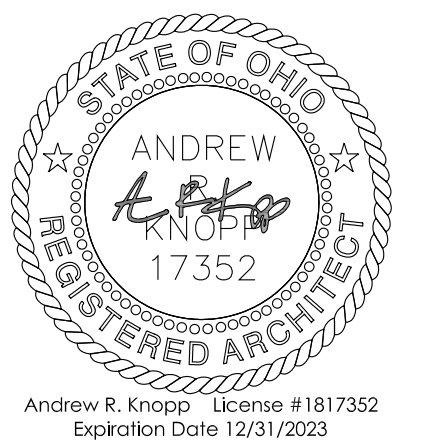


UNIT REPAIRS AND RENOVATIONS LMHA BIRMINGHAM TERRACE HOMES

26 BIRMINGHAM TERRACE, TOLEDO, OH 43605

CONSULTANTS:

SEAL:

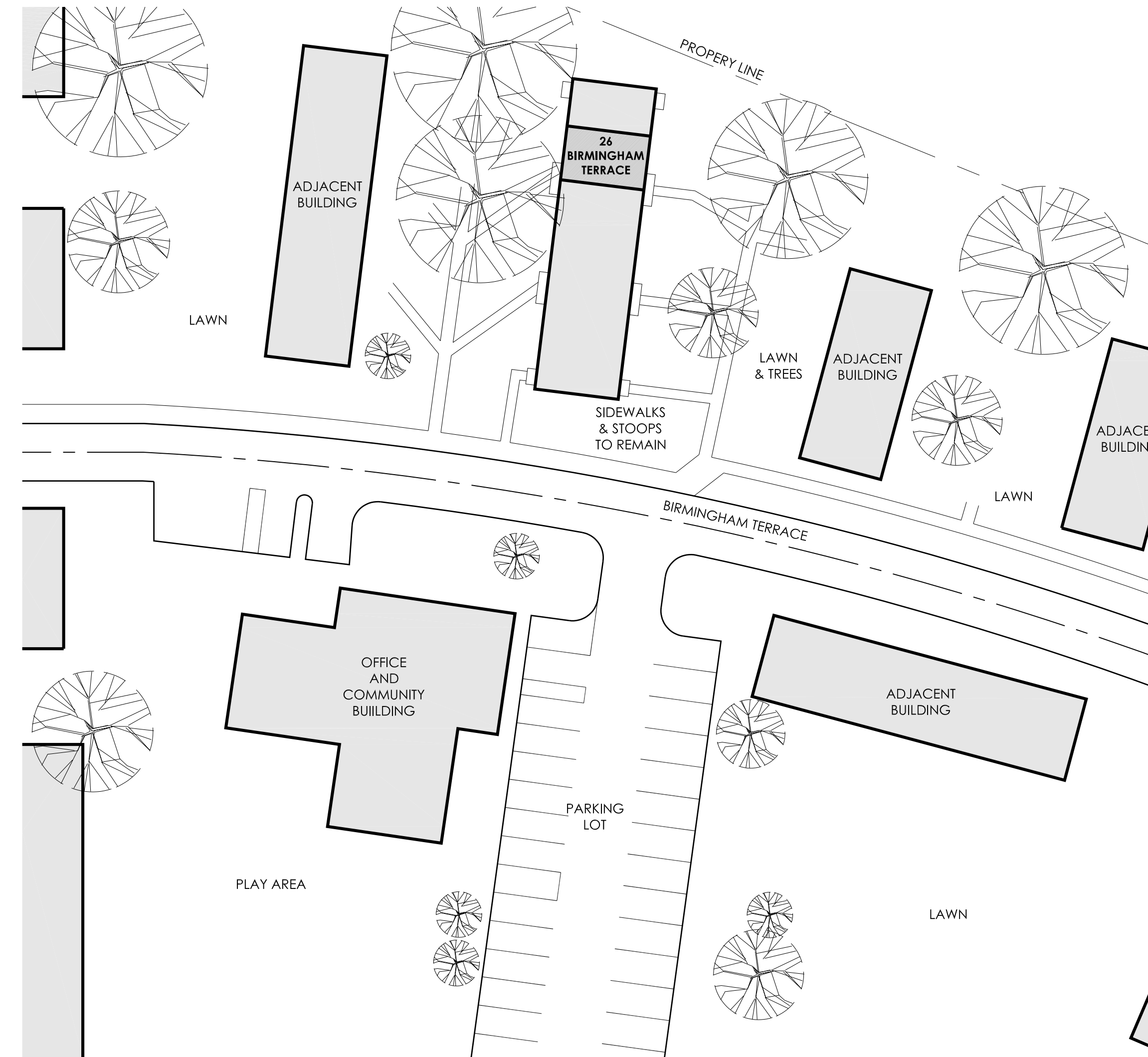


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INDEX OF DRAWINGS

ISSUED: 02-09-2023

Symbol	Category	Description
□ □ □ ■	T1.0	TITLE SHEET
□ □ □ ■	D2.0	DEMO PLAN AND NOTES
□ □ □ ■	D2.1	EXISTING PHOTOS
□ □ □ ■	A2.0	FLOOR PLANS AND NOTES
□ □ □ ■	A3.0	REFLECTED CEILING PLAN
□ □ □ ■	A8.0	INTERIOR ELEVATIONS & FINISH SCHEDULE
□ □ □ ■	A9.0	DOOR SCHEDULE AND DETAILS
□ □ □ ■	P1.0	PLUMBING SCHEDULES AND DETAILS
□ □ □ ■	P2.0	PLUMBING FLOOR PLANS
□ □ □ ■	M1.0	HVAC SCHEDULES AND DETAILS
□ □ □ ■	M2.0	HVAC FLOOR PLANS
□ □ □ ■	E1.0	ELECTRICAL SCHEDULES AND SPECIFICATIONS
□ □ □ ■	E2.0	ELECTRICAL FLOOR PLANS



SITE PLAN

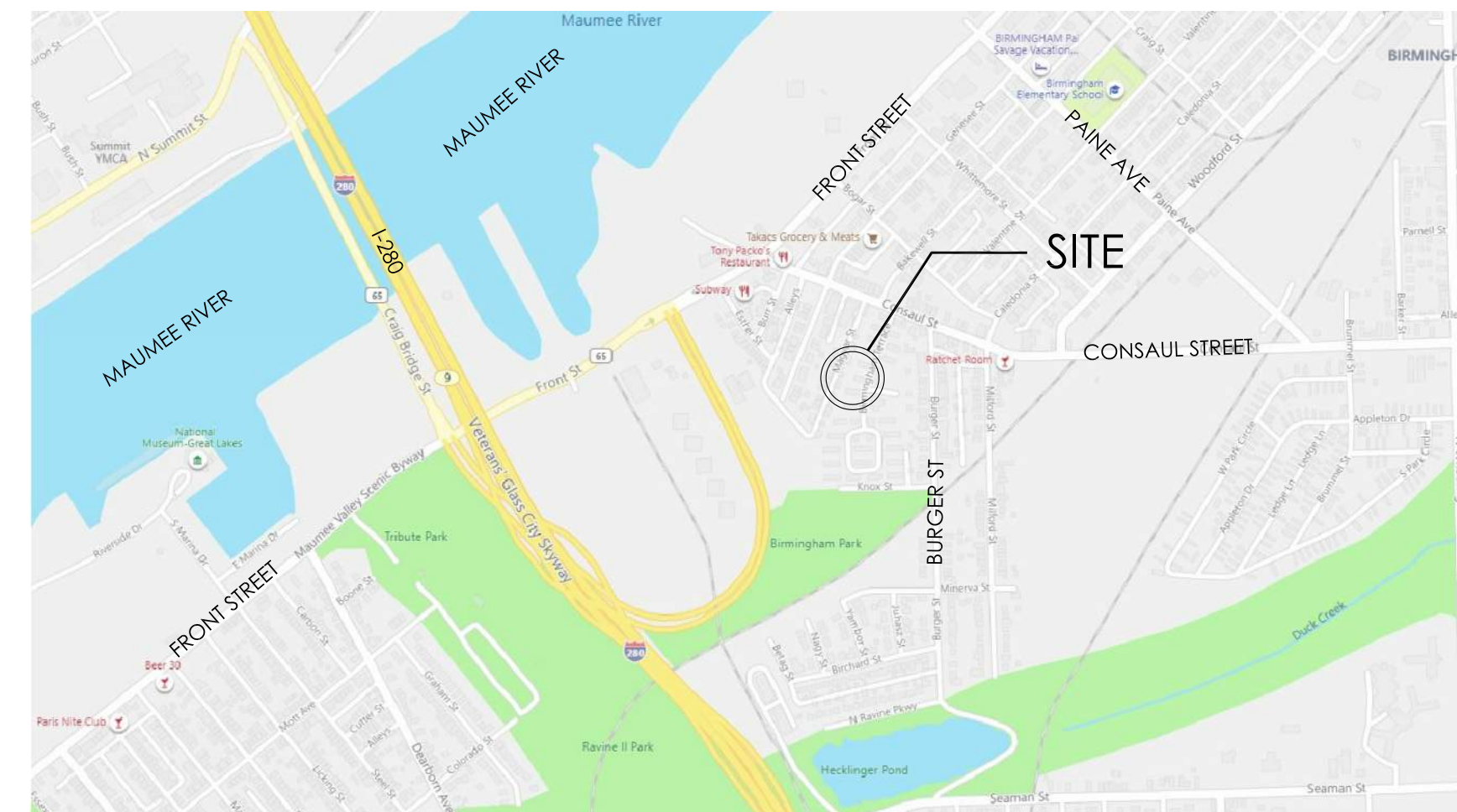
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DRAWING SYMBOLS

DRAWING SYMBOL:	DESCRIPTION:	DRAWING SYMBOL:	DESCRIPTION:
(ACT) 1' 8'-6"	INDICATES FINISHED CEILING HEIGHT ABOVE FLOOR.	(X)	STANDARD DETAIL SYMBOL:
(P-1)	INDICATES DESIRED FINISH MATERIAL	(XXX)	INDICATES DETAIL NUMBER
(1)	INDICATES EQUIPMENT NUMBER	(XXX)	INDICATES SHEET NUMBER
(XX)	STANDARD WALL TYPE SYMBOL	(XX AX.X XXX)	STANDARD INTERIOR ELEVATION SYMBOL:
(X)	INDICATES ELEVATION CHANGE OR BEARING HEIGHT	(XX)	INDICATES ELEVATION NUMBER
(1)	INDICATES REVISION NUMBER	(XX)	INDICATES SHEET NUMBER
(CLOUD)	REVISION CLOUD	(X)	STANDARD SECTION SYMBOL:
(---)	INDICATES CENTER LINE OF ITEM OR AREA	(XXX)	INDICATES SECTION NUMBER
(N)	STANDARD NORTH ARROW (TRUE NORTH)	(107)	INDICATES SHEET NUMBER
(N)	STANDARD NORTH ARROW (PROJECT NORTH)	(A)	WINDOW IDENTIFICATION LETTER
(X)	PLAN KEY NOTE	(X)	DEMOLITION KEY NOTE

CODE REVIEW

BUILDING OFFICIAL JURISDICTION:	2019 OHIO RESIDENTIAL CODE	
PROJECT DESCRIPTION:	PROJECT SCOPE OF WORK INVOLVES: RENOVATIONS/REPAIR DUE TO FIRE AND SMOKE DAMAGE OF ONE EXISTING UNIT IN A MULTI-FAMILY TWO STORY APARTMENT BUILDING. SCOPE OF WORK INVOLVES A COMPLETE INTERIOR GUT WITH REPLACEMENT OF FINISHES, FIXTURES AND SYSTEMS THROUGHOUT ONE (1) OF THE SIX (6) UNITS IN THE BUILDING.	
PROJECT ADDRESS:	26 BIRMINGHAM TERRACE TOLEDO, OHIO 43605	(SPECIFIC UNIT ADDRESS) (OVERALL PROPERTY ADDRESS)
OBC-CHAPTER 3, USE AND OCCUPANCY: SECTION 310.5:	RESIDENTIAL GROUP R-3 EXISTING STRUCTURE: INDEPENDENT EXITS	
GENERAL BUILDING INFORMATION	CONSTRUCTION TYPE 5B	
FOUNDATION	CMU FOUNDATION WALLS ON CONCRETE FOOTINGS	
FIRST FLOOR	CONCRETE SLAB ON GRADE	
SECOND FLOOR	STRUCTURAL CONCRETE SLAB	
INTERIOR BEARING WALLS	BRICK VENEER OR VINYL SIDING ON CMU WALLS	
INTERIOR PARTITIONS	GWB/PLASTER ON WOOD/METAL STUD	
ROOF STRUCTURE	STRUCTURAL CONCRETE SLAB (WOOD TRUSSES ADDED ON TOP OF CONCRETE SLAB IN 1986 FOR SLOPE & APPEARANCE)	
AREA (26 BIRMINGHAM TERRACE)	785 SQUARE FEET - AREA OF WORK	
BEDROOMS	TWO	



LOCATION MAP

NO SCALE



EXISTING AERIAL

NO SCALE

ABBREVIATIONS

ACT	ACOUSTICAL CEILING TILE	FUR	FURRING	PR	PAIR
ANG	ANGLE	GA	GAGE	PNT	PAINT
AFF	ABOVE FINISH FLOOR	CL	GLASS	QT	QUARRY TILE
BLDG	BUILDING	CL	GYP	RA	RETURN AIR
BLKG	BLOCKING	GW	GYP	RAD	RADIUS
BOTT	BOTTOM	HM	HOLLOW METAL	RB	RESILIENT BASE
CBF	CATCH BASIN (NUMBER)	HOR	HORIZONTAL	RD	ROOF DRAIN
CJ	CONTROL JOINT	HT	HEIGHT	REF	REFERENCE
CL	CLOSED	INSUL	INSULATION	REIN	REINFORCING (MENT)
CLG	CEILING	INT	INTERIOR	REQ	REQUIRED
CLG.HT.	CEILING HEIGHT	INV	INVERT	REV	REVISION
CMU	CONCRETE MASONRY UNIT	JAN	JANITOR	RM	ROOM
COL	COLUMN	JOINT	JOINT	SCH	SCHEDULE
CONC	CONCRETE	JT	JOINT	SCONC	SEALED CONCRETE
CONT	CONTINUOUS	LAV	LAVATORY	SIM	SIMILAR
CORR	CORRIDOR	LOC	LOCATE AS DIRECTED	SN	SIGNAGE
CORR	CORRIDOR	MAT	MATERIAL	SPCS	SPECIFICATIONS
CT	CERAMIC TILE	MAX	MAXIMUM	SQ	SQUARE
DET	DETAIL	MBR	MEMBRANE	SS	STAINLESS STEEL
DIA	DIAMETER	MECH	MECHANICAL	STD	STANDARD
DIM	DIMENSION	MFG	MANUFACTURER	STL	STEEL
DN	DOWN	MH	MANHOLE	TLT	TOILET
DS	DOWNSPOUT	MIN	MINIMUM	T/C	TOP OF CURB
EA	EACH	MO	MISCELLANEOUS	TEL	TELEPHONE
EJ	EXPANSION JOINT	MR	MASONRY OPENING	TOM	TOP OF MASONRY
EL	ELEVATION	MRS	MOISTURE RESISTANT	TOS	TOP OF STEEL
ELEC	ELECTRIC	MTG	MOUNTING	TOW	TOP OF WALL
EQ	EQUAL	MTL	METAL	TV	TELEVISION
E/W	EACH WAY	NIC	NOT IN CONTRACT	TYP	TYPICAL
EXP	EXPOSED	NIS	NOT TO SCALE	UNO	UNLESS NOTED OTHERWISE
EXT	EXTERIOR	O/C	ON CENTER	UR	URNAL
FWC	FLOOR WATER COOLER	OD	OUTSIDE DIAMETER	VCT	VINYL COMPOSITION TILE
FD	FLOOR DRAIN	OPG	OPENING	VERT	VERTICAL
FE	FIRE EXTINGUISHER (WALL MOUNT)	OPP	OPPOSITE	VR	VANDAL RESISTANT
FEC	FIRE EXTINGUISHER & CABINET	PART	PARTITION	WD	WOOD
FIN	FINISH	PLAM	PLASTIC LAMINATE	WP	WATERPROOFING
FL	FLOOR	PLAS	PLASTER	WT	WEIGHT
FT	FOOT/FEET	PLBG	PLUMBING	WWF	WELDED WIRE FABRIC
FTG	FOOTING	PNL	PANEL	W/O	WITHOUT
				WOM	WALK OFF MAT

BIRMINGHAM TERRACE
UNIT REPAIRS AND RENOVATIONS

26 BIRMINGHAM TERRACE
TOLEDO, OHIO 43605

PROJECT TITLE:

ISSUE OR REVISION:

DATE	ISSUE / REVISION
02.09.2023	ISSUE FOR PERMIT

DESIGNED: ACH
DRAWN: EN / BLK
CHECKED: ARK

TPA COMMISSION NUMBER: 22022

DRAWING TITLE:

TITLE SHEET

DRAWING NUMBER:

T1.0

CONSULTANTS:

Professional **Vision** Engineering
DESIGN GROUP, INC.
2440 W. Central Ave., Suite 230
Toledo, OH 43606
Ph: (419) 526-0757 Fax: (419) 526-9447
www.visiongroup.com
MBE / EDBE CERTIFIED

SEAL:



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Expiration Date 12/31/2023

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**BIRMINGHAM TERRACE
UNIT REPAIRS AND RENOVATIONS**
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TPA COMMISSION NUMBER: 22022

DRAWING TITLE:

**DEMO PLANS
& NOTES**

DRAWING NUMBER:

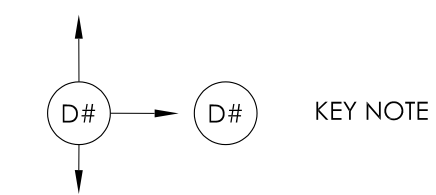
D2.0

GENERAL DEMOLITION NOTES

1. THE STRUCTURAL INTEGRITY OF THE BUILDINGS SHALL BE MAINTAINED DURING THE ENTIRE PROJECT. PROVIDE ANY & ALL SHORING AS REQUIRED.
2. THE SITE SHALL BE KEPT CLEAN AND CLEAR OF MISCELLANEOUS CONSTRUCTION DEBRIS AT THE END OF EACH WORKING DAY.
3. CONTRACTOR SHALL PROVIDE TEMPORARY BARRIERS/ENCLOSURES AT THE LIMITS OF CONSTRUCTION TO ASSURE PUBLIC SAFETY DURING CONSTRUCTION.
4. CONTRACTOR TO COORDINATE WHETHER DEMOLITION MATERIAL IS TO BE DISPOSED OR TO BE TURNED OVER TO OWNER. IF DEMOLITION MATERIAL IS TO BE DISPOSED, ALL DEMOLITION MATERIAL SHALL BE DISPOSED OF LEGALLY, OFF SITE.
5. NEW GWB AND PLASTER SURFACES TO MEET FLUSH WITH EXISTING GWB OR PLASTER SURFACES. AREAS BETWEEN NEW AND EXISTING SHALL BE VISIBLY UNNOTICEABLE. MATCH EXISTING SURFACE TEXTURES. SQUARE UP EXISTING DRYWALL EDGES AS NECESSARY.
6. ONCE MATERIALS HAVE BEEN REMOVED AS NOTED, COVER ALL EXISTING TO REMAIN SURFACES, SMOKE DAMAGED STUDS/FRAMING AND SHEATHING/DECKING, INCLUDING TRUSSES, RAFTERS AND CEILING JOISTS WITH SHELLAC BASED ZINSSER B-H-N 2 WHITE SEALANT TO PERMANENTLY SEAL ANY RESIDUAL SMOKE ODOR.
7. REFER TO SPEC. SECTION 02 82 00 FOR LOCATIONS OF THE ASBESTOS CONTAINING MATERIALS TO BE REMOVED OR ENCAPSULATED IN ACCORDANCE TO THE SPECIFICATIONS AND ALL APPLICABLE EPA AND OSHA WORK PRACTICES.
8. ADJACENT UNITS ARE OCCUPIED. MAINTAIN SYSTEMS AND COMPONENTS OF ADJACENT UNITS IN THEIR ENTIRETY.
9. CONTRACTOR TO REMOVE LOOSE CONTENTS FROM PAST TENANT. ABATEMENT CONTRACTOR TO REMOVE CONTAMINATED LOOSE CONTENTS.

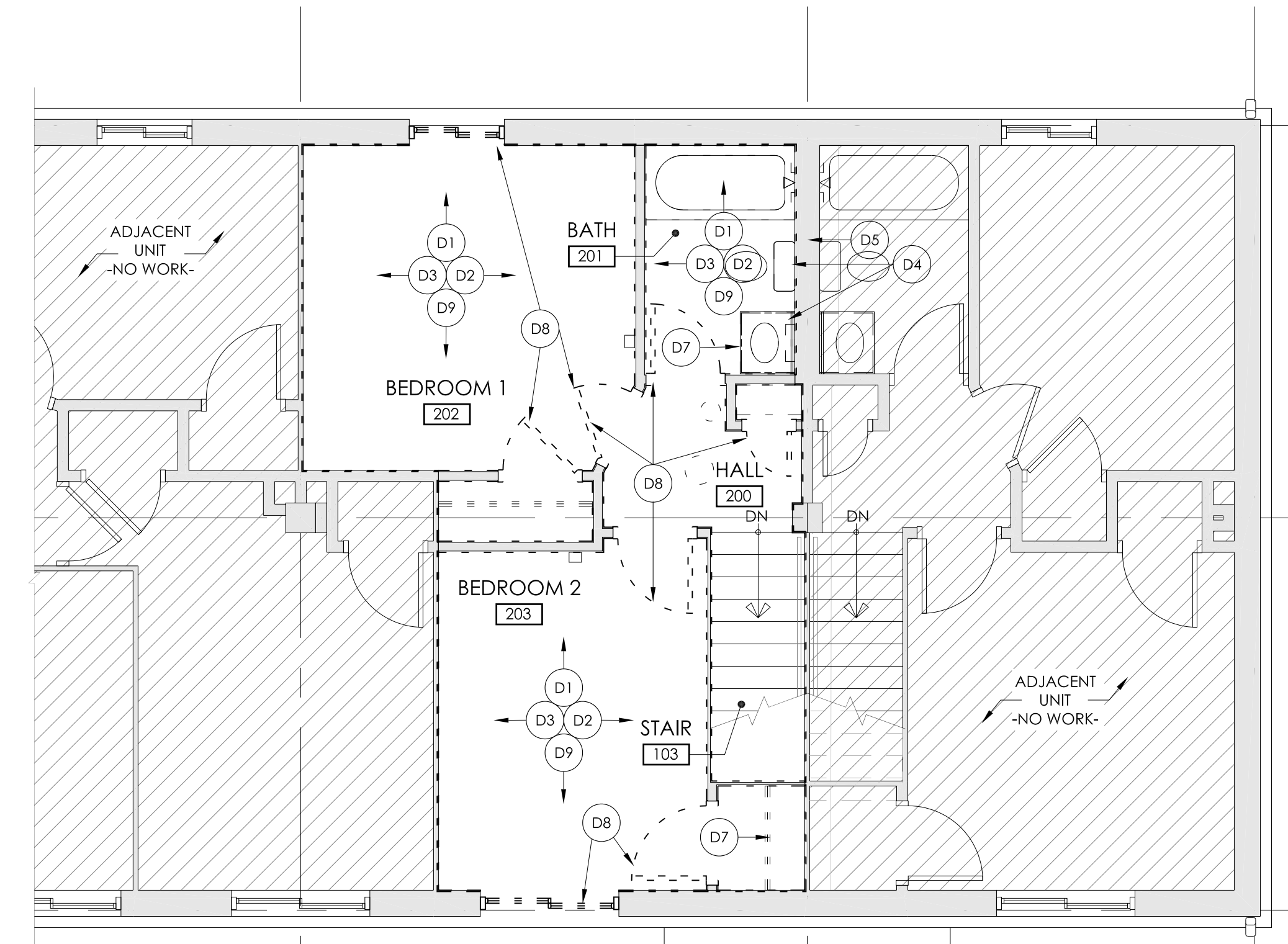
DEMOLITION LEGEND

- - - - - ITEM OR AREA TO BE REMOVED AS SHOWN AND NOTED.
- DASHED OUTLINE ON EXISTING WALL INDICATES REMOVAL OF GWB ON ONE OR BOTH SIDES. FRAMING TO REMAIN U.N.O. REMOVE BATT INSULATION IN EXISTING EXTERIOR WALLS OR DEMISING WALLS.



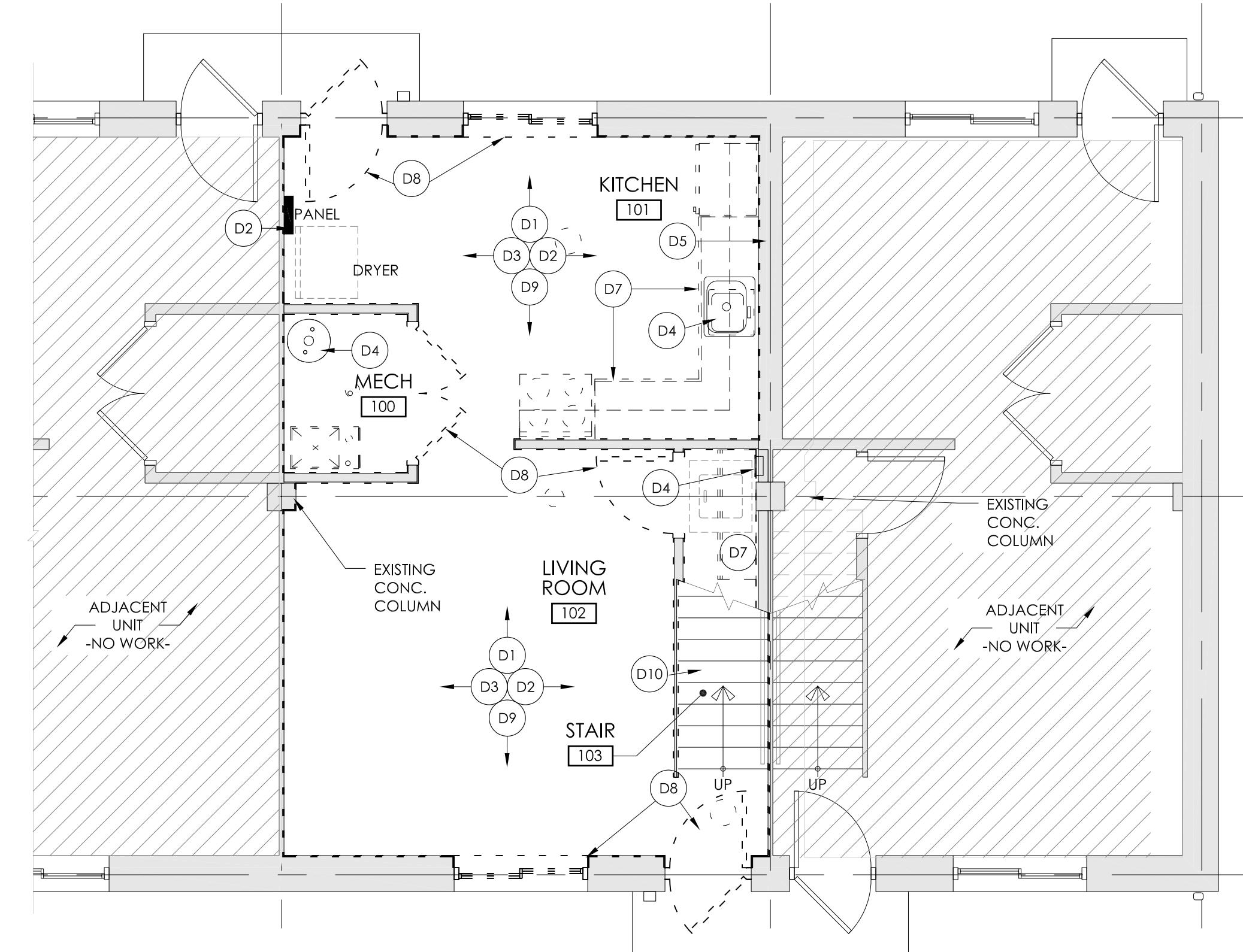
DEMOLITION KEYED NOTES

- TYP. D1** REMOVE EXISTING GWB ON ALL INTERIOR PARTITIONS AND SOFFITS THROUGHOUT THE UNIT IN ITS ENTIRETY. STABILIZE PLASTER SURFACES (EXTERIOR WALLS, SOME INTERIOR PARTITIONS), SEAL WITH SHELLAC, AND INSTALL SKIM COAT. REMOVE ALL FASTENERS AND OTHER SURFACE MOUNTED COMPONENTS U.N.O. AND PREPARE FOR SEALING AND/OR GWB INSTALLATION AS DETAILED AND SPECIFIED.
- TYP. D2** DISCONNECT AND REMOVE EXISTING ELECTRICAL COMPONENTS IN THEIR ENTIRETY INCLUDING RANGE HOOD, SMOKE DETECTORS, DOORBELL, LIGHT FIXTURES, BOXES, WIRING, SWITCHES AND RECEPTACLES. PREPARE FOR INSTALLATION OF NEW ELECTRICAL SYSTEM. SEE ELECTRICAL DRAWINGS FOR COMPLETE SCOPE OF WORK. REPLACE EXISTING PANEL AND EXTERIOR METER.
- TYP. D3** REMOVE EXISTING FURNACE, SUPPLY DIFFUSERS, RETURN GRILLES, THERMOSTAT, DAMAGED DUCTS & OTHER HVAC COMPONENTS IN THEIR ENTIRETY & DISPOSE. EXISTING UNDAMAGED RIGID DUCTS ARE PERMITTED TO REMAIN IF PROFESSIONALLY CLEANED UTILIZING VACUUM COLLECTION & ROTARY BRUSH/AIR WHIPS INSIDE AND OUT. PREPARE FOR INSTALLATION OF NEW SYSTEM AS DETAILED & SPECIFIED. SEE HVAC DRAWINGS FOR COMPLETE SCOPE OF WORK.
- D4** REMOVE EXISTING PLUMBING FIXTURES (WATER CLOSET, LAVATORY, SINK, WATER HEATER, WASHER BOX), P-TRAPS, WATER STOPS AND OTHER FITTINGS IN THEIR ENTIRETY AND DISPOSE. OTHER UNDAMAGED IN-WALL OR IN-FLOOR PIPING TO REMAIN U.N.O. PREPARE FOR INSTALLATION OF NEW PLUMBING AND FIXTURES AS DETAILED AND SPECIFIED.
- D5** REMOVE EXISTING BATT INSULATION IN TENANT/UNIT DEMISING WALLS WITH CAVITIES AND BATHROOM/MECHANICAL ROOM WALLS. PREPARE FOR REPLACEMENT. SEE WALL TYPE LEGEND AND FLOOR PLANS.
- D6** REMOVE ALL BATHROOM ACCESSORIES AND PREPARE FOR REPLACEMENT. ACCESSORIES INCLUDE A FLUSH MEDICINE CABINET AND MIRROR, SHOWER CURTAIN ROD, (2) TOWEL BARS, AND A TOILET PAPER DISPENSER.
- D7** REMOVE EXISTING BASE/WALL CABINETS, APPLIANCES, CLOSET SHELVING AND RODS AND DISPOSE. EXISTING STAIR HANDRAIL TO REMAIN. SEAL AND PAINT EXISTING HANDRAIL. PREPARE FOR INSTALLATION OF NEW ITEMS.
- D8** REMOVE EXISTING INTERIOR/EXTERIOR DOORS, WINDOWS, AND FRAMES IN THEIR ENTIRETY. REMOVE INTERIOR WINDOW STOOLS/SILLS. EXTERIOR 1ST FLOOR BRICK SILLS TO REMAIN. REPLACE EXTERIOR VINYL OR FIBER CEMENT TRIM AS REQUIRED OR NOTED. EXISTING LINTELS/HEADERS TO REMAIN U.N.O. PREPARE OPENINGS FOR INSTALLATION OF NEW DOORS AND WINDOWS.
- TYP. D9** REMOVE ALL EXISTING FLOORING AND ADHESIVE IN ITS ENTIRETY DOWN TO EXISTING CONCRETE SLAB. PREPARE FOR NEW FINISH FLOORING. SEE GENERAL DEMO NOTE 7 REGARDING ABATEMENT.
- D10** REMOVE EXISTING RESILIENT STAIR TREAD AND NOSING IN THEIR ENTIRETY. STABILIZE AND PREPARE TO PAINT STEEL STRINGERS AND RISERS. PREPARE TO INSTALL NEW RESILIENT STAIR TREADS AND RISERS. PROTECT ADJACENT WALL SURFACES, FLOORING AND WALL BASE. SEE GENERAL DEMO NOTE 7 REGARDING ABATEMENT.



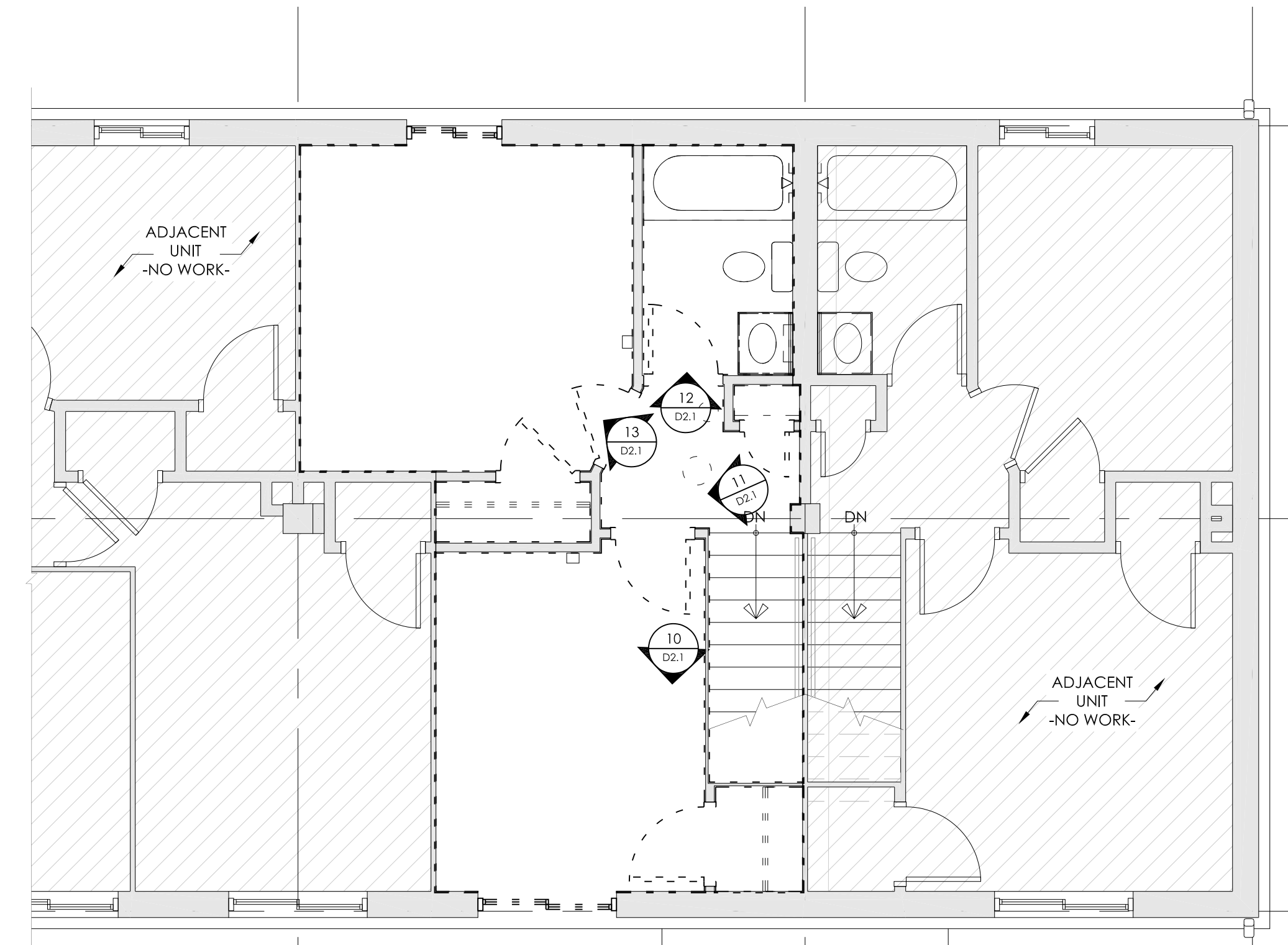
SECOND FLOOR DEMO PLAN

SCALE: 1/4" = 1'-0"



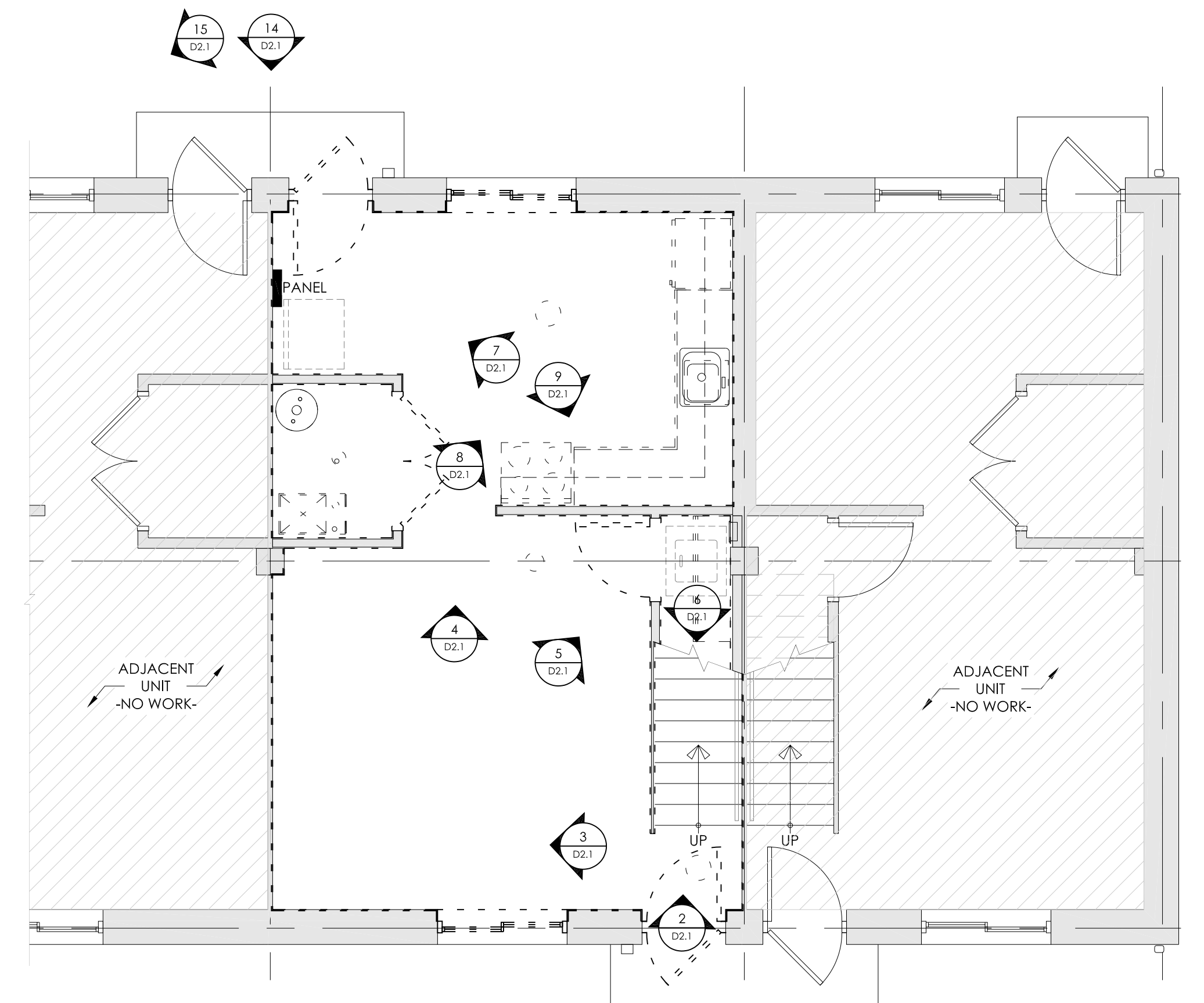
FIRST FLOOR DEMO PLAN

SCALE: 1/4" = 1'-0"



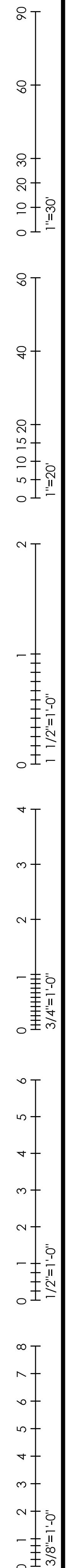
SECOND FLOOR PHOTO KEY PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR PHOTO KEY PLAN

SCALE: 1/4" = 1'-0"



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90
60
30
0 10 20 30
1"=30"

60
40
20
0 5 10 15 20
1"=30"

2
1
0
1 1/2"=1'-0"

4
3
2
1
0
1 1/2"=1'-0"

6
5
4
3
2
1
0
1 1/2"=1'-0"

8
7
6
5
4
3
2
1
0
3/8"=1'-0"



1 EXISTING PHOTO
D2.1 NOT TO SCALE



2 EXISTING PHOTO
D2.1 NOT TO SCALE



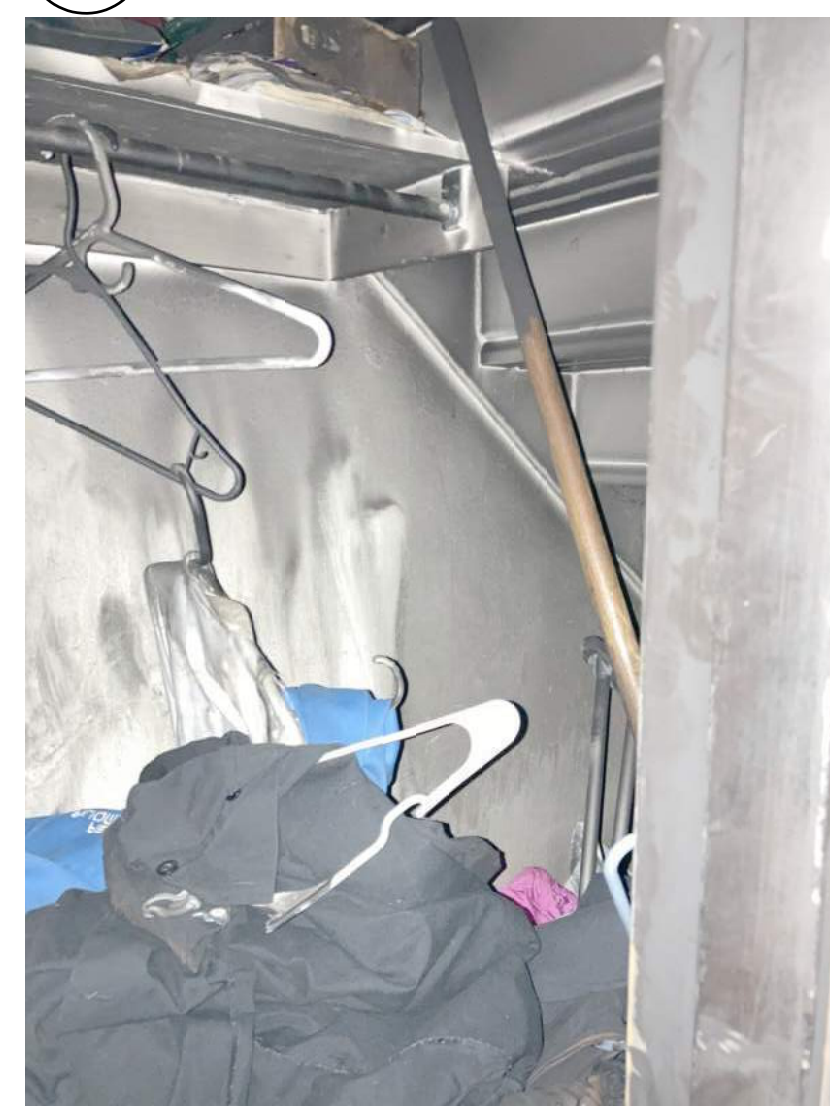
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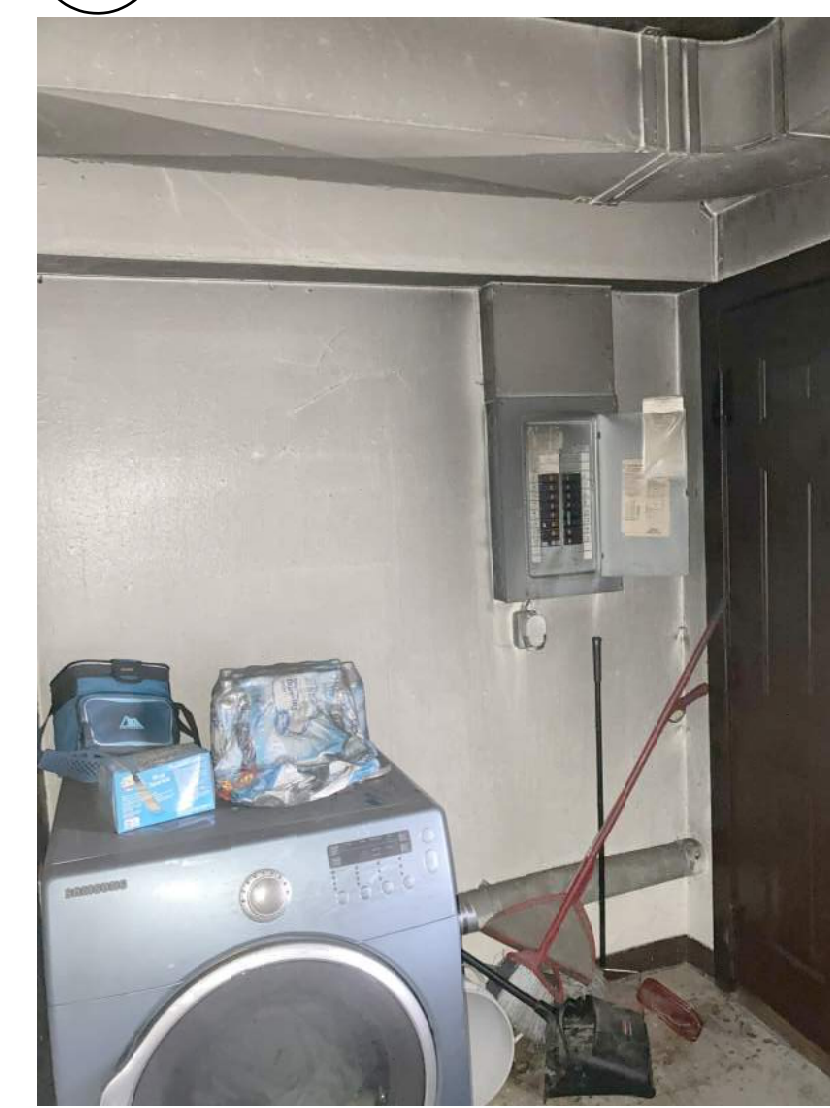
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D2.1 NOT TO SCALE



5 EXISTING PHOTO
D2.1 NOT TO SCALE



6 EXISTING PHOTO
D2.1 NOT TO SCALE



7 EXISTING PHOTO
D2.1 NOT TO SCALE



8 EXISTING PHOTO
D2.1 NOT TO SCALE



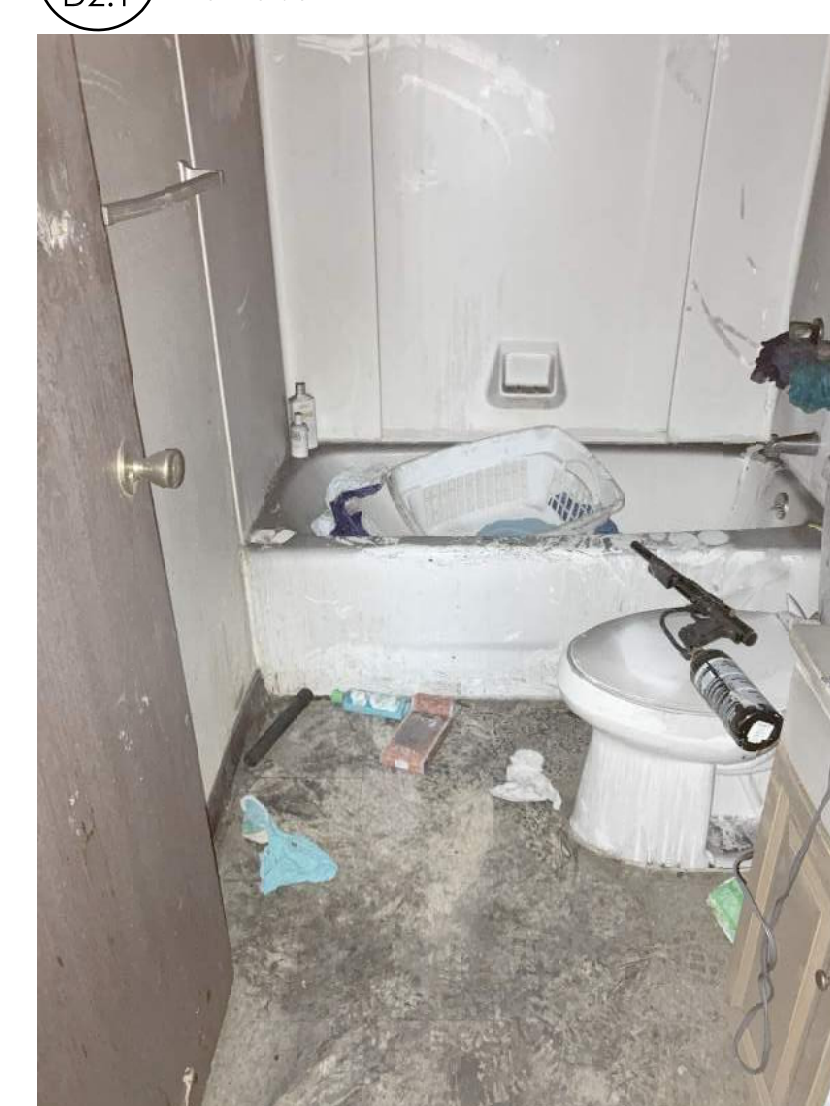
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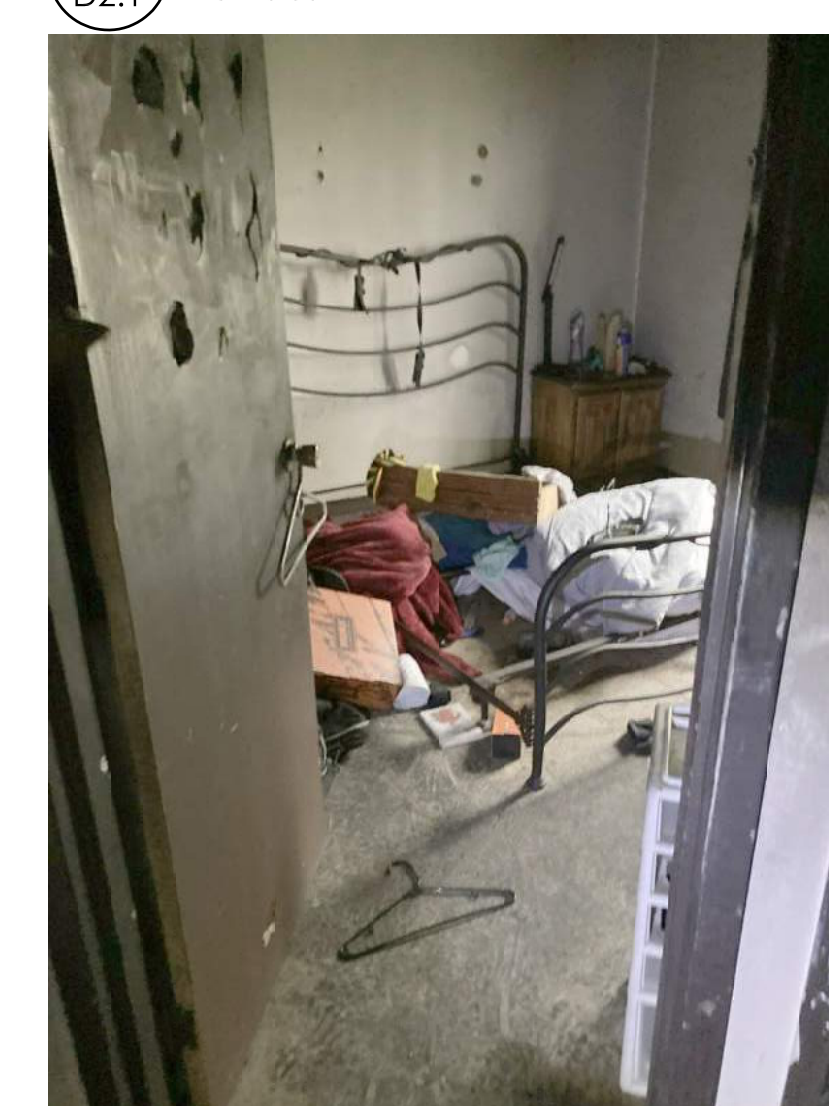
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D2.1 NOT TO SCALE



11 EXISTING PHOTO
D2.1 NOT TO SCALE



12 EXISTING PHOTO
D2.1 NOT TO SCALE



13 EXISTING PHOTO
D2.1 NOT TO SCALE



14 EXISTING PHOTO
D2.1 NOT TO SCALE



15 EXISTING PHOTO
D2.1 NOT TO SCALE

*SEE PHOTO KEY PLANS ON SHEET D2.0 FOR PHOTO LOCATION TAGS

BIRMINGHAM TERRACE
UNIT REPAIRS AND RENOVATIONS

26 BIRMINGHAM TERRACE
TOLEDO, OHIO 43605

PROJECT TITLE:

ISSUE OR REVISION:

02.09.2023 ISSUE FOR PERMIT
DATE ISSUE / REVISION

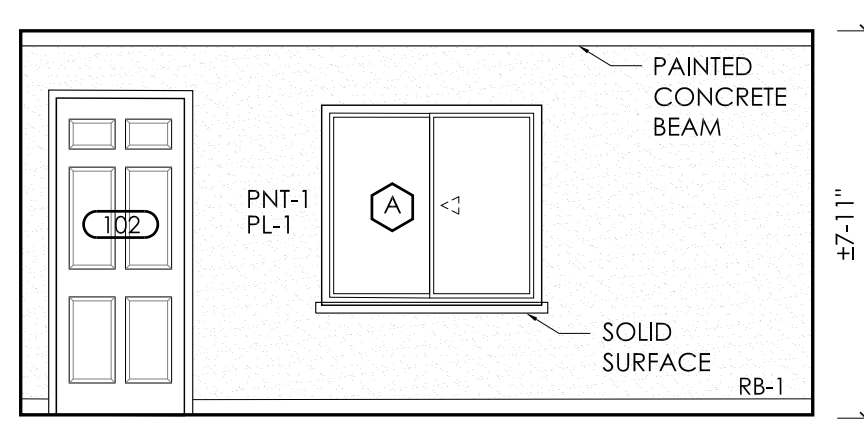
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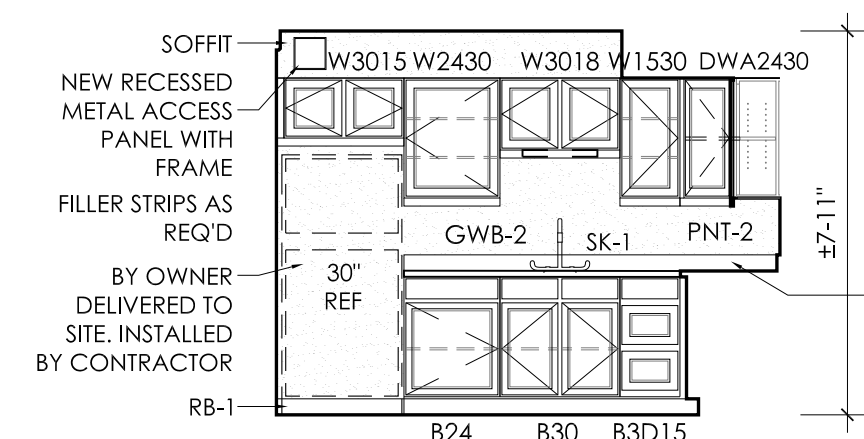
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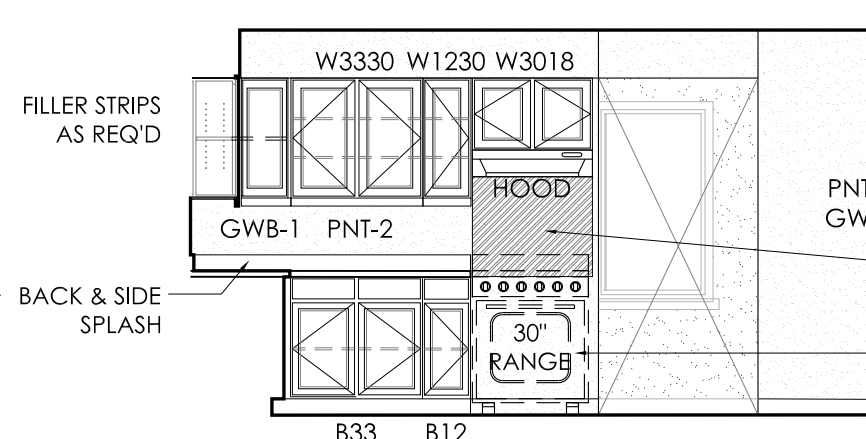
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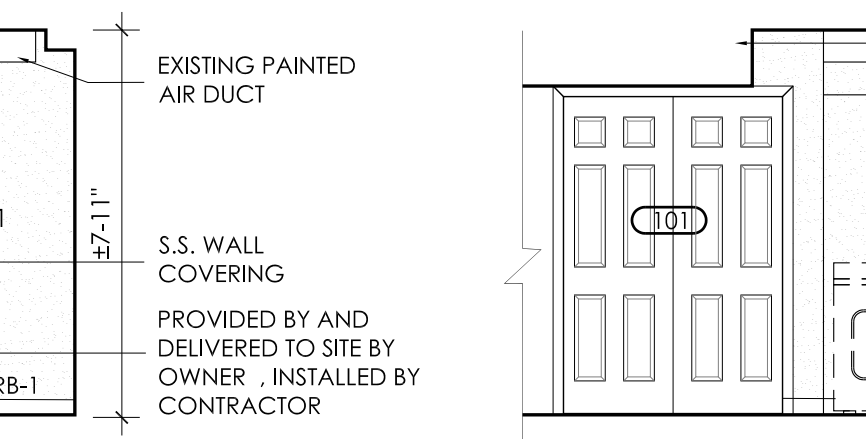
1 LIVING ROOM 102
A8.0 SCALE: 1/4" = 1'-0"



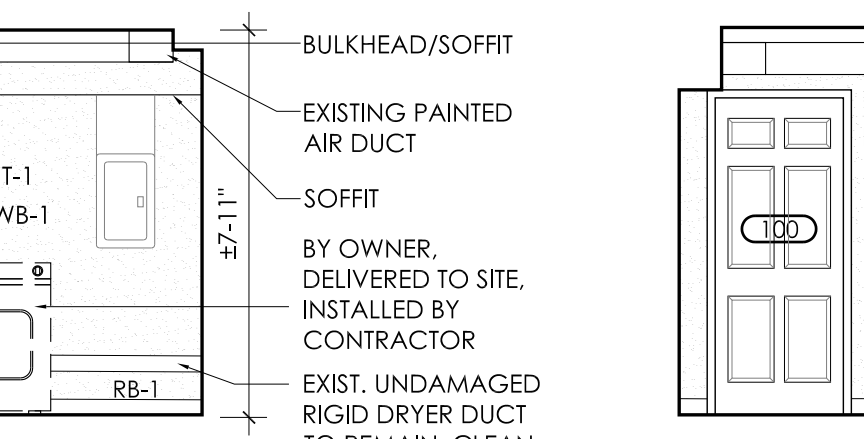
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A8.0 SCALE: 1/4" = 1'-0"



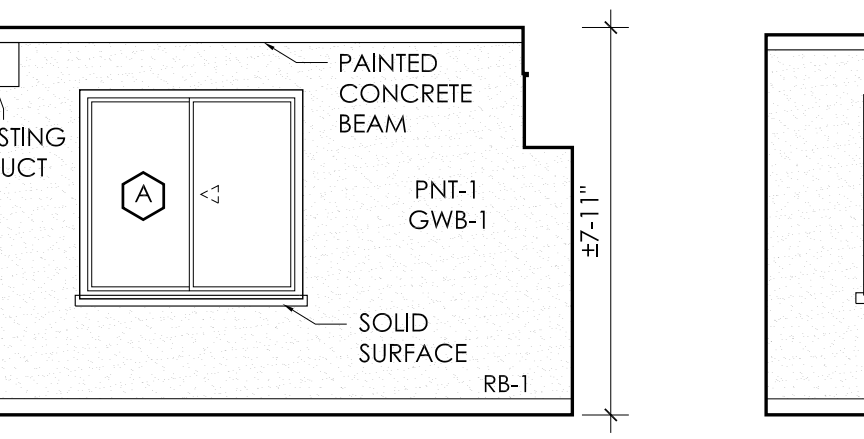
3 KITCHEN 100
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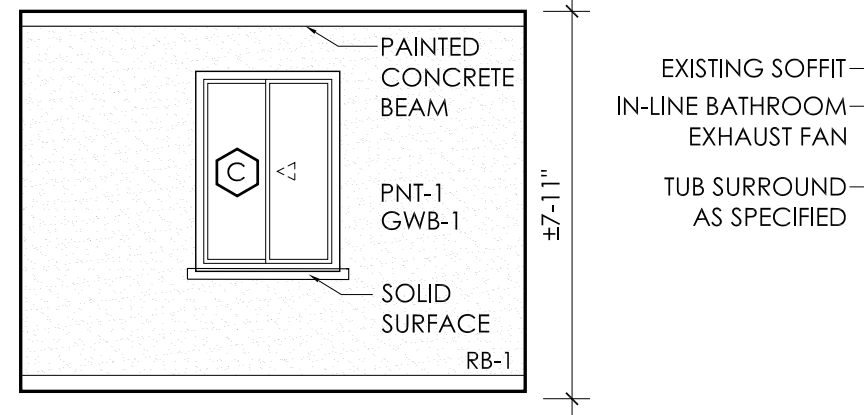
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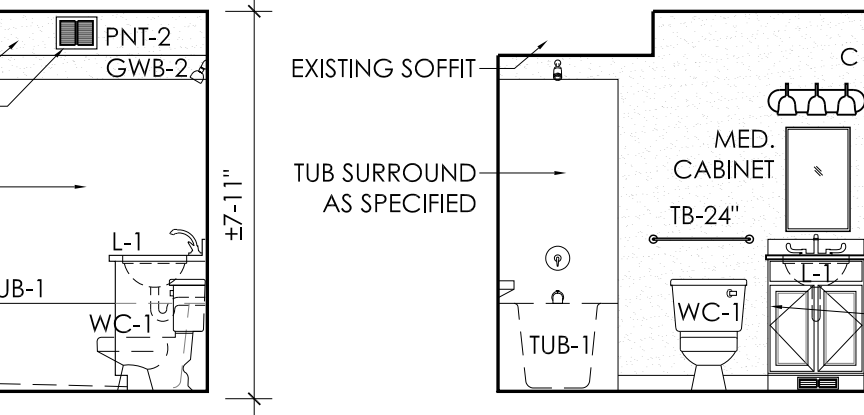
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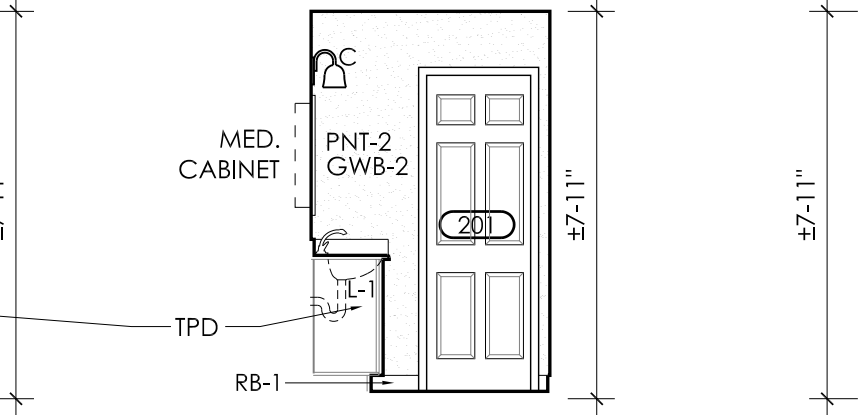
6 BEDROOM 2 203
A8.0 SCALE: 1/4" = 1'-0"



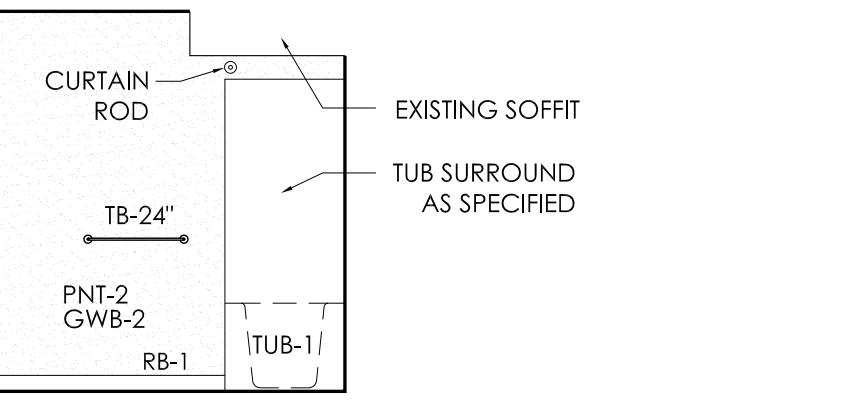
7 BEDROOM 1 202
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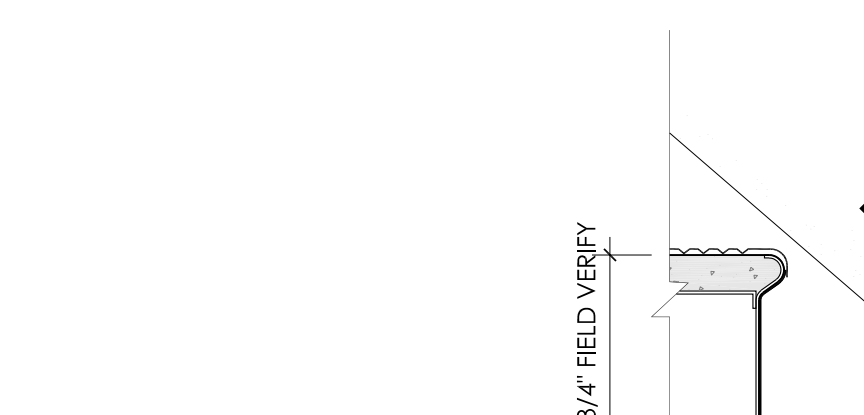
8 BATH 201
A8.0 SCALE: 1/4" = 1'-0"



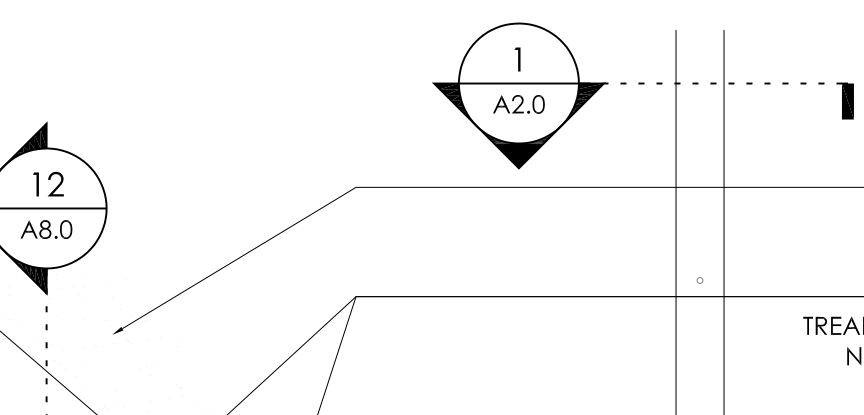
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A8.0 SCALE: 1/4" = 1'-0"



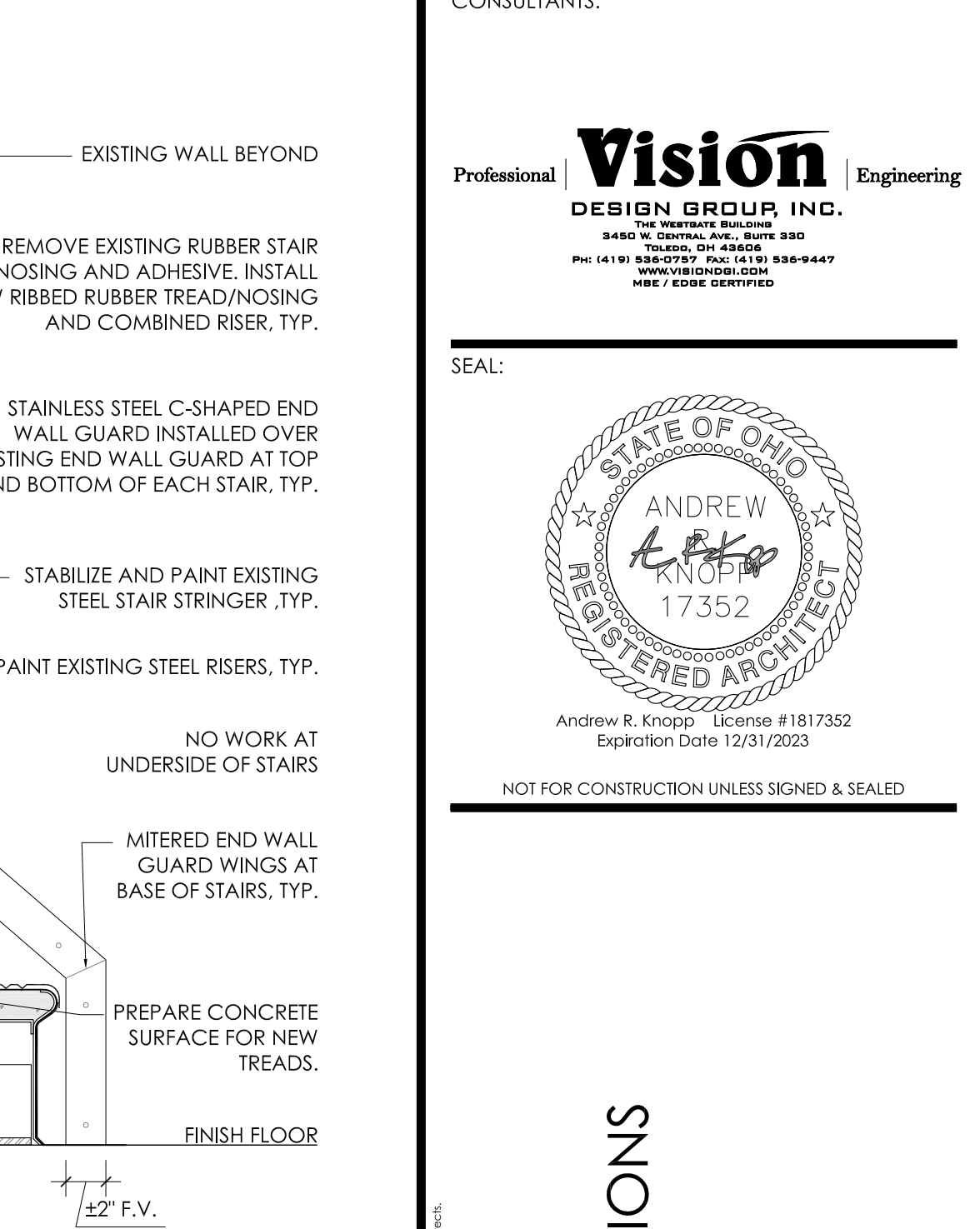
10 BATH 201
A8.0 SCALE: 1/4" = 1'-0"



11 BATH 201
A8.0 SCALE: 1/4" = 1'-0"



12 TYPICAL TREAD/RISER DETAIL
A8.0 1-1/2" = 1'-0"



13 TYPICAL STAIR TREAD/RISER DETAIL
A8.0 1-1/2" = 1'-0"

NO.	NAME	FLR	BASE	WALL								CEILING			REMARKS
				NORTH		EAST		SOUTH		WEST		MAT'L	FIN.	HGT.	
				MAT'L	FIN.	MAT'L	FIN.	MAT'L	FIN.	MAT'L	FIN.				
100	KITCHEN	VCT-1	RB-1	GWB-1	PNT-1	PL-1	PNT-1	PL-1	PNT-1	GWB-2	PNT-2	PCC-1 / GWB-1	PNT-1	± 7'-11"	
101	MECHANICAL	VCT-1	RB-1	GWB-2	PNT-2	PL-1	PNT-2	GWB-2	PNT-2	GWB-2	PNT-2	PCC-1 / GWB-2	PNT-2	± 7'-11"	
102	LIVING ROOM	VCT-1	RB-1	PL-1	PNT-1	PL-1	PNT-1	GWB-1	PNT-1	PL-1	PNT-1	PCC-1 / GWB-1	PNT-1	± 7'-11"	INCLUDES LAUNDRY CLOSET
103	STAIR	RB-2	RB-1	PL-1	PNT-1	PL-1	PNT-1	PL-1	PNT-1	PL-1	PNT-1	PCC-1	PNT-1	± 7'-11"	
200	HALL	VCT-1	RB-1	GWB-1	PNT-1	GWB-1	PNT-1	GWB-1	PNT-1	GWB-1	PNT-1	PCC-1	PNT-1	± 7'-11"	INCLUDES LINEN CLOSET 1
201	BATH	VCT-1	RB-1	GWB-2	PNT-2	GWB-2	PNT-2	PL-1 / GWB-2	PNT-2	GWB-2	PNT-2	PCC-1 / GWB-2	PNT-2	± 7'-11"	
202	BEDROOM 1	VCT-1	RB-1	GWB-1	PNT-1	PL-1	PNT-1	PL-1	PNT-1	GWB-1	PNT-1	PCC-1	PNT-1	± 7'-11"	INCLUDES CLOSET 1
203	BEDROOM 2	VCT-1	RB-1	PL-1	PNT-1	PL-1	PNT-1	GWB-1	PNT-1	PL-1 / GWB-1	PNT-1	PCC-1	PNT-1	± 7'-11"	INCLUDES CLOSET 2

SPECIFICATION NOTES:

- MANUFACTURER AND CATALOG/SERIES NUMBERS SHOWN ARE A BASIS OF SPECIFICATION. ALTERNATES OR SUBSTITUTIONS MUST BE SUBMITTED TO OWNER/ARCHITECT 10 DAYS PRIOR TO BID FOR CONSIDERATION.
- CONTRACTOR TO VERIFY ALL PRODUCTS, STYLES, COLORS, FINISHES, ETC. THROUGH THE SUBMITTAL PROCESS PRIOR TO ORDERING ANY MATERIALS. SUBMIT 5 SETS / COPIES OF PHYSICAL SHOP DRAWINGS FOR APPROVAL PRIOR TO ORDERING ANY MATERIAL. ELECTRONIC COPIES ARE ACCEPTABLE.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO ORDERING ANY MATERIALS.
- CONTRACTOR TO INSTALL ALL FINISHES AND FIXTURES PER MANUFACTURER'S INSTRUCTIONS / SPECIFICATIONS.
- PAINT COATING REQUIREMENTS SHALL BE PER MANUF. RECOMMENDATIONS AS TO COVERAGE & QUALITY OF APPLICATION METHODS. ADDITIONAL COATINGS MAY BE REQUIRED BASED ON FIELD OBSERVATIONS AS DICATED BY OWNER OR ARCHITECT.
- CABINET FINISH TO CONSIST OF STAIN, ONE COAT CATALYZED SEALER, ONE CATALYZED TOP COAT. EACH COAT TO BE OVEN DRIED AND SEALER COAT SANDED. PLYWOOD IS UV FINISHED. CABINET FINISH MAY ALSO INCLUDE A FACTORY PAINTED FINISH.
- CABINERY CORNER BLOCKS @ TOE AND CROSS MEMBERS. STAPLES USED THRU FLOOR INTO CROSS MEMBERS & THRU BACKS.
- WHERE REPLACEMENT OF FLOORING IS REQUIRED OVER WOOD SUBFLOORS, CONTRACTOR TO INCLUDE NEW UNDERLAYMENT (1/4" PATRIOT SUREPLY). FOR NEW FLOORING OVER CONCRETE SLABS, CONTRACTOR UTILIZE ARDEX FEATHER FINISH AS REQUIRED TO ELIMINATE ANY UNEVEN TRANSLATIONS THROUGH FLOORING.
- WHERE REPLACEMENT OF FLOORING IS INDICATED, CONTRACTOR TO REMOVE AND REPLACE WALL BASE. WALL BASE SHALL BE APPLIED TO CABINET TOE-KICKS.
- FOR ALL COLOR SELECTIONS, OWNER TO SELECT FROM MANUFACTURER'S FULL RANGE.
- PROVIDE MIN 5% UNOPENED PACKAGES, OF "ATTIC STOCK" MATERIAL. MATERIAL TO INCLUDE FLOORING (VCT-1), STAIR TREADS/RISERS (RB-2), (1) PASSAGE LOCKSET & (1) PRIVACY LOCKSET.

FINISH / FIXTURE LEGEND			
CABINERY MEET ANSI/KCMA A161.1 & MIN. HUD (SEVERE USE), FHA & VA PROPERTY REQUIREMENTS	FACE FRAME: 3/4" x 1-3/4" MORT. & TEN. HDWD., GLUE & STAPLE BACK: 1/4" PLYWD BACKS RABBETED TO ENDS FLR BRACE: 3/4" SOLID WD TOE KICK: (3) PIECE 3/4" TREAT, PINE SUPPORTS: 3/4" x 1-3/4" SOLID WOOD	SHELF: 1/2" PLYWD W/ EDGE BANDING DRWR: STD DEPTH, DADOED SIDES & ENDS, 75# RATED, DUAL STL. BALLBEARING, SIDE MOUNT GLIDES HINGES: SEMI-CONC., WRAP-AROUND RAIL: SOLID WD 3/4" x 3-1/2", TOP/BOT EDGES, PARTIAL OVERLAY	MANFR: SMART CABINERY ULTIMATE CONSTRUCTION TOE KICKS TO RECEIVE RUBBER BASE RB-1 NO PARTICLE BOARD CONSTRUCTION
BASE RB-1 MFR: ROPPE - 4" RUBBER BASE MODEL: PINNACLE WALL BASE COLOR: OWNER TO SELECT (BLACK)	COUNTERTOPS KITCHEN (25" TOP DEPTH & 4" SPLASH) MFR: POST FORM LAMINATE TRU-RADIUS (180) FRONT EDGE, WHICH RETURNS BACK TO CAB FACE OR APPROVED EQUAL COLOR: OWNER TO SELECT	PAINT SKIM COAT AND PRIMER WOOD / MDF PRIMER ALL AREAS MFR: BENJAMIN MOORE 'SUPER SPEC' INTERIOR LATEX PRIMER SEALER COLOR: TINT 3/4 OF PNT-1/ PNT-2 GWB PRIMER ALL AREAS EXCEPT BATHROOM MFR: BENJAMIN MOORE 'SUPER SPEC' INTERIOR LATEX PRIMER SEALER COLOR: TINT 3/4 OF PNT-1/ PNT-2	RANGE WALL COVERING ITEM: TYPE 304 STAINLESS STEEL, #4 FINISH 22 GA (0.31") RECESSED STAINLESS STEEL SCREWS @ 4 CORNERS & HEAT RESISTANT ADHESIVE (LIQUID NAILS 'FUZE IT' OR APPROVED EQUAL) SIZE: AS INDICATED ON DWGS, F.V.
STAIR TREAD & RISER RB-2 MFR: ROPPE/JOHNSONITE TREAD TEXTURE: RIBBED RISER TEXTURE: SMOOTH NOSING: ROUND TO MATCH EXISTING PROFILE (2-PART EPOXY NOSE FILLER AS REQ'D & AS RECOMMENDED BY MFG) COLOR: (SOLID) OWNER TO SELECT TREAD PREP: ARDEX FEATHER FINISH (AS REQ'D) MASTIC: AS RECOMMENDED BY MFG	STAIR TREAD & RISER REMOVE EXISTING RUBBER STAIR TREAD/ NOSING & ADHESIVE. INSTALL NEW RIBBED RUBBER TREAD/NOSING/RISER, TYP. PAINT EXISTING STEEL STAIR STRINGER & RISERS, TYP. NEW RUBBER RISER EXISTING PLASTER/GWB EXISTING STEEL CHANNEL STRINGERS, TYP. PAINT UNDERSIDE OF STEEL STRUCTURE	PAINT FINISH COAT PNT-1 (GWB/PLASTER/CONC FINISH) BATHROOMS & MECH/LAUNDRY MFR: BENJAMIN MOORE ULTRA-SPEC WALLS: EGG-SHELL LATEX ENAMEL CEILING: FLAT LATEX ENAMEL OR APPROVED EQUAL COLOR: AS SELECTED BY OWNER (BONE WHITE) PNT-2 (GWB/PLASTER/CONC FINISH) BATHROOMS & MECH/LAUNDRY MFR: BENJAMIN MOORE SEMI-GLOSS LATEX OR APPROVED EQUAL COLOR: AS SELECTED BY OWNER (BONE WHITE) PNT-3 (EXTERIOR FINISH) STEEL DOORS AND FRAMES, DOWNSPOTS MFR: BENJAMIN MOORE ADVANCE EXTERIOR GLOSS WATER REDUCIBLE ALKYD OR APPROVED EQUAL COLOR: AS SELECTED BY OWNER (MATCH EXISTING.) PNT-4 (INTERIOR FINISH) DOORS/FRAMES MFR: SEMI-GLOSS LATEX ENAMEL COLOR: AS SELECTED BY OWNER (WHITE)	END-WALL GUARDS COUNTERSUNK FLAT HEAD SCREWS, EDGES OF GUARDS GROUND SMOOTH ENTIRE LENGTH, FIELD VERIFY ALL CONDITIONS INCLUDING REQ'D LENGTHS, CONFIGS, END WALL WIDTHS, & WING LENGTHS. MITERS REQ'D @ BASE OF STAIRS, MATERIAL AS SELECTED BY OWNER: STAINLESS STEEL STYLE-C-SHAPED THICKNESS: 16 GA FINISH: #4 SATIN ALUMINUM STYLE-C-SHAPED THICKNESS: 0.080" FINISH: MILL FINISH
TRIM/DOOR CASING WD-2 MFR: EMPIRE PRIMED MDF PROFILE: MATCH EXISTING (CASING L-366 BASIS OF SPEC.) COLOR: OWNER TO SELECT PAINT (WHITE)	TRIM/DOOR CASING GWB-1 (ALL RMS, EXCEPT NOTED BELOW) MFR: USG OR APPROVED EQUAL ITEM: 5/8" TYPE X INTERIOR PANELS WALLS/CEILINGS: LIGHT ORANGE PEEL*	SHOWER CURTAIN ROD TUB/SH-1 MFR: BREY-KRAUSE MFG. MODEL: S-1034-SS CURVED ROD NOTES: 1" DIA, 18 GAUGE STAINLESS ADJUST. 58"-61" W/ END CAPS BLOCKING REQUIRED AT ALL MOUNTING POINTS	TOILET PAPER HOLDER BATHROOM MFR: BREY-KRAUSE MODEL S-4950-SS STAINLESS STEEL NOTES: S-4950 CHROMED ROLLER, BLOCKING REQUIRED AT ALL MOUNTING POINTS
WINDOW STOOLS ALL ROOMS 1/2" SOLID SURFACE FORMICA OR APPROVED EQUAL PROFILE: OWNER TO SELECT COLOR: OWNER TO SELECT (WHITE)	WINDOW STOOLS GWB-2 (BATHROOMS & KIT & MECH/LAUNDRY) MFR: USG OR APPROVED EQUAL ITEM: 5/8" TYPE X MOISTURE AND MOLD RESISTANT INTERIOR PANELS WALLS & CEILINGS: SMOOTH LVL 4 *COORD. FINISH IN KIT. W/ ARCHITECT	EXTERIOR DOORS DOOR TAG (SHOWN ON SCHEDULE) MFR: THERMA-TRU DOORS TRADITIONS STYLE TS210 COLOR: PAINTED - COLOR TBD BY OWNER (WHITE)	TOWEL BARS BATHROOM MFR: BREY-KRAUSE MODEL S-4942-18" OR 24"-SS STAINLESS STEEL 3/4" DIA. BAR NOTES: S-4942 ROUND BAR BLOCKING REQUIRED AT ALL MOUNTING POINTS
FLOORING VCT-1 MFR: ARMSTRONG STANDARD STYLE: EXCELON IMPERIAL TEXTURE COLOR: OWNER TO SELECT (COTTAGE TAN) FLOOR PREP: ARDEX FEATHER FINISH MASTIC: RECOMMENDED BY MFG FINISH: (2) COATS POLISH/WAX	FLOORING VCT-1 MFR: ARMSTRONG STANDARD STYLE: EXCELON IMPERIAL TEXTURE COLOR: OWNER TO SELECT (COTTAGE TAN) FLOOR PREP: ARDEX FEATHER FINISH MASTIC: RECOMMENDED BY MFG FINISH: (2) COATS POLISH/WAX	INTERIOR DOORS DOOR TAG MFR: JELD-WEN HOLLOW CORE TYPICAL, SOLID PINE LOUVERED PROFILE: COLONIST SMOOTH ALL PANEL/COLONIST TEXTURED BI-FOLD COLOR: PAINTED - COLOR TBD BY OWNER (WHITE)	WINDOW CURTAIN ROD/BLINDS ALL ROOMS MFR: KIRSCH - LOCKSEAM STYLE OR APPROVED EQUAL MODEL: 6122 THRU 6126 NOTES: AS NEEDED FOR WDW LENGTH W/ REQ BRACKETS & SUPPORTS 2" CLEARANCE (18"-120") WINDOW BLINDS MFR: LEVOLOR NOTES: 1" PLASTIC HORIZONTAL BLADES NO PULL CHORD DESIGN

PROJECT TITLE:
ISSUE OR REVISION:
02.09.2023 ISSUE FOR PERMIT
DATE ISSUE / REVISION
DESIGNED: ACH
DRAWN: EN / BLK
CHECKED: ARK
TPA COMMISSION NUMBER: 22022
DRAWING TITLE:

DOOR NO.	SIZE	DOOR / WINDOW / OPENING				FRAME		DETAIL				REMARKS	
		MAT'L	TYPE	FIN.	GLS TYPE	GLS SIZE	MAT'L	TYPE	JAMB	HEAD	RATING		HDW SET
100	2'-8" x 6'-8" x 1 3/4"	HM	PN/SD	PAINT	-	-	HM	F-1/F-3	J2	H2	-	2	ENTRY DOOR
101	2'-4" x 6'-8" x 1 3/4" (PAIR)	SCW	PA	PAINT	-	-	HM	F-2	J1	H1	-	4	MECHANICAL ROOM
102	2'-8" x 6'-8" x 1 3/4"	HM	PN/SD	PAINT	-	-	HM	F-1/F-3	J2	H2	-	2	ENTRY DOOR
102A	2'-8" x 6'-6" x 1 3/4"	SCW	PA	PAINT	-	-	HM	F-2	J1	H1	-	1	CLOSET *FIELD VERIFY HEIGHT UNDER STAIR*
200	1'-6" x 6'-8" x 1 3/4"	SCW	PA	PAINT	-	-	HM	F-2	J1	H1	-	1	CLOSET
201	2'-4" x 6'-8" x 1 3/4"	SCW	PA	PAINT	-	-	HM	F-2	J1	H1	-	3	BATHROOM
202	2'-6" x 6'-8" x 1 3/4"	SCW	PA	PAINT	-	-	HM	F-2	J1	H1	-	1	BEDROOM
202A	2'-6" x 6'-8" x 1 3/4"	SCW	PA	PAINT	-	-	HM	F-2	J1	H1	-	1	CLOSET
203	2'-6" x 6'-8" x 1 3/4"	SCW	PA	PAINT	-	-	HM	F-2	J1	H1	-	1	BEDROOM
203A	2'-6" x 6'-8" x 1 3/4"	SCW	PA	PAINT	-	-	HM	F-2	J1	H1	-	1	CLOSET

DOOR / WINDOW GENERAL NOTES:

- FIELD VERIFY ALL DOOR / WDW MASONRY & ROUGH OPENINGS PRIOR TO ORDERING ANY MATERIALS.
- FIELD VERIFY ALL LINTELS AND HEADERS PRIOR TO INSTALLATION OF ANY NEW WORK. NOTIFY OWNER REPRESENTATIVE AND ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR DEFICIENCIES.
- ALL ENTRY DOOR FRAMES TO BE MIN. 16 GA. STL ± 6 3/4" WIDE. ALL INT DOOR FRAME WIDTHS TO MATCH WALL THICKNESS (VARIES) OR EXCEED BY 1/2" MAX ON EITHER SIDE. ALL FRAMES PRIMED & CONTR PAINTED - OWNER TO SELECT COLOR.
- THRU-DOOR VIEWERS TO BE 698 x 190 DEGREES. INCLUDE (1) PER EXTERIOR DOOR.
- ALL INTERIOR DOOR AND WINDOW CASING TO BE STOCK COLONIAL PROFILE - PRIMED & PAINTED. TRIM TO BE 1x WOOD FLAT STOCK - PRIMED & PAINTED. TRIM SHALL BE HIGH QUALITY, KILN DRIED STOCK, & MILLED PER INDUSTRY STANDARDS. TRIM SHALL BE FREE OF MACHINE OR CHATTER MARKS. ALL MITERS SHALL BE BLIND NAILED WHERE POSSIBLE. ANY WORK WHICH CHECKS, CRACKS, OPENS AT JOINTS, OR WARPS SHALL BE REMOVED & REPLACED. OWNER TO SELECT COLOR. [WHITE]
- ENTRY DOORS TO BE MIN. 25 GA. INSUL. STL. W/ 14GA. STEEL FRAMES, 6 - PANEL EMBOSSED, PREMIUM SERIES W/ 10-YEAR WARRANTY & HAVE WEATHER STRIP/SEAL. ENTRY DOOR TO MEET OR EXCEED ALL CURRENT ENERGY-STAR REQ. / RATINGS. STORM DOOR TO BE STL. STORM DOOR W/ .023" STAINLESS STEEL SCREEN. COMPLETE W/ ALL HARDWARE, DOOR CLOSURE & ADJ. SWEEP. BUT W/OUT GLASS STORM PANEL. OWNER TO SELECT COLOR.
- ALL EXTERIOR ENTRY DOORS TO HAVE LOW-RISE ADA THRESHOLDS. (MAXIMUM RISE OF 1/2")
- WINDOWS DETAILED ARE BASED ON POLARIS ULTRAWELD 8430 SERIES (OWNER TO SELECT COLOR). ALL WDWs. ARE DBL. HUNG TYPE. W/ FULL SCREENS, (ALUMINUM SCREEN WIRE), DBL. PANE, INSULATED, LOW E W/ ARGON. TEMPERED CLEAR GLASS. ALL FRAMES TO BE ± 3 1/4" WIDE. WDWs. TO MEET OR EXCEED ALL CURRENT ENERGY-STAR REQ. / RATINGS.
- ALL CAVITIES OF NEW EXTERIOR DOOR & WINDOW INSTALLATIONS IN EXIST. & NEW OPENINGS ARE TO BE THOROUGHLY INSUL. W/ DOOR AND WINDOW FOAM INSUL. & CAULKED W/ EXT. GRADE SILICONE SEALANT. (TYP.)

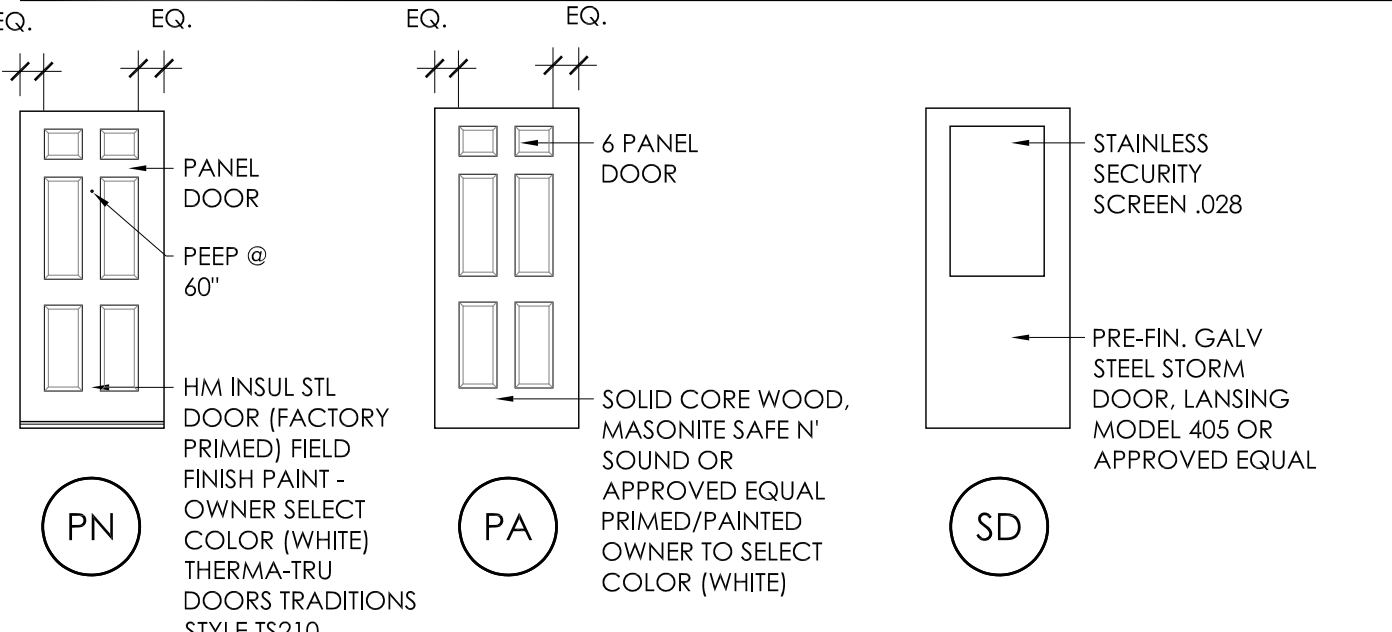
HARDWARE SETS:

- PASSAGE LOCKSET - NON-HANDED ADA LEVER DESIGN, FULLY ADJ. LATCH, LIFETIME MECH. & FINISH WARRANTY ANSIBHMA GRADE 3, MEET 4.12.9 ADA REQ. (MIN. 3 5/8" LEVER OR APPROVED EQUAL)
- INTERCONNECTED ENTRY LOCKSET - LEVER DESIGN, WITH A SMALL FORMAT REMOVABLE CORE SYSTEM KEYPED TO OWNERS EXISTING KEYING SYSTEM ANSIBHMA GRADE 2, MEETING 4.12.9 ADA REQ. WITH LIFE TIME MECHANICAL WARRANTY (MIN. 3 1/8" LEVER OR APPROVED EQUAL) W/ SWEEP, WEATHERSTRIP, THERMAL BREAK THRESHOLD, STORM DOOR, AND PEEP SIGHT.
- LOCK/PRIVACY LOCKSET - PIN & TUMBLER. SEE PASSAGE LOCKSET FOR STD SPECS & NOTES (OR APPROVED EQUAL)
- PAIR CLOSET DOORS PULL - FULL-SIZE DUMMY SET. SEE PASSAGE LOCK FOR STD SPECS & NOTES (OR APPR. EQ.) ROCKWOOD 910RC BALL CATCHES

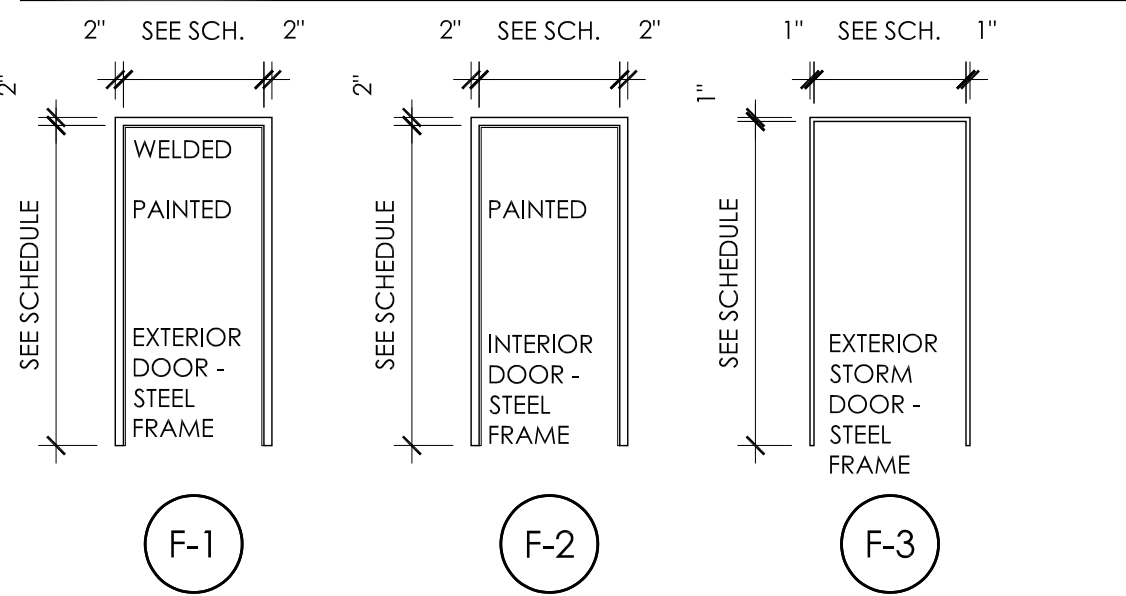
HARDWARE NOTES:

- INTERIOR DOOR STOPS TO BE HINGE TYPE OR APPROVED EQUAL
- OWNER TO SELECT ALL FINISHES / COLORS & APPROVE ALL MATERIALS PRIOR TO ORDERING / INSTALLATION
- ALL HARDWARE MUST MEET ADA AND UNIVERSAL DESIGN STANDARDS
- ALL EXTERIOR ENTRY DOORS TO BE KEYPED TO LMHA I.C. CORE MASTER SYSTEM
- ALL HARDWARE TO INCLUDE ALL NECESSARY ACCESSORIES, STRIKES, LATCHES, ESCUTCHEONS, TRIM, ETC., (U.N.O.)
- ALL INTERIOR DOORS TO HAVE MIN. OF 2 PLAIN BEARING BUTT HINGES 4 1/2" X 4 1/2", FINISH AS SELECTED.
- ALL EXTERIOR DOORS TO HAVE 3 PLAIN BEARING BUTT HINGES 4 1/2" X 4 1/2", FINISH AS SELECTED
- INCLUDE ADDITIONAL "ATTIC STOCK", UNOPENED, (1) PASSAGE LOCKSET AND (1) PRIVACY LOCKSET

DOOR TYPES:

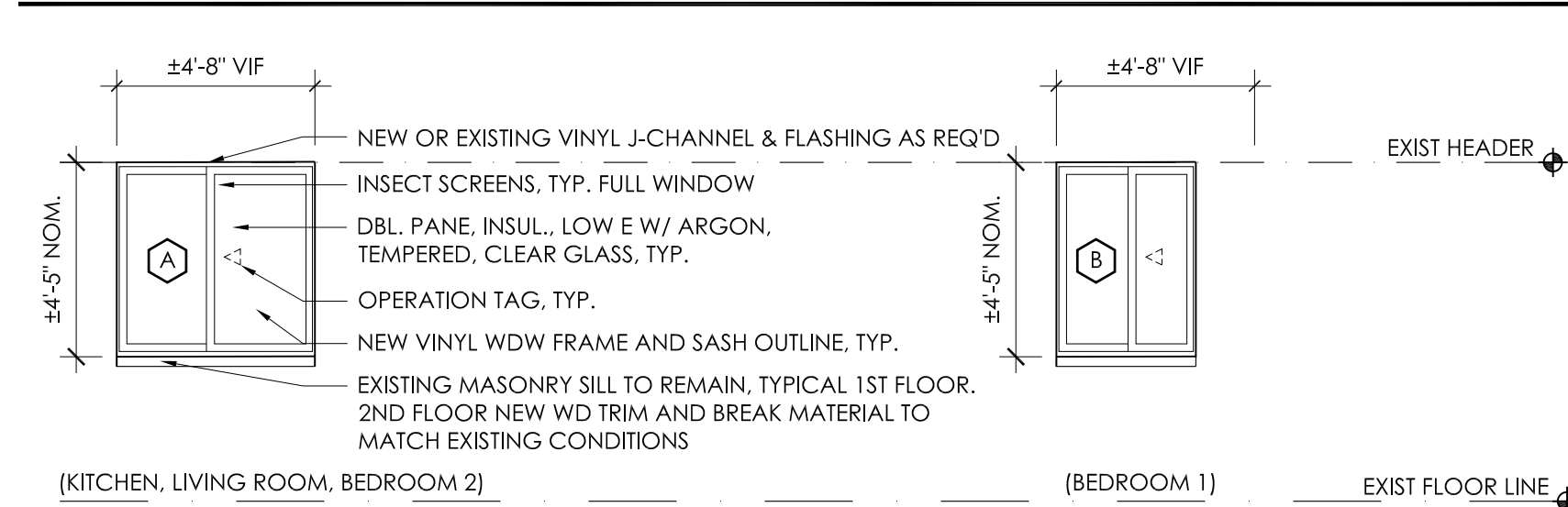


DOOR FRAME TYPES:



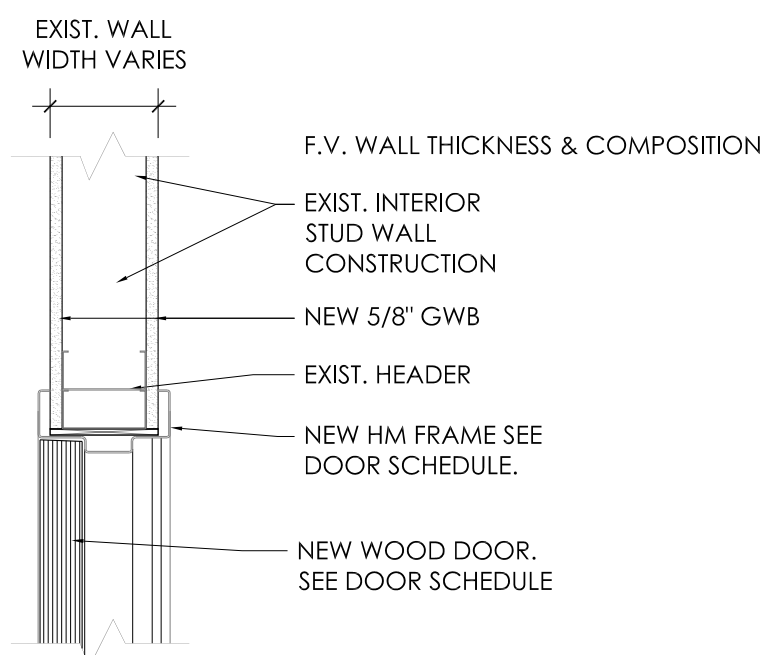
NOTE: WINDOW FRAME/SASH/RAIL PROFILES OR EXTRUSIONS MAY DIFFER FROM DETAILS SHOWN DEPENDING ON TYPE OF WINDOW SPECIFIED. INTERIOR AND EXTERIOR SURROUNDING MATERIALS AND CONFIGURATIONS APPLY

WINDOW TYPES:

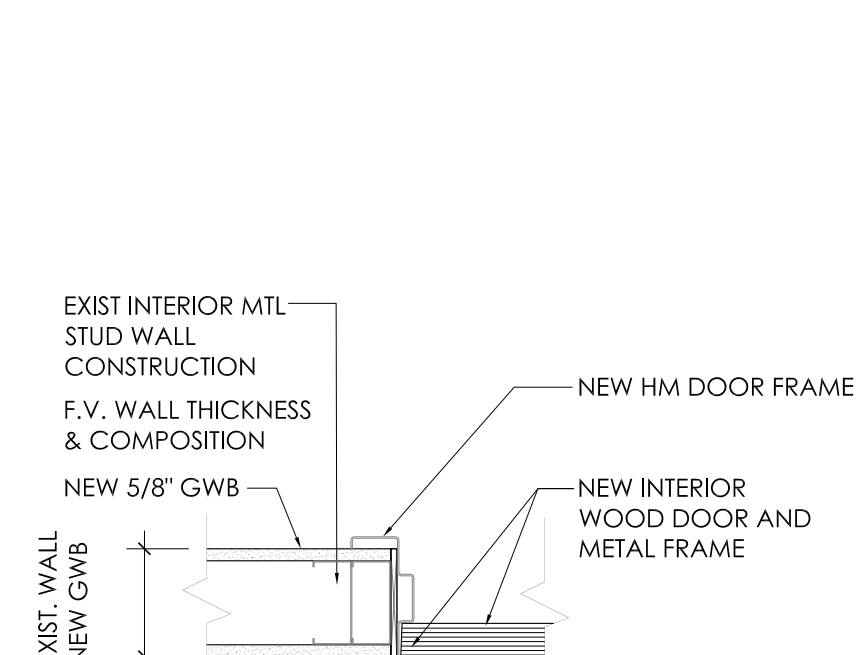


NOTE: REFER TO EXTERIOR, AND INTERIOR ELEVATIONS, ROOM FINISH SCHEDULES, SECTIONS AND DETAILS FOR ADDITIONAL REQUIREMENTS. EXISTING ROUGH OPENINGS TO REMAIN. REPLACE EXISTING TRIMS AS REQUIRED FOR A COMPLETE AND PROPER WINDOW REPLACEMENT SYSTEM. PATCH AND REPAIR ADJACENT SURFACES WITH MATCHING MATERIALS AS NOTED AND PER NEW SCHEDULED FINISHES. REPLACEMENT WINDOWS SHALL COMPLY WITH RCO 310.2.5 REPLACEMENT WINDOWS.

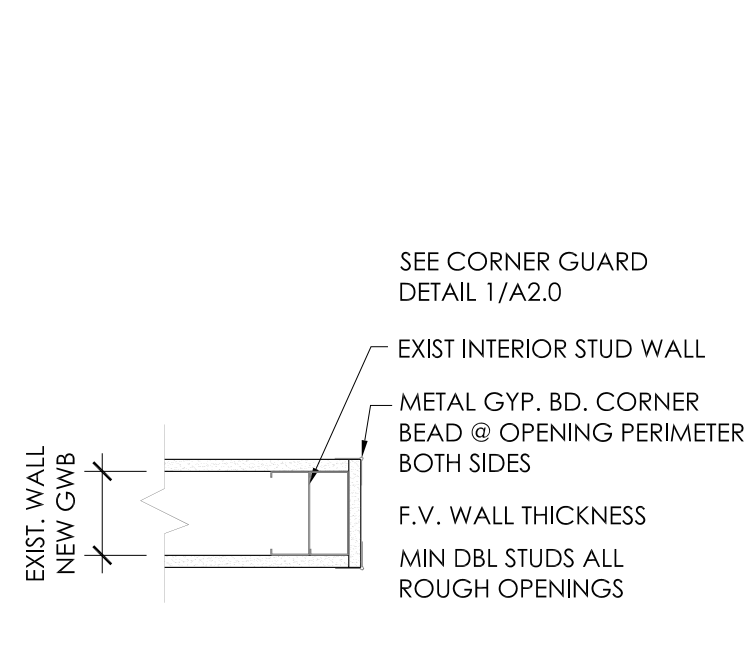
NOTE: CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO SUBMITTING WINDOW SHOP DRAWINGS



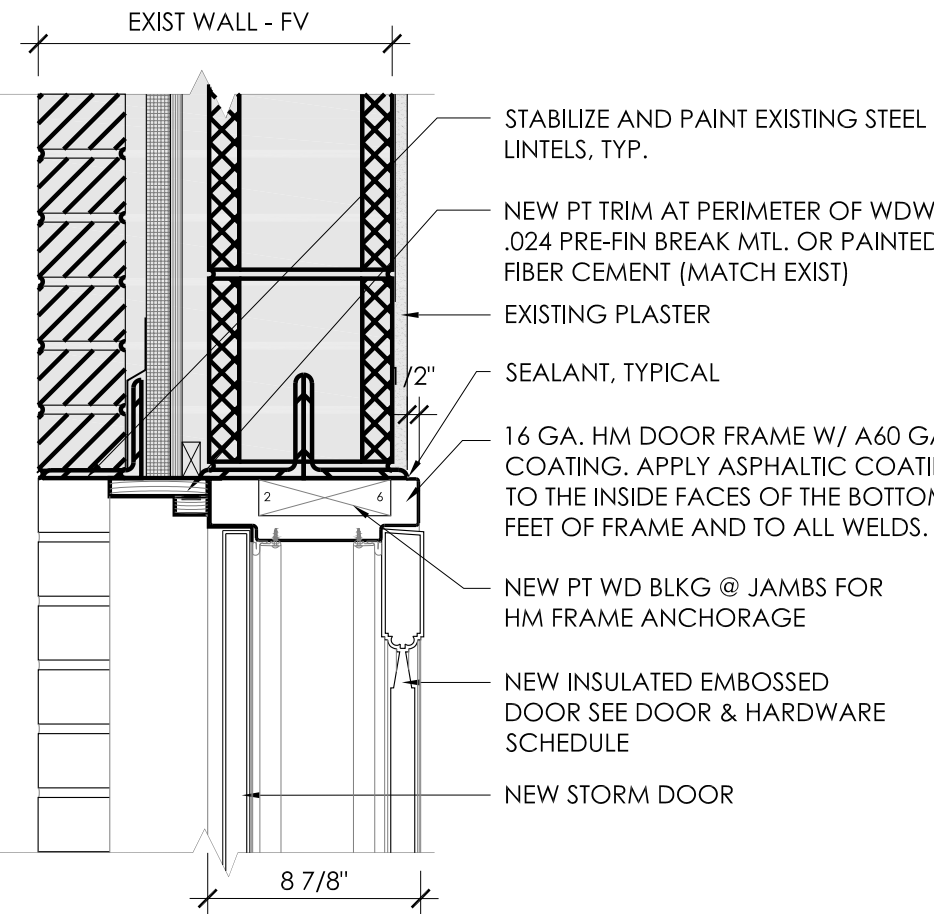
H1 HEAD DETAIL
1-1/2" = 1'-0"



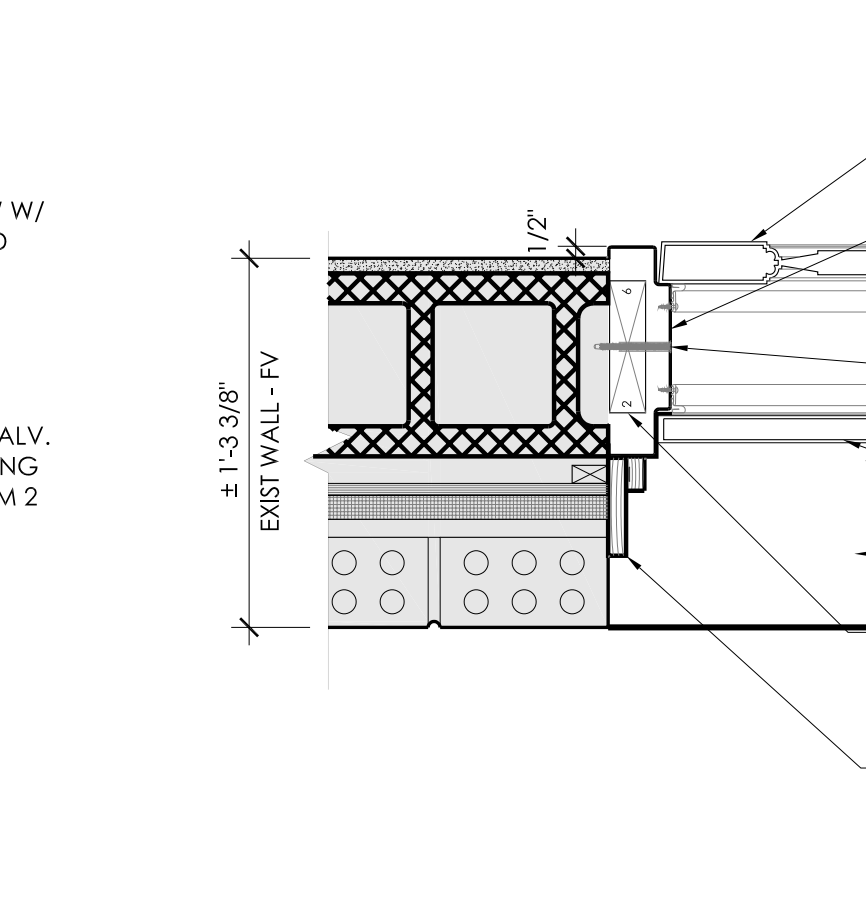
J1 JAMB DETAIL
1-1/2" = 1'-0"



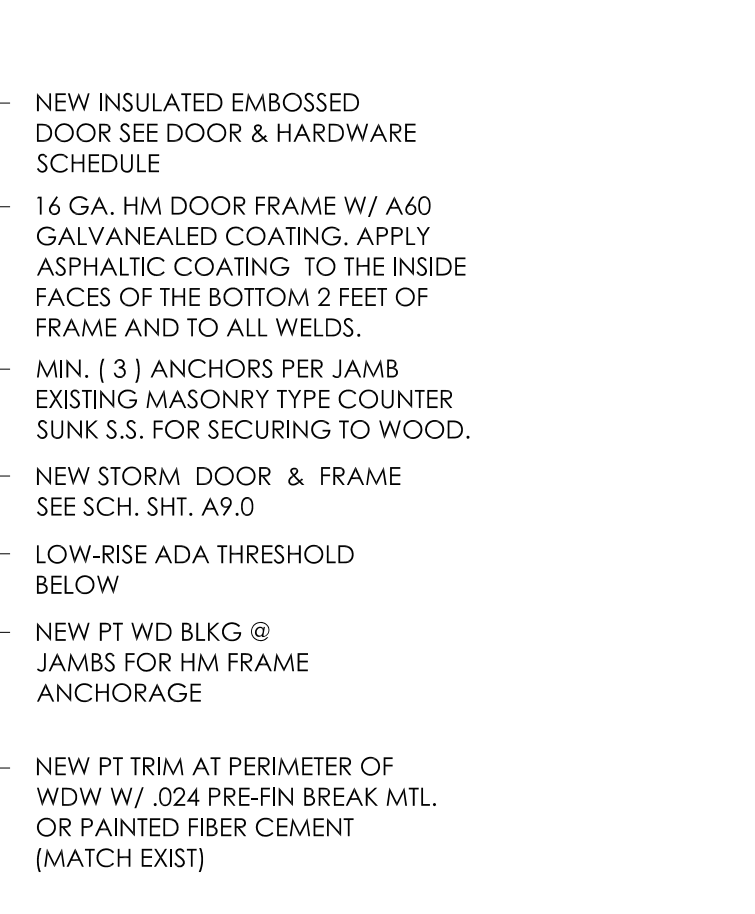
TYP. JAMB AND HEAD GWB OPENING DETAIL
1-1/2" = 1'-0"



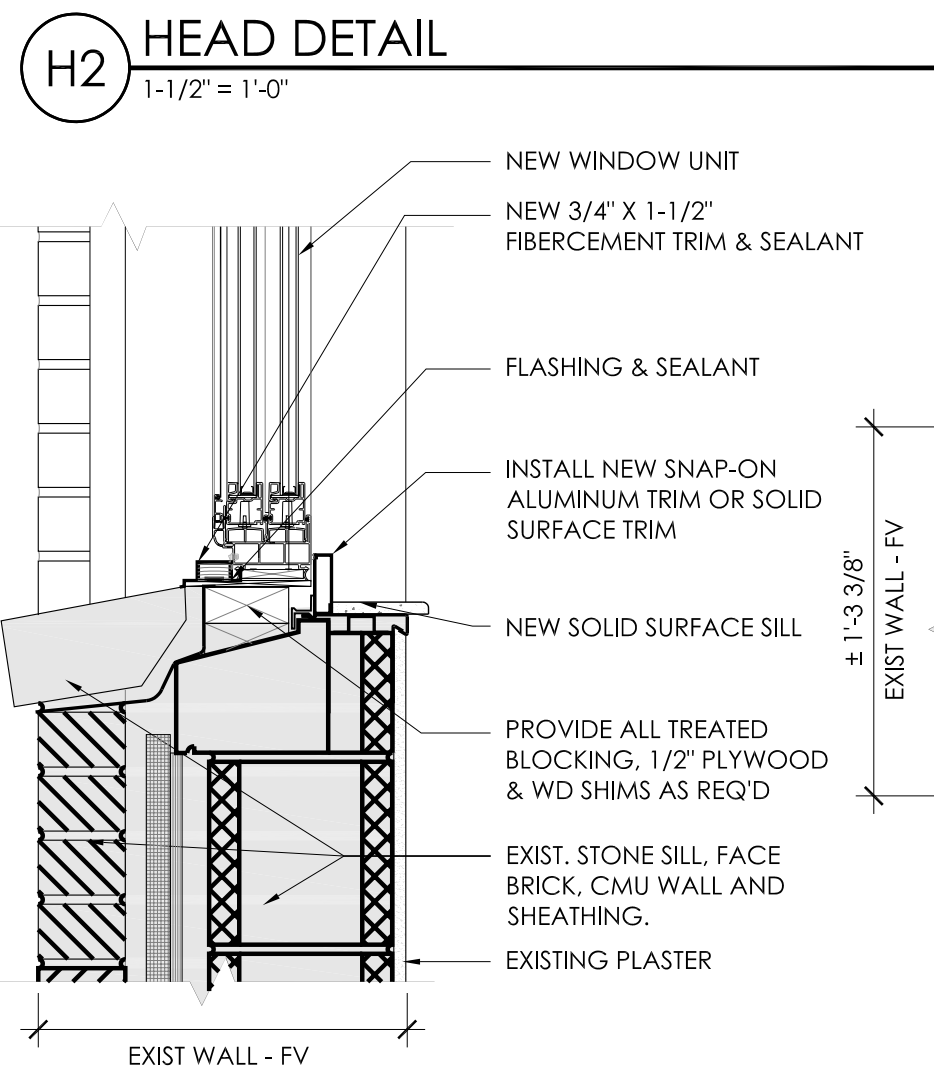
H2 HEAD DETAIL
1-1/2" = 1'-0"



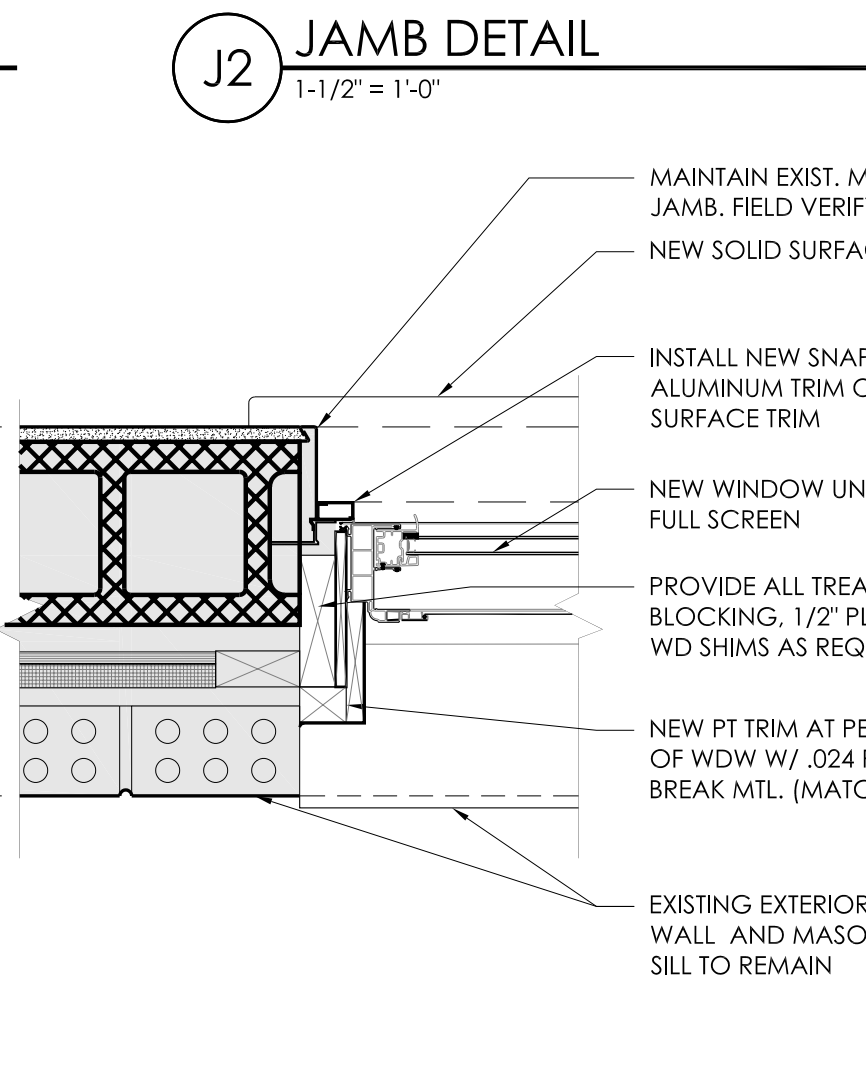
J2 JAMB DETAIL
1-1/2" = 1'-0"



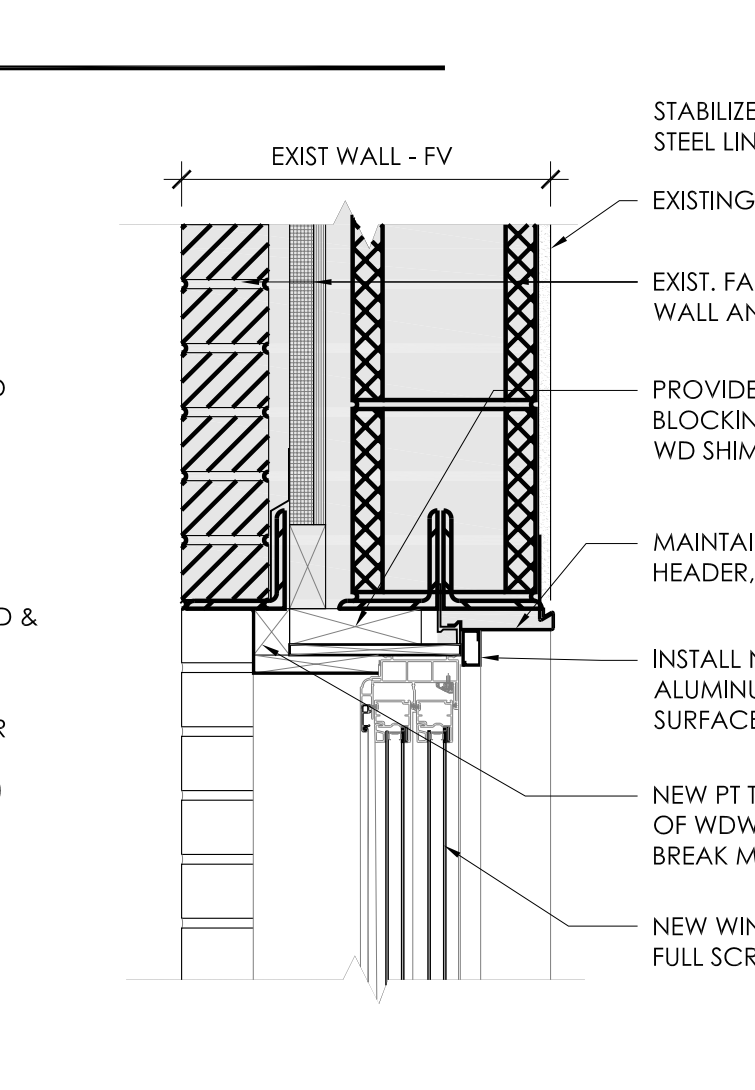
WH1 HEAD DETAIL
1-1/2" = 1'-0"



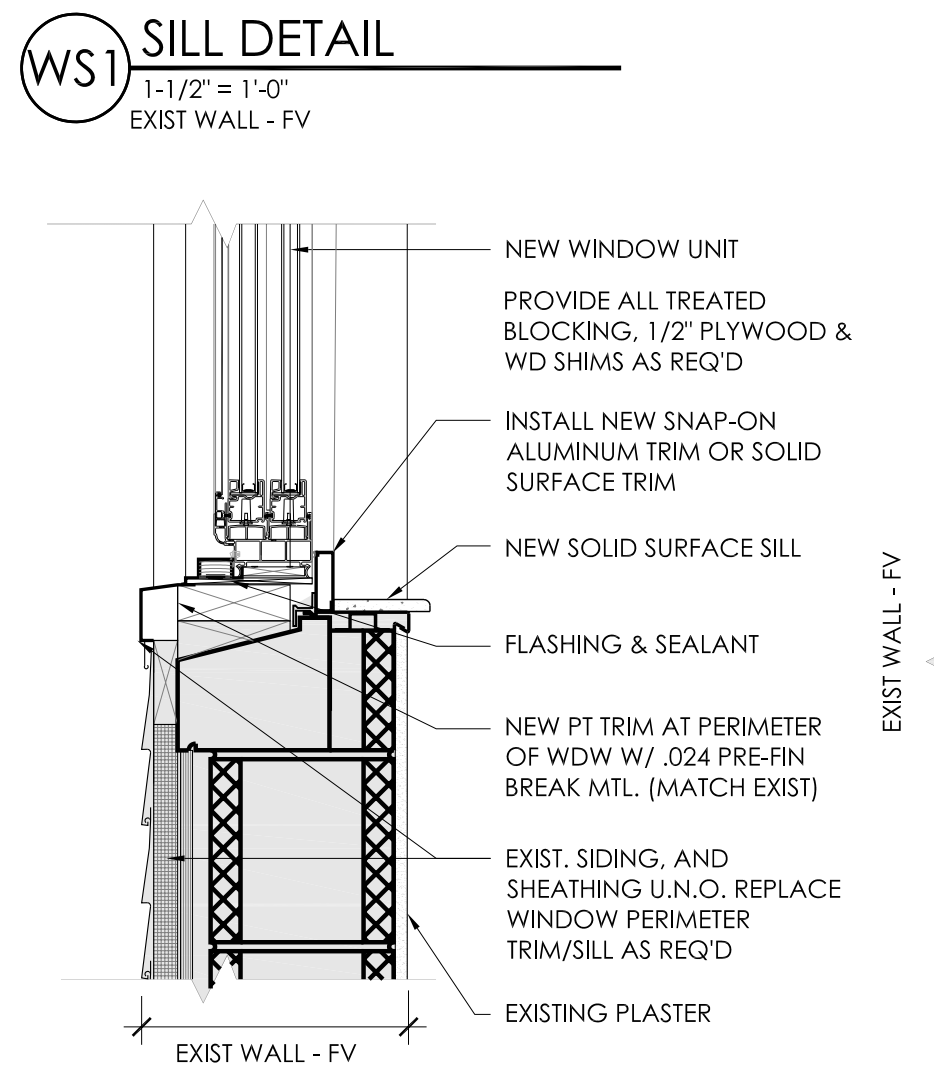
WS1 SILL DETAIL
1-1/2" = 1'-0"



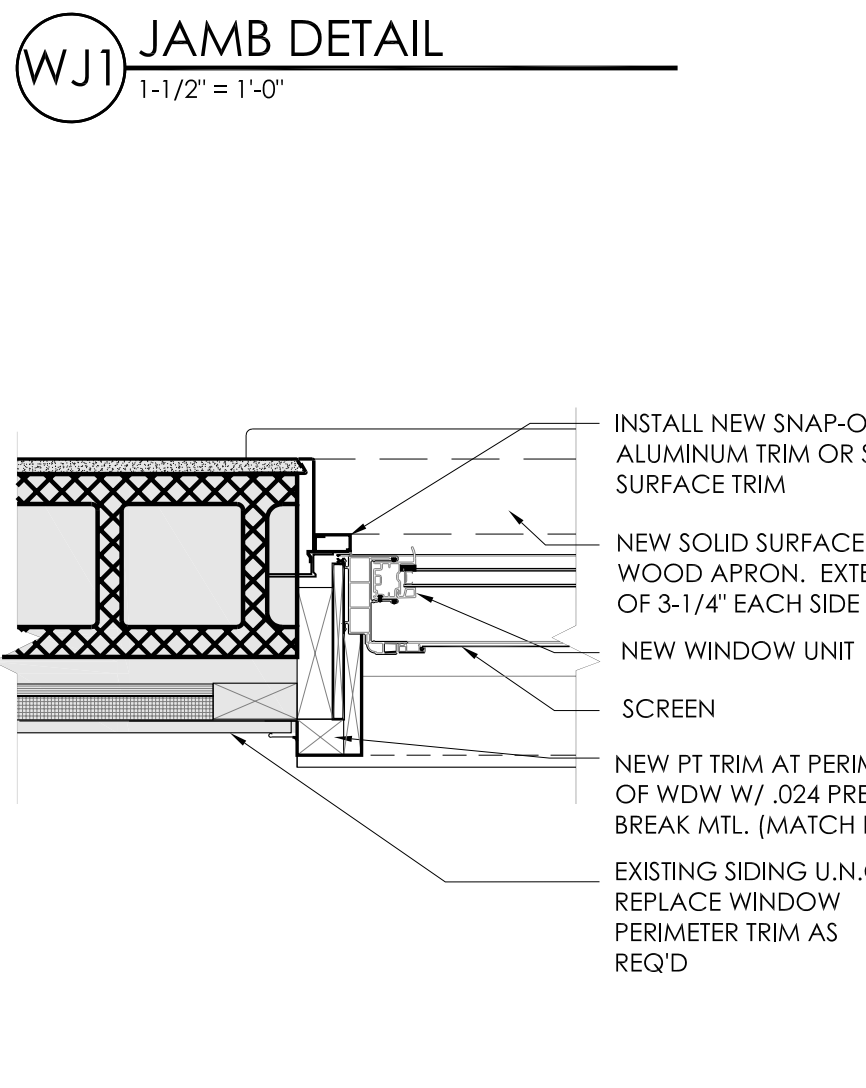
WJ1 JAMB DETAIL
1-1/2" = 1'-0"



WH2 HEAD DETAIL
1-1/2" = 1'-0"



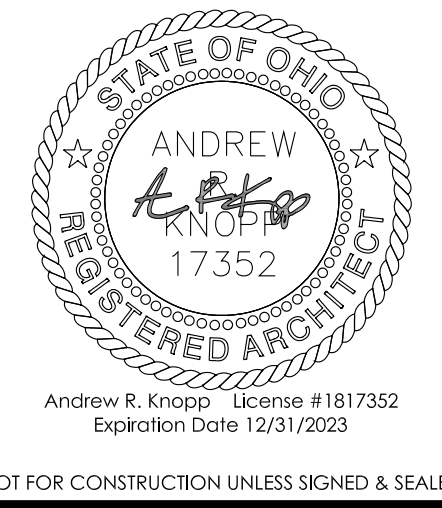
WS2 SILL DETAIL
1-1/2" = 1'-0"



WJ2 JAMB DETAIL
1-1/2" = 1'-0"

CONSULTANTS:

SEAL:



NOT FOR CONSTRUCTION UNLESS SIGNED & SEALED

BIRMINGHAM TERRACE
UNIT REPAIRS AND RENOVATIONS

26 BIRMINGHAM TERRACE
TOLEDO, OHIO 43605

PROJECT TITLE:

ISSUE OR REVISION:

02.09.2023	ISSUE FOR PERMIT
DATE	ISSUE / REVISION
DESIGNED: ACH	
DRAWN: EN / BLK	
CHECKED: ARK	
TPA COMMISSION NUMBER: 22022	

DRAWING TITLE:
DOOR SCHEDULE, DOOR & WINDOW DETAILS

DRAWING NUMBER:

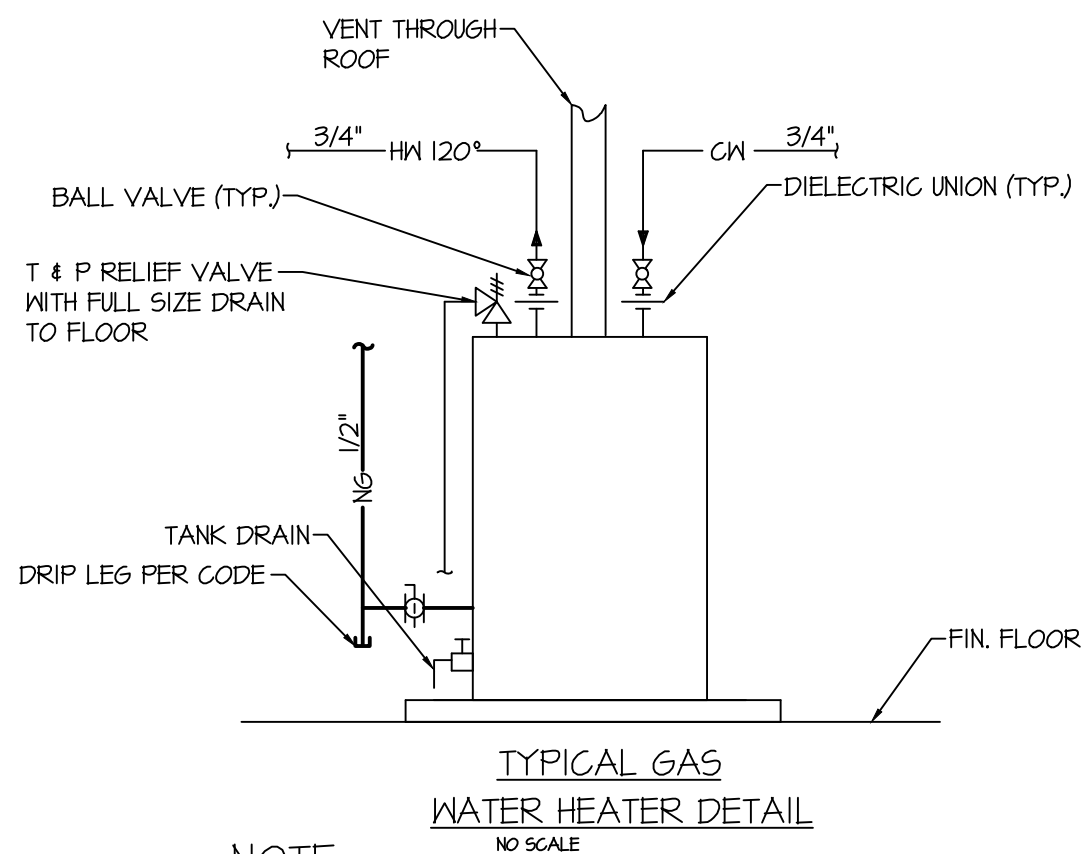
A9.0

PLUMBING FIXTURE SCHEDULE

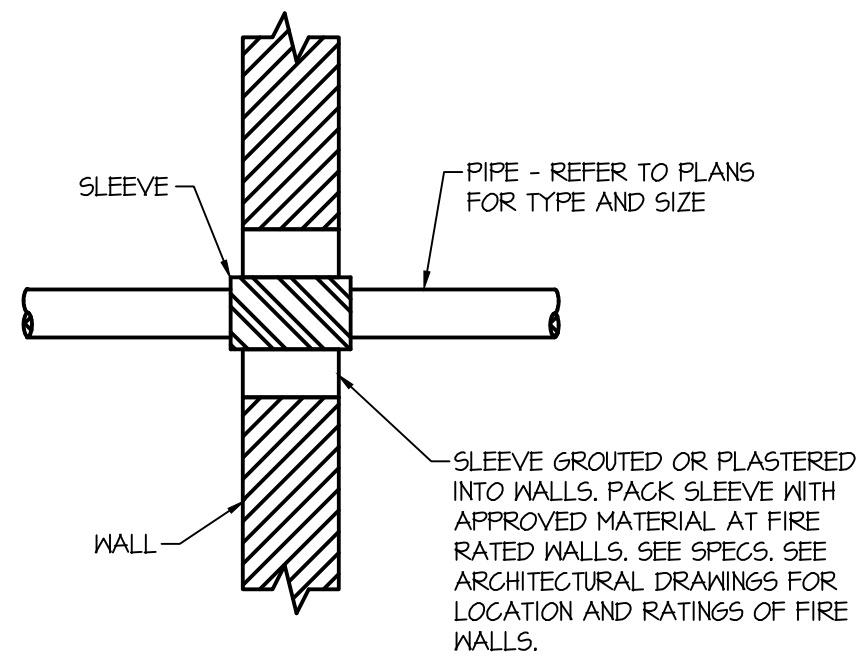
DESCRIPTION	SYMBOL	CN	HN	WASTE	VENT	SPECIFICATIONS	
WATER CLOSET FLOOR SET 1.28 GPF ADA TANK TYPE		WC-1	1/2"	---	4"	2"	TWO PIECE COMFORT HEIGHT ELONGATED TOILET, 1.28 GPF W/PLASTIC SEAT, WHITE FINISH. POLISHED CHROME HANDLE (LEFT OR RIGHT), WATER SENSE RATING ICC/ANSI A11.1 COMPLIANT. KOHLER MODEL K-3514-0; SEAT MODEL K-4774.
LAVATORY SEMI-COUNTER TOP		L-1	1/2"	1/2"	1 1/2"	1 1/2"	ONE PIECE VANITY TOP 22-1/2" X 31" W/ BACK & SIDE SPLASH. LAVATORY TOP W/ INTEGRAL BOWL, HEAT, CHEMICAL & STAIN RESISTANT. SWANSTONE MODEL CHB2225, FINISH AS SELECTED BY OWNER. CENTERSET SINK FAUCET; SINGLE HANDLE 4" CENTERS, 1.2 GPM FLOW RATE. POLISH CHROME FINISH WITH POP-UP DRAIN. WOLVERINE BRASS MODEL 85250. AERATOR: NIAGARA MODEL NS21ON-PC NON TAMPER RESISTANT
SINK STAINLESS STEEL DOUBLE BOWL		SK-1	1/2"	1/2"	1-1/2"	1-1/2"	21-1/2" D X 25" W TOP MOUNT, 1 BOWL 6-4-1/16" DEEP, HEAVY GAUGE S6 SOLID BRASS STRAINER DELUXE DUO MACHINE THREADS, BRASS LOCK AND COUPLING, STAINLESS BASKET AND STOPPERS. SELF RIM STAINLESS STEEL, ROUNDED CORNERS, SEAMLESS, 3 HOLE PUNCH W/ STRAINER AND STOPPER, DAYTON/VELKAY MODEL D-29322. FAUCET; W/ SINGLE HANDLE, 8-1/2" SPING REACH, 1.5 GPM FLOW RATE. POLISH CHROME FINISH WITH POP-UP DRAIN. WOLVERINE BRASS 85050. AERATOR: NIAGARA MODEL NS104PC.
SOAKING TUB ADA		TUB-1	1/2"	1/2"	2"	1-1/2"	(3) PIECE 30" X 60" TUB/SHOWER UNIT. AMERICAN STANDARD MODEL 6030SM WALL SURROUND. TUB, AMERICAN STANDARD MODEL 2341202. SINGLE LEVER BATH AND SHOWER VALVE TRIM KIT, CHROME FINISH, MOEN MODEL L2363. SHOWER HEAD, CHROME FINISH, 1.5 GPM, NON-AERATING, LOW FLOW, 9 JET SPRAY MASSAGER, NIAGARA MODEL N2415CH.
HOSE BIBB		HB-1	3/4"	---	---	---	EXISTING
FLOOR CLEANOUT		FCO	---	---	SEE DWGS	---	EXISTING
CLEANOUT TO GRADE		COTG	---	---	SEE DWGS	---	ZURN #Z-1406-HD-VP, EXTERIOR CLEANOUT, HEAVY DUTY WITH VANDAL PROOF SCREWED TOP.
FLOOR DRAIN		FD-1	---	---	3"	---	EXISTING
WASHER BOX		WB-1	1/2"	1/2"	2"	1-1/2"	GUY GRAY MFG. CO MODEL #BB200TS, FOR WASHING MACHINE WATER SUPPLY AND DRAIN

WATER HEATER SCHEDULE

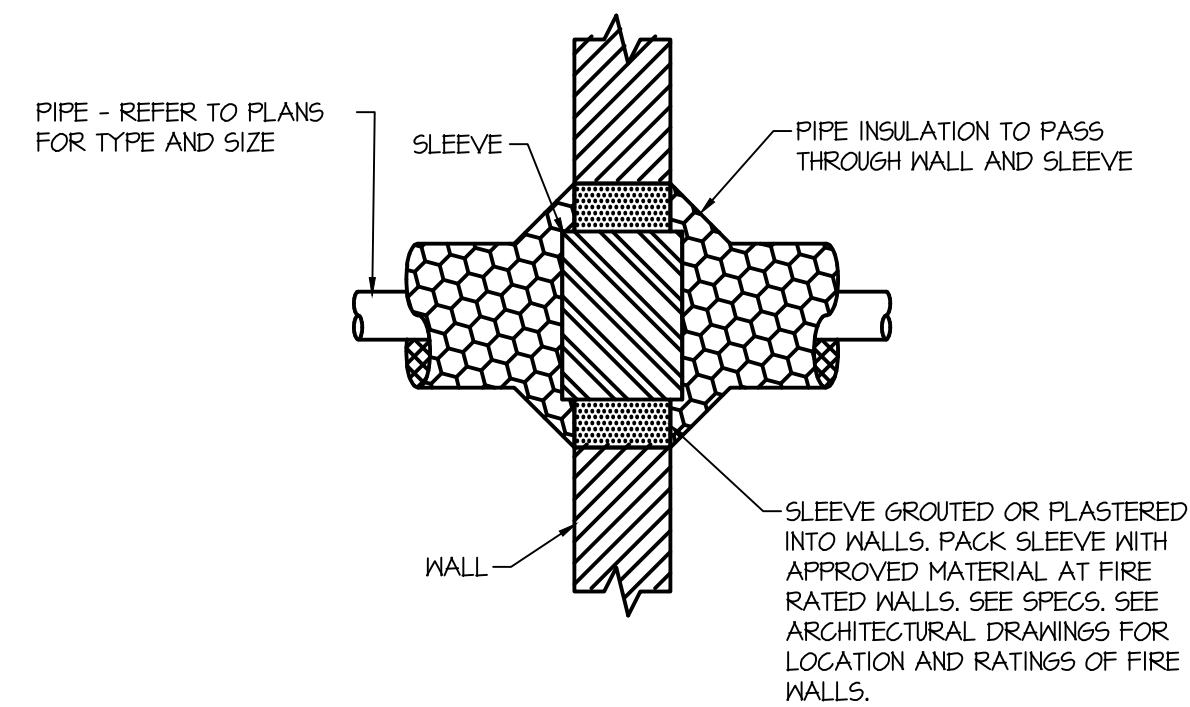
SYMBOL	MANUFACTURER	MODEL	BTU/HR	GALLONS STORAGE	RECOVERY GPH @ 90°F	WATER CONNECTION	DIMENSIONS	WATTS	VOLTS	ELECTRICAL	REMARKS
WHH	RUUD	FROU 638-40N	40,000	40	4.05	3/4" COLD 3/4" HOT	57-3/4" TALL 19-3/4" DIA.		120		PROVIDE POWER DAMPER AND VENT UP THROUGH ROOF.



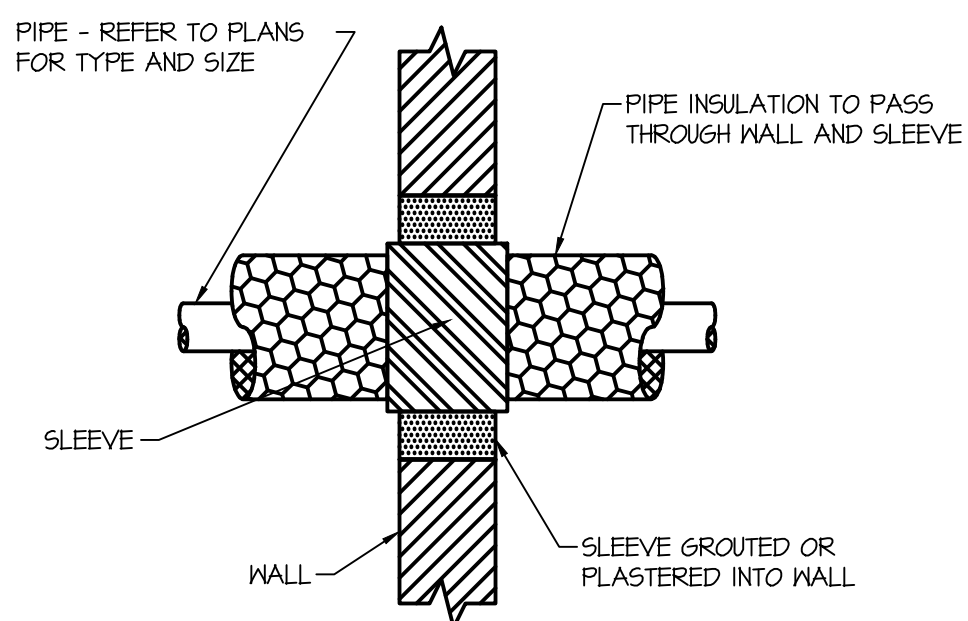
NOTE:
1) PLUMBING CONTRACTOR SHALL SUPPLY AND INSTALL HEAT TRAP NIPPLES ON THE INLET AND OUTLET OF WATER HEATER.



PIPE THRU FIRE WALL DETAIL
NO SCALE



INSULATED PIPE THRU FIRE WALL DETAIL
NO SCALE



INSULATED PIPE THRU WALL DETAIL
NO SCALE

GENERAL PLUMBING NOTES:

- ALL DOMESTIC WATER VALVES TO BE BALL TYPE UNLESS NOTED OTHERWISE.
- CONTRACTOR TO INSTALL A SIZE "A" WATER HAMMER ARRESTOR AND A FULL SIZE ISOLATION BALL VALVES AS REQUIRED PER PLUMBING CODE.
- CONTRACTOR TO FIELD COORDINATE PLUMBING UTILITIES TO MISS ALL EXISTING AND NEW PIPING, ELECTRICAL AND HVAC.
- SANITARY PIPING 2 1/2 INCHES AND BELOW TO MAINTAIN 1/4 IN/FT SLOPE. ALL OTHER SANITARY PIPING TO MAINTAIN A MINIMUM 1/8 IN/FT SLOPE.
- PRIOR TO INSTALLATION, CONTRACTOR TO FIELD VERIFY EXISTING TIE IN LOCATIONS AND SERVICE SIZES. UTILITIES INCLUDE: SANITARY, DOMESTIC COLD WATER, DOMESTIC HOT WATER, AND DOMESTIC HOT WATER RETURN.
- CONTRACTOR TO INSULATE ALL DOMESTIC HOT WATER MAINS WITH 1/2" THICK INSULATION.
- ALL FINAL CONNECTIONS AND PLUMBING ROUGH-INS TO BE PERFORMED BY PLUMBING CONTRACTOR IN FIELD.
- DOMESTIC WATER, SANITARY AND VENT PIPING SHALL BE TESTED PER THE PLUMBING CODE.
- DOMESTIC WATER PIPING SHALL BE CLEANED AND FLUSHED PER PLUMBING CODE.
- WATER HAMMER ARRESTOR SHALL BE MANUFACTURED BY "PRECISION DX-TRU-60 PLUMBING PRODUCTS, INC." SIZE & LOCATION TO CORRESPOND WITH PLUMBING & DRAINAGE INSTITUTE STANDARD PVI-11201 & ASSE #1010 STANDARD.
- PROVIDE AND INSTALL POWERS TEMPERING VALVE ASSE 1070 AT ALL LAVATORIES, AND HAND SINKS.
- PLUMBING PIPING, MATERIALS, TESTING OF PIPE, PIPE CLEANING, DISINFECTING AND PIPE SUPPORTING SHALL BE PER THE OHIO PLUMBING CODE.
- NATURAL GAS PIPING SHALL BE BLACK STEEL SCH. 40, MALLEABLE IRON THREADED FITTINGS, AND THREADED JOINTS. SIZING IS BASED UPON 1/4 PSI DELIVERY PRESSURE. PREP FACTORY FINISH AND PAINT ALL EXPOSED NAT. GAS PIPES OUTSIDE OF MECHANICAL ROOM.
- PROVIDE AND INSTALL FROST PROOF HOSE BIBB, WITH VACUUM BREAKER, STANDARD MALE HOSE THREADS, ZURN MODEL Z1345 WHERE SHOWN ON DRAWINGS.

PLUMBING PLAN KEY NOTES:

- PROVIDE NEW PLUMBING FIXTURE AND NEW PIPING TO RECONNECT INTO EXISTING PLUMBING LOCATED AT WALL AND/OR FLOOR. PROVIDE NEW WATER STOPS ON ALL FIXTURES. DO NOT REUSE ANY EXPOSED PIPING THAT IS NOT CONCEALED WITHIN WALLS, FLOORS AND/OR CEILING.
- REPLACE EXISTING PIPING BACK TO MAIN FOR THIS FIXTURE OR EQUIPMENT WHERE FIRE DAMAGE WAS SEVERE.
- PROVIDE NEW MECHANICAL EQUIPMENT AND NEW PIPING TO RECONNECT INTO EXISTING PLUMBING LOCATED AT WALL, FLOOR AND/OR CEILING. PROVIDE NEW ISOLATION VALVES FOR ALL EQUIPMENT. DO NOT REUSE ANY EXPOSED PIPING THAT IS NOT CONCEALED WITHIN WALLS, FLOORS AND/OR CEILING.
- PROVIDE NEW DOMESTIC CITY WATER METER SETTINGS AND ISOLATION VALVES.
- PROVIDE PLUMBING PIPING TO NEW EQUIPMENT PROVIDED BY OTHERS AND RECONNECT INTO EXISTING PLUMBING LOCATED AT WALL, FLOOR AND/OR CEILING. PROVIDE NEW ISOLATION VALVES FOR ALL EQUIPMENT. DO NOT REUSE ANY EXPOSED PIPING THAT IS NOT CONCEALED WITHIN WALLS, FLOORS, GRANLS AND/OR CEILING.

PLUMBING LEGEND

— SAN —	SANITARY PIPING (ABOVE GROUND)
— SAN —	SANITARY PIPING (UNDER GROUND)
— HW —	HOT WATER PIPING (ABOVE GROUND)
— CW —	COLD WATER PIPING (ABOVE GROUND)
— HW —	HOT WATER PIPING (UNDER GROUND)
— CW —	COLD WATER PIPING (UNDER GROUND)
— NG —	NATURAL GAS (ABOVE GROUND)
— NG —	NATURAL GAS (UNDER GROUND)
— HW —	HOT WATER REG. (ABOVE GROUND)
— V —	VENT PIPING
— R —	SIZE REDUCER
— B —	BALL VALVE
— V —	BALL VALVE IN VERTICAL
— C —	CHECK VALVE
— G —	GATE VALVE
— FD —	FLOOR DRAIN
— VTR —	VENT THROUGH ROOF
— NC —	NEW CONNECTION

NOTE: ALL LIGHT LINE WORK INDICATES EXISTING.

CONSULTANTS:

SEAL:



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BIRMINGHAM TERRACE
UNIT REPAIRS AND RENOVATIONS

26 BIRMINGHAM TERRACE
TOLEDO, OHIO 43605

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02.09.2023	ISSUE FOR PERMIT
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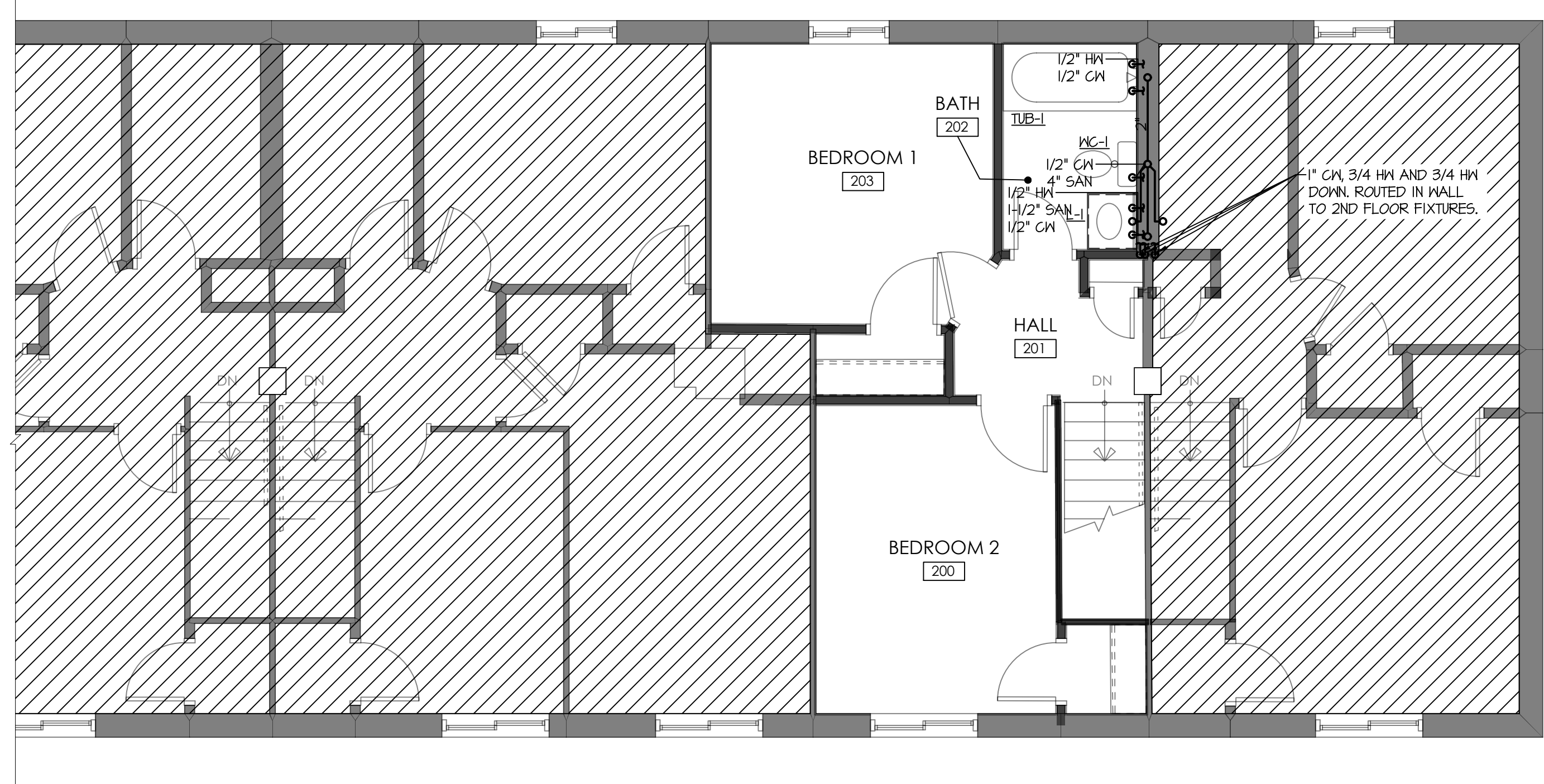
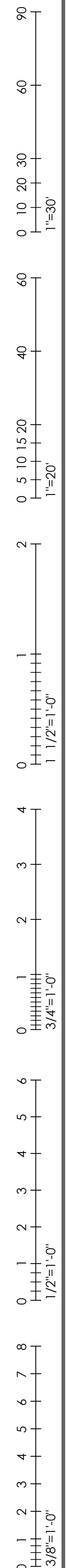
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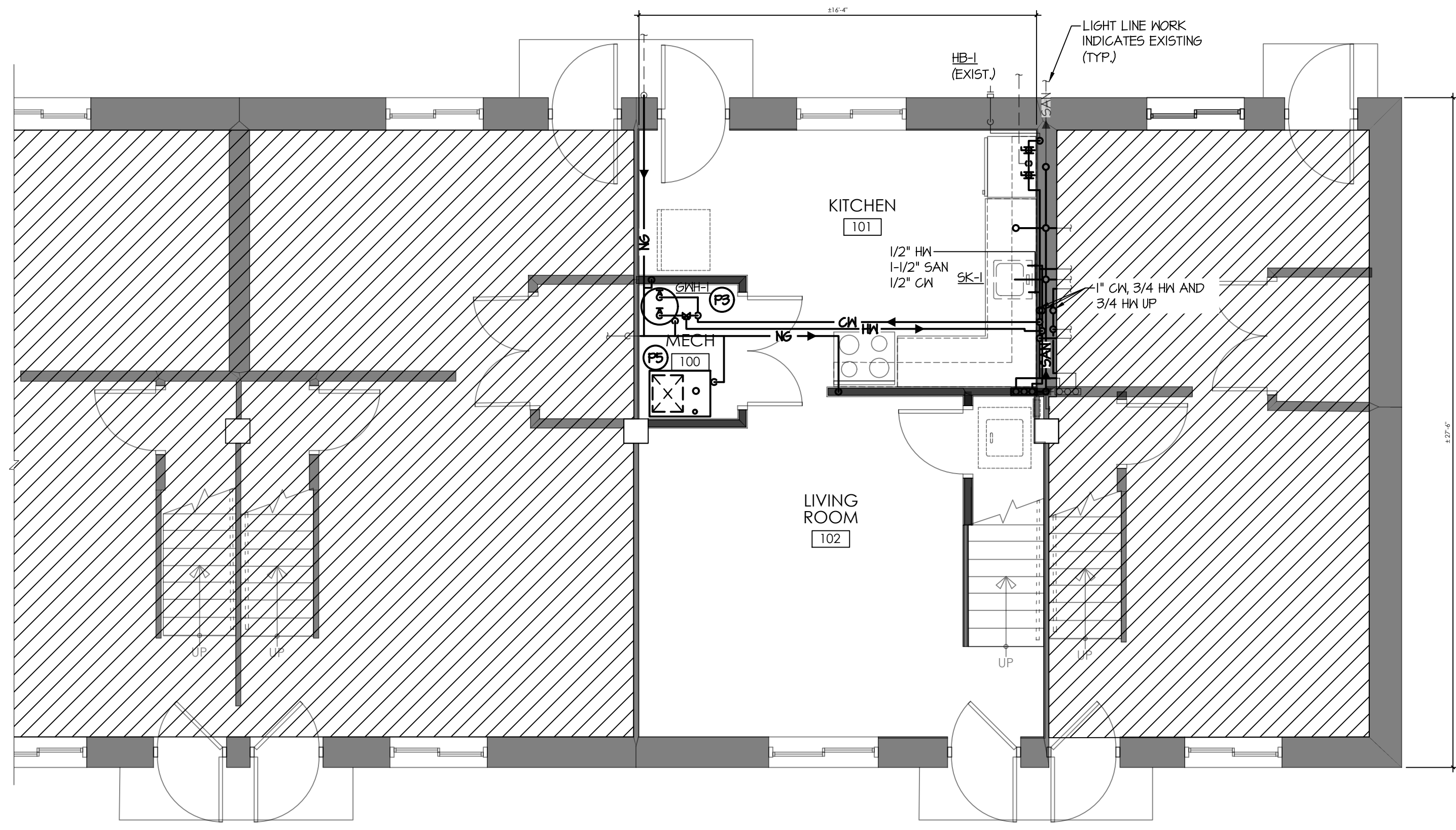
PLUMBING SCHEDULES AND DETAILS

DRAWING NUMBER:

P1.0



PLUMBING SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



PLUMBING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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GENERAL HVAC SPECIFICATIONS:

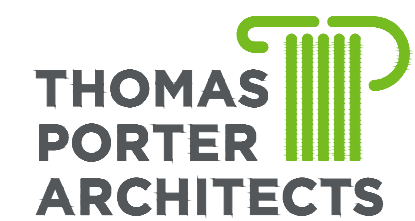
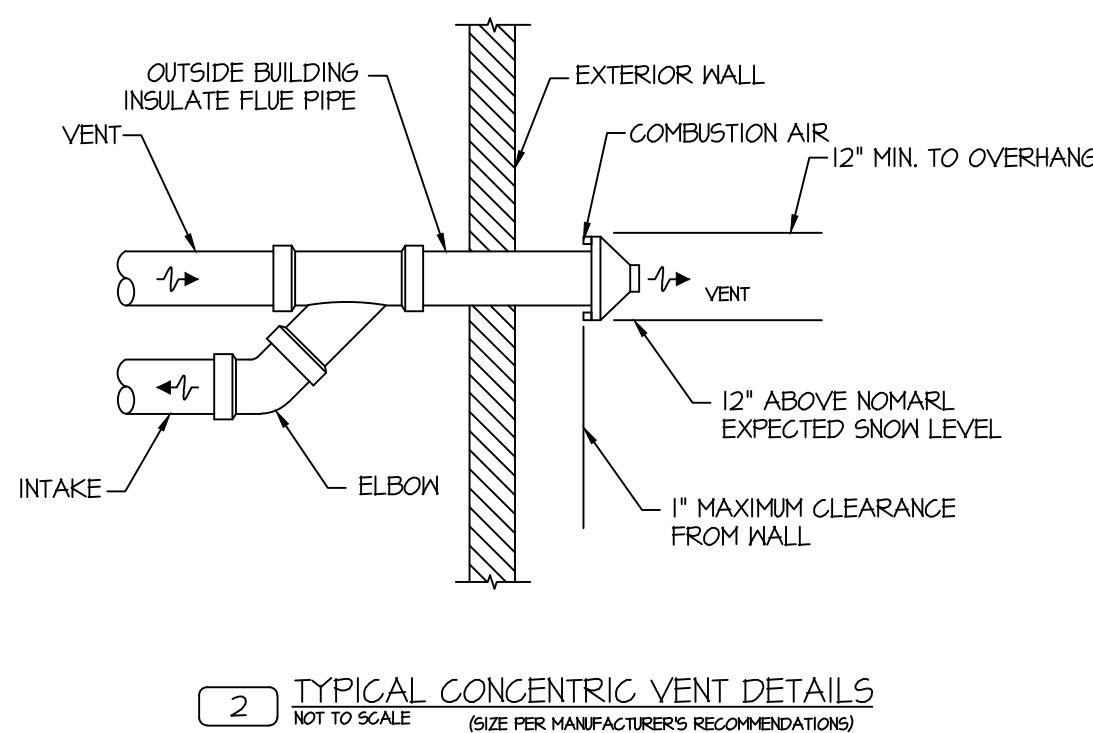
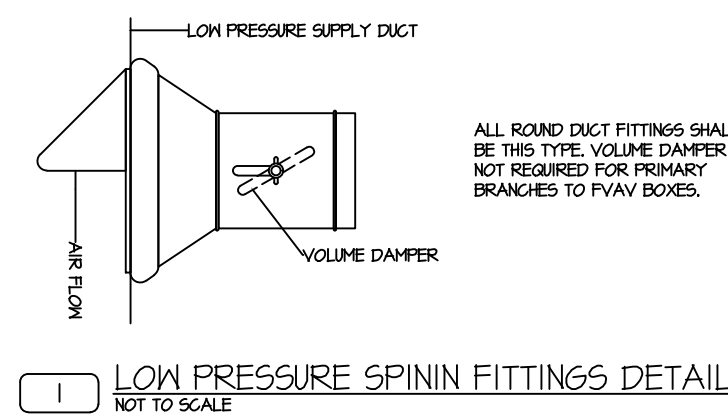
- A. CONTRACT DRAWINGS: IN GENERAL DRAWINGS ARE SCHEMATIC IN NATURE AND SHOW DESIGN INTENT TO MEET MECHANICAL BUILDING CODES, BUT DO NOT NECESSARILY SHOW ALL DETAILS, OFFSETS, ETC. ALL DRAWINGS ARE TO BE THOROUGHLY INSPECTED. THE CONTRACTORS WORK SHALL CONFORM TO THE INFORMATION CONTAINED IN THIS SPECIFICATION AND/OR AS INDICATED IN THE LATEST REVISION OF THE DRAWINGS REFERRED TO THEREIN. THE CONTRACTOR SHALL CONSULT WITH THE ENGINEER REGARDING ALL QUESTIONS ON WHICH HE MAY BE IN DOUBT BEFORE PROCEEDING WITH FABRICATION OF PARTS AFFECTED. THE CONTRACTOR SHALL PREPARE ALL ADDITIONAL DETAIL OR FIELD INSTALLATION DRAWINGS NECESSARY AT HIS OWN EXPENSE. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THE ENGINEER'S LAYOUT DRAWINGS AND DETERMINE IF ANY CHANGES ARE REQUIRED IN CONDUITS, PIPING RUNS, DRAINS, ETC. TO AVOID INTERFERENCE. MAJOR CHANGES SHALL NOT BE MADE WITHOUT THE APPROVAL OF THE ENGINEER. WHILE THE DRAWINGS ARE TO BE ADHERED TO AS CLOSELY AS POSSIBLE, THE CONTRACTOR HAS THE RIGHT TO VARY THE RUN OF CONDUITS, PIPING AND/OR DUCTS DURING PROGRESS OF THE WORK AS MAY BE FOUND NECESSARY OR DESIRABLE TO AVOID INTERFERENCES. MAJOR REVISIONS SHALL BE VERIFIED AND APPROVED BY THE ENGINEER.
- B. VERIFICATION: BEFORE RUNNING ANY CONDUITS, DUCT, PIPING, ETC. WITHIN THE BUILDING, THIS CONTRACTOR SHALL BE ASSURED THAT THEY CAN BE INSTALLED AS CONTEMPLATED WITHOUT TRAPPING OR INTERFERING WITH COLUMNS, BEAMS, FIXTURES, ETC. ANY NECESSARY MAJOR DEVIATION SHALL BE REFERRED TO THE ENGINEER FOR ADJUSTMENT BEFORE LINES ARE RUN, AT NO INCREASE IN CONTRACT PRICE. OF NECESSITY, OPENINGS, SUPPORTING STEEL, FIELD BUILT CURBS; ELECTRICAL DATA, SPACE REQUIREMENTS, ETC. WERE DESIGNED AROUND SPECIFIC PARAMETERS, WHEN THE CONTRACTOR DETERMINES THE MAKE OF EQUIPMENT TO BE PROVIDED FOR THE JOB, IT SHALL BE HIS RESPONSIBILITY TO VERIFY AND COORDINATE UNIT DIMENSIONS WITH GENERAL CONTRACTOR. AND ALL OTHER INTERESTED CONTRACTORS ON THE JOB. IT SHALL ALSO BECOME THE CONTRACTOR'S RESPONSIBILITY TO CHANGE AS NECESSARY, THROUGH THE ENGINEER, ALL REQUIRED DIMENSIONS SO THAT OPENINGS, SUPPORTING STEEL, CURBS, ELECTRICAL DATA, ETC. WILL FIT THE EQUIPMENT SUPPLIED. ANY ADDITIONAL COST WILL BE THE SOLE RESPONSIBILITY OF THIS CONTRACTOR. IN ADDITION, ELECTRICAL POWER, INTERLOCK, AND CONTROL DIAGRAMS AND PIPING ARRANGEMENTS WERE DESIGNED AROUND ONE SPECIFIC MANUFACTURER. IF ADDITIONAL WIRING, PIPING CONTROLS, ETC. ARE REQUIRED FOR OTHER EQUIPMENT, THIS CONTRACTOR SHALL INCLUDE THE COST OF THE SAME IN HIS PRICE. DIMENSIONS, ELEVATIONS AND RELATIVE LOCATIONS OF EXISTING EQUIPMENT, SEWERS, PIPES, DUCTS, CONDUITS, ETC. IN PLACES AS SHOWN ON THE DRAWINGS, ARE TAKEN FROM AS-BUILT AND RECORD DRAWINGS AND ARE DEEMED RELIABLE ONLY INsofar AS GENERAL LAYOUT IS CONCERNED. SUCH DIMENSIONS SHALL NOT BE USED FOR LAYOUT DRAWINGS NOR DETAILING OF COMPONENTS. THE RESPONSIBILITY FOR CHECKING IN PLACE ITEMS WILL BE THE CONTRACTORS. ALL MEASUREMENTS, THE EXACT DETERMINATION OF RELATIVE ELEVATIONS OR LOCATIONS, THE ASCERTAINING OF ACCURACY OF ALL GIVEN ELEVATIONS AND DIMENSIONS AND THE OBTAINING OF ALL NECESSARY ADDITIONAL INFORMATION TO INSURE THE PROPER FIT AND COORDINATION OF ALL CONDUIT EQUIPMENT, DUCTS, AND PIPING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- C. GUARANTEE: THE CONTRACTOR GUARANTEES BY HIS ACCEPTANCE OF THE CONTRACT THAT ALL WORK WILL BE FREE FROM DEFECTS IN WORKMANSHIP AND/OR MATERIALS AND THAT ALL APPARATUS WILL DEVELOP CAPACITIES AND CHARACTERISTICS SPECIFIED. SHOULD ANY DEFECTS IN WORKMANSHIP AND/OR MATERIAL REQUIRE REDESIGN OF ANY PART OF THE ELECTRICAL, MECHANICAL, HVAC, OR ARCHITECTURAL LAYOUT, ALL SUCH REDESIGN AND ALL NEW DRAWINGS AND DETAILING REQUIRED THERE OF SHALL, WITH THE APPROVAL OF THE ARCHITECT, BE PREPARED AT THE CONTRACTORS OWN EXPENSE. WHERE SUCH APPROVED DEVIATION REQUIRES A DIFFERENT QUANTITY AND ARRANGEMENT OF DUCTWORK, PIPING, WIRING, CONDUIT AND/OR EQUIPMENT FROM THAT SPECIFIED OR DETAILED ON THE DRAWINGS, WITH THE APPROVAL OF THE ARCHITECT, THE CONTRACTOR SHALL FURNISH AND INSTALL ALL SUCH MATERIALS AND/OR EQUIPMENT REQUIRED BY THE SYSTEM AT NO ADDITIONAL COST TO THE OWNER.
- D. SUBMITTALS: AFTER RECEIVING APPROVAL OF EQUIPMENT MANUFACTURERS AND PRIOR TO DELIVERY OF ANY MATERIAL TO THE JOB SITE AND SUFFICIENTLY IN ADVANCE OF THE REQUIREMENTS TO ALLOW THE ARCHITECT AMPLE TIME FOR CHECKING, SUBMIT FOR REVIEW DETAILED DIMENSIONED DRAWINGS AND/OR EQUIPMENT CUT SHEETS SHOWING CONSTRUCTION SIZE, ARRANGEMENT, OPERATING CLEARANCES, PERFORMANCE CHARACTERISTICS AND CAPACITY OF MATERIAL AND EQUIPMENT. SHOP DRAWINGS SHALL SHOW THE RATINGS OF ITEMS AND SYSTEMS AND HOW THE COMPONENTS OF AN ITEM AND SYSTEM ARE ASSEMBLED, FUNCTION TOGETHER AND HOW THEY WILL BE INSTALLED ON A PROJECT. DATA AND SHOP DRAWINGS FOR COMPONENT PARTS ON AN ITEM OR SYSTEM SHALL BE COORDINATED AND SUBMITTED AS UNIT. IT IS THE INTENT OF THESE CONTRACT DRAWINGS TO HAVE THE MECHANICAL CONTRACTOR PREPARE "AS-BUILT" RECORD DRAWINGS IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS.
- E. NEW WORK: UNLESS OTHERWISE NOTED, ALL WORK INDICATED THROUGHOUT THESE DRAWINGS SHALL BE CONSIDERED TO BE NEW WORK AND SHALL BE INCLUDED AS AN INTEGRAL PART OF THIS CONTRACT.
- F. TEMPERATURE CONTROL WIRING: MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPERATURE CONTROL WIRING REQUIRED FOR THE PROJECT. SYSTEM REQUIREMENTS.
- G. DUCTWORK CONSTRUCTION: ALL DUCTWORK SHALL BE CONSTRUCTED FOR THE STATIC PRESSURE CLASSIFICATION INDICATED IN THIS SPECIFICATION FURNISH TURNING VANES IN ALL SUPPLY AIR RECTANGULAR DUCTWORK ELBOWS AND T-SPLITS (REFER TO APPROPRIATE DETAIL FOR ADDITIONAL REQUIREMENTS). THE GENERAL ROUTING IN CEILING VOID SPACE SHALL BE DETERMINED BY THE JOB SITE CONDITIONS AND SHALL BE COORDINATED WITH ALL OTHER CONSTRUCTION TRADES. ALL DUCT SIZES ARE GIVEN IN INTERNAL CLEARANCES. DUCT LOCATED IN UNCONDITIONED SPACE TO CONSIST OF 1" INSULATION. DUCTWORK TO BE CONSIDERED AS LOW PRESSURE CLASS GALVANIZED SHEET METAL DUCT WITH MAXIMUM 1/2" H₂O STATIC PRESSURE CLASS AND SEAL CLASS C. INTERIOR EXPOSED DUCT TO HAVE FINISH TRIM COLLAR. DUCT LOCATED OUTSIDE TO BE WRAPPED WITH WEATHER PROOF INSULATION. CONTRACTOR TO CONNECT DUCT TO COOLING/HEATING UNIT WITH FLEXIBLE NEOPRENE DUCT CONNECTORS TO MINIMIZE DUCT VIBRATION AND NOISE. CONTRACTOR TO INSTALL A CONTROL DAMPER IN SUPPLY & RETURN BRANCH DUCT PRIOR TO EACH AND EVERY ROOM TERMINAL FOR AIR BALANCING. CONTRACTOR TO SEAL ALL DUCT PENETRATIONS THROUGH ROOF AND EXTERIOR WALLS. PROVIDE PROPER FLASHING, SLEEVES AND WEATHER PROOFING INCLUDING BIRD SCREENS AND RAIN CAPS. ALL ROOF CURBS TO BE PROPERLY INSTALLED AND SIZED FOR THE EQUIPMENT INTENDED. PROVIDE FLASHING AND WEATHER PROOFING AT CURB. ALL DUCTWORK TO BE INSTALLED AND CONSTRUCTED PER SMACNA STANDARDS.
- H. AIR DEVICE LOCATION: THE MECHANICAL CONTRACTOR SHALL REFER TO THE ARCHITECTURAL CEILING PLAN AND THE ELECTRICAL LIGHTING PLAN FOR ALL AIR DEVICE LOCATIONS. THE LOCATIONS INDICATED ON THE HVAC FLOOR PLAN ARE INTENDED FOR GENERAL POSITIONING PURPOSES ONLY.
- I. MECHANICAL COORDINATION DRAWINGS: THE MECHANICAL CONTRACTOR SHALL PROVIDE COMPLETE AND DETAILED MECHANICAL SYSTEM COORDINATION DRAWINGS WHICH SHALL BE SUBMITTED AND APPROVED BY THE ENGINEER BEFORE ANY MATERIALS OR EQUIPMENT ARE INSTALLED BY THE CONTRACTOR. (NOT APPLICABLE)
- J. PENETRATIONS: CONTRACTOR TO SEAL ALL DUCT PENETRATIONS THROUGH ROOF AND EXTERIOR WALLS PROVIDE PROPER FLASHING, SLEEVES AND WEATHER PROOFING INCLUDING BIRD SCREENS AND RAIN CAPS. ALL FRESH AIR INTAKE OPENINGS TO BE LOCATED A MINIMUM OF 10' HORIZONTAL OR 2' BELOW ANY HAZARDOUS OR NOXIOUS CONTAMINATES, SUCH AS COMBUSTION VENTS, CHIMNEYS, AND HVAC VENTS. CONTRACTOR TO PITCH ALL VENT/INTAKE PIPING AND CONDENSATE PIPING ACCORDING TO MANUFACTURERS SPECIFICATIONS FOR ALL FURNACES AND CONDENSER UNITS.
- K. EQUIPMENT CURBS AND PADS: ALL ROOF CURBS TO BE PROPERLY INSTALLED AND SIZED FOR THE EQUIPMENT INTENDED. PROVIDE FLASHING AND WEATHER PROOFING AT CURB.
- L. AIR BALANCE: CONTRACTOR TO AIR BALANCE HVAC SYSTEM FOR PROPER AIR DISTRIBUTION AT EACH ROOM TERMINAL.

SYMBOL SCHEDULE	
SYMBOL	DESCRIPTION
	CEILING SUPPLY AIR REGISTER
	RETURN GRILLE
	EXHAUST FAN
	AIR VOLUME CONTROL DAMPER
	7-DAY PROGRAMMABLE THERMOSTAT WITH NIGHT SET BACK (M4-40' TO TOP)
	UNIT HEATER
	FIRE DAMPER, 1 HR. RATED IN HORIZONTAL DUCT
	FIRE DAMPER, 1 HR. RATED IN VERTICAL DUCT

HEATING AND COOLING UNIT SCHEDULE														
TAG	DESCRIPTION	MANUF.	MODEL NO.	POWER / MCA	TONNAGE	COIL	SEER	BTU INPUT	BTU OUTPUT	AFUE%	SUPPLY CFM	S.P.	O.A. CFM	REMARKS
FU-1 (BASE BID)	DOWNFLOW FURNACE	RHEEM	CLASSIC PLUS SERIES	115/1 12A	--	--	--	56,000	54,000	95%	700	1/2"	--	1,2,4,5,6
FU-1 (ALT)	DOWNFLOW FURNACE	RHEEM	CLASSIC PLUS SERIES	115/1 12A	--	--	--	75,000	61,000	80%	700	1/2"	--	1,3,4,5,6
REMARKS														
1) UNIT TO BE EQUIPPED WITH DISCONNECT SWITCH.						4) COMPLETE WITH CONCENTRIC VENT KIT.								
2) BASE BID (ENERGY STAR COMPLIANT)						5) OUTSIDE AIR IS PROVIDED BY NATURAL VENTILATION.								
3) DEDUCT ALTERNATE						6) FIELD ROUTE CONDENSATE DRAIN TO NEAREST FLOOR DRAIN. PROVIDE 1/2" AIR GAP CONNECTION.								

EXHAUST FAN SCHEDULE							
TAG	MANUFACTURE	MODEL NO.	POWER	CFM	S.P.	FRPM	REMARKS
EF-1	PANASONIC	FV-08WQ1	120V / 0.2A	70	1/4"	660	1, 2, 3
REMARKS							
1) VENT THROUGH SIDEWALL WITH WEATHER CAP & BIRD SCREEN		2) INTERLOCK WITH RESTROOM LIGHT SWITCH			3) SIDEWALL MOUNT		

DIFFUSER, REGISTER, AND GRILLE SCHEDULE																					
REF.	SERVICE AND TYPE	MAKE AND MODEL	ACCESSORIES				MATERIAL			FINISH		COLOR			MISC.	REMARKS					
			MULTI-SPLITTER VALVE	OPPOSED BLADE DAMPER	ISO. TO ROUND ADAPTER	SEPARATE PLASTER FRAME	OTHER ADAPTER	STEEL	ALUMINUM	STAINLESS STEEL	BAKED ENAMEL	LACQUER	GOLDEN SAND	STANDARD GREY			CLEAR OR LACQUER	STANDARD OFF-WHITE	MATCH T-BAR	MATCH GELLING	DEFLECTION
A	SUPPLY REGISTER	HART & COOLEY 406	X					X				X								18"x4.5" SUPPLY REGISTER (BASEBOARD MOUNT)	
B	RETURN REGISTER	HART & COOLEY 650						X					X						20"	1/3"	16"x24" RETURN REGISTER (LOW SIDE WALL)
C	SUPPLY REGISTER	HART & COOLEY 420						X				X									10"x4" SUPPLY REGISTER (TOE KICK GRILLE)



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**BIRMINGHAM TERRACE
UNIT REPAIRS AND RENOVATIONS**

26 BIRMINGHAM TERRACE
TOLEDO, OHIO 43605

PROJECT TITLE:

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DATE

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DESIGNED: VDG

DRAWN: VDG

CHECKED: VDG

TPA COMMISSION NUMBER: **22022**

DRAWING TITLE:

**HVAC
SCHEDULES AND
DETAILS**

DRAWING NUMBER:

M1.0

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1/2"=1'-0"

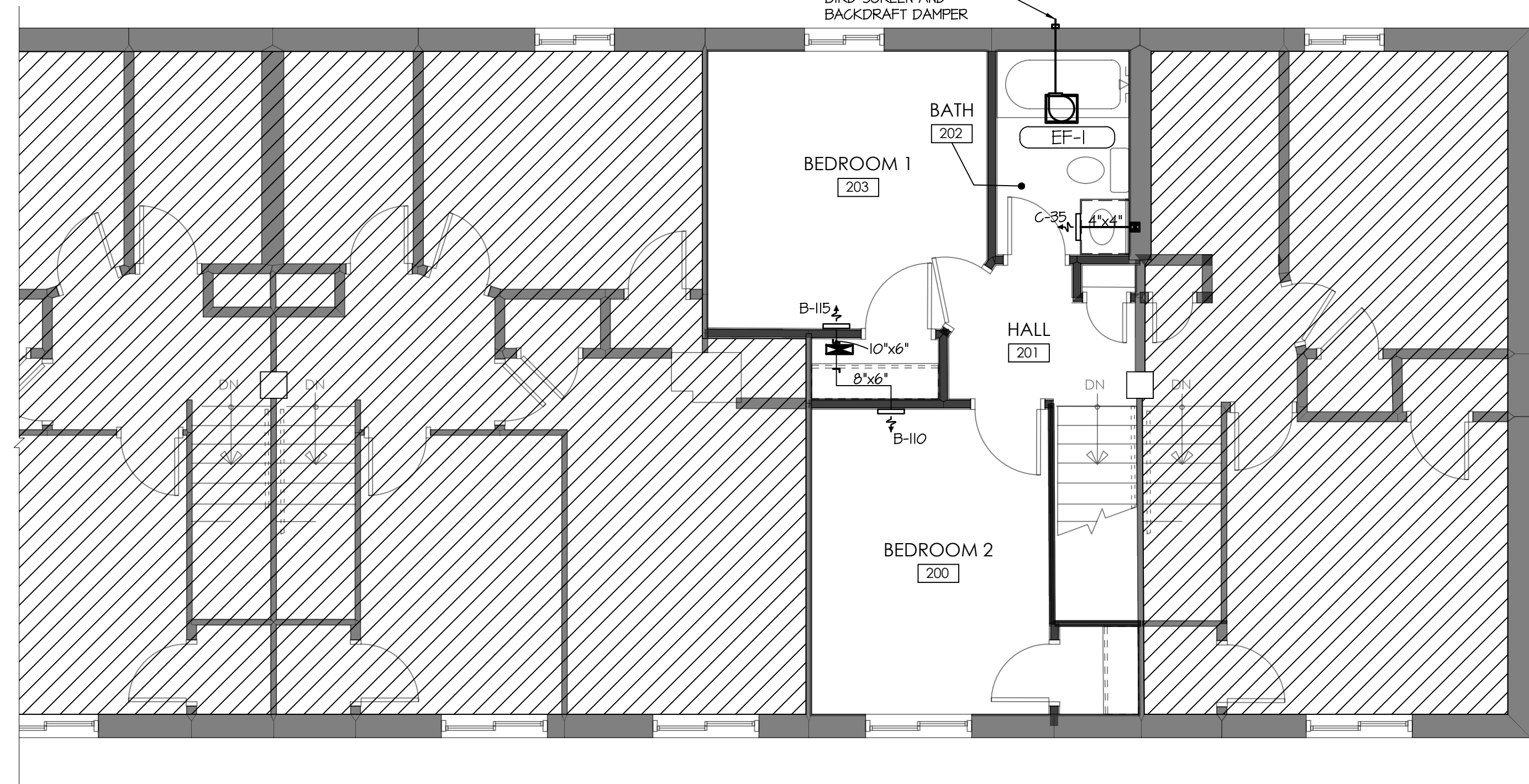
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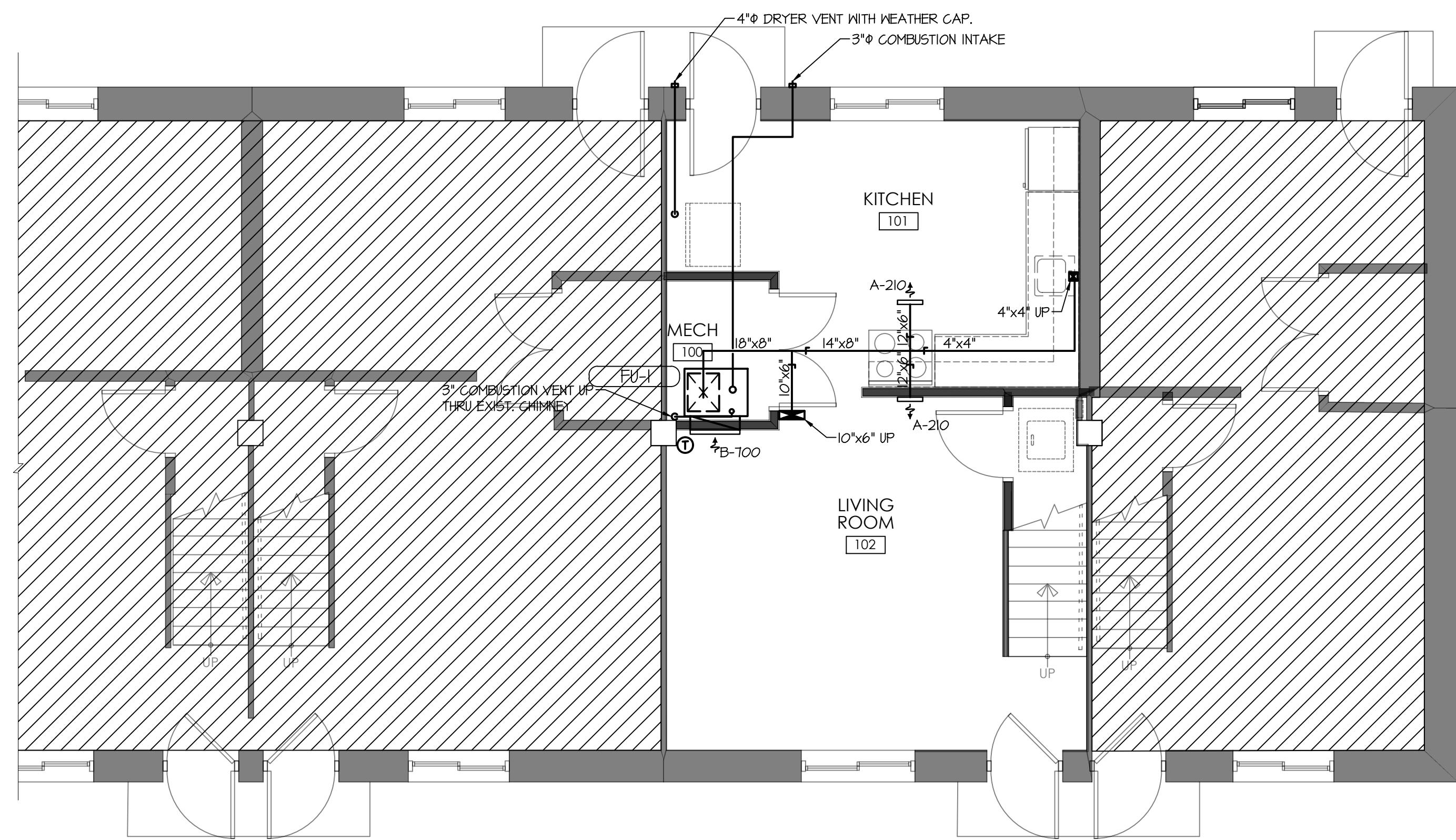
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1 1/2"=1'-0"

0 5 10 15 20
1"=20'

0 10 20 30
1"=30'



HVAC SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



HVAC FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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DRAWING TITLE:

**HVAC
FLOOR PLANS**

DRAWING NUMBER:

M2.0

GENERAL SCOPE OF WORK AND ELECTRICAL SPECIFICATIONS:

- GENERAL SCOPE OF WORK: FURNISH AND INSTALL ALL LABOR, MATERIALS, TOOLS, ETC. TO PROVIDE A COMPLETE AND OPERATIONAL ELECTRICAL INSTALLATION, AS INDICATED ON THE PLANS. CONTRACTOR SHALL REFER TO THE WORK INDICATED ON THE ASSOCIATED MECHANICAL, ELECTRICAL, ARCHITECTURAL AND STRUCTURAL PLANS, ETC. AS WORK SHOWN THEREON MAY AFFECT OR INCLUDE ADDITIONAL ELECTRICAL WORK. ALL MATERIALS INCLUDED IN THE WORK SHALL BE NEW UNLESS SPECIFICALLY NOTED OTHERWISE, EACH ITEM SHALL BE U.L. LISTED OR LABELED TO ASSURE ITS SUITABILITY AND APPROVAL FOR THE PURPOSE SHOWN. ALL LABOR SHALL BE PERFORMED BY QUALIFIED AND SKILLED WORKERS, IN A NEAT AND WORKMANLIKE MANNER, AND IN ACCORDANCE WITH INDUSTRY STANDARDS AND PRACTICES.
- PRIOR TO RELEASING ANY ORDER FOR MATERIAL FOR THIS PROJECT, THE CONTRACTOR SHALL SUBMIT FOR REVIEW DETAILED DRAWINGS AND/OR EQUIPMENT CUT SHEETS, SHOWING DIMENSIONS, SIZES, WEIGHTS, ELECTRICAL RATINGS AND OPERATING CHARACTERISTICS, CAPACITIES, MATERIALS, COLORS AND FINISH REQUIREMENTS, FOR ALL MAJOR EQUIPMENT SUPPLIED. SUBMITTALS SHALL BE MADE SUFFICIENTLY IN ADVANCE OF THE REQUIRED ORDER RELEASE DATE TO ALLOW THE OWNER AMPLE TIME TO REVIEW SUCH INFORMATION. MULTIPLE COMPONENTS INTENDED TO FUNCTION TOGETHER, SHALL BE COORDINATED AND SUBMITTED AS A UNIT.
- CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF THE OWNER AND THE OPERATIONS OF THE OWNER. ALL SHUTDOWN WORK SHALL BE PERFORMED AT TIMES WHICH WILL NOT INTERFERE WITH THE REGULAR OPERATION OF THE FACILITY AND THE OWNER. CONTRACTOR SHALL NOTIFY ALL AFFECTED PARTIES AT LEAST FOURTEEN DAYS PRIOR TO SHUTDOWNS AND CUT-OVERS.
- ELECTRICAL WORK SHALL COMPLY WITH REQUIREMENTS OF NATIONAL ELECTRICAL CODE, NATIONAL ELECTRICAL SAFETY CODE OF BUREAU OF STANDARDS, STATE BUILDING RULES AND REGULATIONS AND LOCAL ORDINANCES, AND SUCH OTHER STATUTORY PROVISIONS THAT PERTAIN TO THIS CLASS OF WORK.
- CONTRACTOR SHALL GUARANTEE THIS INSTALLATION AGAINST DEFECTS IN EQUIPMENT AND/OR WORKMANSHIP FOR A PERIOD OF TWELVE (12) MONTHS FROM DATE OF FINAL ACCEPTANCE.
- CONTRACTOR SHALL VISIT THE SITE AND EXAMINE THE PREMISES AND SHALL FULLY INFORM HIMSELF AS TO THE CONDITIONS UNDER WHICH WORK IS TO BE DONE. FAILURE TO DO SO SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR THE FULL PERFORMANCE OF THE CONTRACT.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS NECESSARY FOR PROPER EXECUTION OF THE WORK. ALL MATERIALS SHALL BE NEW AND BEST OF THEIR RESPECTIVE KINDS FOR USE INTENDED, MATERIAL SHALL BE APPROVED BY U.L. INC. OF NATIONAL BOARD OF UNDERWRITERS.
- SUPPLY UPDATED PANELBOARD DIRECTORIES, NEATLY TYPED FOR ALL PANELS.
- CONDUCTORS FOR POWER SHALL BE 300 VOLT STRANDED COPPER THINWALL NO. 12 AWG MIN. (#14 AWG FOR CONTROL WIRING). CONDUIT SHALL BE 1/2" EMT MIN, (GRS AND PVC CONDUIT FOR OUTDOOR WORK).
- CONTRACTOR SHALL OBTAIN ALL NECESSARY ELECTRICAL PERMITS AND CERTIFICATES OF INSPECTION FOR CONSTRUCTION.
- WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADE. ELECTRICAL WORK SHALL BE INSTALLED BY JOURNEYMAN ELECTRICIANS, UNDER THE DIRECT SUPERVISION OF A COMPETENT FOREMAN. AT NO TIME SHALL ELECTRICAL WORK BE INSTALLED BY APPRENTICE ELECTRICIANS OR LABORERS WITHOUT THE IMMEDIATE, ON THE JOB SUPERVISION OF A JOURNEYMAN ELECTRICIAN.
- CONTRACTOR SHALL COORDINATE HIS WORK WITH BUILDING OWNER. CONTRACTOR SHALL DO ALL CUTTING, FITTING AND PATCHING THAT MAY BE REQUIRED.
- ELECTRICAL CONTRACTOR SHALL USE CONDUIT WHERE CALLED FOR ON DRAWINGS OR REQUIRED BY NATIONAL, STATE OR LOCAL CODES, MINIMUM SIZE SHALL BE 1/2".
- ELECTRICAL CONTRACTOR SHALL COORDINATE ALL POWER WIRING, SAFETY DISCONNECT MEANS, MOTOR CONTROL AND CONTROL WIRING FOR HEATING EQUIPMENT WITH THE EQUIPMENT SHOP DRAWINGS, MANUFACTURER RECOMMENDATIONS AND IN ACCORDANCE WITH THE N.E.C.
- NOT USED.
- ALL SINGLE POLE 15 AMP AND 20 AMP CIRCUITS SHALL HAVE INDIVIDUAL NEUTRALS TO COMPLY WITH THE NEC. EACH NEUTRAL SHALL BE IDENTIFIED AT EACH JUNCTION BOX AND TERMINALS THE SAME AS IT'S CORRESPONDING BRANCH CIRCUIT NUMBER.
- LEGRAND 500/100 SERIES OR SIMILAR FOR WIRE MOLD WHERE SURFACE MOUNTED CONDUIT IS REQUIRED ON CONCRETE CEILING/FLOORS AND IDENTIFIED TO REMAIN FOR PLASTER WALLS.

SYMBOL LEGEND

SYMBOLS	DESCRIPTION
LED	LED OR H.I.D. LIGHTING FIXTURE, LETTER INDICATES TYPE SEE LIGHTING FIXTURE SCHEDULE
W	WALL MOUNTED LIGHTING FIXTURE, LETTER INDICATES TYPE SEE LIGHTING FIXTURE SCHEDULE
S	SINGLE POLE SWITCH, 20A, 120V, MH = 4'-0" UNLESS NOTED.
S3	3-WAY SWITCH, 20A, 120V, MH = 4'-0" UNLESS NOTED.
S4	4-WAY SWITCH, 20A, 120V, MH = 4'-0" UNLESS NOTED.
SP	PILOT SWITCH, 20A, 120V, MH = 4'-0" UNLESS NOTED.
R	SINGLE RECEPTACLE, 30A, 125V, 2-POLE, 3-WIRE GROUNDING TYPE, UNLESS OTHERWISE NOTED
R2	TAMPER PROOF DUPLEX RECEPTACLE, 20A, 125VOLT, 2-POLE, 3-WIRE, GROUNDING TYPE, MH = 12" UNO.
RF	FUSED SWITCH UNIT, 15A, 120V UNO
R2F	TAMPER PROOF GFI TYPE RECEPTACLE, 20A, 125V, 2-POLE, 3-WIRE GROUNDING TYPE, MH = 12" UNO
---	CONDUIT CONCEALED IN OR UNDER FLOOR OR BURIED.
---	CONDUIT EXPOSED OR ABOVE CEILING.
NS	NON-FUSIBLE DISCONNECT SWITCH 300V, 2-POLE UNO, SWITCH SIZE AS INDICATED
NSF	FUSIBLE DISCONNECT SWITCH 300V, 2-POLE UNO, SWITCH SIZE AND FUSE SIZE AS INDICATED
MH	MOUNTED HEIGHT - FROM FINISHED FLOOR TO BOTTOM OF EQUIPMENT
WP	WEATHERPROOF
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
GFI	GROUND FAULT INTERRUPTER
EC	ELECTRICAL CONTRACTOR
MC	MECHANICAL CONTRACTOR
☉	COMBINATION FIRE ALARM SMOKE/CARBON MONOXIDE DETECTOR 120V, WITH BATTERY BACKUP & DUAL SENSOR SMOKE (IONIZATION AND PHOTOELECTRIC) TECHNOLOGY. DETECTORS SHALL ALSO HAVE DUAL CONTACTS FOR INTER-CONNECT WIRING WITH-IN EACH DWELLING UNIT.
☉	CARBON MONOXIDE DETECTOR, 120V, WITH BATTERY BACK-UP, AND COMPLY WITH UL2034.
☉	SPECIAL RECEPTACLE 40A, 240V, 1P, 3W, GROUNDING TYPE, MH = 12" UNO.
☉	ELECTRICAL SERVICE PANEL
MS	COMBINATION MAGNETIC MOTOR STARTER - FULL VOLTAGE TYPE WITH FUSIBLE DISCONNECT SWITCH, NEMA STARTER SIZE AND FUSE SIZE AS INDICATED
2 #12 + #10-50%	INDICATES QUANTITY AND SIZE OF POWER CONDUCTORS, SIZE OF GROUNDING CONDUCTOR (IF ANY) AND CONDUIT SIZE.
☉	JUNCTION BOX SPECIFICALLY REQUIRED AT LOCATION SHOWN
☉	MOTOR, HOSEPOWER AS INDICATED
M	MANUAL MOTOR STARTER, MOUNTED TO UNIT, UNO.
TR	TRANSFORMER KVA AS INDICATED
TC	TIME CLOCK - 120V, 24 HOUR, ASTRONOMICAL TYPE, TORK OR APPROVED EQUAL
ES	EQUIPMENT SUPPLIER
NTS	NOT TO SCALE
FBO	FURNISHED BY OTHERS
UNO	UNLESS NOTED OTHERWISE
CP	CONTROL PANEL, FBO
→	CONDUIT TURNING UP
←	CONDUIT TURNING DOWN
→	INDICATES CIRCUITS TO PANEL, UNLESS NOTED.
◀	TELEPHONE SYSTEM FLUSH WALL OUTLET, MH=12" UNO. (4" SQ. J-BOX I-GANG PLASTER RING)
◀	COMPUTER SYSTEM WALL OUTLET, MH=12" UNO. (4" SQ. J-BOX I-GANG PLASTER RING) STUBBED ABOVE CEILING)
DC	SURFACE MOUNTED DOOR CHIME, NUTONE OR OWNER APPROVED EQUAL
■	DOOR CHIME PUSHBUTTON
44	44" NEXT TO SYMBOL INDICATES SYMBOL MH. = 44" AFF
G	SURFACE MOUNTED GARAGE DOOR OPENER
L	SURFACE MOUNTED LIGHT FIXTURE
○	RECESSED CAN LIGHT
⊕	DECORATIVE EXTERIOR GOOSENECK WALL SCONCE
□	GARAGE DOOR PUSH BUTTON
□	EXTERIOR COACH LIGHT
⊕	FLOOR DUPLEX RECEPTACLE 20A, 125V, 2P, 3W, FLUSH FL. TYPE
A.H.J.	AUTHORITY HAVING JURISDICTION

NOTE: NOT ALL SYMBOLS ARE USED.

EQUIPMENT & LIGHTING FIXTURE SCHEDULE					
TYPE	LAMPS	DESCRIPTION	VOLTS	MFR. CAT. NO.	
A	(2) LOW LED	13" CEILING MOUNTED FIXTURE WITH LED LAMPS IN WHITE FINISH.	120	SEAGULL T5942ENB-15	
B	(1) LOW LED	11.5" CEILING MOUNTED FIXTURE WITH LED LAMP IN WHITE FINISH.	120	SEAGULL T5940ENB-15	
C	(3) LOW LED	24" BATH VANITY FIXTURE WITH LED LAMPS IN CHROME FINISH.	120	SEAGULL 4440303ENB-05	
D	(2) LOW LED	15.25" CEILING MOUNTED FIXTURE WITH LED LAMPS IN WHITE FINISH.	120	SEAGULL 44851EN-182-WHITE	
F	(1) LOW LED	CEILING MOUNTED PORCELAIN LAMP HOLDER WITH FULL CHAIN AND WHITE FINISH, GE LED ENERGY STAR CERTIFIED BULB.	120	LEVITON OR EQUAL	
G	(1) LOW LED	EXISTING 4.5" EXTERIOR WALL MOUNTED LED FIXTURE IN BLACK FINISH. DETACH, REWIRE AND RESET.	120	PROGRESS P560012-031-30	
H	(1) LOW LED	24" LED LINKABLE UNDERCABINET LIGHT WITH RUGGED POST-PAINTED LOW PROFILE STEEL HOUSING AND WHITE ACRYLIC DIFFUSER, WHITE FINISH, ON/OFF ROCKER SWITCH.	120	LITHONIA #UCEL-24IN-30K-40CRI-5NR-WH OR OWNER APPROVED EQUAL	
S/C	SUPPLIED WITH UNIT	COMBINATION SMOKE/CO DETECTOR, 9V BATTERY BACK-UP, LED INDICATOR, 85DB @ 10'-0" TEST RESET W/MEMORY (120V HARDWIRED & INTERCONNECTED)	120	GENTEX GN-503 SERIES	
EF-1	(1) 24W LED	BATH EXHAUST FAN TO CFM	120	PANASONIC FV-08MGI	
HOOD	(1) 13.5W LED	DUCTED, WALL MOUNT, THERMALLY PROTECTED, 6" X 30" W3" X 10" DAMPER 13.5W LED A14, 2-SPEED ROCKER SWITCH.	120	NUTONE 43000 SERIES-WHITE OR STAINLESS STEEL SELECTED BY OWNER	

NOTE:

- COORDINATE ALL MOUNTING HEIGHTS AND LOCATIONS WITH OWNER/ARCHITECT PRIOR TO ROUGH-IN ELECTRICAL.
- ALL LIGHTING FIXTURES, CEILING FANS AND BATH/EXHAUST FANS MUST BEAR THE EPA ENERGY STAR LABEL.
- MANUFACTURER AND CATALOG NUMBER SHOWN ARE A BASIS OF SPECIFICATION. ALTERNATIVES OR SUBSTITUTIONS MUST BE SUBMITTED TO OWNER/ARCHITECT 10 DAYS PRIOR TO BID FOR CONSIDERATION.
- ALL LED LAMPS SHALL BE WARM WHITE (2700° K) AS MANUFACTURED BY CREE OR SATCO LAMPS.
- FAN-1/FAN-2 AND HOOD SUPPLIED BY ELEC. CONTRACTOR AND COORDINATED WITH HVAC CONTRACTOR FOR DUCT TO OUTSIDE.

NEW ELECTRICAL PANEL SCHEDULE													
PANEL PJ TYPE 120/240V 1PH 3W SURFACE OR FLUSH SURFACE MAIN LUGS 100A M.C.B. RATING 22000						BLDG DATE 12/16/2022 LOCATION KITCHEN FEEDER 3P3 & 1P3G - 11/4"IC TOP OR BOTTOM BOTTOM FED FROM TOLEDO EDISON ON SITE NOTES							
CIRCUIT	DESCRIPTION	WIRE SIZE	VA	C.B.		A	B	C.B.		VA	WIRE SIZE	DESCRIPTION	CIRCUIT
				AMP	P			AMP	P				
10	BEDROOM 1 RECEPT/ALTG.	12	740	20	1	2020		20	1	1280	12	LIVING & KITCH. LTG/PWR	10
11	BEDRM 2/HALL RECEPT/ALTG.	12	920	20	1		2120	20	1	1200	12	KITCH. COUNTER RECEPT	11
12	REFRIGERATOR	12	800	20	1	1800		20	1	1000	12	KITCH. COUNTER RECEPT	12
13	KITCHEN COUNTER RECEPT	12	1000	20	1		1200	20	1	200	12	MECH/LAUNDRY	13
14	DRYER	10	2250	30	2	3750		20	1	1500	12	WASHER	14
15		-	2250	-	-		3414	20	1	1224	12	FU-I	15
16	BATHROOM LTG/PWR	12	400	20	1	1100		20	1	700	12	OVENHOOD	16
17	SPARE	12	-	20	1	-	200	20	1	200	12	EXTERIOR RECEPT/ALTG	17
18	SPARE	12	-	20	1	-	-	20	1	-	12	SPARE	18
						8610	6494						
TOTAL CONN. LOAD: 15664 VA									TOTAL AMPS: 65.3 AMPS				
DEMAND LOAD: 12531.2 VA									TOTAL AMPS: 52.2 AMPS				

☉ = DENOTES ARC-FAULT, CIRCUIT INTERRUPTER COMBINATION TYPE BREAKER

NOTE: ALL BRANCH CIRCUITS FEEDING RECEPTACLES INSTALLED IN KITCHENS, BEDROOMS, LIVING ROOMS, DINING ROOMS, CLOSETS, HALLWAYS AND LAUNDRY AREAS SHALL BE ARC-FAULT, CIRCUIT INTERRUPTER COMBINATION TYPE PER N.E.C. 210.12.



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SEAL:



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BIRMINGHAM TERRACE
UNIT REPAIRS AND RENOVATIONS

26 BIRMINGHAM TERRACE
TOLEDO, OHIO 43605

PROJECT TITLE:

ISSUE OR REVISION:

02.09.2023

ISSUE FOR PERMIT

DATE

ISSUE / REVISION

DESIGNED: VDG

DRAWN: VDG

CHECKED: VDG

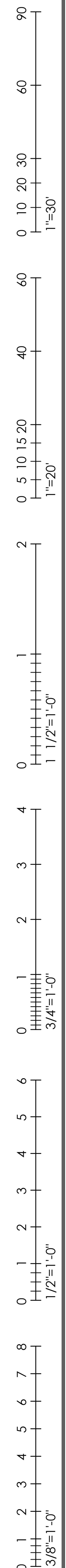
TPA COMMISSION NUMBER: 22022

DRAWING TITLE:

ELECTRICAL
SCHEDULES AND
SPECIFICATIONS

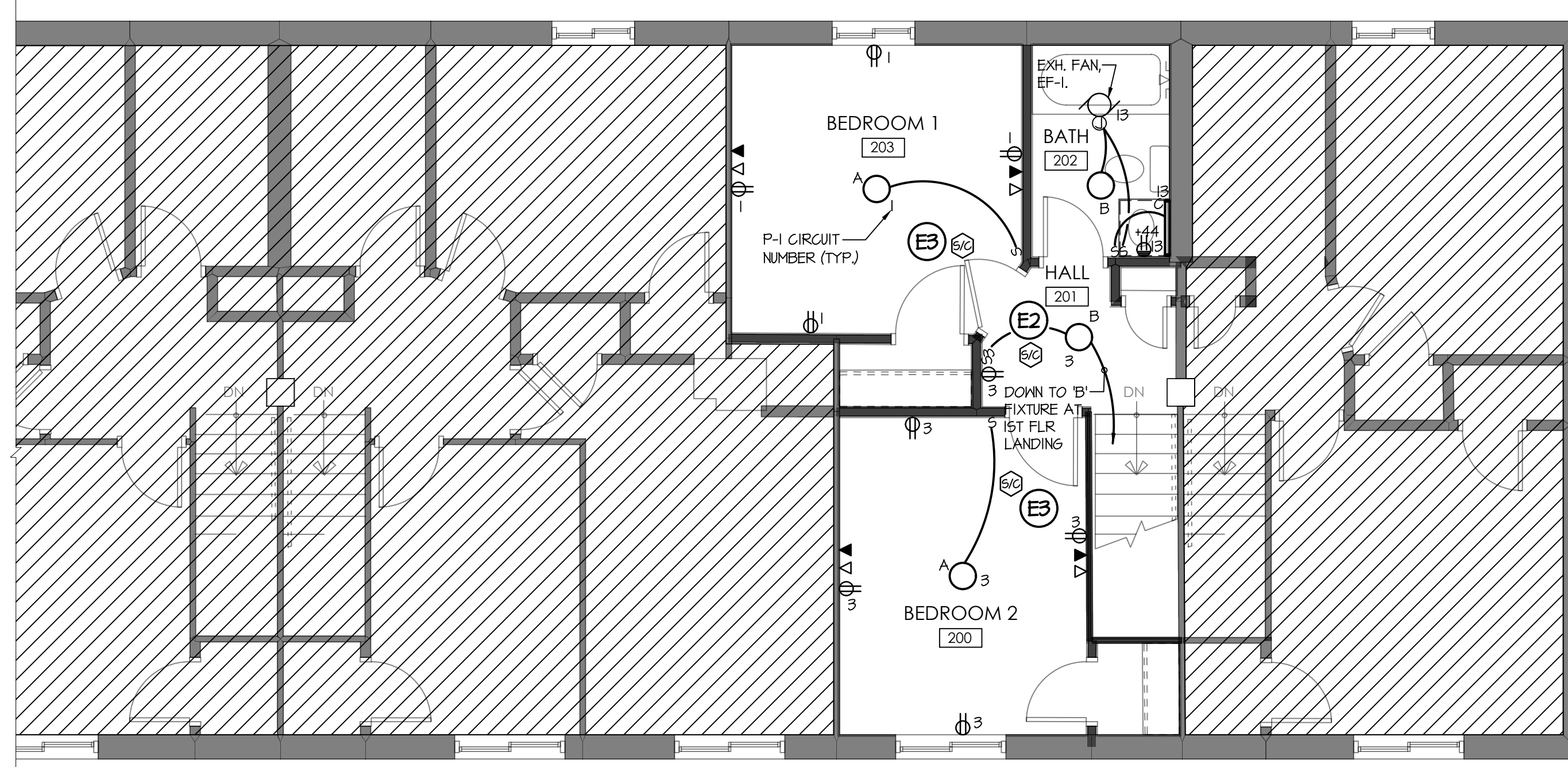
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E1.0



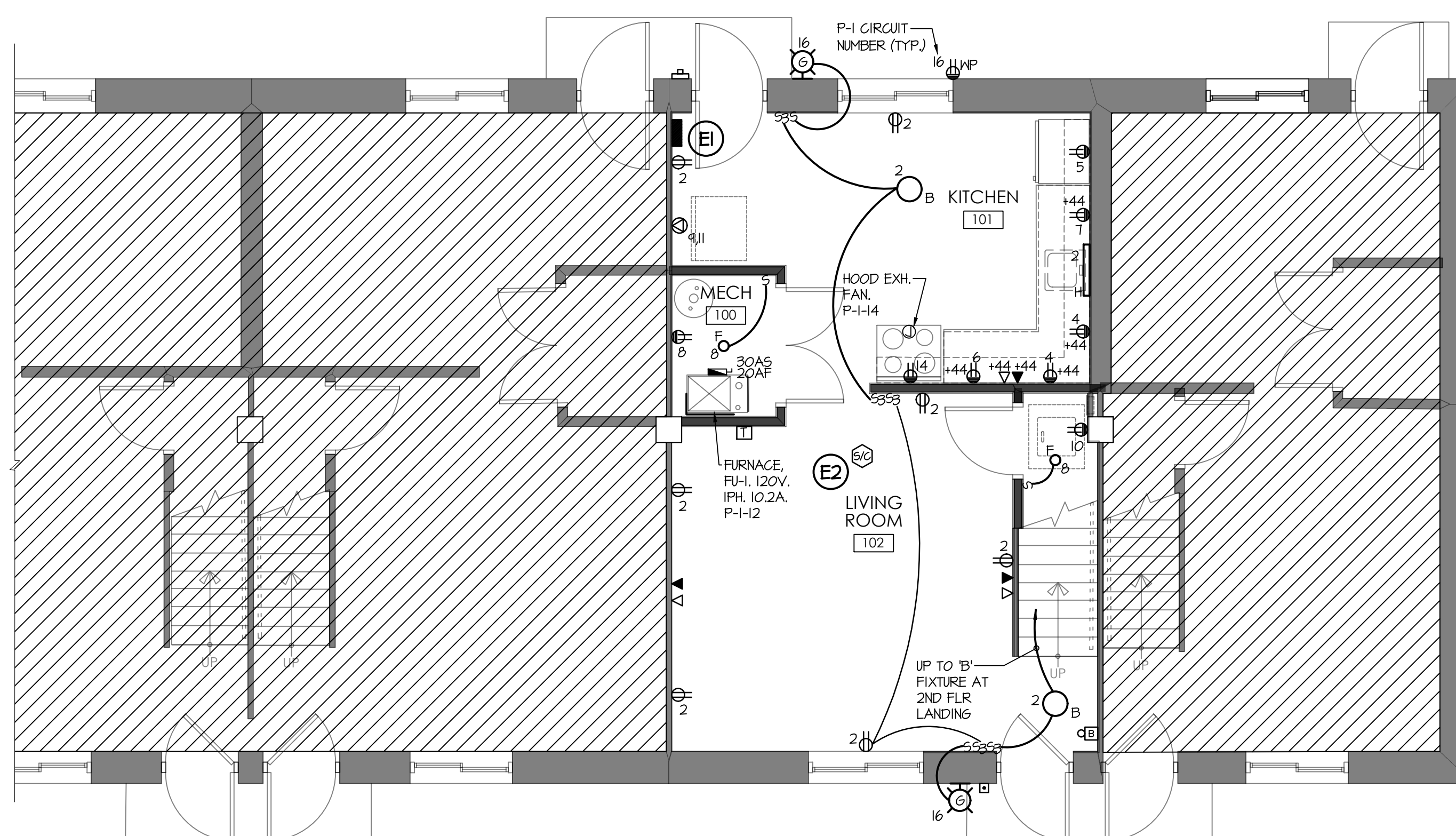
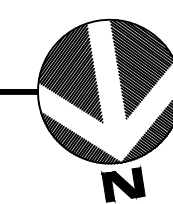
ELECTRICAL PLAN KEY NOTES:

- ⓑ - REMOVE THE EXISTING 120/240V., 1PH, 100A. PANELBOARD AND ASSOCIATED BREAKERS AND REPLACE WITH A NEW 120/240V., 1PH, 100A. PANELBOARD AND RE-ENERGIZED VIA THE EXISTING ELECTRICAL METER SERVICE PROVIDED BY TOLEDO EDISON. MAINTAIN ALL EXISTING CIRCUITS, CONDUITS AND WIRING. THE E.C. SHALL UPDATE THE PANELBOARD SCHEDULE LISTING WITH THE DESCRIPTION OF EACH EXISTING CIRCUIT DETAILING WHAT IS POWERED BY THEIR RESPECTIVE BREAKER. DISCARD ALL ITEMS DEMOLISHED AND/OR REMOVED AT THE OWNER'S DISCRETION.
- ⓔ2 - REMOVE EXISTING SMOKE DETECTOR, IF ANY, AND REPLACE WITH A NEW SMOKE/CARBON MONOXIDE COMBINATION DETECTOR TO BE POWERED BY THE NEAREST EXISTING BRANCH CIRCUIT. ALL SMOKE DETECTORS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. PER O.B.C. 907.2.11.5. DISCARD ALL ITEMS DEMOLISHED AND/OR REMOVED AT THE OWNER'S DISCRETION.
- ⓔ3 - PROVIDE NEW SMOKE/CARBON MONOXIDE DETECTOR AND POWER NEW SMOKE/CARBON MONOXIDE DETECTOR VIA NEAREST LOCAL AVAILABLE 120V. CIRCUIT. DO NOT OVERLOAD EXISTING CIRCUITS. ALL DETECTORS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. PER O.B.C. 907.2.11.5.



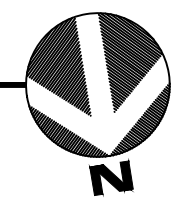
ELECTRICAL SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



ELECTRICAL FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



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UNIT REPAIRS AND RENOVATIONS**

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DATE	ISSUE / REVISION
02.09.2023	ISSUE FOR PERMIT

DESIGNED: VDG

DRAWN: VDG

CHECKED: VDG

TPA COMMISSION NUMBER: 22022

DRAWING TITLE:

ELECTRICAL FLOOR PLANS

DRAWING NUMBER:

E2.0

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