

CHA - RALPH RICHARDS TOWER RENOVATION

211 SOUTH PROSPECT AVENUE
CLEARWATER, FLORIDA 33756



BDG PROJECT NUMBER: 19080.00
CONSTRUCTION DOCUMENTS: MAY 29, 2020

CLIENT

CHA- BARBEE TOWERS
1100 E. DRUID ROAD
CLEARWATER, FLORIDA 33756
(727) 461-5111 EXT. 220
MCvetinovic@clearwaterhousingauthor.org

CONTACT: MIKKI CVETINOVIC

CLIENT APPROVAL:
SIGNATURE:

DATE

ARCHITECT

BESSOLO DESIGN GROUP
7901 4TH ST. NORTH, SUITE 200
ST. PETERSBURG, FLORIDA 33702
(727) 894-4453
rwillmann@bessolo.com

CONTACT: RICHARD WILLMANN

MECH. / PLUMB.

KEM ENGINEERS
7901 4TH ST. NORTH, SUITE 200
ST. PETERSBURG, FLORIDA 33702
(727) 894-4668
gclements@kemengineers.com

CONTACT: GREGORY M. CLEMENTS, PE

ELECTRICAL

KEM ENGINEERS
7901 4TH ST. NORTH, SUITE 200
ST. PETERSBURG, FLORIDA 33702
(727) 894-4668
nmartinez@kemengineers.com

CONTACT: NESTER MARTINEZ, PE

INTERIOR DESIGN








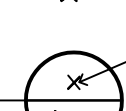

















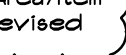





BESSOLO DESIGN GROUP
7901 4TH ST. NORTH, SUITE 200
ST. PETERSBURG, FLORIDA 33702
(727) 894-4453
twash@bessolo.com

CONTACT: VANESSA ESTEF, IIDA

**CONSTRUCTION
ADMINISTRATOR**

BESSOLO DESIGN GROUP
7901 4TH ST. NORTH, SUITE 200
ST. PETERSBURG, FLORIDA 33702
(727) 894-4453
projectcoordinator@bessolo.com

CONTACT: BRIANNA DOUGHERTY

LEGEND	
MATERIAL LEGEND	SYMBOL LEGEND
 FINISH WOOD	 INDICATES SECTION NUMBER
 ROUGH WOOD	 INDICATES SHEET WHERE SECTION IS DRAIN
 BATT INSULATION	 INDICATES INTERIOR ELEVATION NUMBER
 RIGID INSULATION	 INDICATES SHEET WHERE INTERIOR ELEVATION IS DRAIN
 CERAMIC TILE	 INDICATES DETAIL NUMBER
 GYPSUM WALLBOARD	 INDICATES SHEET WHERE DETAIL IS DRAIN
 METAL (LARGE SCALE)	 INDICATES NUMBER AND SHEET WHERE EXTERIOR ELEVATION IS DRAIN
 METAL (SMALL SCALE)	 TOP OF SLAB ELEVATION LINE FLOOR/DATUM
 ACoustICAL TILE	 WINDOW TAG
 EARTH	 DOOR TAG
 POROUS FILL	 TOILET ACCESSORIES
 PRECAST CONCRETE	 PARTITION TYPE
 STRUCTURAL CONCRETE	 INTERIOR FINISH TAG
 BRICK	 Area/Item revised REVISION
 CONCRETE MASONRY UNITS	
 PLYWOOD	
 TILE ON CONCRETE	
RESILIENT FLOORING	

CODES REFERENCED	
2001	FLORIDA BUILDING CODE SIXTH EDITION
2001	FLORIDA BUILDING CODE EXISTING BUILDING SIXTH EDITION
2001	FLORIDA MECHANICAL CODE
2002	NFPA 80 LIFE SAFETY CODE
2002	NFPA 1 UNIFORM FIRE CODE
2003	FLORIDA ADMINISTRATIVE CODE, CHAPTER 59-A4
2003	FLORIDA ADMINISTRATIVE CODE, CHAPTER 58
2003	NFPA 221 STANDARD FOR FIRE BULLS AND FIRE BARRIERS
2004	NFPA 241 STANDARD FOR SAREGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS
2006	NFPA 251 STANDARD METHOD OF TESTS OF FIRE ENDURANCE OF BUILDING CONSTRUCTION AND MATERIALS
2006	NFPA 255 STANDARD METHOD OF TEST OF SURFACE BURNING CHARACTERISTICS OF BUILDING MATERIALS

The figure contains two maps. The left map, titled 'VICINITY MAP', shows the project site (red pin) at the intersection of Franklin Street and Court Street, near Prospect Park. The right map, titled 'LOCATION MAP', shows the project site (red pin) in the context of the surrounding neighborhood, including streets like 5th Street and 6th Street, and landmarks like the Prospect Park Conservatory.

EXISTING BUILDING DATA	
EXISTING SQUARE FOOTAGE = 22,502 SF	
CODES 2011 FLORIDA BUILDING CODE (6TH EDITION) 2011 FLORIDA BUILDING CODE EXISTING BUILDING (6TH EDITION) OCCUPANCY CLASSIFICATION GROUP B (SECTION 305) BUSINESS CONSTRUCTION TYPE GROUP B BUSINESS, TYPE IV UNPROTECTED UNSPRINKLERED ALTERATION LEVEL 1 - 2011 FLORIDA EXISTING CODE (6TH EDITION) CH. 5 SEC. 503, CH. 15 SEC. 1505/1508	
STATE OF FLORIDA BUILDING CODE 2017 EDITION-6TH EDITION BUILDING CODE ANALYSIS	
DESCRIPTION	SECTION
COMPLIANCE METHODS- CHAPTER 3	EBC 301
WORK AREA COMPLIANCE METHOD	301.1.2
CLASSIFICATION OF WORK- CHAPTER 5	
WORK AREA IDENTIFICATION	501.2
ALTERATIONS LEVEL 2	504.1
ALTERATIONS LEVEL 1 - CHAPTER 7	
INTERIOR FINISHES AND TRIM	702.1, 701.3
MATERIALS AND METHODS	702.6
REPLACEMENT OF WINDOWS AND DOORS	707.4
ALTERATIONS LEVEL 2 - CHAPTER 8	
FIRE PROTECTION, R-2	804.2.2
OCCUPANCY REQUIREMENTS, R-2	804.1.6
ELECTRICAL NEW/EXISTING	808.1 / 808.1
	808.1

MECHANICAL	810.1 / 810.2
PLUMBING	810.1 / 810.2

<p>PROJECT: CLEARWATER HOUSING AUTHORITY BARBEE TOWERS - LOBBY ALTERATIONS PROJ. NO. 18079-00 DATE: 06-03-2020</p> <p>FLORIDA BUILDING CODE, EXISTING BUILDINGS - 2017</p>		
N	REQUIRED	PROPOSED
	301.1.1, 301.1.2, OR 301.1.3	WORK AREA COMPLIANCE METHOD(S) 1, 2
	COMPLIANCE WITH FLORIDA BUILDING CODE, EXISTING BUILDINGS CHAPTERS 7, 8	COMPLIES (SEE BELOW)
	COMPLIANCE WITH FLORIDA BUILDING CODE, EXISTING BUILDINGS CHAPTERS 7, 8	(PROJECT TO COMPLY) COMPLIES (SEE BELOW)
2.	INTERIOR FINISHES AND TRIM SHALL BE IN COMPLIANCE WITH CHAPTER 8, FLORIDA BUILDING CODE	COMPLIES
	ALL NEW WORK SHALL COMPLY WITH FLORIDA BUILDING CODE, FLORIDA BUILDING CODE MECHANICAL, ENERGY CONSERVATION CODE, FLORIDA BUILDING CODE PLUMBING	COMPLIES
	REPLACEMENT OF WINDOWS AND DOORS SHALL BE IN ACCORDANCE WITH CHAPTER 16, FLORIDA BUILDING CODE	COMPLIES
		EXCEPTION #1, PROJECT NOT APPLICABLE
	HIGH RISE WITH CORRIDORS SERVING 30 OR MORE OCCUPANTS SHALL BE SPRINKLERED	CORRIDORS SHALL BE SPRINKLERED
	A FIRE ALARM SYSTEM SHALL BE INSTALLED IN WORK AREAS OF GROUP R-2 APARTMENT BUILDINGS AS REQUIRED BY THE FLORIDA FIRE PREVENTION CODE FOR EXISTING GROUP R-2 OCCUPANCIES	(PROJECT TO COMPLY)
3.2	ALL NEW WIRING SHALL BE IN COMPLIANCE WITH NFPA 70, ALL EXISTING WIRING WITHIN WORK AREA SHALL BE UPGRADED TO FBCE CHAPTER 7	WIRING UPGRADED AS REQUIRED, REFER TO FLOOR PLANS FOR FINAL WIRING(S)
	RECONFIGURED SPACES INTENDED FOR OCCUPANCY AND ALL SPACES	COMPLIES

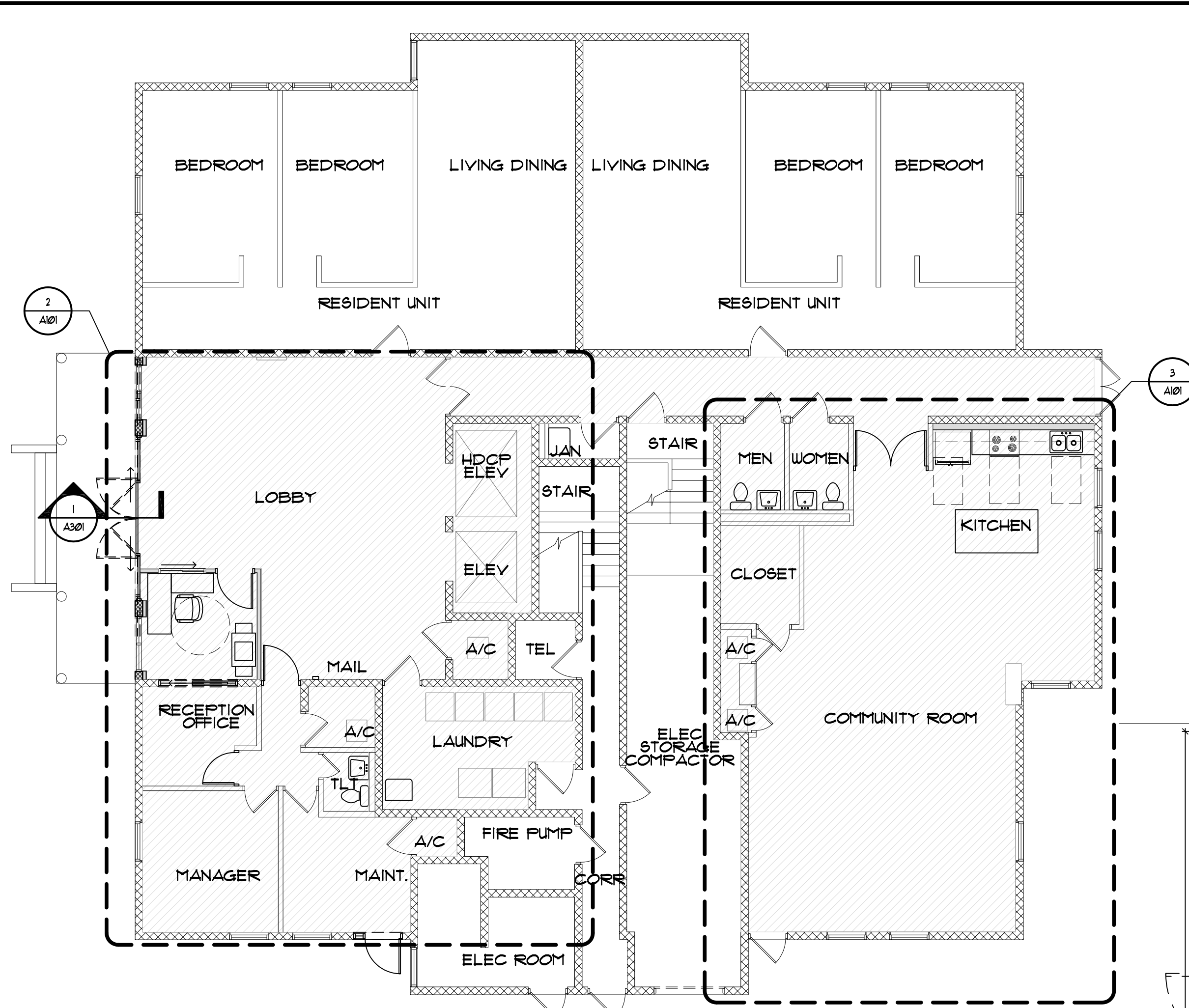
**RALPH RICHARDS
TOWER RENOVATION**

[illegible]

GOOI

.....

GENERAL INFORMATION



1 OVERALL FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

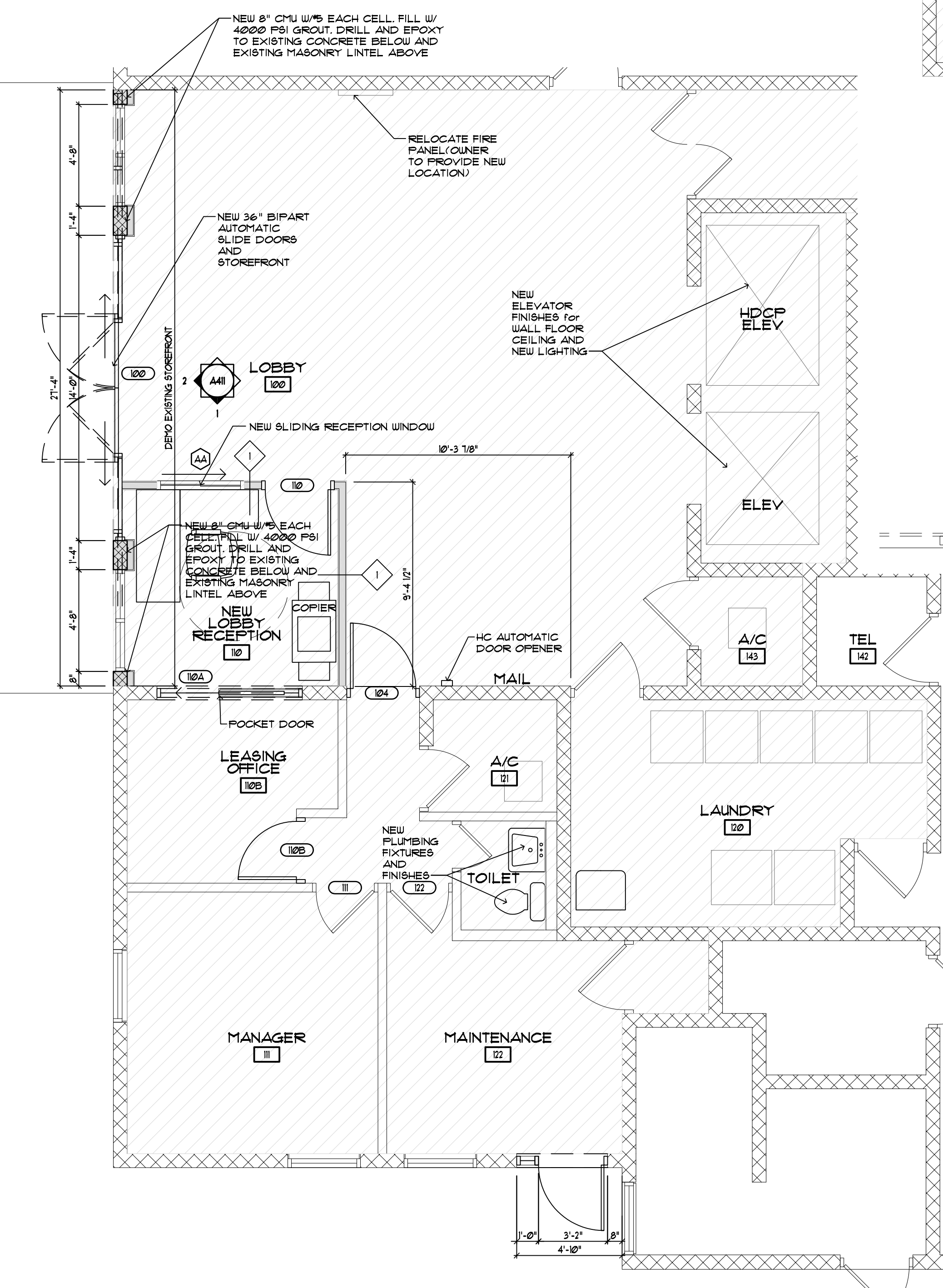
GENERAL DEMOLITION NOTES

GENERAL CONTRACTOR (GC) SHALL DO ALL REMOVAL/DEMOLITION AS INDICATED ON THE DRAWINGS AND/OR REQUIRED TO INSTALL THE NEW WORK AS INDICATED ON THE CONSTRUCTION DRAWINGS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

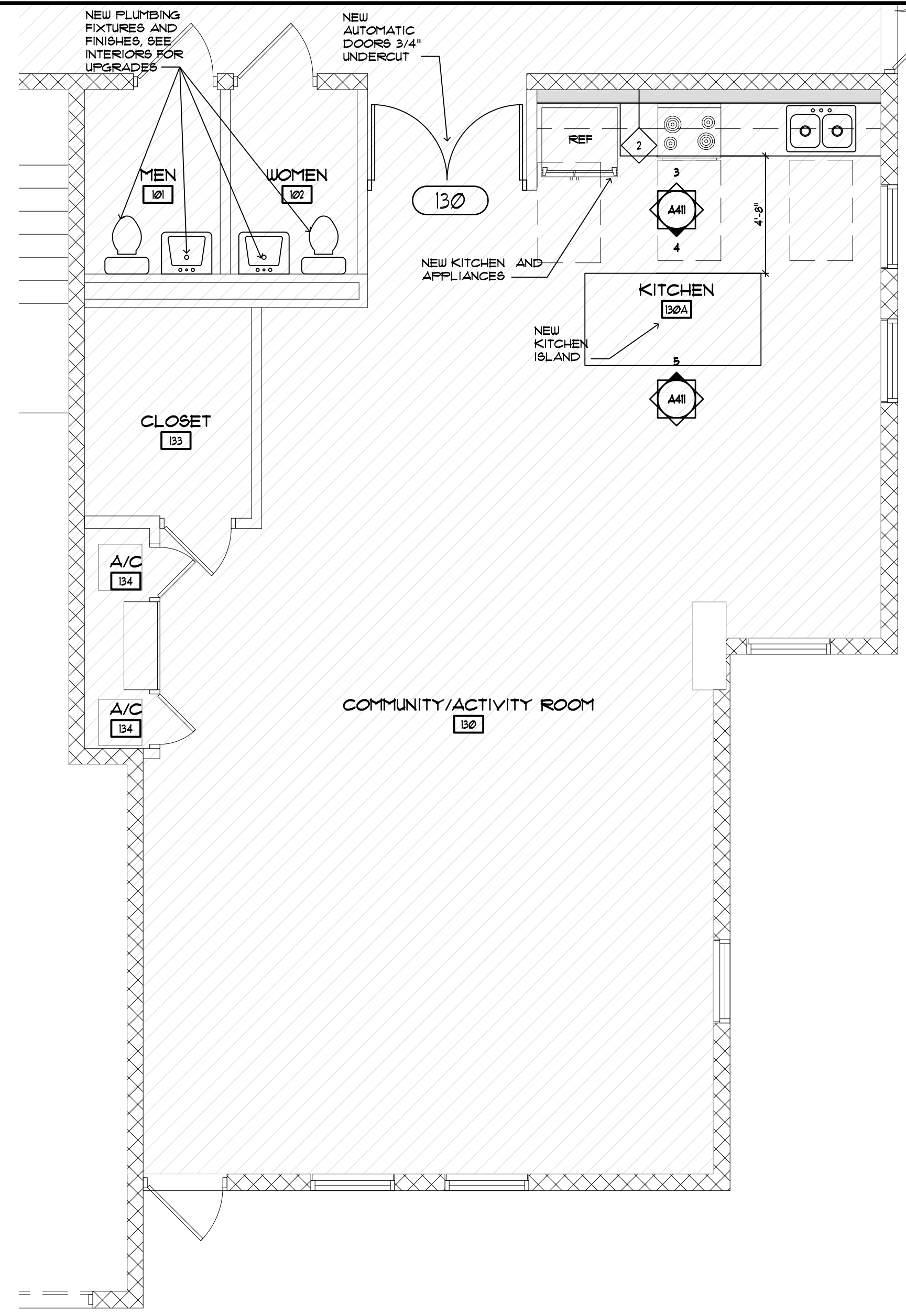
- GC SHALL VISIT THE SITE PRIOR TO BID AND FAMILIARIZE HIMSELF WITH THE SCOPE OF REMOVAL WORK PRIOR TO BID.
- DRAWINGS SHOW ONLY MAJOR SCOPE OF REMOVAL AND GENERAL APPROXIMATION OF PARTITIONS AND ANY OTHER EXISTING ITEMS, I.E. PIPES, DUCTS, OUTLETS, ETC. TO BE REMOVED. CONTRACTORS ARE REQUIRED TO REMOVE ALL EXISTING PARTITIONS, PIPES, OUTLETS, DEVICES AND RELATED ITEMS NOT SHOWN, AS REQUIRED TO SUIT ALL NEW WORK.
- EXISTING MECHANICAL AND ELECTRICAL EQUIPMENT, FIXTURES, RISERS, SHAFTS, PIPES, OUTLETS, DEVICES, ETC. SHOWN ON DRAWINGS ARE APPROXIMATELY LOCATED. CONTRACTORS ARE TO DETERMINE EXACT LOCATIONS OF ALL ITEMS IN THE FIELD. SUCH ITEMS THAT ARE DETERMINED TO BE INACTIVE OR THAT ARE NO LONGER REQUIRED DUE TO NEW WORK SHALL BE REMOVED. VERIFY WITH THE ARCHITECT.
- ALL EXISTING ITEMS LISTED IN NOTE ABOVE WHICH ARE TO REMAIN SHALL BE PROVIDED WITH NEW GYPSUM WALLBOARD ENCLOSURES BY THE CONSTRUCTION CONTRACTOR. LOCATIONS SHOWN ARE APPROXIMATE. ALL PIPES AND DUCTS SHALL BE ENCLOSED IN ALL SPACES BY DRYWALL CONSTRUCTION AND HANG CEILING EXCEPT SHAFTS WHICH SHALL BE EXTENDED TO UNDERSIDE OF STRUCTURE. CONTRACTORS ARE TO INFORM ARCHITECT OF EXISTING LOCATIONS FOR POSSIBLE DIMENSIONAL ADJUSTMENTS. CONSTRUCTION CONTRACTOR TO REFER TO MECHANICAL AND ELECTRICAL DRAWINGS.
- ALL SURFACES DISTURBED BY REMOVALS SHALL BE PATCHED TO MATCH EXISTING ADJACENT FINISHES. TYPICAL THROUGHOUT FOR WALLS, CEILINGS AND FLOORS.
- PATCH EXISTING LOOSE AND DAMAGED FIREPROOFING AT BEAMS AND COLUMNS AS REQUIRED.
- GC SHALL CHECK AND VERIFY ALL CONDITIONS AFFECTING THE DEMOLITION AND NEW WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES ON THE PLANS WHICH WOULD AFFECT THE WORK.
- GC SHALL MAINTAIN A SECURE BUILDING. THE AREAS OF THE BUILDING MUST BE LOCKED AND MADE SECURE DURING NON-CONSTRUCTION HOURS.
- GC SHALL PROVIDE, ERECT AND MAINTAIN TEMPORARY BARRIERS AT INVOLVED WORK AREAS TO SATISFY THE FACILITY.
- GC SHALL PROTECT EXISTING MATERIALS AND FINISHES WHICH ARE NOT TO BE DEMOLISHED.
- GC TO PROVIDE APPROPRIATE TEMPORARY SIGNAGE INCLUDING SIGNAGE FOR EXIT OR BUILDING EGRESS.
- GC SHALL REMOVE/DEMOLISH THE FOLLOWING ITEMS (AS INDICATED WITH DASHED LINES) INCLUDING: THE REMOVAL OF ALL LIGHTING, GRID, SUSPENDED ACCOUSTICAL CEILING TILES, HANGERS, STRAPS, WIRES AND ALL OTHER EXPOSED CEILING FINISHES AND TIES ATTACHED OR SUSPENDED FROM STRUCTURE ABOVE.
- REMOVE EXISTING FLOOR FINISHES, EXCEPT VCT, IN AREAS OF DEMOLITION (AND IN AREAS INDICATED TO RECEIVE NEW FINISHES AS PER FINISH SCHEDULE). PATCH ANY OPEN OR CRACKED FLOOR AREAS WITH FLASH PATCHING. CREATE A SMOOTH FLUSH CONDITION TO RECEIVE NEW FLOOR FINISHES.
- WHERE PARTITIONS ARE INDICATED TO BE REMOVED, REMOVE ALL TRIM, DOORS, FRAMES, WALL, OUTLETS, SWITCHES, SURFACE MOUNTED FIXTURES, AND WIRING BACK TO DISTRIBUTION PANEL.
- GC SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND PAYING ALL FEES AS PART OF THE WORK REQUIRED FOR THIS PROJECT (IF REQUIRED - VERIFY).
- ALL DEMOLITION DEBRIS SHALL BE REMOVED AT LEAST ONCE PER DAY TO MAINTAIN SAFE WORKING CONDITIONS. VERIFY METHOD AND LOCATION OF DUMPSTERS WITH ARCHITECT PRIOR TO BEGINNING WORK.
- PROVIDE TEMPORARY LIGHTING AND ELECTRICAL SERVICE IN THE WORK AREA AS REQUIRED TO COMPLETE THE WORK.

SELECTIVE DEMOLITION BY THE OWNER

- CERTAIN SELECTIVE DEMOLITION WITHIN THE EXISTING BUILDING WILL BE PERFORMED UNDER A SEPARATE CONTRACT BY THE OWNER AND IS NOT INCLUDED. IN THAT SEPARATE CONTRACT IS THE REMOVAL OF ANY ASBESTOS ENCOUNTERED.



2 LOBBY / OFFICE AREA PARTIAL PLAN
SCALE: 1/4" = 1'-0"

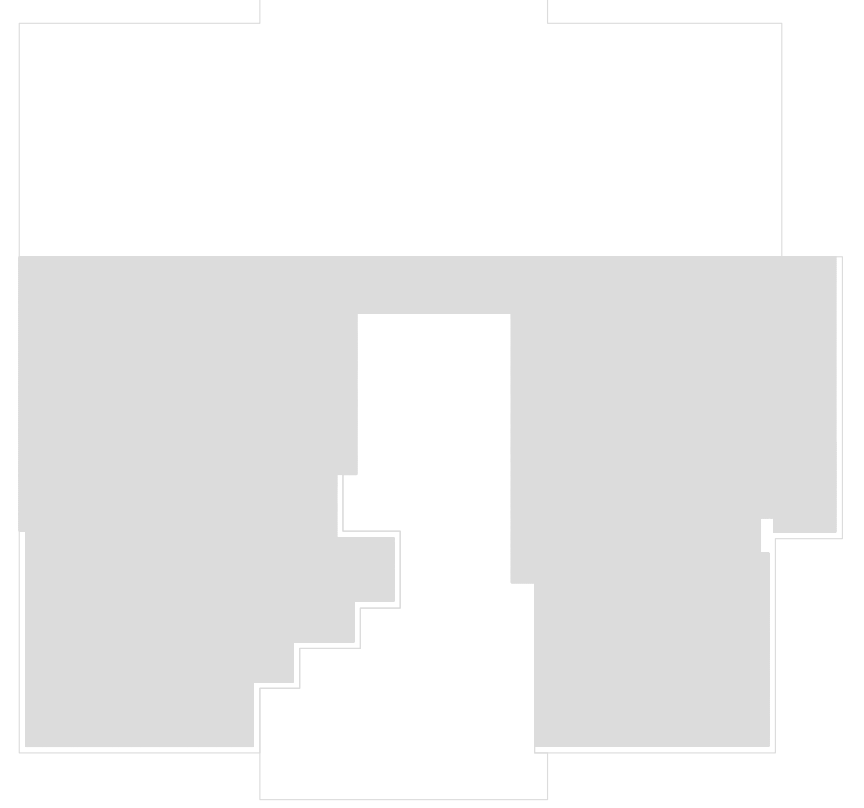


3 COMMUNITY ROOM PARTIAL PLAN
SCALE: 1/4" = 1'-0"

WALL LEGEND

- DEMOLISHED WALL
- EXISTING WALL
- EXISTING CMU WALL
- EXISTING CONCRETE WALL
- NEW FRAMED WALL
- NEW CMU WALL
- NEW CONCRETE WALL

- EXISTING DOOR TO BE REMOVED
- EXISTING DOOR TO REMAIN
- NEW DOOR



Note:
SHADED AREAS ARE WITHIN THE SCOPE

LIMITS OF CONSTRUCTION KEY PLAN

BESSOLO
DESIGN GROUP, INC.
ARCHITECTURE ■ DEVELOPMENT
License #AA-C002117
7901 4TH ST. NORTH, SUITE 200
ST. PETERSBURG, FL 33702
727.894.4453 ■ www.bessolo.com

PROFESSIONAL SEAL

KEVIN J. BESSOLO
ART 12069

COPYRIGHT BESSOLO DESIGN GROUP, INC.
THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN, INCLUDING ALL RELATED DIGITAL DRAWINGS OR FILES HEREON ARE THE EXCLUSIVE PROPERTY OF BESSOLO DESIGN GROUP, INC. AND SHALL NOT BE COPIED OR USED IN ANY WAY WITHOUT THE EXPRESS WRITTEN CONSENT OF BESSOLO DESIGN GROUP, INC. AND MUST BE RETURNED UPON REQUEST. ALL DRAWINGS ARE PRELIMINARY AND NOT FOR CONSTRUCTION PURPOSES UNLESS SHOWN AND SEALED BY KEVIN J. BESSOLO.

**RALPH RICHARDS
TOWER RENOVATION**

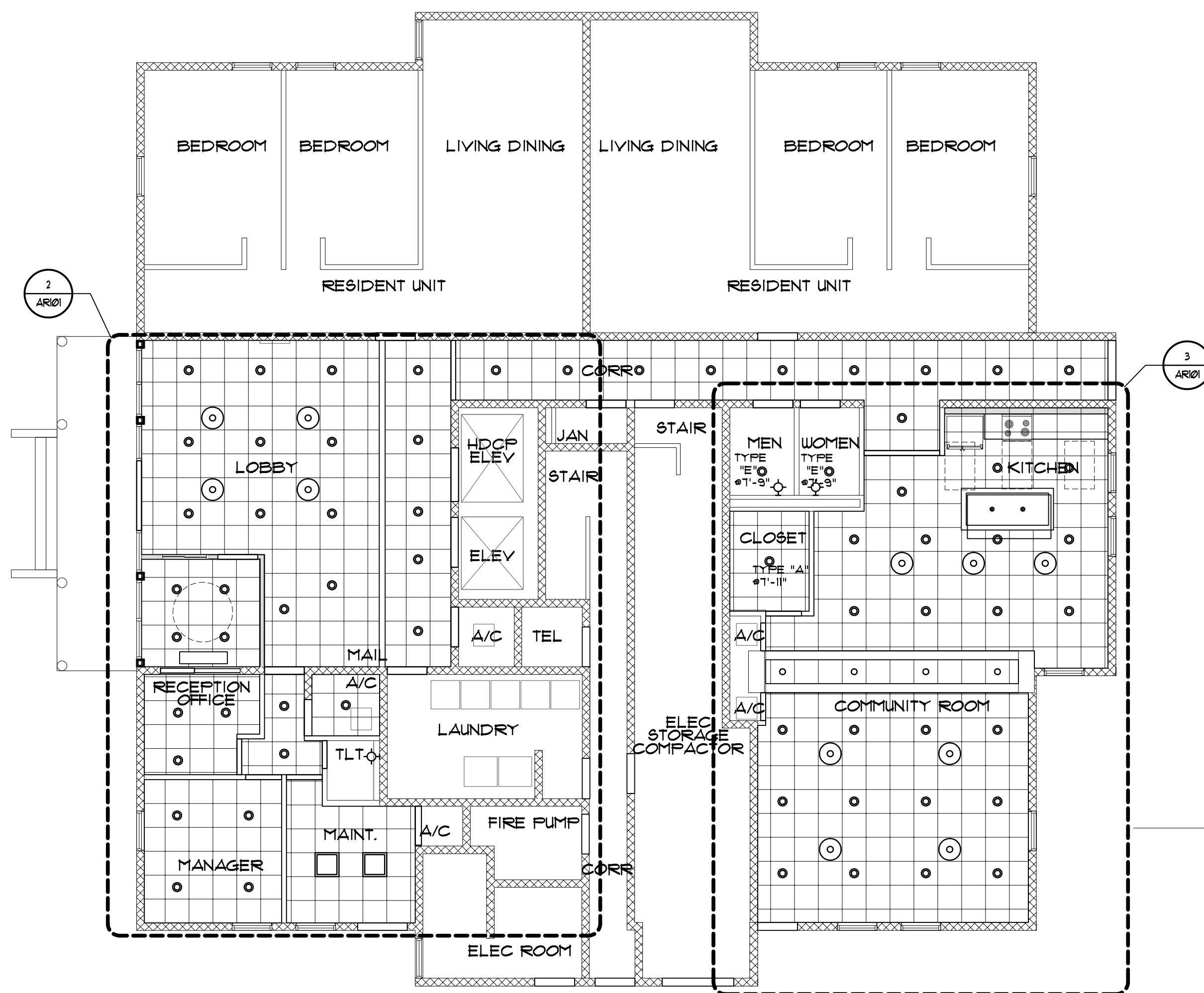
211 SOUTH PROSPECT AVENUE
CLEARWATER, FL 33756

ISSUED
DATE: 1/8/2018 FOR:
08-15-20 CONSTRUCTION DOCUMENTS

REVISIONS		
NO.	DATE	DESCRIPTION

PROJECT NO.:	13080200
DRAWN BY:	MAC, BRG
PROJECT MANAGER:	RW
CHECKED BY:	KJB
DATE:	08-15-20
SCALE:	AS NOTED

A101
FIRST FLOOR AND
DEMOLITION
FLOOR PLANS

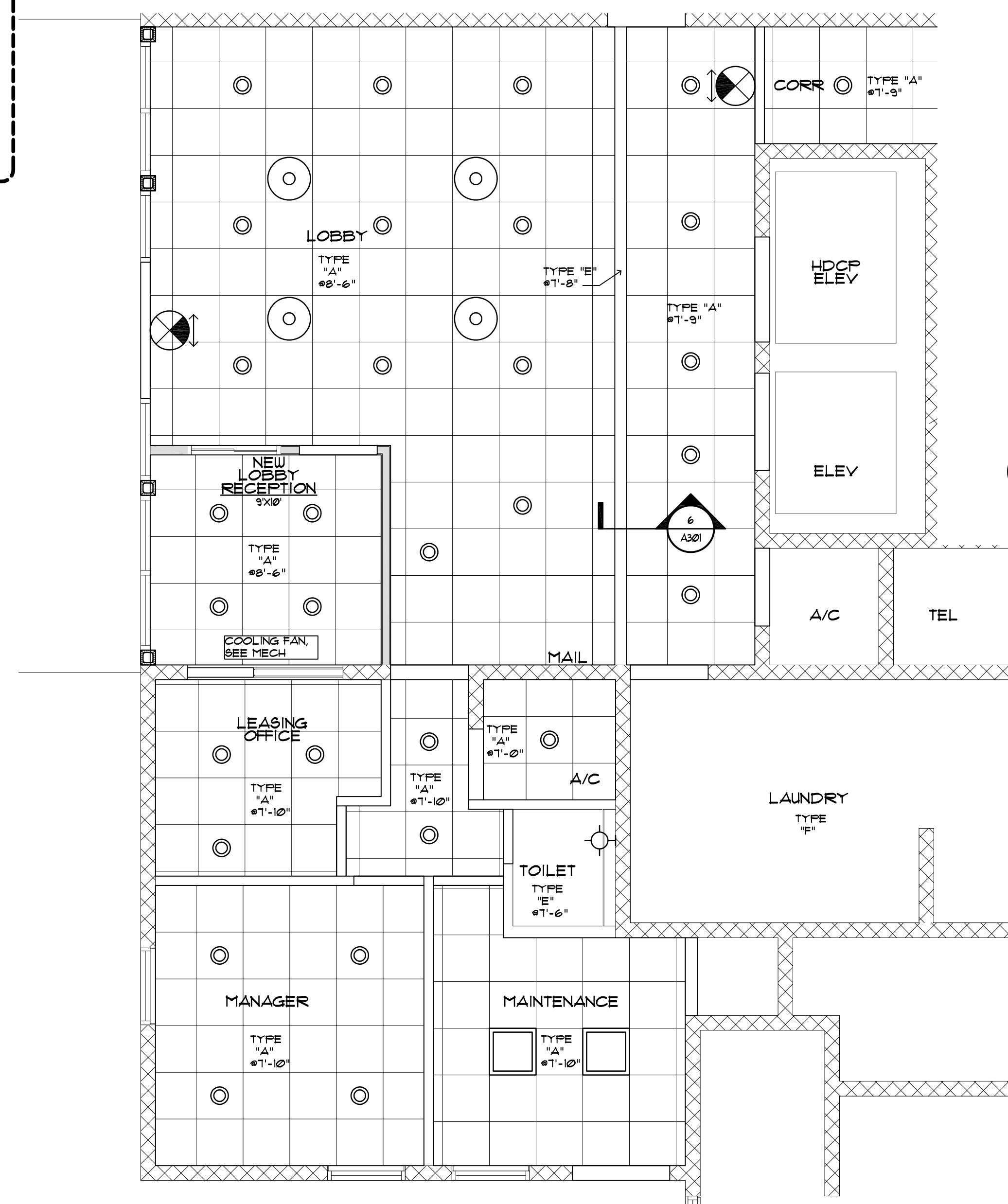


1 FIRST FLOOR REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

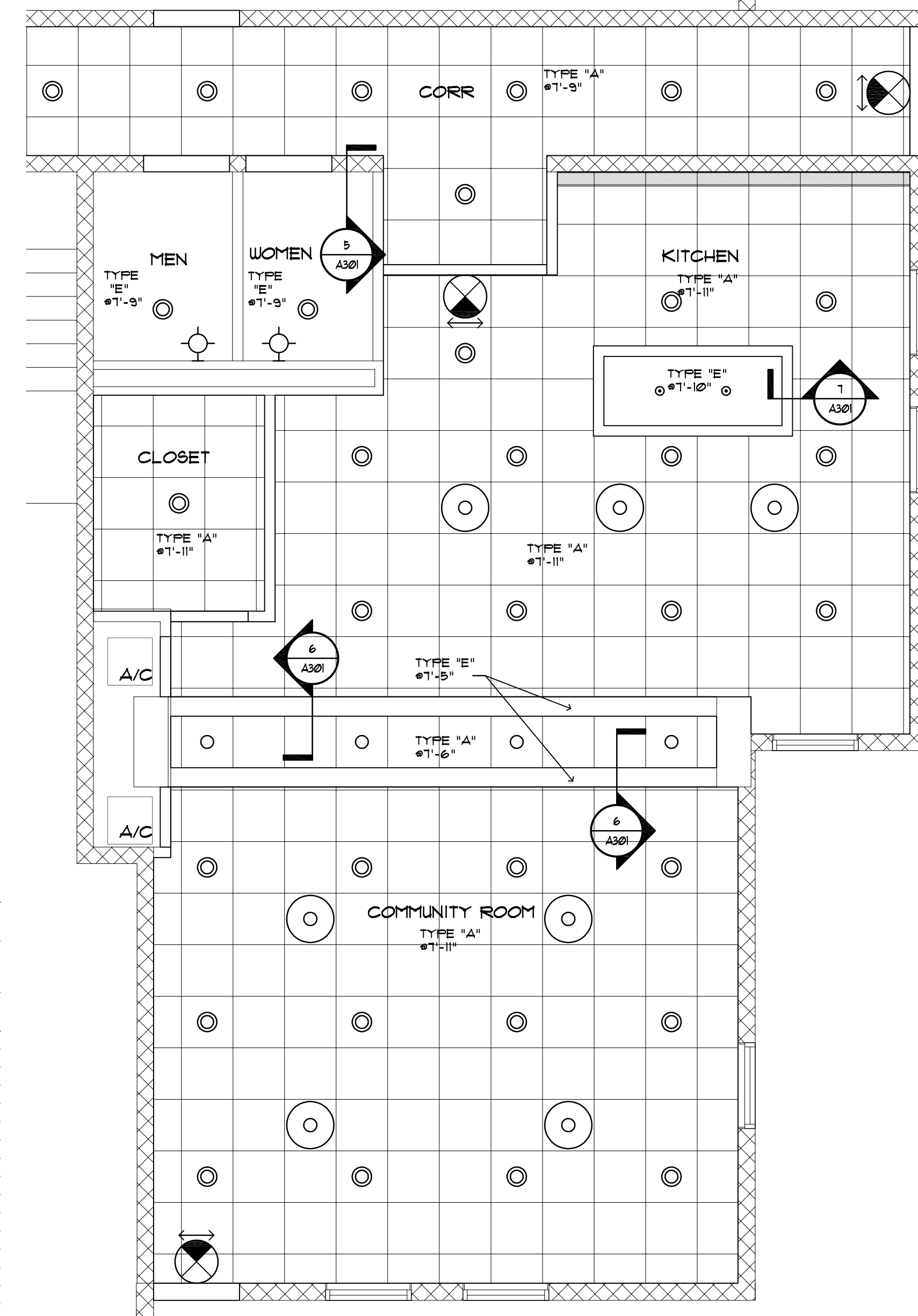


GENERAL NOTES

1. ON FIRST FLOOR LEVEL REPLACE ALL LAY-IN CEILING PANELS, GRIDS, SUSPENSION WIRE ETC. WITH NEW LAY-IN CEILING PANELS, GRIDS, AND SUSPENSION WIRE.
2. ALL CEILING LIGHT FIXTURES ARE TO BE REPLACED WITH NEW
3. REPLACE ALL EXIT SIGNAGE, LIFE SAFETY DEVICES WITH NEW - SEE ELECTRICAL PLANS.













2 LOBBY / OFFICE AREA PARTIAL REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

























3 COMMUNITY ROOM PARTIAL
REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

REFLECTED CEILING TYPES IN PLAN

TYPE 'A' ACOUSTICAL CEILING PANELS - 2' x 2'		TYPE 'F' EXPOSED STRUCTURE/ RATED MEMBRANE - PAINTED	
TYPE 'B' ACOUSTICAL CEILING PANELS 2' x 4' SCORED FOR 2' x 2' PATTERN		TYPE 'G' FIBER CEMENT - PAINTED	
TYPE 'C' ACOUSTICAL CEILING PANELS - 2' x 4'		TYPE 'H' FIBER CEMENT - STAINED	
TYPE 'D' ACOUSTICAL CEILING PANEL - 2' x 4' WASHABLE		TYPE 'J' STUCCO - PAINTED	
TYPE 'E' GYPSUM BOARD CEILING - PAINTED		TYPE 'K' FAUX WOOD VENEER	

REFLECTED CEILING PLAN SYMBOLS

	SURFACE MOUNTED LUMINAIRE		AIR RETURN
	RECESSED DOWN LIGHT LUMINAIRE		AIR SUPPLY
OR 	PENDANT LUMINAIRE		LINEAR SIDE WALL SPRINKLER
OR 	WALL MOUNTED LUMINAIRE		SMOKE DETECTOR
	WALL MOUNTED ACCENT LUMINAIRE		WALL MOUNTED EXIT SIGN
	2'x4' RECESSED LUMINAIRE		CEILING MOUNTED EXIT SIGN
	2'x4' RECESSED LUMINAIRE - BASKET		HEAT LAMP
	2'x2' RECESSED LUMINAIRE		CEILING FAN
	4' FLUORESCENT STRIP LUMINAIRE		
	4' WALL MOUNTED FLUORESCENT STRIP LUMINAIRE		SIDEWALL SPRINKLER HEAD
	4' WALL MOUNTED FLUORESCENT STRIP LUMINAIRE		CEILING SPRINKLER HEAD
	18"x 18" ACCESS PANEL U.O.N.		



BESSOLO
DESIGN GROUP, INC.

ARCHITECTURE ■ DEVELOPMENT
License #AA-C002117
7901 4TH ST. NORTH, SUITE 200
ST. PETERSBURG, FL 33702
727 894-4453 www.bessolo.com

PROFESSIONAL SEAL

KEVIN J. BESSOLO
4812069

© COPYRIGHT BESSOLO DESIGN GROUP, INC.
THIS DRAWING AND ALL INFORMATION CONTAINED, INCLUDING ALL
RELATED DIGITAL DRAWINGS OR FILES HEREIN ARE THE EXCLUSIVE
PROPERTY OF BESSOLO DESIGN GROUP, INC. SHALL NOT BE COPIED OR
USED IN ANY WAY WITHOUT THE EXPRESS WRITTEN CONSENT OF
BESSOLO DESIGN GROUP, INC. AND MUST BE RETURNED UPON REQUEST.
ALL DRAWINGS ARE PRELIMINARY AND NOT FOR CONSTRUCTION
PURPOSES UNLESS SIGNED AND SEALED BY KEVIN J. BESSOLO

**RALPH RICHARDS
TOWER RENOVATION**
211 SOUTH PROSPECT AVENUE
CLEARWATER, FL 33756

ISSUED

DATE:	ISSUED FOR:
05-15-20	CONSTRUCTION DOCUMENTS

REVISIONS

[illegible]

PROJECT NO:	1308000
DRAWN BY:	BRG/MAC
PROJECT MANAGER:	RW
CHECKED BY:	KJB
DATE:	05-15-20
SCALE:	AS NOTED

AR|0|

FIRST FLOOR
REFLECTED CEILING PLANS

KEVIN J. BESSOLO
AD12060

©COPYRIGHT BESSOLO DESIGN GROUP, INC.
THIS DRAWING AND ALL INFORMATION CONTAINED, INCLUDING ALL
RELATED DIGITAL DRAWINGS OR FILES HEREIN ARE THE EXCLUSIVE
PROPERTY OF BESSOLO DESIGN GROUP, INC. SHALL NOT BE COPIED OR
USED IN ANY WAY WITHOUT THE EXPRESS WRITTEN CONSENT OF
BESSOLO DESIGN GROUP, INC. AND MUST BE RETURNED UPON REQUEST.
ALL DRAWINGS ARE PRELIMINARY AND NOT FOR CONSTRUCTION
PURPOSES UNLESS SIGNED AND SEALED BY KEVIN J. BESSOLO.

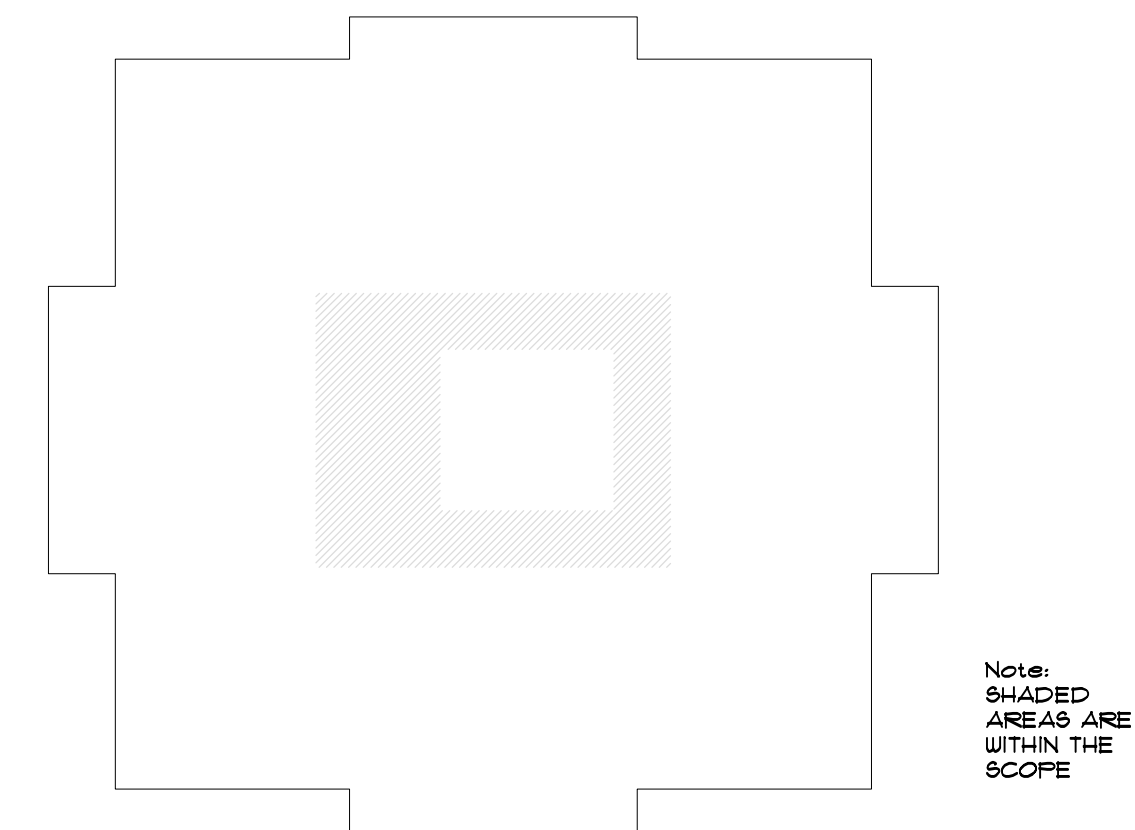
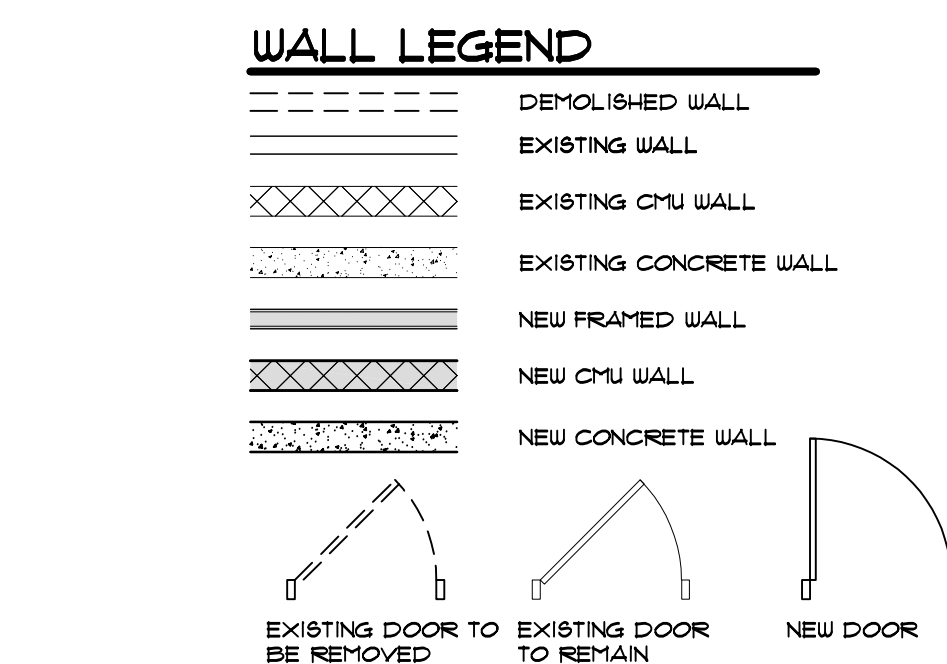
**RALPH RICHARDS
TOWER RENOVATION**

DATE:	ISSUED FOR:
05-15-20	CONSTRUCTION DOCUMENTS

[illegible]

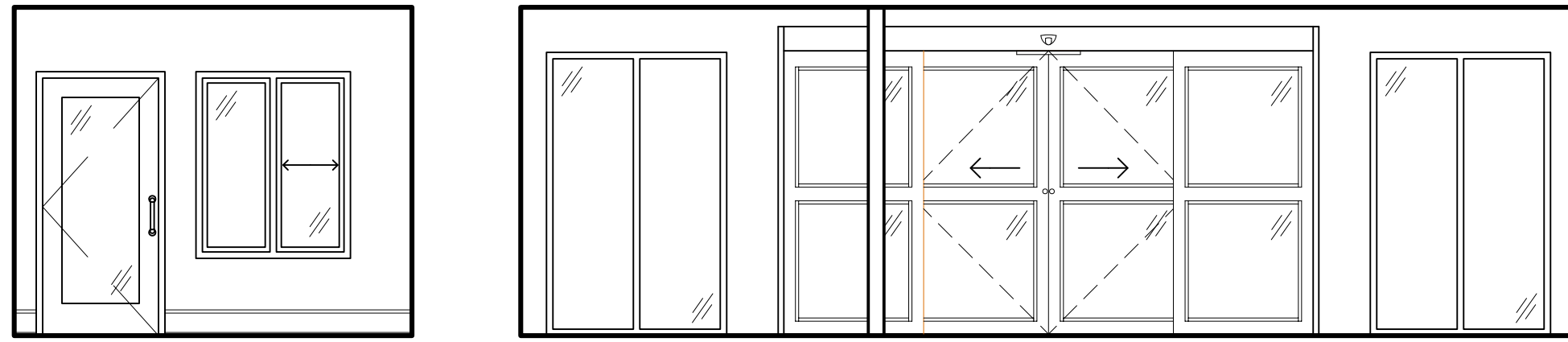
PROJECT NO: 19080.00
DRAWN BY: BRG/MAC
PROJECT MANAGER: RWJ
CHECKED BY: KJB
DATE: 05-15-20
SCALE: 1/8" = 1'-0"

A102
.....
TYPICAL
SECOND THRU SEVENTH
FLOOR PLAN

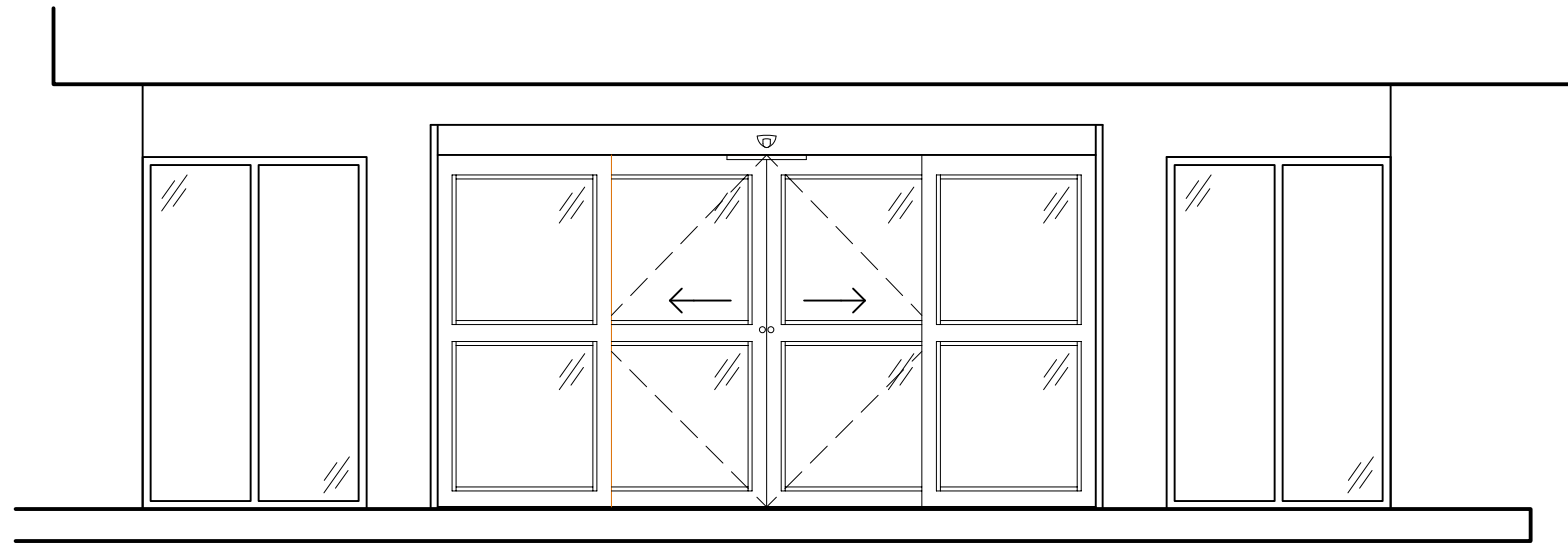


LIMITS OF CONSTRUCTION KEY PLAN

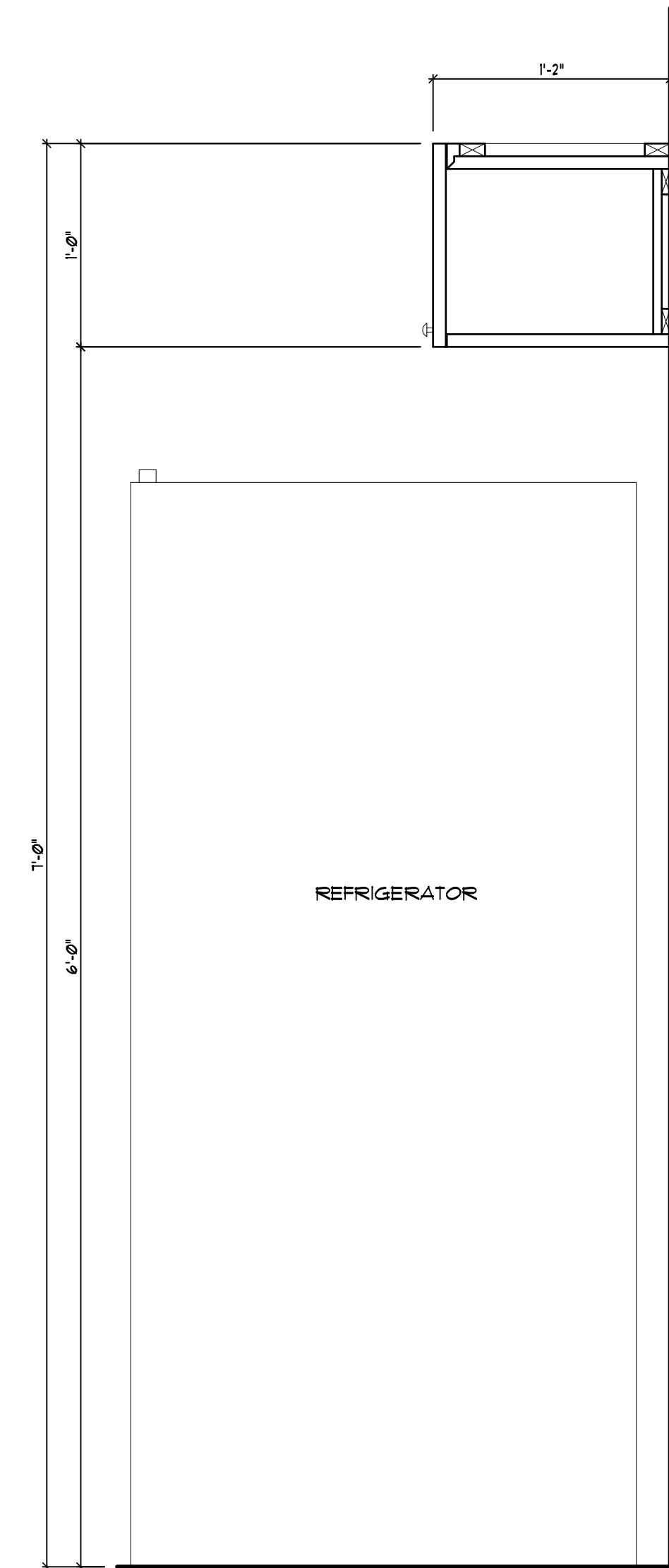
WALL SECTION, DETAILS AND WALL TYPES



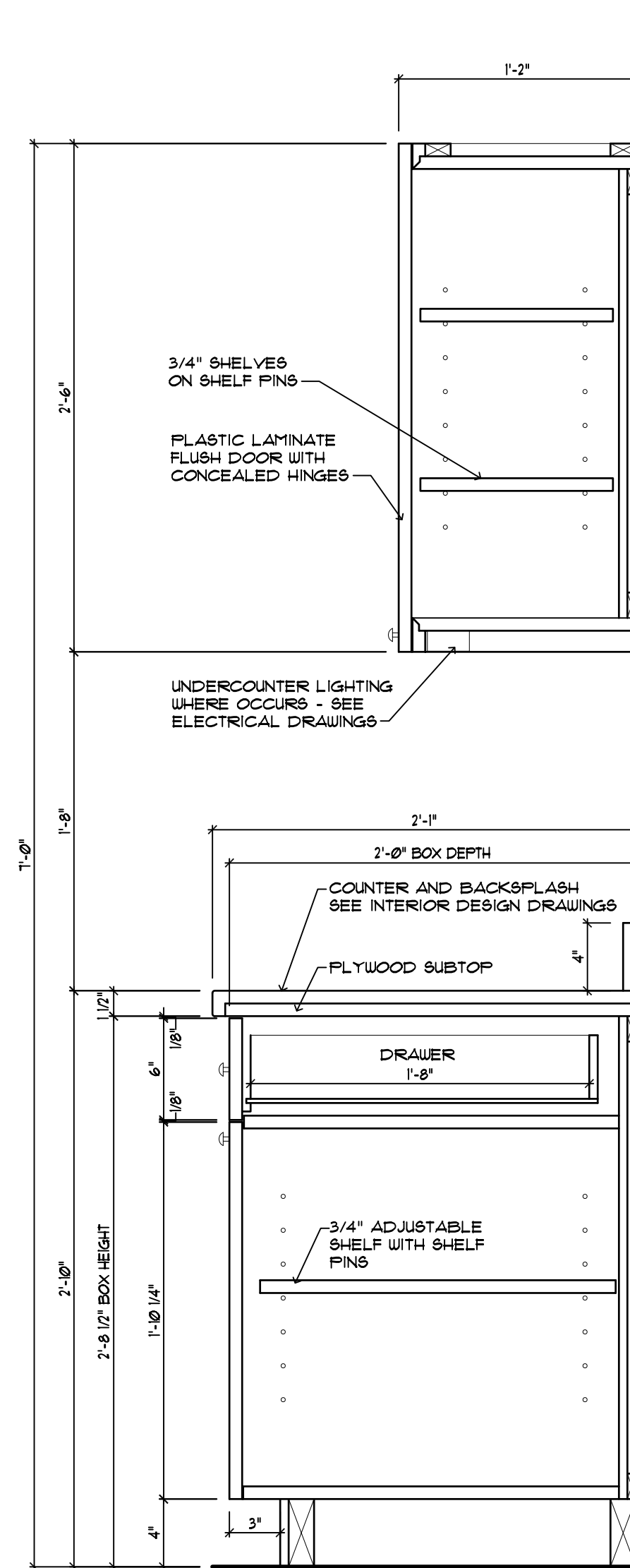
1 LOBBY/ RECEPTION
SCALE: 1/4" = 1'-0"



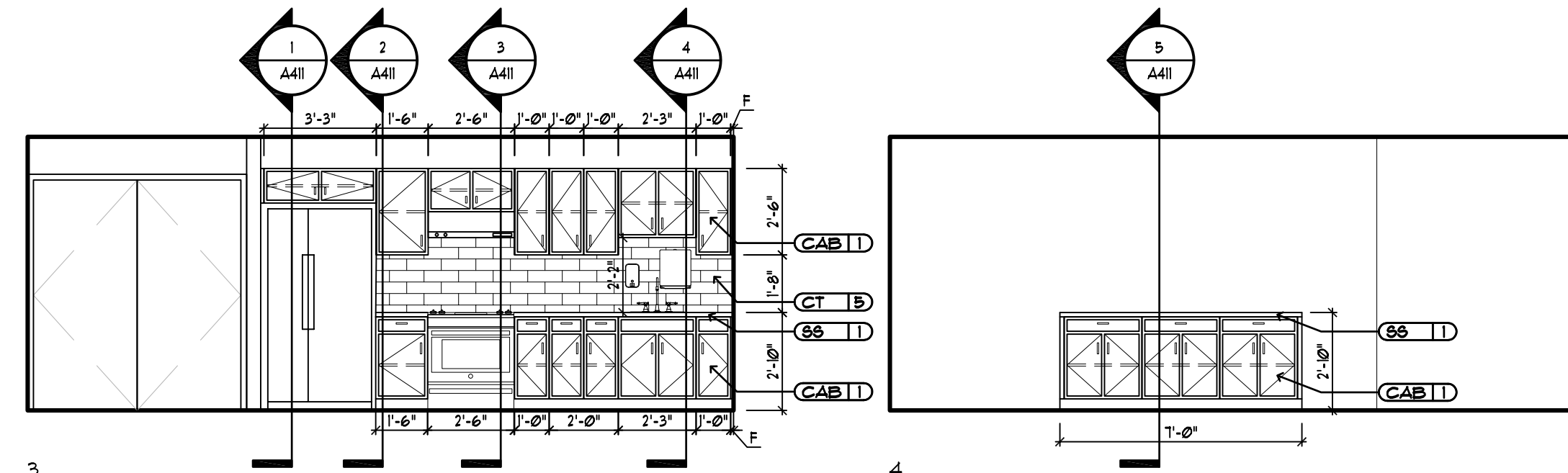
6 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



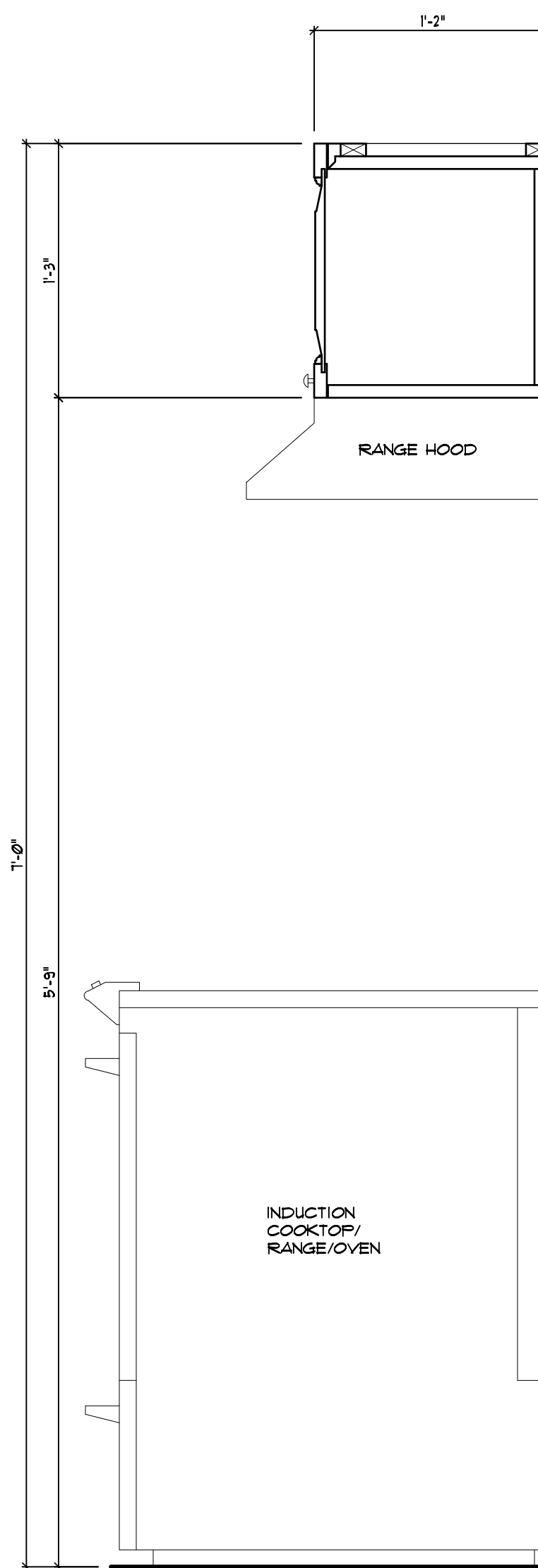
1 SECTION THRU CABINET
SCALE: 1 1/2" = 1'-0"



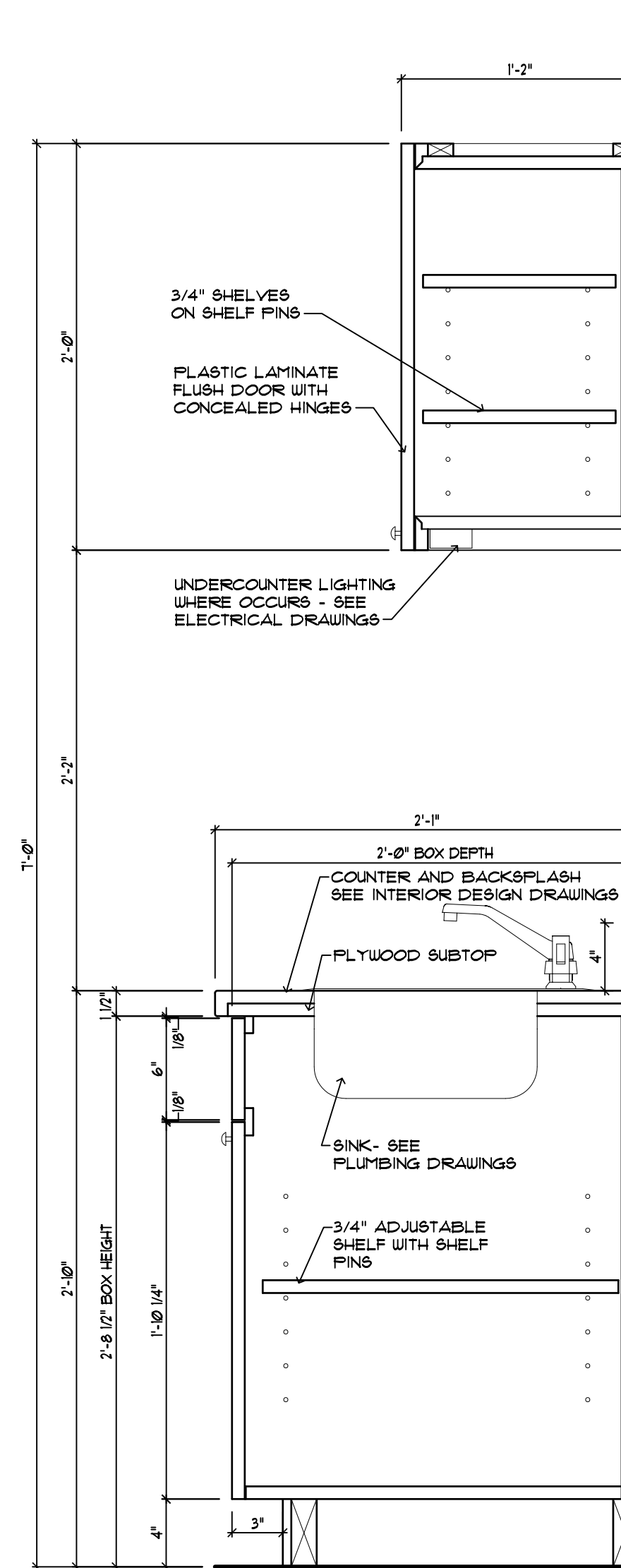
2 SECTION THRU CABINET
SCALE: 1 1/2" = 1'-0"



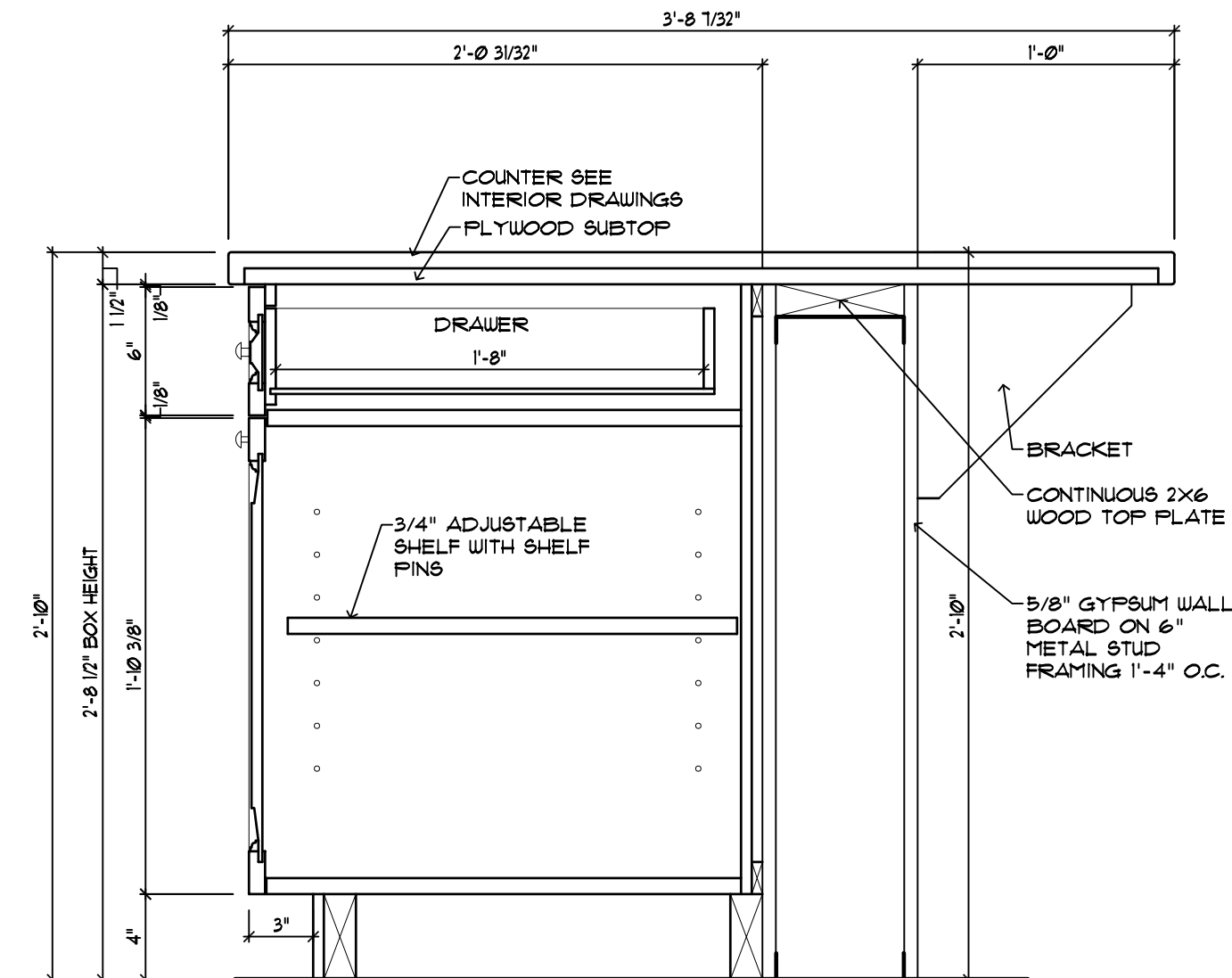
3 KITCHEN
SCALE: 1/4" = 1'-0"



3 SECTION THRU CABINET
SCALE: 1 1/2" = 1'-0"



4 SECTION THRU CABINET
SCALE: 1 1/2" = 1'-0"



5 SECTION THRU CABINET
SCALE: 1 1/2" = 1'-0"

PROFESSIONAL SEAL

KEVIN J. BESSOLO
AR12069

COPYRIGHT BESSOLO DESIGN GROUP, INC.
THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN, INCLUDING ALL
RELATED DIGITAL DRAWINGS OR FILES, ARE THE EXCLUSIVE
PROPERTY OF BESSOLO DESIGN GROUP, INC. AND SHALL NOT BE COPIED OR
USED IN ANY WAY WITHOUT THE EXPRESS WRITTEN CONSENT OF
BESSOLO DESIGN GROUP, INC. AND MUST BE RETURNED UPON REQUEST.
ALL DRAWINGS ARE PRELIMINARY AND NOT FOR CONSTRUCTION
PURPOSES UNLESS SHOWN AND SEALED BY KEVIN J. BESSOLO.

**RALPH RICHARDS
TOWER RENOVATION**
211 SOUTH PROSPECT AVENUE
CLEARWATER, FL 33756

ISSUED

DATE: 1/15/2010
08-15-20 CONSTRUCTION DOCUMENTS

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT NO.: 19080200
DRAWN BY: BRG, MAC
PROJECT MANAGER: RW
CHECKED BY: KJB
DATE: 08-15-20
SCALE: AS NOTED

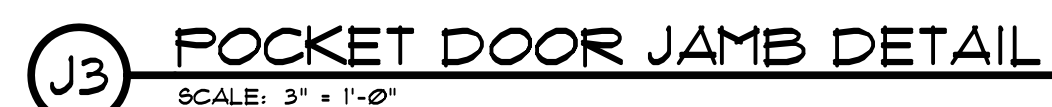
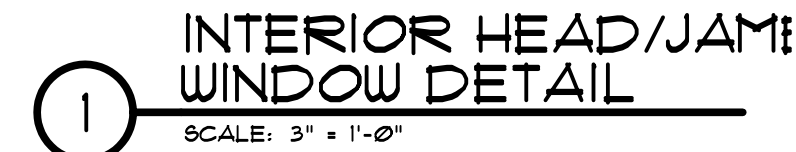
A411

INTERIOR AND EXTERIOR
ELEVATIONS
AND DETAILS



DOOR TYPES

SCALE: NOT TO SCALE



DOORS

WINDOW / LOUVER SCHEDULE

GENERAL DOOR SCHEDULE NOTES

1. ASTRAGAL, ALL WOOD FIRE RATED PAIRS AND DOUBLE EGRESSES FIRE DOORS SHALL HAVE APPROVED METAL ASTRAGALS.
2. HARDWARE: METAL DOOR LABELS CERTIFYING U.L. FIRE RATING SHALL BE INSTALLED ON THE HIGHER SIDE OF THE DOOR ON ALL RATED OR CERTIFIED DOORS OR ASSEMBLIES.
3. HEIGHT: ALL INTERIOR DOORS ARE 6'-8" HIGH UNLESS OTHERWISE NOTED.
4. RAIN DRIP: PROVIDE ANODIZED, EXTRUDED ALUMINUM RAIN DRIP AT ALL EXTERIOR DOORS NOT PROTECTED BY CANOPY OR OVERHANGS.
5. DOOR STOPS: PROVIDE WOOD BLOCKING FOR EACH WALL MOUNTED DOOR STOP WHERE A METAL STUD PARTITION HAS BEEN SPECIFIED. REFER TO DETAIL. ALSO PROVIDE DOOR STOPS IN ELECTRICAL ROOMS WHERE DOOR OPENS AGAINST PANELS AND IN ROOMS WHERE DOOR OPENS AGAINST CABINETS.
6. FINISHES FOR ALL EXTERIOR FRAMES AND DOORS TO BE SELECTED.
7. SEE DRAWING A601 FOR DOOR DETAILS.
8. ALL DOOR HARDWARE TO HAVE BRUSHED NICKEL FINISH



KEVIN J. BESSOLO
AR12069

COPYRIGHT BESSOLO DESIGN GROUP, INC.
THIS DRAWING AND ALL INFORMATION CONTAINED, INCLUDING ALL
RELATED DIGITAL DRAWINGS OR FILES HEREIN ARE THE EXCLUSIVE
PROPERTY OF BESSOLO DESIGN GROUP, INC. SHALL NOT BE COPIED OR
USED IN ANY WAY WITHOUT THE EXPRESS WRITTEN CONSENT OF
BESSOLO DESIGN GROUP, INC. AND MUST BE RETURNED UPON REQUEST.
ALL DRAWINGS ARE PRELIMINARY AND NOT FOR CONSTRUCTION
PURPOSES UNLESS SIGNED AND SEALED BY KEVIN J. BESSOLO.

**RALPH RICHARDS
TOWER RENOVATION**

ISSUED

DATE:	ISSUED FOR:
05-15-20	CONSTRUCTION DOCUMENTS

REVISIONS

PROJECT NO: 1908000
DRAWN BY: BDG
PROJECT MANAGER: RWJ
CHECKED BY: KJB
DATE: 05-15-20
SCALE: AS NOTED

4601

DOOR SCHEDULE AND DETAILS