	-43	-43	
100	21	21	21	100	13	13	13	
200	-61	-72	-72	200	-37	-43	-43	
200	21	21	21	200	13	13	13	
F00	-61	-72	-72	F00	-37	-43	-43	
500	21	21	21	500	13	13	13	

		$\overline{}$	$\overline{}$												
					ACI 318-14	DEVELOR	PMENT LE	ENGTH AN	D CLASS	B LAP SPLICE	LENGTH				
	Bar Size	fc=	30	000	psi	Bar Size	fc =	40	000	psi	Bar Size	f c =	50	000	psi
	# #		Tension		Compression	#		Tension		Compression	#		Tension		Compression
	π	$I_d$	1.3 l <sub>d</sub>	1.5 l <sub>d</sub>	l <sub>d</sub>	<i>"</i>	l <sub>d</sub>	1.3 l <sub>d</sub>	1.5 l <sub>d</sub>	l <sub>d</sub>	#	$I_d$	1.3 l <sub>d</sub>	1.5 l <sub>d</sub>	I <sub>d</sub>
	3	17	22	25	9	3	15	19	22	8	3	13	17	20	8
	4	22	29	33	11	4	19	25	29	10	4	17	23	26	9
	5	28	36	42	14	5	24	31	36	12	5	22	28	32	12
	6	33	43	50	17	6	29	37	43	15	6	26	34	39	14
	7	48	63	72	20	7	42	54	63	17	7	38	49	56	16
	8	55	72	83	22	8	48	62	72	19	8	43	56	64	18
	9	62	81	93	25	9	54	70	81	22	9	48	63	72	21
	10	69	90	103	28	10	60	78	89	24	10	54	69	80	23
[	11	76	98	113	31	11	66	85	98	27	11	59	76	88	25

#### NOTES:

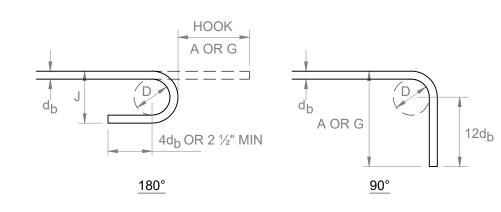
1. ALL VAULES ARE IN INCHES.

2. TABLE IS APPLICABLE FOR GRADE 60 BARS.

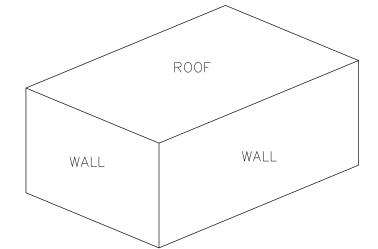
3. DEVELOPMENT LENGTHS (Id) FOR HORIZONTAL BARS PLACED SUCH THAT MORE THAN 12 INCHES OF FRESH CONCRETE IS CAST BELOW SHALL BE MULTIPLIED BY 1.3.

4. DEVELOPMENT LENGTHS (Id) FOR EPOXY COATED OR ZINC AND EPOXY DUAL COATED REINFORCEMENT WITH CLEAR COVER LESS THAN 3db OR CLEAR SPACING LESS THAN 6db SHALL BE MULTIPLIED BY 1.5.

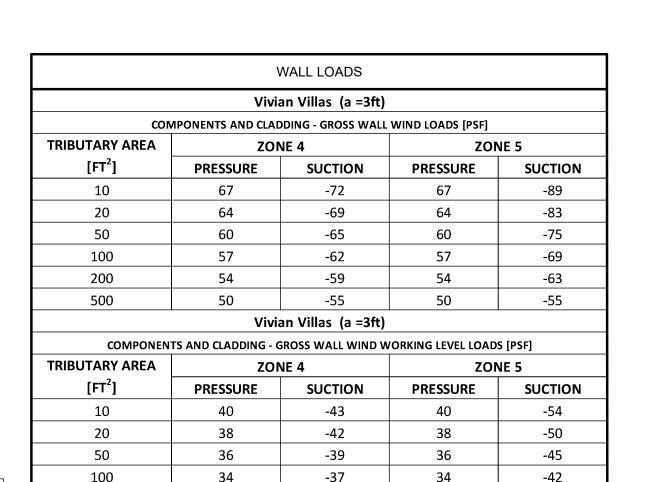
5. MULTIPLY CORRESPONDING DEVELOPMENT LENGTH BY 1.3 TO DETERMINE CLASS B TENSION LAP SPLICE LENGTHS. 6. MULTIPLY CORRESPONDING DEVELOPMENT LENGTH BY 1.333 FOR LIGHTWEIGHT CONCRETE.



	END HOO	KS FOR A	ALL GRA	ADES
BAR	FINISHED BEND	180° H	ooks	90° HOOKS
SIZE	DIAMETER "D", IN.	A or G	J	A or G
#3	2 1/2"	5"	3"	6"
#4	3"	6"	4"	8"
#5	3 3/4"	7"	5"	10"
#6	4 1/2"	8"	6"	1'-0"
#7	5 1/4"	10"	7"	1'-2"
#8	6"	11"	8"	1'-4"
#9	9 1/2"	1'-3"	11 3/4"	1'-7"
#10	10 3/4"	1'-5"	1'-1 1/4"	1'-10"
#11	12"	1'-7"	1'-2 3/4"	2'-0"
#14	19 1/4"	2'-3"	1'-9 3/4"	2'-7"
#18	24"	3'-0"	2'-4 1/2"	3'-5"
_		$\sim$		



Wind direction	Ultimate Design Pressures	Nominal Design Pressures
	[psf]	[psf]
Wall	+/-107.48	+/-64.488
Roof	-84.9	-50.9



-36

-33

32

30

-38

-33

4 GENERAL LISE (	NON-SEISMIC) MINI	MUMEMBEDMENT
,	,	
411		,
3000	4000	5000
6	6	6
8	7	6
10	9	8
12	10	9
14	12	11
16	14	12
18	15	14
20	17	15
22	19	17
	Section 18	6 6 8 7 10 9 12 10 14 12 16 14 15 20 17

32

30

200

500

1. SIDE COVER GREATER THAN OR EQUAL TO 2.5 in. 2. END COVER (90 DEGREE HOOKS) GREATER THAN OR EQUAL TO 2 in.

3. APPLICABLE FOR GRADE 60 BARS 4. MULTIPLY BY 1.2 FOR EPOXY COATED OR ZINC AND EPOXY DUAL COATED REINFORCEMENT

5. MULTIPLY BY 1.333 FOR LIGHTWEIGHT CONCRETE 6. WHEN FULL I<sub>dh</sub> CANNOT BE PROVIDED, USE SMALLER DIAMETER BAR FOR WHICH Idh CAN BE PROVIDED.



IN ASSOCIATION WITH:

REV.	DATE	DESCRIPTION	
<b>NO.</b> 01	09-25-2019	CLIENT CHANGES	
02	07-16-2020	CITY COMMENTS	
3	12-07-2020	PERMIT REVISION	
ТОИ	EQ.		

DISCIPLINE INFORMATION:					
PROFESSIONAL OF RECORD: RODERICK HOSANG	STAFF DESIGNER: J. RIVERA / M. GHODSIFASAEI				
Q.C. AUDITOR: JOSE I. PRATS	PRINCIPAL CAD TECHNICIAN: ENRIQUE TORMOS				
PROJECT MANAGER FELIX FUENTES					
PROFESSIONAL SEAL:					



**ENTRY RENOVATION** 

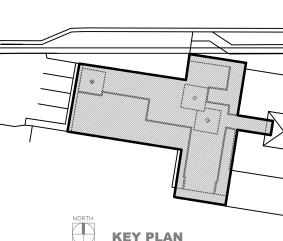
PROJECT:

VIVIAN VILLAS

4650 W 12 TH AVENUE HIALEAH, FL 33012-3200

DATE ISSUE DESCRIPTION 07172019 ISSUED FOR PERMIT

**DRAWING INFORMATION:** 

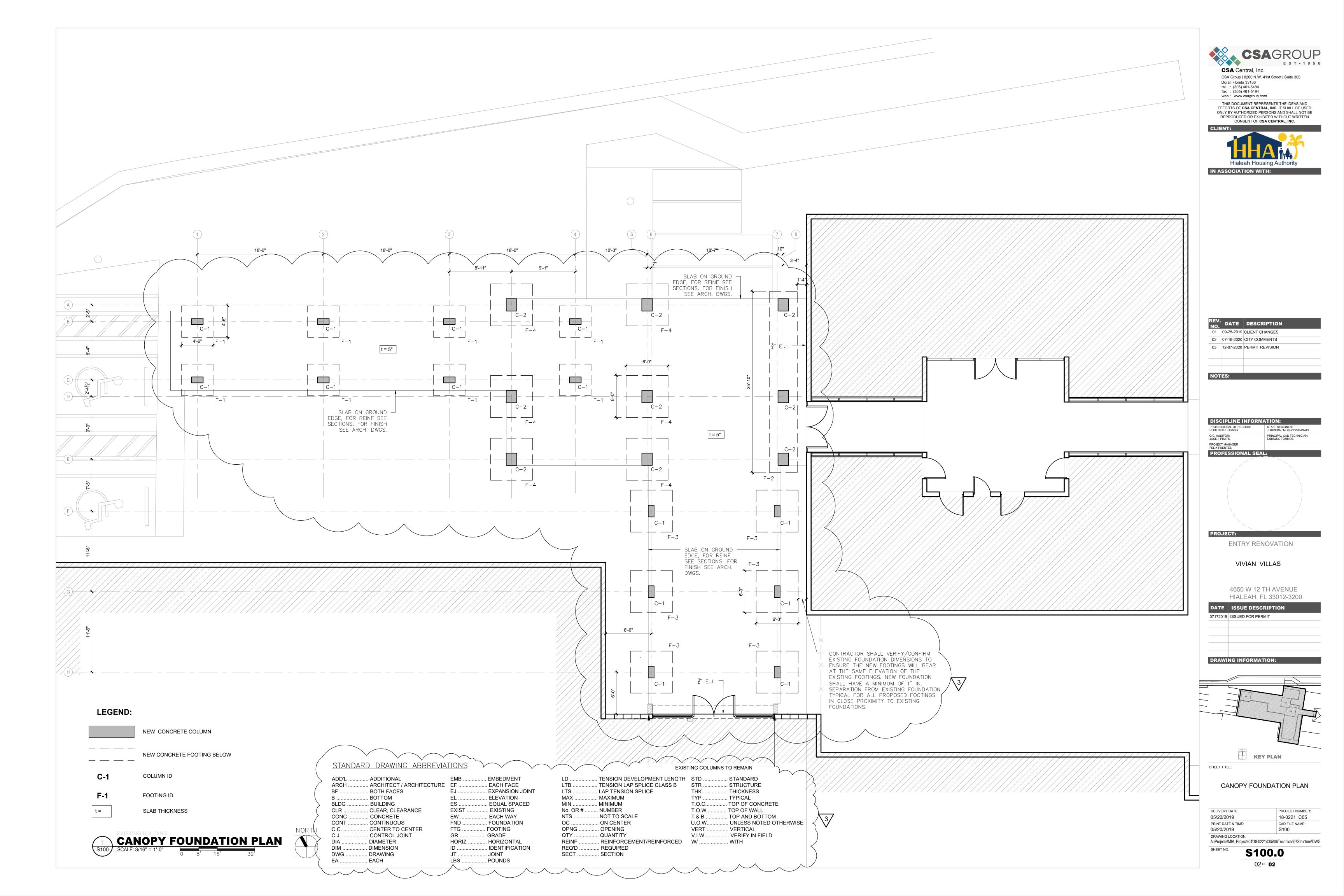


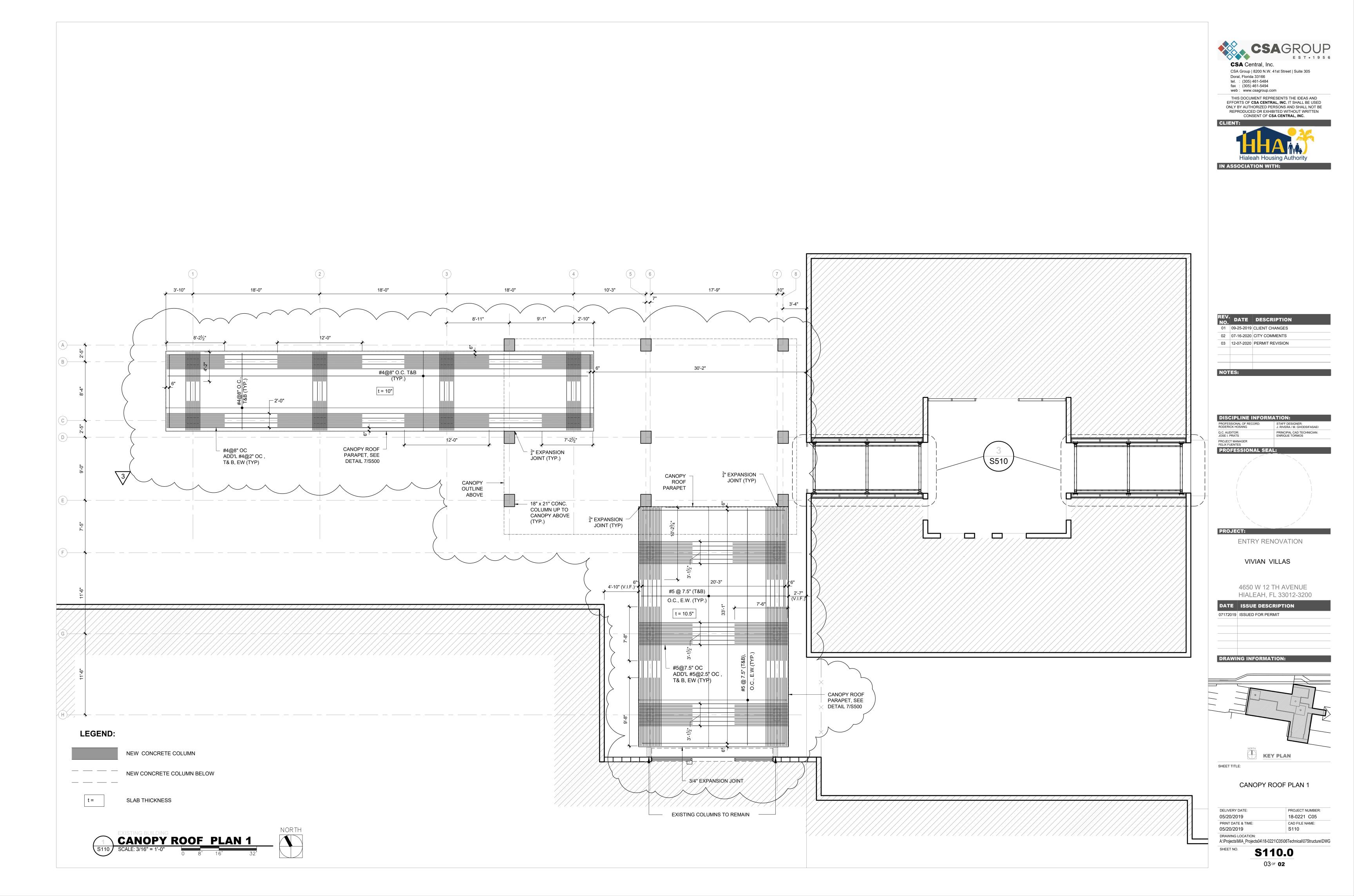
STRUCTURAL NOTES

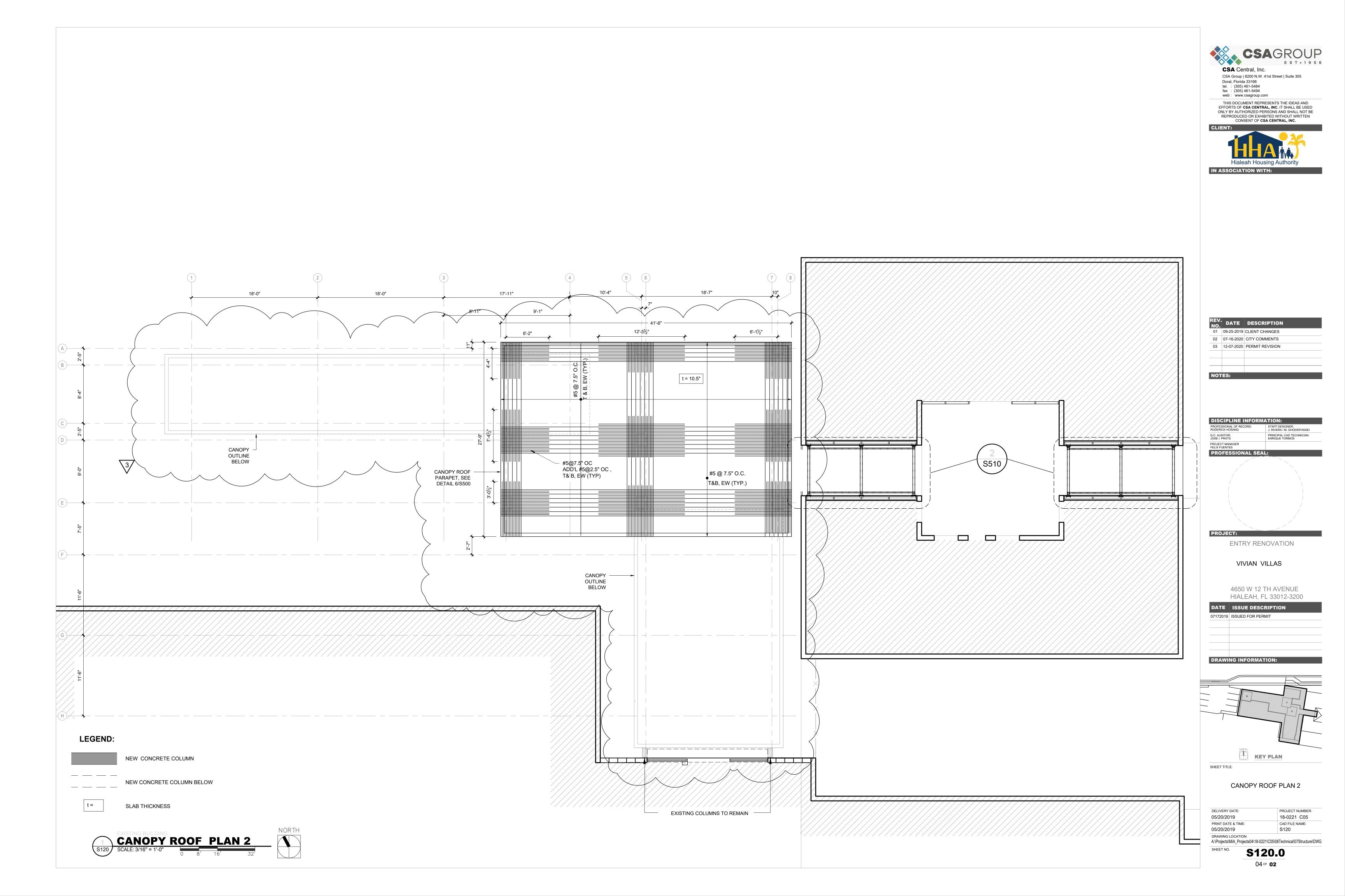
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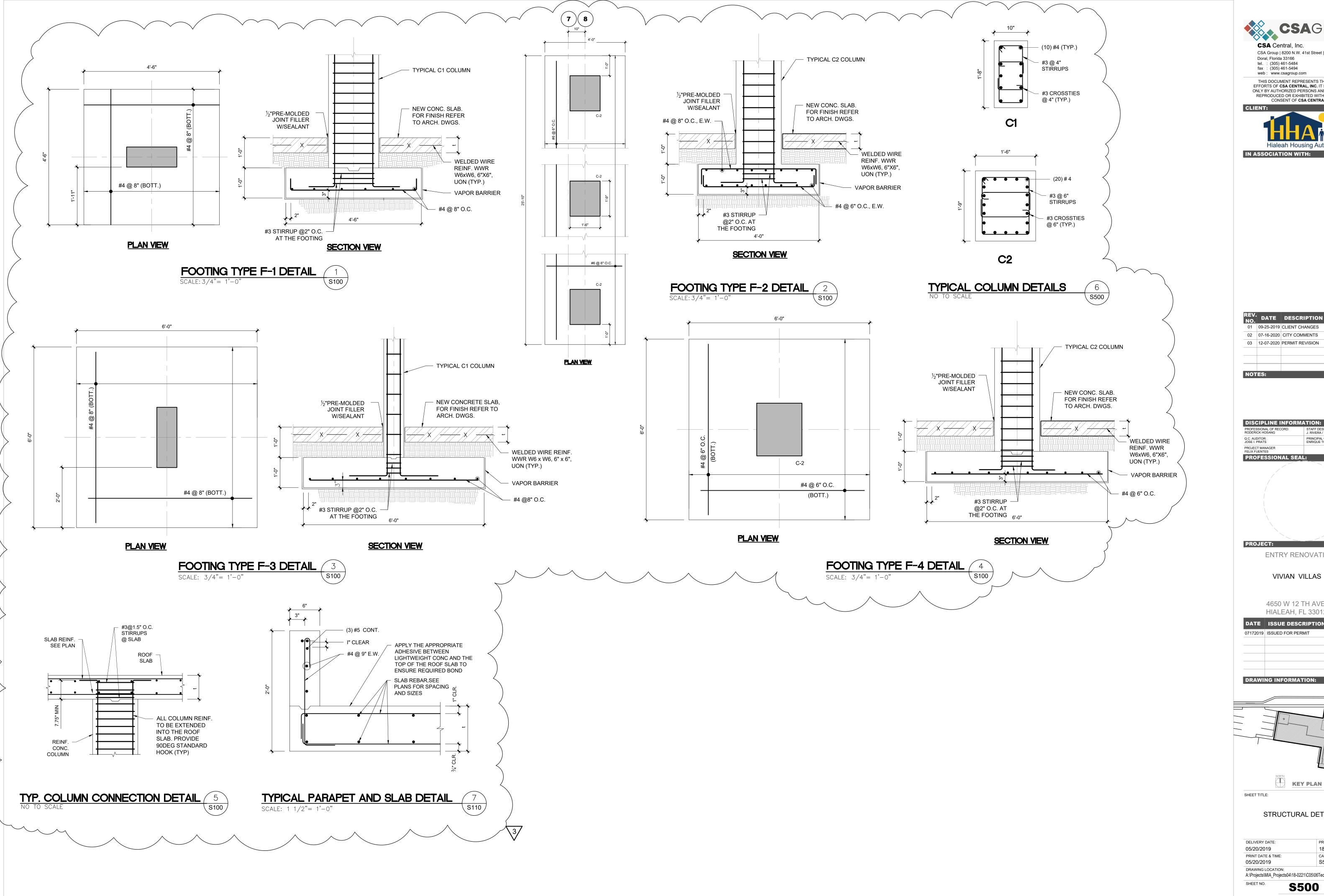
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01 OF **02** 









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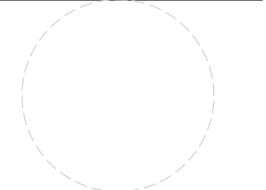
Doral, Florida 33166 tel. : (305) 461-5484 fax : (305) 461-5494

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REV. DATE DESCRIPTION 01 09-25-2019 CLIENT CHANGES 02 07-16-2020 CITY COMMENTS

STAFF DESIGNER: J. RIVERA / M. GHODSIFASAEI

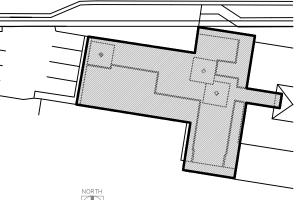


**ENTRY RENOVATION** 

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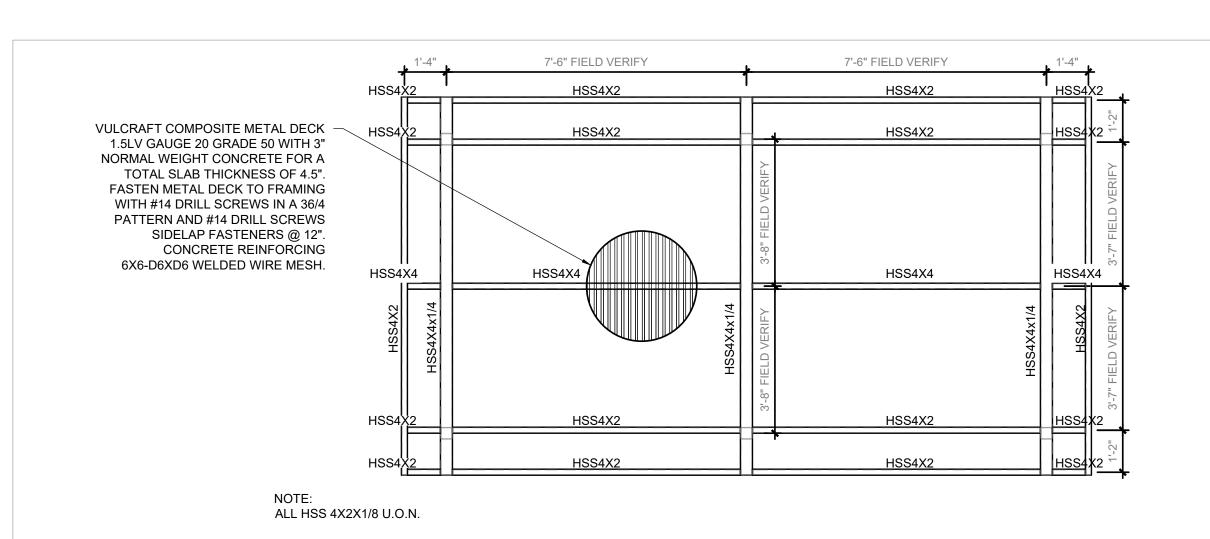


KEY PLAN

STRUCTURAL DETAILS

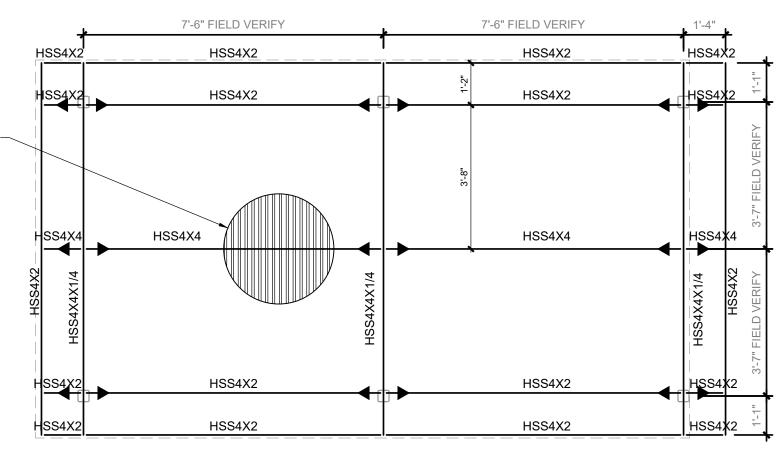
DELIVERY DATE: PROJECT NUMBER: 18-0221 C05 PRINT DATE & TIME: CAD FILE NAME: S500 DRAWING LOCATION: A:\Projects\MIA\_Projects04\18-0221\C05\06Technical\07Structure\DWG **S500** 

05° **02** 



STEEL CANOPY ROOF PLAN
SCALE: NTS

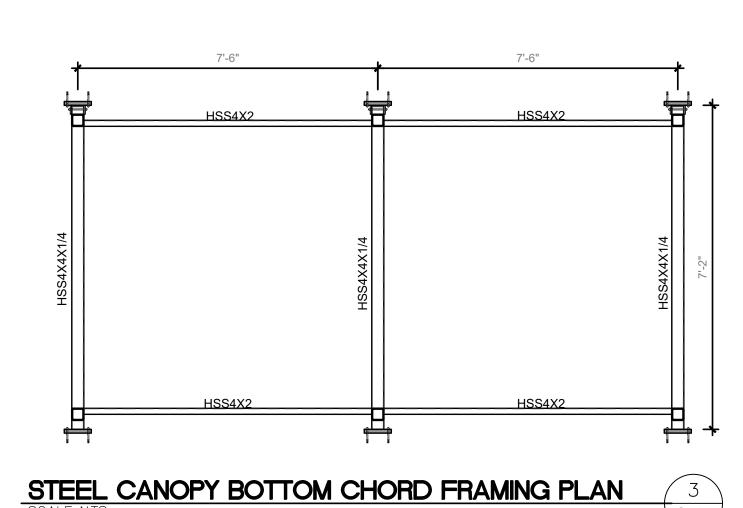
VULCRAFT COMPOSITE METAL DECK -1.5VL GAUGE 20 GRADE 50 WITH 3" NORMAL WEIGHT CONCRETE FOR A TOTAL SLAB THICKNESS OF 4.5". FASTEN METAL DECK TO FRAMING WITH #14 DRILL SCREWS IN A 36/4 PATTERN AND #14 DRILL SCREWS SIDELAP FASTENERS @ 12". CONCRETE REINFORCING 6X6-D6XD6 WELDED WIRE MESH.

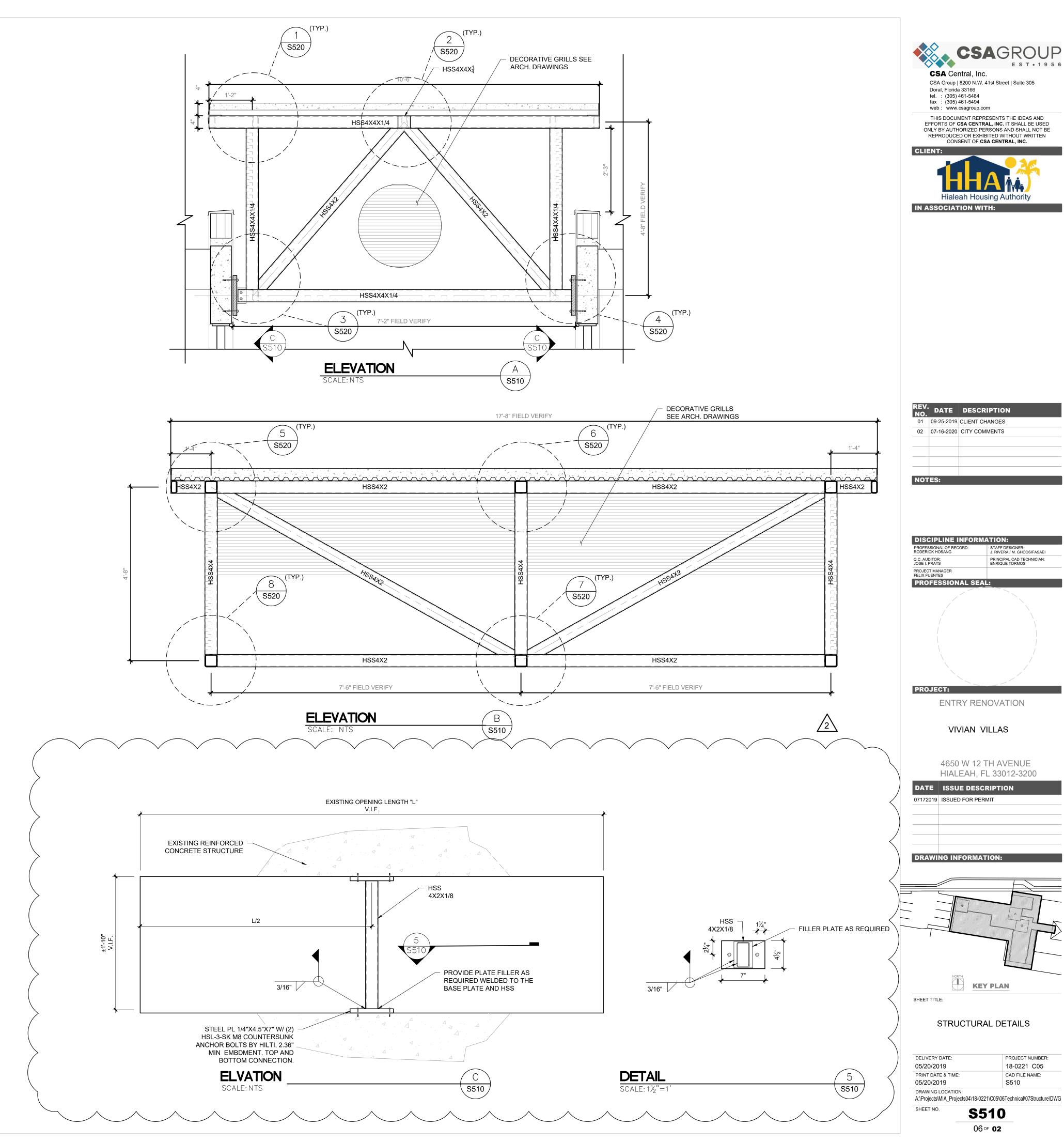


► FULLY RESTRAINED CONNECTION

STEEL CANOPY ROOF FRAMING PLAN S510

NOTE: ALL HSS 4X2X1/8 U.O.N.



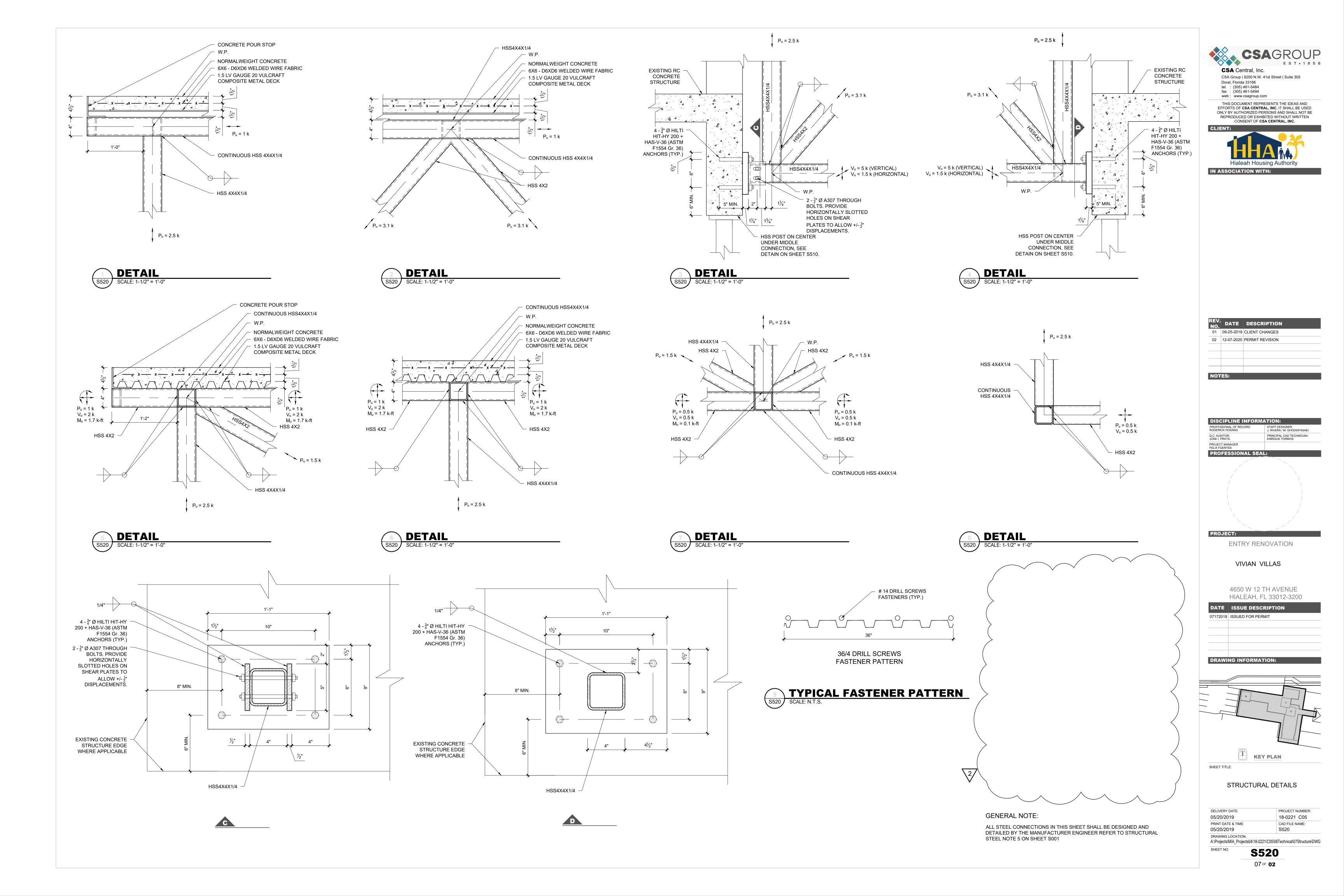


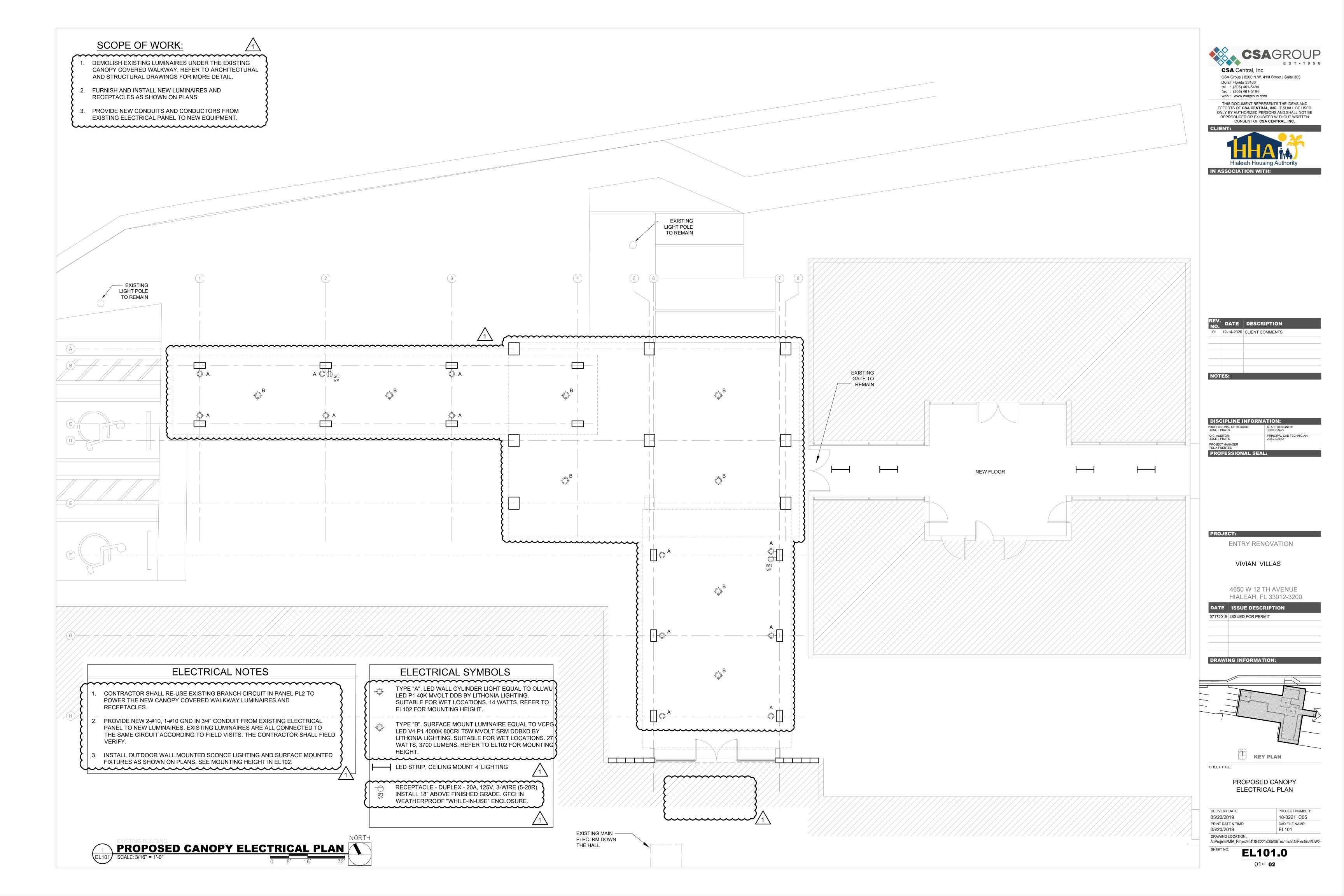
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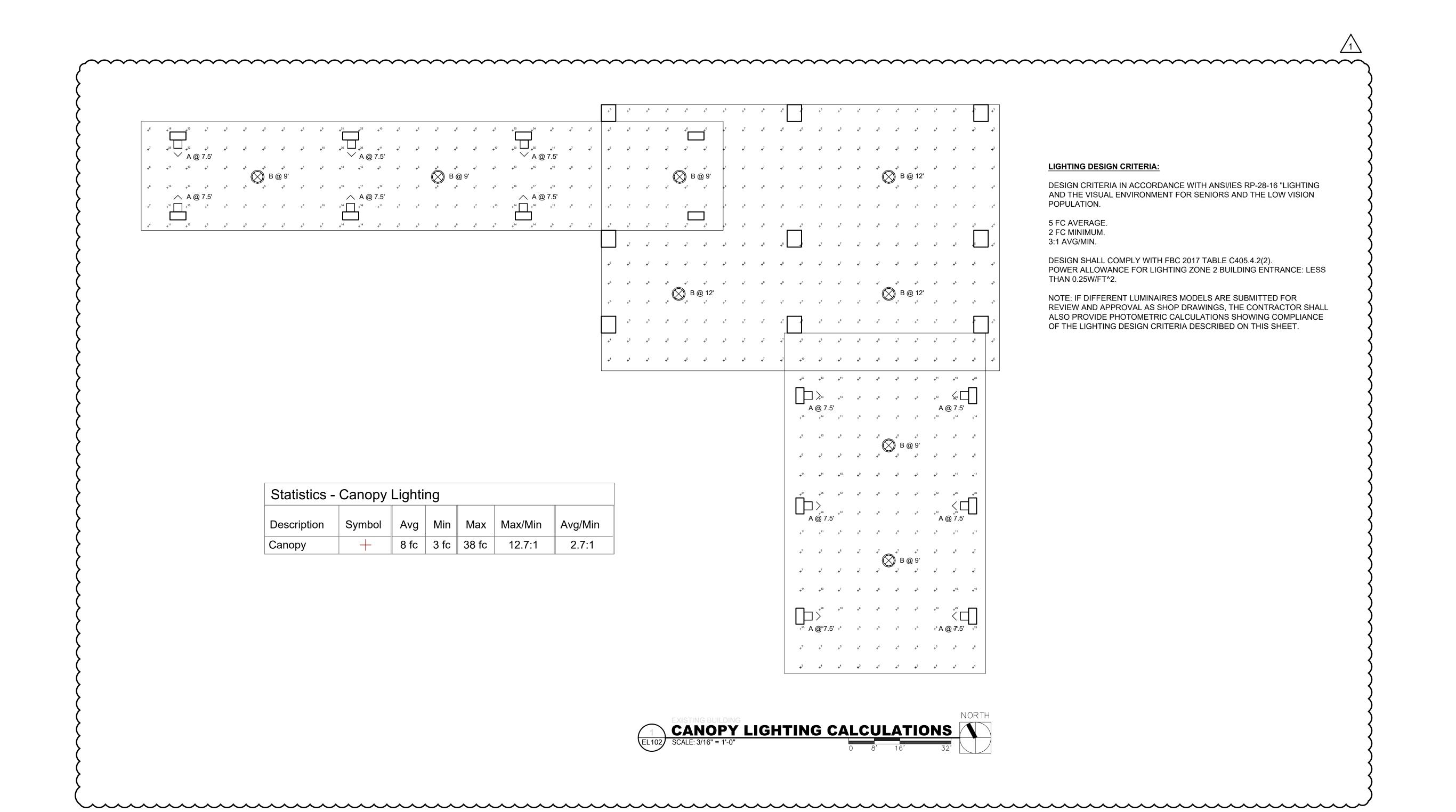
18-0221 C05

CAD FILE NAME:

S510









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	нот	ES:			
	DISC	IPLINE I	NFORM <i>A</i>	TION:	
	ROFESS JOSE I. F	IONAL OF RECO	ORD:	STAFF DESIGNER JOSE CANO	:

PRINCIPAL CAD TECHNICIAN: JOSE CANO

NO. DATE DESCRIPTION

01 12-14-2020 CLIENT COMMENTS

PROJECT:

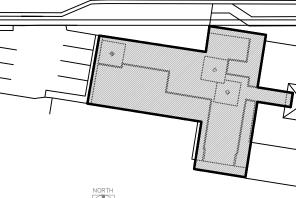
PROJECT MANAGER FELIX FUENTES

ENTRY RENOVATION

VIVIAN VILLAS

4650 W 12 TH AVENUE HIALEAH, FL 33012-3200

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KEY PLAN

CANOPY LIGHTING CALCULATIONS

DELIVERY DATE: PROJECT NUMBER: 05/20/2019 18-0221 C05 PRINT DATE & TIME: CAD FILE NAME: 05/20/2019 EL102 DRAWING LOCATION: A:\Projects\MIA\_Projects04\18-0221\C05\06Technical\15Electrical\DWG

**EL102.0** 02° 02