

STANDARD ABBREVIATIONS:

&	AND	L	CHANNEL	φ	ROUND
∠	ANGLE	#	NUMBER	□	SQUARE
@	AT SPACING OF	d	PENNY	X	WIDTH X HEIGHT
B.M.	BENCH MARK	⊥	PERPENDICULAR	W/	WITH
⊕	CENTER LINE	⊞	PLATE		

NOTE:
NOT ALL ABBREVIATIONS NECESSARILY USED SYMBOLS USED AS ABBREVIATIONS

MATERIAL DESIGNATIONS:

	STRUCTURAL CONCRETE (CAST IN PLACE OR PRECAST)		INSULATION (RIGID)
	METAL		FIBERBOARD
	PLYWOOD		ACOUSTICAL TILE TILE (CERAMIC, BRICK OR QUARRY)
	HARDWOOD FINISH		GYPSUM WALL BOARD
	INSULATION (LOOSE OR BATT)		PLASTER, SAND, CEMENT, GROUT
	EARTH		GRAVEL

CODE COMPLIANCE:

ALL WORK SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES OF RECORD:
 *FLORIDA BUILDING CODE 2017.
 *FLORIDA FIRE PREVENTION CODE 2017.
 *NFPA 101 LIFE SAFETY CODE 2015 EDITION.
 *FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION 2017 EDITION.
 *FEMA MAPS.
 *FLORIDA PLUMBING CODE 2017 EDITION.
 *ASCE 7-10 EDITION.
 *NEC 2014 EDITION.
 *NFPA 13 2013 EDITION.
 *FLORIDA BUILDING CODE - ENERGY 2017.
 *FLORIDA BUILDING CODE - EXISTING BUILDINGS 2017
 *NFPA 70

OCCUPANCY & USE:

Classification : R-2 RESIDENTIAL AS PER SECTION 310 (302.5 EXISTING CODE)

LEGAL DESCRIPTION:

TOWN OF HIALEAH
 PB 5-77
 LOTS 1 THRU 32 BLK 1 LESS A PORT
 OF LOTS 1 THRU 6 & 25 THRU 32
 BLK 1 DESC COMM AT SE COR OF SELY
 OF SEC TH S 87 DEG W 2285.94FT
 N 50 DEG W 30.98FT N 39 DEG E
 10.15FT FOR POB TH N 50 DEG W
 385.01FT N 16 DEG W 9.56FT SELY
 AD 394.27FT S 50 DEG E 20.76FT

INDEX OF DRAWINGS

SHEET LIST TABLE

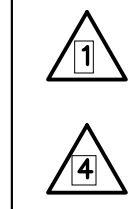
SHT #	DWG #	SHEET DESCRIPTION	REVISION #
GENERAL			
1	G001	COVER	
2	G002	ADA ISSUES	
ARCHITECTURE			
1	A001	ARCHITECTURAL NOTES	
2	A100	SITE PLAN	
3	A101.1	DEMOLITION PLAN	
4	A102.1	PROPOSED LAUNDRY AND BATHROOM	
5	A102.2	PROPOSED LAUNDRY ROOM INTERIOR ELEVATIONS AND SCHEDULES (CONT)	
6	A500.1	PROPOSED LAUNDRY ROOM DETAILS	
CIVIL			
1	C001	CIVIL NOTES	
2	CD101	DEMOLITION PLAN	
3	CS100	PROPOSED GRADING PLAN	
MECHANICAL			
1	MH101	BATHROOM VENTILATION FLOOR PLAN, SCHEDULES, DETAIL AND NOTES	
PLUMBING			
1	PL000	PLUMBING GENERAL NOTES	
2	PL101.1	PLUMBING DEMOLITION AND NEW PARTIAL FLOOR PLAN WATER AND SANITARY DISTRIBUTION	
3	PL500.1	PLUMBING DETAILS	
ELECTRICAL			
1	E001	ELECTRICAL LEGEND AND NOTES	
2	E100	SITE PLAN	
3	E101	DEMOLITION PLAN	
4	E102	FLOOR PLAN AND REFLECTED CEILING PLAN	
5	E200	LIGHTING CALCULATIONS	
6	E600	ONE LINE DIAGRAM	

SCOPE OF WORK:

VCA/ADA IMPROVEMENTS AT EXISTING LAUNDRY ROOM AND EXTERIOR RAMPS

METHOD & LEVEL OF ALTERATION:

WORK AREA COMPLIANCE METHOD
 LEVEL 2 ALTERATION
 AS PER 301.1.2



PALM CENTRE

150 EAST 1ST AVENUE
 HIALEAH, FL 33010
 CSA GROUP PROJECT No. : 18-0221

OWNER:

HIALEAH HOUSING AUTHORITY
 CAPITAL FUND PROGRAM DEPARTMENT
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 MARIO DIAZ, VICE CHAIRMAN
 FARA ALVAREZ, COMMISSIONER
 BARBARA HERNANDEZ, COMMISSIONER
 JULIO PONCE, EXECUTIVE DIRECTOR



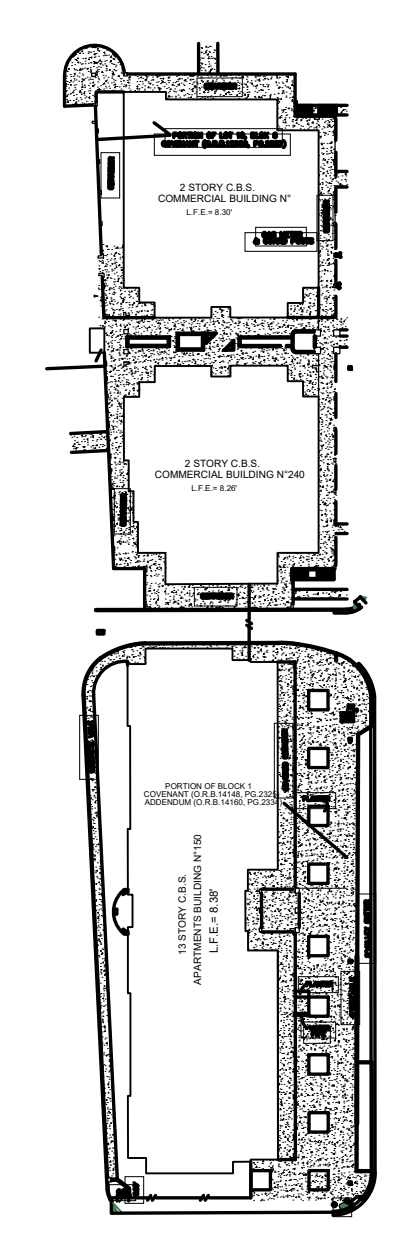
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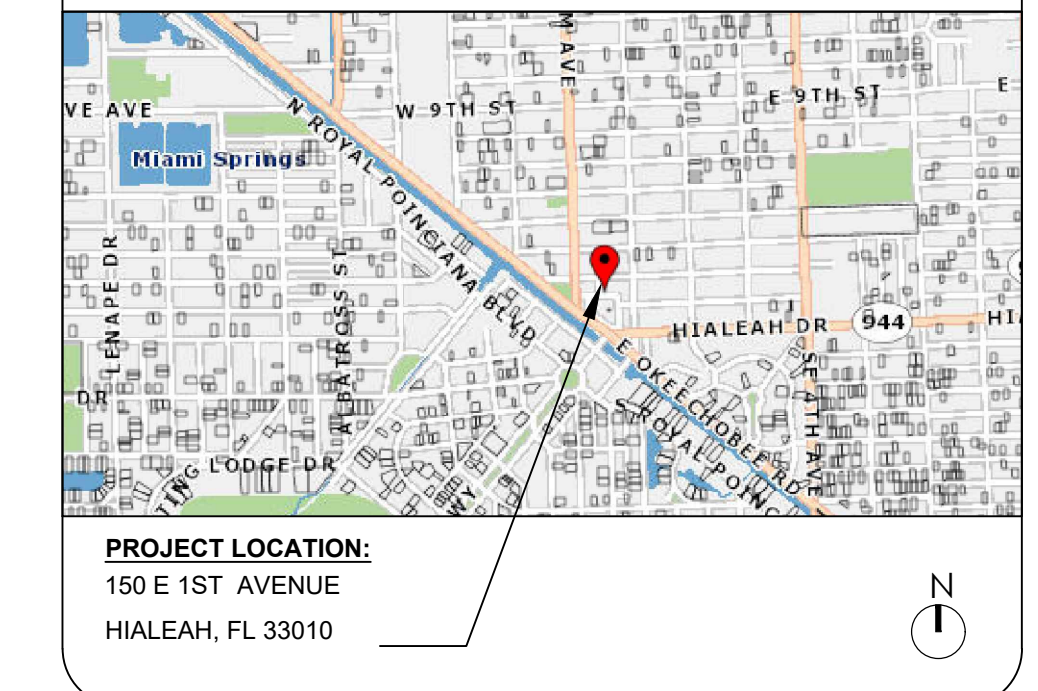
ABBREVIATIONS

A/C	AIR CONDITIONING	CONC	CONCRETE	FHC	FIRE HOSE CABINET	MO	MASONRY OPENING	RL	RAIL (ING)
ACT	ACOUSTICAL TILE	CONSTR	CONSTRUCTION	FIN	FINISH (ED)	MT	MOUNT (ING)	RM	ROOM
ADD	ADDENDUM/ADHESIVE	CONT	CONTINUOUS OR CONTINUE	FLR	FLOOR(ING)	MTD	MOUNTED	RO	ROUGH OPENING
ADJ	ADJUSTABLE	CONTR	CONTRACT (OR)	FR	FRAME (D) (ING)	MTG	MEETING	RWL	RAINWATER LEADER
ADM	ADMIN/ADMINISTRATION	CORR	CORRIDOR	FT	FOOT	FOOT	FOOT	SA S/A	SUPPLY AIR
A/E	ARCHITECT/ENGINEER	CPT	CARPET (ED)	FTG	FOOTING	N	NORTH	SAN	SANITARY
AFF	ABOVE FINISHED FLOOR	CWSR	CHILLED WATER SUPPLY AND RETURN	FU	FURR (ED) (ING)	NIC	NOT IN CONTRACT	SCH	SCHEDULE
ALUM	ALUMINUM	CUFT	CUBIC FEET (FOOT)	FIXT	FIXTURE	NO	NUMBER	SECT	SECTION
ALT	ALTERNATE	CUIN	CUBIC INCH CUBIC YARD CUYD	GA	GAGE, GAUGE	NOM	NOMINAL	SGP	SEMI GLOSS PAINT
ANC	ANCHOR (AGE)	DBL	DOUBLE	GALV	GALVANIZED	NTS	NOT TO SCALE	SH	SHELF
ANT	ANTENNA	DECOR	DECORATIVE	GC	GENERAL CONTRACT (OR)	O/A	OUTSIDE AIR	SHT	SHEET
APPROX	APPROXIMATE	DEPT	DEPARTMENT	GL	GLASS, GLAZING	OC	ON CENTER (S)	SIM	SIMILAR
ARCH	ARCHITECT (URAL)	DET	DETAIL	GRND	GROUND	OD	OUTSIDE DIAMETER	SMT	SEALANT
AUTO	AUTOMATIC	DF	DRINKING FOUNTAIN	CHWB	GYPSUM WALLBOARD	OH	OVERHEAD	SC	SMOOTH CONCRETE
AVG	AVERAGE	DIA	DIAMETER DIA	GYP	GYPSUM	OPNG	OPENING	SL	SLOPE
BD	BOARD	DIM	DIMENSION	HB	HOSE BIBB	OPP	OPPOSITE	SPEC	SPECIFICATION
BEL	BELOW	DISP	DISPENSER	HC	HANDICAP	OS	OVERFLOW SCUPPER	SQ	SQUARE
BTW	BETWEEN	DN	DOWN	HDR	HEADER	PC	PRECAST	SST	STAINLESS STEEL
BLDG	BUILDING	DO	DOOR OPENING	HDW	HARDWARE	PORC	PORCELAIN	STL	STEEL
BLK	BLOCK	DR	DOOR	HM	HOLLOW METAL	PERF	PERFORATE (D)	STD	STANDARD
BLKG	BLOCKING	DS	DOWNSPOUT & SCUPPER	HORIZ	HORIZONTAL	PERP	PERPENDICULAR	STO	STORAGE
BM	BENCH MARK	DWG	DRAWING	HP	HIGH POINT	PL	PLATE	STRUC	STRUCTURE
BO	BOTTOM OF	E/A	EXHAUST AIR	HT	HEIGHT	PLAM	PLASTIC LAMINATE	SUPV	SUPERVISOR
BOTT	BOTTOM	EA	EACH	HVAC	HEATING/VENTILATING/AIR CONDITIONING	PLAS	PLASTER	SUR	SURFACE
BW	BOTH WAYS	EF	EXHAUST FAN	HW	HOT WATER HEATER	PLS	PLASTIC	SUSP	SUSPENDED
C/C	CENTER TO CENTER	EF	EXPANDED JOINT	INCL	INCLUDE (D) (ING)	PNEU	PNEUMATIC	SYM	SYMMETRICAL
CC	CENTER TO CENTER	EL	ELEVATION	INS	INSULATE (D) (ING)	PNL	PANEL	SVS	SYSTEM
CAB	CABINET	ELEC	ELECTRIC (AL)	INT	INTERIOR	PREFAB	PREFABRICATED (D)	TEL	TELEPHONE
CAM	CAMERA	EWC	ELECTRIC WATER COOLER	JT	JOINT	PREP	PREPARATION	TEMP	TEMPERED
CD	CONDENSATE DRAIN	ELEV	ELEVATOR	PSF	POUNDS PER SQUARE FOOT	PSF	POUNDS PER SQUARE FOOT	THK	THICK (NESS)
CEM	CEMENT	EMER	EMERGENCY	PT	PRESSURE TREATED	PSI	POUNDS PER SQUARE INCH	TKT	TICKET
CER	CERAMIC	EQU	EQUAL	PTD	PAINT (ED)	L	LENGTH	TO	TOP OF
CIR	CIRCLE	EQUIP	EQUIPMENT	PVC	POLYVINYL CHLORIDE	PTD	PAINT (ED)	TS	TUBE STEEL
CIR	CIRCUMFERENCE	EQUIV	EQUIVALENT	PAVE	PAVEMENT	PVE	POLYESTER	TYP	TYPICAL
CJ	CONTROL JOINT	EXH	EXHAUST	PAY	PAYMENT	UNL	UNLIMITED	UGND	UNDERGROUND
CL	CENTER LINE	EXIST	EXISTING	PND	PLYWOOD	UNL	UNLIMITED	UON	UNLESS OTHERWISE NOTED
CLF	CHAIN LINK FENCE	EXP	EXPANSION	QTY	QUANTITY	VEH	VEHICLE	VEN	VENEER
CLG	CEILING	EP	EPOXY-PAINTED	RA R/A	RETURN AIR	VERT	VERTICAL	VEST	VESTIBULE
CLOS	CLOSET	EXPO	EXPOSED TO STRUCTURE	RAD	RADIUS	VIF	VERIFY IN FIELD	VOL	VOLUME
CLR	CLEAR (ANCE)	EXT	EXTERIOR	RUB	RUBBER COVE BASE	VTR	VENT THROUGH ROOF	VTR	VENT THROUGH ROOF
CMU	CONCRETE MASONRY UNIT	FA	FIRE ALARM	RD	ROOF DRAIN	VCT	VINYL COMPOSITION TILE	W/	WITH
C.O.	CLEAN OUT	FCA	FIRE CONTROL ASSEMBLY	REC	RECEPTACLE	W/O	WITHOUT	W/C	WATER CLOSET
COL	COLUMN	FCU	FAM COIL UNIT	RECEP	RECEPTION	WD	WOOD	WDW	WINDOW
COMM	COMMUNICATIONS	FDR	FLOOR DRAIN	REF	REFERENCE	WM	WIRE MESH	WP	WATERPROOFING
COMP	COMPOSITE	FDC	FIRE DEPT CONNECTION	REF	REFERENCE	WT	WEIGHT	WWF	WELDED WIRE FABRIC
		FE	FIRE EXTINGUISHER	REQD	REQUIRED	WS	WAINSCOT		
		FEC	FIRE EXTINGUISHER CABINET	REF	REFRIGERATOR/FREEZER				
		FG	FIXED GLASS	RFL	REFLECT (ED) (IVE) (OR)				
				RH	RIGHT HAND				

KEY PLAN NOT TO SCALE.

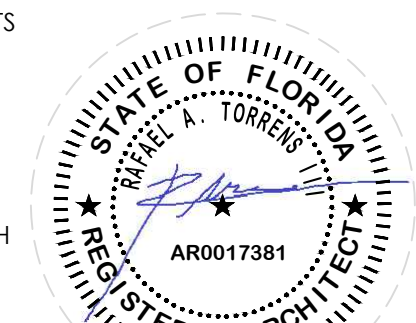


LOCATION MAP



STATEMENT OF COMPLIANCE

I HEREBY CERTIFY THAT ALL THE DOCUMENTS SUBMITTED FOR THIS PROJECT HAVE BEEN COORDINATED AMONG ALL THE FOLLOWING DESIGN AND/OR SPECIALTY DISCIPLINES. THE A/E FIRM ATTEST TO THE BEST OF OUR KNOWLEDGE AND PROFESSIONAL BELIEF, THESE DOCUMENTS ARE COMPLETE AND IN COMPLIANCE WITH THE APPLICABLE STATE CODES, STATUTES, SREF, AND SBBC REQUIREMENTS.



FOR PERMIT

VCA IMPROVEMENTS : PALM CENTRE

Room No. Name	Item No.	Issue	Proposed Correction	Photo
Accessible Parking Spaces by 150 E 1st Av	0001	The surface of the accessible parking spaces is unstable and has loose material.	Rework and clean sidewalk to provide a stable, firm, and slip-resistant floor surface.	
	0002	Accessible parking spaces have a 2" (51 mm) vertical change in level due to the construction.	Rework area and provide a level surface, with a slope no greater than 1:48.	
	0003	The surface of the accessible parking space is unstable and has loose material.	Rework and clean sidewalk to provide a stable, firm, and slip-resistant floor surface.	
	0004	Access aisle has a 2.5 % non-compliant surface slope.	Rework or repave to provide an accessible parking space with surface slope not exceeding 2% in all directions.	
	0005	Accessible parking space does not have an access aisle.	Restripe to provide an accessible parking space with a corresponding 60" (1524 mm) min. wide access aisle (2010 ADA Fig. 502.3).	
	0006	The surface of the accessible parking spaces is unstable and has loose material.	Rework and clean sidewalk to provide a stable, firm, and slip-resistant floor surface.	
	0007	Both accessible parking spaces are not clearly outlined.	Provide an accessible parking space 144" (3.65 m) wide, 18 ft (5.48 m) long, with a 60" (1525 mm) min. wide access aisle and restripe or outline in blue (FBC Fig. 9, FDOT Index # 17346).	
	0008	Signage indicating accessible parking is mounted at 59" (1499 mm) above the finished floor.	Install signage indicating accessible parking that displays the international symbol of accessibility and is mounted at 60" (1524 mm) min. above the finished floor.	
Entrance to 150 E 1st Av	0009	The foot of the ramp is not flush.	The adjacent surfaces at transitions from curb ramps to walks, gutters, and streets shall be at the same level (2010 ADA Fig. 406.2).	
	0010	Door has a 0.5" (13 mm) vertical change in level.	Rework area and provide a 0.25" (6 mm) max. vertical change of level, with a slope no greater than 1:2 or mitigate condition by means of a curb ramp, ramp or platform lift (2010 ADA Fig. 303.2).	
	0011	Highest mailbox key slot is mounted beyond required reach allowed for approach provided and is mounted at 65" (1651 mm) above the finished floor.	Lower or install at 48" (1219 mm) max. above the finished floor for forward approach to object (2010 ADA Fig. 308.2.1).	
	0012	Door facing E 1st Avenue cannot be opened.	Adjust or replace door closer, maintain door hinges to provide an opening force not to exceed 8.5 lbf.	
Parking Garage	0013	Handrails are provided only on one side.	Install continuous handrails on both sides of stairs or ramps and mount between 34" and 38" (863 mm - 965 mm) above the finished floor to top of gripping surfaces, with a clearance of 1.5" (38 mm) min. from the wall (2010 ADA Fig. 505.4, Fig. 505.5).	
	0014	Ramp has a 11.3 % non-compliant running slope.	Rework ramp to provide a running slope not exceeding 8.33%.	
	0015	Handrails are not continuous.	Install continuous handrails on both sides of stairs or ramp and mount between 34" and 38" (863 mm - 965 mm) above the finished floor to top of gripping surfaces, with a clearance of 1.5" (38 mm) min. from the wall (2010 ADA Fig. 505.4, Fig. 505.5).	
	0016	Accessible route has a non-compliant running slope of 10 %.	Rework or repave accessible route to provide a running slope not exceeding 5%.	
	0017	Bottom of the ramp has a 0.5" (13 mm) vertical change in level.	Rework area and provide a 0.25" (6 mm) max. vertical change of level, with a slope no greater than 1:2 or mitigate condition by means of a curb ramp, ramp or platform lift (2010 ADA Fig. 303.2).	
	0018	Handrails are provided only on one side.	Install continuous handrails on both sides of stairs or ramps and mount between 34" and 38" (863 mm - 965 mm) above the finished floor to top of gripping surfaces, with a clearance of 1.5" (38 mm) min. from the wall (2010 ADA Fig. 505.4, Fig. 505.5).	
	0019	West ramp has a 9.13 % non-compliant running slope.	Rework ramp to provide a running slope not exceeding 8.33%.	
	0020	Sidewalk does not have a curb ramp where accessible route crosses curb.	Rework sidewalk to provide a curb ramp with an 8.33% max. running slope that does not project into vehicular traffic lanes (ADAAG Fig. 15).	
	0021	Ramp leading to the elevator has a 8.8 % non-compliant running slope.	Rework ramp to provide a running slope not exceeding 8.33%.	
	0022	Top of the ramp has a non-compliant cross slope of 2.3 %.	Rework or repave to provide a cross slope not exceeding 2%.	
	0023	Handrails are provided only on one side (SW corner of the parking garage).	Install continuous handrails on both sides of stairs or ramps and mount between 34" and 38" (863 mm - 965 mm) above the finished floor to top of gripping surfaces, with a clearance of 1.5" (38 mm) min. from the wall (2010 ADA Fig. 505.4, Fig. 505.5).	
	0024	Ramp has a 8.7 % non-compliant running slope.	Rework ramp to provide a running slope not exceeding 8.33%.	
	0025	Bottom landing has a non-compliant 3 % surface slope.	Rework landing to provide a surface slope not exceeding 2% in all directions (2010 ADA Fig. 406.2).	
	0026	Sidewalk does not have a curb ramp where accessible route crosses curb.	Rework sidewalk to provide a curb ramp with an 8.33% max. running slope that does not project into vehicular traffic lanes (ADAAG Fig. 15).	

Laundry Room - 150 E 1st Av	0027	Non-compliant knob-type door hardware, requiring grasping and turning of the wrist to operate.	Replace or retrofit with system operable with one hand, not requiring pinching, tight grasping or turning of the wrist to operate.	
	0028	Permanent room identifying signage does not have Braille or raised characters and is mounted on the door leaf.	Provide signage on latch side with raised characters and grade 2 Braille, mounted at 48 inches min. measured from the baseline of the lowest tactile character and 60 inches max. from the baseline of the highest tactile character (2010 ADA Fig. 703.4.1).	
	0029	Door has a non-compliant door opening force of 7 lbf.	Adjust or replace door closer, maintain door hinges to provide an opening force not to exceed 5 lbf.	
	0030	Maneuvering clearance on the pull side of the door is 5" (127 mm).	Relocate cabinet to provide the required 18" (457 mm) min. maneuvering clearance on the pull side of the door beyond the latch side and 60" (1524 mm) min. deep clear floor level area with slopes not exceeding 1:48 (2010 ADA Fig. 404.2.4.1).	
	0031	Washer / dryer is not front-loading type.	Replace washer-dryer for a front-loading type unit.	
	0032	Sink knob-type faucet requires pinching and tight grasping to operate.	Replace or retrofit lavatory controls with paddle-operated, push-type or electronically-controlled mechanism.	
	0033	Fire extinguisher is mounted beyond required reach allowed for approach provided and is mounted at 52" (1321 mm) above the finished floor.	Lower or install at 48" (1219 mm) max. above the finished floor for forward approach to object (2010 ADA Fig. 308.2.1).	
	0034	Sink encroaches over fire extinguisher's clear floor space.	Relocate fire extinguisher to provide a 30" by 48" (762 mm by 1219 mm) min. wheelchair clear floor space (2010 ADA Fig. 303.3.3.6.5).	
	0035	Counter and/or work surface is mounted at 36" (914 mm) above the finished floor to the top.	Rework/replace to provide the top of the dining or work surface, mounted between 28" (710 mm) min. and 34" (865 mm) max. above the finished floor or ground.	
	0036	Clothes rod is mounted beyond required reach allowed for approach provided and is mounted at 73" (1854 mm) above the finished floor.	Lower or install at 48" (1219 mm) max. above the finished floor for forward approach to object (2010 ADA Fig. 308.2.1).	
	0037	Coin changer machine is mounted beyond required reach allowed for approach provided and is mounted at 64.5" (1638 mm) above the finished floor.	Lower or install at 48" (1219 mm) max. above the finished floor for forward approach to object (2010 ADA Fig. 308.2.1).	
	0038	Doorway has a 1" (25 mm) vertical change of level at threshold.	Rework door threshold to provide a 0.5" (12 mm) max. change of level, beveled with a slope no greater than 1:2.	
	0039	Counter and/or work surface is mounted at 36" (914 mm) above the finished floor to the top.	Rework/replace counter to provide the top of the dining or work surface, mounted between 28" (710 mm) min. and 34" (865 mm) max. above the finished floor or ground.	
	0040	Dispenser is mounted beyond required reach allowed for approach provided and is mounted at 59.75" (1518 mm) above the finished floor.	Lower or install at 48" (1219 mm) max. above the finished floor for forward approach to object (2010 ADA Fig. 308.2.1).	
Bathroom at Laundry Room	0041	Counter and/or work surface is mounted at 35.75" (908 mm) above the finished floor to the top.	Rework/replace to provide the top of the dining or work surface, mounted between 28" (710 mm) min. and 34" (865 mm) max. above the finished floor or ground.	
	0042	Laundry room does not provide the required diameter wheelchair turnaround space in room.	Rework equipment and/or offset partitions to provide the required clear 60" (1524 mm) min. diameter wheelchair turnaround space or a T-shaped space (2010 ADA Fig. 304.3.2).	
	0043	Non-compliant knob-type door hardware, requiring grasping and turning of the wrist to operate.	Replace or retrofit with system operable with one hand, not requiring pinching, tight grasping or turning of the wrist to operate.	
	0044	Bathroom is 51" (1295 mm) wide and does not provide the required diameter wheelchair turnaround space in room.	Reconfigure room's fixtures and/or offset partitions to provide the required clear 60" (1524 mm) min. diameter wheelchair turnaround space or a T-shaped space (2010 ADA Fig. 304.3.2).	
	0045	Water closet does not have a side wall grab bar.	Install a 42" (1066 mm) min. long side wall grab bar at 54" (1371 mm) min. from rear wall to centerline of outer flange and mount at 33"-36" (838 mm - 914 mm) above the finished floor to the top of the gripping surface (2010 ADA Fig. 604.5.1).	
	0046	Water closet does not have a rear wall grab bar.	Install a 36" (914 mm) min. long rear wall grab bar and mount between 33" and 36" (838 mm - 914 mm) above the finished floor to the top of the gripping surface (2010 ADA Fig. 604.5.2).	
	0047	Water closet is centered at 19.25" (489 mm) from side wall.	Relocate water closet and center between 16" and 18" (406 mm - 457 mm) from side wall (2010 ADA Fig. 604.2).	
	0048	Lavatory does not provide the required knee clearance.	Rework lavatory to provide the required 27" (685 mm) min. knee clearance above the finished floor to bottom leading edge of fixture at an 8" (203 mm) min. horizontal projection (2010 ADA Fig. 306.3).	
	0049	Lavatory mirror is mounted at 57" (1448 mm) above the finished floor to bottom edge of its reflecting surface.	Lower lavatory mirror to 40" (1016 mm) max. above the finished floor to bottom edge of its reflecting surface.	
	0050	Paper towel dispenser is mounted beyond required reach allowed for approach provided and is mounted at 61" (1549 mm) above the finished floor.	Lower or install at 48" (1219 mm) max. above the finished floor for forward approach to object (2010 ADA Fig. 308.2.1).	
Accessible Parking Spaces by 60 E 3rd St	0051	The surface of the accessible parking spaces is unstable and has loose material.	Rework and clean sidewalk to provide a stable, firm, and slip-resistant floor surface.	
	0052	Access aisle has a 2.9 % non-compliant surface slope.	Rework or repave to provide an accessible parking space with surface slope not exceeding 2% in all directions.	
	0053	Accessible parking space on the left has a 2.7 % non-compliant surface slope.	Rework or repave to provide an accessible parking space with surface slope not exceeding 2% in all directions.	
	0054	Accessible parking space on the right has a 3.7 % non-compliant surface slope.	Rework or repave to provide an accessible parking space with surface slope not exceeding 2% in all directions.	
	0055	Accessible parking space on the right has a 0.5" (13 mm) vertical change in level.	Rework or repave to provide a level accessible parking space with surface slope not exceeding 2% in all directions.	
	0056	Build-up curb ramp encroaches over access aisle and both accessible parking spaces.	Rework sidewalk to provide a curb ramp with a 8.33% max. running slope that does not project into access aisle and accessible parking spaces.	

Laundry Room - 60 E 3rd St	0057	Permanent room identifying signage does not have Braille or raised characters and is mounted on the door leaf.	Provide signage on latch side with raised characters and grade 2 Braille, mounted at 48 inches min. measured from the baseline of the lowest tactile character and 60 inches max. from the baseline of the highest tactile character (2010 ADA Fig. 703.4.1).	
	0058	Doorway has a 0.75" (19 mm) vertical change of level at threshold.	Rework door threshold to provide a 0.5" (12 mm) max. change of level, beveled with a slope no greater than 1:2.	
	0059	Dryer encroaches over maneuvering clearance on the pull side of the door.	Relocate encroaching item to provide the required 18" (457 mm) min. maneuvering clearance on the pull side of the door (2010 ADA Fig. 404.2.4.1).	
	0060	Laundry room is 51.5" (1308 mm) wide and does not provide the required diameter wheelchair turnaround space in room.	Relocate washers & dryers and/or offset partitions to provide the required clear 60" (1524 mm) min. diameter wheelchair turnaround space or a T-shaped space (2010 ADA Fig. 304.3.2).	
Walkway - 60 E 3rd St	0061	Door has a 0.5" (13 mm) vertical change in level.	Rework area and provide a 0.25" (6 mm) max. vertical change of level, with a slope no greater than 1:2 or mitigate condition by means of a curb ramp, ramp or platform lift (2010 ADA Fig. 303.2).	
Elevators - 60 E 3rd St	0062	Highest button is mounted beyond required reach allowed for approach provided and is mounted at 64.5" (1638 mm) above the finished floor.	Lower or install at 48" (1219 mm) max. above the finished floor for forward approach to object (2010 ADA Fig. 308.2.1).	



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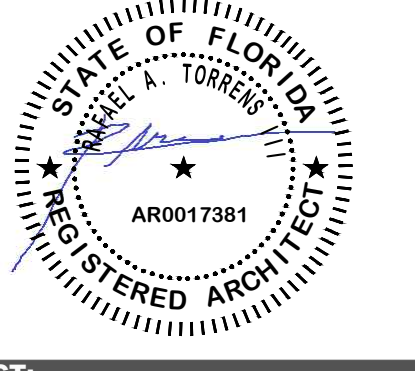
IN ASSOCIATION WITH:

REV. NO.	DATE	DESCRIPTION

NOTES:

DISCIPLINE INFORMATION:	
PROFESSIONAL OF RECORD: RABEAL A TORRES	STAFF ENGINEER: JAVIER PUERTO
Q.C. AUDITOR: RABEAL A TORRES	PRINCIPAL CAD TECHNICIAN: JAVIER PUERTO
PROJECT MANAGER: YELLY RENTERIA	

PROFESSIONAL SEAL:

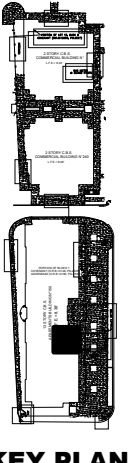


PROJECT:

VCA IMPROVEMENTS
 PALM CENTRE
 150 EAST 1ST AVENUE
 HIALEAH, FL 33010

DATE	ISSUE DESCRIPTION
07/12/2019	ISSUED FOR PERMIT

DRAWING INFORMATION:



KEY PLAN

SHEET TITLE:

ADA ISSUES

DELIVERY DATE: 04/10/2019	PROJECT NUMBER: 18-0221-06
PRINT DATE & TIME: 04/10/2019	CAD FILE NAME: G002
DRAWING LOCATION: A:\Projects\m\m_projects\0418-0221\0106\Technical\08Architecture\DWG	
SHEET NO.	G002

GENERAL NOTES

GENERAL NOTES - ARCHITECTURAL

1. GOVERNING BUILDING CODE :

THE WORK OF THIS CONTRACT SHALL CONFORM WITH THE REQUIREMENTS OF THE FOLLOWING GOVERNING CODES & STANDARDS:

- 2017 FLORIDA BUILDING CODE: BUILDING
- FLORIDA FIRE PREVENTION CODE - SIXTH EDITION - 2017.
- NFPA 101 LIFE SAFETY CODE 2015 EDITION.
- FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION 2017 EDITION.
- SREF 2017 EDITION.
- EXCEPT AS OTHERWISE INDICATED, GOVERNING CODES REFER TO THE EDITION IN FORCE AT THE TIME THESE CONTRACT DOCUMENTS ARE ISSUED FOR PERMIT.

2. DIMENSIONS :

A. FIELD VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR PRIOR TO COMMENCEMENT WITH CONSTRUCTION PHASE.

B. DO NOT SCALE DRAWINGS; USE DIMENSIONS.

3. GENERAL NOTES AND TYPICAL DETAILS :

A. THE GENERAL NOTES & TYPICAL DETAILS APPLY THROUGHOUT THE JOB, EXCEPT AS OTHERWISE INDICATED.

B. DETAILS AND NOTES LABELED "TYPICAL" ON THE DRAWINGS APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED OR NOTED. SUCH DETAILS APPLY WHETHER OR NOT THEY ARE KEYED IN EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS OR NOTES SHALL BE RESPONDED BY THE ARCHITECT.

4. PLANS, SPECIFICATIONS & OTHER CONTRACT DOCUMENTS:

A. THE ARCHITECTURAL DRAWINGS ARE TO BE USED IN CONJUNCTION WITH THE MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AND OTHER DRAWINGS INCLUDED AS PART OF THE CONTRACT DOCUMENTS. THESE ARE GENERAL NOTES & SHALL BE USED IN CONJUNCTION WITH ALL DRAWINGS. IF A CONFLICT EXISTS, THE MORE STRINGENT REQUIREMENT GOVERNS.

B. ALL WORK THAT IS REASONABLY IMPLIED AND/OR INFERRED IN THE CONTRACT DOCUMENTS, DRAWINGS AND/OR AND WHICH IS NECESSARY FOR AND/OR INCIDENTAL TO A COMPLETE INSTALLATION, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

C. THE INCLUSION OF ANY WORK BY MENTION, ANNOTATION, DETAIL, ITEMIZATION, AND/OR OTHER REFERENCE, IMPLICATION, OR INFERENCE, HOWEVER BRIEF, SHALL BE CONSIDERED TO INDICATE THAT THE CONTRACTOR IS TO PROVIDE SUCH WORK AS NECESSARY FOR, AND/OR INCIDENTAL TO A COMPLETE INSTALLATION CONSISTENT WITH THE DESIGN INTENT.

D. REVISIONS: REVISIONS ARE IDENTIFIED BY A REVISION NUMBER WITHIN A TRIANGLE. ALL REVISIONS ISSUED ON A SINGLE DATE WILL BE IDENTIFIED BY THE SAME REVISION NUMBER ISSUED CONSEQUENTLY.

5. FEES, PERMITS, INSPECTIONS, AND APPROVALS :

ALL FEES, PERMITS, INSPECTIONS, APPROVALS, ETC. RELATED TO AND/OR REQUIRED FOR THE WORK OF THIS CONTRACT SHALL BE THE RESPONSIBILITY OF THE OWNER, EXCEPT AS OTHERWISE INDICATED.

6. PROTECTION OF WORK :

ALL WORK, INCLUDING WORK TO REMAIN, COMPLETED WORK, WORK IN PROGRESS, SHALL BE PROPERLY PROTECTED FROM DAMAGE AT ALL TIMES.

A. ALL DEMOLITION WORK SHALL BE PERFORMED WITH CARE, SEEKING NOT TO DISTURB OR DAMAGE THE PORTIONS OF ANY STRUCTURE TO REMAIN.

B. SHOULD THE STRUCTURE TO REMAIN RESULT DAMAGED DURING THE COURSE OF THE WORK, THE CONTRACTOR SHALL REPAIR IT AT HIS/HER EXPENSE.

7. CONSTRUCTION MEANS AND METHODS :

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS & METHODS OF CONSTRUCTION, PROJECT SUPERVISION, & CONSTRUCTION & WORK SITE SAFETY. ACTIONS OF AND/OR INFORMATION PROVIDED BY THE ARCHITECT/ENGINEER SHALL NOT BE CONSTRUED TO RELIEVE THE CONTRACTOR OF THIS RESPONSIBILITY, REGARDLESS OF THE CIRCUMSTANCES.

8. EXAMINATION OF THE CONTRACT DOCUMENTS & SITE :

A. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME COMPLETELY FAMILIAR WITH ALL ASPECTS OF THE PROJECT PRIOR TO SUBMITTING A BID.

B. THE SUBMISSION OF A BID BY THE CONTRACTOR SHALL BE PRIMA FACIE EVIDENCE THAT THE CONTRACTOR HAS EXAMINED COMPLETELY THE ENTIRE WORK SITE, ANALYZED THOROUGHLY ALL CONTRACT DOCUMENTS, AND BECOME FAMILIAR WITH ALL ASPECTS OF THE PROJECT, INCLUDING BUT NOT LIMITED TO THE FOLLOWING CONTRACT CONDITIONS:

- CONTRACT DOCUMENTS, INCLUDES BUT IS NOT LIMITED TO ALL DRAWINGS & SPECIFICATIONS
- PROJECT CONDITIONS, INCLUDING ALL EXISTING CONDITIONS & OWNER'S OPERATIONAL REQUIREMENTS
- REQUIREMENTS OF APPLICABLE CODES AND REFERENCED STANDARDS
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING TO THE A/E AND OBTAINING A/E'S CLARIFICATION OF THE FOLLOWING:
- PRIOR TO SUBMISSION OF A BID, THE CONTRACTOR SHALL REPORT ANY AND ALL APPARENT DISCREPANCIES, ERRORS, AND/OR OMISSIONS WHICH MIGHT AFFECT THE CONTRACT PRICE AND/OR CONTRACT DURATION.
- PRIOR TO THE COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL REPORT ANY & ALL APPARENT DISCREPANCIES, ERRORS, AND/OR OMISSIONS NOT PREVIOUSLY REPORTED.
- ANY WORK RELATED TO ANY APPARENT DISCREPANCIES, ERRORS, AND/OR OMISSIONS NOT REPORTED TO THE A/E, THAT PROCEEDS IN ADVANCE OF CLARIFICATION BY THE A/E, IF INCORRECTLY PERFORMED BY THE CONTRACTOR, SHALL BE PROVIDED, REPLACED OR REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

9. COORDINATION OF WORK :

A. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES PERFORMING WORK UNDER THIS CONTRACT, & FOR COORDINATING THE WORK OF THIS CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADDITIONAL WORK REQUIRED TO CORRECT CONFLICTS BETWEEN TRADES AND/OR BETWEEN NEW WORK & EXISTING FIELD CONDITIONS AFTER THE WORK HAS COMMENCED, AT NO ADDITIONAL COST TO THE OWNER.

B. UPON FINAL COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE OWNER THE PREMISES WITH ALL WORK COMPLETED & FREE OF DEFECTS OF ALL AREAS IN SCOPE OF WORK.

C. PRIOR TO ACCEPTANCE OF THE WORK BY THE OWNER, ALL DAMAGE TO EXISTING & NEW STRUCTURES, GROUNDS, UTILITIES, ETC. AND/OR WORK PERFORMED BY OTHERS WHICH, IN THE OPINION OF THE A/E, IS ATTRIBUTABLE TO THE CONTRACTOR, SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR, AT NO ADDITIONAL COST TO THE OWNER.

D. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS. PRIOR TO COMMENCEMENT OF THE WORK, ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER BY THE CONTRACTOR.

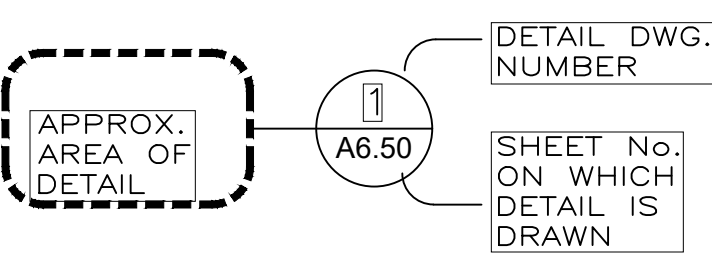
E. THE CONTRACTOR SHALL PROVIDE A "SAFETY PLAN" WHICH DELINEATES AREAS OF CONSTRUCTION AND CONSTRUCTION TRAFFIC DURING PHASES OF THE PROJECT, MAINTAINS REQUIRED EXITS, & PROVIDES FOR BARRIERS & OR TEMPORARY CONSTRUCTION TO SEPARATE CONSTRUCTION AREAS FROM STUDENTS & STAFF. THE PLAN MUST PROVIDE FOR MAINTAINING FIRE DETECTION & WARNING SYSTEMS IN USE WHILE SCHOOL IS OCCUPIED.

10. COORDINATION WITH OWNER :

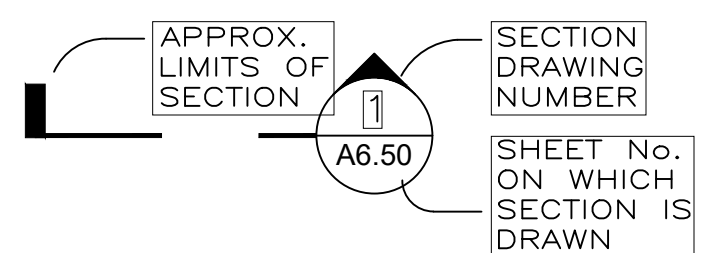
THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE BUILDING OWNER REGARDING SCHEDULING, ACCESS, & SPECIAL REQUIREMENTS WHICH MAY BE REQUIRED BY THE SCOPE OF THE WORK OR BY THE BUILDING OWNER.

GENERAL SYMBOLS LEGEND

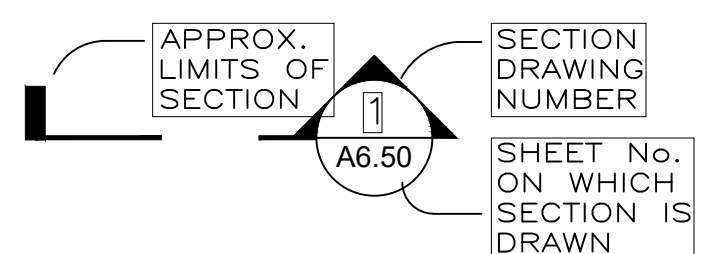
DETAIL REFERENCE SYMBOL



WALL SECTION REFERENCE SYMBOL



BUILDING SECTION REFERENCE SYMBOL



ELEVATION SYMBOL



CENTER LINE



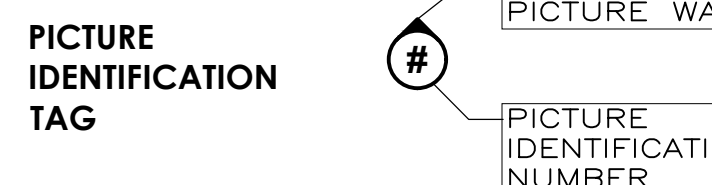
PROPERTY LINE



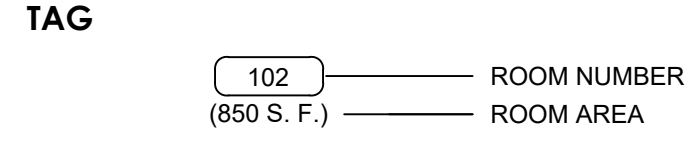
NORTH ARROW



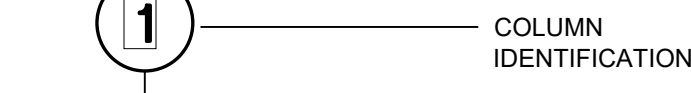
PICTURE IDENTIFICATION TAG



ROOM TAG



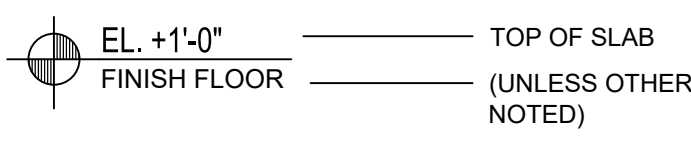
COLUMN IDENTIFICATION



COLUMN GRID LINE



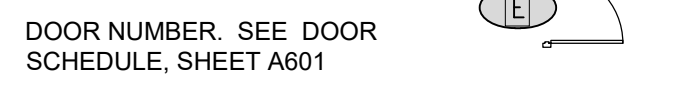
ELEVATION MARK



GRAPHIC SCALE



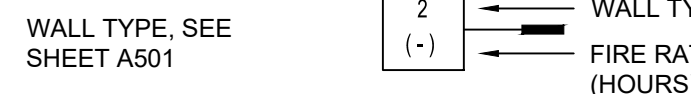
DOOR TYPE



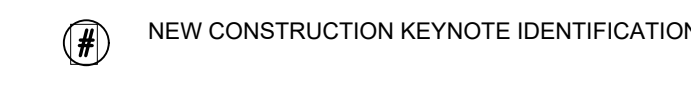
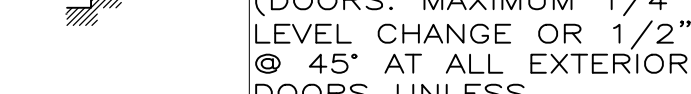
WINDOW TYPE



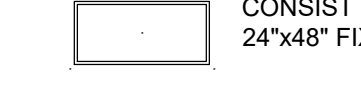
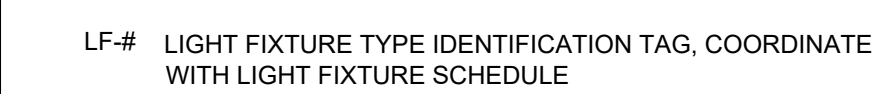
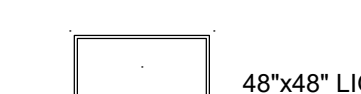
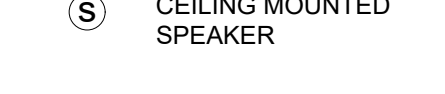
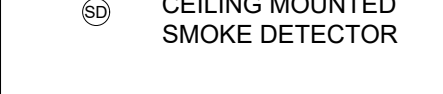
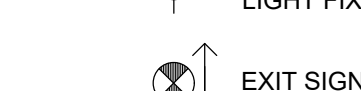
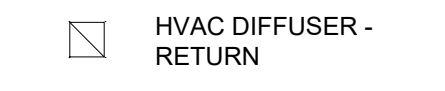
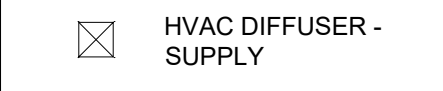
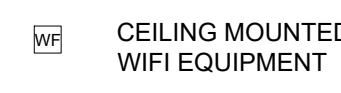
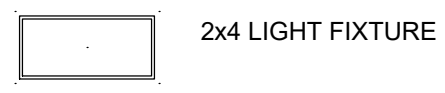
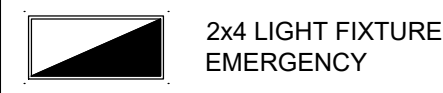
WALL TYPE



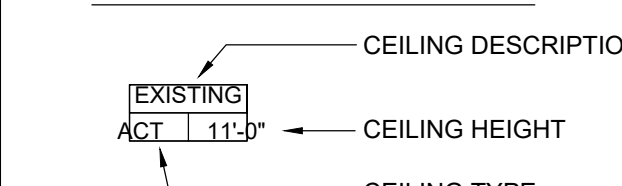
REVISION (NUMBER)



REFLECTED CEILING PLAN SYMBOLS LEGEND:



CEILING TYPE IDENTIFICATION TAG



CONSTRUCTION TYPE

CONSTRUCTION TYPE 3 - A

GENERAL NOTES

1. G.C. IS RESPONSIBLE FOR ALL SAFETY DURING CONSTRUCTION AND ASSURING PROTECTION FOR ALL ADJACENT OCCUPANCIES.
2. G.C. SHALL VISIT THE SITE OF THE WORK & INSPECT EXISTING CONDITIONS AFFECTING THE WORK.
3. G.C. SHALL PROVIDE SHOP DRAWINGS OF HVAC, SHEET METAL, AND LIGHTING SHOWING ANY POSSIBLE CONFLICTS WITH CEILING HEIGHTS AND EXISTING BEAM, DUCTS, PIPES, ETC. THAT COULD CRITICALLY AFFECT THE ULTIMATE CEILING HEIGHT.
4. DO NOT SCALE DRAWING. DIMENSIONS SHALL GOVERN. LARGE SCALE DETAILS SHALL GOVERN OVER SMALLER SCALE DETAILS.
5. NO SUBSTITUTIONS ARE TO BE MADE WITHOUT CONSULTING WITH THE ARCHITECT. G.C. SHALL SUBMIT SUBSTITUTE MATERIAL SPECIFICATIONS AND SAMPLES FOR APPROVAL IN WRITING TO ARCHITECT PRIOR TO OWNER'S APPROVAL.
6. G.C. SHALL PROVIDE WOOD BLOCKING AND NAILERS FOR WALL HUNG INSTRUCTIONAL AIDES AND ACCESSORIES AS REQUIRED FOR ADEQUATE SUPPORT.
7. G.C. IS RESPONSIBLE FOR ALL REQUIRED TEMPORARY LIGHT, POWER & HVAC TO ACCOMPLISH THE WORK.
8. G.C. SHALL COORDINATE WORK BEING PERFORMED BY OTHERS. G.C. SHALL COOPERATE AND COORDINATE WITH OTHER CONTRACTORS TO ENSURE HARMONY AT THE SITE, & SHALL COORDINATE THE USE OF BUILDING FACILITIES.
9. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL CONFORM TO THE BEST PRACTICES OF THE CONSTRUCTION TRADES IN A PROFESSIONAL AND WORKMANLIKE MANNER. ANY WORK WHICH DOES NOT MEET THESE STANDARDS MAY BE REJECTED BY THE ARCHITECT AND REDONE AT NO ADDITIONAL EXPENSE TO THE OWNER.
10. G.C. SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AND SHALL COORDINATE ALL TRADES PRIOR TO COMMENCEMENT OF THE WORK. ANY DISCREPANCIES SHOWN IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION PRIOR TO EXECUTING THE JOB.
11. INSTALLATION OF ALL MATERIALS AND EQUIPMENT SHALL BE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND INDUSTRY STANDARDS IN ACCORDANCE WITH NATIONAL (U.S.) TRADE ASSOCIATIONS.
12. ALL ITEMS MARKED "NIC" ARE NOT-IN-CONTRACT & SHALL BE FURNISHED AND/OR INSTALLED BY OTHERS. ALL ITEMS MARKED "IC" ARE IN CONTRACT & ARE TO BE FURNISHED & INSTALLED BY CONTRACTOR
13. DIMENSIONS INDICATED TO BE "CLEAR" SHALL HAVE A MINIMUM DIMENSION, FACE TO FACE OF FINISH MATERIALS, AS INDICATED.
14. CONTRACTOR SHALL COORDINATE FLOOR SLAB ELEVATIONS W/ FLOOR DRAIN INVERT ELEVATION.
15. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER ANY AREAS OF THE WORK REQUIRING ABATEMENT OF HAZARDOUS MATERIALS PRIOR TO DEMOLITION.

GENERAL NOTES FOR CEILING RELATED ITEMS

1. SEE THE REFLECTED CEILING PLAN FOR:
 - A. SIZE AND LOCATION OF LIGHT FIXTURES
2. SEE LIGHTING ENGINEERING DRAWINGS FOR:
 - A. CIRCUITING AND WIRING OF LIGHT FIXTURES AND SWITCHES.
3. PLANS, WHEN DEVIATIONS ARE REQUIRED, FIELD VERIFY THE LOCATION OF ALL LIGHT FIXTURES & NOTIFY ARCHITECT PRIOR TO INSTALLATION.
4. PROVIDE CONTROL JOINTS AT ALL GYPSUM BOARD CEILINGS PER MANUFACTURER, RECOMMENDATIONS
5. WHERE ACOUSTICAL CEILING PANELS ARE REQUIRED TO BE CUT; CUT TO MAINTAIN A SHARP AND NEAT EDGE.
6. G. C. SHALL COORDINATE WITH ALL TRADES INVOLVED & SUBMIT COMPOSITE SHOP DRAWINGS TO ENSURE CLEARANCES FOR FIXTURES, DUCTS, CEILINGS, ETC., NECESSARY TO MAINTAIN THE SPECIFIED FINISH CEILING HEIGHT(S) AND CLEARANCES REQUIRED FOR MAINTENANCE CLARIFY CONFLICTS WITH ARCHITECT.
7. REFER TO ELECTRICAL, PLUMBING FOR ADDITIONAL CEILING MOUNTED ITEMS.

GENERAL NOTES FOR FINISHES

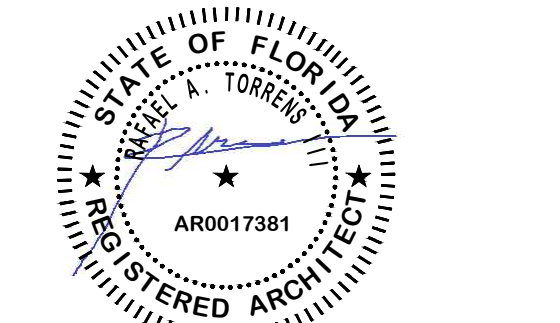
1. SEE SPECIFICATIONS FOR APPLICABLE FINISH INFORMATION U.O. N.
2. SUBMIT WITH FINISH SAMPLES, EVIDENCE OF COMPLIANCE WITH FIRE & BUILDING CODES & REGULATIONS IN RESPECT TO FLAME SPREAD, SMOKE AND RELATED AND APPURTENANT ITEMS, CONDUCT MATERIALS & ASSEMBLIES TESTING AS APPLICABLE & AS REQUIRED.
3. CONTRACTOR SHALL OBTAIN ALL REQUIRED PRODUCT APPROVALS.
4. ALL FINISHES SHALL BE APPLIED IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS FOR THE PARTICULAR SURFACE.
5. PRIOR TO APPLICATION OF PAINT, ALL WALLS SHALL BE PREPARED AS PER PAINT MANUFACTURER'S RECOMMENDATIONS.
6. PROVIDE 3/4" THICK MARINE GRADE PLYWOOD W/ INTUMESCENT PAINT AT ALL WALL SURFACES OF ELECTRICAL AND TELECOM ROOM BEFORE PAINTING.

REV. NO.	DATE	DESCRIPTION
5	10-22-2020	BUILDING DEPARTMENT COMMENTS

NOTES:

DISCIPLINE INFORMATION:	
PROFESSIONAL OF RECORD: RAFAEL A. TORRENS	STAFF ENGINEER: JAVIER PUERTO
C.E. AUDITOR: RAFAEL A. TORRENS	PRINCIPAL CAD TECHNICIAN: JAVIER PUERTO
PROJECT MANAGER: FELIX RENTAS	

PROFESSIONAL SEAL:



PROJECT:

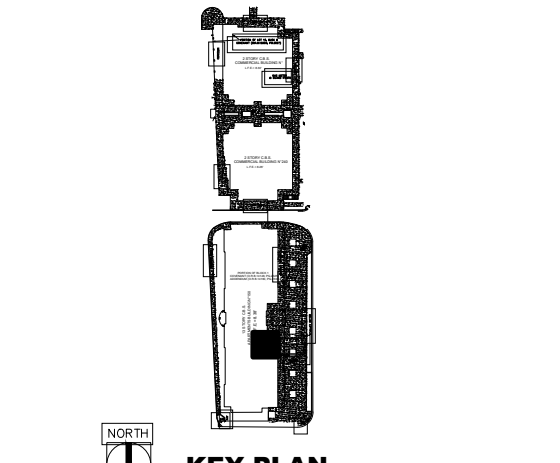
VCA IMPROVEMENTS

PALM CENTRE

150 EAST 1ST AVENUE
HAILEAH, FL 33010

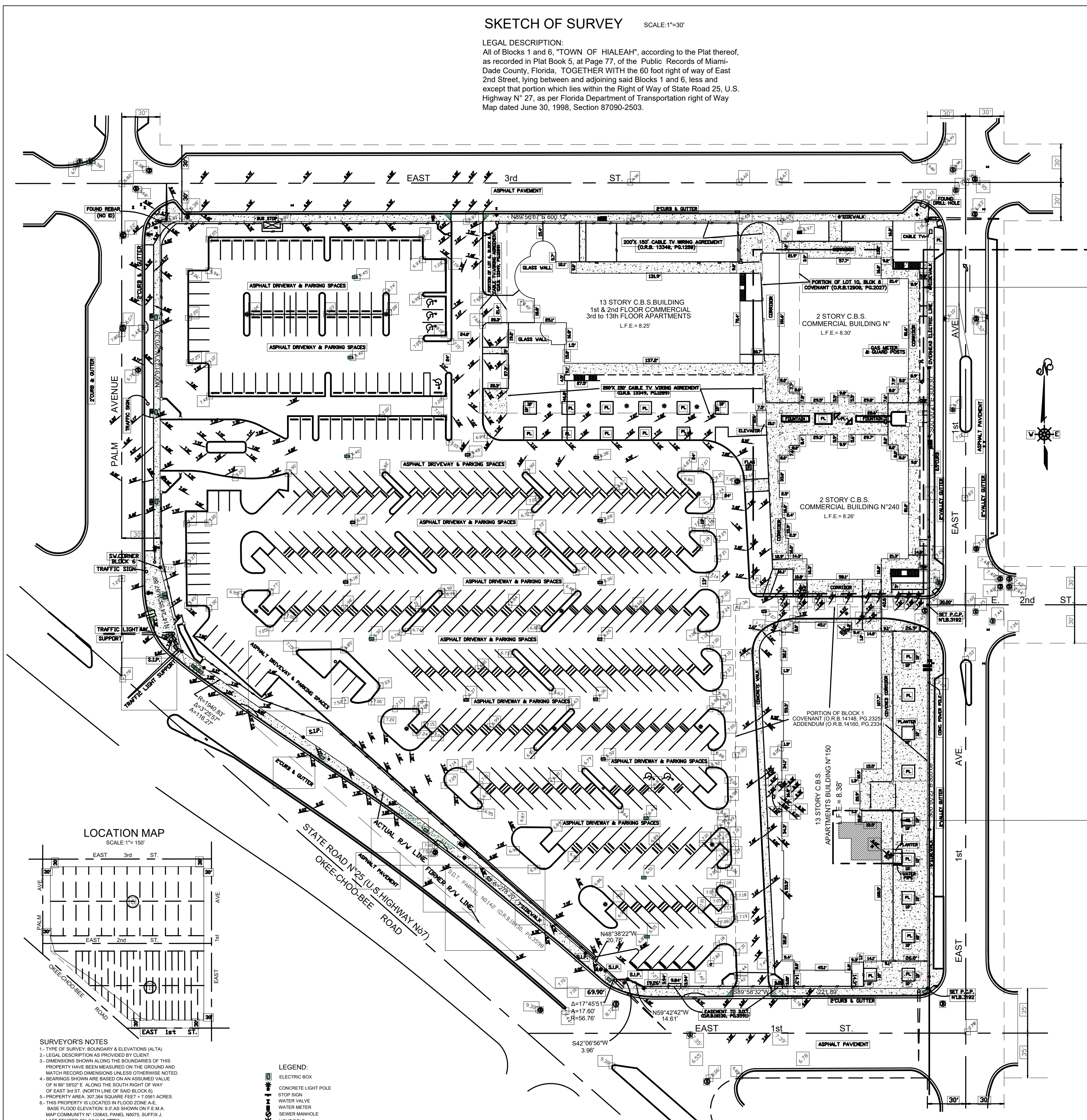
DATE	ISSUE DESCRIPTION
07/22/19	ISSUED FOR PERMIT

DRAWING INFORMATION:



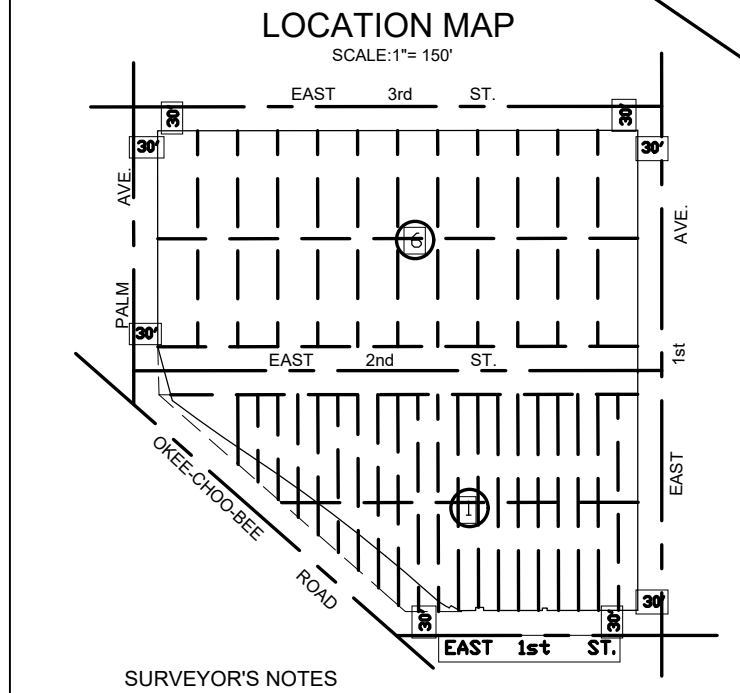
ARCHITECTURAL NOTES

DELIVERY DATE: 04/10/2019	PROJECT NUMBER: 18-0221-06
PRINT DATE & TIME: 04/10/2019	CAD FILE NAME: A001
DRAWING LOCATION: A:\Projects\mia_projects\0418-0221\016\Technical\08\Architecture\DWG	
SHEET NO. A001	



SKETCH OF SURVEY SCALE: 1"=30'

LEGAL DESCRIPTION:
 All of Blocks 1 and 6, "TOWN OF HIALEAH", according to the Plat thereof, as recorded in Plat Book 5, at Page 77, of the Public Records of Miami-Dade County, Florida, TOGETHER WITH the 60 foot right of way of East 2nd Street, lying between and adjoining said Blocks 1 and 6, less and except that portion which lies within the Right of Way of State Road 25, U.S. Highway N° 27, as per Florida Department of Transportation right of Way Map dated June 30, 1998, Section 87090-2503.



SURVEYOR'S NOTES

1. TYPE OF SURVEY, BOUNDARY & ELEVATIONS (ALTA)
2. LEGAL DESCRIPTION AS PROVIDED BY CLIENT
3. DIMENSIONS SHOWN ALONG THE BOUNDARIES OF THIS PROPERTY HAVE BEEN MEASURED ON THE GROUND AND MATCH RECORDS DIMENSIONS UNLESS OTHERWISE NOTED.
4. BEARINGS SHOWN ARE BASED ON ASSUMED VALUE OF 9° 59' 58.02" E ALONG THE SOUTH RIGHT OF WAY OF EAST 1ST STREET (NORTH LINE OF SAID BLOCK 6).
5. PROPERTY AREA: 307,364 SQUARE FEET ± 7,0561 ACRES.
6. THIS PROPERTY IS LOCATED IN FLOOD ZONE AE. BASE FLOOD ELEVATION 6.0' AS SHOWN ON F.E.M.A. MAP COMMUNITY N° 22064L. PANEL NO.075. SUFFIX A. LAST REVISED ON JULY 17, 1993.
7. ELEVATIONS SHOWN THROUGHOUT ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1988, AS DERIVED FROM CITY OF HIALEAH BENCHMARK R/W 1006 WITH ELEVATION 8.92' LOCATED AT THE CORNER OF W 4th ST & 12th AVE. PARKING SPACES PROVIDED.
8. A.I.S. STANDARDS - 8 HANDCAPPS.
9. ACTUAL USE OF PROPERTY COMMERCIAL & RESIDENTIAL.
10. THIS SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH TITLE COMMITMENT N° C-281168 AND FURNISHED TO THE UNDERSIGNED TO SHOW ANY MATTER OF RECORD AFFECTING THE SUBJECT PROPERTY AS FOLLOWS:

COMMITMENT NO. C-3079708, Dated October 3, 2008
 SCHEDULE 16-A1 - DISCREPANCIES

ITEMS 1, 2, 3 & 4 ARE STANDARDS
 ITEM 5 IS A 1/4" TO 1/8" AND IS NOT A SURVEY MATTER
 ITEMS 7 & 8 AFFECT THE SUBJECT PROPERTY, AS SHOWN
 ITEM 9 SURVEYOR'S AND CLIENT'S CORRECTING SCRIBES ERROR
 ITEM 10 SUBMITTAL RECORDED IN O.R.B. 18160, PG. 2359, AFFECTS THE SUBJECT PROPERTY, AS SHOWN.
 ITEM 11 SUBMITTAL RECORDED IN O.R.B. 18160, PG. 2355, AFFECTS THE SUBJECT PROPERTY, AS SHOWN.
 ITEM 12 SUBMITTAL RECORDED IN O.R.B. 18160, PG. 2355, DO NOT AFFECT THE SUBJECT PROPERTY.
 ITEM 13 SUBMITTAL RECORDED IN O.R.B. 18160, PG. 2355, DO NOT AFFECT THE SUBJECT PROPERTY.
 ITEM 14 COVENANT RECORDED IN O.R.B. 18160, PG. 2355, DO NOT AFFECT THE SUBJECT PROPERTY.
 ITEM 15 COVENANT RECORDED IN O.R.B. 18160, PG. 2355, DO NOT AFFECT THE SUBJECT PROPERTY.
 ITEM 16 COVENANT RECORDED IN O.R.B. 18160, PG. 2355, DO NOT AFFECT THE SUBJECT PROPERTY.
 ITEM 17 RESULTS AFFECTING THE SUBJECT PROPERTY, AFFECTS THE NOT PLATABLE.

- LEGEND:**
- ⊠ ELECTRIC BOX
 - ⊠ CONCRETE LIGHT POLE
 - ⊠ STOP SIGN
 - ⊠ WATER VALVE
 - ⊠ WATER METER
 - ⊠ SEWER MANHOLE
 - ⊠ LIGHT POLE
 - ⊠ CONCRETE POWER & LIGHT POLE
 - ⊠ FIRE HYDRANT
 - ⊠ HIGH IRON FENCE
 - ⊠ C.B.S. CONCRETE BLOCK STRUCTURE
 - L.F.E. ± LOWER FLOOR ELEVATION
 - P.C.P. ± MAIL & SURVEYOR'S DISC STAMPED
 - S.I.P. ± SET SURVEYOR'S CAP WITH SURVEYOR'S CAP N° 18.3192
 - F.I.P. ± FOUND 1/2" IRON PIPE
 - (NO ID) ± NO IDENTIFICATION
 - EM ± ELECTRIC METER

DATE OF FIELD WORK	ORDER N°	DRAWN BY	FIELD BOOK	CAD FILE	ONLY REVISED TO ADD MORE ELEVATIONS AND MISSING CATCH BASINS, PARKING AREA AT NW CORNER HAVE BEEN CHANGED, (NO UPDATE WAS REQUESTED)
AUGUST 18, 2008	080179	J.L.	080179	080179	REVISED, UPDATED & RECERTIFY (ALL T.A.)
OCTOBER 23, 2006	061056	J.L.	061056	061056	
MARCH 9, 2009	090303	J.L.	090303	090303	REVISE TO SHOW ACTUAL R/W LINE OF OKEECHOBEE ROAD
MAY 19, 1999	99028	J.L.	99028	99028	REVISE TO SHOW ACTUAL R/W LINE OF OKEECHOBEE ROAD
JULY 13, 1996	96060	J.L.	96060	96060	ADD REMAINING PORTIONS OF BLOCK 1 & 6 AND UPDATE REST OF SURVEY
					AS BUILT SURVEY & ELEVATIONS OF PHASES I, II & III

J. F. LOPEZ & ASSOCIATES, INC.
 CONSULTING LAND SURVEYORS AND PLANNERS
 CERTIFICATE N° LB.3192, STATE OF FLORIDA
 7800 NW 15th ST., SUITE 104, MIAMI LAKES, FL 33016
 Ph: (305) 828-2725 Fax: (305) 828-5889

I HEREBY CERTIFY: THAT A SURVEY OF THE PROPERTY AS DESCRIBED IN THE FOREGOING CAPTION HAS BEEN MADE UNDER MY DIRECTION, AND MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS IN CHAPTER 84-0114, OF FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT.

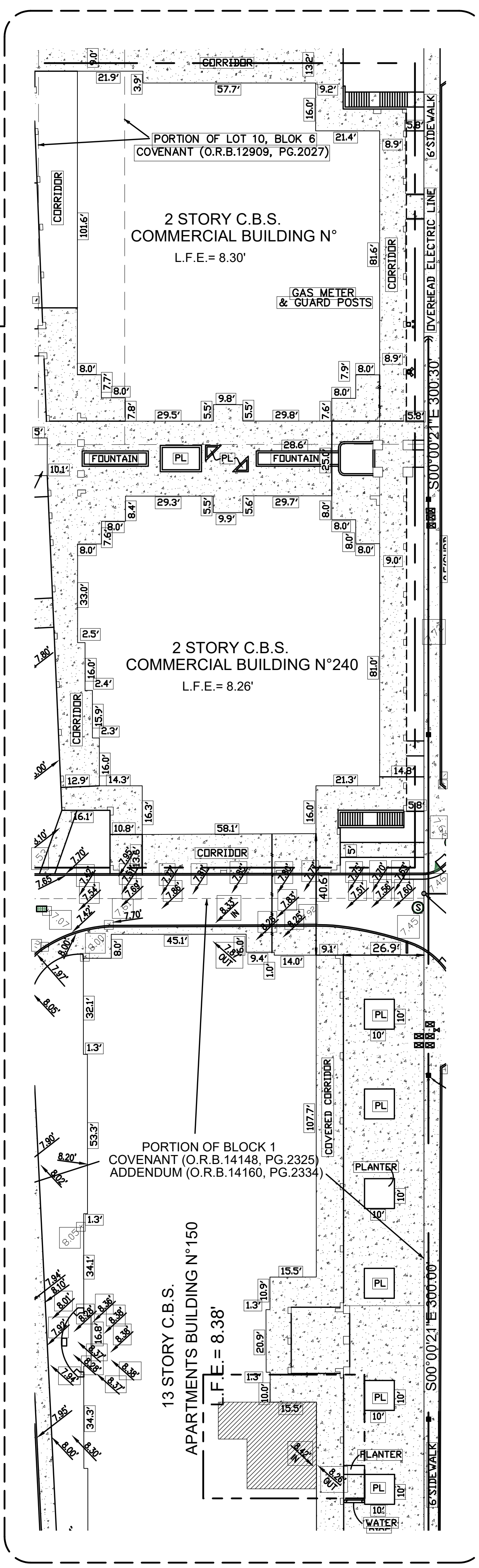
NOTE: THIS IS NOT A VALID SURVEY WITHOUT THE UNDERSIGNED SURVEYOR'S SIGNATURE AND EMBOSSED RAISED SEAL.

BY: **JOSE F. LOPEZ, P.S.M.**
 Professional Surveyor & Mapper
 N°3096, State of Florida.

ROOF REPLACEMENT.
 SEE SHEETS A101.2 AND A102.2

LAUNDRY RM ADA ALTERATIONS AND IMPROVEMENTS.
 (SEE SHEETS A101.1 AND A102.1)

EXISTING BUILDING SITE PLAN
 SCALE: 1"=15'



CSAGROUP
 EST. 1996

CSA Central, Inc.
 CSA Group | 8200 N.W. 41st Street | Suite 305
 Doral, Florida 33166
 Tel: (305) 461-5484
 Fax: (305) 461-5494
 Web: www.csagroup.com

THIS DOCUMENT REPRESENTS THE IDEAS AND EFFORTS OF CSA CENTRAL, INC. IT SHALL BE USED ONLY BY AUTHORIZED PERSONS AND SHALL NOT BE REPRODUCED OR EXHIBITED WITHOUT WRITTEN CONSENT OF CSA CENTRAL, INC.

CLIENT:

HHA
 Hialeah Housing Authority
 IN ASSOCIATION WITH:

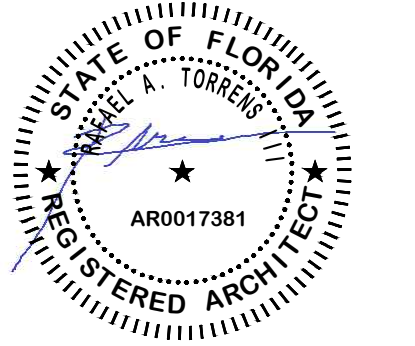
REV. NO. DATE DESCRIPTION

1	01/29/2020	BUILDING DEPARTMENT COMMENTS

NOTES:

DISCIPLINE INFORMATION:

PROFESSIONAL OF RECORD:	START DESIGNER:
RAFAEL A. TORRES	JAVIER PUERTO
C.E. AUDITOR:	PRINCIPAL CAD TECHNICIAN:
RAFAEL A. TORRES	JAVIER PUERTO
PROJECT MANAGER:	FIELD ENGINEER:
YELI RENTERIA	



PROJECT:

VCA IMPROVEMENTS

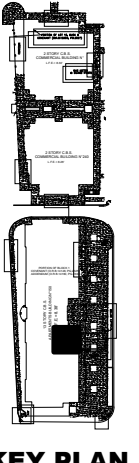
PALM CENTRE

150 EAST 1ST AVENUE
 HIALEAH, FL 33010

DATE ISSUE DESCRIPTION

07/12/2019	ISSUED FOR PERMIT

DRAWING INFORMATION:



SHEET TITLE:

SURVEY & KEY PLAN

DELIVERY DATE:	PROJECT NUMBER:
04/10/2019	18-0221-06
PRINT DATE & TIME:	CAD FILE NAME:
04/10/2019	A100
DRAWING LOCATION:	
A:\Projects\mgs_projects\0418-0221\06\06\Technical\08Architecture\DWG	
SHEET NO.:	A100



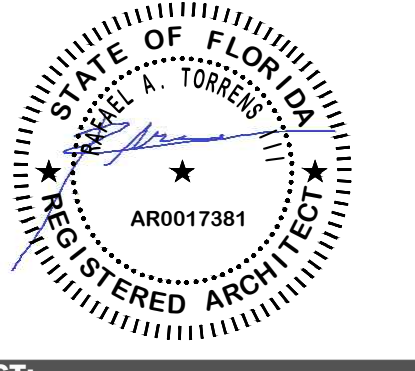
REV. NO.	DATE	DESCRIPTION
12-16-2019		BUILDING DEPARTMENT COMMENTS
01-29-2020		BUILDING DEPARTMENT COMMENTS
01-29-2020		CHANGES BY CLIENT
08-19-2020		BUILDING DEPARTMENT COMMENTS

NOTES:

DISCIPLINE INFORMATION:

PROFESSIONAL OF RECORD: RAFAEL A. TORRENS	STAFF DESIGNER: JAVIER PUERTO
Q.C. AUDITOR: RAFAEL A. TORRENS	PRINCIPAL CAD TECHNICIAN: JAVIER PUERTO
PROJECT MANAGER: FELIX RENTES	

PROFESSIONAL SEAL:



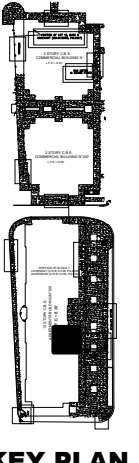
PROJECT:

VCA IMPROVEMENTS
PALM CENTRE
150 EAST 1ST AVENUE
HIALEAH, FL 33010

DATE **ISSUE DESCRIPTION**

07/22/2019	ISSUED FOR PERMIT

DRAWING INFORMATION:



KEY PLAN

SHEET TITLE:

DEMOLITION PLAN

DELIVERY DATE: 04/10/2019	PROJECT NUMBER: 18-0221-06
PRINT DATE & TIME: 04/10/2019	CAD FILE NAME: A101.1

DRAWING LOCATION:
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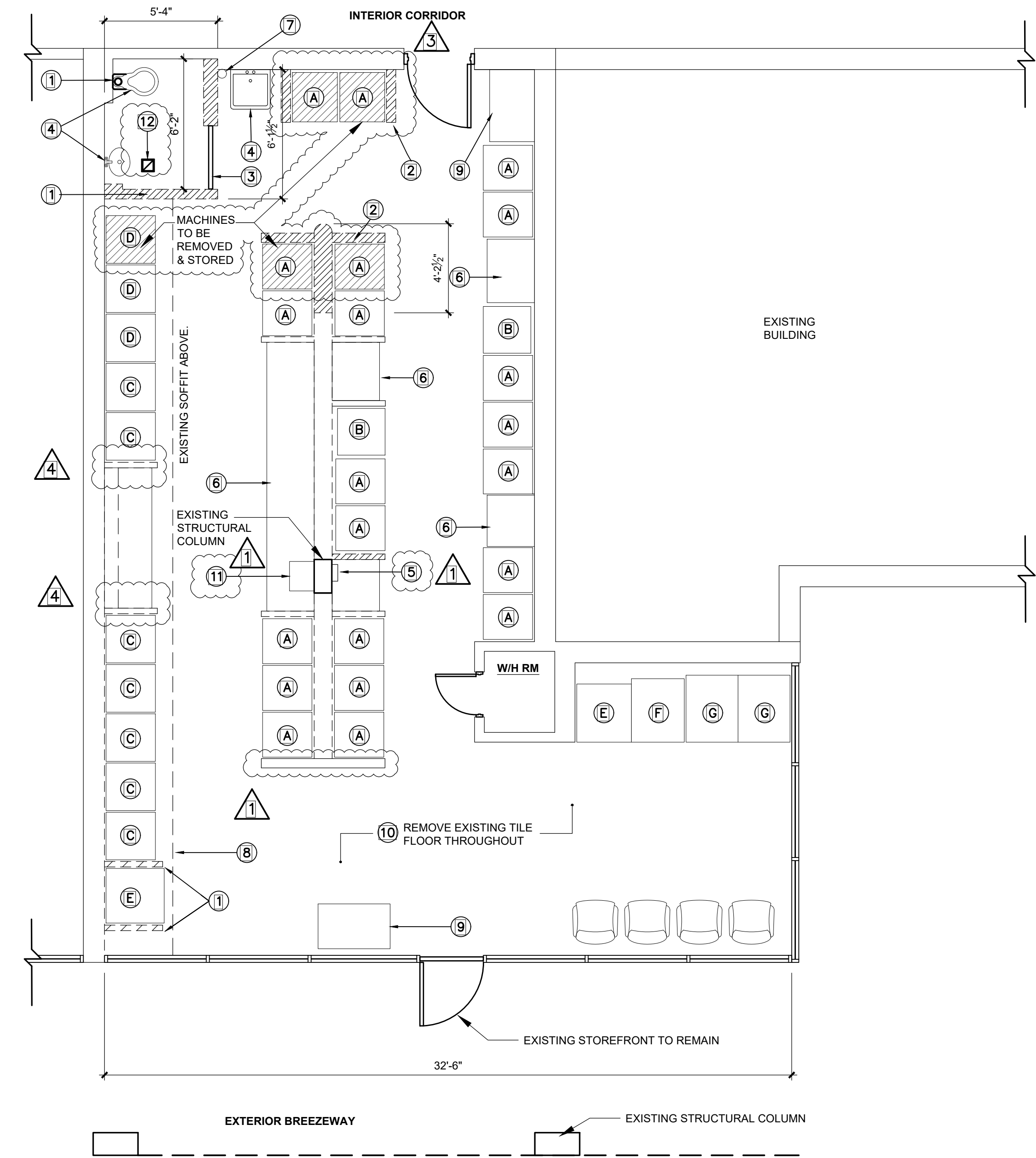
SHEET NO. **A101.1**
3 of 06

DEMOLITION KEY NOTES

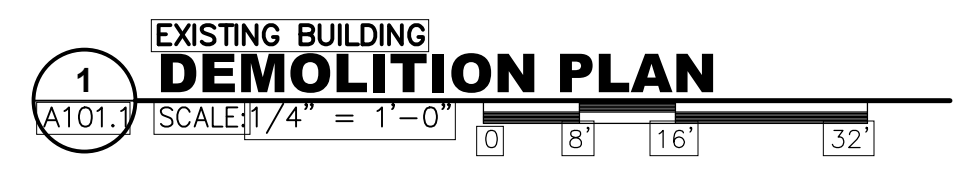
- DEMOLISH EXISTING WALLS (GYPSUM OVER MTL FRAMING).
- DEMOLISH EXISTING COUNTERTOP, AND/OR LOW WALL.
- REMOVE EXISTING POCKET DOOR.
- REMOVE EXISTING PLUMBING FIXTURES.
- EXISTING COINCHANGER TO REMAIN.
- EXISTING FOLDING TABLE TO BE REMOVED (INCLUDING HANGER ROD).
- EXISTING FIRE EXTINGUISHER TO BE RELOCATED.
- REPAIR PORTIONS OF EXISTING MECHANICAL SOFFIT TO ACCOMMODATE NEW LAUNDRY EQUIPMENT LAYOUT. SEE SHEET A102.1.
- EXISTING GARBAGE CABINET - REFINISH.
- REMOVE EXISTING TILE FLOOR.
- EXISTING DETERGENT DISPENSER TO REMAIN.
- REMOVE EXISTING BATHROOM FAN, GRILLE AND EXISTING ASSOCIATED DUCTWORK.

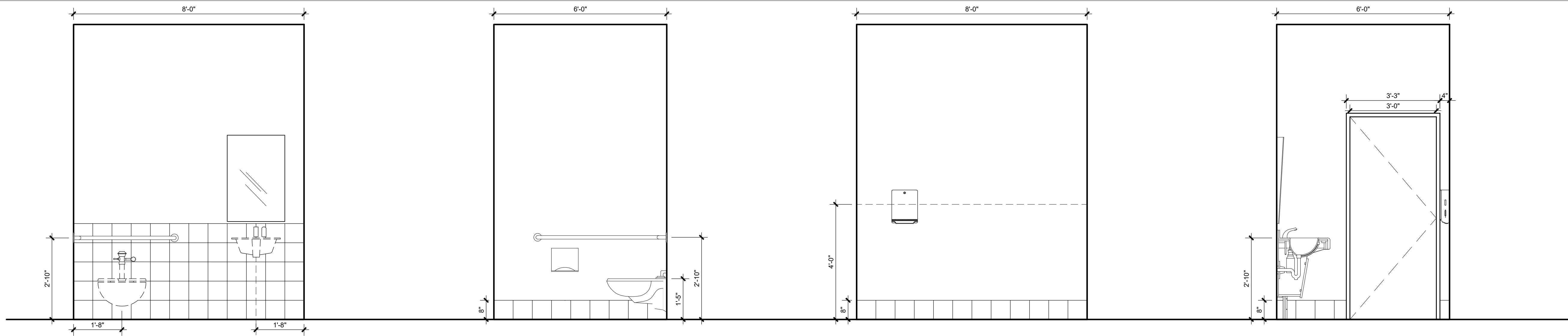
EXISTING EQUIPMENT SCHEDULE

A	WASHER SPEED QUEEN (21 UNITS).
B	WASHER MAYTAG (2 UNITS).
C	DRYER SPEED QUEEN (7 UNITS).
D	DRYER SPEED QUEEN (3 UNITS).
E	DRYER MAYTAG (2 UNITS).
F	WASHER DEXTER (1 UNIT).
G	WASHER CONTINENTAL (2 UNITS).



LEGEND



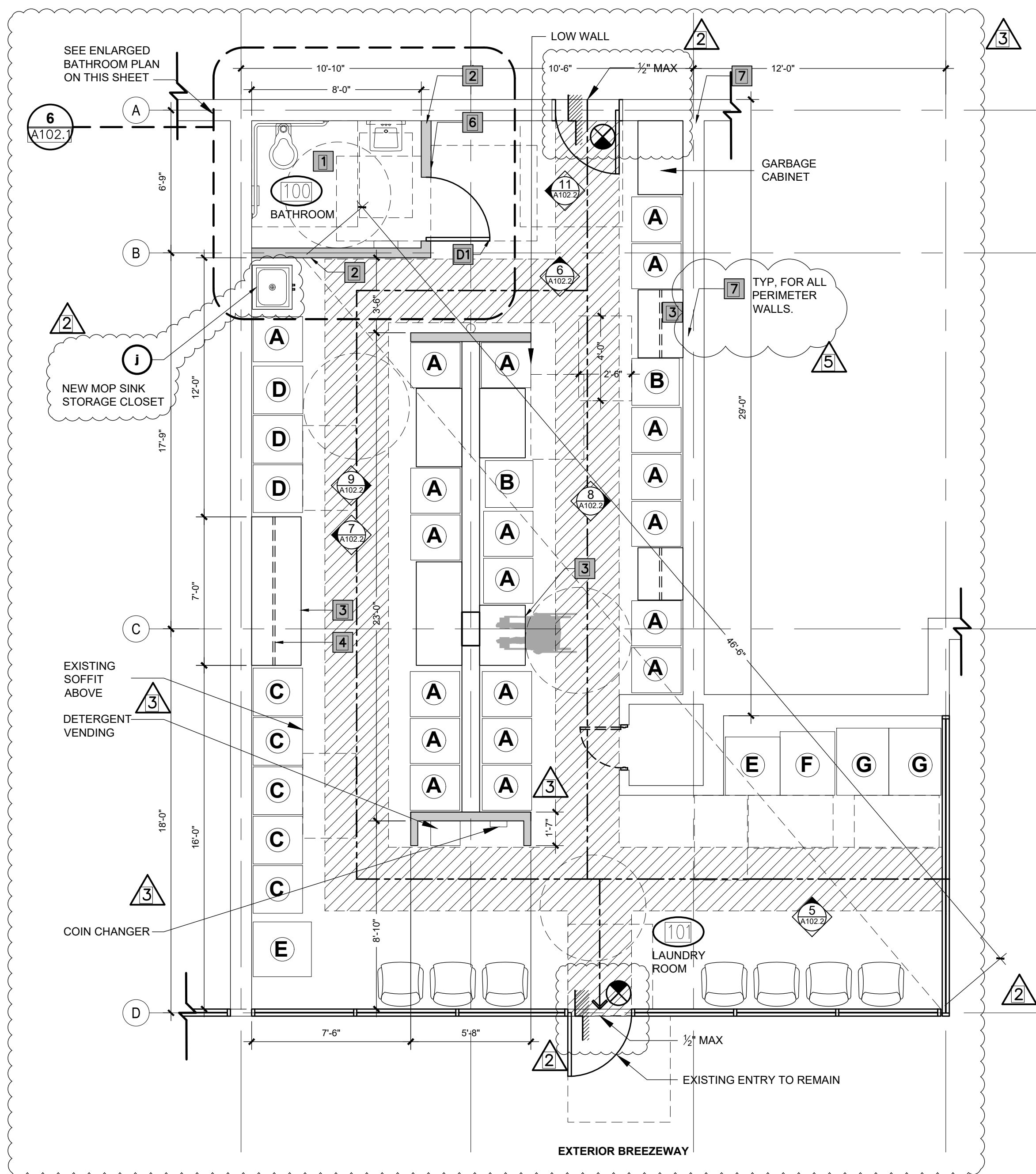


1 BATHROOM ELEVATION
SCALE: 1/2" = 1'-0"

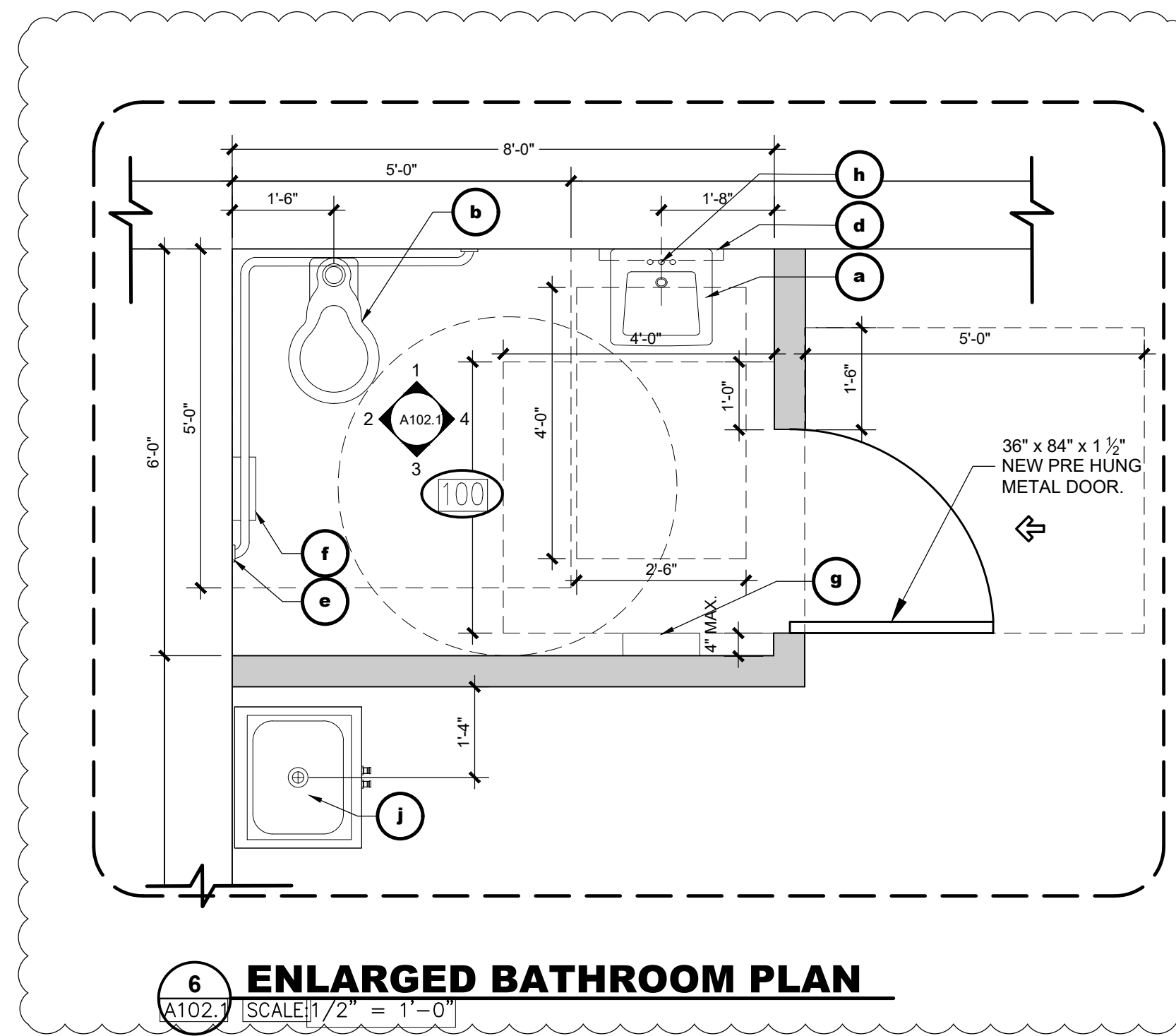
2 BATHROOM ELEVATION
SCALE: 1/2" = 1'-0"

3 BATHROOM ELEVATION
SCALE: 1/2" = 1'-0"

4 BATHROOM ELEVATION
SCALE: 1/2" = 1'-0"



5 PROPOSED LAUNDRY ROOM
SCALE: 1/4" = 1'-0"



6 ENLARGED BATHROOM PLAN
SCALE: 1/2" = 1'-0"

SYMBOL LEGEND:



OCCUPANT LOAD CALCULATOR

AREA	1000 SF
CLASSIFICATION	M-MERCANTILE
FIXTURE REQUIREMENT	
1 TOILET PER 500 P.P.	
1 LAVATORY PER 750 P.P.	
1 DRINKING FOUNTAIN PER 1000 P.P.	
1 SERVICE SINK	
MERCANTILE OCCUPANT LOAD	
1000 SF / 60 SF GROSS = 17 P.P.	
MERCANTILE EXCEPTIONS	
SEPARATE FACILITIES NOT REQUIRED WHERE 100 P.P. OR LESS	
MERCANTILE EXCEPTIONS	
1 TOILET	
1 LAVATORY	
1 SINK (SERVICE SINK)	
WATER FOUNTAIN AVAILABLE WITHIN 500 FT RADIUS	

DOOR SCHEDULE

NO.	WIDTH	HEIGHT	TYPE	FRAME
D1	3'-0"	6'-8"	METAL	METAL FRAME

FINISH SCHEDULE								
NO.	NAME	FLOOR	BASE	WALL		CEILING		HEIGHT
				MAT'L	FINISH	MAT'L	FINISH	
100	BATHROOM	VCT	RCB	DW	SGP	DW	SGP	10'-3"
101	LAUNDRY ROOM	VCT	RCB	DW	SGP	DW	SGP	10'-3"

PLUMBING EQUIPMENT SCHEDULE

No.	TYPE	BRAND	MODEL	COMMENTS
a	SINK	AMERICAN STANDARD	MURRO UNIVERSAL DESIGN 0954.004EC & 0059.020EC	ADA WITH SHROUD
b	TOILET	AMERICAN STANDARD	CADET 3 COMPACT RIGHT HEIGHT 270FA.101	ADA COMPLIANT
d	MIRROR	BOBRICK	B-293 1836	ADA COMPLIANT
e	GRAB BAR	BOBRICK	B-5897	ADA COMPLIANT
f	TOILET PAPER	BOBRICK	B-2888	ADA COMPLIANT
g	PAPER TOWEL	BOBRICK	B-262	ADA COMPLIANT
h	FAUCET	AMERICAN STANDARD	MONTERREY 0.35 GPM 7500.174	ADA COMPLIANT
j	MOP SINK STORAGE CABINET	EAGLE GROUP	F1916-VSCS	

NOTES

- NEW ADA COMPLIANT BATHROOM, SEE 2/A102.1
- NEW WALL, SEE WALL TYPES.
- NEW ADA COMPLIANT FOLDING TABLE, SEE INT. ELEVATIONS AND DETAILS.
- NEW HANGING ROD, SEE INT. ELEVATIONS AND DETAILS.
- RELOCATED LAUNDRY SINK
- ADA COMPLIANT SIGNAGE
- EXISTING FIRE RATED WALLS

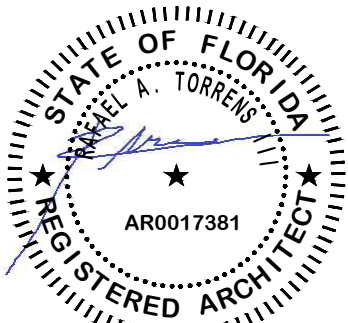
APPLIANCES NOTE: ALL APPLIANCES ARE EXISTING TO BE RELOCATED, REFER TO SCHEDULE ON SHEET A101.1

REV. NO.	DATE	DESCRIPTION
1	12-16-2019	BUILDING DEPARTMENT COMMENTS
2	01-29-2020	BUILDING DEPARTMENT COMMENTS
3	01-29-2020	CHANGE BY CLIENT
5	10-22-2020	BUILDING DEPARTMENT COMMENTS

NOTES:

DISCIPLINE INFORMATION:	
PROFESSIONAL OF RECORD: RAFAEL A. TORRES	STAFF DESIGNER: JAVIER PUERTO
Q.C. AUDITOR: RAFAEL A. TORRES	PRINCIPAL CAD TECHNICIAN: JAVIER PUERTO
PROJECT MANAGER: FELIX PEREZ	

PROFESSIONAL SEAL:



PROJECT:

VCA IMPROVEMENTS

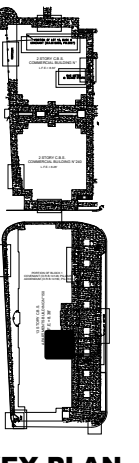
PALM CENTRE

150 EAST 1ST AVENUE
HIALEAH, FL 33010

DATE **ISSUE DESCRIPTION**

DATE	ISSUE DESCRIPTION
07/22/2019	ISSUED FOR PERMIT

DRAWING INFORMATION:



PROPOSED LAUNDRY AND BATHROOM

DELIVERY DATE:	PROJECT NUMBER:
04/10/2019	18-0221-06
PRINT DATE & TIME:	CAD FILE NAME:
04/10/2019	A102.1
DRAWING LOCATION:	SHEET NO.:
A:\Projects\ma_projects\0418-0221\C06\06\Technical\08\Architecture\DWG	A102.1

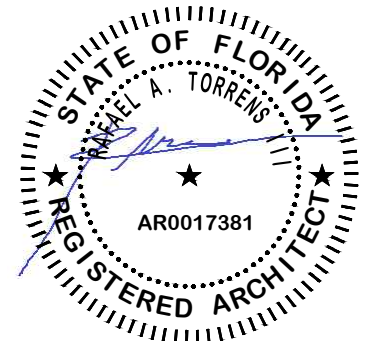
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12-16-2019		BUILDING DEPARTMENT COMMENTS
01-29-2020		BUILDING DEPARTMENT COMMENTS
08-19-2020		BUILDING DEPARTMENT COMMENTS

NOTES:

DISCIPLINE INFORMATION:

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Q.C. AUDITOR: RAFAEL A. TORRENS	PRINCIPAL CAD TECHNICIAN: JAVIER PUERTO
PROJECT MANAGER: FELIX PEREZ	

PROFESSIONAL SEAL:



PROJECT:

VCA IMPROVEMENTS

PALM CENTRE

150 EAST 1ST AVENUE
HIALEAH, FL 33010

DATE **ISSUE DESCRIPTION**

07/22/2019 ISSUED FOR PERMIT

DRAWING INFORMATION:



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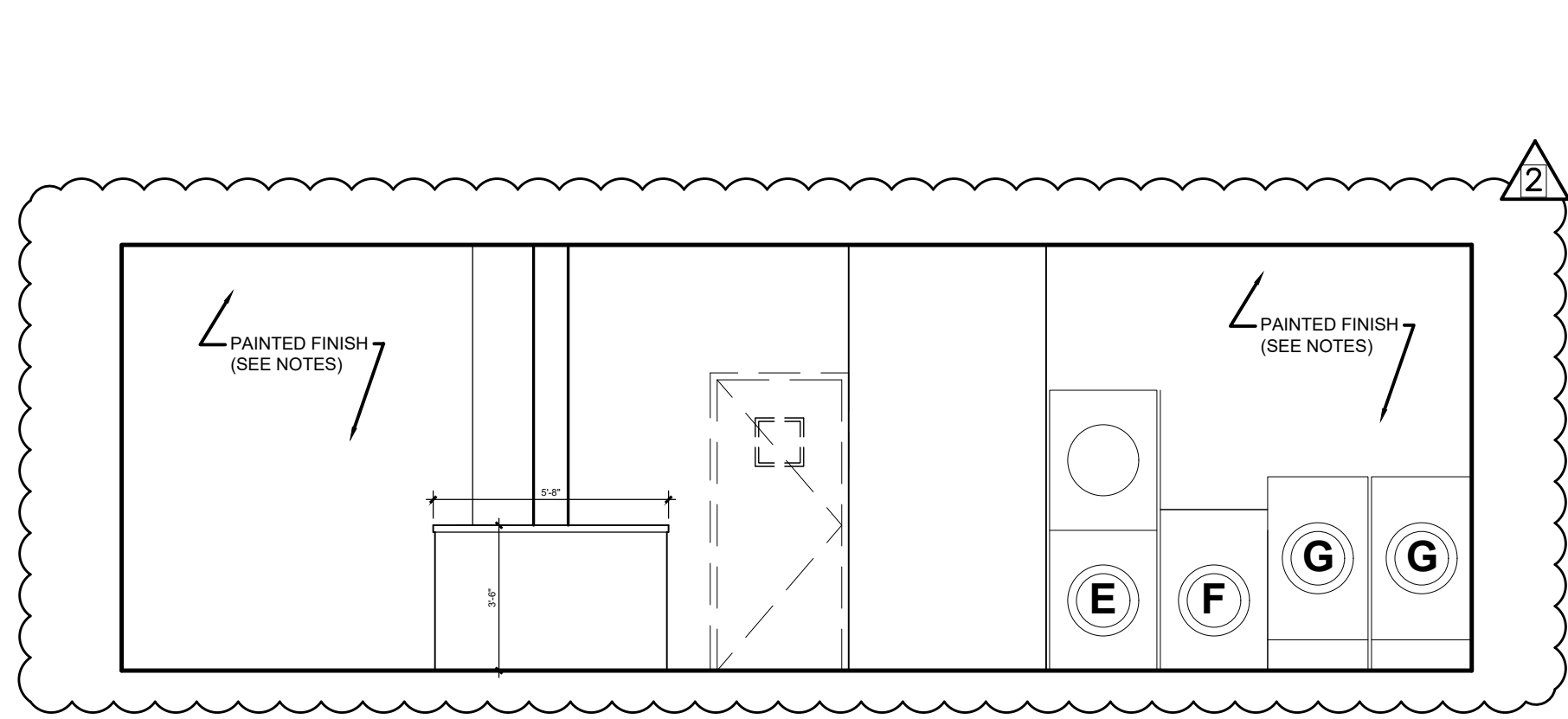
PROPOSED LAUNDRY ROOM
INTERIOR ELEVATIONS AND
SCHEDULES (CON'T)

DELIVERY DATE: 04/10/2019
PRINT DATE & TIME: 04/10/2019

PROJECT NUMBER: 18-0221-06
CAD FILE NAME: A102.2

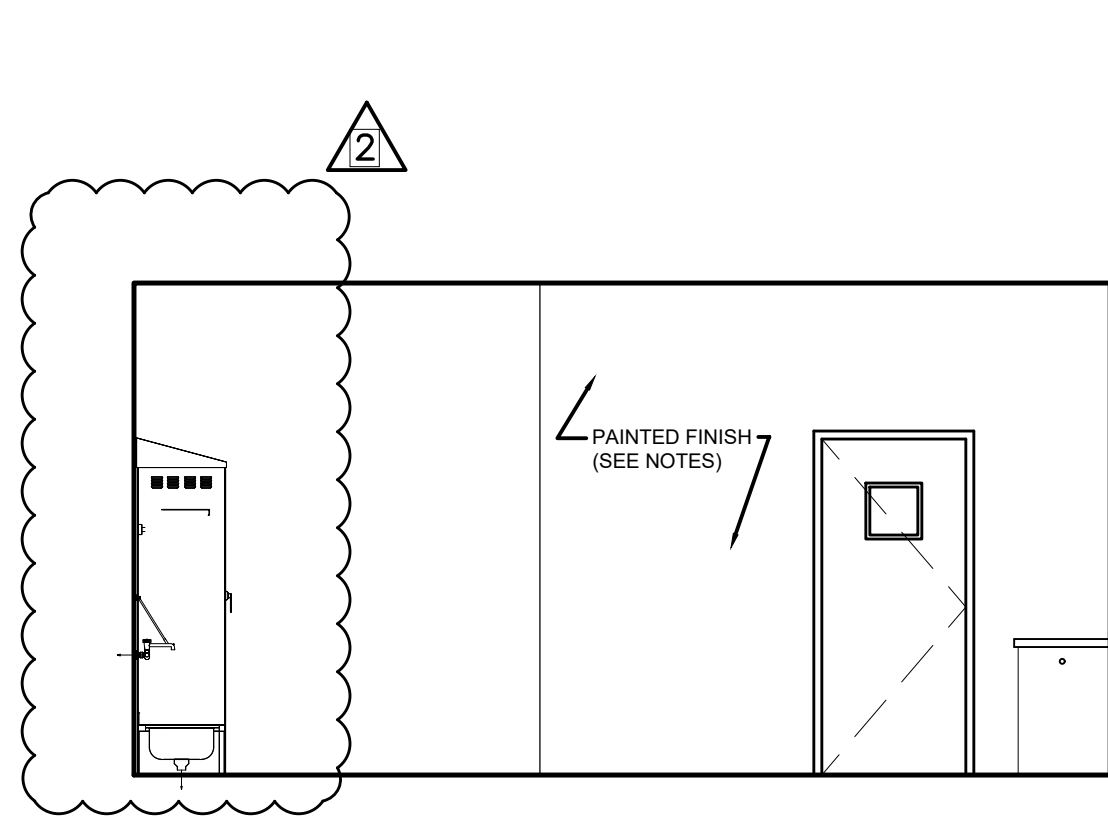
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SHEET NO. **A102.2**



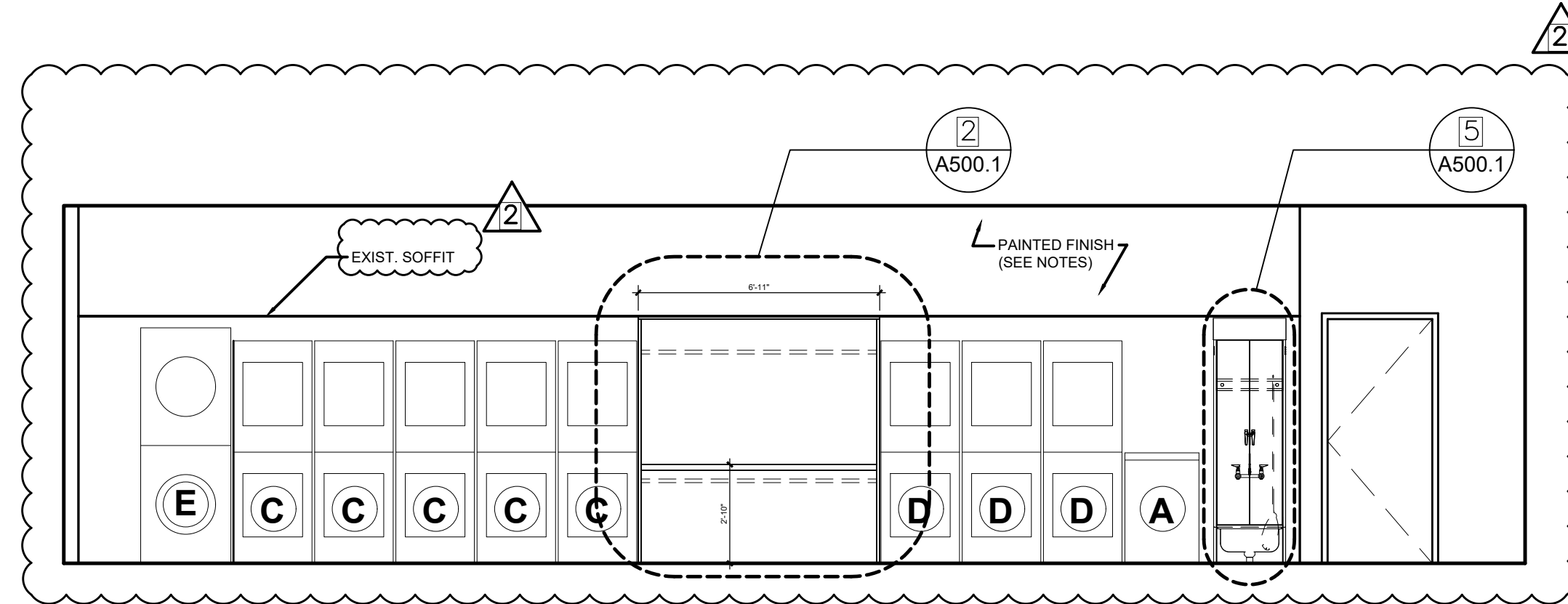
5 LAUNDRY ROOM ELEVATION

A102.2 SCALE: 1/4" = 1'-0"



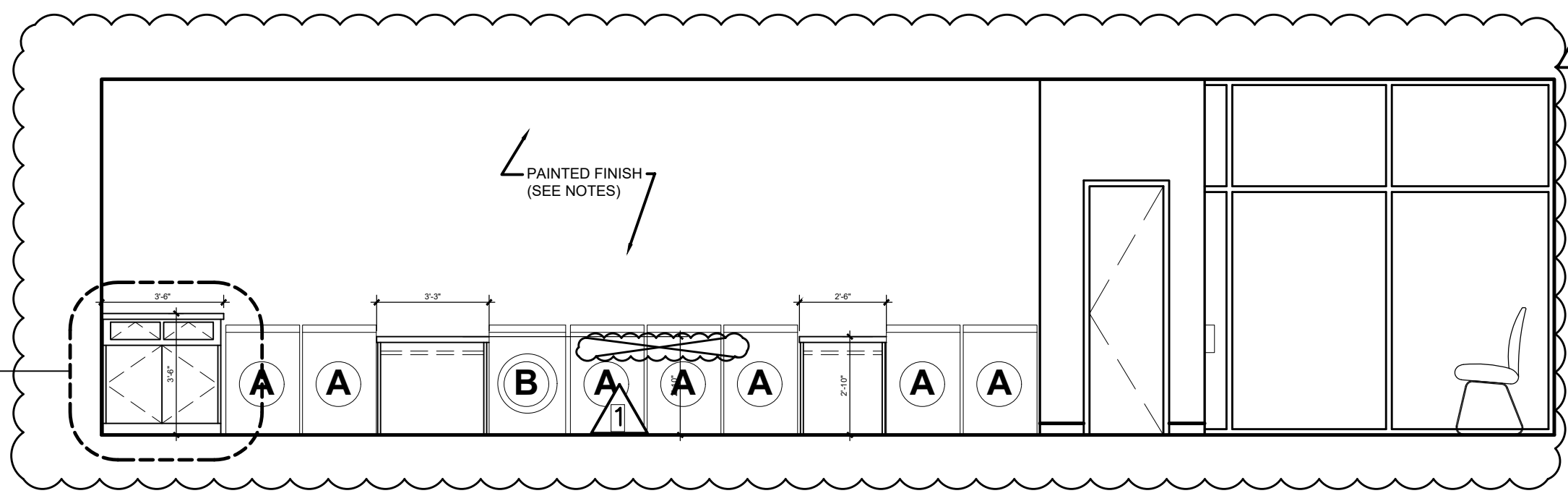
6 LAUNDRY ROOM ELEVATION

A102.2 SCALE: 1/4" = 1'-0"



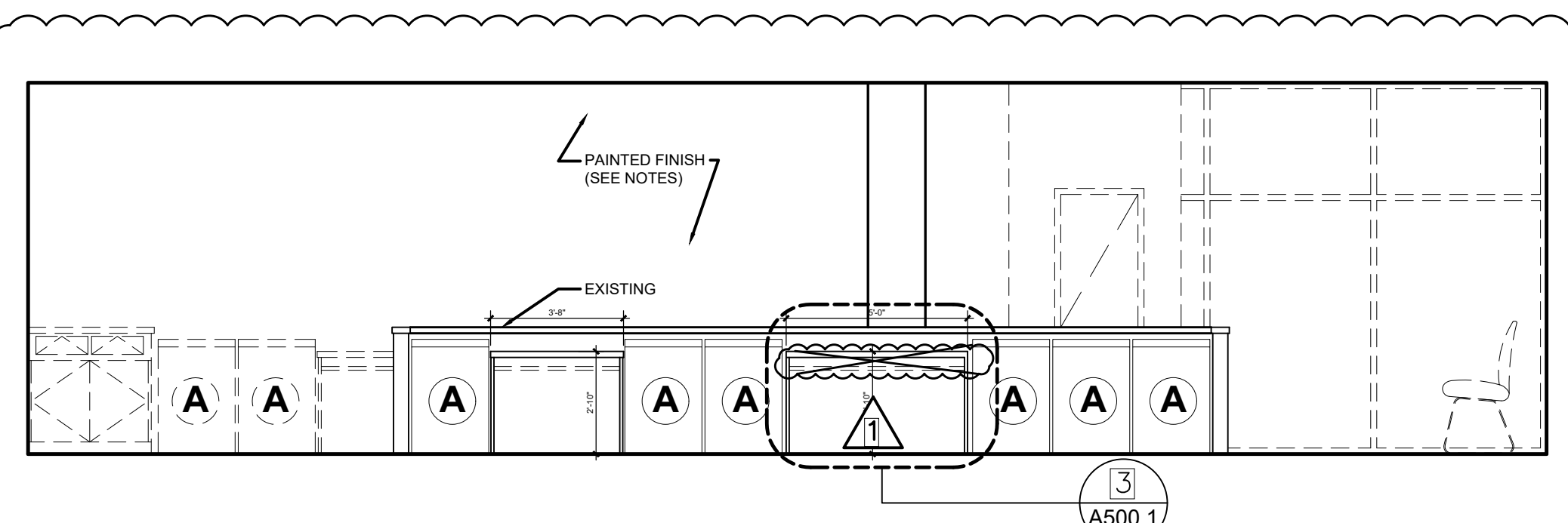
7 LAUNDRY ROOM ELEVATION

A102.2 SCALE: 1/4" = 1'-0"



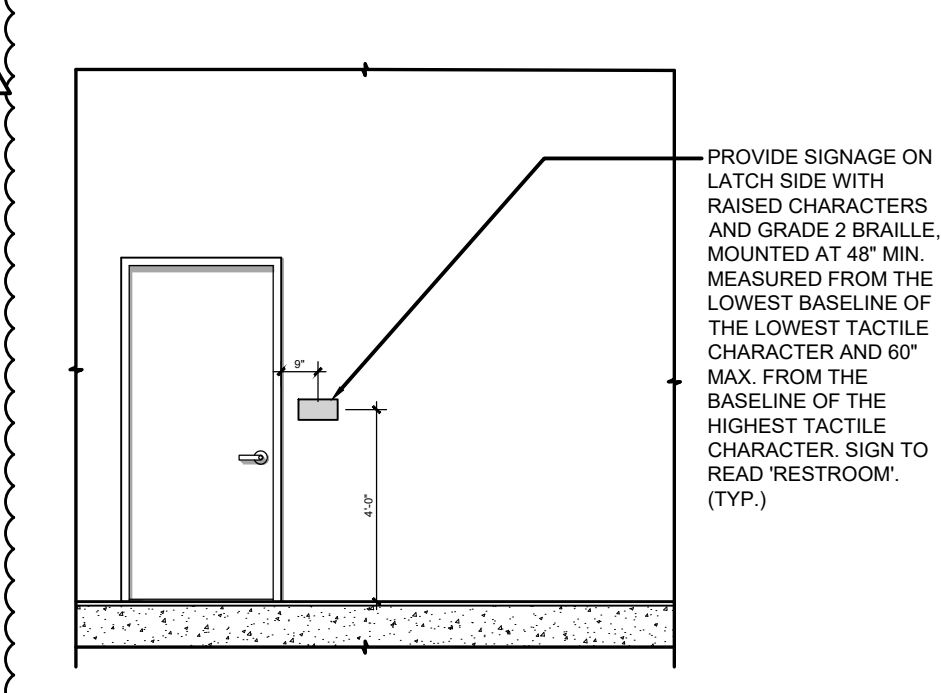
8 LAUNDRY ROOM ELEVATION

A102.2 SCALE: 1/4" = 1'-0"



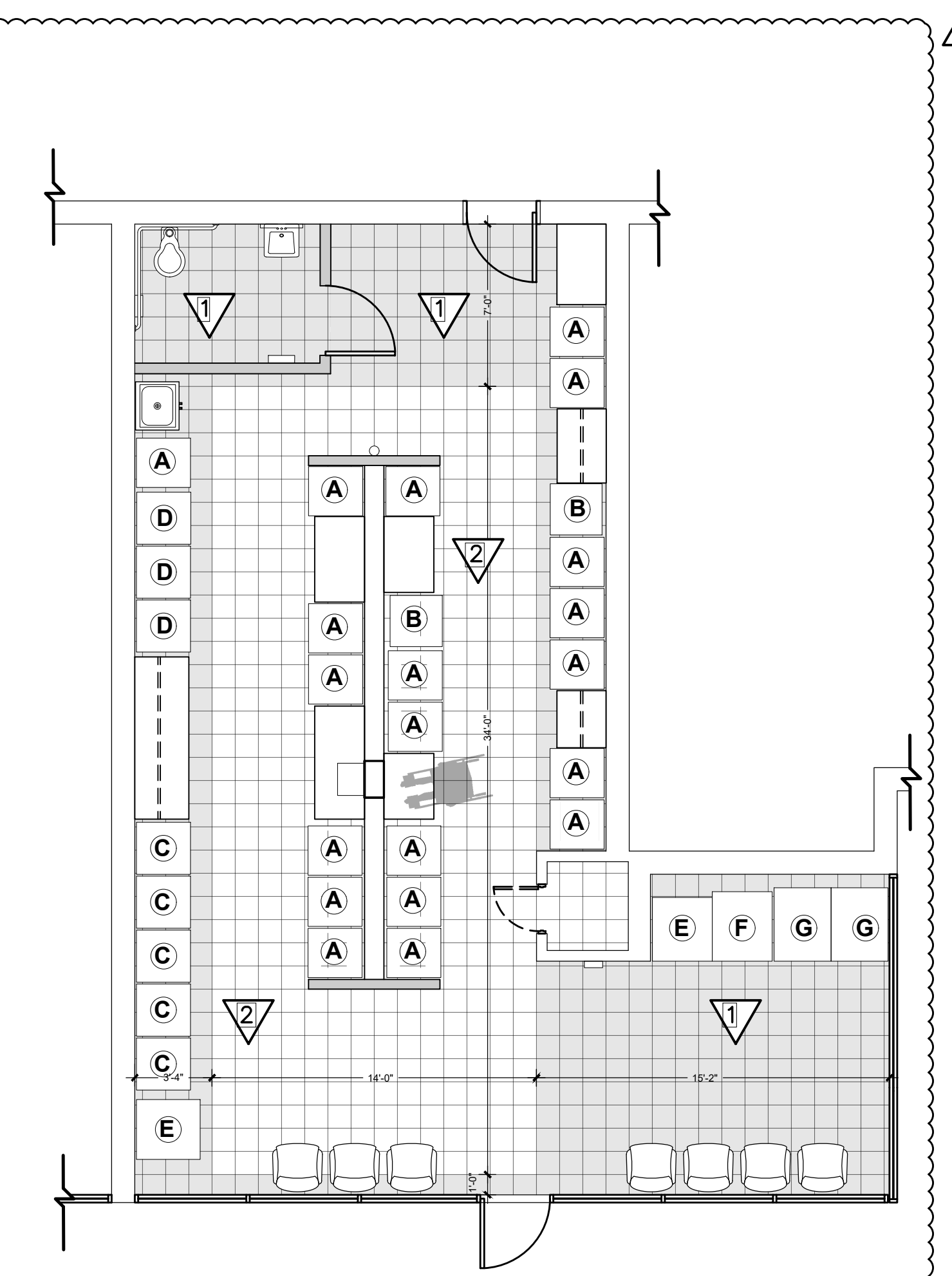
9 LAUNDRY ROOM ELEVATION

A102.2 SCALE: 1/4" = 1'-0"



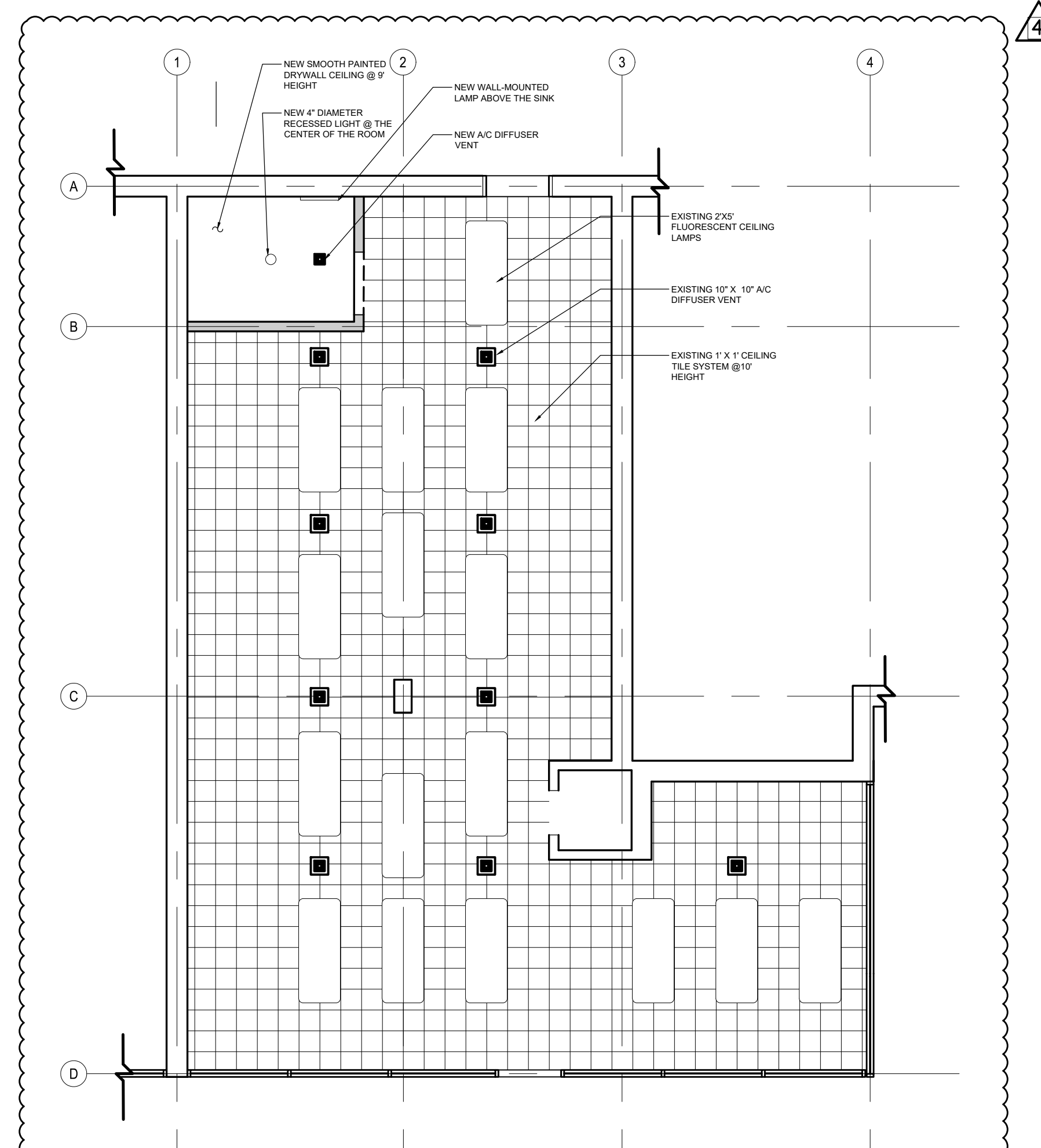
11 BATHROOM ELEVATION

A102.2 SCALE: 1/4" = 1'-0"



10 FINISH FLOOR PLAN

A102.2 SCALE: 3/16" = 1'-0"



12 REFLECTED CEILING PLAN

A102.2 SCALE: 3/16" = 1'-0"

FLOOR FINISH SCHEDULE

SYMBOL	TYPE	MANUFACTURER	NAME	COLOR	SIZE	MODEL
1	VCT	ARMSTRONG FLOORING	AQUATINT	GREY	12"X12"X1/8"	54805
2	VCT	ARMSTRONG FLOORING	BLUE CLOUD	WHITE	12"X12"X1/8"	51933
BASE	VCT	ARMSTRONG FLOORING	LIGHT GRAY	LIGHT GRAY	4"X1/8" STRIP	V6869

PAINT NOTES:

- A. INSTALLER QUALIFICATIONS: A FIRM OR INDIVIDUAL EXPERIENCED IN APPLYING PAINTS AND COATINGS SIMILAR IN MATERIAL, DESIGN, AND EXTENT TO THOSE INDICATED FOR THIS PROJECT, WHOSE WORK HAS RESULTED IN APPLICATIONS WITH A RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE.
- B. PAINT EXPOSED SURFACES. IF A COLOR OF FINISH, OR A SURFACE IS NOT SPECIFICALLY MENTIONED, ARCHITECT WILL SELECT FROM STANDARD PRODUCTS, COLORS AND SHEENS AVAILABLE. DO NOT PAINT PRE-FINISHED ITEMS, CONCEALED SURFACES, FINISHED METAL SURFACES, OPERATING PARTS, AND LABELS UNLESS INDICATED.
- ** NOTE TO SPECIFIER ** INCLUDE A MOCK-UP IF THE PROJECT SIZE AND/OR QUALITY WARRANT TAKING SUCH A PRECAUTION. THE FOLLOWING IS ONE EXAMPLE OF HOW A MOCK-UP ON A LARGE PROJECT MIGHT BE SPECIFIED. WHEN DECIDING ON THE EXTENT OF THE MOCK-UP, CONSIDER ALL THE MAJOR DIFFERENT TYPES OF WORK ON THE PROJECT.
- B. MOCK-UP: PROVIDE A MOCK-UP FOR EVALUATION OF SURFACE PREPARATION TECHNIQUES AND APPLICATION WORKMANSHIP.
 - 1. FINISH SURFACES FOR VERIFICATION OF PRODUCTS, COLORS AND SHEENS.
 - 2. FINISH AREA DESIGNATED BY ARCHITECT.
 - 3. PROVIDE SAMPLES THAT DESIGNATE PRIMER AND FINISH COATS.
 - 4. DO NOT PROCEED WITH REMAINING WORK UNTIL THE ARCHITECT APPROVES THE MOCK-UP.

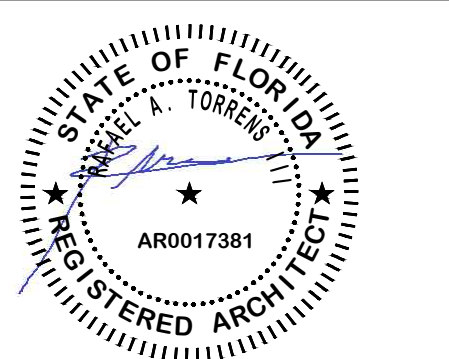
REV. NO.	DATE	DESCRIPTION
12-16-2019		BUILDING DEPARTMENT COMMENTS
01-29-2020		BUILDING DEPARTMENT COMMENTS
08-19-2020		BUILDING DEPARTMENT COMMENTS
10-22-2020		BUILDING DEPARTMENT COMMENTS

NOTES:

DISCIPLINE INFORMATION:

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Q.C. AUDITOR: RAFAEL A. TORRENS	PRINCIPAL CAD TECHNICIAN: JAVIER PUERTO
PROJECT MANAGER: YELIX RENTES	

PROFESSIONAL SEAL:



PROJECT:

VCA IMPROVEMENTS

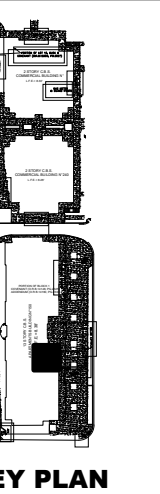
PALM CENTRE

150 EAST 1ST AVENUE
HIALEAH, FL 33010

DATE **ISSUE DESCRIPTION**

07/12/2019 ISSUED FOR PERMIT

DRAWING INFORMATION:



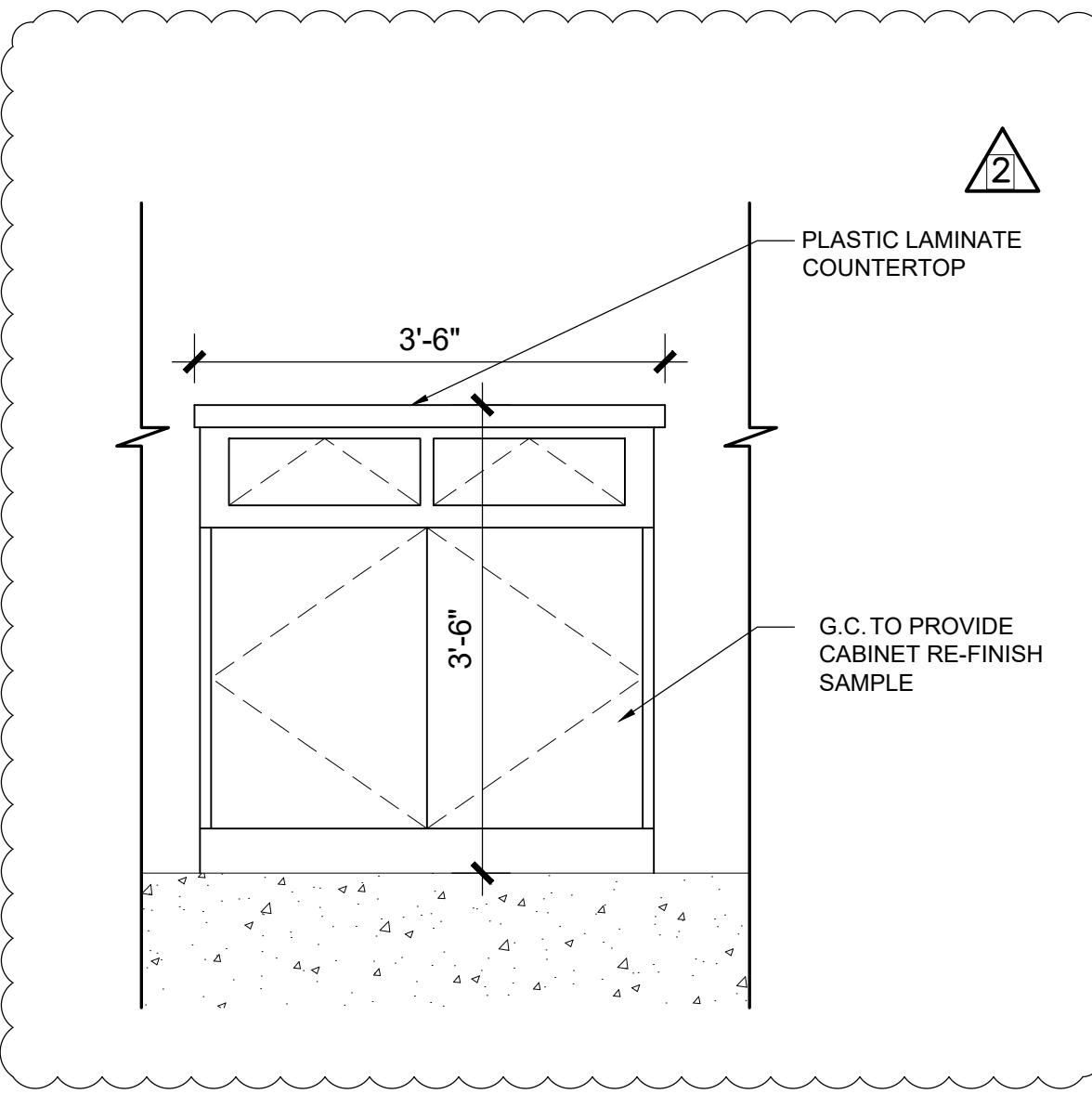
SHEET TITLE:

PROPOSED LAUNDRY ROOM
DETAILS

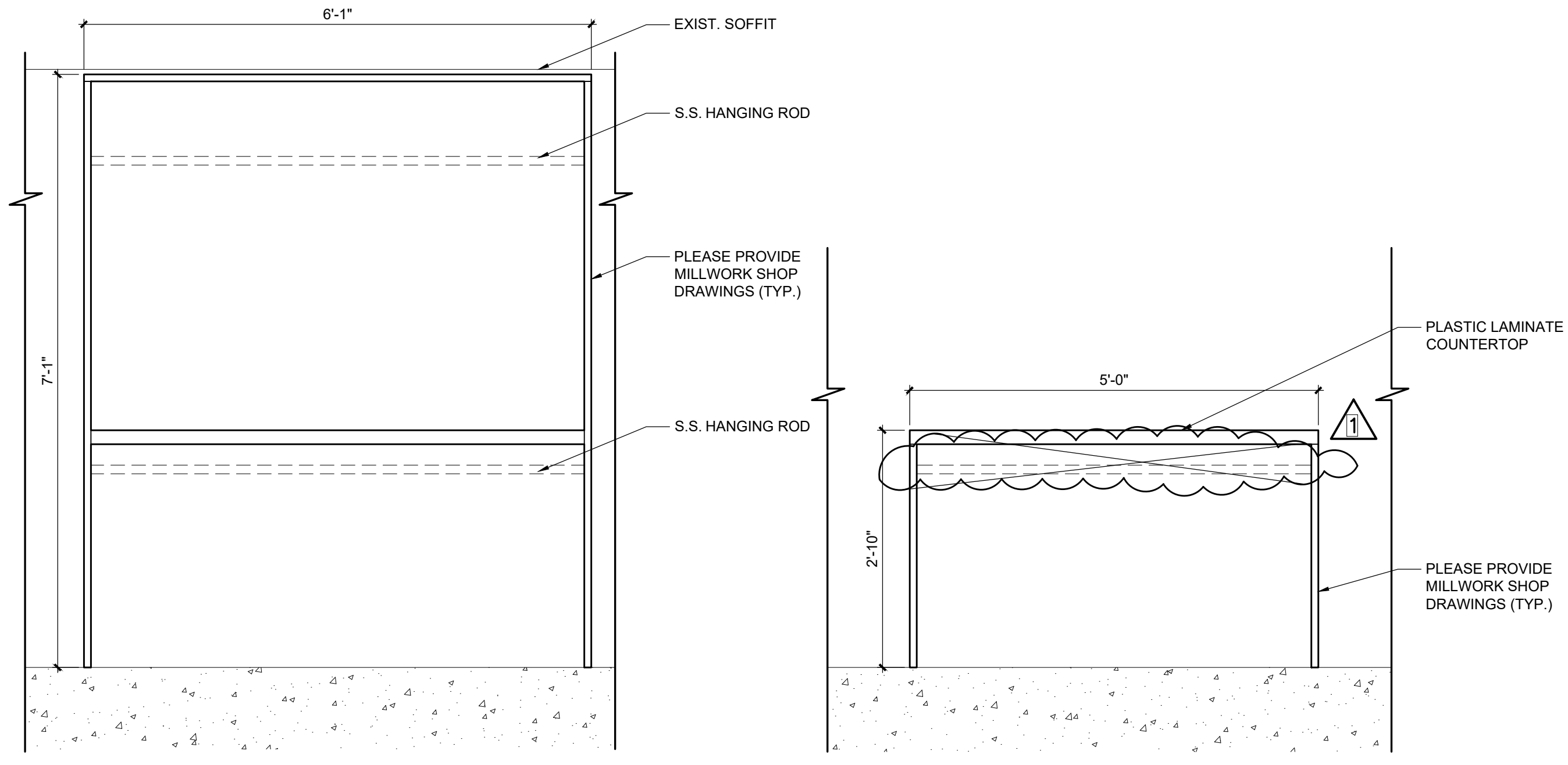
DELIVERY DATE:	PROJECT NUMBER:
04/10/2019	18-0221-06
PRINT DATE & TIME:	CAD FILE NAME:
04/10/2019	A500.1

DRAWING LOCATION:
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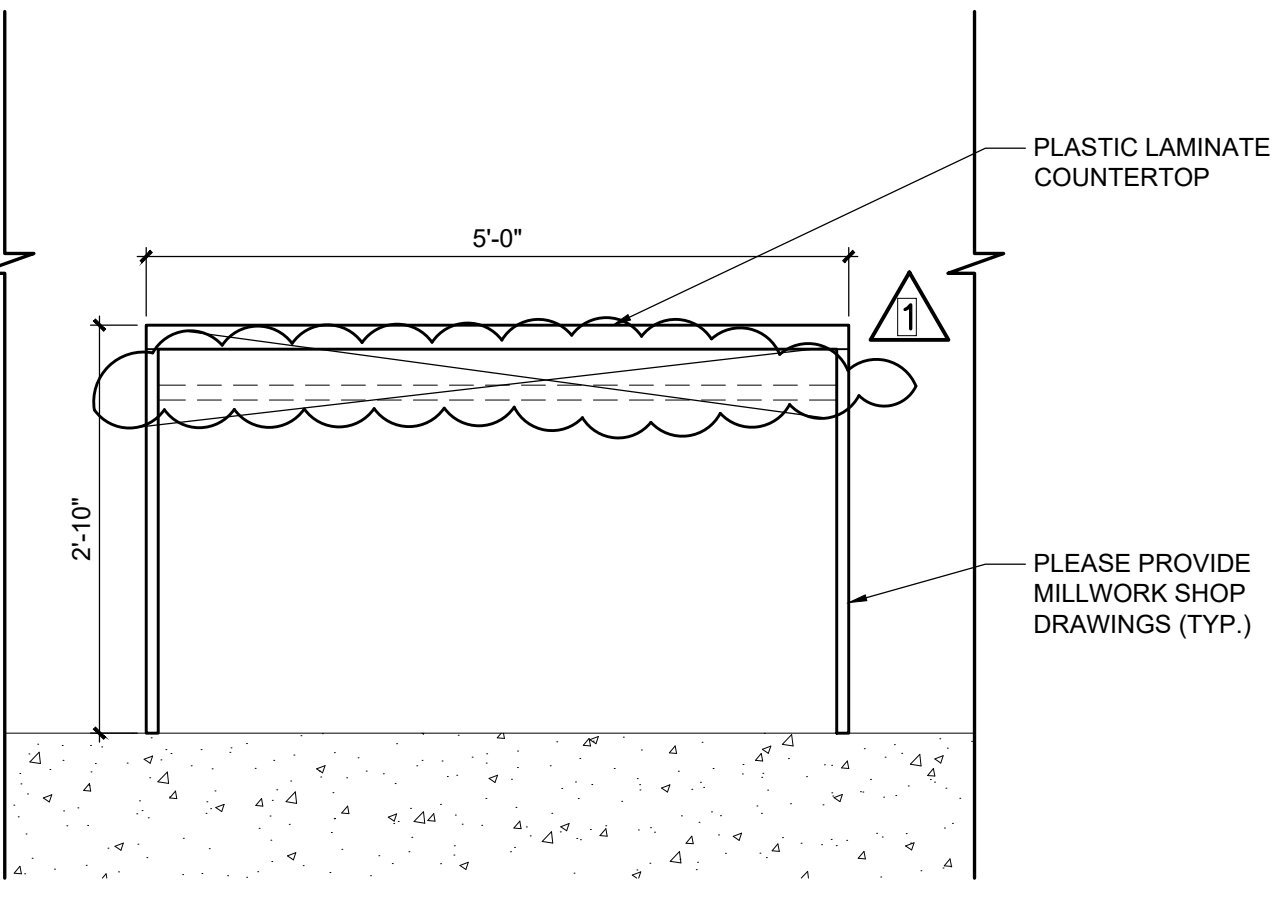
SHEET NO. **A500.1**



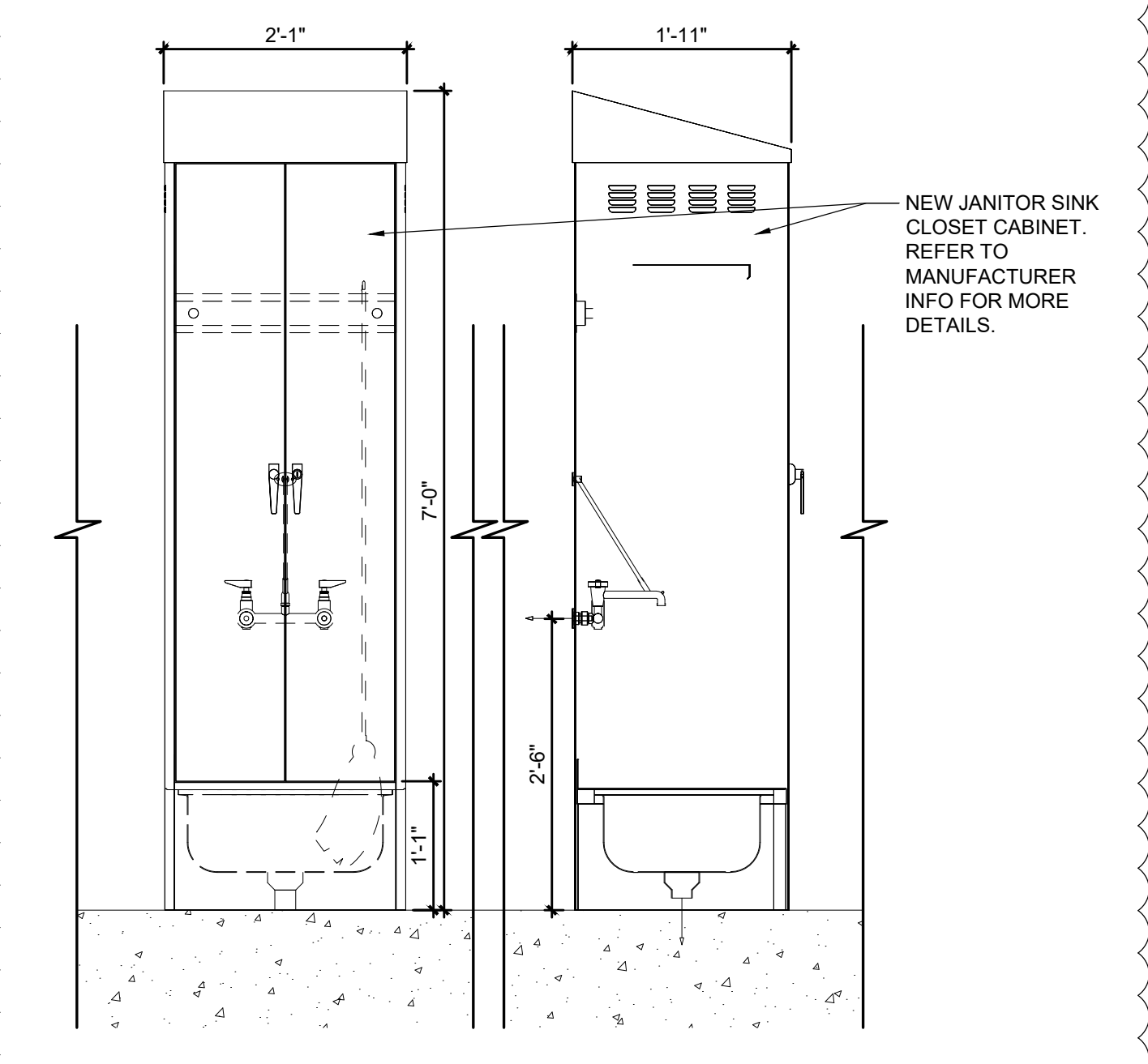
1 GARBAGE CABINET DETAIL
A500.1 SCALE: 3/4" = 1'-0"



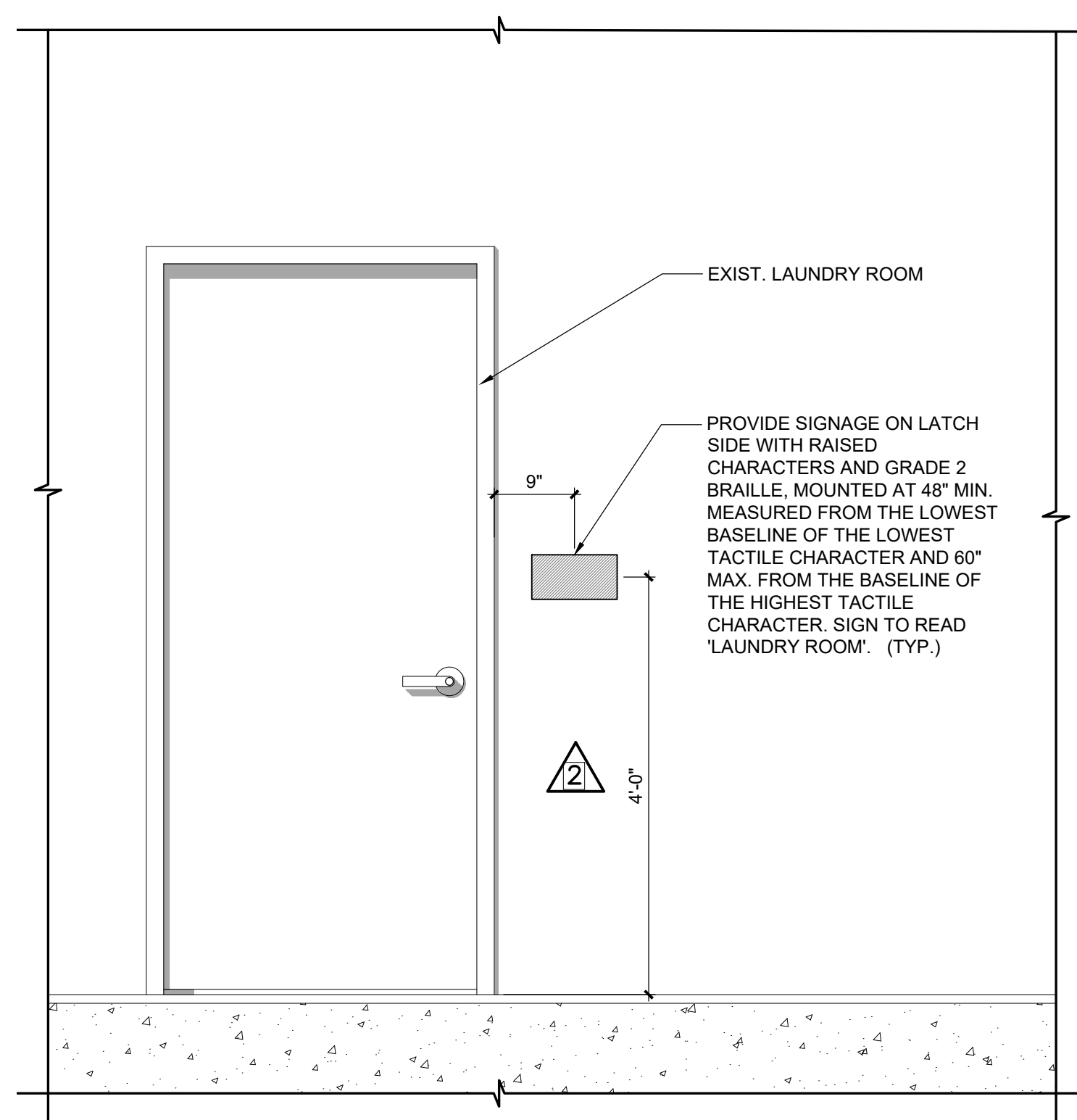
2 CABINET DETAIL
A500.1 SCALE: 3/4" = 1'-0"



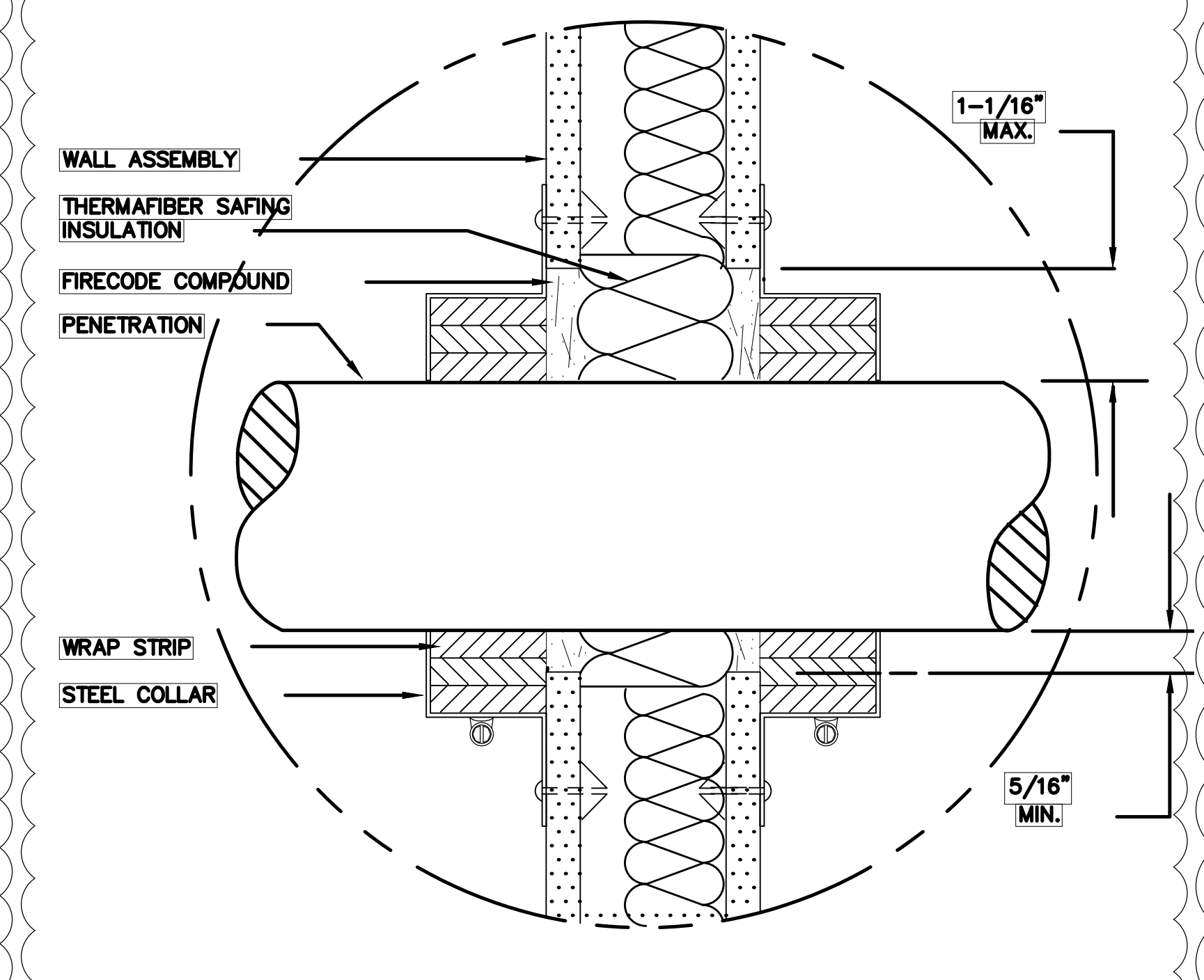
3 TABLE DETAIL
A500.1 SCALE: 3/4" = 1'-0"



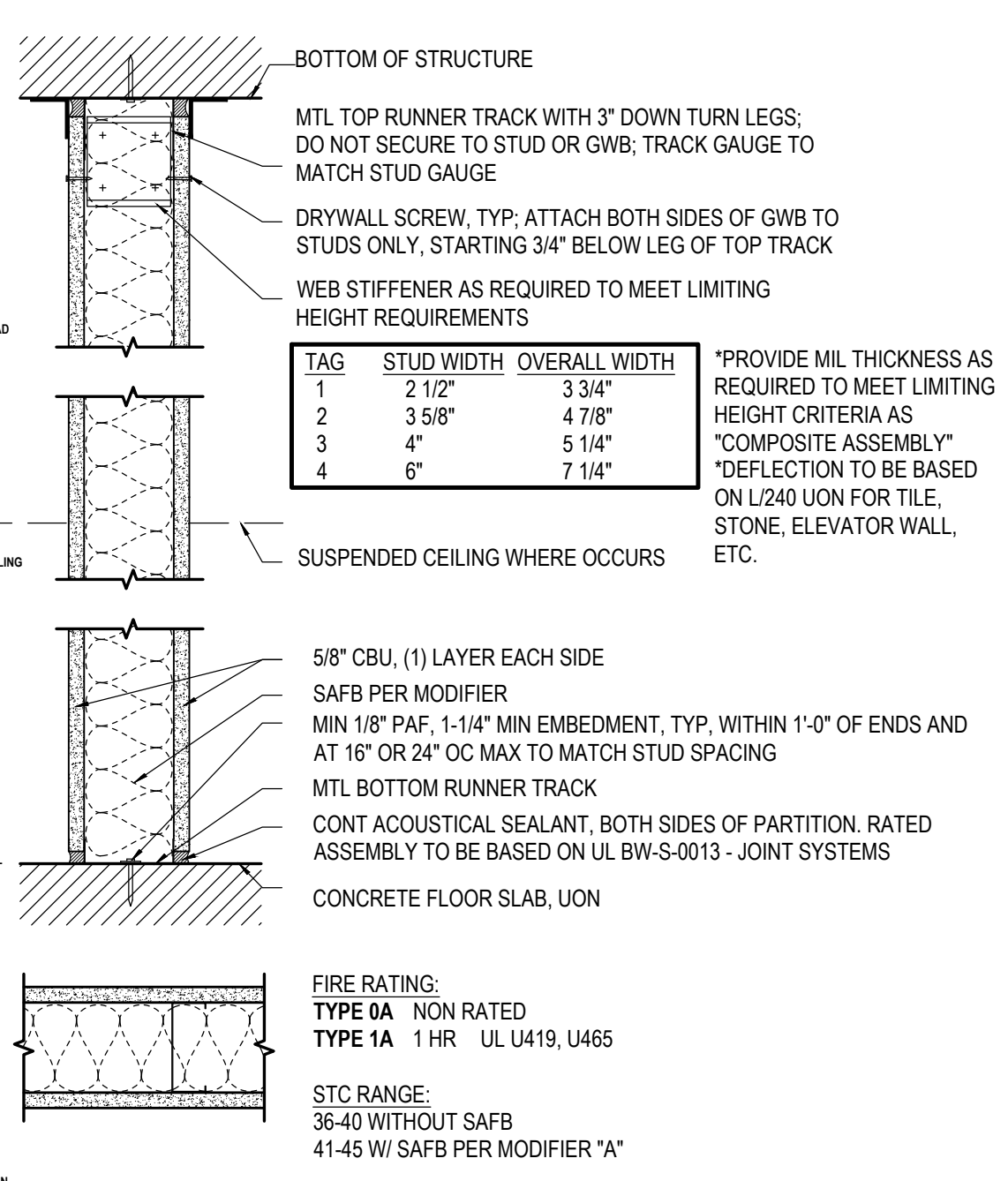
5 NEW MOP SINK STORAGE CABINET
A500.1 SCALE: 3/4" = 1'-0"



4 INTERIOR BUILDING CORRIDOR ACCESS DOOR SIGNAGE
A500.1 SCALE: 1/2" = 1'-0"

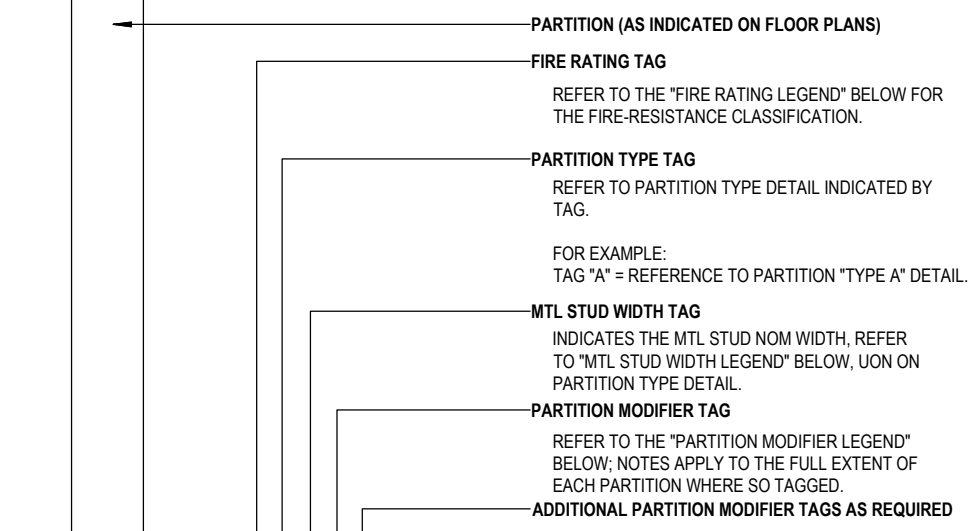


7 WALL ASSEMBLY DETAIL
A500.1 SCALE: 1:1



6 WALL DETAIL
A500.1 SCALE: 3/4" = 1'-0"

- GENERAL NOTES**
- REFER TO INDICATED DRAWINGS FOR HEAD DETAILS. HEAD CONDITION AS APPLICABLE TO SUPPORT CONDITION.
 - PROVIDE TYPE 'X' GWB AT ALL SMOKE PARTITIONS.
 - SMOKE BARRIERS SHALL RESIST THE PASSAGE OF AIR AT THE RATE OF NOT MORE THAN 5.0 CFM/SF AT BOTH AMBIENT TEMPERATURES & 400 DEG F AT A PRESSURE DIFFERENTIAL OF 0.30" WATER COLUMN.
 - MOISTURE RESISTANT, PAPERLESS, COATED FIBERGLASS MAT WATER RESISTANT GYPSUM WALL BOARD TO BE UTILIZED ON THE OUTER LAYER OF ALL PARTITIONS THAT ARE SCHEDULED TO RECEIVE CERAMIC TILE, PORCELAIN TILE, STONE TILE OR ANY MATERIAL THAT IS SECURE WITH ADHESIVES OR THIN-SET MORTARS.
 - PROVIDE 1/2" GYPSUM BOARD AT ALL SHOWER AND TUB LOCATIONS. EXTEND A MINIMUM OF 12 INCHES BEYOND WET AREA AS DEFINED BY SHOWER GLASS, CURTAIN, OR TUB EDGE.
 - MOISTURE RESISTANT GWB TO BE USED AT ALL STAIR SHAFTS, ELEVATOR SHAFTS, HVAC SHAFTS, PLUMBING CHASE, EXTERIOR WALLS, JANITOR CLOSETS, MECHANICAL ROOM INCLUDING BULKHEADS, AND OTHER AREAS WHERE MOISTURE COULD OCCUR AND AS SPECIFICALLY SCHEDULED AND/OR NOTED.
 - PROVIDE UL COMPLIANT FIRE AND SMOKE STOP SYSTEMS AT ALL HEAD OF WALL, BOTTOM OF WALL AND FOR ALL PENETRATIONS AND AS SPECIFICALLY SHOWN OR SCHEDULED.
 - ALL BRACING AND UNBRACED LENGTHS TO BE DESIGNED AND BASED ON SSMA (STEEL STUD MANUFACTURERS ASSOCIATION) PRODUCT TECHNICAL GUIDE (WWW.SSMA.ORG)
 - PROVIDE THE APPROPRIATE HEAD CONNECTION DETAIL BASED ON FIRE RATINGS AND ON CONNECTION CONDITION AT DECK OR BEAM.



FIRE RATING LEGEND
THE COMPLETE ASSEMBLY OF EACH PARTITION WITH A FIRE-SMOKE RATING TAG SHALL COMPLY WITH ALL REQUIREMENTS OF THE FIRE-RESISTANCE/SMOKE BARRIER RATING CLASSIFICATION.

TAG	RATING CLASSIFICATION
0	NON-RATED PARTITION
1	60 MIN FIRE-RESISTANCE RATED PARTITION
2	120 MIN FIRE-RESISTANCE RATED PARTITION
3	180 MIN FIRE-RESISTANCE RATED PARTITION
4	240 MIN FIRE-RESISTANCE RATED PARTITION

TAG	STUD WIDTH	TAG	STUD WIDTH
0	1 7/8" FLURRING CHANNEL	4	4"
1	1-5/8"	5	5"
2	2-1/2"	6	6"
3	3-5/8"		

PARTITION MODIFIER LEGEND
THE FOLLOWING NOTES APPLY TO THE FULL EXTENT OF EACH PARTITION, WHERE "PARTITION MODIFIER" CHARACTER(S) ARE SHOWN ON THE TAG:

TAG	DESCRIPTION
A	PROVIDE SAFB MINERAL WOOL INSULATION IN FULL WIDTH LESS 1/2" OF METAL STUD CAVITY AS SHOWN
B	PROVIDE IMPACT/ABUSE RESISTANT GYPSUM BOARD COMPLYING WITH HARD BODY IMPACT CLASSIFICATION LEVEL 3
C	IN LIEU OF INNER LAYER OF GYPSUM BOARD ON OUTER SIDE OF STAIR OR ELEVATOR ENCLOSURE OR 2 LAYERS OF IMPACT RESISTANT BOARD EACH OF WHICH COMPLIES WITH HARD BODY IMPACT CLASSIFICATION LEVEL 2
D	PROVIDE 3/4" FR PLYWOOD IN LIEU OF INNER LAYER OF GYPSUM BOARD ON CORRIDOR SIDE OF PARTITION

GENERAL CONSTRUCTION NOTES:

- A. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS SPECIFIED BY THE VARIOUS GOVERNMENTAL AGENCIES, THE ENGINEER, AND THE ARCHITECT, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, AND SCHEDULE ANY NECESSARY INSPECTIONS ACCORDING TO AGENCY INSTRUCTIONS.
- B. ALL ELEVATIONS ARE IN NAVD 1988.

APPLICABLE CODES:

- A. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO MUNICIPALITY STANDARDS AND SPECIFICATIONS AND ALL OTHER LOCAL, STATE AND NATIONAL CODES WHERE APPLICABLE.
 - B. ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER AND IN STRICT COMPLIANCE WITH ALL REQUIREMENTS OF THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, THE FLORIDA TRENCH SAFETY ACT OF FLORIDA (90-96) EFFECTIVE OCTOBER 1, 1990, AND ALL OTHER STATE AND LOCAL SAFETY AND HEALTH REGULATIONS.
 - C. ALL ELEVATIONS SHOWN ON THE CONSTRUCTION DRAWINGS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929. (N.G.V.D.), UNLESS OTHERWISE NOTED.
 - D. THE CONTRACTOR SHALL COMPLY WITH THE WATER QUALITY STANDARDS OF THE STATE OF FLORIDA, ADEQUATE SILT CONTAINMENT PROCEDURES AND/OR EQUIPMENT SHALL BE USED TO CONTROL TURBIDITY AT ALL TIMES. THERE SHALL BE NO DIRECT DISCHARGE OF WATER TO ANY OFFSITE DITCH, WATER BODY OR PRESERVATION AREA.
 - E. THE CONTRACTOR SHALL OBSERVE THE SPECIAL LIMITING, GENERAL AND SPECIFIC CONDITIONS OF ALL PERMITS APPLICABLE TO THIS WORK (COPIES OF WHICH WILL BE PROVIDED BY THE OWNER).
 - F.
- ## SAFETY NOTES:
- A. DURING THE CONSTRUCTION AND MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS PERSONNEL.
 - B. THE CONTRACTOR'S PEDESTRIAN MAINTENANCE OF TRAFFIC PLAN MUST BE SUBMITTED AND APPROVED BY APPLICABLE AGENCIES AND ENGINEER / ARCHITECT PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES.
 - C. LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY OSHA IN THE FEDERAL REGISTER OF THE DEPARTMENT OF TRANSPORTATION.
 - D. CONTRACTOR SHALL PROVIDE AND MAINTAIN ITS OWN SAFETY EQUIPMENT IN ACCORDANCE WITH ITS HEALTH & SAFETY PROGRAM AND ALL OTHER APPLICABLE LEGAL AND HEALTH AND SAFETY REQUIREMENTS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROVIDING ITS EMPLOYEES AND SUB CONTRACTORS WITH ADEQUATE INFORMATION AND TRAINING TO ENSURE THAT ALL EMPLOYEES AND SUB CONTRACTORS AND SUB CONTRACTOR'S EMPLOYEES COMPLY WITH ALL APPLICABLE REQUIREMENTS. CONTRACTOR SHALL REMAIN IN COMPLIANCE WITH ALL OCCUPATION SAFETY AND HEALTH REGULATIONS AS WELL AS THE ENVIRONMENTAL PROTECTION LAWS. THE FOLLOWING IS NOT TO BE PERCEIVED AS THE ENTIRE SAFETY PROGRAM BUT JUST BASIC REQUIREMENTS.
 - E. ALL EXCAVATIONS BY THE CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF THE DEPARTMENT OF LABOR'S OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION RULES AND REGULATIONS AND FLORIDA TRENCH SAFETY ACT. PARTICULAR ATTENTION MUST BE PAID TO THE CONSTRUCTION STANDARDS FOR EXCAVATIONS, 29 CFR PART 1926, SUBPART P.
 - F. THE MINIMUM STANDARDS AS SET FORTH IN THE CURRENT EDITION OF "THE STATE OF FLORIDA, MANUAL ON TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS" SHALL BE FOLLOWED IN THE DESIGN APPLICATION, INSTALLATION, MAINTENANCE AND REMOVAL OF ALL TRAFFIC CONTROL DEVICES, WARNING DEVICES AND BARRIERS NECESSARY TO PROTECT THE PUBLIC AND WORKMEN FROM HAZARDS WITHIN THE PROJECT LIMITS.
 - G. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.
 - H. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES AND SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE UTILITY COMPANIES PRIOR TO CONSTRUCTION TO OBTAIN FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES. CALL 811 BEFORE YOU DIG.

PRECONSTRUCTION RESPONSIBILITIES:

- A. THE CONTRACTOR SHALL OBTAIN A SUNSHINE 811 CERTIFICATION NUMBER AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION (WHERE REQUIRED), AND CONTACT THE MUNICIPALITY WATER AND SEWER (UTILITY) DEPARTMENT IN ADVANCE OF WORK.
- B. EXISTING FACILITIES SHOWN ON THE DRAWINGS ARE DRAWN FROM AVAILABLE RECORDS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE FACILITIES SHOWN OR FOR ANY FACILITY NOT SHOWN. THE LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES SHOWN SHALL BE FIELD VERIFIED BY THE CONTRACTOR. ANY DISCREPANCY IN OR VARIATION FROM THE APPROVED PLANS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER.
- C. UPON THE RECEIPT OF THE "NOTICE TO PROCEED", THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD TO ARRANGE A PRECONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, UTILITY OWNERS, THE OWNER, AND THE ENGINEER.

INSPECTIONS:

- A. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD, AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION, TO SCHEDULE INSPECTIONS AND TESTS A MINIMUM OF 48 HOURS IN ADVANCE FOR THE INSPECTION OF THE FOLLOWING GENERAL ITEMS, WHERE APPLICABLE:
 1. CLEARING, EXCAVATION, AND EMBANKMENT
 2. SUB-GRADE
 3. LIMEROCK BASE
 4. FINAL

PROJECT CONSTRUCTION COORDINATION:

- A. THE CONTRACTOR SHALL COORDINATE HIS ACTIVITIES WITH ANY OTHER CONTRACTOR PERFORMING WORK AT THE PROJECT SITE.
- B. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER, AND UPON FINAL CLEAN-UP THE PROJECT SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEPED BROOM CLEAN.

PROJECT CLOSEOUT:

- A. CLEANING UP:
 1. THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED BY THE ENGINEER, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS WORK, EQUIPMENT, OR EMPLOYEES, TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS. SUITABLE MATERIALS AND METHODS SHALL BE USED FOR SUCH RESTORATION.
 2. WHERE MATERIAL OR DEBRIS HAS WASHED OR FLOWED INTO OR HAVE BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING THE PROGRESS OF THE WORK, AND THE AREA KEPT IN A CLEAN AND NEAT CONDITION.
- B. ALL PROPERTY MONUMENTS OR PERMANENT REFERENCES REMOVED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED BY A STATE OF FLORIDA REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- C. PROJECT RECORD DOCUMENTS:
 1. THE CONTRACTOR SHALL MAINTAIN A CURRENT SET OF CONSTRUCTION DOCUMENTS ON SITE.
 2. DURING THE DAILY PROGRESS OF THE JOB, THE CONTRACTOR SHALL RECORD ON HIS SET OF CONSTRUCTION DRAWINGS THE EXACT LOCATION, LENGTH AND ELEVATION OF ANY FACILITY NOT BUILT EXACTLY ACCORDING TO PLANS.
 3. UPON COMPLETION OF CONSTRUCTION, AND PRIOR TO FINAL PAYMENT THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD ONE COMPLETE SET OF ALL "AS-BUILT" DRAWINGS. THESE DRAWINGS SHALL BE MARKED TO

SHOW "AS-BUILT" CONSTRUCTION CHANGES AND DIMENSIONS, LOCATIONS AND ELEVATIONS OF ALL IMPROVEMENTS.

4. UPON COMPLETION OF UNDERGROUND UTILITIES IMPROVEMENT AND LIMEROCK BASE CONSTRUCTION THE CONTRACTOR SHALL FURNISH THE ENGINEER "AS-BUILT" PLANS FOR THESE IMPROVEMENTS, SHOWING FINISHED ROCK BASE ELEVATIONS AND OFFSETS AT CENTERLINE, EDGE OF MEDIAN AND EDGE OF SIDEWALK, PLUS ELEVATIONS OF BOTTOM OF SWALES OR FLOW LINE OF GUTTER, TOP OF CURB, AT RIGHT-OF-WAY LINES AT HIGH AND LOW POINTS AND AT INTERSECTIONS AND BREAKS IN GRADE. ELEVATIONS SHOULD BE VERIFIED AND SHOWN AT INTERVALS NOT TO EXCEED 300 FEET MEASURED ALONG THE PROFILE GRADE LINE.
 5. ALL "AS-BUILT" INFORMATION SHALL BE CERTIFIED BY A FLORIDA REGISTERED LAND SURVEYOR.
- D. UPON COMPLETION OF CONSTRUCTION AND PRIOR TO FINAL ACCEPTANCE OF THE WORK, A FINAL INSPECTION SHALL VERIFY PROPER ADHERENCE TO ALL FACETS OF THE PLANS AND SPECIFICATIONS.
- E. WARRANTY:
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. NEITHER THE OWNER NOR THE ENGINEER SHALL ENTER INTO THE RELATIONSHIP AS TO THE MANUFACTURER'S WARRANTY TO THE CONTRACTOR. THE ENGINEER SHALL BE THE SOLE JUDGE OF PERFORMANCE UNDER THE WARRANTY.
 2. ANY REPAIRS OR REPLACEMENT NECESSITATED BY MECHANICAL FAILURE DUE TO FAULTY MATERIAL, IMPROPER INSTALLATION OR POOR WORKMANSHIP SHALL BE COMPLETED WITHIN FIVE DAYS AFTER NOTIFICATION BY THE ENGINEER. AT THE EXPIRATION OF THIS TIME, THE OWNER SHALL BE ENTITLED TO HAVE WORK DONE BY OTHERS AT THE EXPENSE OF THE CONTRACTOR. SUCH REPAIR WORK DONE BY OTHERS SHALL NOT VOID THE WARRANTY OR THE RESPONSIBILITY OF THE CONTRACTOR AS TO THE BALANCE OF THE INSTALLATION BY THE CONTRACTOR.

EARTHWORK:

- A. UNLESS OTHERWISE SHOWN, CLEARING AND GRUBBING SHALL BE DONE WITHIN ALL AREAS WHERE EXCAVATION, EMBANKMENT, PAVEMENT, STREETS, UTILITIES, PIPE CULVERTS, AND STRUCTURES ARE TO BE CONSTRUCTED.
 1. THE SURFACE OF THE GROUND SHALL BE COMPLETELY CLEARED OF ALL TIMBER, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH, AND ALL OTHER OBJECTIONABLE MATERIAL RESTING ON, OR PROTRUDING THROUGH THE SURFACE OF THE GROUND.
 2. GRUBBING SHALL CONSIST OF THE COMPLETE REMOVAL OF ALL STUMPS, ROOTS LARGER THAN 1-1/2 INCHES IN DIAMETER, MATTED ROOTS, AND ANY OTHER OBJECTIONABLE MATERIAL RESTING ON, OR PROTRUDING THROUGH THE SURFACE OF THE GROUND TO A DEPTH OF 18 INCHES BELOW THE ORIGINAL GROUND.
 3. DEBRIS SHALL BE DISPOSED OF EITHER BY BURIAL IN DESIGNATED AREAS ON THE SITE, OR BY HAULING TO AN AUTHORIZED DISPOSAL SITE. THE CONTRACTOR SHALL SECURE ANY PERMIT REQUIRED.
- B. THE CONTRACTOR SHALL PERFORM ALL EXCAVATION NECESSARY TO ACCOMPLISH THE CONSTRUCTION INDICATED ON THE DRAWINGS. FOR PAYMENT PURPOSES, ALL EXCAVATION SHALL BE UNCLASSIFIED REGARDLESS OF MATERIAL ENCOUNTERED, UNLESS OTHERWISE NOTED.
 1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILIAR WITH THE SOIL CONDITIONS ON THE SITE. BORINGS, IN ADDITION TO THOSE PROVIDED BY OTHERS, IF ANY, SHALL BE ACQUIRED BY THE CONTRACTOR AT HIS EXPENSE.
 2. LIMITS OF DEMUCKING SHALL BE AS SHOWN IN FDOT INDEX NO. 505 EXCEPT IN ROAD RIGHT-OF-WAY WHERE THE ENTIRE WIDTH OF THE RIGHT-OF-WAY SHALL BE DEMUCKED.
- C. EMBANKMENT (FILL) SHALL BE CONSTRUCTED FROM SUITABLE MATERIALS RESULTING FROM ROADWAY OR SITE EXCAVATION OR APPROVED MATERIALS FURNISHED FROM OFF-SITE SOURCES.
 1. SATISFACTORY SOIL MATERIALS ARE DEFINED AS THOSE COMPLYING WITH THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (M.S.H.T.O.) M-145, SOIL CLASSIFICATIONS GROUPS A-1, A-2-4, A-2-5, A-3.
 2. THE STABILITY OF EXISTING MATERIAL ON-SITE MAY VARY. THE CONTRACTOR SHALL SATISFY HIMSELF BY SITE INSPECTION BORINGS, PROBING, ETC. AS TO THE CHARACTER OF THE MATERIAL.
 3. STRUCTURAL FILL SHALL BE PLACED IN LAYERS NOT MORE THAN 6 INCHES LOOSE DEPTH OR AS SPECIFIED BY THE APPLICABLE GOVERNING AGENCY CODE FOR MATERIAL COMPACTED BY HEAVY CONSTRUCTION EQUIPMENT. EACH LAYER SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF MINIMUM DRY DENSITY AS DETERMINED BY AASHTO T-180.
 4. COMMON FILL SHALL BE PLACED IN LAYERS NOT MORE THAN 12 INCHES LOOSE DEPTH AND COMPACTED TO AT LEAST 95 PERCENT OF MINIMUM DRY DENSITY AS DETERMINED BY AASHTO T-180. COMMON FILL REQUIRED BELOW WATER LEVEL MAY BE PLACED AS ONE LIFT, IN THE WET, TO AN ELEVATION OF ONE FOOT ABOVE THE WATER LEVEL AT THE TIME OF FILLING.
- D. ALL EXCAVATION AND EMBANKMENT AREAS SHALL BE SHAPED AND GRADED TO THE ELEVATIONS AND CROSS-SECTION SHOWN ON THE DRAWINGS.

SIDEWALK SPECIFICATIONS:

1. ALL CONCRETE SHALL PROVIDE MINIMUM 3,000 PSI. COMPRESSIVE STRENGTH.
2. ALL SIDEWALKS DESIGNATED AS AN "ACCESSIBLE ROUTE" SHALL HAVE SLOPES THAT CONFORM TO THE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT (A.D.A.) AND "FLORIDA ACCESSIBILITY CODE", LATEST EDITIONS.
3. ALL MUCK AND/OR UNSUITABLE MATERIAL MUST BE REMOVED IN ITS ENTIRETY TO 3 FEET BEYOND LIMITS OF SIDEWALK AND REPLACED WITH CLEAN FILL.
4. SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY PER AASHTO T-180 AND HAVE MINIMUM LBR OF 40.
5. REFER TO SITE PLAN, SITE ENGINEERING IMPROVEMENTS PLAN AND SITE ENGINEERING IMPROVEMENTS DETAILS FOR SIDEWALK LOCATIONS, WIDTHS AND OTHER RELEVANT INFORMATION.
6. CONCRETE SURFACE SHALL BE 'BROOM' FINISHED AND WITHOUT ANY TROWEL MARKS/ BORDER. DIRECTION OF 'BROOM' FINISH IS IN GENERAL ACROSS THE WIDTH OF SIDEWALK.
7. ALL SIDEWALK CONSTRUCTION SHALL CONFORM TO F.O.D.T. "DESIGN STANDARDS" (INDEX No. 304 AND 310) AND "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SPECIFICATIONS" (SECTIONS 346 AND 522), LATEST EDITION.

SEDIMENT AND EROSION CONTROL NOTES

- 1.- THE CONTRACTOR SHALL CONSTRUCT EROSION AND SEDIMENT CONTROL MEASURES AS PER THE APPROVED STORM WATER POLLUTION PREVENTION PLAN SEQUENCE AND SHALL HAVE THEM INSPECTED AND APPROVED BY THE INSPECTOR PRIOR TO BEGINNING ANY OTHER LAND DISTURBANCES. MINOR SEDIMENT CONTROL DEVICE LOCATION ADJUSTMENTS MAY BE MADE IN THE FIELD WITH THE APPROVAL OF THE INSPECTOR. THE CONTRACTOR SHALL ENSURE THAT ALL RUNOFF FROM DISTURBED AREAS IS DIRECTED TO THE SEDIMENT CONTROL DEVICES, AND SHALL NOT REMOVE ANY EROSION CONTROL OR SEDIMENT CONTROL MEASURE WITHOUT PRIOR PERMISSION FROM THE INSPECTOR.
- 2.- THE CONTRACTOR SHALL PROTECT ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS TO PREVENT THE DISPOSITION OF MATERIALS INTO PUBLIC ROADS. ALL MATERIALS DEPOSITED ONTO PUBLIC ROADS SHALL BE REMOVED IMMEDIATELY.
- 3.- SURFACE DRAINAGE FLOWS OVER STABILIZED CUT AND FILL SLOPES SHALL BE CONTROLLED BY EITHER PREVENTING DRAINAGE FLOWS FROM TRAVERSING THE SLOPES OR BY INSTALLING PROTECTIVE DEVICES TO LOWER THE WATER DOWN SLOPE WITHOUT CAUSING EROSION. PROTECTIVE METHODS MUST BE PROVIDED AT POINTS OF CONCENTRATED FLOW WHERE EROSION IS LIKELY TO OCCUR.
- 4.- NO PERMANENT CUT OR FILL SLOPE WITH A GRADIENT STEEPER THAN 3:1 WILL BE PERMITTED IN LAWN MAINTENANCE AREAS. A SLOPE GRADIENT OF UP TO 2:1 WILL BE PERMITTED IN NON-MAINTENANCE AREAS.
- 5.- FOR FINISHED GRADING, THE CONTRACTOR SHALL PROVIDE ADEQUATE GRADIENTS SO AS TO: PREVENT WATER FROM STANDING ON THE SURFACE MORE THAN TWENTY FOUR (24) HOURS AFTER THE END OF A RAINFALL.
- 6.- THE INSPECTOR HAS THE OPTION OF REQUIRING ADDITIONAL SAFETY OR SEDIMENT CONTROL MEASURES IF DEEMED NECESSARY. TEMPORARY SEDIMENT TRAPS SHALL BE CLEANED OUT AND RESTORED TO THE ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A POINT ONE HALF (1/2) THE DEPTH BETWEEN THE OUTLET CREST AND THE BOTTOM OF THE TRAP.

6.- SEDIMENT BASINS SHALL BE CLEANED OUT AND RESTORED TO THE ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO ONE HALF (1/2) THE DEPTH BETWEEN THE DEWATERING ELEVATION AND THE BOTTOM OF THE BASIN.

6.- SEDIMENT REMOVED FROM TRAPS (AND BASINS) SHALL BE PLACED AND STABILIZED IN APPROVED AREAS.

6.- POINTS OF CONSTRUCTION INGRESS AND EGRESS IN UNPAVED AREAS SHALL BE STABILIZED AND PROTECTED TO PREVENT TRACKING OF MUD ONTO PUBLIC WAYS.

10.-THE CONTRACTOR SHALL PROTECT STORM DRAINAGE SYSTEM DELETERIOUS MATERIAL DURING DEMOLITION WORKS.

11.-THE CONTRACTOR SHALL PROTECT STORM DRAINAGE ENTRANCE WITH STRAW BALES.

12.-THE CONTRACTOR SHALL PROVIDE WATER FOR CLEANING PURPOSE ON TRUCK WASHING FACILITY.

13.-IF NECESSARY TREE BRANCH CUTTING WILL BE PERMITTED, BUT CONTRACTOR SHALL COORDINATE WITH INSPECTOR AND DESIGNER BEFORE ANY BRANCH CUTTING IS PERFORMED.

14.-USE WATER MIST, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT THE SPREAD OF DUST AND DIRT. DO NOT CREATE HAZARDOUS OR OBJECTIONABLE CONDITION SUCH FLOODING, AND POLLUTION, WHEN USING WATER.



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CLIENT:



IN ASSOCIATION WITH:

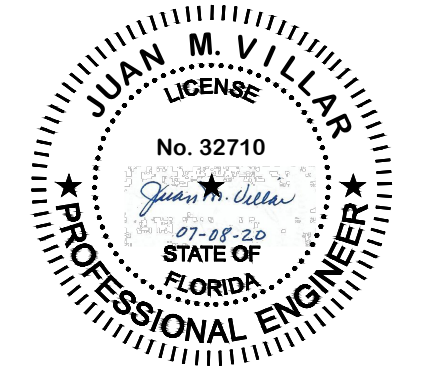
REV. NO.	DATE	DESCRIPTION

NOTES:

DISCIPLINE INFORMATION:

PROFESSIONAL OF RECORD: JUAN M VILLAR	SEAL DESIGNER: GILBERT CRUZ
D.C. AUDITOR: RAFAEL A TORRES	PRINCIPAL CAD TECHNICIAN: GILBERT CRUZ
PROJECT MANAGER: YELLY RIVERA	

PROFESSIONAL SEAL:



PROJECT:

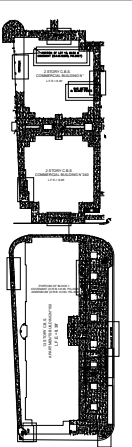
VCA IMPROVEMENTS

PALM CENTRE

150 EAST 1ST AVENUE
HIALEAH, FL 33010

DATE	ISSUE DESCRIPTION
07/22/19	ISSUED FOR PERMIT

DRAWING INFORMATION:



KEY PLAN

SHEET TITLE:

CIVIL NOTES

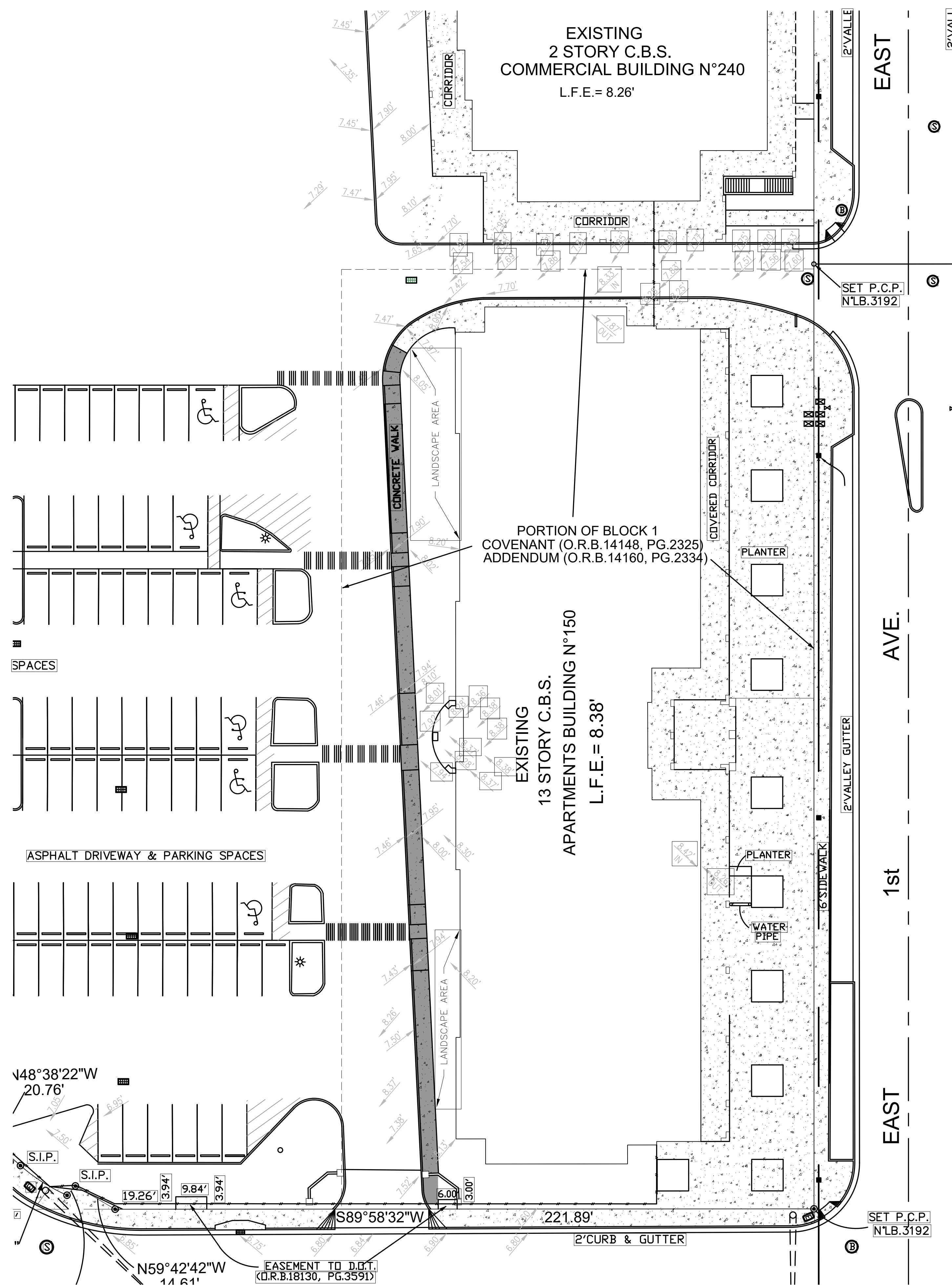
DELIVERY DATE: 04/10/2019	PROJECT NUMBER: 18-0221-06
PRINT DATE & TIME: 04/10/2019	CAD FILE NAME: C001

DRAWING LOCATION:
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SHEET NO.

C001

1 OF 03



DEMOLITION NOTES

- 1 - IT IS THE CONTRACTOR RESPONSIBILITY TO INSURE HIS/HER COMPLETE FAMILIARITY WITH THE PROJECT SITE AND THE OVERALL SCOPE OF PROJECT. BY SUBMITTAL OF A BID FOR THE PROJECT, THE CONTRACTOR ACKNOWLEDGES HIS/HER COMPLETE UNDERSTANDING AND RESPONSIBILITIES WITH RESPECT TO THE EXISTING CONDITIONS AND CONSTRUCTION ACTIVITIES REQUIRED UNDER THE SCOPE OF THE PROJECT.
- 2 - THE CONTRACTOR SHALL BE RESPONSIBLE OF INSURING THAT ALL CONSTRUCTION SHALL BE COMPLETE IN A SAFE MANNER AND IN STRICT COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS OF THE FEDERAL OCCUPATIONAL SAFETY ACT (LATEST EDITION) AND ALL STATE, COUNTY AND MUNICIPAL SAFETY AND HEALTH REGULATIONS.
- 3 - THE CONTRACTOR SHALL PROTECT ALL EXISTING ABOVE GROUND STRUCTURES/IMPROVEMENTS AND/OR BELOW GROUND UTILITIES NOT SHOWN ON THE PLANS TO BE REMOVED BY THE PROJECT'S CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO AND/OR REPLACE ANY EXISTING STRUCTURES/IMPROVEMENTS AND/OR BELOW GROUND UTILITIES NOT NOTED FOR REMOVAL AND DAMAGED BY CONSTRUCTION ACTIVITIES AT NO EXPENSE TO THE OWNER.
- 4 - DISPOSAL OF ALL DEMOLITION MATERIALS SHALL BE MADE OUTSIDE THE LIMITS OF THE CONSTRUCTION/PROJECT AT A LEGAL DISPOSAL SITE AT THE EXPENSE OF THE CONTRACTOR. DISPOSAL OF DEMOLITION MATERIALS SHALL OCCUR ON A PERIODIC BASIS SO AS TO AVOID THE BUILD-UP OF EXCESSIVE DEMOLITION MATERIALS WITHIN THE PROJECT LIMITS AS NECESSARY TO ADDRESS SAFETY AND HEALTH ISSUES AND INSURE THE OWNERS' PROPER USE OF HIS/HER FACILITIES AND CONTINUED NORMAL BUSINESS OPERATIONS.
- 5 - CONTRACTOR SHALL SAWCUT THE EXISTING CONCRETE SIDEWALK/WALKWAY AND CURB ALONG APPLICABLE LIMITS OF REMOVAL PRIOR TO REMOVAL TO PROVIDE A STRAIGHT EVEN LINE FOR ANY APPLICABLE JOINING/CONNECTION OF NEW CONCRETE AND/OR PAVEMENT IMPROVEMENTS.
- 6 - REFER TO OTHER PROJECT RELATED PLANS (SITE PLAN, LANDSCAPE AND IRRIGATION PLANS, SITE LIGHTING PLAN, SITE ENGINEERING IMPROVEMENTS PLANS AND DETAILS/SECTIONS RELATED PLANS) FOR CONFIRMATION OF THE FULL SCOPE OF CONSTRUCTION AS IT APPLIES TO THE LIMITS AND SCOPE OF THE DEMOLITION WORK/ACTIVITIES AND TO INSURE PROPER COORDINATION OF THE DEMOLITION.
- 7 - REFER TO OTHER PROJECT RELATED PLANS (SITE PLAN, LANDSCAPE PLAN, SITE LIGHTING / ELECTRICAL PLANS AND SITE ENGINEERING MODIFICATIONS PLAN / DETAILS / SECTIONS) 1 OR CONFIRMATION OF THE FULL SCOPE OF CONSTRUCTION AS IT APPLIES TO THE LIMITS AND SCOPE OF THE DEMOLITION WORK / ACTIVITIES AND TO INSURE PROPER COORDINATION OF THE DEMOLITION WORK / ACTIVITIES WITH THE OTHER REQUIRED CONSTRUCTION WORK / ACTIVITIES.
- 8 - THE LOCATIONS, ELEVATIONS AND DIMENSIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATIONS, AND DIMENSIONS OF ALL EXISTING UTILITIES AND OTHER FEATURES AFFECTING THE WORK PRIOR TO DEMOLITION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES WHICH MAY AFFECT THE DEMOLITION WORK.
- 9 - CHAPTER 553.851 OF THE FLORIDA STATUTES REQUIRES THAT AN EXCAVATOR NOTIFY ALL UTILITIES A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO EXCAVATING.
- 10 - THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, SUPERVISION, AND EQUIPMENT REQUIRED FOR THE ORDERLY DEMOLITION AND REMOVAL OF EXISTING STRUCTURES, PAVEMENT AND UTILITIES AS SHOWN ON THE DRAWINGS AND DESCRIBED HEREIN.
- 11 - WET DOWN CONCRETE SIDEWALK / CURBING AND DEBRIS DURING DEMOLITION AND LOADING OPERATIONS TO PREVENT THE SPREAD OF DUST (AS APPLICABLE TO PROJECT).
- 12 - ALL EXISTING UNDERGROUND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AT THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES, GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.
- 13 - THE CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO REMOVAL OR RELOCATION OF ANY ELECTRICAL, TELEPHONE, CABLE AND / OR GAS LINES. SUFFICIENT TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
- 14 - CONTRACTOR MUST STOP OPERATION AND NOTIFY THE OWNER / ENGINEER FOR PROPER DIRECTION IF ANY ENVIRONMENTAL OR HEALTH RELATED CONTAMINANT IS ENCOUNTERED DURING THE DEMOLITION / EXCAVATION PROCESS.
- 15 - PRIOR TO DEMOLITION OCCURRING ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED BY THE CONTRACTOR PER THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (F.D.E.P.) GENERAL PERMIT REQUIREMENTS AND / OR LOCAL GOVERNMENT REQUIREMENTS.
- 16 - ALL SIGNS OUTSIDE THE DEMOLITION AREA ARE TO REMAIN UNLESS OTHERWISE SPECIFIED.
- 17 - ANY MUCK ENCOUNTERED UNDER PROPOSED STRUCTURES SHALL BE REMOVED TO 5 FT. BEYOND THE FOOTPRINT OF THAT STRUCTURE BACKFILL WITH APPROVED FILL / BEDDING MATERIAL SATISFYING ALL COMPACTION REQUIREMENTS.
- 18 - ALL EXISTING UTILITIES WITHIN THE DEMOLITION SITE AREA NOTED TO BE ADJUSTED REMOVED OR RELOCATED AT THE CONTRACTOR'S EXPENSE. ACTUAL WORK SHALL BE COORDINATED BY THE CONTRACTOR DIRECTLY W/ THE APPROPRIATE UTILITY COMPANY. ALL EXPENSES SHALL BE INCLUDED IN THE CONTRACTOR'S BID.
- 19 - THE CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES BEFORE EXCAVATION.
- 20 - ALL DEMOLITION SHALL BE DONE IN A SAFE MANNER, SPECIFICALLY, THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ALL APPLICABLE GOVERNMENT REGULATIONS SHALL BE STRICTLY OBSERVED.
- 21 - PROVIDE ADEQUATE PROTECTION FOR PERSONS AND PROPERTY AT ALL TIMES. EXECUTE THE WORK IN A MANNER TO AVOID HAZARDS TO PERSONS AND PROPERTY AND PREVENT INTERFERENCE WITH THE USE OF AND ACCESS TO ADJACENT BUILDINGS, STREETS AND SIDEWALKS SHALL NOT BE UNNECESSARILY BLOCKED BY DEBRIS AND EQUIPMENT.
- 22 - IF PETROLEUM PRODUCTS ARE FOUND WHILE DEMOLISHING AND / OR EXCAVATING, PETROLEUM WASTE SHOULD BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

DEMOLITION PLAN
SCALE: 1:20

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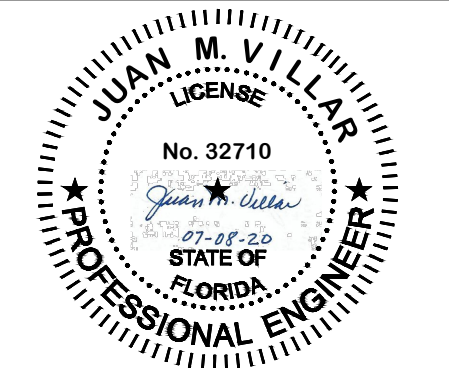


REV. NO.	DATE	DESCRIPTION

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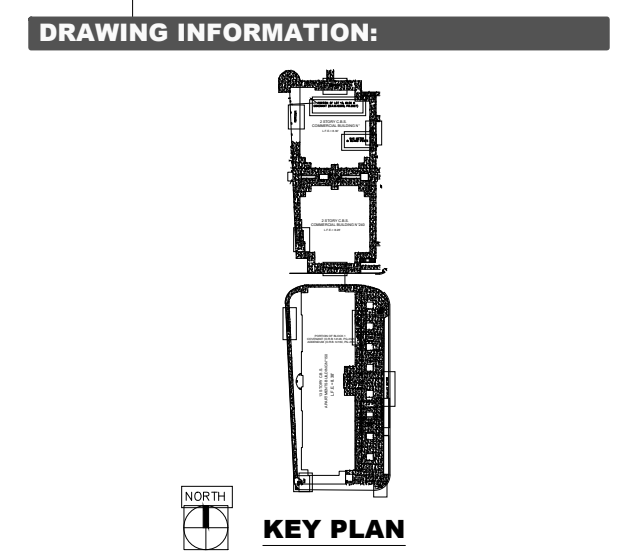
DISCIPLINE INFORMATION:

PROFESSIONAL OF RECORD: JUAN M VILLAR	START DESIGNER: GILBERT CRUZ
D.C. AUDITOR: RAFAEL A TORRES	PRINCIPAL CAD TECHNICIAN: GILBERT CRUZ
PROJECT MANAGER: FELIX MARTINEZ	



PROJECT:
VCA IMPROVEMENTS
PALM CENTRE
150 EAST 1ST AVENUE
HIALEAH, FL 33010

DATE	ISSUE DESCRIPTION
07/22/2019	ISSUED FOR PERMIT



DEMOLITION PLAN
DELIVERY DATE: 04/10/2019
PRINT DATE & TIME: 04/10/2019
DRAWING LOCATION: A:\Projects\mia_projects\0418-0221\CD06\06technical\05C\11\DWG
SHEET NO. **CD101**
PROJECT NUMBER: 18-0221-06
CAD FILE NAME: CD101
2 OF 03

EXISTING
2 STORY C.B.S.
COMMERCIAL BUILDING N°240
L.F.E. = 8.26'

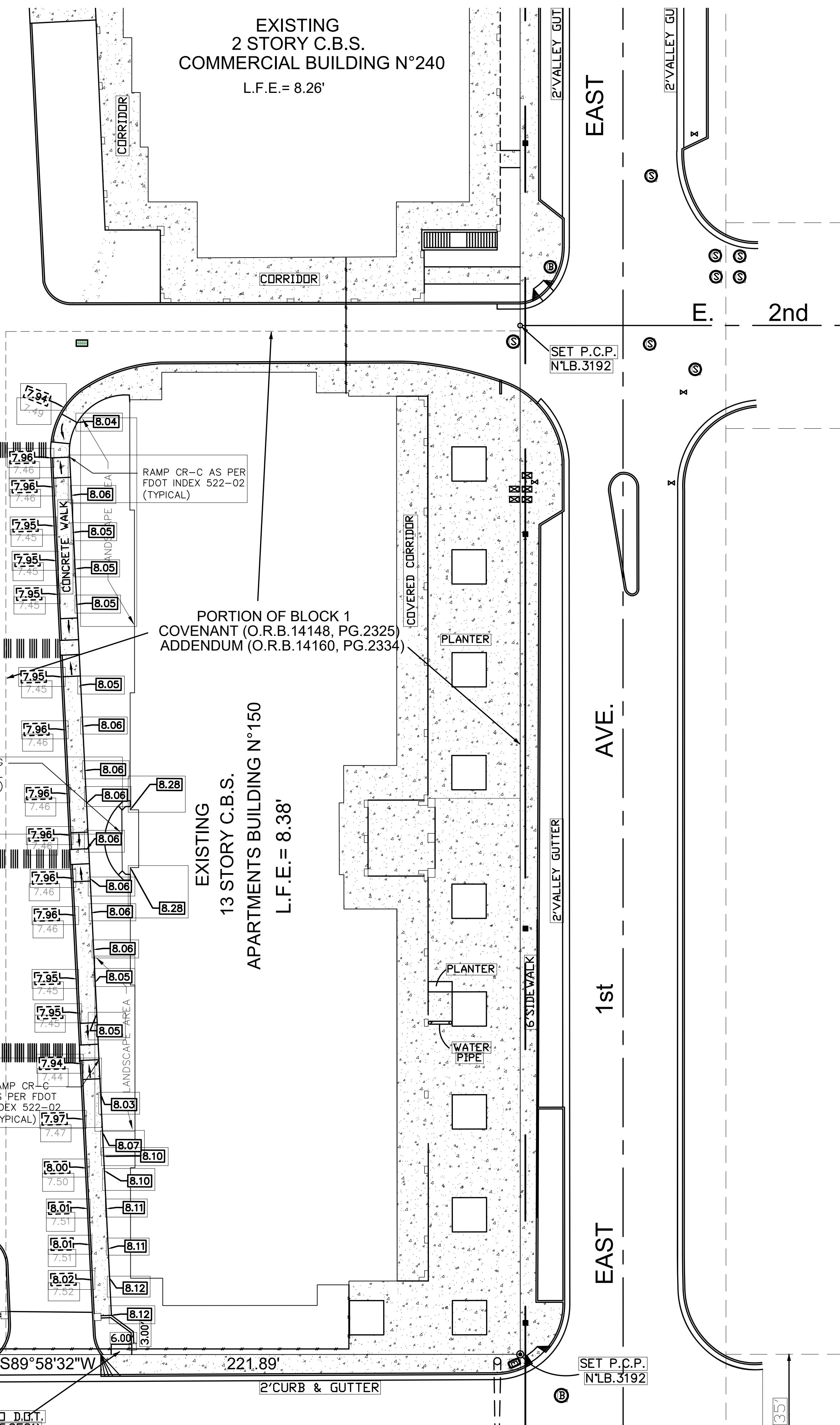
EAST

E. 2nd

AVE.

1st

EAST



SPACES

ASPHALT DRIVEWAY & PARKING SPACES

PROP. RAILING
(SEE ARCHITECTURAL
DRAWINGS)

RAMP CR-C
AS PER FDOT
INDEX 522-02
(TYPICAL)

RAMP CR-C AS PER
FDOT INDEX 522-02
(TYPICAL)

PORTION OF BLOCK 1
COVENANT (O.R.B. 14148, PG. 2325)
ADDENDUM (O.R.B. 14160, PG. 2334)

EXISTING
13 STORY C.B.S.
APARTMENTS BUILDING N°150
L.F.E. = 8.38'

SET P.C.P.
N°L.B. 3192

SET P.C.P.
N°L.B. 3192

$\backslash 48^{\circ}38'22''W$
20.76'

19.26' 3.94' 9.84' 3.94'

$\backslash 59^{\circ}42'42''W$

EASEMENT TO D.O.T.

NORTH

PROPOSED GRADING PLAN
SCALE: 1:20

LEGEND

0.00'	EXISTING TOP OF CURB ELEVATION
0.00	EXISTING BOTTOM OF CURB ELEVATION
0.00	DENOTES PROPOSED CURB ELEVATION

CSAGROUP
EST. 1956

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CLIENT:

HHA
Hialeah Housing Authority

IN ASSOCIATION WITH:

REV. NO. DATE DESCRIPTION

NOTES:

DISCIPLINE INFORMATION:

PROFESSIONAL OF RECORD: JUAN M. VILLAR	STAFF DESIGNER: GILBERT CRUZ
D.C. AUDITOR: RAFAEL A. TORRES	PRINCIPAL CAD TECHNICIAN: GILBERT CRUZ
PROJECT MANAGER: FELIX PRINCES	

PROFESSIONAL SEAL:

PROJECT:

VCA IMPROVEMENTS

PALM CENTRE

150 EAST 1ST AVENUE
HIALEAH, FL 33010

DATE ISSUE DESCRIPTION

07/22/2019	ISSUED FOR PERMIT

DRAWING INFORMATION:

KEY PLAN

SHEET TITLE:

PROPOSED GRADING PLAN

DELIVERY DATE: 04/10/2019	PROJECT NUMBER: 18-0221-06
PRINT DATE & TIME: 04/10/2019	CAD FILE NAME: CS100
DRAWING LOCATION: A:\Projects\mha_projects\04118-0221\06\08\technical\05Cv\DWG	

SHEET NO. **CS100**

AIR DEVICE SCHEDULE

ID	FUNCTION	TYPE	CFM	DIMENSIONS	P.D. IN. WG.	CONSTRUCTION MATERIAL	FINISH	DAMPER	MANUFACTURER	MODEL	REMARKS
EG	EXHAUST AIR	EXHAUST GRILLE	SEE DRAWINGS	SEE DRAWINGS	-	ALUMINUM	OFF-WHITE	OBD	METALAIRE	RHD	-

EXHAUST FAN SCHEDULE

UNIT. No.	LOCATION	AREA SERVED	TYPE	CFM EXHAUST	CFM SUPPLY	S.P. IN. WG.	DRIVE	SONES	MOTOR						MFGR.	MODEL	REMARKS
									BHP	HP.	RPM	VOLTS	PH	HZ			
EF-10	HIALEAH LAUNDRY	BATHROOM	EXHAUST	100	-	0.50	DIRECT	4.5	0.03	1/4	1120	115	1	60	GREENHECK	G-097-VG	SEE NOTES 1 THRU 5

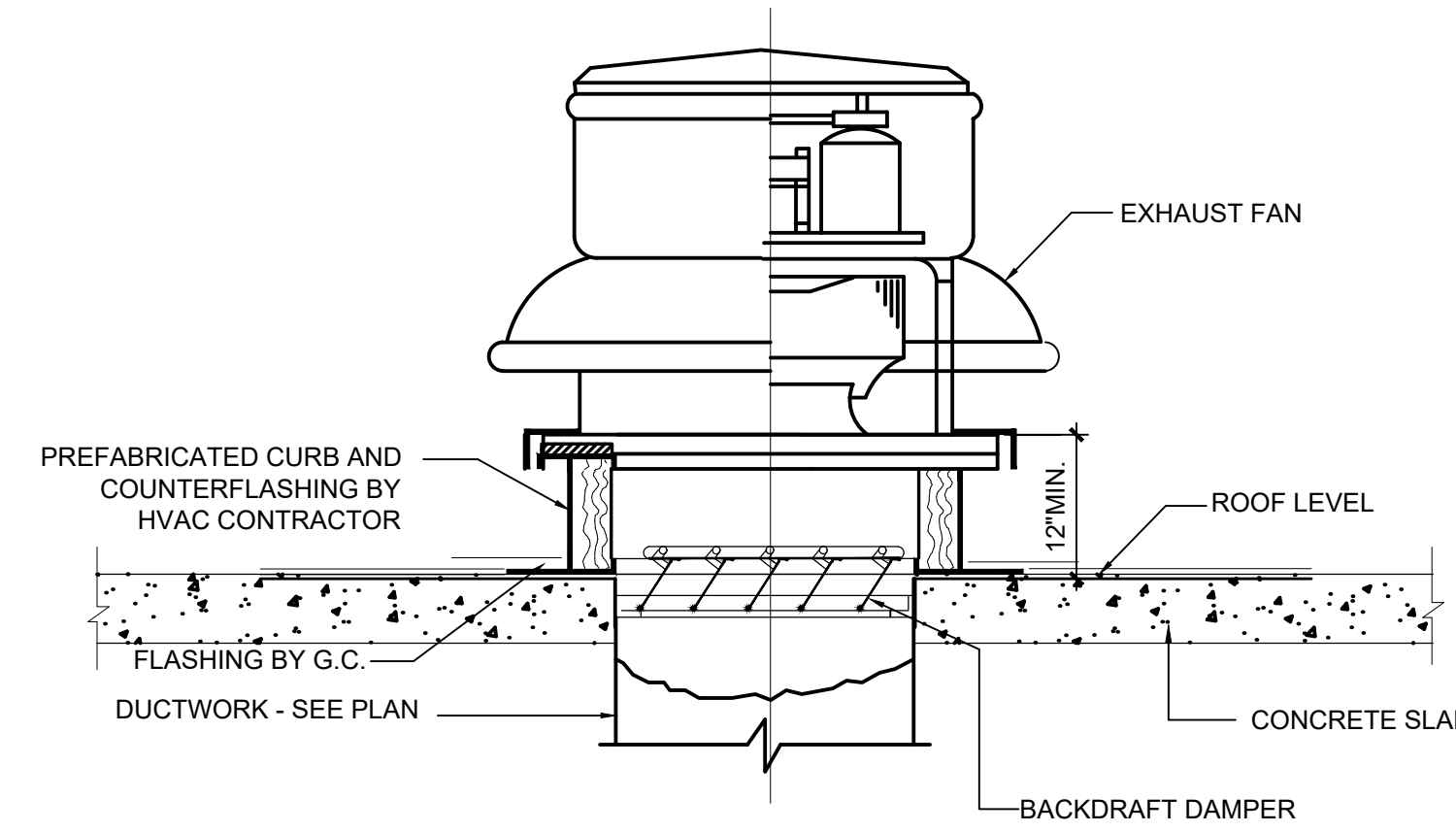
- NOTES:**
- BACKDRAFT DAMPER GRAVITY OPERATED
 - DISCONNECT SWITCH MOTORIZED FACTORY MOUNTED
 - ROOF CURB 12 INCH. INSULATED
 - VIBRATION ISOLATION
 - EXHAUST FAN INSTALLATION SHALL COMPLY WITH MIAMI DADE HURRICANE REQUIREMENTS.

DUCTWORK CONSTRUCTION SCHEDULE

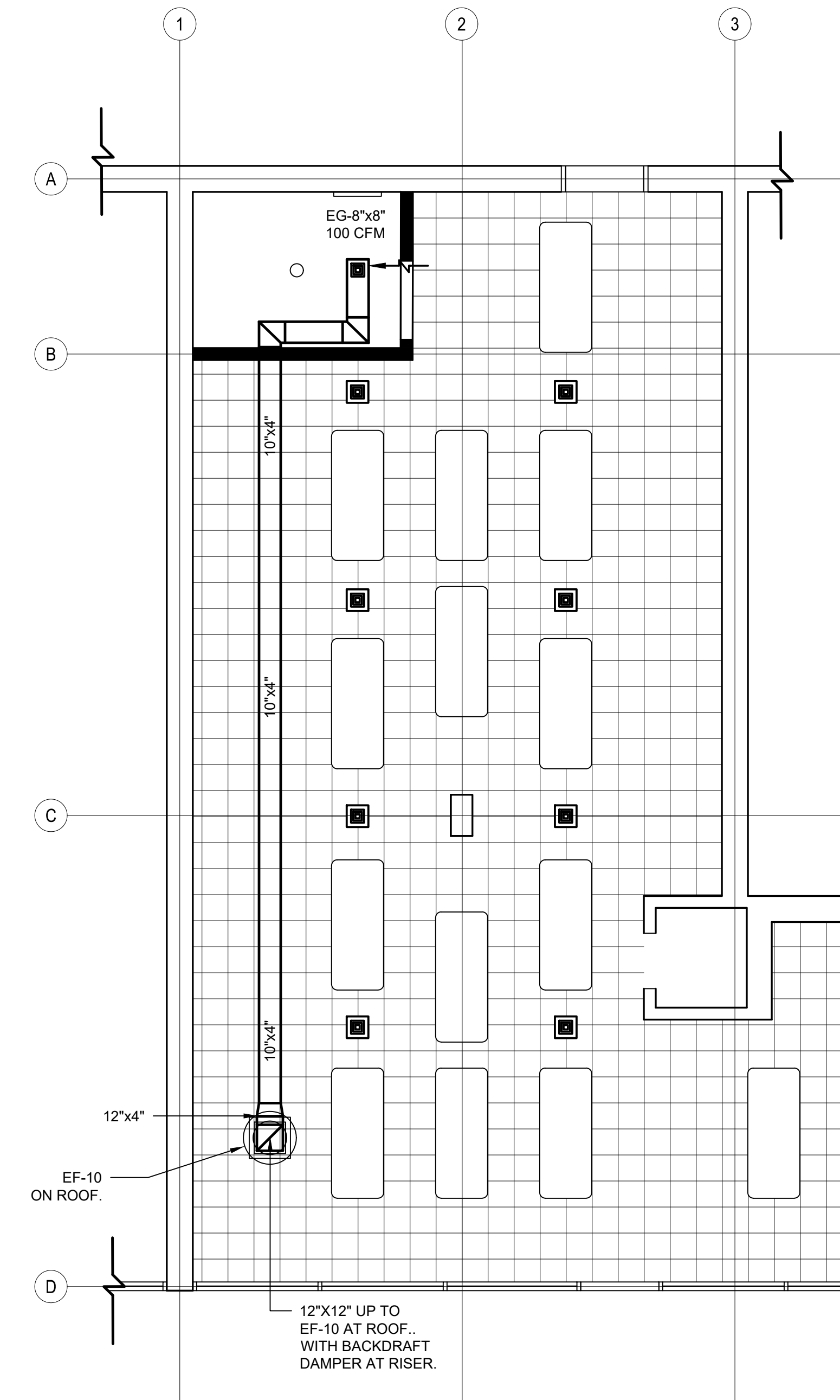
DUCT SECTION	PRESS CLASS	CONSTRUCTION MATERIAL	SEAL CLASS	LEAK TEST	LEAKAGE CLASS CL	TRANSVERSE JOINTS	REMARKS
GENERAL EXHAUST AND OUTSIDE AIR	-2	GALV. STEEL	A	YES	-	DUCTMATE OR TDC	-

GENERAL NOTES:

- DUCTWORK FOR THE VENTILATION SYSTEMS SHALL BE MANUFACTURED AND INSTALLED IN ACCORDANCE WITH THE DUCT CONSTRUCTION STANDARDS OF THE SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION, INC. SMACNA (LATEST EDITION).
- DUCTS SHALL BE RECTANGULAR OR ROUND AS INDICATED IN THE DRAWINGS.
- SECTIONS OF DUCT SHALL BE TESTED FOR LEAKAGE AT THE INDICATED PRESSURE CLASS.
- DUCT WORK SUPPORTS SHALL COMPLY WITH SMACNA RECOMMENDATIONS FOR TYPE OF DUCT CONSTRUCTION.
- NO ELBOW SHALL BE MADE WITH AN INSIDE RADIUS OF LESS THAN THE WIDTH OF THE DUCT. SHALL ANY TURN BE NECESSARY WITH INSIDE RADIUS LESS THAN 3/4 DEPTH OF THE DUCT, THEY MUST BE FITTED WITH DOUBLE THICKNESS MULTIPLE VANES.
- DUCTS MATERIALS SHALL BE GALVANIZED STEEL, UNLESS OTHERWISE INDICATED.
- THE MECHANICAL CONTRACTOR SHALL SUPPLY AND INSTALL ALL ELECTRICAL CONTROLS, SAFETY SWITCHES AND ACCESSORIES NOT INDICATED IN THE ELECTRICAL DRAWINGS AND NECESSARY FOR THE PROPER OPERATION OF THE EQUIPMENT IN ACCORDANCE WITH THE MECHANICAL EQUIPMENTS MANUFACTURERS RECOMMENDATIONS AND THE NATIONAL ELECTRIC CODE.
- THE CONTRACTOR SHALL TAKE EVERY PRECAUTION IN ORDER TO MINIMIZE OR ELIMINATE THE TRANSMISSION OF NOISE OR VIBRATION FROM THE EQUIPMENT. PIPING SYSTEM OR DUCT SYSTEM TO THE CONDITIONING SPACE. SPECIFICATION AND/OR MANUFACTURER MODEL OR CATALOG NUMBER.
- EQUIPMENT, MATERIALS AND ACCESSORIES SHALL BE AS PER THE INDICATED.
- SUBSTITUTION OF EQUIVALENT EQUIPMENT, MATERIALS AND ACCESSORIES FOR THOSE SPECIFIED REQUIRES PRIOR APPROVAL BY THE ARCHITECT/ENGINEER AND/OR THE OWNERS REPRESENTATIVE.
- UNLESS OTHERWISE NOTED IN DRAWINGS AND/OR SPECIFICATIONS ALL EQUIPMENT AND ACCESSORIES SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR.
- EXAMINE AREAS AND CONDITIONS UNDER WHICH EXHAUST FAN ARE TO BE INSTALLED DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED IN MANNER ACCEPTABLE TO INSTALLER.
- GENERAL: INSTALL EXHAUST FAN UNIT IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS. INSTALL UNITS PLUMB AND LEVEL, FIRMLY ANCHORED IN LOCATIONS INDICATED, AND MAINTAIN MANUFACTURER'S RECOMMENDED CLEARANCES.



2 EXHAUST FAN INSTALLATION
SCALE: NOT TO SCALE



1 EXISTING BUILDING BATHROOM VENTILATION FLOOR PLAN
SCALE: 1/4" = 1'-0"

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IN ASSOCIATION WITH:

REV. NO.	DATE	DESCRIPTION
1	08/19/2020	B.D.C

DISCIPLINE INFORMATION:

PRIME PROFESSIONAL:
PROFESSIONAL OF RECORD:
STAFF DESIGNER:
Q.C. AUDITOR:
PRINCIPAL CAD TECHNICIAN:

PROFESSIONAL SEAL:

PROJECT:

PROJECT DESCRIPTION

DATE ISSUE DESCRIPTION

DRAWING INFORMATION:

KEY PLAN

SHEET TITLE:
BATHROOM VENTILATION FLOOR PLAN, SCHEDULES, DETAIL AND NOTES

SCALE:
SCALE AS SHOWN

DELIVERY DATE: N/A	PROJECT NUMBER: 07LOT-001
PRINT DATE & TIME: Aug. 26, 20 9:07 AM	CAD FILE NAME: MH101

DRAWING LOCATION:
A:\Projects\mia_projects\0418-0221\C06\06technical\14Mechanical

SHEET NO. **MH101**

GENERAL NOTES

PLUMBING GENERAL NOTES

- 1- ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FLORIDA BUILDING CODE, NATIONAL PLUMBING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
- 2- DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL ARRANGEMENT OF WORK.
- 3- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH THE ARCHITECTURAL PLANS.
- 4- CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ARCHITECT/ ENGINEER PRIOR STARTING ANY WORK. VERIFY LOCATION , SIZE AND ELEVATION OF ALL UTILITIES PRIOR BEGINNING CONSTRUCTION.
- 5- ALL WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR.
- 6- THE CONTRACTOR SHALL COORDINATE PLUMBING WORK WITH ALL OTHER TRADES IN ORDER TO AVOID ANY DISCREPANCIES WITH THE ARCHITECT/ENGINEER.

CUTTING AND PATCHING

THE CONTRACTOR SHALL DO ALL PATCHING AND CUTTING REQUIRED TO SATISFACTORILY PERFORM HIS WORK. NO STRUCTURAL MEMBER SHALL BE CUT WITHOUT THE PRIOR APPROVAL OF THE STRUCTURAL ENGINEER.

DEMOLITION AND /OR REMOVALS

ALL EXISTING PIPING WORK SHALL BE DEMOLISHED.

PIPING MATERIALS

FOR NEW CONSTRUCTION WORK, ALL MATERIAL SHALL BE NEW . PLUMBING FIXTURES SHALL COMPLY WITH WATER CONSERVATION CODES.

COPPER TUBING

TYPE "K" OR "L" ; SEAMLESS HARD DRAWN OR ANNEALED , ASTM B88.

TYPE DWV; SEAMLESS HARD DRAWN, ASTM B306.

DOMESTIC WATER SUPPLY PIPING

- ABOVE GROUND: COPPER TUBING TYPE "L" WITH BRONZE OR WROUGHT COPPER SOLDER JOINT FITTINGS.
- UNDERGROUND: TYPE "K" SOFT TEMPERED COPPER WITH CAST BRONZE OR SOLDERED JOINT FITTINGS.
- ALL EXPOSED PIPING WITHIN TOILET ROOMS SHALL BE CHROME PLATED.
- EVERY FIXTURE CONNECTED TO THE DRAINAGE SYSTEM SHALL BE EQUIPPED WITH A WATER SEAL TRAP.
- ALL HORIZONTAL BRANCHES, SEWER AND DRAIN LINES SHALL BE SLOPPED OF 1/4 INCHES PER FOOT UNLESS OTHERWISE INDICATED ON PLANS.
- ALL HOT WATER PIPES SHALL BE INSULATED WITH 1" THICK GLASS FIBER, PIPE INSULATION.

- WASTE AND VENT PIPING SHALL BE PVC/DWV 9ASTM 2865) WASTE PIPING CEMENT JOINTS, (ASTM D2564-96A).

PIPE INSTALLATION

LOCATIONS AND SIZES OF EXISTING PIPING ON PLAN ARE APPROXIMATE. EXACT SIZES AND LOCATIONS FOR NEW CONNECTIONS TO ALL EXISTING PIPING SHALL BE VERIFIED BEFORE STARTING WORK.

ALL HOT AND COLD WATER PIPING SHALL BE SEPARATED BY AT LEAST 6" (CENTER TO CENTER) AND INSTALLED SO THAT THE PIPES DO NOT COME IN CONTACT. WHERE THE PIPING IS PARALLEL, AMPLE SPACE SHALL BE PROVIDED BETWEEN PIPING FOR THE PROPER THICKNESS OF COVERING AND PROPER OPERATION OF VALVES..

PLUMBING LEGEND

SYMBOL	DESCRIPTION
	EXISTING SANITARY LINE
	NEW SANITARY WASTE LINE
	EXISTING VENT LINE
	SANITARY VENT LINE
	EXISTING COLD WATER LINE
	NEW COLD WATER LINE
	INDIRECT WASTE
	GATE VALVE
	HOSE BIBB W/ G.V. & V.B.
	UNION
	AIR CHAMBER
	"P" TRAP
	FLOOR CLEAN OUT
	WALL CLEAN OUT
	FLOOR DRAIN
	CONNECT TO EXISTING
V.T.R.	VENT THRU ROOF
V.B.	VACUUM BREAKER
FL	FLOOR
CEIL	CEILING
(UG)	UNDERGROUND

DRAWING INDEX

DRAWING NUMBER	DESCRIPTION
PL 000	PLUMBING GENERAL NOTES & LEGEND
PL 101.1	PLUMBING SANITARY DEMOLITION & NEW FLOOR PLAN
PL 500.1	PLUMBING DETAILS



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IN ASSOCIATION WITH:

REV. NO. DATE DESCRIPTION

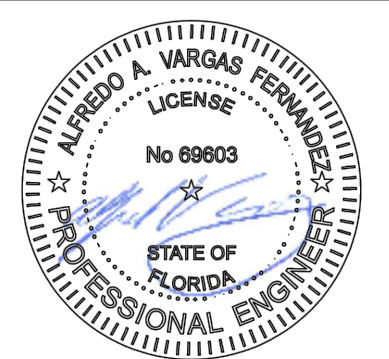
REV. NO.	DATE	DESCRIPTION

NOTES:

DISCIPLINE INFORMATION:

PROFESSIONAL OF RECORD: GINO VALDERAMA	START DESIGNER: GINO VALDERAMA
D.C. AUDITOR: JIMMIE A. TORRENS	PRINCIPAL CAD TECHNICIAN: JAVIER PUERTO
PROJECT MANAGER: SERVA FUENTES	

PROFESSIONAL SEAL:



PROJECT:

VCA IMPROVEMENTS

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 HIALEAH, FL 33010

DATE ISSUE DESCRIPTION

DATE	ISSUE DESCRIPTION
07/22/2019	ISSUED FOR PERMIT

DRAWING INFORMATION:



KEY PLAN

SHEET TITLE:

PLUMBING GENERAL NOTES

DELIVERY DATE: PROJECT NUMBER:

04/10/2019 18-0221-06

PRINT DATE & TIME: CAD FILE NAME:

04/10/2019 PL000

DRAWING LOCATION:

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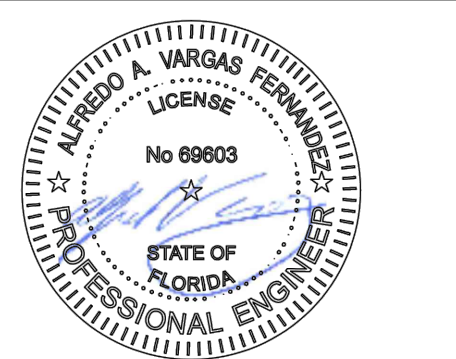
SHEET NO. **PL000**

REV. NO.	DATE	DESCRIPTION
2	01/29/2020	B.D.C.
5	10/07/2020	SANITARY AND WATER DIST. REVISED. SCHEDULES ADDED.
6	11/23/2020	SANITARY DIST. REVISED.
7	12/16/2020	BUILDING DEPARTMENT COMMENTS

NOTES:

DISCIPLINE INFORMATION:	
PROFESSIONAL OF RECORD:	START DESIGNER:
GINO VALDERAMA	GINO VALDERAMA
Q.C. AUDITOR:	PRINCIPAL CAD TECHNICIAN:
IRAFEL A. TORRES	JAVIER PUERTO
PROJECT MANAGER:	
SELVA FUENTES	

PROFESSIONAL SEAL:



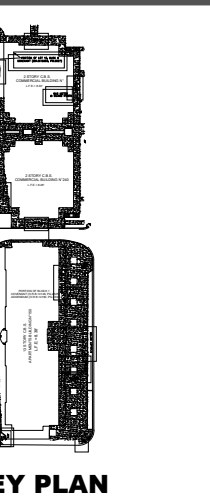
PROJECT:

VCA IMPROVEMENTS
PALM CENTRE
150 EAST 1ST AVENUE
HIALEAH, FL 33010

DATE ISSUE DESCRIPTION

07/22/2019	ISSUED FOR PERMIT
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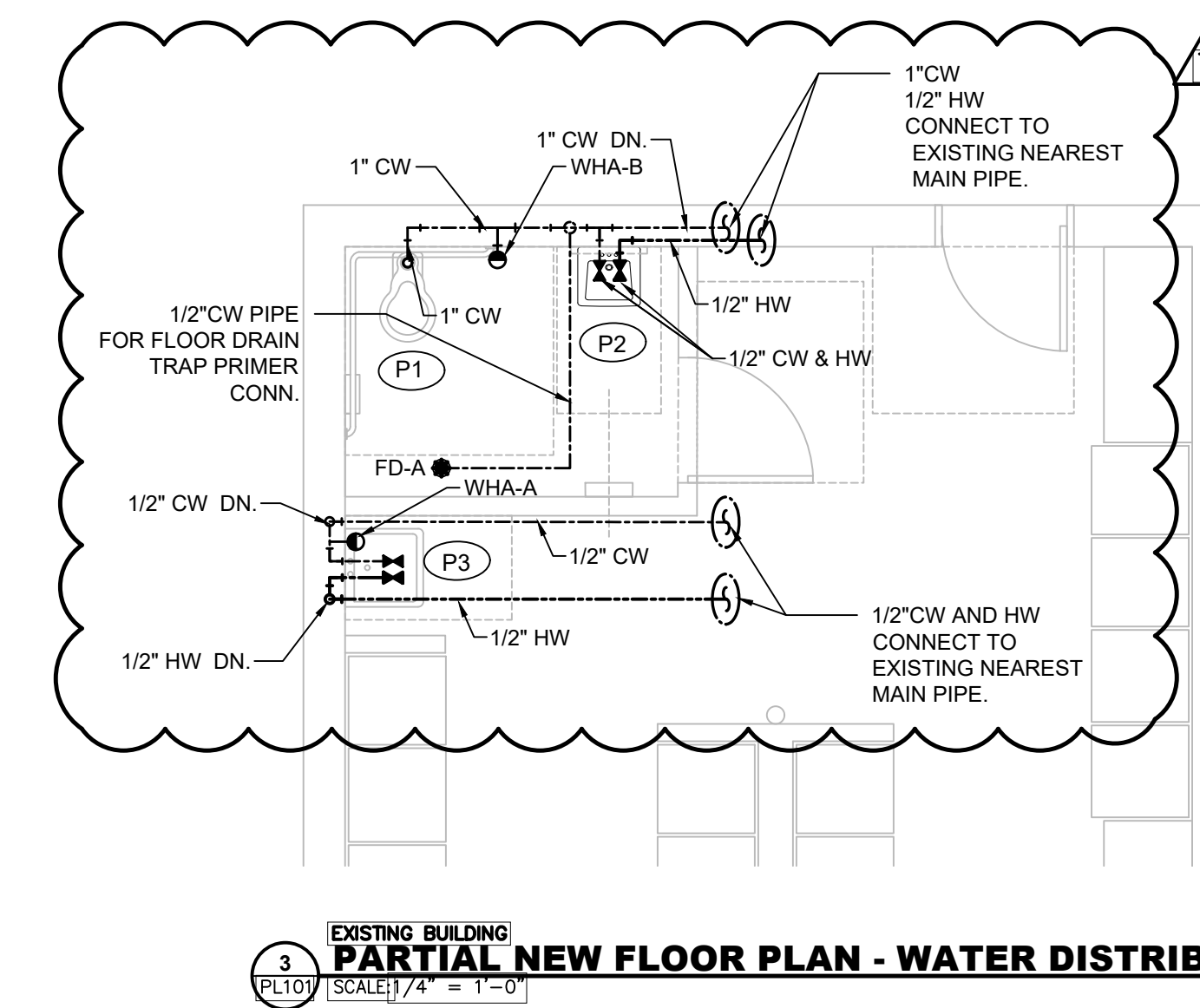
SHEET TITLE:

PLUMBING DEMOLITION AND NEW PARTIAL FLOOR PLAN WATER AND SANITARY DISTRIBUTION

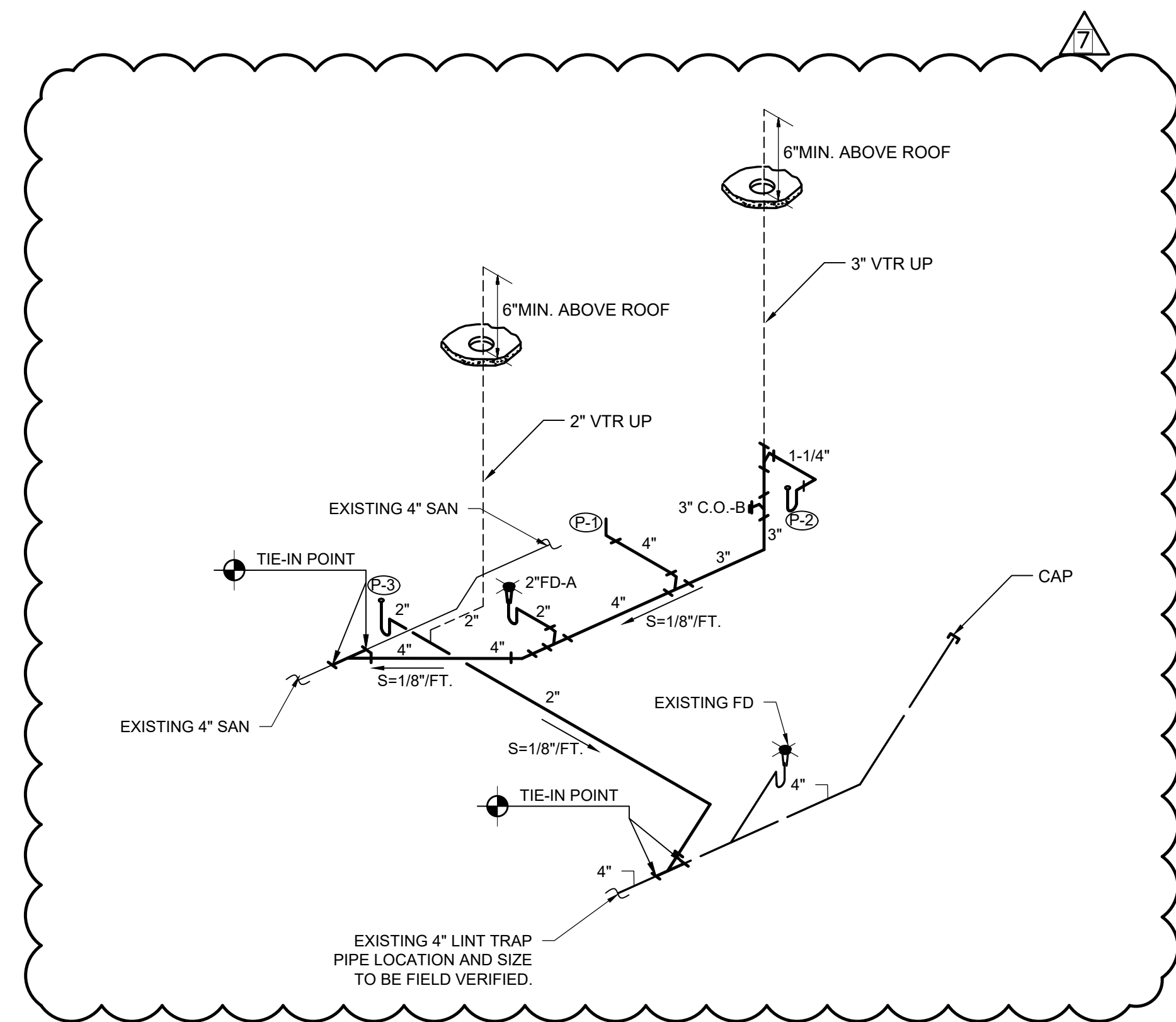
DELIVERY DATE:	PROJECT NUMBER:
04/10/2019	18-0221-06
PRINT DATE & TIME:	CAD FILE NAME:
04/10/2019	PL101.1

DRAWING LOCATION:
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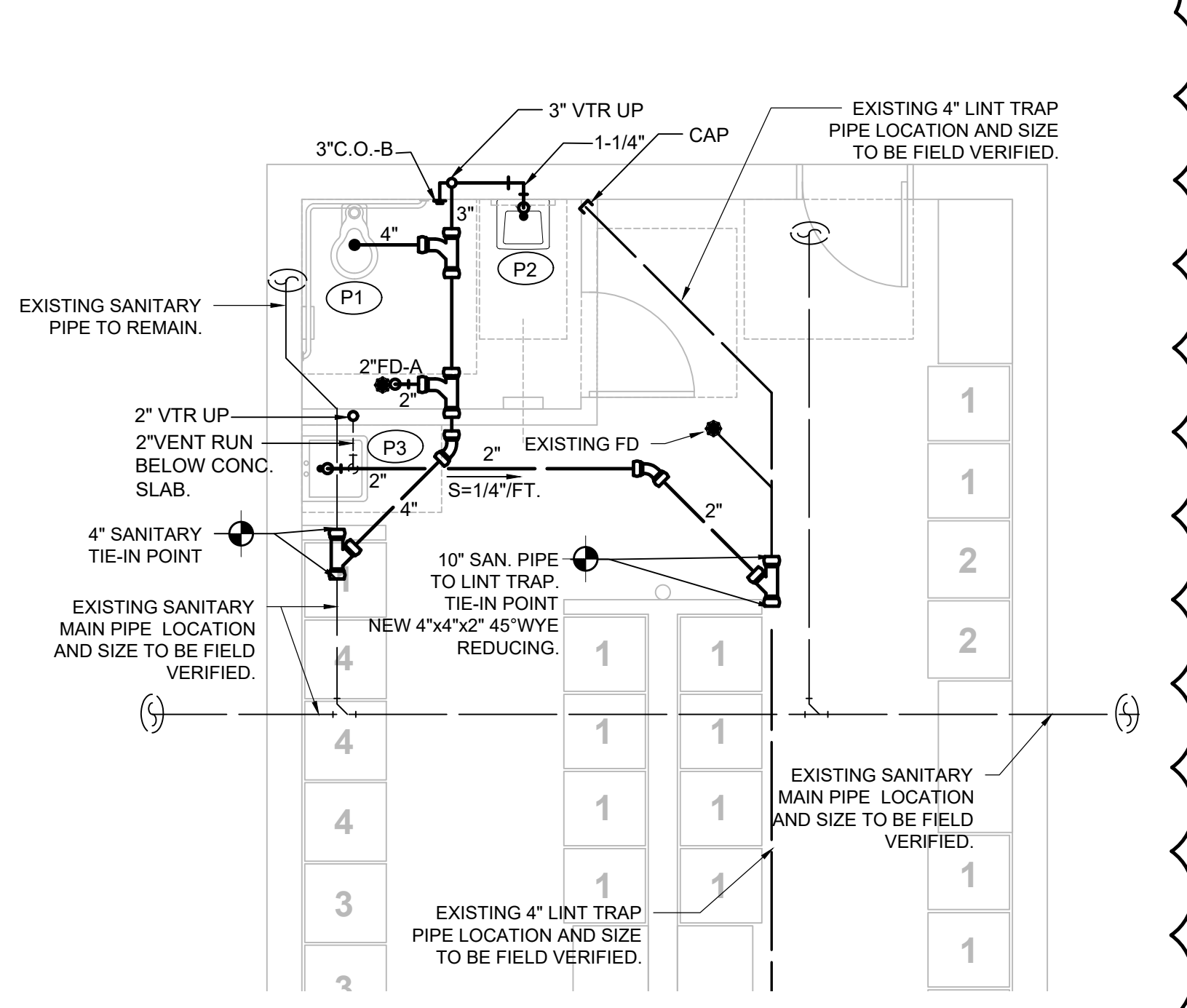
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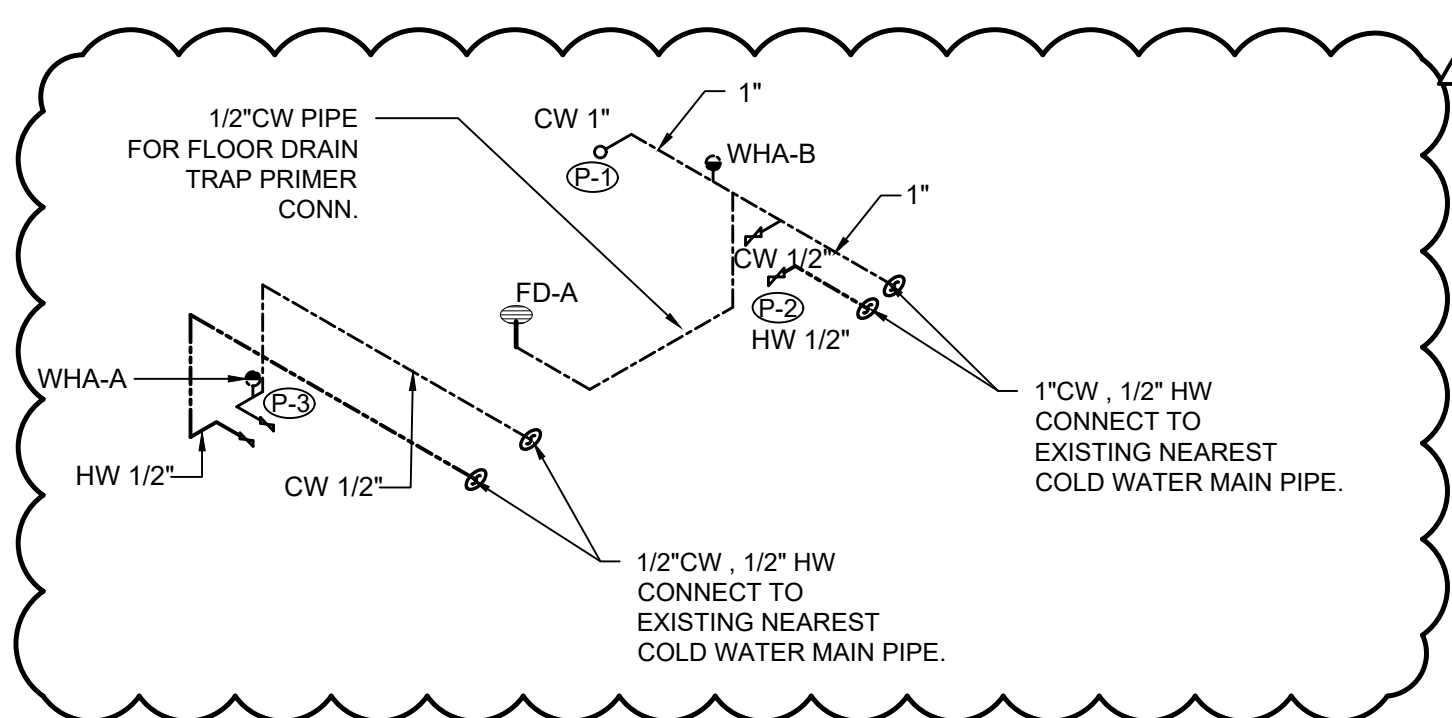
EXISTING BUILDING
3 PL101 SCALE: 1/4" = 1'-0"



5 PT101 SCALE: 1/4" = 1'-0"

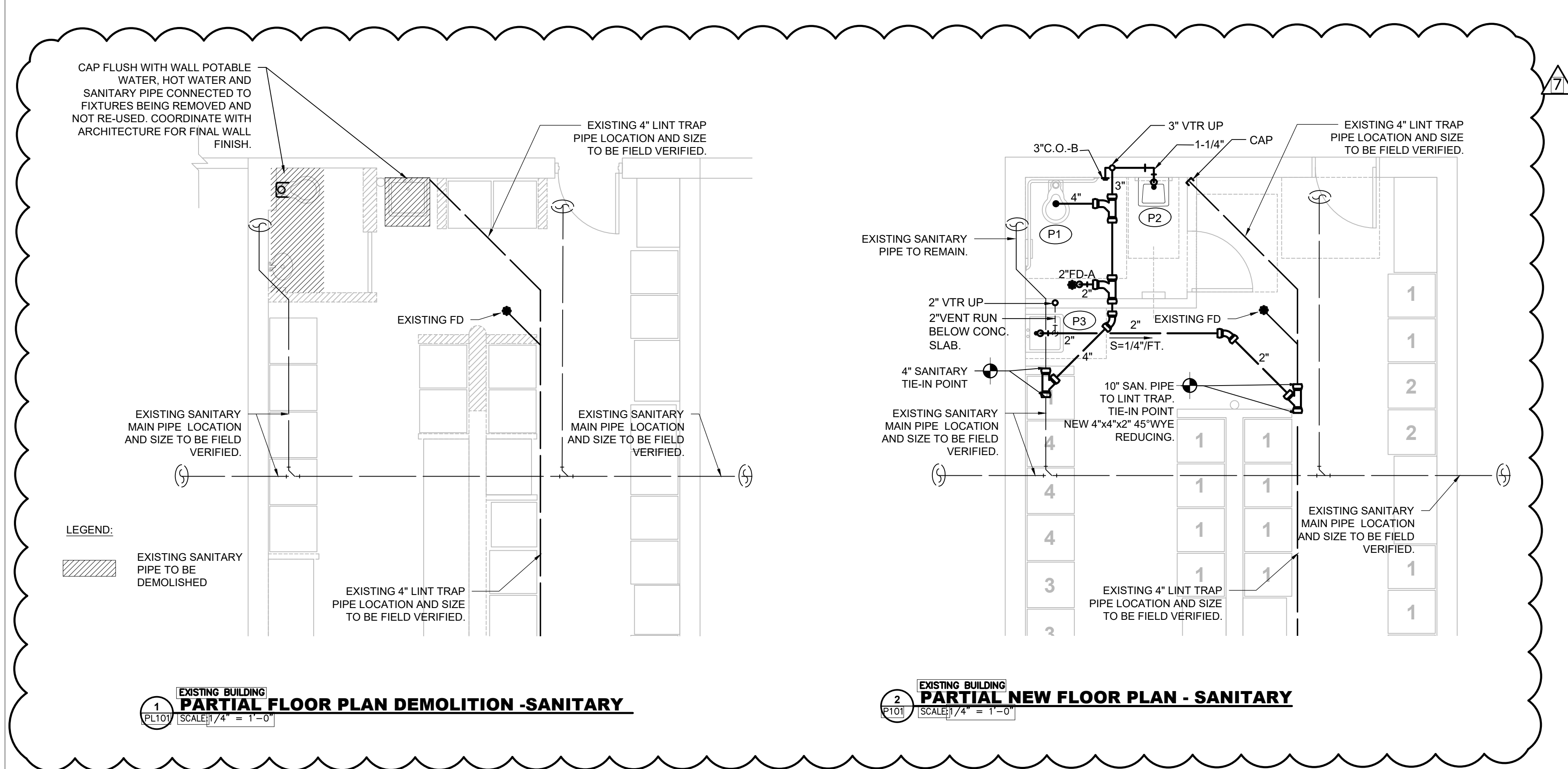


EXISTING BUILDING
2 PT101 SCALE: 1/4" = 1'-0"



4 PL101 SCALE: 1/4" = 1'-0"

PLUMBING FIXTURE CONNECTION SCHEDULE					
MARK	DESCRIPTION	MIN. TRAP SIZE	C.W.	H.W.	REMARKS
P-1	FLUSH WATER CLOSET - FLOOR MOUNTED	4"	1"	-	
P-2	LAVATORY	1-1/4"	1/2"	1/2"	WALL HUNG
P-3	MOP SINK	2"	3/4"	-	



EXISTING BUILDING
1 PL101 SCALE: 1/4" = 1'-0"

CLEAN OUT SCHEDULE		
LEGEND	DESCRIPTION	MANUFACTURER
CO-B	CLEAN OUTS IN FINISHED WALLS SHALL BE FLUSH SLOTTED HEAD CLEAN OUTS WITH CAST IRON CADMIUM PLATED COUNTERSUNK PLUG, CAST IRON FERRULE AND POLISHED NICKEL BRONZE ROUND ACCESS COVER WITH SECURING SCREW.	J.R. SMITH MFG. CO. MODEL 4402C OR APPROVED EQUAL.

FLOOR DRAIN SCHEDULE		
LEGEND	DESCRIPTION	MANUFACTURER
FD-A	FLOOR DRAINS FOR RESTROOM AREA SHALL BE DUCO CAST IRON BODY, FLASHING COLLAR, POLISHED BRONZE STRAINER HEAD AND ROUND TOP. TRAP PRIMER CONNECTION FIG. P050.	J.R. SMITH MFG. CO. MODEL 2005-A-PB-P050 OR APPROVED EQUAL.

WATER HAMMER ARRESTER SCHEDULE			
LEGEND	DESCRIPTION	FIG. No.	MANUFACTURER
WHA-A	ALL STAINLESS STEEL CONSTRUCTION, SIZE 3/4" CONNECTION.	5005	J.R. SMITH MFG. CO. HYDROTROL OR APPROVED EQUAL.
WHA-B	ALL STAINLESS STEEL CONSTRUCTION, SIZE 1" CONNECTION.	5010	

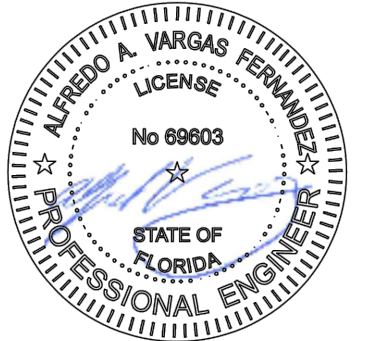
REV. NO.	DATE	DESCRIPTION
5	10/07/2020	DETAILS ADDED.

NOTES:

DISCIPLINE INFORMATION:

PROFESSIONAL OF RECORD: GINO VALDERAMA	START DESIGNER: GINO VALDERAMA
Q.C. AUDITOR: JIMMIE A. TORRENS	PRINCIPAL CAD TECHNICIAN: JAVIER PUERTO
PROJECT MANAGER: SERVA FLENETS	

PROFESSIONAL SEAL:



PROJECT:

VCA IMPROVEMENTS

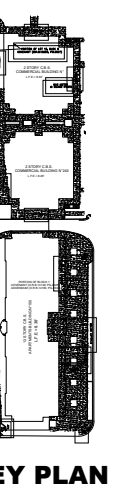
PALM CENTRE

150 EAST 1ST AVENUE
HIALEAH, FL 33010

DATE **ISSUE DESCRIPTION**

07/22/2019 ISSUED FOR PERMIT

DRAWING INFORMATION:



KEY PLAN

SHEET TITLE:

PLUMBING DETAILS

DELIVERY DATE: PROJECT NUMBER:

04/10/2019 18-0221-06

PRINT DATE & TIME: CAD FILE NAME:

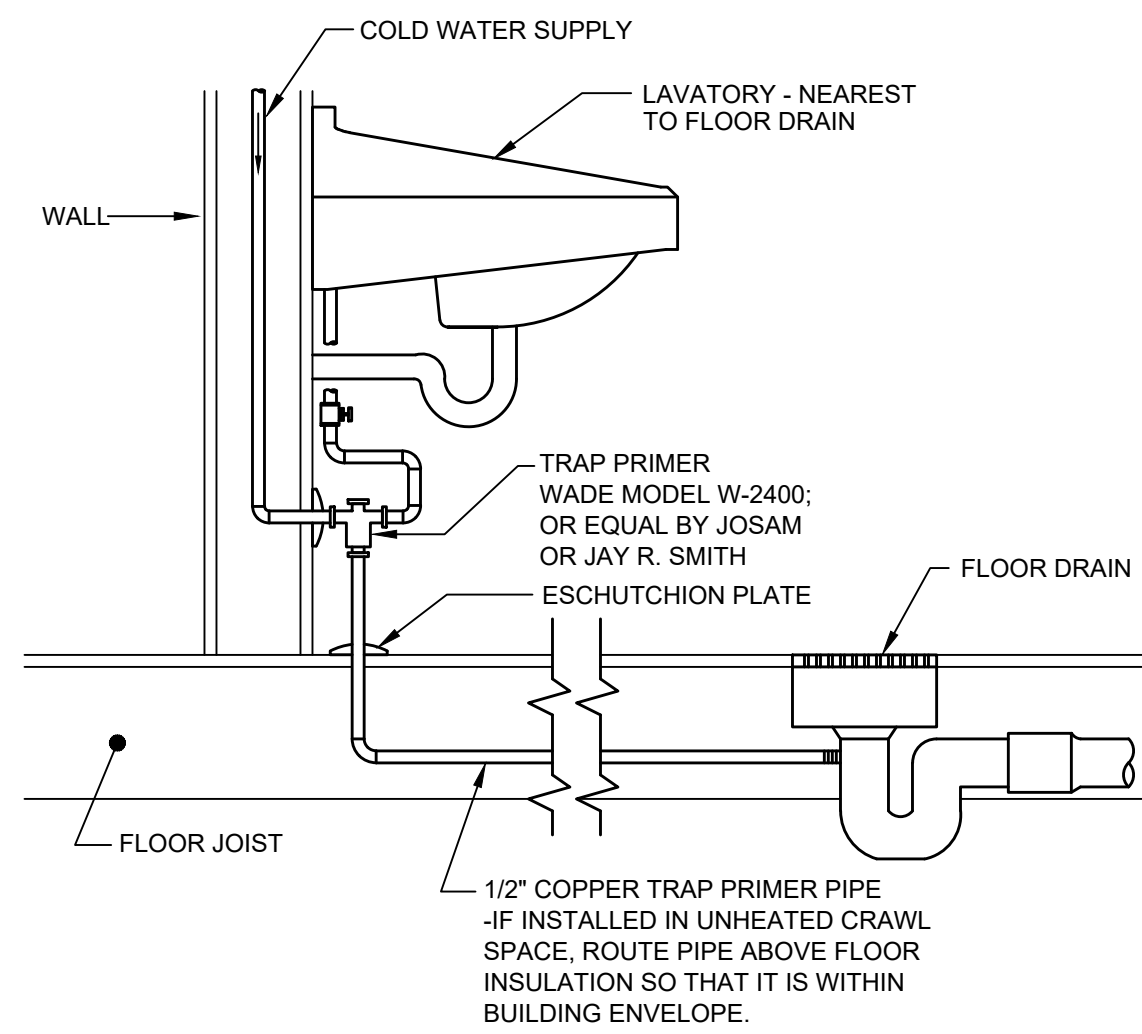
04/10/2019 PL500.1

DRAWING LOCATION:

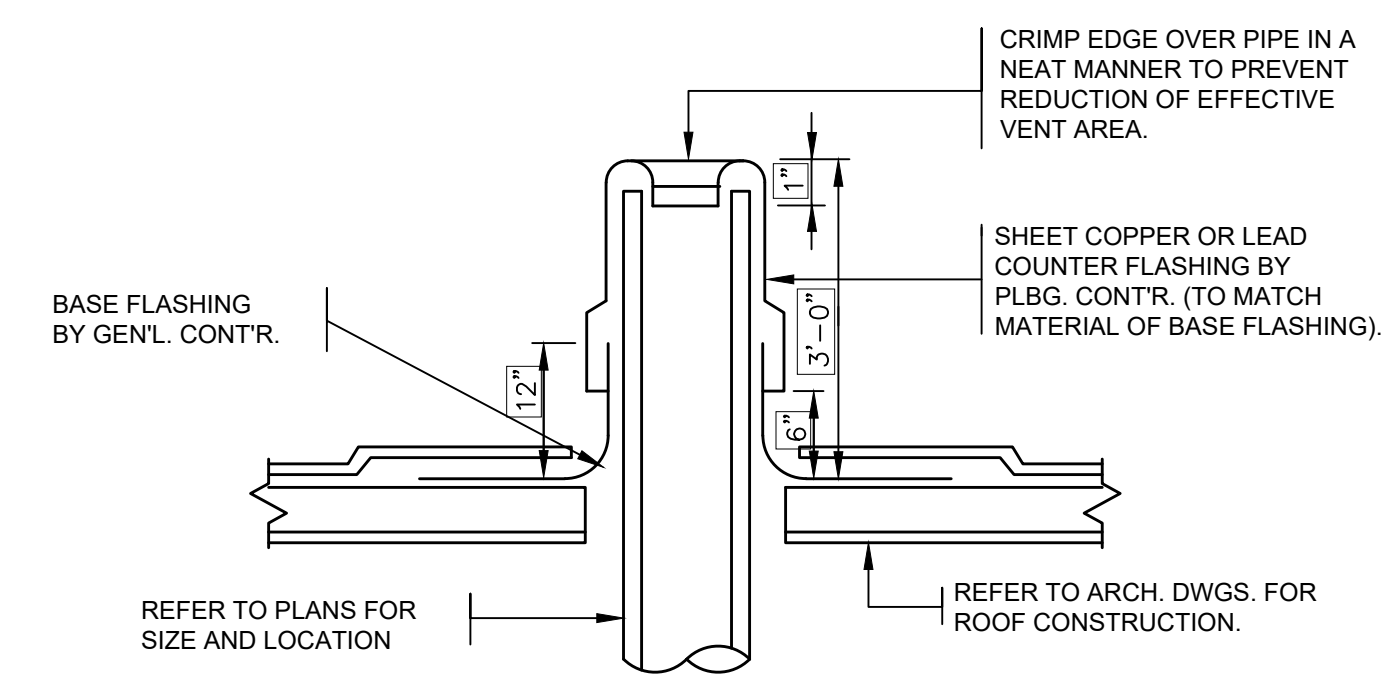
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SHEET NO. **PL500.5**

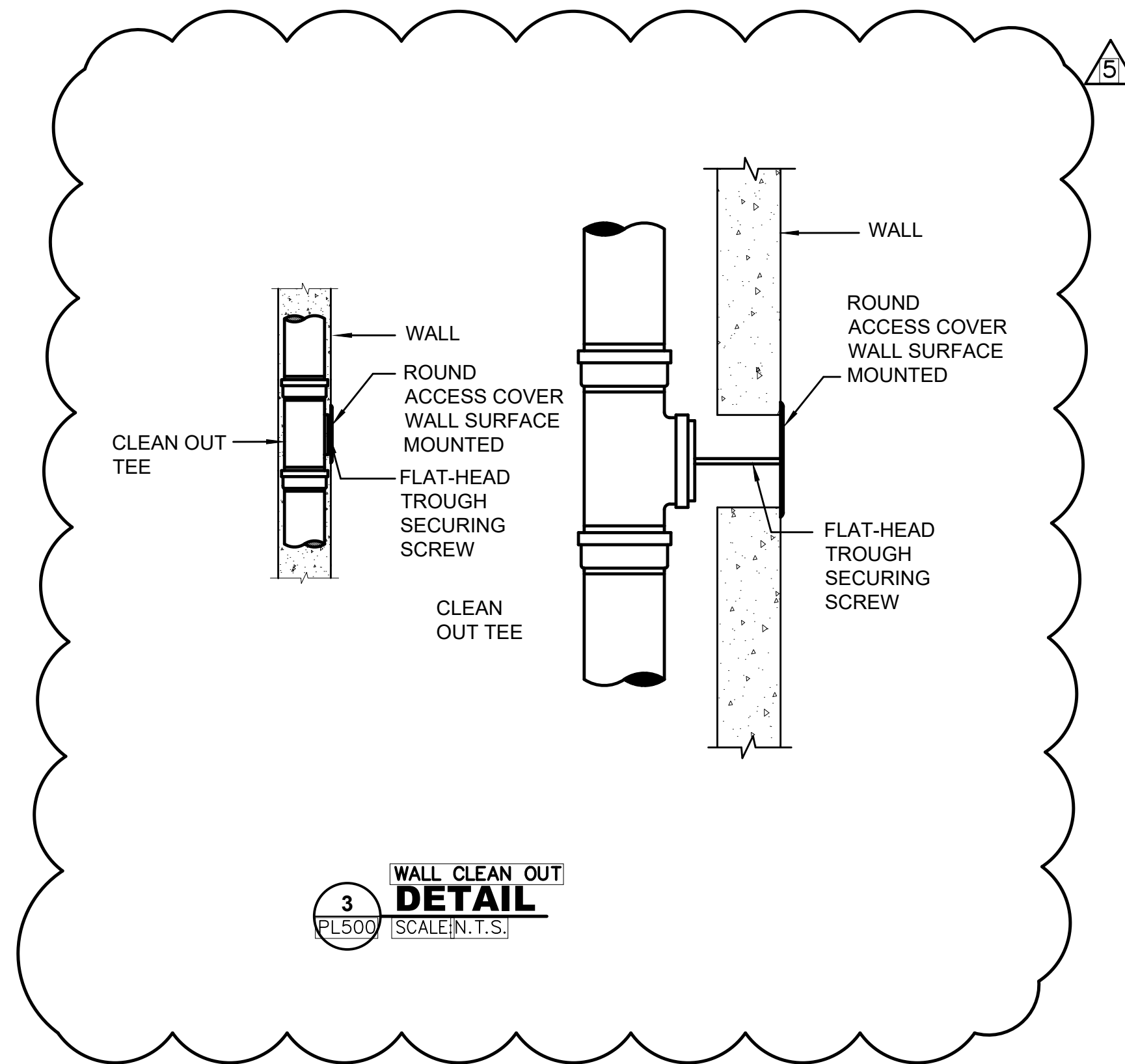
3 OF 03



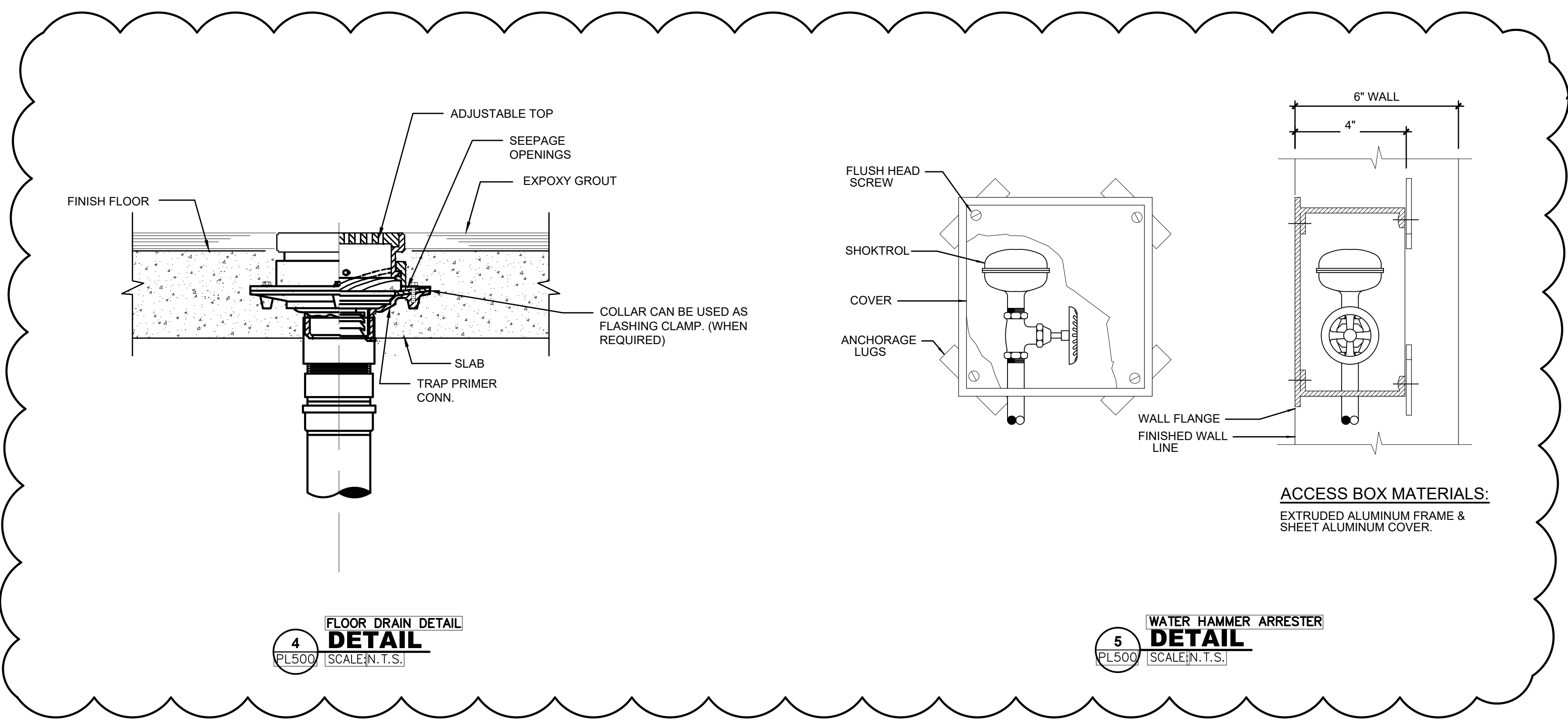
1 FLOOR DRAIN TRAP PRIMER CONN. DETAIL
PL500 SCALE: N.T.S.



4 PLUMBING VENT THROUGH FLAT ROOF DETAIL
PL500 SCALE: 1/4" = 1'-0"



3 WALL CLEAN OUT DETAIL
PL500 SCALE: N.T.S.



4 FLOOR DRAIN DETAIL DETAIL
PL500 SCALE: N.T.S.

5 WATER HAMMER ARRESTER DETAIL
PL500 SCALE: N.T.S.

ACCESS BOX MATERIALS:
EXTRUDED ALUMINUM FRAME & SHEET ALUMINUM COVER.

GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE (IBC), NFPA 70 2014 EDITION, NFPA 72 2013 EDITION, THE SIXTH EDITION OF NFPA AND ALL OTHER GOVERNING LOCAL CODES, LAWS AND REGULATIONS.
- PROVIDE A COMPLETE OPERABLE SYSTEM IN A WORKMANLIKE MANNER. OUTLINE DESCRIPTION OF EQUIPMENT. DO NOT LIMIT CONTRACTOR'S LIABILITY FOR THE INSTALLATION OF A COMPLETE OPERABLE SYSTEM.
- VISIT THE SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS THAT MAY AFFECT THE WORK. NO ADDITIONAL COMPENSATION WILL BE DUE FOR FAILURE TO DO SO.
- OBTAIN ALL ELECTRICAL PERMITS, TEST REPORTS AND CERTIFICATIONS.
- MINIMUM SIZE OF CONDUITS FOR BOTH LIGHTING AND POWER CIRCUITS SHALL BE 3/4" C., U.O.N.
- UNLESS OTHERWISE NOTED, ALL WIRES SHALL BE OF TYPE THHN/THWN-2 AND MINIMUM SIZE FOR LIGHTING AND POWER CIRCUITS SHALL BE #12 AWG.
- FOR ALL BRANCH CIRCUIT RATED AT 120V, 20A THAT RUNS OVER 80'-0", No. 10 WIRE SIZE SHALL BE USED TO COMPENSATE VOLTAGE DROP.
- ALL COPPER MATERIALS, LUGS, COPPER BUS DETAILS/LUGS KITS AS REQUIRED FOR OVER SIZED FEEDERS, AND DEVICES REQUIRED TO COMPLETE CONTRACT WORK, BUT NOT SHOWN, INCLUDING MODIFYING EXISTING OR NEW EQUIPMENT TO ACCEPT INCOMING AND OUTGOING CABLES, SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. CONTRACTOR TO PROVIDE ALL REQUIRED ELECTRICAL FINAL CONNECTIONS.
- UNLESS OTHERWISE NOTED, PULL AND JUNCTION BOXES WHERE INDICATED ON DRAWINGS, SHALL BE CONSIDERED SHOWN AT THEIR APPROXIMATE LOCATION. THE CONTRACTOR SHALL LOCATE THEM AS FIELD CONDITIONS DICTATE. ADDITIONAL PULL AND JUNCTION BOXES, NOT SHOWN ON DRAWINGS, SHALL BE PROVIDED WHERE REQUIRED BY APPLICABLE CODE PROVISIONS OR FIELD CONDITIONS. PULL AND JUNCTION BOXES SHALL BE SURFACE TYPE IN UNFINISHED AREAS AND FLUSH TYPE IN FINISHED AREAS.
- NO CONDUIT SHALL BE RUN UNDERGROUND UNLESS OTHERWISE DIRECTED ON THE PLANS.
- CONDUIT RUNS IN CORRIDORS SHALL CLEAR ALL ARCHITECTURAL FEATURES (DOORS, WINDOWS, ETC) AND SHALL BE COORDINATED WITH EQUIPMENT, PIPING AND DUCT WORK CORRESPONDING TO ALL TRADES. PROVIDE COORDINATION DRAWINGS AND NOTIFY THE ENGINEER OF ANY OBSTRUCTION BEFORE INSTALLATION.
- IN UNFINISHED PORTIONS OF BUILDING SUCH AS MECHANICAL ROOMS, ELECTRICAL ROOMS, PIPE SPACES, ETC., LOCATIONS OF CONDUIT AND OUTLETS ARE APPROXIMATE AND SHALL BE CLEAR OF PIPING AND ALL OTHER CONSTRUCTION. ALL OUTLETS MUST BE UNOBSTRUCTED AND EXTENDED AS DIRECTED TO CLEAR ANY INTERFERENCE WITH FIXTURES, PIPING EQUIPMENT, ETC.
- ALL OPENINGS BETWEEN FLOORS, THROUGH RATED FIRE AND SMOKE WALLS, CREATED BY THE CONTRACTOR FOR CABLE OR CONDUIT PASS THROUGH SHALL BE SEALED WITH A FIRE STOPPING MATERIAL. FIRE STOPPING MATERIAL AND ITS APPLICATION SHALL BE ACCOMPLISHED IN SUCH A MANNER THAT IS ACCEPTABLE TO THE LOCAL FIRE AND BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS WORK. ANY OPENINGS CREATED BY OR FOR THE CONTRACTOR AND LEFT UNUSED SHALL ALSO BE SEALED AS PART OF THIS WORK.
- CHECK THE LOCATION, NUMBER, AND SIZE OF ALL CHASES PROVIDED ON THE CONSTRUCTION PLANS AND ARRANGE FOR ANY OTHERS REQUIRED FOR CABINETS OR BOXES.
- PENDANT MOUNTED FIXTURES IN AREAS WITH NO HUNG CEILING SHOULD BE INSTALLED AFTER DUCTWORK AND PIPING HAVE BEEN INSTALLED. COORDINATE MOUNTING HEIGHT AND LOCATION OF LIGHTING FIXTURES TO CLEAR MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT.
- ARCHITECTURAL FEATURES AS WELL AS MECHANICAL EQUIPMENT SHOWN ON ELECTRICAL DRAWINGS ARE FOR BACKGROUND INFORMATION ONLY. REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR ACTUAL BUILDING CONSTRUCTION OF WALLS AND CURBS AND TO MECHANICAL DRAWINGS FOR MECHANICAL EQUIPMENT LOCATIONS.
- ALL WIRING AND CONDUIT LAYOUT ON DRAWINGS ARE SHOWN DIAGRAMMATICALLY. LOCATION OF EQUIPMENT AND RUNS MAY VARY DUE TO PHYSICAL CONDITIONS, AT NO ADDITIONAL COST TO OWNER.
- ALL EXPOSED NONCURRENT-CARRYING METAL PARTS OF ELECTRICAL EQUIPMENT AND RACEWAYS SHALL BE GROUNDED. A SEPARATE GROUND CONDUCTOR SHALL BE RUN IN ALL CONDUITS IN ALL CASES. ENSURE CONTINUITY OF THE GROUNDING CIRCUIT FROM THE SUPPLYING PANELBOARD GROUNDING BUS TO THE LOAD GROUND TERMINAL.
- ALL WORK SHOWN ON THE DRAWINGS NOT SPECIFICALLY CALLED OUT AS EXISTING SHALL BE CONSIDERED WORK TO BE PERFORMED UNDER THIS CONTRACT.
- ALL WORK TO BE DONE, MUST BE COORDINATED WITH RESIDENT ENGINEER OR OWNER'S REPRESENTATIVE.
- ALL EXPOSED CONDUITS SHALL BE RGS. ALL UNDERGROUND CONDUITS SHALL BE PVC SCH 40. USE APPROPRIATE TRANSITION ADAPTERS.

ABBREVIATIONS

@	AT
A	AMPERE
ABV.	ABOVE
AE.	AERIAL ELECTRIC
AF.	AMP FRAME
A.F.C.	ABOVE FINISHED CEILING
A.F.F.	ABOVE FINISHED FLOOR
A.F.G.	ABOVE FINISHED GRADE
A.I.C.	AMPERE INTERRUPTING CAPACITY
A.W.C.	AMPERE WITHSTAND CAPACITY
AI.	ALUMINUM
ALT.	ALTERNATE
AM	AMMETER
AMP.	AMPERE
ANNUN.	ANNUNCIATOR
ANT.	ANTENNA
A.S.	AMMETER SWITCH
A.T.	AMP TRIP
A.T.C.	AUTOMATIC TEMPERATURE CONTROL
A.T.S.	AUTOMATIC TRANSFER SWITCH
AUX.	AUXILIARY
B.D.	BUS DUCT
B.F.G.	BELOW FINISHED GRADE
B.I.L.	BASIC IMPULSE LEVEL
BKBD.	BACKBOARD
BKR.	BREAKER
BLDG.	BUILDING
BSMT.	BASEMENT
C.	CONDUIT
CAB.	CABINET
C/B.	CIRCUIT BREAKER
CBL.	CABLE
CDT.	CONDUIT
CKT.	CIRCUIT
CLG.	CEILING
CONN.	CONNECTION
CONST.	CONSTRUCTION
CONT.	CONTINUOUS
CONTR.	CONTRACTOR
C.T.	CURRENT TRANSFORMER
CU.	COPPER
CY.	CYCLES
DEMO.	DEMOLITION
D.C.	DIRECT CURRENT
DIA.	DIAMETER
DIC.	DICTATION
DISC.	DISCONNECT
DIST.	DISTRIBUTION
DWG.	DRAWING
E.	EXISTING TO REMAIN
EA.	EACH
E.C.	ELECTRICAL CONTRACTOR
EHH.	ELECTRICAL HANDHOLE
ELEC.	ELECTRICAL
ELEV.	ELEVATOR
EMERG.	EMERGENCY
EMH.	ELECTRICAL MANHOLE
EMT	ELECTRICAL METALLIC TUBING
ENCL.	ENCLOSURE
E.O.	ELECTRICALLY OPERATED
E.R.	EXISTING RELOCATED
EQUIP.	EQUIPMENT
E.W.C.	ELECTRIC WATER COOLER
EX.	EXISTING TO REMAIN
F.	FUSE(D)
F/A	FIRE ALARM
FAA	FIRE ALARM ANNUNCIATOR
FACP	FIRE ALARM CONTROL PANEL
F.A.T.B	FIRE ALARM TERMINAL BOX
F.B.O.	FURNISHED BY OWNER
F.C.C.	FIRE COMMAND CENTER
FDR.	FEEDER
F.H.C.	FIRE HOSE CABINET
F.I.	FILM ILLUMINATOR
FLOOR.	FLOOR
FLUOR.	FLUORESCENT
F.S.	FLOW SWITCH
FSD	FIRE SMOKE DAMPER
FUT.	FUTURE
GA.	GAUGE
G.C.	GENERAL CONTRACTOR
G.F.I.	GROUND FAULT INTERRUPTER
G.F.S.C.	GROUND FAULT SENSING RELAY COIL
GND.	GROUND
HH.	HANDHOLE
H.I.D.	HIGH INTENSITY DISCHARGE
HORZ.	HORIZONTAL
H.P.	HORSEPOWER
HT.	HEIGHT
H.V.	HIGH VOLTAGE
HVAC	HEATING, VENTILATING, AIR CONDITIONING
HZ.	HERTZ
ILL.	ILLUMINATION
IMC	INTERMEDIATE METAL CONDUIT
J.B.	JUNCTION BOX
KVA.	KILOVOLT AMPERE
KW.	KILOWATT
KWH.	KILOWATT HOUR
L.A.	LIGHTNING ARRESTER
LFML	LIQUIDTIGHT FLEXIBLE METAL CONDUIT
LP	LIGHTNING PROTECTION
L.I.M.	LINE ISOLATION MONITOR
L.O.	LUGS ONLY
LSIG	LONG,SHORT,INSTANTANEOUS TIME & GROUND FAULT
PICKUP.	
L.S.	LIMIT SWITCH
LT.	LIGHT
LTG.	LIGHTING
L.V.	LOW VOLTAGE
MC	METAL-CLAD (CABLE)
M.C.B.	MAIN CIRCUIT BREAKER

LEGEND:

	EXISTING RECEPTACLE, 20A, 125V.
	EXISTING RECEPTACLE, 20A, 250V.
	EXISTING LIGHT SWITCH.
	WALL SWITCH OCCUPANCY SENSOR
	FIRE ALARM HORN-STROBE LIGHT DEVICE. CEILING MOUNTED.
	MOTOR



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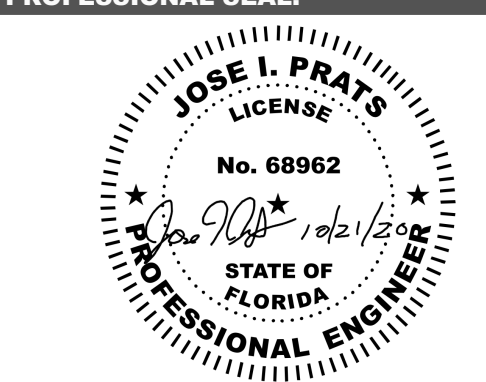
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NOTES:

DISCIPLINE INFORMATION:

PROFESSIONAL OF RECORD: JOSE I. PRATS	START DESIGNER: JOSE CANO
Q.C. AUDITOR: EMANUEL TORRES	PRINCIPAL CAD TECHNICIAN: JOSE CANO
PROJECT MANAGER: FELIX SUENTES	

PROFESSIONAL SEAL:



PROJECT:

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 HIALEAH, FL 33010

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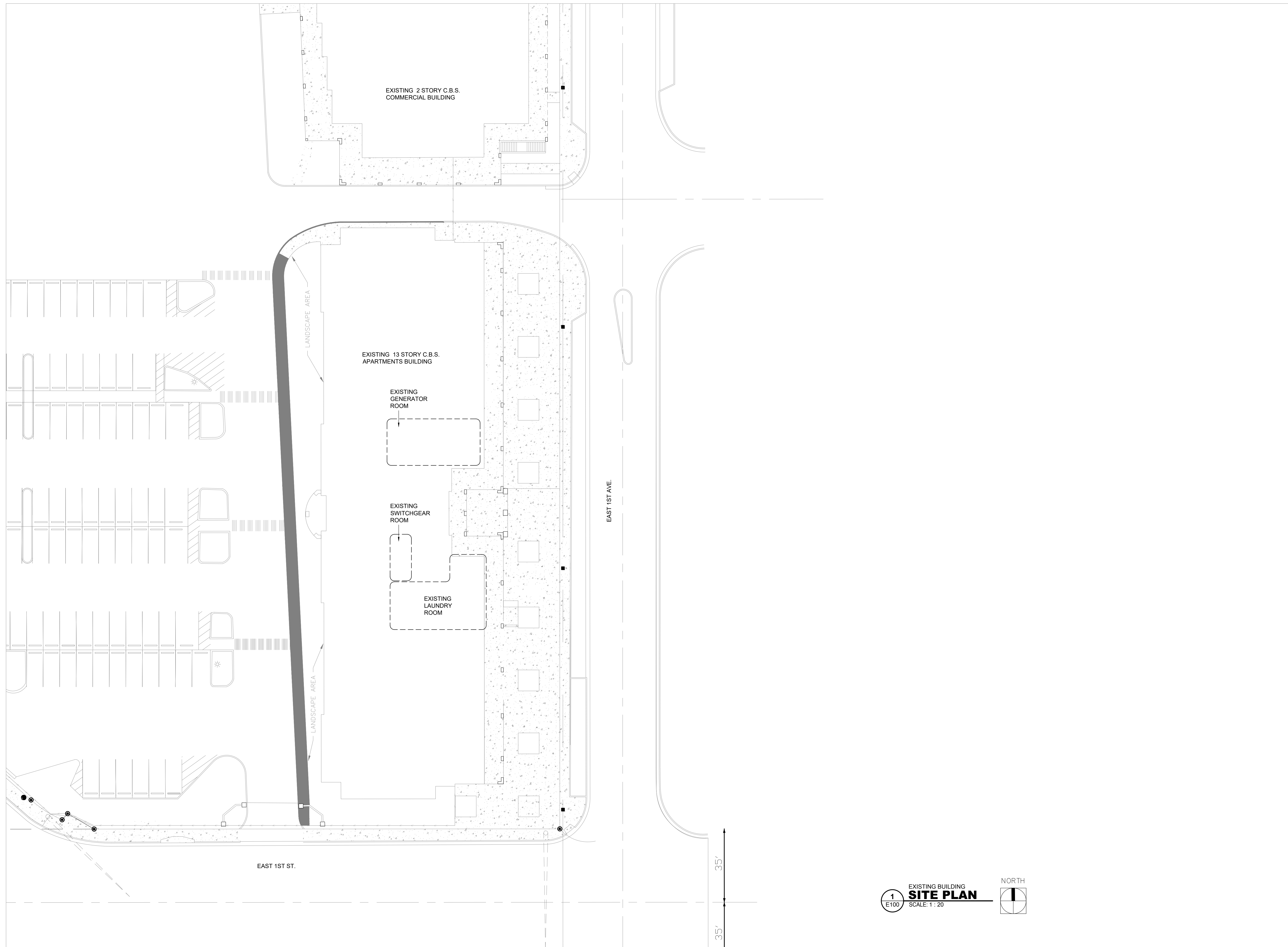
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ELECTRICAL LEGEND AND NOTES

DELIVERY DATE: 04/10/2019	PROJECT NUMBER: 18-0221-06
PRINT DATE & TIME: 04/10/2019	CAD FILE NAME: E001

DRAWING LOCATION:
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SHEET NO.



1
E100

EXISTING BUILDING
SITE PLAN
SCALE: 1 : 20

NORTH

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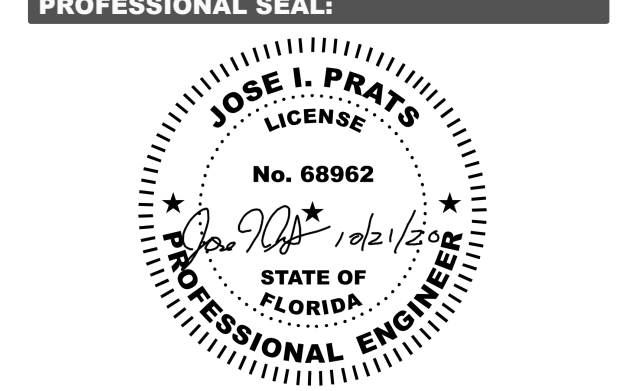
HHA
Hialeah Housing Authority
IN ASSOCIATION WITH:

REV. NO.	DATE	DESCRIPTION

NOTES:

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PROJECT MANAGER: FELIX SUENTES	



PROJECT:

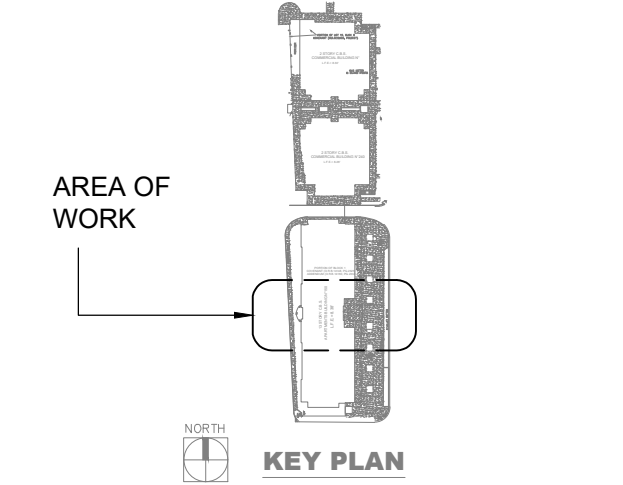
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SHEET TITLE:

SITE PLAN

DELIVERY DATE: 04/10/2019	PROJECT NUMBER: 18-0221-06
PRINT DATE & TIME: 04/10/2019	CAD FILE NAME: E100
DRAWING LOCATION: A:\Projects\mia_projects\0418-0221\0208\06\technical\15\Electrical\DWG	
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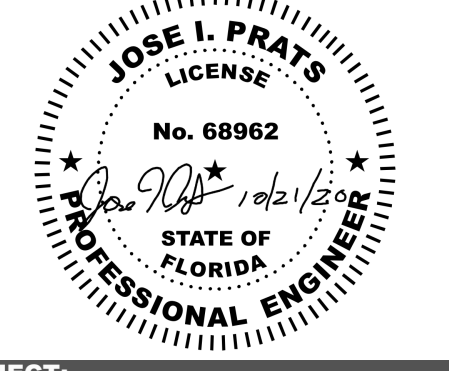
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NOTES:

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PROJECT MANAGER: FELIX SUENTES	

PROFESSIONAL SEAL:



PROJECT:

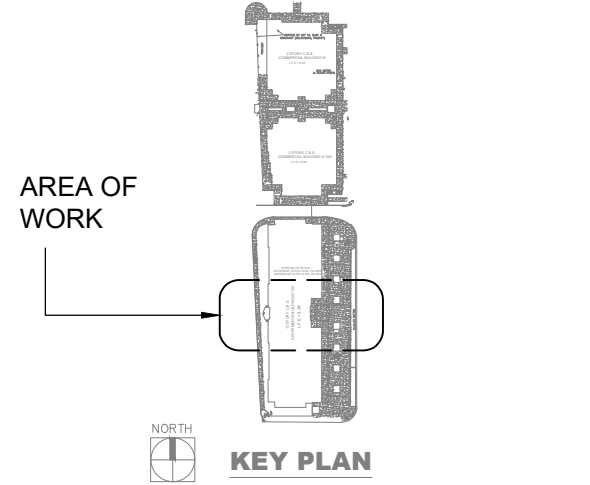
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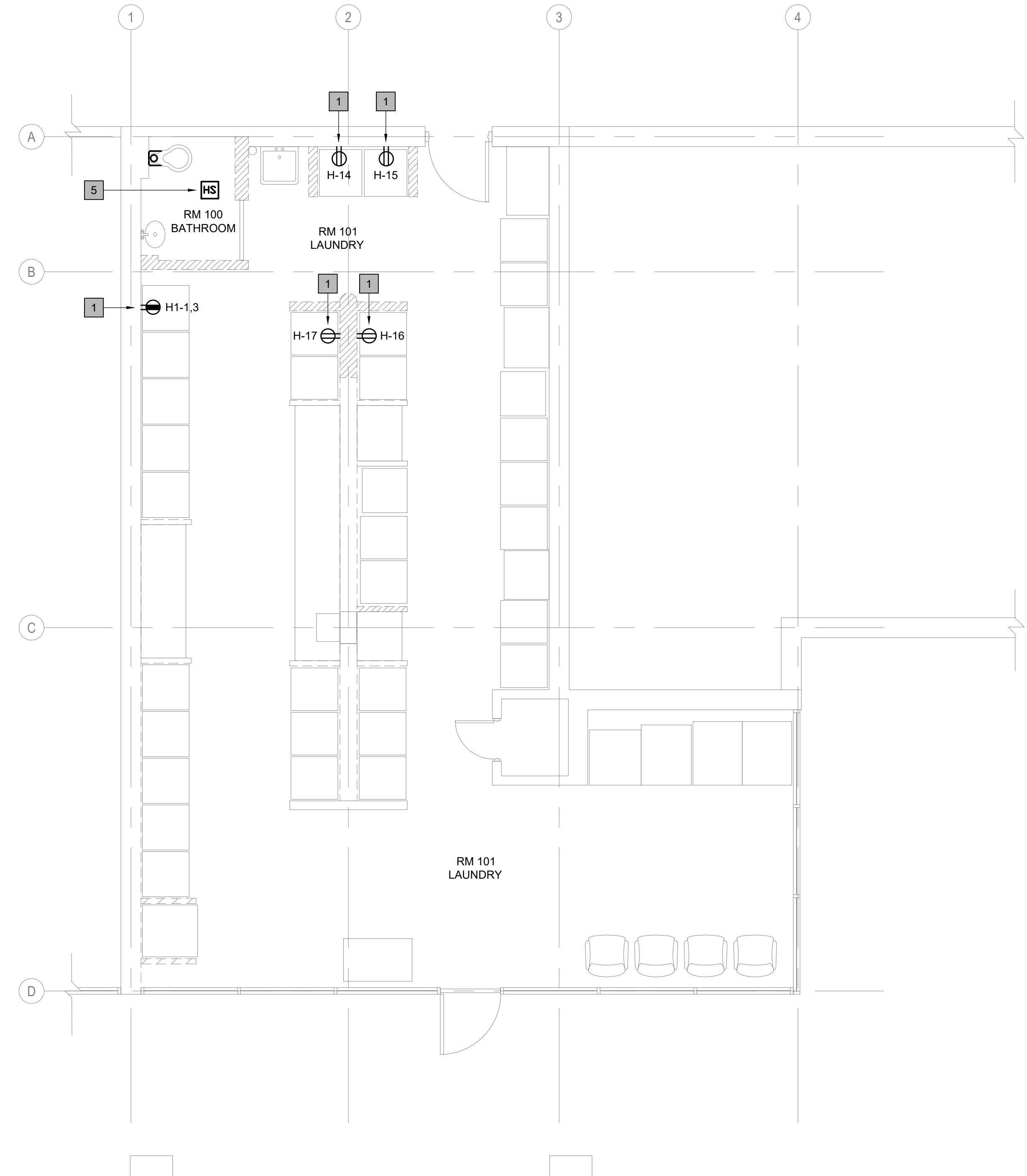
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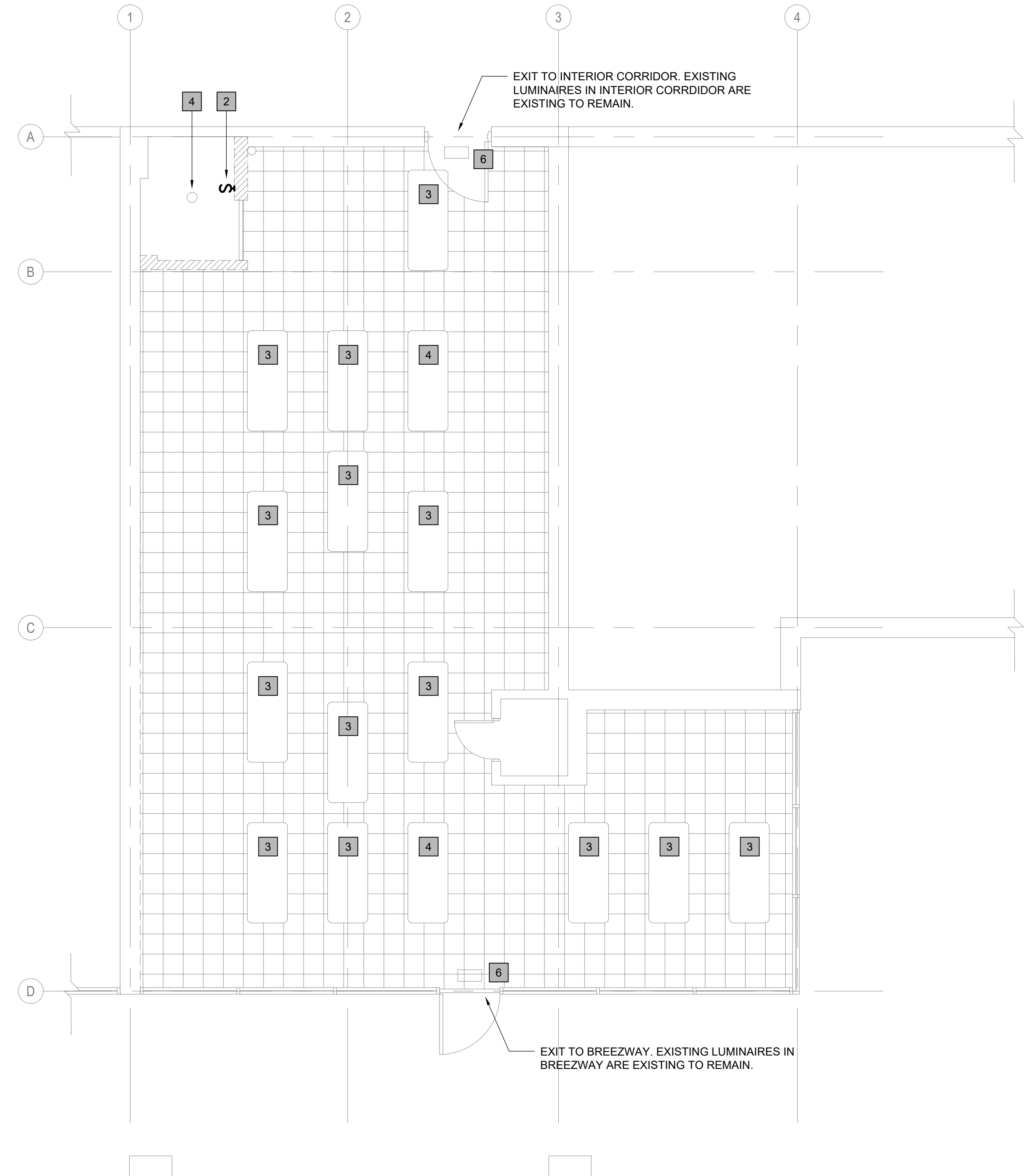
DEMOLITION PLAN

DELIVERY DATE: 04/10/2019	PROJECT NUMBER: 18-0221-06
PRINT DATE & TIME: 04/10/2019	CAD FILE NAME: E101
DRAWING LOCATION: A:\Projects\mia_projects\0418-0221\1020\08\technical\15\Electrical\DWG	
SHEET NO.	



1
E101
LAUNDRY ROOM
DEMOLITION FLOOR PLAN
SCALE: 1/4" = 1'-0"
NORTH

- GENERAL NOTES:**
- CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS FOR ALL DEVICES.
 - CIRCUITS SHOWN ARE BASED ON PROVIDED DRAWINGS, CONTRACTOR SHALL FIELD VERIFY ALL CIRCUITS.
 - EXISTING DEVICES OR EQUIPMENT LOCATED IN THE LAUNDRY ROOM AND EXISTING RESTROOM NOT SHOWN ON THIS DRAWING ARE EXISTING TO REMAIN AND SHALL BE PROTECTED DURING CONSTRUCTION.



2
E101
LAUNDRY ROOM
DEMOLITION REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"
NORTH

- DEMOLITION KEY NOTES:**
- EXISTING RECEPTACLE TO BE REMOVED. REMOVE WIRES BACK TO THE SOURCE AND INSTALL BLANK PLATE.
 - EXISTING LIGHTING SWITCH TO BE REMOVED.
 - EXISTING LIGHTING FIXTURE TO REMAIN. CIRCUIT H-31. CONTRACTOR SHALL FIELD VERIFY THE CIRCUIT.
 - EXISTING LIGHTING FIXTURE TO BE REMOVED AND REPLACED. CIRCUIT H-31. CONTRACTOR SHALL FIELD VERIFY THE CIRCUIT.
 - EXISTING FIRE ALARM DEVICE TO BE REMOVED DURING CONSTRUCTION AND INSTALLED AFTER CONSTRUCTION FINISHES. CONNECT TO EXISTING FIRE ALARM CIRCUIT.
 - EXISTING EXIT SIGN TO REMAIN.



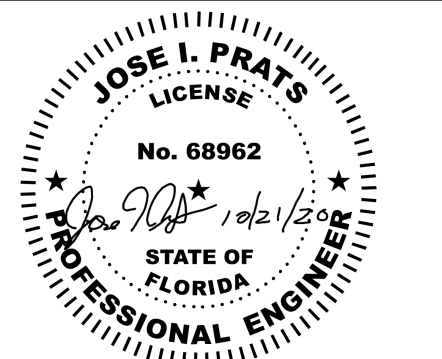
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NOTES:

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PROFESSIONAL SEAL:



PROJECT:

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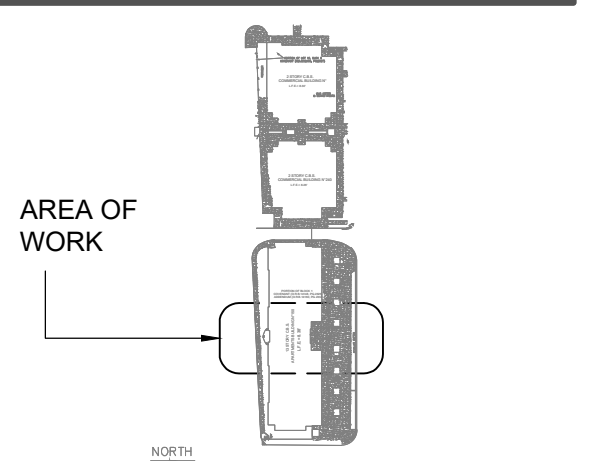
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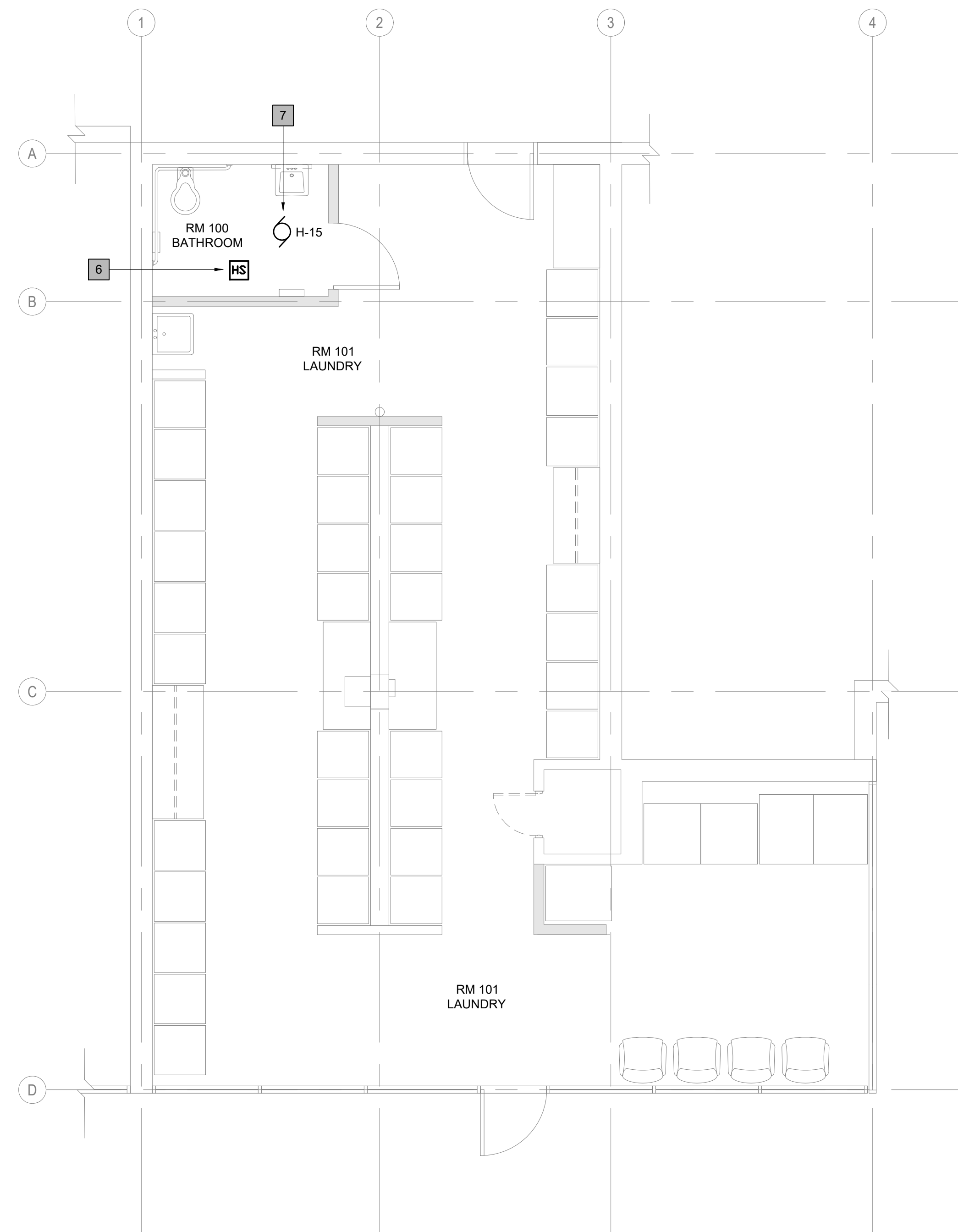
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FLOOR PLAN AND REFLECTED CEILING PLAN

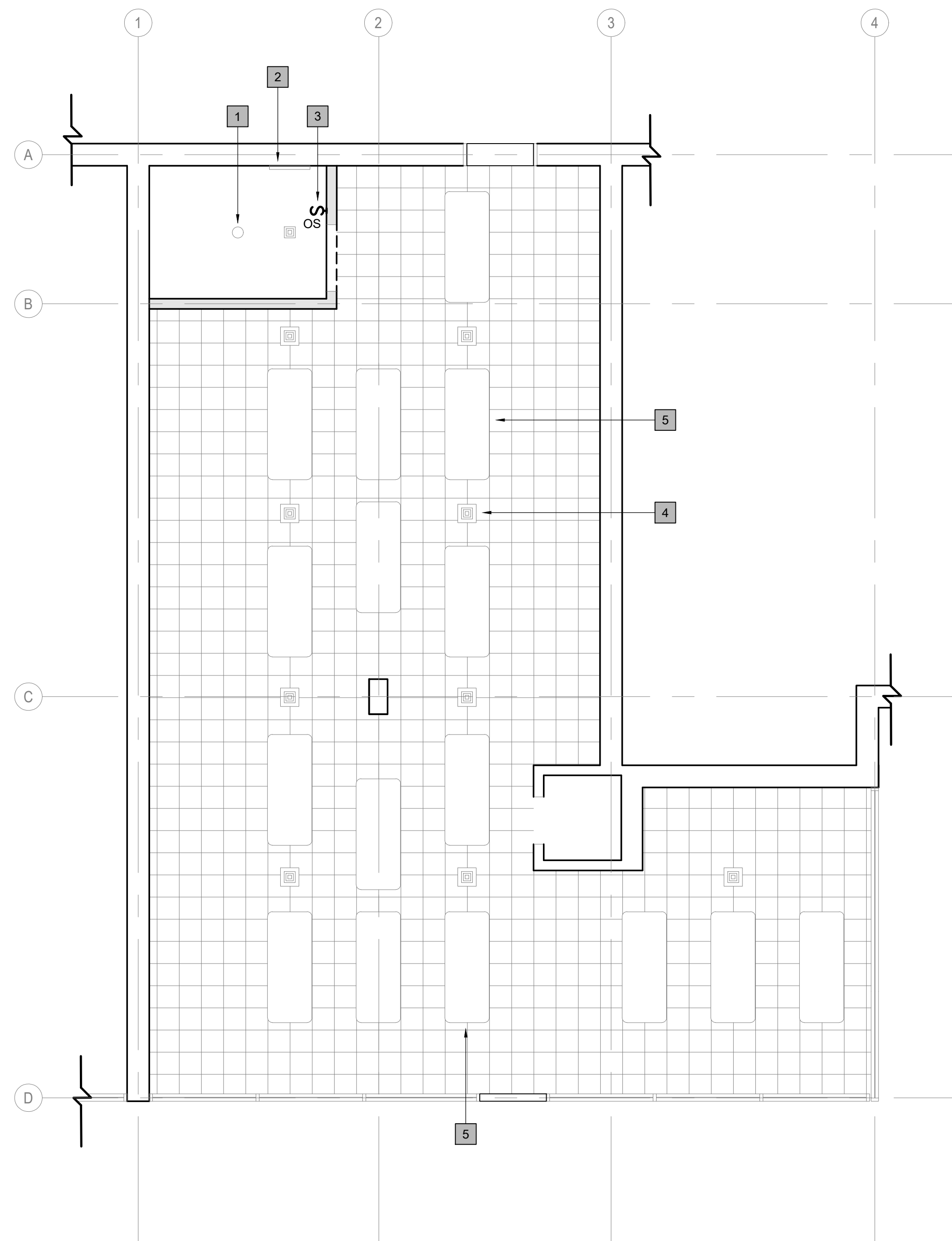
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PRINT DATE & TIME: 04/10/2019	CAD FILE NAME: E102

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SHEET NO. **E102**



1
E102 LAUNDRY ROOM
POWER FLOOR PLAN
SCALE: 1/4" = 1'-0" NORTH



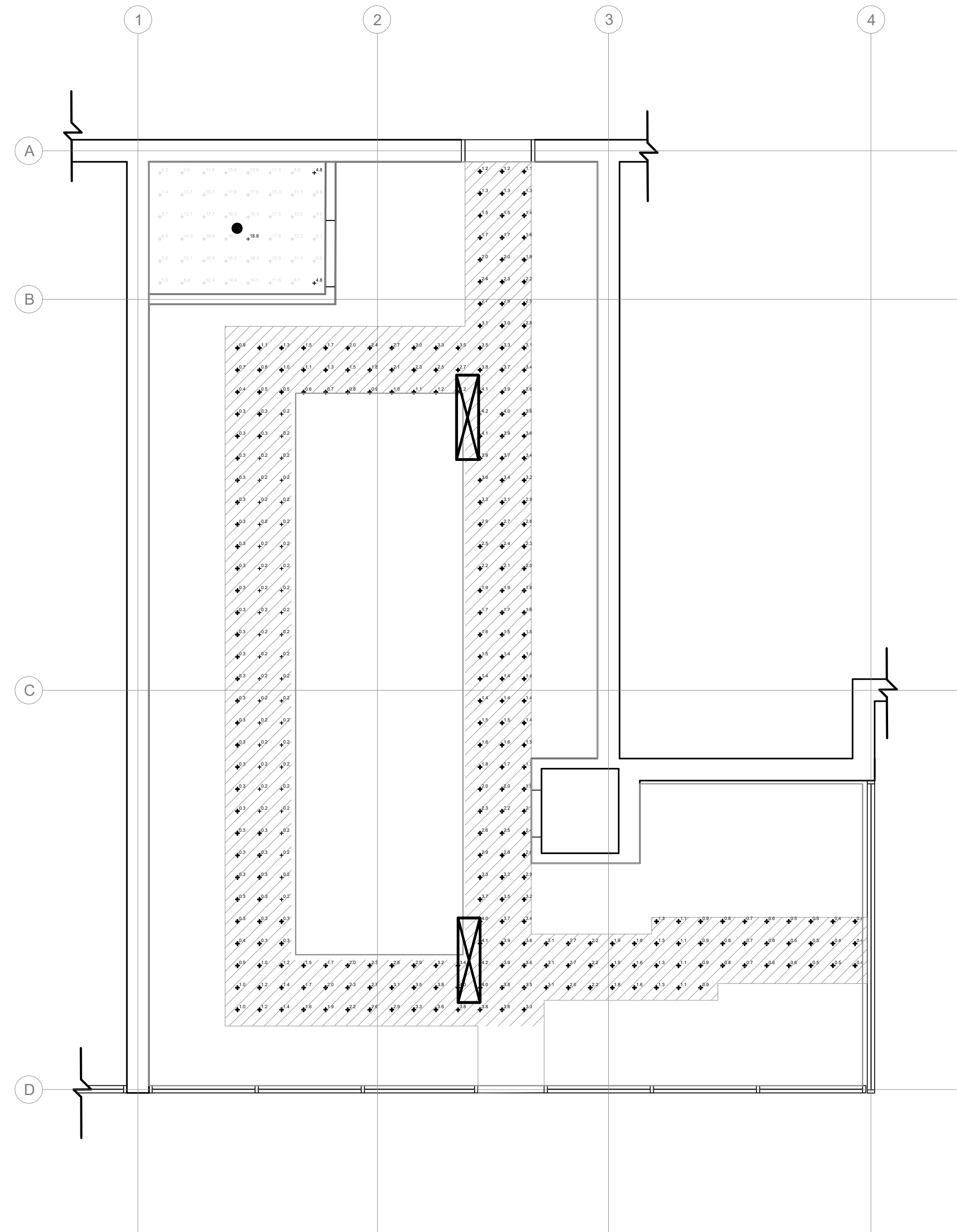
2
E102 LAUNDRY ROOM
REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0" NORTH

KEY NOTES:

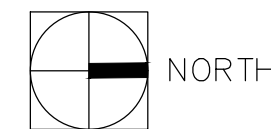
- 1 NEW 4" LED RECESSED DOWNLIGHT. EQUAL TO EVO 4 BY ACUITY BRANDS LIGHTING. SEE DWG. E200 FOR ADDITIONAL INFORMATION. CONNECT TO EXISTING CIRCUIT PROVIDING POWER TO THE REMOVED LUMINAIRE.
- 2 NEW WALL MOUNTED LAMP ABOVE SINK. CONNECT TO THE SAME CIRCUIT AS THE CEILING MOUNTED LUMINAIRE. EQUAL TO FMVCLS 24IN 40K BY ACUITY BRANDS LIGHTING. COORDINATE MOUNTING HEIGHT WITH OWNER.
- 3 NEW WALL SWITCH OCCUPANCY SENSOR. OCCUPANCY SENSOR SHALL CONTROL THE NEW WALL MOUNTED LUMINAIRE, THE NEW CEILING MOUNTED LUMINAIRE, AND THE NEW FAN. EQUAL TO WSX 2P FAN BY SENSOR SWITCH.
- 4 EXISTING DIFFUSER VENT TO REMAIN.
- 5 NEW 4" LINEAR LIGHT. EQUAL TO BLWP4 BY ACUITY BRANDS LIGHTING. SEE DWG E200 FOR ADDITIONAL INFORMATION. PROVIDE LUMINAIRE WITH BATTERY BACK UP TO COMPLY WITH NFPA 101, SECTION 7.9.2.1. CONNECT LUMINAIRE TO EXISTING CIRCUIT H-31. CONTRACTOR SHALL FIELD VERIFY THE CIRCUIT.
- 6 RELOCATED CEILING MOUNTED FIRE ALARM DEVICE. COORDINATE FINAL LOCATION IN THE FIELD..
- 7 NEW EXHAUST FAN EF-10. LOCATED ON THE ROOF WITH FACTORY MOUNTED DISCONNECT SWITCH. CONNECT NEW EXHAUST FAN TO ONE OF THE 120V 1P 20A CIRCUITS PREVIOUSLY USED BY THE WASHERS BEING REMOVED. SEE PANEL SCHEDULE FOR MORE DETAILS. CONTRACTOR SHALL VERIFY CIRCUIT IN THE FIELD. EXHAUST FAN TO BE CONTROLLED BY WALL SWITCH. SEE KEY NOTE 3.

GENERAL NOTES:

1. CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS FOR ALL DEVICES.
2. EXISTING DEVICES OR EQUIPMENT NOT SHOWN ON THIS DRAWING ARE EXISTING TO REMAIN AND SHALL BE PROTECTED DURING CONSTRUCTION.
3. LIGHTING CONTROLS FOR THE LAUNDRY ROOM AREA ARE NOT INCLUDED IN THE SCOPE OF WORK OF THIS PROJECT.



1
E200
LAUNDRY ROOM
LIGHTING LAYOUT
SCALE: 1/4" = 1'-0"



Egress Path-Emergency Lighting

Average	1.6	fc
Maximum	4.2	fc
Minimum	0.2	fc
Max/Min	21.0:1	
Average/Min	8.0:1	

Restroom-Normal Operation

Average	12.5	fc
Maximum	18.8	fc
Minimum	4.8	fc
Max/Min	3.9:1	
Average/Min	2.6:1	

LIGHTING DESIGN CRITERIA:

EGRESS PATH - EMERGENCY LIGHTING
IN COMPLIANCE WITH NFPA 101 CHAPTER 7.9.2.1.1 AND 7.9.2.1.3.

AVG: 1 FC
MIN: 0.1 FC
MAX/MIN: 40:1

RESTROOM - NORMAL OPERATION.
AVG: 10 FC
AVG/MIN: 3:1

NOTE: IF DIFFERENT MODELS ARE SUBMITTED FOR REVIEW AS SHOP DRAWINGS, THE CONTRACTOR SHALL ALSO PROVIDE PHOTOMETRIC CALCULATIONS SHOWING COMPLIANCE OF THE LIGHTING DESIGN CRITERIA DESCRIBED IN THIS SHEET.

2
E200
LAUNDRY ROOM
LIGHTING CALCULATIONS
SCALE: NOT TO SCALE

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Filename	Number Lamps	Lumens Per Lamp	Lumen Multiplier	Light Loss Factor	Wattage
	A	1	Gotham Architectural Lighting	EVO4SH 40/10 DFF SMO	EVO 4IN SHOWER, 80 CRI, 4000K, 1000LM, FLUSH CLEAR		_40_10_DFF_	1	Absolute	1.00	0.90	8.8
	B	2	Lithonia Lighting	BLWP4 30L ADP LP840	BLWP 4ft 3000 Nominal Lumens, Curved Linear Prismatic lens, 4000K CCT, 80CRI		_30L_ADP_LP	1	Absolute	1.00	0.40	25.0

3
E200
LAUNDRY ROOM
LIGHTING SCHEDULE
SCALE: NOT TO SCALE

CLIENT:



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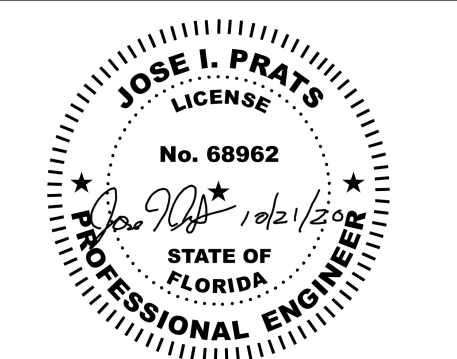
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NOTES:

DISCIPLINE INFORMATION:

PROFESSIONAL OF RECORD: JOSE I. PRATS	START DESIGNER: JOSE CANO
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PROJECT MANAGER: FELIX FUENTES	

PROFESSIONAL SEAL:



PROJECT:

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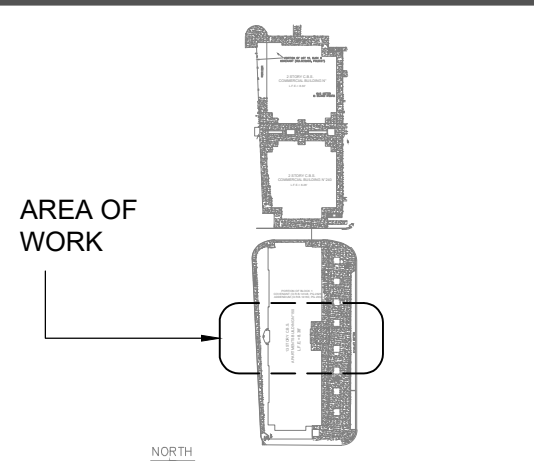
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SHEET TITLE:

LIGHTING
CALCULATIONS

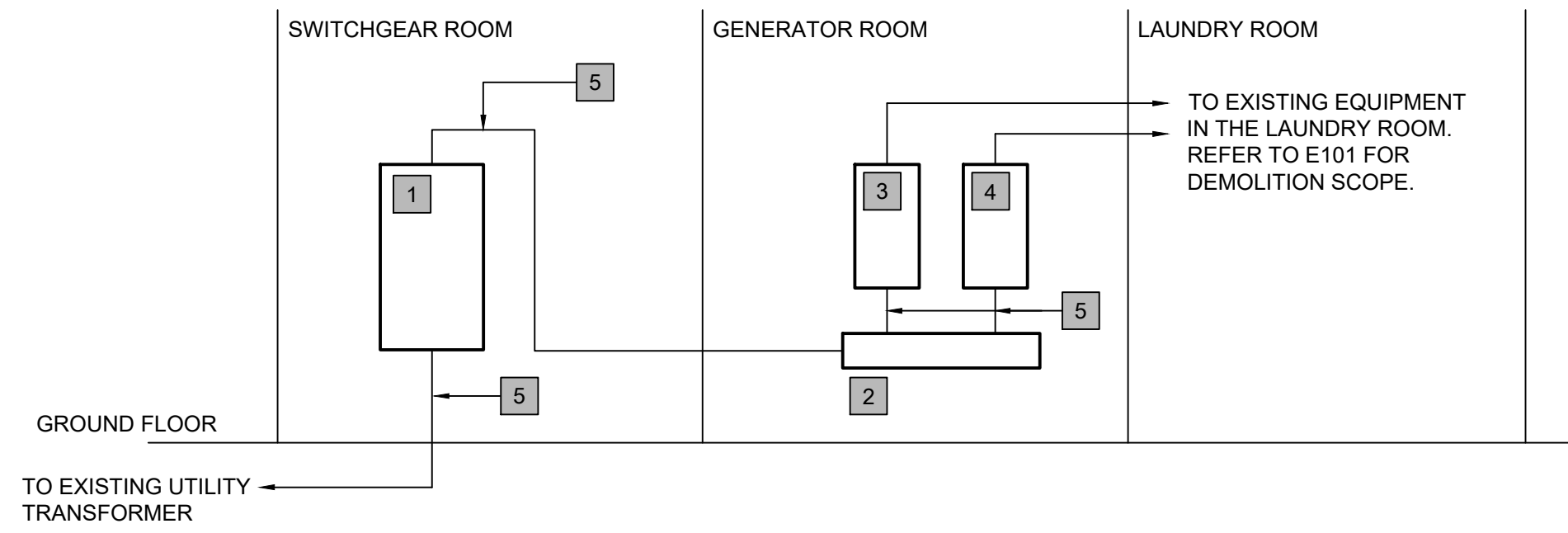
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PRINT DATE & TIME: 04/10/2019	CAD FILE NAME: E200
DRAWING LOCATION: A:\Projects\mia_projects\0418-0221\0200\Technical\15Electrical\DWG	

SHEET NO. **E200**

CLIENT:



IN ASSOCIATION WITH:



EXISTING
1 ONE LINE DIAGRAM
E600 SCALE: NOT TO SCALE

KEY NOTES:

- 1 EXISTING 400A MAIN DISCONNECT SWITCH TO REMAIN.
- 2 EXISTING WIREWAY TO REMAIN.
- 3 EXISTING PANEL "H" TO REMAIN.
- 4 EXISTING PANEL "H1" TO REMAIN.
- 5 EXISTING CONDUITS AND CONDUCTORS TO REMAIN.

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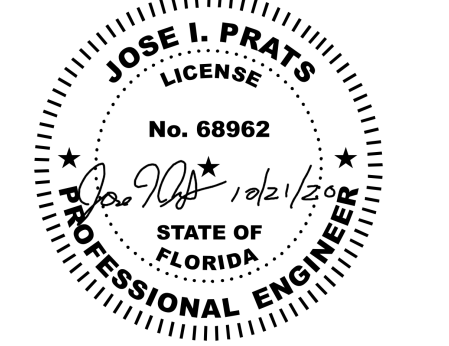
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NOTES:

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PROFESSIONAL SEAL:



PROJECT:

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ONE LINE DIAGRAM

DELIVERY DATE: 04/10/2019	PROJECT NUMBER: 18-0221-06
PRINT DATE & TIME: 04/10/2019	CAD FILE NAME: E600

DRAWING LOCATION:
A:\Projects\mia_projects\0418-0221\0221\0221\Technical\15\Electrical\DWG

SHEET NO. **E600**

