

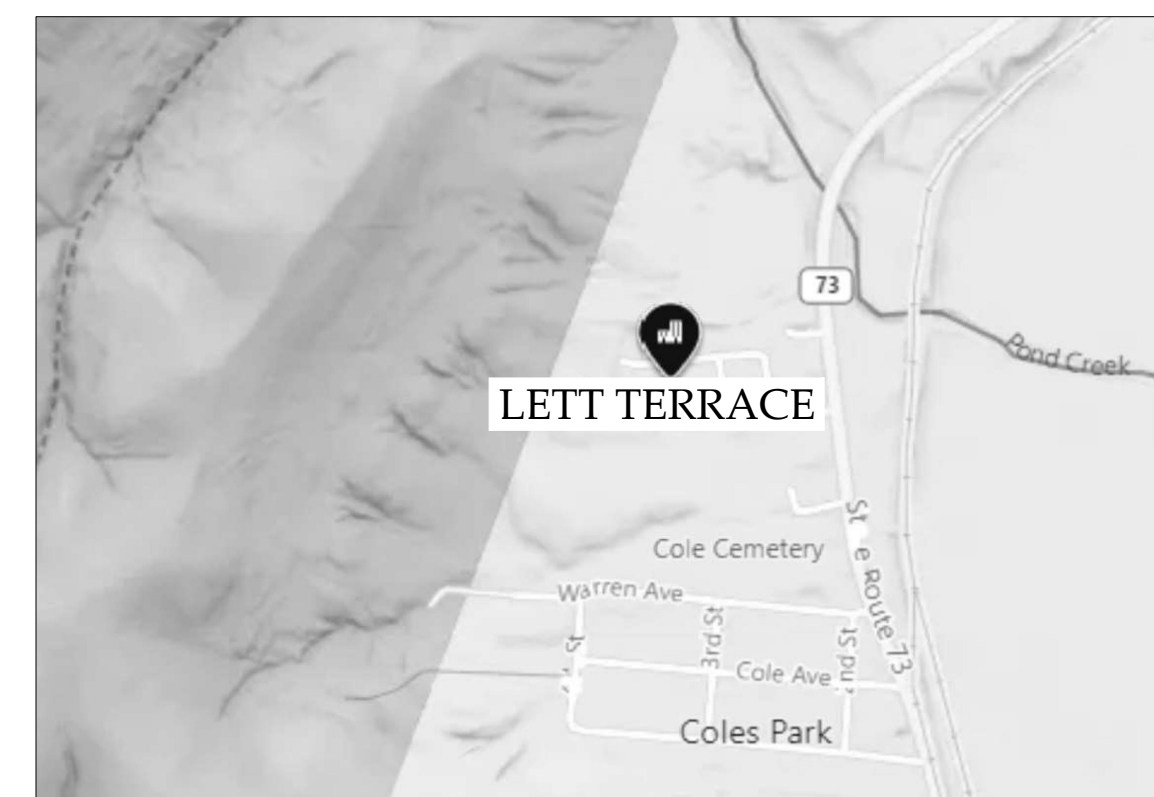
# NEW EXTERIOR LIGHTS at: LETT TERRACE, MILLER MANOR, & FARLEY SQUARE

JCKL  
ARCHITECTS

P.O. BOX 340037  
COLUMBUS, OHIO 43234  
PHONE: (614) 764-1996

## GENERAL PROJECT NOTES:

- COMPLETE SET. ALL CONTRACTORS AND SUBCONTRACTORS SHALL REVIEW COMPLETE SETS OF CONTRACT DOCUMENTS. THE CONTRACT DOCUMENTS ARE INTERCONNECTED AND SHALL NOT BE SEPARATED, READ, OR INTERPRETED SEPARATELY.
- DISCREPANCY. SHOULD ANY OF THE DETAILED INSTRUCTIONS SHOWN ON THE PLANS CONFLICT WITH THESE NOTES, or WITH EACH OTHER, THE STRICTEST PROVISION SHALL GOVERN.
- DO NOT SCALE DRAWINGS. THE WRITTEN DIMENSION SHALL CONTROL ALL LOCATIONS. CONSULT WITH THE ARCHITECT FOR CLARIFICATION REGARDING ANY DISCREPANCIES.
  - EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF SHEATHING / OUTSIDE FACE OF FOUNDATION WALL.
  - INTERIOR DIMENSIONS ARE TO FACE OF STUDS UNLESS NOTED OTHERWISE.
- FIELD VERIFY. CONTRACTORS SHALL FIELD VERIFY ALL DIMENSIONS AND AREA ESTIMATES PRIOR TO COMMENCING WORK. SHOULD DIMENSIONAL DISCREPANCIES EXIST, OR IF NOTED DIMENSIONS DO NOT COORDINATE WITH SPACE REQUIREMENTS OF EQUIPMENT, ETC., IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING. OBTAIN WRITTEN RESPONSE FROM THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- SITE SURVEY. SITE BOUNDARY LINES, BOUNDARY DIMENSIONS, BOUNDARY DECLINATIONS, AND EXISTING GRADES ARE BASED UPON THE SITE SURVEY WHICH WAS PROVIDED BY THE OWNER FOR REFERENCE ONLY. THE CONTRACTORS SHALL BE DEEMED TO HAVE INSPECTED THE SITE AND SATISFIED THEMSELVES AS TO THE ACTUAL GRADES, LEVELS, DIMENSIONS AND DECLINATIONS AND THE TRUE CONDITIONS UNDER WHICH THE WORK SHALL BE PERFORMED.
- CODES AND REGULATIONS. ALL CONSTRUCTION AND MATERIALS SHALL BE IN STRICT COMPLIANCE WITH THE MOST RECENT EDITIONS OF ALL LOCAL AND STATE BUILDING CODES AND REGULATIONS, AS WELL AS ALL OTHER SPECIFIC OR IMPLIED APPLICABLE REGULATIONS, INCLUDING HEALTH AND SAFETY REQUIREMENTS, AS MAY BE IMPLIED OR STATED WITH ISSUANCE OF THE BUILDING PERMIT.
- SAFETY. THE ARCHITECT IS NOT ENGAGED IN, AND DOES NOT SUPERVISE, CONSTRUCTION. IT IS SOLELY THE RESPONSIBILITY OF EACH CONTRACTOR TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION. INCLUDING THE POSTING OF REQUIRED SIGNAGE AND NOTICES.
- REQUIRED MEANS OF EGRESS SHALL BE MAINTAINED AT ALL TIMES DURING DEMOLITION, CONSTRUCTION, REMODELING, ALTERATIONS, OR ADDITIONS TO ANY BUILDING. EXISTING MEANS OF EGRESS NEED NOT BE MAINTAINED WHERE APPROVED TEMPORARY MEANS OF EGRESS ARE PROVIDED.
- CONSTRUCTION MEANS AND METHODS.
  - THE ARCHITECT and OWNER SHALL HAVE THE RIGHT TO RELY ON A LEVEL OF SKILL AND COMPETENCY FROM ALL INVOLVED CONTRACTORS, CONSULTANTS, AND TRADES WHICH IS CONSISTENT WITH LOCALLY ACCEPTED INDUSTRY STANDARDS.
  - THE ARCHITECT HAS NO EXPERTISE IN, AND TAKES NO RESPONSIBILITY FOR, CONSTRUCTION MEANS AND METHODS OR FOR JOB SITE SAFETY DURING CONSTRUCTION.
  - PROCESSING AND/OR APPROVING SUBMITTALS MADE BY THE CONTRACTOR WHICH MAY CONTAIN INFORMATION RELATED TO CONSTRUCTION METHODS OR SAFETY ISSUES, OR PARTICIPATION IN MEETINGS WHERE SUCH ISSUES MIGHT BE DISCUSSED, SHALL NOT BE CONSTRUED AS VOLUNTARY ASSUMPTION BY THE ARCHITECT OF ANY RESPONSIBILITY FOR CONSTRUCTION OR SAFETY PROCEDURES.
- EXISTING CONDITIONS. ALL SUBCONTRACTORS SHALL VISIT THE PROJECT SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS, COMPARE AND CONFIRM THE CONTRACT DOCUMENTS, SUBSEQUENT REQUIREMENTS, AND ALL REGULATORY AGENCY REQUIREMENTS APPLICABLE FOR COMPLETION OF THE PROPOSED WORK. IF VARIATIONS OR DISCREPANCIES ARE FOUND, SAME INFORMATION SHALL BE FURNISHED IMMEDIATELY, IN WRITTEN FORMAT, TO THE ARCHITECT. OBTAIN WRITTEN RESPONSE FROM THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- ERRORS, INCONSISTENCIES, OMISSIONS. THE CONTRACTORS SHALL CONSULT WITH THE ARCHITECT FOR CLARIFICATION REGARDING ERRORS, OMISSIONS, OR DISCREPANCIES IN THE CONTRACT DOCUMENTS. IF THE CONTRACTORS PERFORM ANY CONSTRUCTION ACTIVITY KNOWING IT INVOLVES A RECOGNIZED ERROR, INCONSISTENCY OR OMISSION OR IS UNCLEAR IN THE CONTRACT DOCUMENTATION WITHOUT NOTIFYING THE ARCHITECT IN WRITING, AND WITHOUT THE ARCHITECT'S ANSWER IN WRITING, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR SUCH PERFORMANCE AND SHALL BEAR A FULL AMOUNT OF THE ATTRIBUTABLE COST FOR CORRECTION.
- DETAILS and WALL SECTIONS ARE INTENDED TO SHOW A METHOD OF ACCOMPLISHING THE WORK. MODIFICATIONS MAY BE REQUIRED TO SUIT THE JOB DIMENSIONS AND CONDITIONS. WHERE DETAIL OR INFORMATION IS NOT PROVIDED, THE CONTRACTORS SHALL USE CONVENTIONAL ACCEPTED PRACTICE. CONDITIONS REQUIRING NON-CONVENTIONAL DETAILING OR ADDITIONAL INFORMATION SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION. OBTAIN WRITTEN RESPONSE FROM THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- ERECTION PROCEDURES. THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER IT IS FULLY COMPLETED. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE, AND TO ENSURE THE STABILITY OF THE BUILDING AND ITS COMPONENT PARTS, AND THE ADEQUACY OF TEMPORARY OR INCOMPLETE CONNECTIONS DURING CONSTRUCTION. THIS INCLUDES THE ADDITION OF ANY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIE DOWNS, WHICH MIGHT BE NECESSARY. SUCH MATERIALS ARE NOT SHOWN ON THE DRAWINGS. FOLLOWING THE COMPLETION OF THE PROJECT, REDISTRIBUTION OF SUCH MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- BLOCKING. PROVIDE SUFFICIENT BLOCKING, HANGERS, SUPPORTS, FITTINGS, ETC. FOR SECURING OF ALL ITEMS WHETHER FURNISHED BY THE OWNER OR CONTRACTORS, INCLUDING RAILINGS, GUARDS, GRAB BARS, COUNTERS, SHELVING, CASEWORK, FURNISHINGS, ETC.
- MANUFACTURER'S and INDUSTRY STANDARDS OF INSTALLATION SHALL BE FOLLOWED FOR GYPSUM WALL BOARD AND STEEL STUD WALL SYSTEMS.
- MECHANICAL, PLUMBING, ELECTRICAL: THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS, AND FOR INSTALLING ALL NECESSARY BLOCKING, FRAMING OR GENERAL CONSTRUCTION TO FACILITATE INSTALLATION OF THESE SYSTEMS.
- UNDERGROUND UTILITIES. SUBCONTRACTORS SHALL VERIFY ALL UNDERGROUND UTILITIES AND CONDITIONS WITH THE OWNER AND THE PROPER AUTHORITIES. CALL OUPS AT 811, TWO DAYS BEFORE DIGGING.
- SCOPE OF WORK. ALL CONTRACTORS AND MATERIALS, LABOR AND OTHER PROCESSES ARE REQUIRED TO COMPLETE ALL CATEGORIES OF THE WORK INDICATED BY ALL OF THE CONTRACT DOCUMENTS, OR THAT WORK WHICH MAY BE OTHERWISE REFERRED TO IN THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION.
- PERMITS. CONTRACTOR IS RESPONSIBLY FOR OBTAINING ALL REQUIRED PERMITS FROM THE CITY OF PORTSMOUTH.
- MATERIAL STORAGE. SUBCONTRACTORS SHALL COORDINATE ON-SITE MATERIAL STORAGE WITH THE GENERAL CONTRACTOR.
- CLEAN-UP. SUBCONTRACTORS SHALL KEEP THE JOB SITE NEAT AND ORDERLY, REMOVE SCRAP MATERIAL DAILY AND SHALL CLEAN THE SITE AND THE WORK THOROUGHLY UPON COMPLETION.



## SITE LOCATION MAPS

## INDEX OF DRAWINGS

A0.0	COVER SHEET
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C2.0	MILLER MANOR SITE PLAN
C3.0	FARLEY SQUARE SITE PLAN
A1.0	LETT TERRACE BUILDINGS 'A' & 'B' FLOOR PLANS
A1.1	LETT TERRACE BUILDINGS 'C', 'D', & COMMUNITY FLOOR PLANS
A2.0	MILLER MANOR BUILDINGS 'A' & 'D' FLOOR PLANS
A2.1	MILLER MANOR BUILDINGS 'C', 'D', & COMMUNITY FLOOR PLANS
A3.0	FARLEY SQUARE BUILDINGS 1201, 1202, & 1204 FLOOR PLANS
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A3.2	FARLEY SQUARE BUILDINGS 1218, 1219, & 1220 FLOOR PLANS
A3.3	FARLEY SQUARE BUILDINGS 1221, 1222, & 1232 FLOOR PLANS
A3.4	FARLEY SQUARE BUILDINGS 1238, 1506 & COMMUNITY FLOOR PLANS & POLE BASE DETAIL

## BUILDING DATA

### APPLICABLE CODES:

EXISTING BUILDING CODE:	2024 OHIO EXISTING BUILDING CODE
ELECTRICAL CODE:	2017 NATIONAL ELECTRIC CODE

### BUILDING CODE SUMMARY:

**PROJECT DESCRIPTION:**  
REPAIR / REPLACE EXISTING LIGHT FIXTURES ON POLES, WALLS, & UNDER PORCHES w/ NEW LED LIGHTS AT LETT TERRACE, MILLER MANOR, & FARLEY SQUARE APARTMENT COMPLEXES.

PROJECT

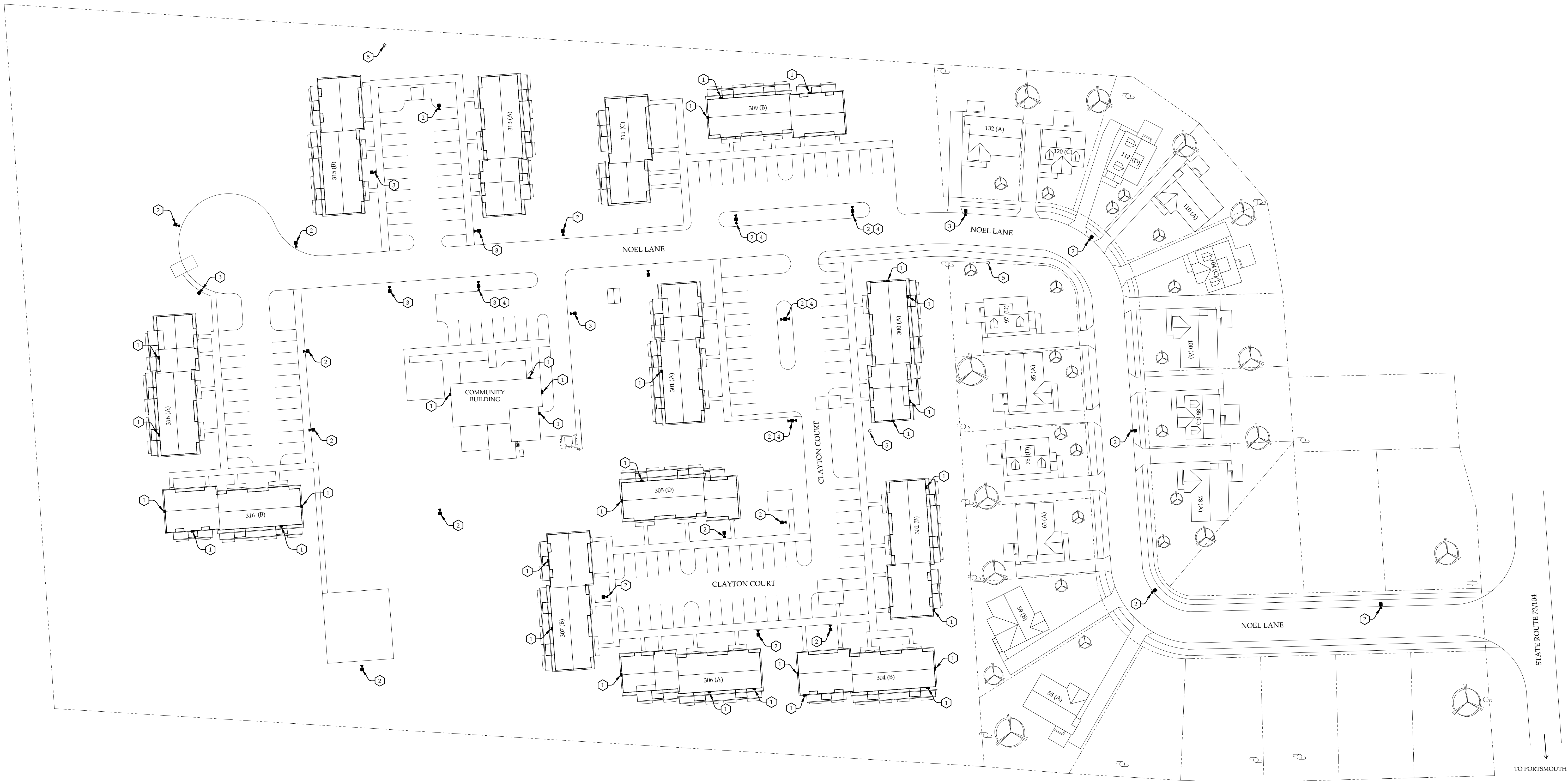
NEW EXTERIOR LIGHTS at:  
LETT TERRACE, MILLER MANOR  
& FARLEY SQUARE SITES

OWNER

PORTSMOUTH MHA  
410 COURT STREET  
PORTSMOUTH, OHIO 45662

- PRELIMINARY 04-01-2024  
03-22-2024
- BID SET 04-09-2024
- PERMIT SET
- REVISION

A0.0



**LIGHT FIXTURE COUNT**

A. FIELD VERIFY ALL QUANTITIES.  
POLE LIGHTS REPLACED = 8 TOTAL  
POLE LIGHT FIXTURE HEADS = 33 TOTAL  
WALL PACK = 28 TOTAL

**SITE PLAN NOTES:**

- GENERAL**  
A. FIELD VERIFY ALL EXISTING CONDITIONS, LOCATIONS, & QUANTITIES.
- SPECIFIC** Ⓡ
- APPROXIMATE LOCATION OF EXISTING WALL PACK. REMOVE & REPLACE w/ NEW "LSI" LED TRADITIONAL WALL PACK (SWPL). SECURE TO WALL. PROVIDE & INSTALL WIRE GUARD OVER (MODEL #SWPL-WB-LED-PLI-50-UE BRZ / SWPLWG).
  - EXISTING LIGHT POLE TO REMAIN. REMOVE EXISTING LIGHT. PROVIDE & INSTALL NEW LED AREA LIGHT BY "LSI" - SLICE SMALL (XLC) 5000K FIXTURE w/ ANGLED BRACKET. MODEL #XLC-3-LED-SS-50-UE BRZ. SECURE TO EXISTING ROUND POLES.
  - NEW POLE, BASE & LIGHT @ THIS LOCATION. PROVIDE & INSTALL NEW PRE-FINISHED ALUMINUM "BRONZE" POLE MODEL #45Q B3-A125-16-S-BRZ-FPG w/ 4" SQUARE POLE CAP "BRONZE" MODEL #54008. PROVIDE & INSTALL QUICK MOUNT BRACKET 15 DEGREE XLC MODEL #QMI5-BRZ. THE LIGHT FIXTURE IS TO BE "LSI" SLICE SMALL MODEL #XLC-3-LED-SS-50-UE-BRZ. SEE DETAIL C/A3.4
  - THIS LIGHT CONTAINS TWO (2) LIGHT FIXTURE HEADS OPPOSITE OF EACH OTHER.
  - EXISTING SECURITY CAMERA POLE TO REMAIN. (NOT IN CONTRACT)

**A LETT TERRACE SITE PLAN**  
SCALE: 1"=40'-0"

**LETT TERRACE HOUSES:**

HOUSE TYPE A:	7 HOUSES
HOUSE TYPE B:	1 HOUSE
HOUSE TYPE C:	3 HOUSES
HOUSE TYPE D:	3 HOUSES
<b>TOTAL</b>	<b>14 HOUSES</b>

**LETT TERRACE APARTMENTS:**

APARTMENT BUILDING TYPE A:	5 APARTMENT BUILDINGS
APARTMENT BUILDING TYPE B:	6 APARTMENT BUILDINGS
APARTMENT BUILDING TYPE C:	1 APARTMENT BUILDING
APARTMENT BUILDING TYPE D:	1 APARTMENT BUILDING
<b>TOTAL</b>	<b>13 APARTMENT BUILDINGS</b>

**PROJECT**

NEW EXTERIOR LIGHTS at:  
LETT TERRACE, MILLER MANOR  
& FARLEY SQUARE SITES

**OWNER**

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410 COURT STREET  
PORTSMOUTH, OHIO 45662

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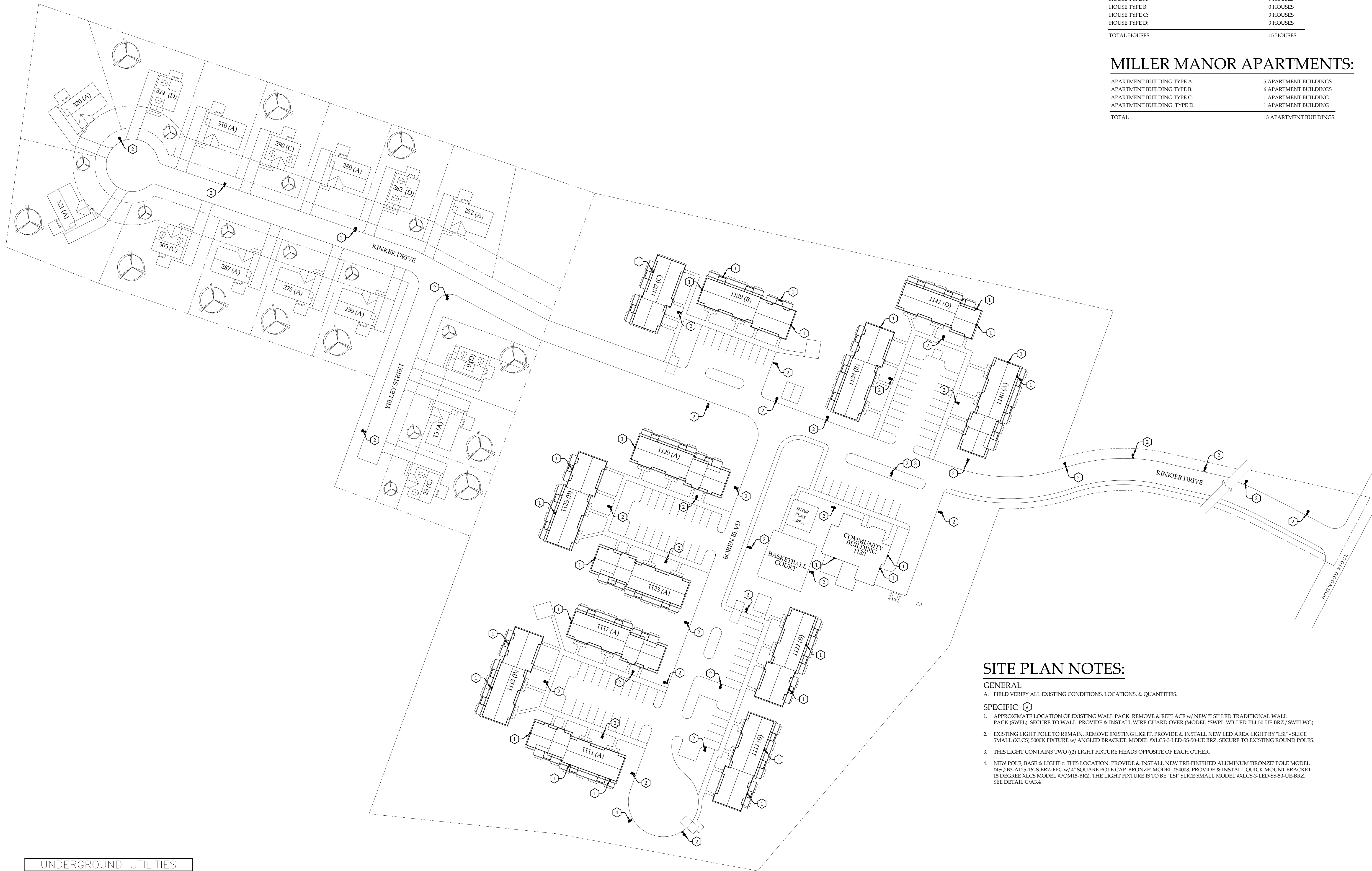
**UNDERGROUND UTILITIES**  
TWO WORKING DAYS  
BEFORE YOU DIG  
CALL 1-800-362-2764 (TOLL FREE)  
OHIO UTILITIES PROTECTION SERVICE  
NON-MEMBERS  
MUST BE CALLED DIRECTLY

**MILLER MANOR HOUSES:**

HOUSE TYPE A:	9 HOUSES
HOUSE TYPE B:	0 HOUSES
HOUSE TYPE C:	3 HOUSES
HOUSE TYPE D:	3 HOUSES
<b>TOTAL HOUSES</b>	<b>15 HOUSES</b>

**MILLER MANOR APARTMENTS:**

APARTMENT BUILDING TYPE A:	5 APARTMENT BUILDINGS
APARTMENT BUILDING TYPE B:	6 APARTMENT BUILDINGS
APARTMENT BUILDING TYPE C:	1 APARTMENT BUILDING
APARTMENT BUILDING TYPE D:	1 APARTMENT BUILDING
<b>TOTAL</b>	<b>13 APARTMENT BUILDINGS</b>



**SITE PLAN NOTES:**

**GENERAL**

A. FIELD VERIFY ALL EXISTING CONDITIONS, LOCATIONS, & QUANTITIES.

**SPECIFIC**

- APPROXIMATE LOCATION OF EXISTING WALL PACK. REMOVE & REPLACE w/ NEW "LSI" LED TRADITIONAL WALL PACK (SWPL). SECURE TO WALL. PROVIDE & INSTALL WIRE GUARD OVER (MODEL #SWPL-WB-LED-PLI-50-UE-BRZ / SWPLWG).
- EXISTING LIGHT POLE TO REMAIN. REMOVE EXISTING LIGHT. PROVIDE & INSTALL NEW LED AREA LIGHT BY "LSI" - SLICE SMALL (XLCS) 5000K FIXTURE w/ ANGLED BRACKET. MODEL #XLCS-3-LED-SS-50-UE-BRZ. SECURE TO EXISTING ROUND POLES.
- THIS LIGHT CONTAINS TWO (2) LIGHT FIXTURE HEADS OPPOSITE OF EACH OTHER.
- NEW POLE, BASE & LIGHT @ THIS LOCATION. PROVIDE & INSTALL NEW PRE-FINISHED ALUMINUM "BRONZE" POLE MODEL #450-B3-A125-16-S-BRZ-FPG w/ 4" SQUARE POLE CAP "BRONZE" MODEL #54008. PROVIDE & INSTALL QUICK MOUNT BRACKET 15 DEGREE XLCS MODEL #PQM15-BRZ. THE LIGHT FIXTURE IS TO BE "LSI" SLICE SMALL MODEL #XLCS-3-LED-SS-50-UE-BRZ. SEE DETAIL C/A3.4

**PROJECT**

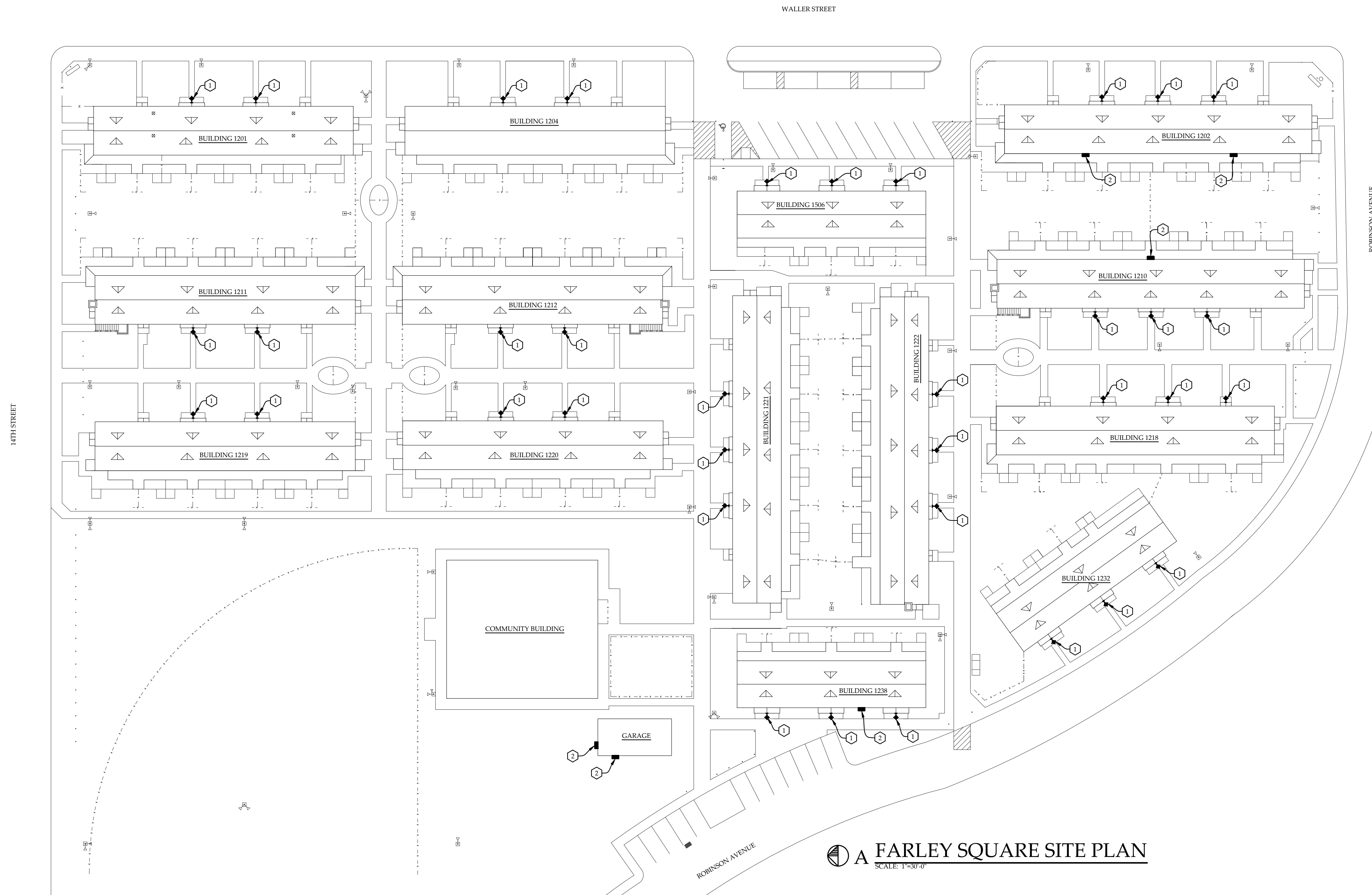
NEW EXTERIOR LIGHTS at:  
LETT TERRACE, MILLER MANOR  
& FARLEY SQUARE SITES

**OWNER**

PORTSMOUTH MHA  
410 COURT STREET  
PORTSMOUTH, OHIO 45662

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NON-MEMBERS  
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**A FARLEY SQUARE SITE PLAN**  
SCALE: 1"=30'-0"

**SITE PLAN NOTES:**

**GENERAL**

A. FIELD VERIFY ALL EXISTING CONDITIONS, LOCATIONS, & QUANTITIES.

**SPECIFIC**

1. REMOVE EXISTING EXTERIOR LIGHT FIXTURE. PROVIDE & INSTALL NEW 'ALL.GOT' EXTERIOR WALL LANTERN LIGHT FIXTURE. MODEL #A280-BK / BULBS LED 15 WATT, 90 W (SATCO PAR38/FL), (35 TOTAL / 6 SPARES)
2. APPROXIMATE LOCATION OF EXISTING WALL PACK. REMOVE & REPLACE w/ NEW 'LSI' LED TRADITIONAL WALL PACK (SWPL). SECURE TO WALL. PROVIDE & INSTALL WIRE GUARD OVER (MODEL #SWPL-WB-LED-PL1-50-UE BRZ / SWPLWG), (6 TOTAL / 2 SPARES)

**PROJECT**

NEW EXTERIOR LIGHTS at:  
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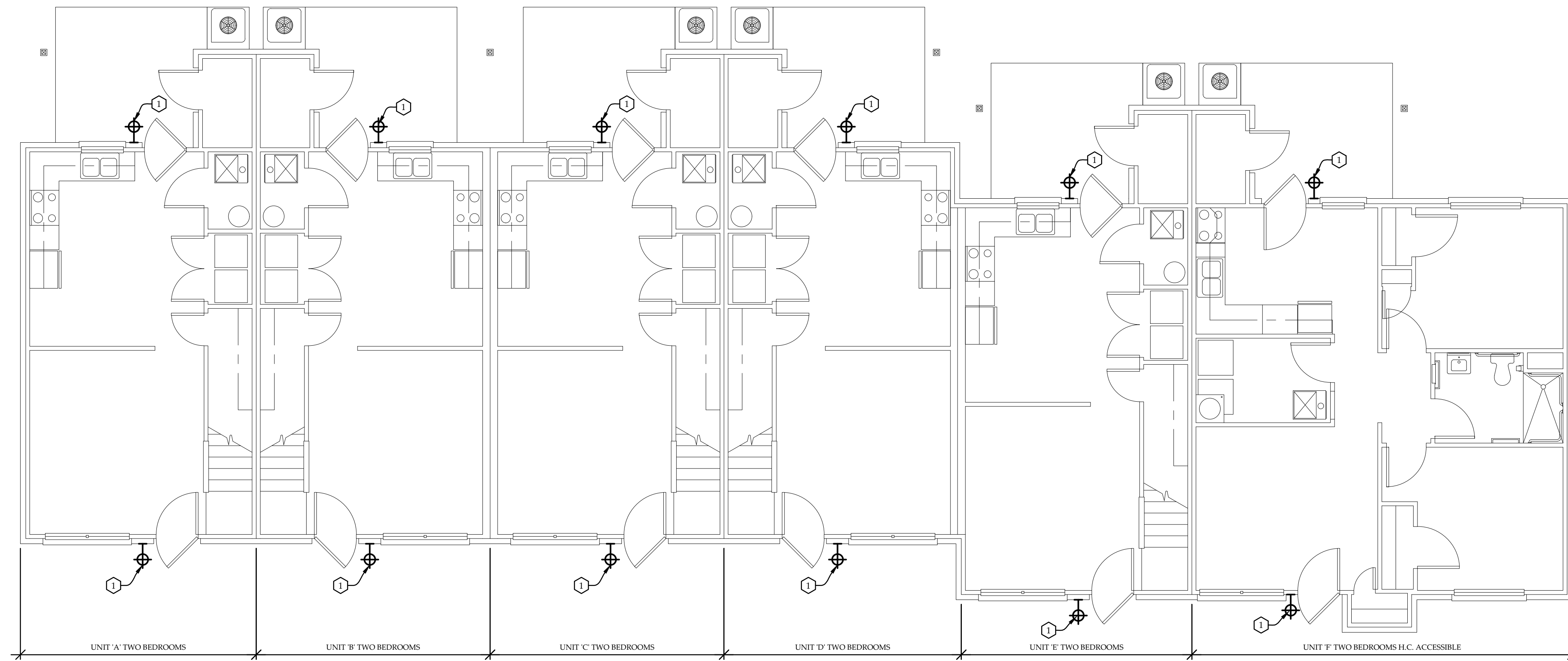
**FLOOR PLAN NOTES:**

**GENERAL**

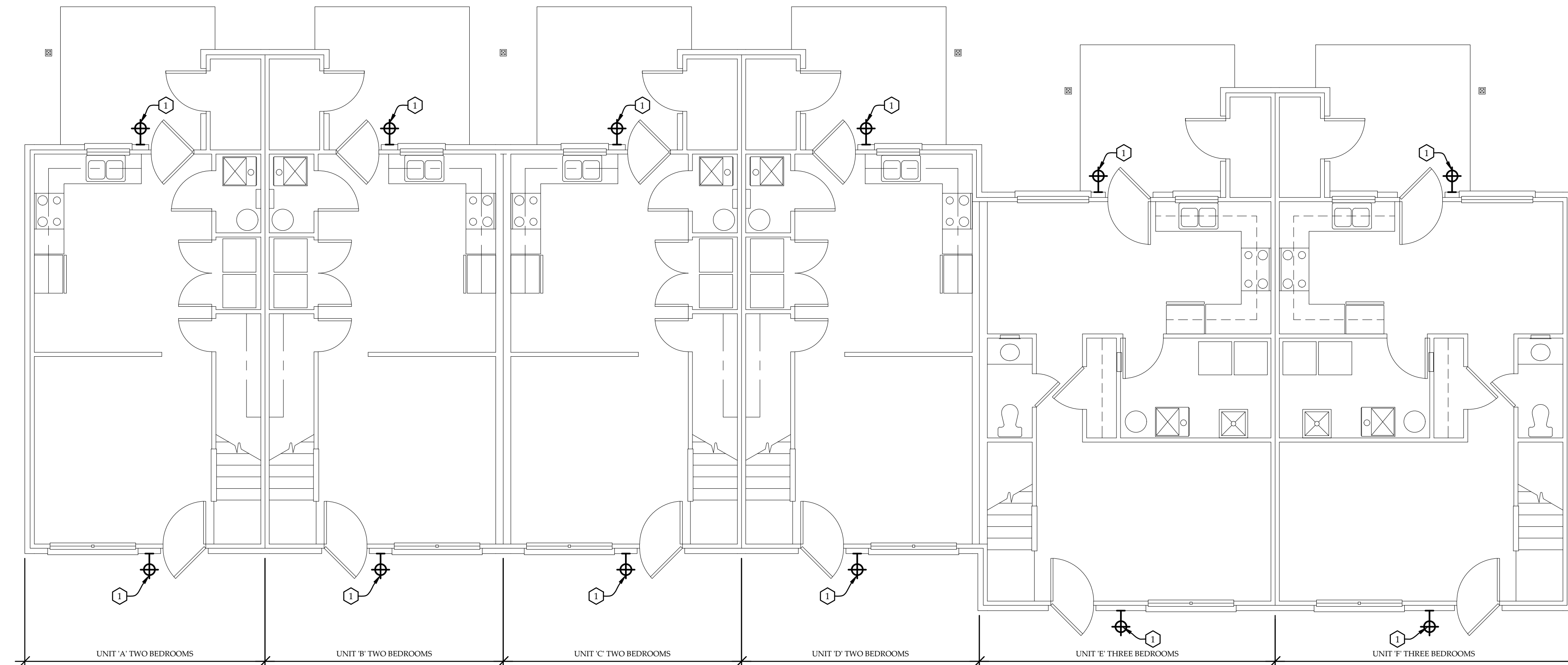
A. FIELD VERIFY ALL EXISTING CONDITIONS, LOCATIONS, & QUANTITIES.

**SPECIFIC**

1. REMOVE EXISTING WALL LIGHT. PROVIDE & INSTALL NEW WALL MOUNTED BLACK LED OUTDOOR BULKHEAD LIGHT w/ CCT COLOR SWITCHABLE. SET @ 5000K. VERIFY THAT NEW LIGHT IS SECURED TO BRICK WALL. CAULK @ TOP & SIDE w/ CLEAR SILICONE. AVAILABLE THROUGH HOME DEPOT MODEL #G19716-BK / STORE SKU #1007207370.



**A LETT TERRACE BUILDING 'A' FIRST FLOOR PLAN**  
SCALE: 3/16"=1'-0"



**B LETT TERRACE BUILDING 'B' FIRST FLOOR PLAN**  
SCALE: 3/16"=1'-0"

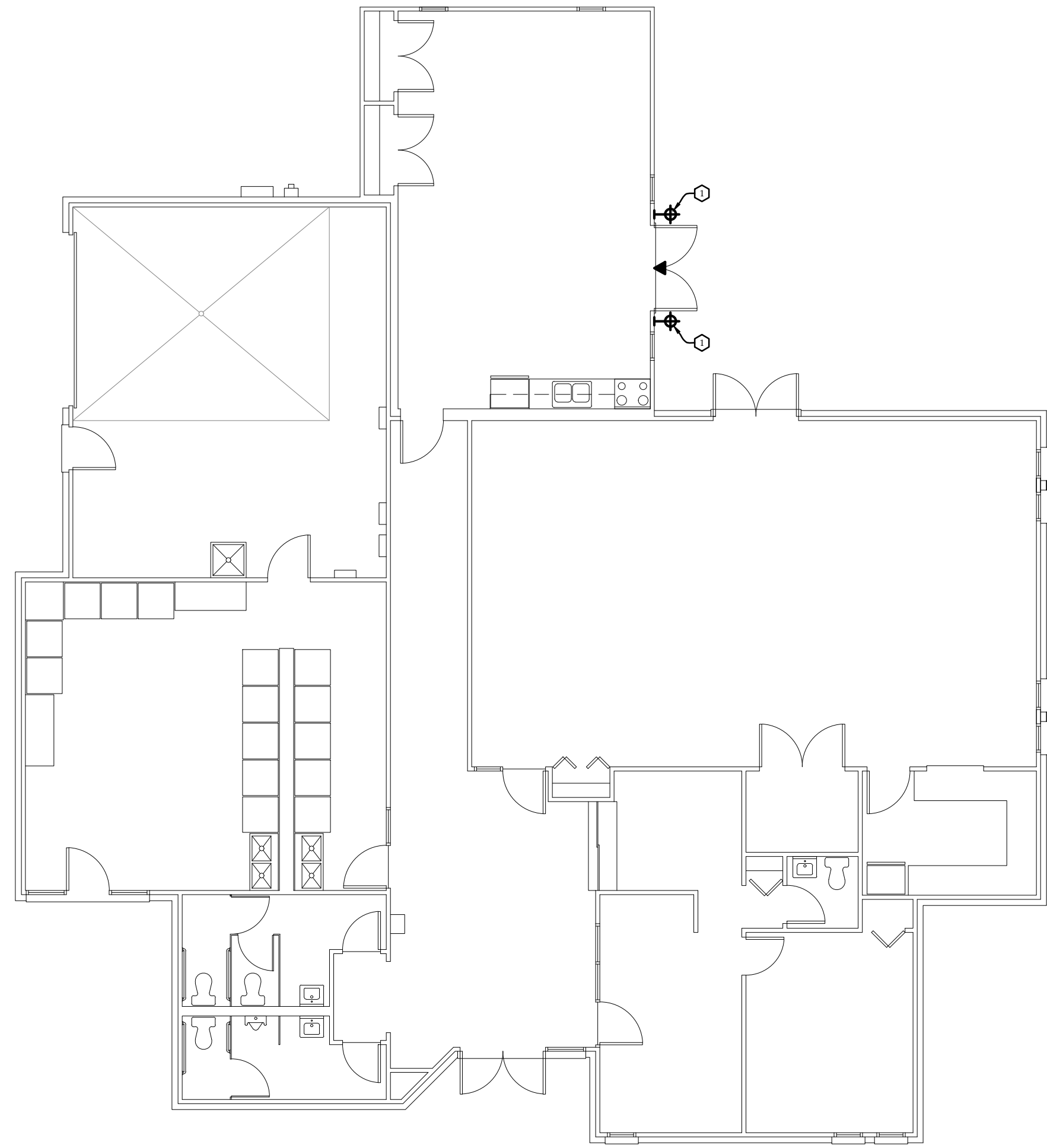
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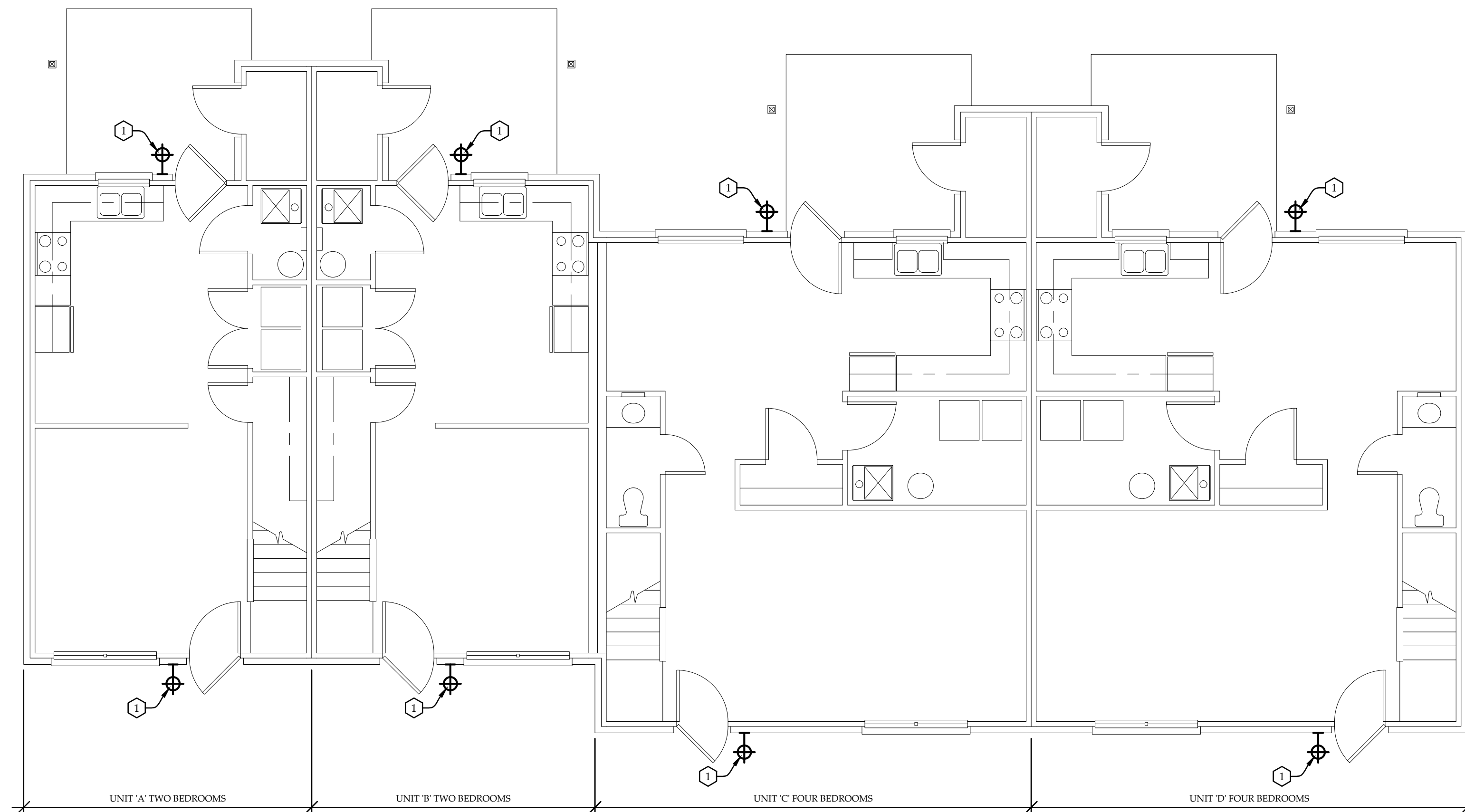
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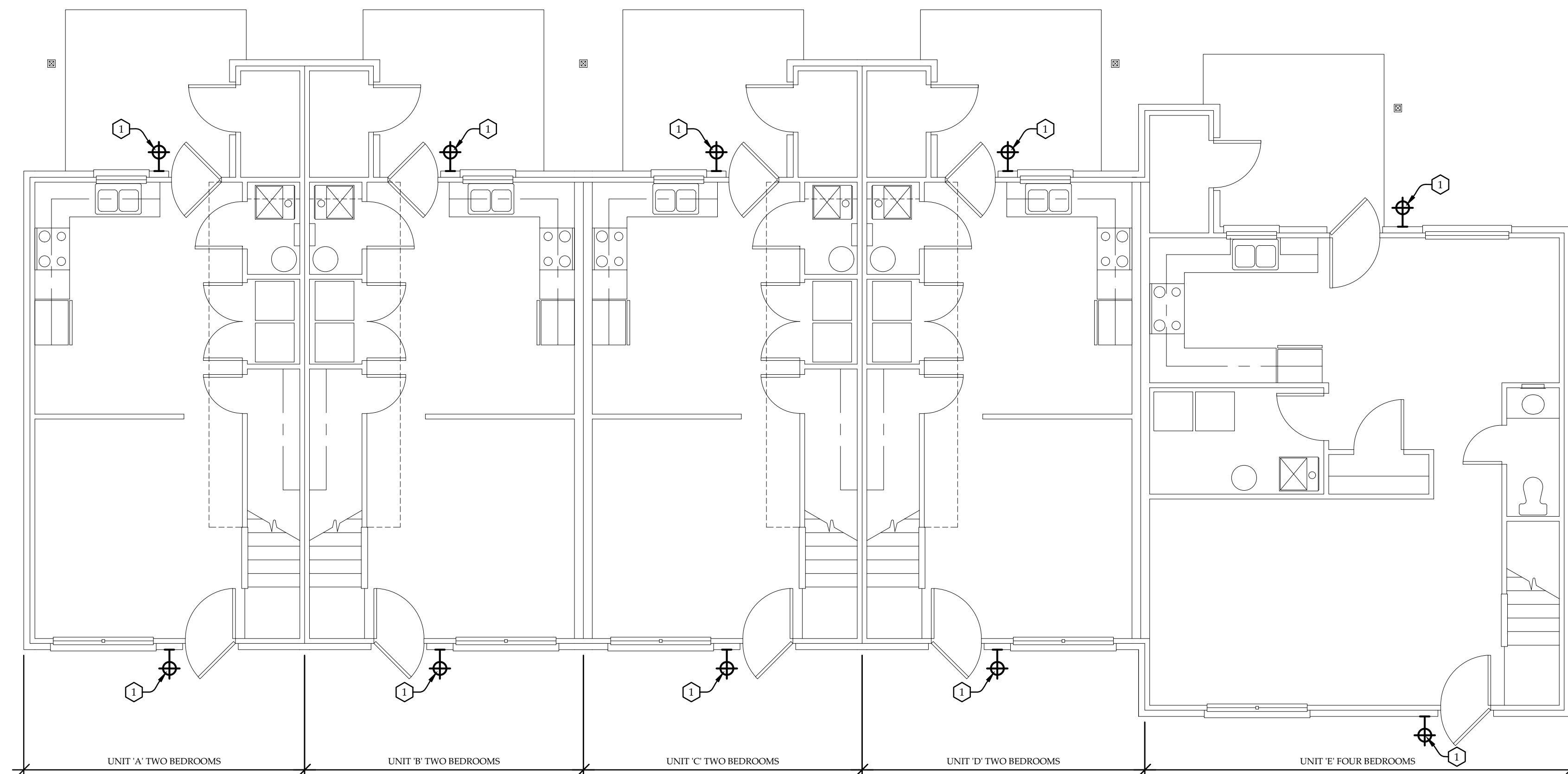
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**C LETT TERRACE COMMUNITY BUILDING PLAN**  
SCALE: 1/8"=1'-0"



**A LETT TERRACE BUILDING 'C' FIRST FLOOR PLAN**  
SCALE: 3/16"=1'-0"



**B LETT TERRACE BUILDING 'D' FIRST FLOOR PLAN**  
SCALE: 3/16"=1'-0"

**FLOOR PLAN NOTES:**

**GENERAL**

A. FIELD VERIFY ALL EXISTING CONDITIONS, LOCATIONS, & QUANTITIES.

**SPECIFIC** Ⓛ

1. REMOVE EXISTING WALL LIGHT. PROVIDE & INSTALL NEW WALL MOUNTED BLACK LED OUTDOOR BULKHEAD LIGHT w/ CCT COLOR SWITCHABLE SET @ 5000K. VERIFY THAT NEW LIGHT IS SECURED TO BRICK WALL. CAULK @ TOP & SIDE w/ CLEAR SILICONE. AVAILABLE THROUGH HOME DEPOT MODEL #G19716-BK / STORE SKU #100207370.

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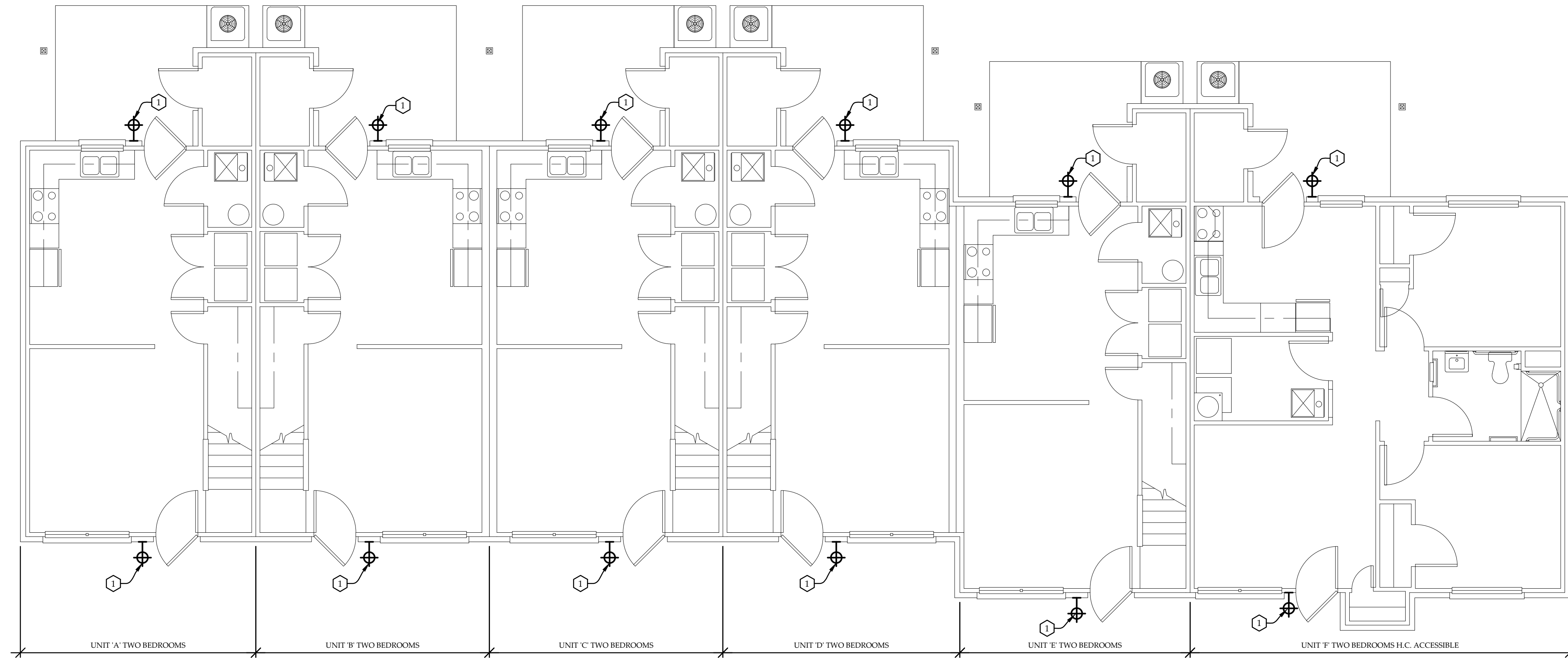
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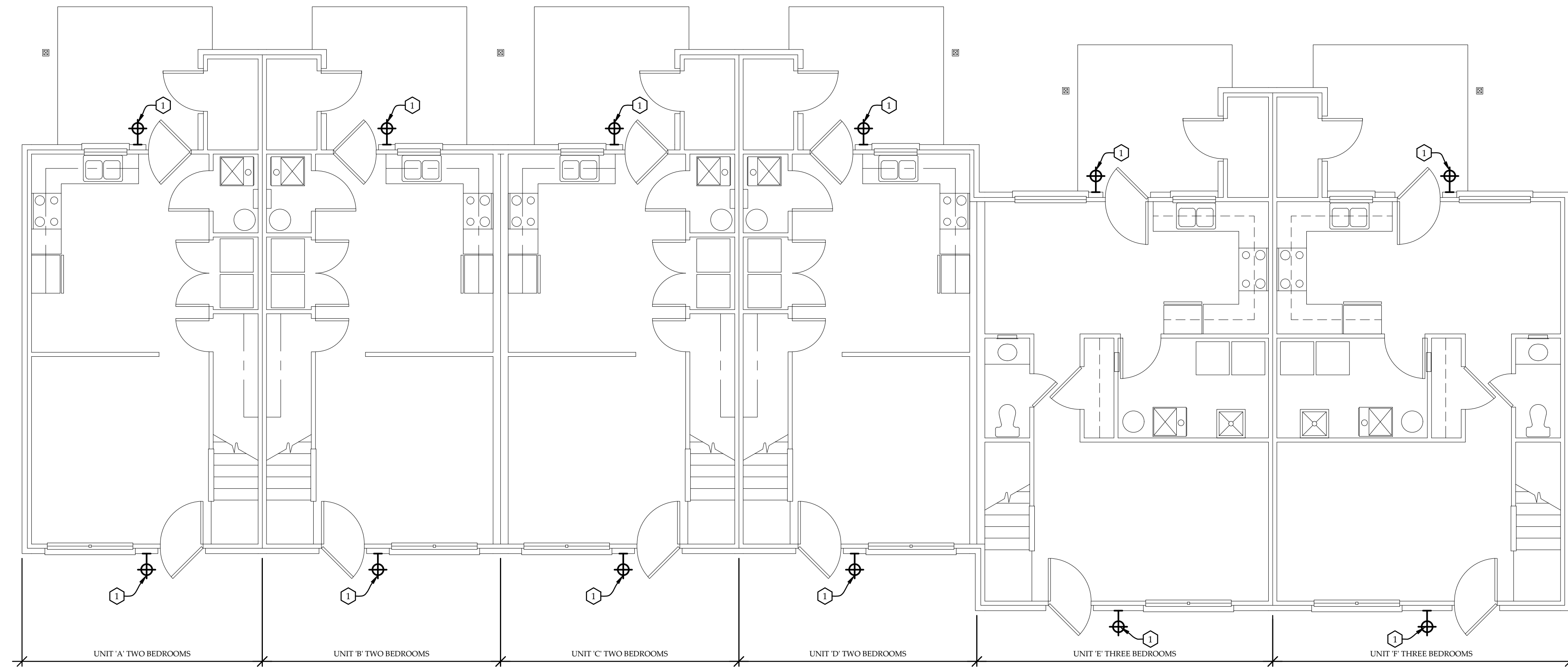
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 1. REMOVE EXISTING WALL LIGHT. PROVIDE & INSTALL NEW WALL MOUNTED BLACK LED OUTDOOR BULKHEAD LIGHT w/ CCT COLOR SWITCHABLE. SET @ 5000K. VERIFY THAT NEW LIGHT IS SECURED TO BRICK WALL. CAULK @ TOP & SIDE w/ CLEAR SILICONE. AVAILABLE THROUGH HOME DEPOT MODEL #G19716-BK / STORE SKU #1007207370.



**A MILLER MANOR BUILDING 'A' FIRST FLOOR PLAN**  
 SCALE: 3/16"=1'-0"

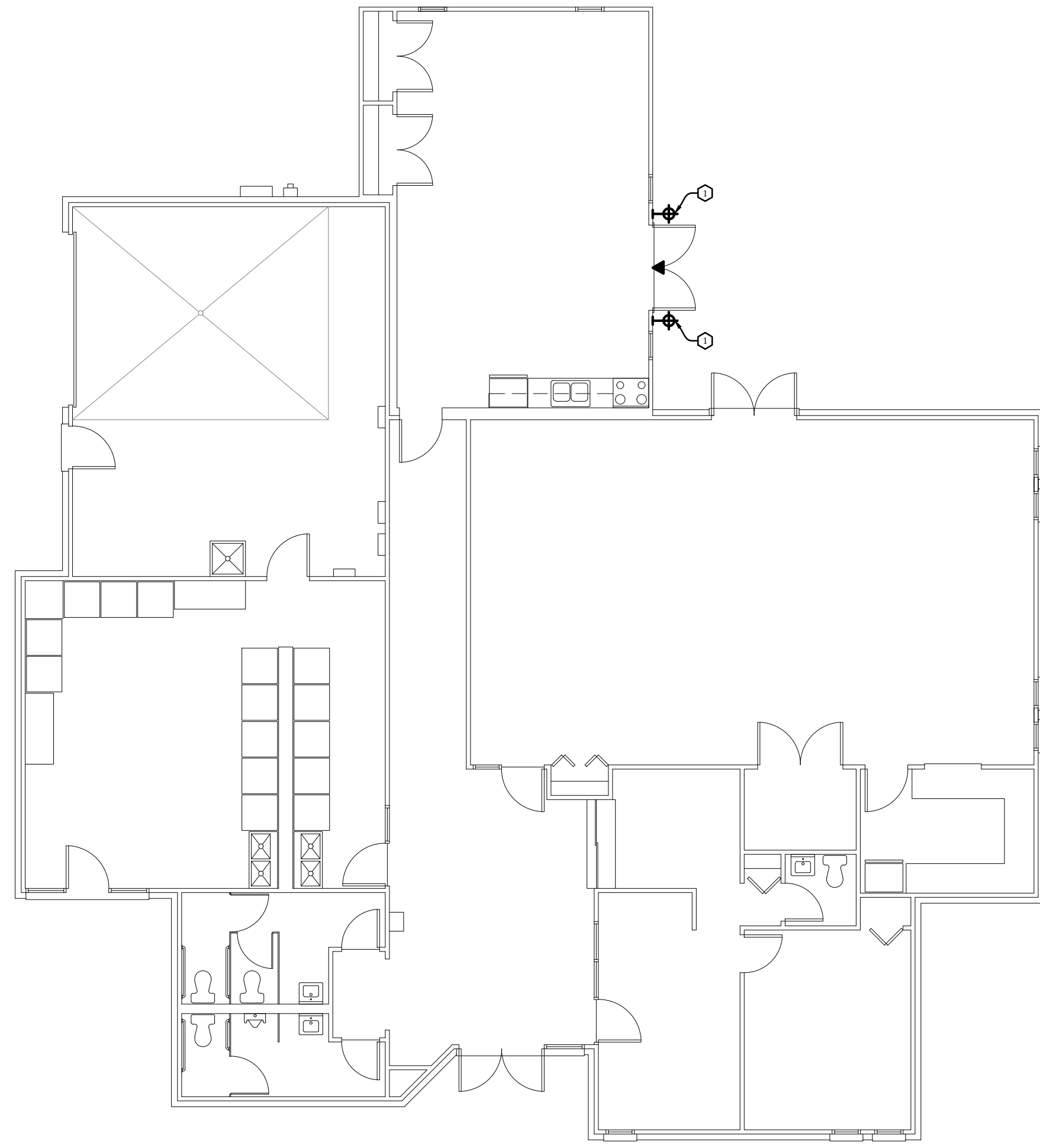


**B MILLER MANOR BUILDING 'B' FIRST FLOOR PLAN**  
 SCALE: 3/16"=1'-0"

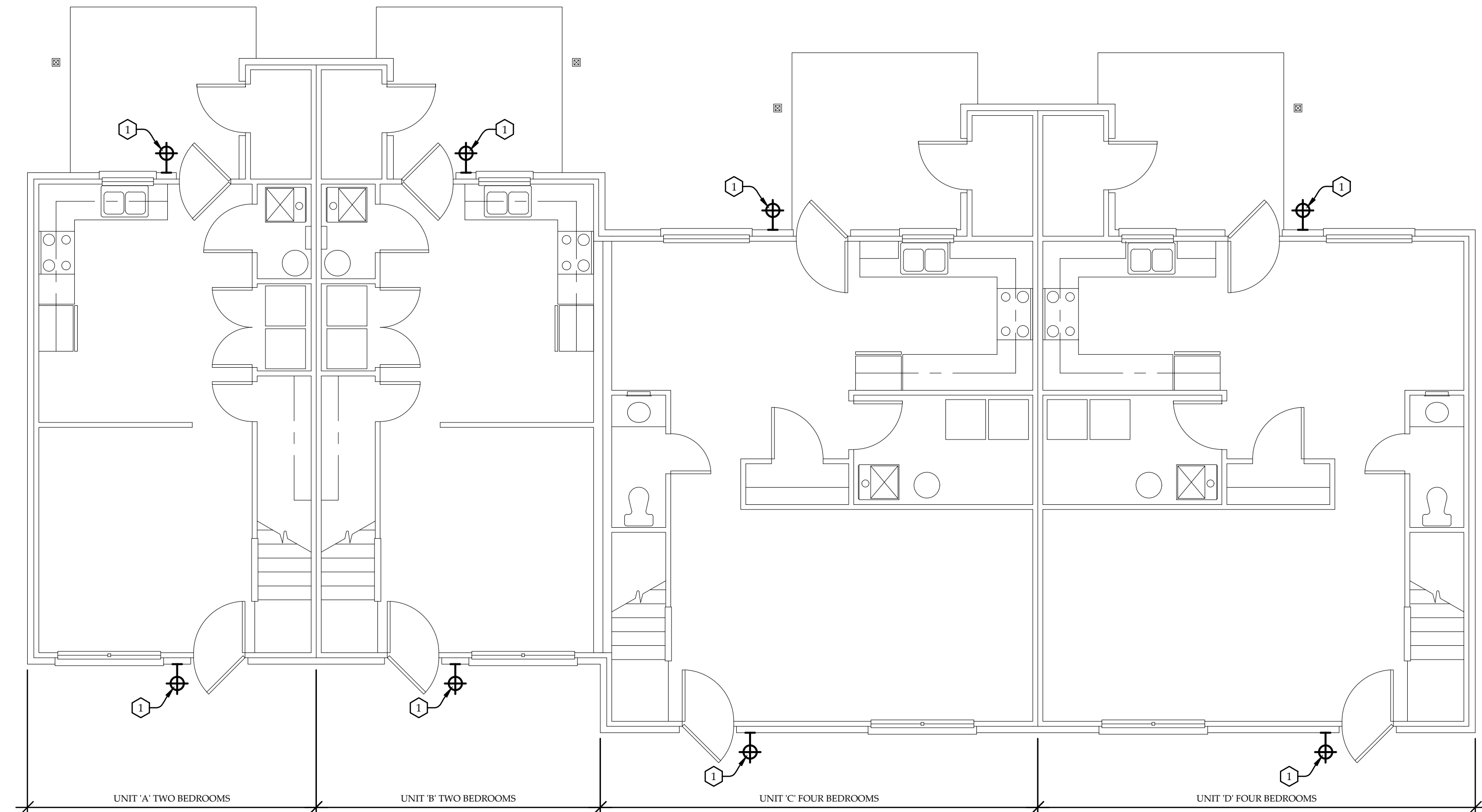
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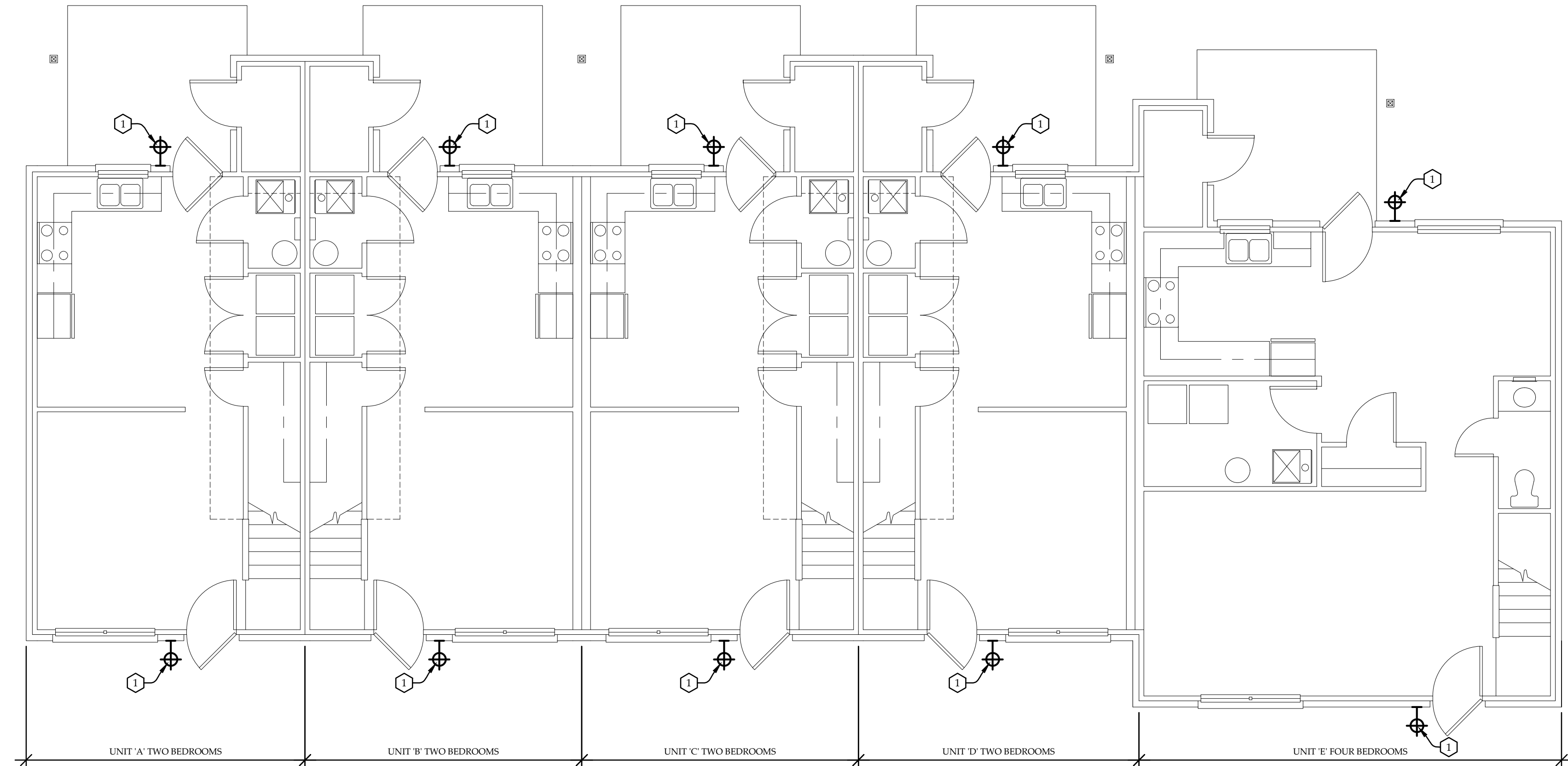
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**C MILLER MANOR COMMUNITY BUILDING PLAN**  
SCALE: 1/8"=1'-0"



**A MILLER MANOR BUILDING 'C' FIRST FLOOR PLAN**  
SCALE: 3/16"=1'-0"



**B MILLER MANOR BUILDING 'D' FIRST FLOOR PLAN**  
SCALE: 3/16"=1'-0"

**FLOOR PLAN NOTES:**

**GENERAL**

A. FIELD VERIFY ALL EXISTING CONDITIONS, LOCATIONS, & QUANTITIES.

**SPECIFIC** (1)

1. REMOVE EXISTING WALL LIGHT. PROVIDE & INSTALL NEW WALL MOUNTED BLACK LED OUTDOOR BULKHEAD LIGHT w/ CCT COLOR SWITCHABLE. SET @ 5000K. VERIFY THAT NEW LIGHT IS SECURED TO BRICK WALL. CAULK @ TOP & SIDE w/ CLEAR SILICONE. AVAILABLE THROUGH HOME DEPOT MODEL #G19716-BK / STORE SKU #1007207370.

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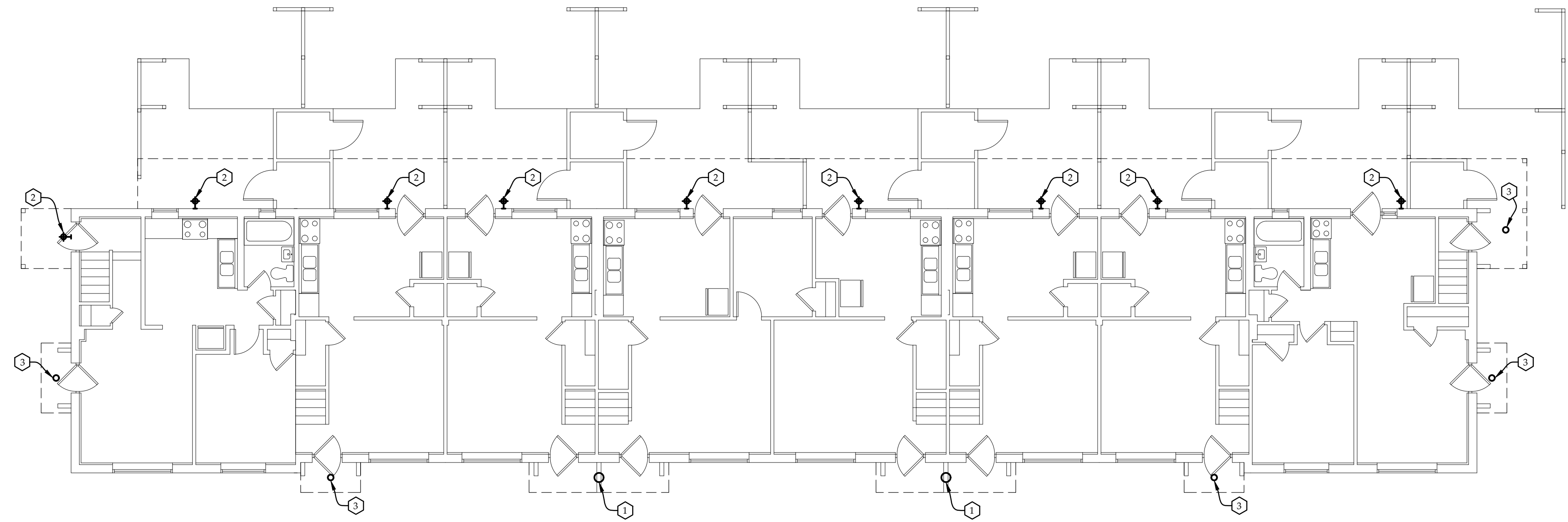
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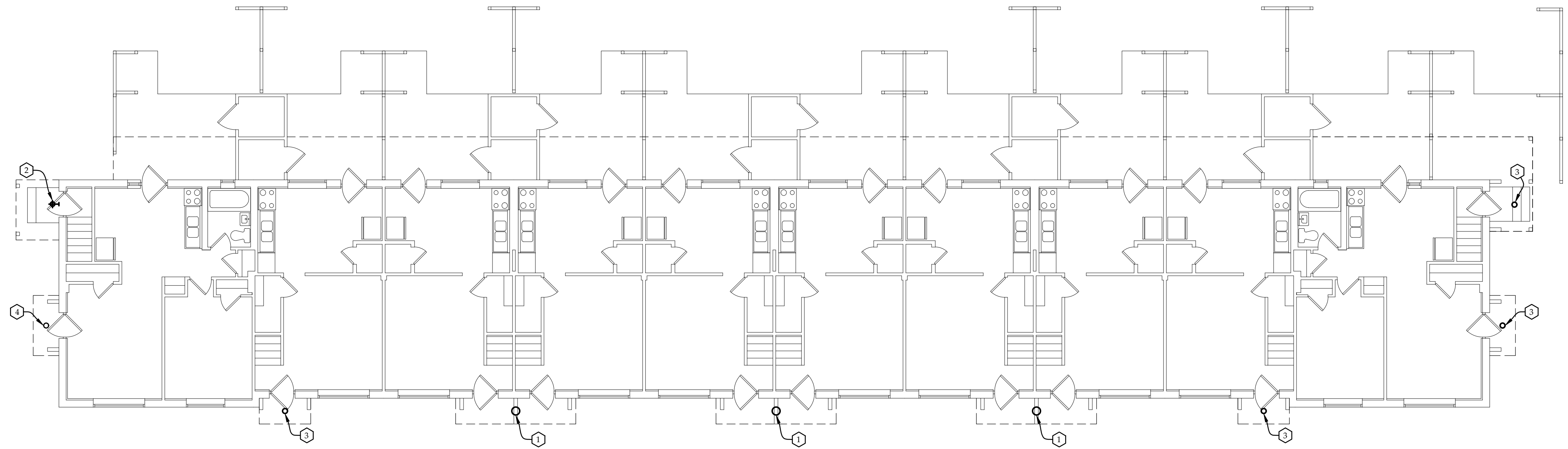
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**SPECIFIC**

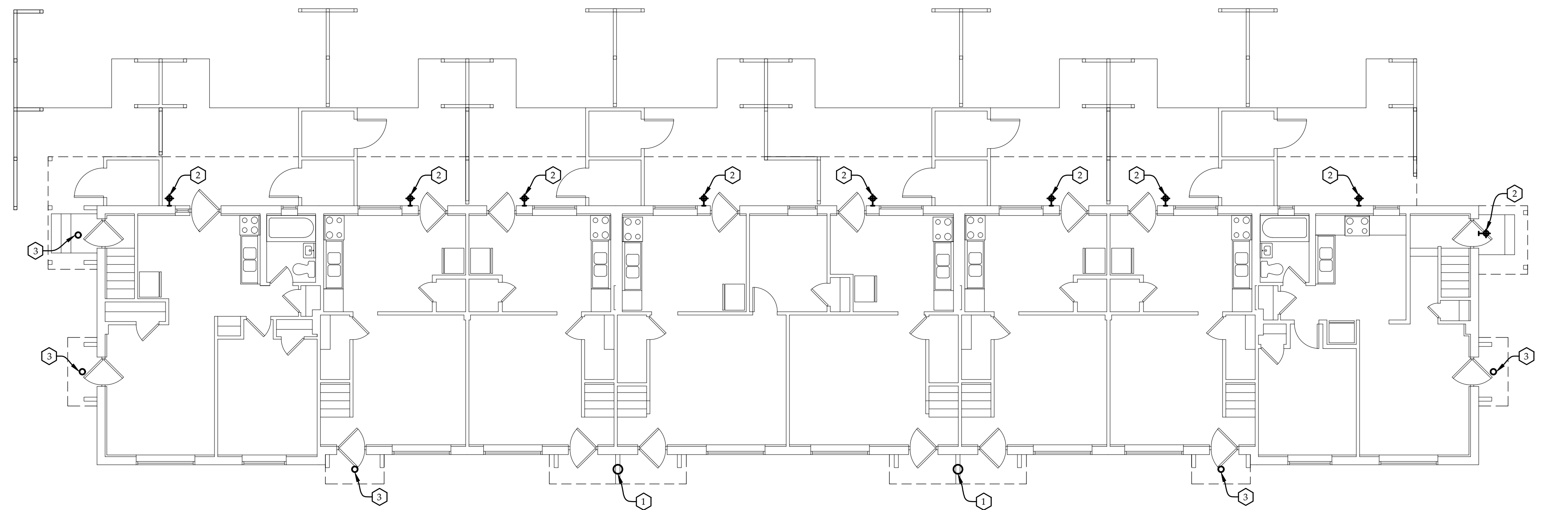
1. REMOVE EXISTING EXTERIOR LIGHT FIXTURE. PROVIDE & INSTALL NEW 'HAMPTON BAY' MED EXTERIOR LED COLOR CHANGING FLUSH MOUNT CEILING LIGHT FIXTURE. MODEL #1002857333. (58 TOTAL / 12 SPARES)
2. REMOVE EXISTING WALL MOUNTED LIGHT FIXTURE. PROVIDE & INSTALL NEW BLACK LED EXTERIOR WALL LANTERN w/ CCT COLOR SWITCHABLE (3, 4, 5K) LIGHT FIXTURE MODEL #1007 207 370. (130 TOTAL / 12 SPARES)
3. REMOVE EXISTING EXTERIOR LIGHT FIXTURE. PROVIDE & INSTALL NEW 'LITHONIA LIGHTING' FMMLS LED SWITCHABLE CCT FEATURE 7" (3, 4, 5K) FLUSH MOUNT CEILING LIGHT FIXTURE. (31 TOTAL / 6 SPARES)
4. EXISTING LIGHT FIXTURE TO REMAIN. (HAS BEEN REPLACED ALREADY)



**A FARLEY SQUARE '1201' FIRST FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**B FARLEY SQUARE '1202' FIRST FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**C FARLEY SQUARE '1204' FIRST FLOOR PLAN**  
SCALE: 1/8"=1'-0"

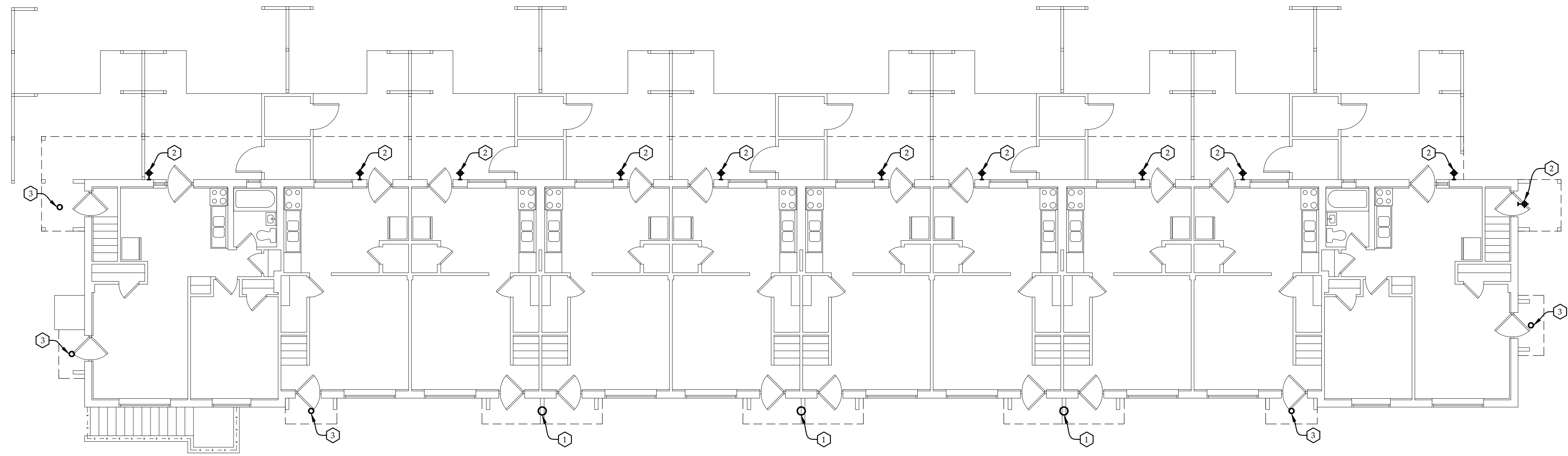
**PROJECT**

NEW EXTERIOR LIGHTS at:  
LETT TERRACE, MILLER MANOR  
& FARLEY SQUARE SITES

**OWNER**

PORTSMOUTH MHA  
410 COURT STREET  
PORTSMOUTH, OHIO 45662

<input type="checkbox"/> PRELIMINARY	04-01-2024 03-22-2024
<input checked="" type="checkbox"/> BID SET	04-09-2024
<input type="checkbox"/> PERMIT SET	
<input type="checkbox"/> REVISION	



**A FARLEY SQUARE '1210' FIRST FLOOR PLAN**  
SCALE: 1/8"=1'-0"

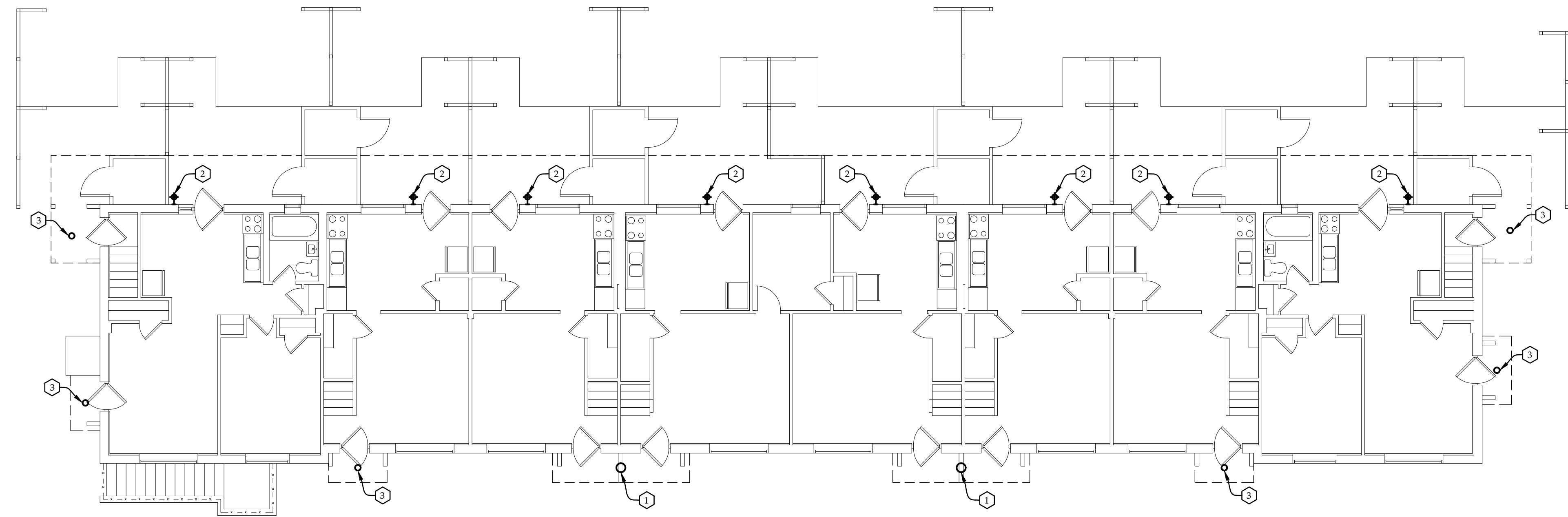
**FLOOR PLAN NOTES:**

**GENERAL**

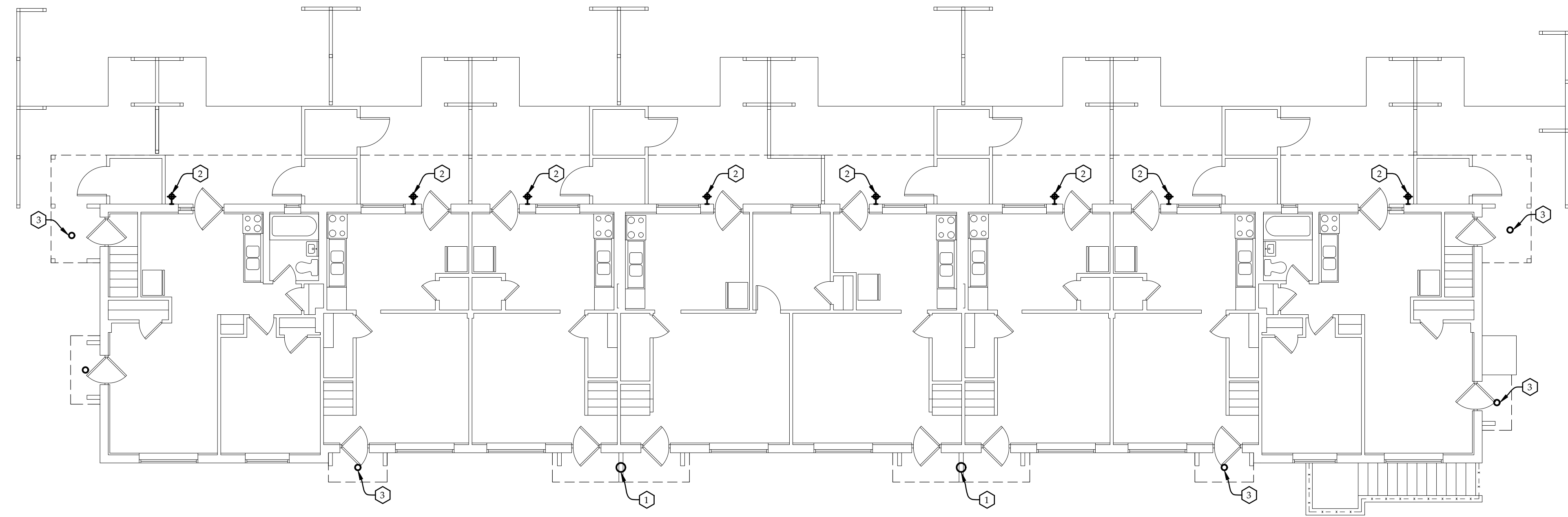
A. FIELD VERIFY ALL EXISTING CONDITIONS, LOCATIONS, & QUANTITIES.

**SPECIFIC**

1. REMOVE EXISTING EXTERIOR LIGHT FIXTURE. PROVIDE & INSTALL NEW HAMPTON BAY MED EXTERIOR LED COLOR CHANGING FLUSH MOUNT CEILING LIGHT FIXTURE. MODEL #1002857333. (58 TOTAL / 12 SPARES)
2. REMOVE EXISTING WALL MOUNTED LIGHT FIXTURE. PROVIDE & INSTALL NEW BLACK LED EXTERIOR WALL LANTERN w/ CCT COLOR SWITCHABLE (3, 4, 5K) LIGHT FIXTURE MODEL #1007 207 370. (130 TOTAL / 12 SPARES)
3. REMOVE EXISTING EXTERIOR LIGHT FIXTURE. PROVIDE & INSTALL NEW LITHONIA LIGHTING FMMLS LED SWITCHABLE CCT FEATURE 7" (3, 4, 5K) FLUSH MOUNT CEILING LIGHT FIXTURE. (31 TOTAL / 6 SPARES)



**B FARLEY SQUARE '1211' FIRST FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**C FARLEY SQUARE '1212' FIRST FLOOR PLAN**  
SCALE: 1/8"=1'-0"

**PROJECT**

NEW EXTERIOR LIGHTS at:  
LETT TERRACE, MILLER MANOR  
& FARLEY SQUARE SITES

**OWNER**

PORTSMOUTH MHA  
410 COURT STREET  
PORTSMOUTH, OHIO 45662

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<input type="checkbox"/> PERMIT SET	
<input type="checkbox"/> REVISION	

PROJECT  
NEW EXTERIOR LIGHTS at:  
LETT TERRACE, MILLER MANOR  
& FARLEY SQUARE SITES

OWNER  
PORTSMOUTH MHA  
410 COURT STREET  
PORTSMOUTH, OHIO 45662

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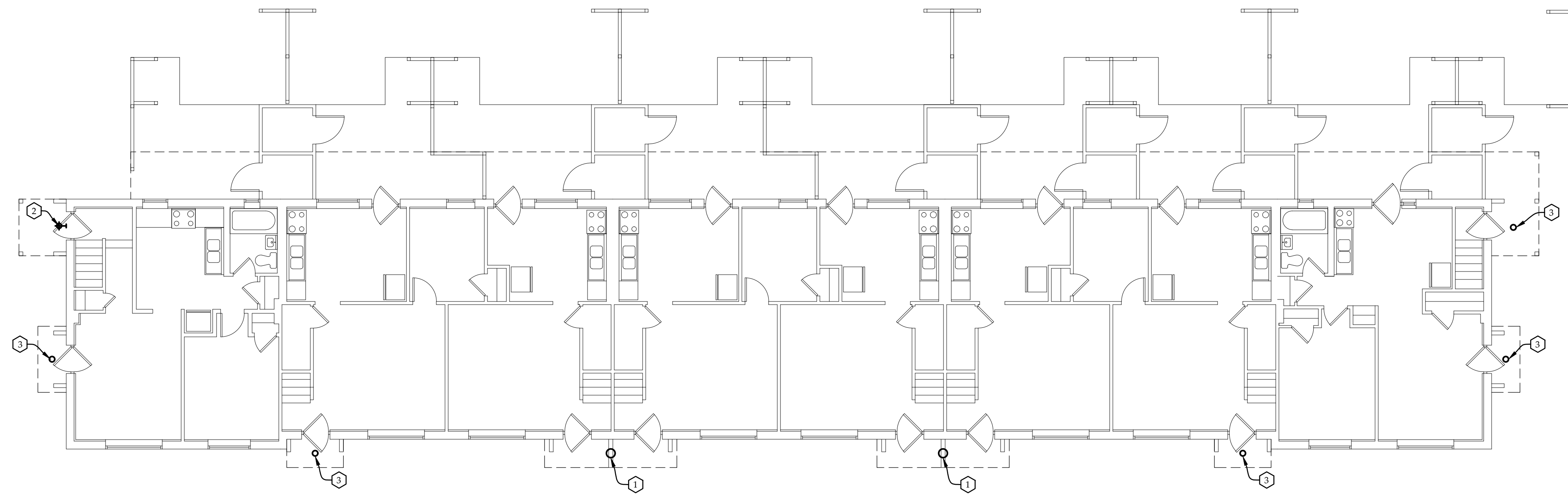
**FLOOR PLAN NOTES:**

**GENERAL**

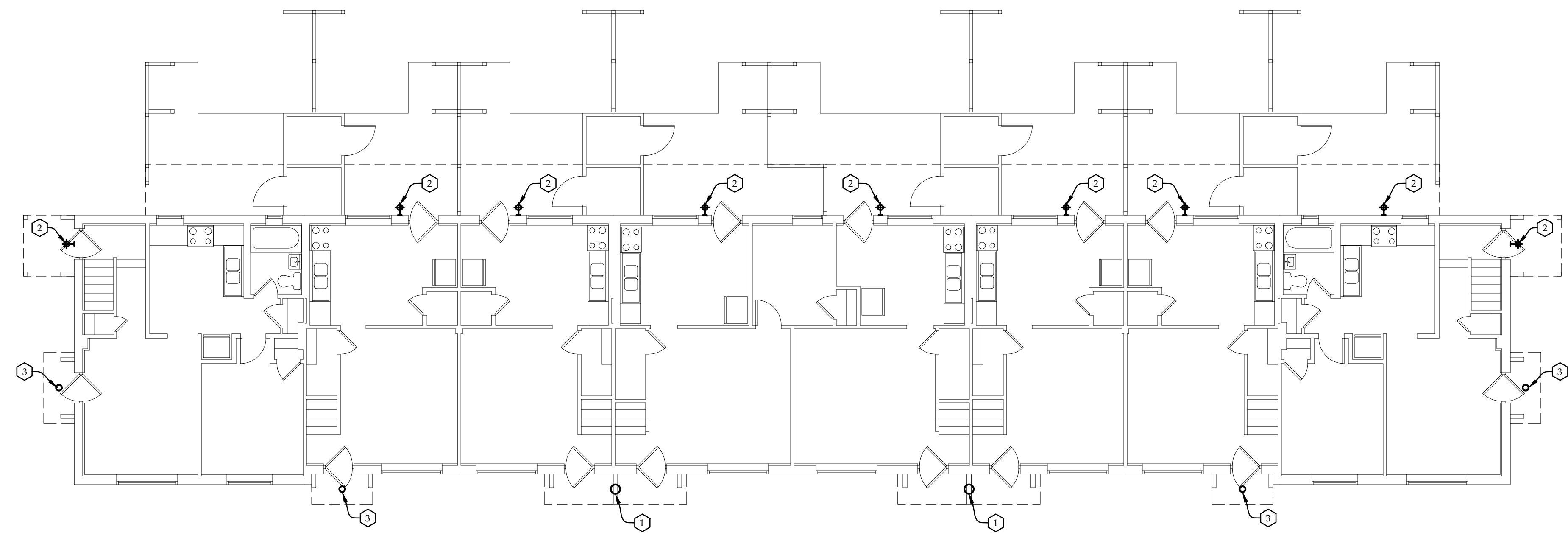
A. FIELD VERIFY ALL EXISTING CONDITIONS, LOCATIONS, & QUANTITIES.

**SPECIFIC** ⑤

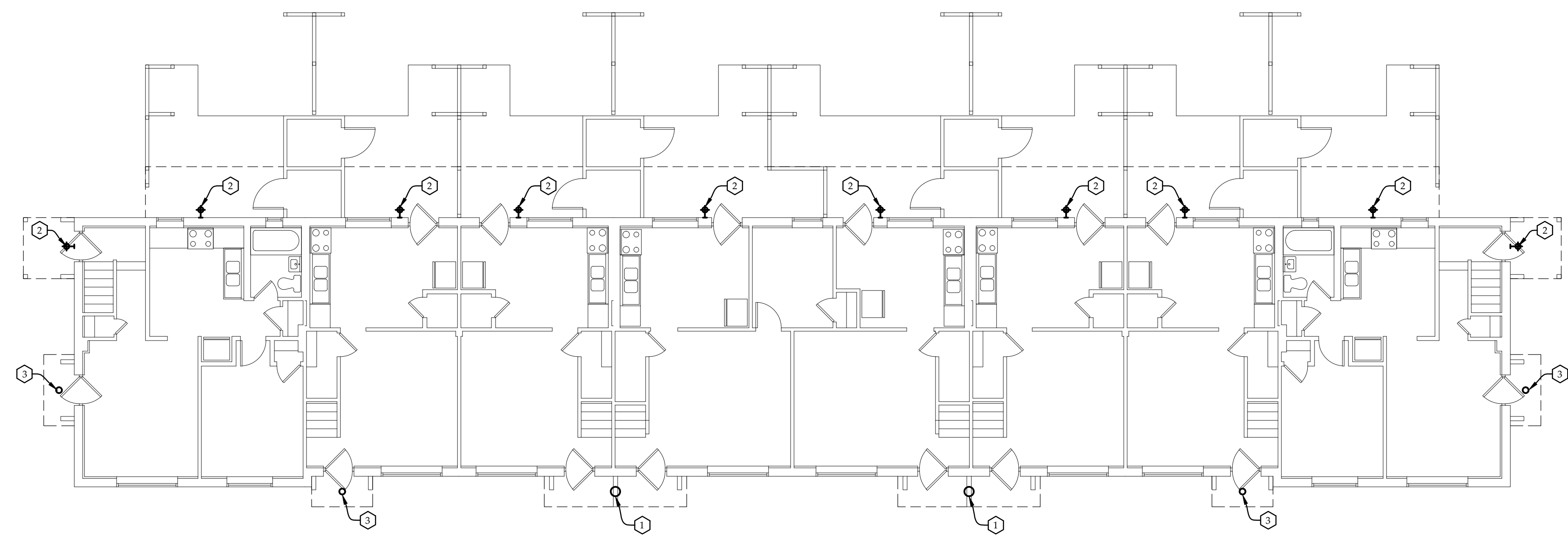
1. REMOVE EXISTING EXTERIOR LIGHT FIXTURE. PROVIDE & INSTALL NEW 'HAMPTON BAY' MED EXTERIOR LED COLOR CHANGING FLUSH MOUNT CEILING LIGHT FIXTURE, MODEL #1002857333. (58 TOTAL / 12 SPARES)
2. REMOVE EXISTING WALL MOUNTED LIGHT FIXTURE. PROVIDE & INSTALL NEW BLACK LED EXTERIOR WALL LANTERN w/ CCT COLOR SWITCHABLE (3, 4, 5K) LIGHT FIXTURE MODEL #1007 207 370. (130 TOTAL / 12 SPARES)
3. REMOVE EXISTING EXTERIOR LIGHT FIXTURE. PROVIDE & INSTALL NEW 'LITHONIA LIGHTING' FMMLS LED SWITCHABLE CCT FEATURE 7" (3, 4, 5K) FLUSH MOUNT CEILING LIGHT FIXTURE. (31 TOTAL / 6 SPARES)



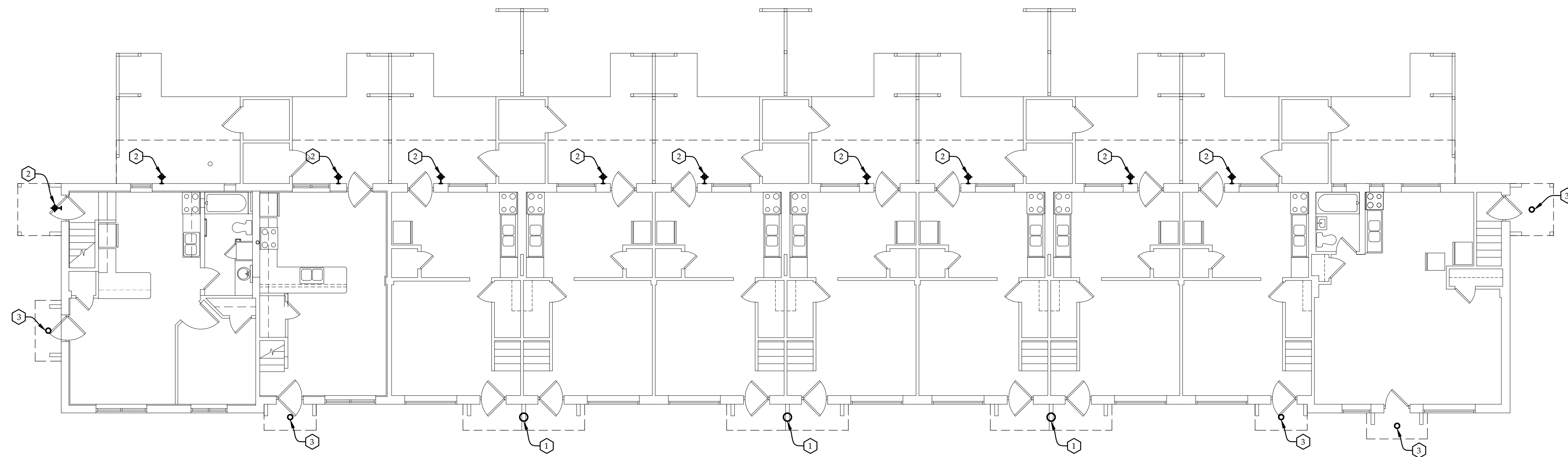
**A FARLEY SQUARE '1218' FIRST FLOOR PLAN**  
SCALE: 1/8"=1'-0"



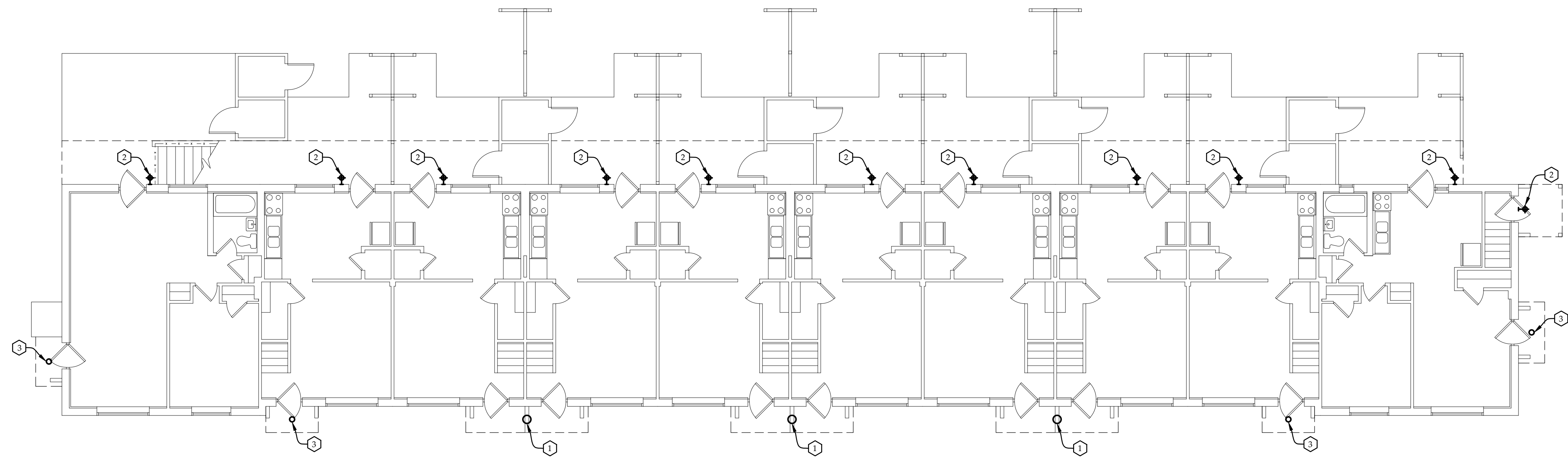
**B FARLEY SQUARE '1219' FIRST FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**C FARLEY SQUARE '1220' FIRST FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**A FARLEY SQUARE '1221' FIRST FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**B FARLEY SQUARE '1222' FIRST FLOOR PLAN**  
SCALE: 1/8"=1'-0"

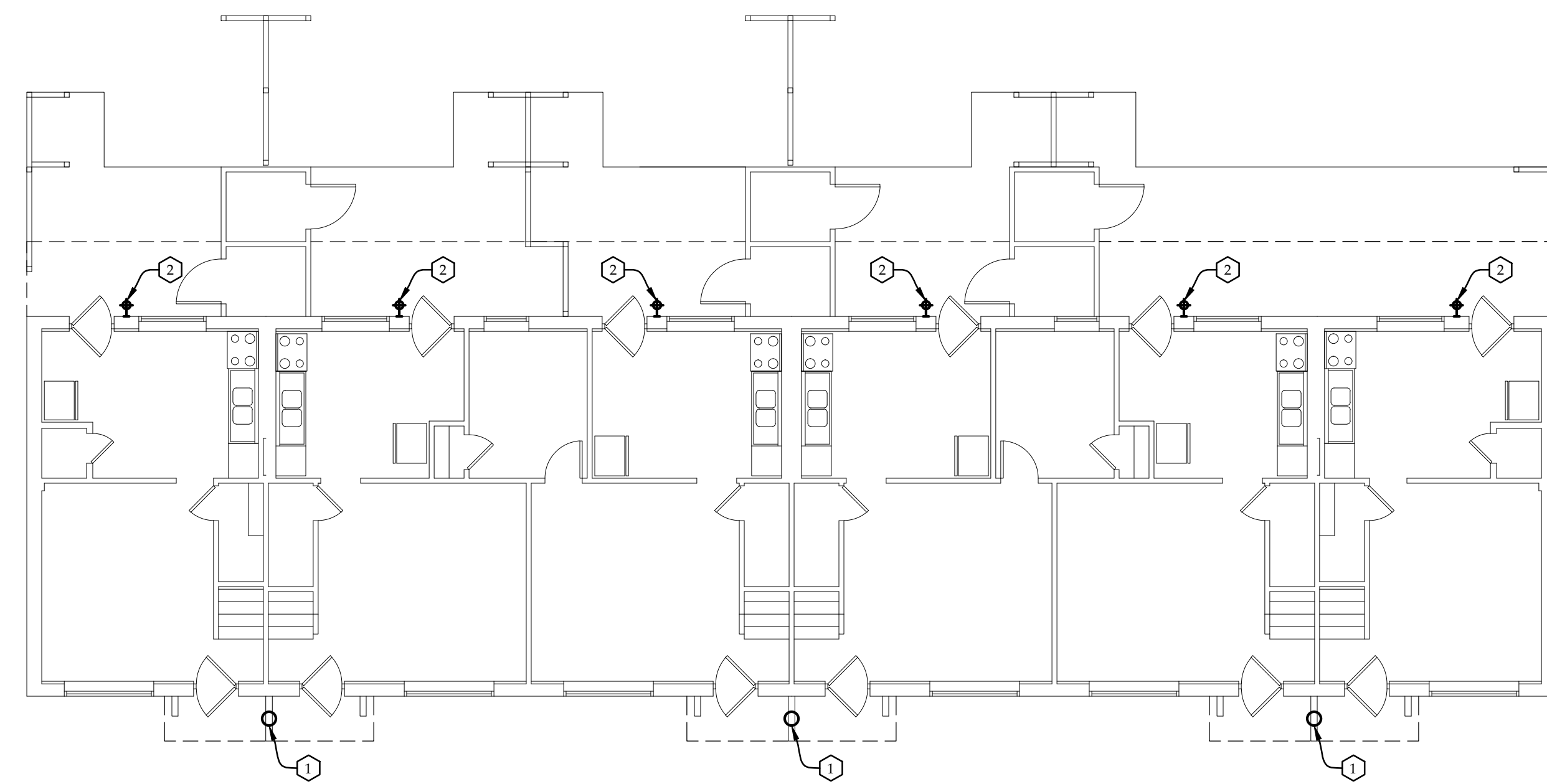
**FLOOR PLAN NOTES:**

**GENERAL**

A. FIELD VERIFY ALL EXISTING CONDITIONS, LOCATIONS, & QUANTITIES.

**SPECIFIC**

1. REMOVE EXISTING EXTERIOR LIGHT FIXTURE. PROVIDE & INSTALL NEW 'HAMPTON BAY' MED EXTERIOR LED COLOR CHANGING FLUSH MOUNT CEILING LIGHT FIXTURE. MODEL #1002857333. (58 TOTAL / 12 SPARES)
2. REMOVE EXISTING WALL MOUNTED LIGHT FIXTURE. PROVIDE & INSTALL NEW BLACK LED EXTERIOR WALL LANTERN w/ CCT COLOR SWITCHABLE (3, 4, 5K) LIGHT FIXTURE MODEL #1007 207 370. (130 TOTAL / 12 SPARES)
3. REMOVE EXISTING EXTERIOR LIGHT FIXTURE. PROVIDE & INSTALL NEW 'LITHONIA LIGHTING' FMMLS LED SWITCHABLE CCT FEATURE 7" (3, 4, 5K) FLUSH MOUNT CEILING LIGHT FIXTURE. (31 TOTAL / 6 SPARES)



**C FARLEY SQUARE '1232' FIRST FLOOR PLAN**  
SCALE: 1/8"=1'-0"

**PROJECT**

NEW EXTERIOR LIGHTS at:  
LETT TERRACE, MILLER MANOR  
& FARLEY SQUARE SITES

**OWNER**

PORTSMOUTH MHA  
410 COURT STREET  
PORTSMOUTH, OHIO 45662

<input type="checkbox"/> PRELIMINARY	04-01-2024 03-22-2024
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<input type="checkbox"/> PERMIT SET	
<input type="checkbox"/> REVISION	

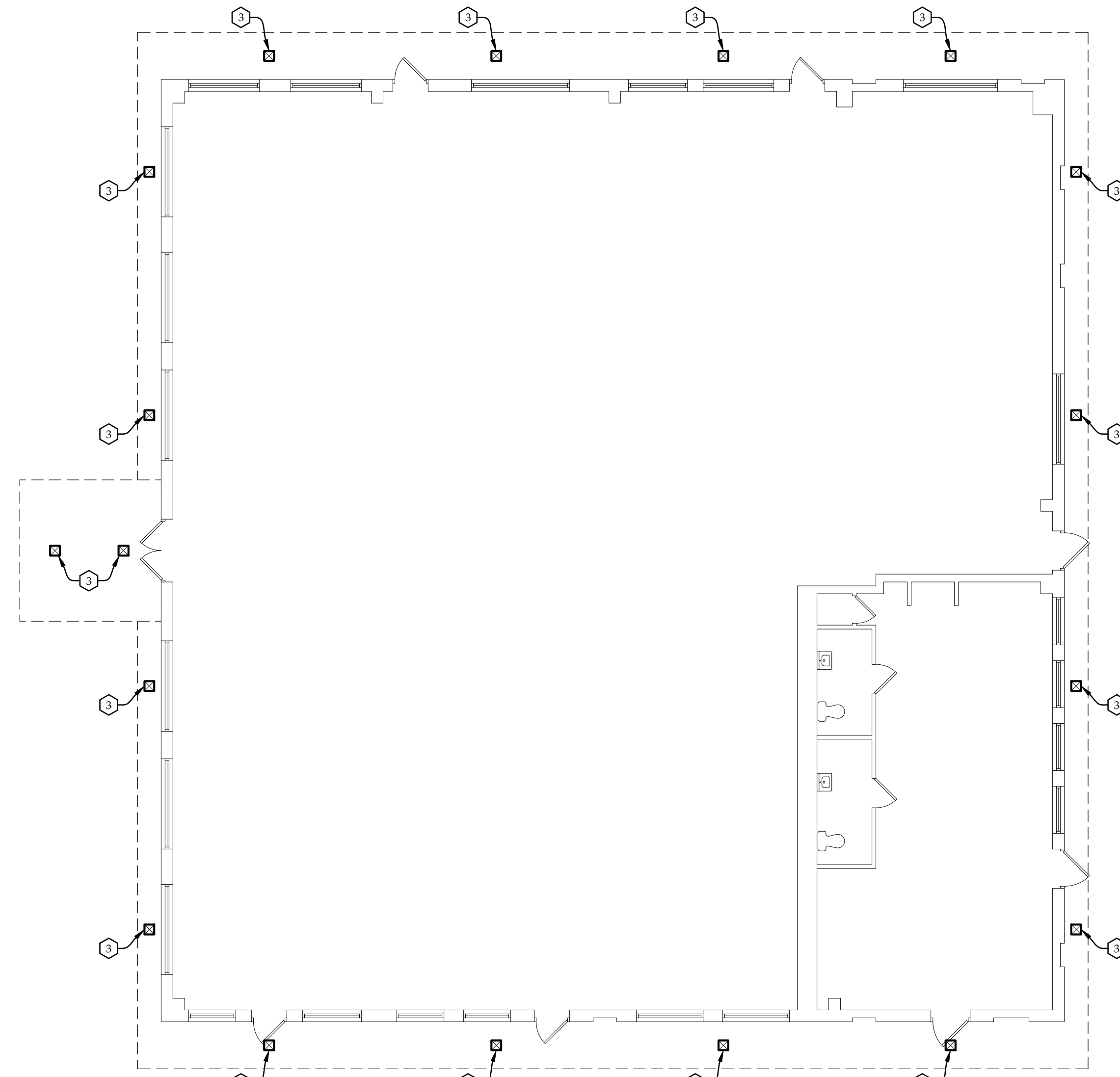
**FLOOR PLAN NOTES:**

**GENERAL**

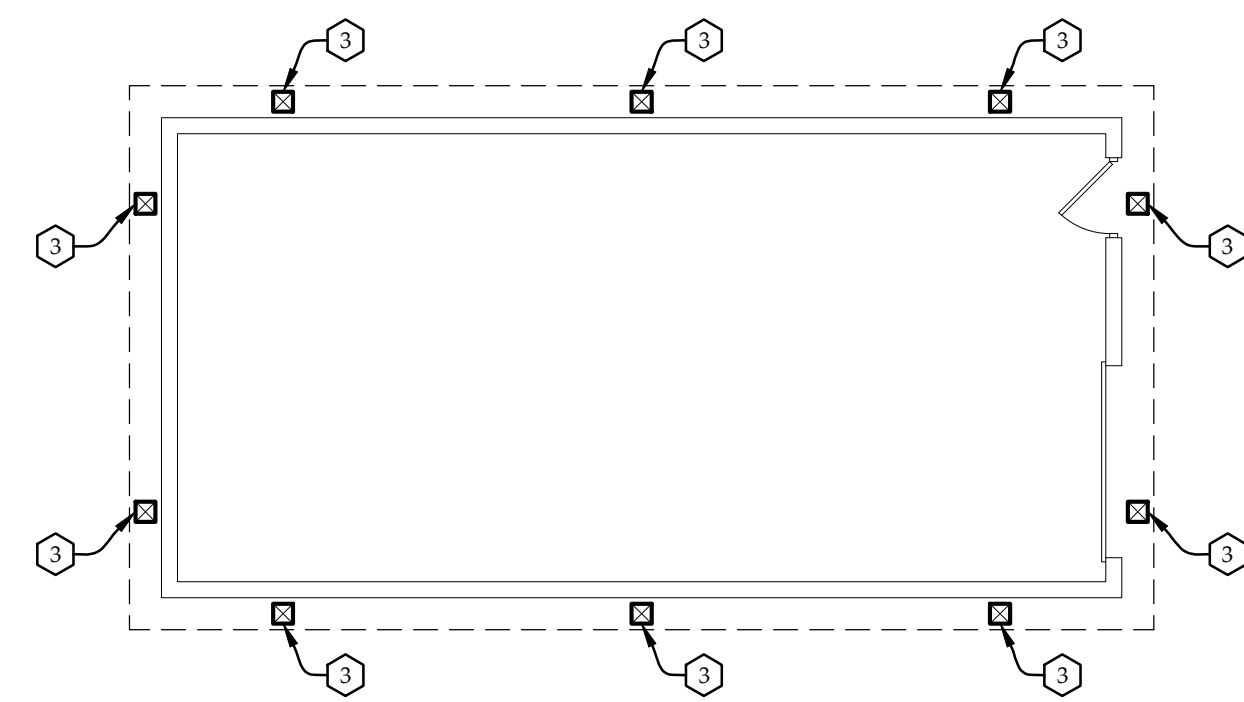
A. FIELD VERIFY ALL EXISTING CONDITIONS, LOCATIONS, & QUANTITIES.

**SPECIFIC**

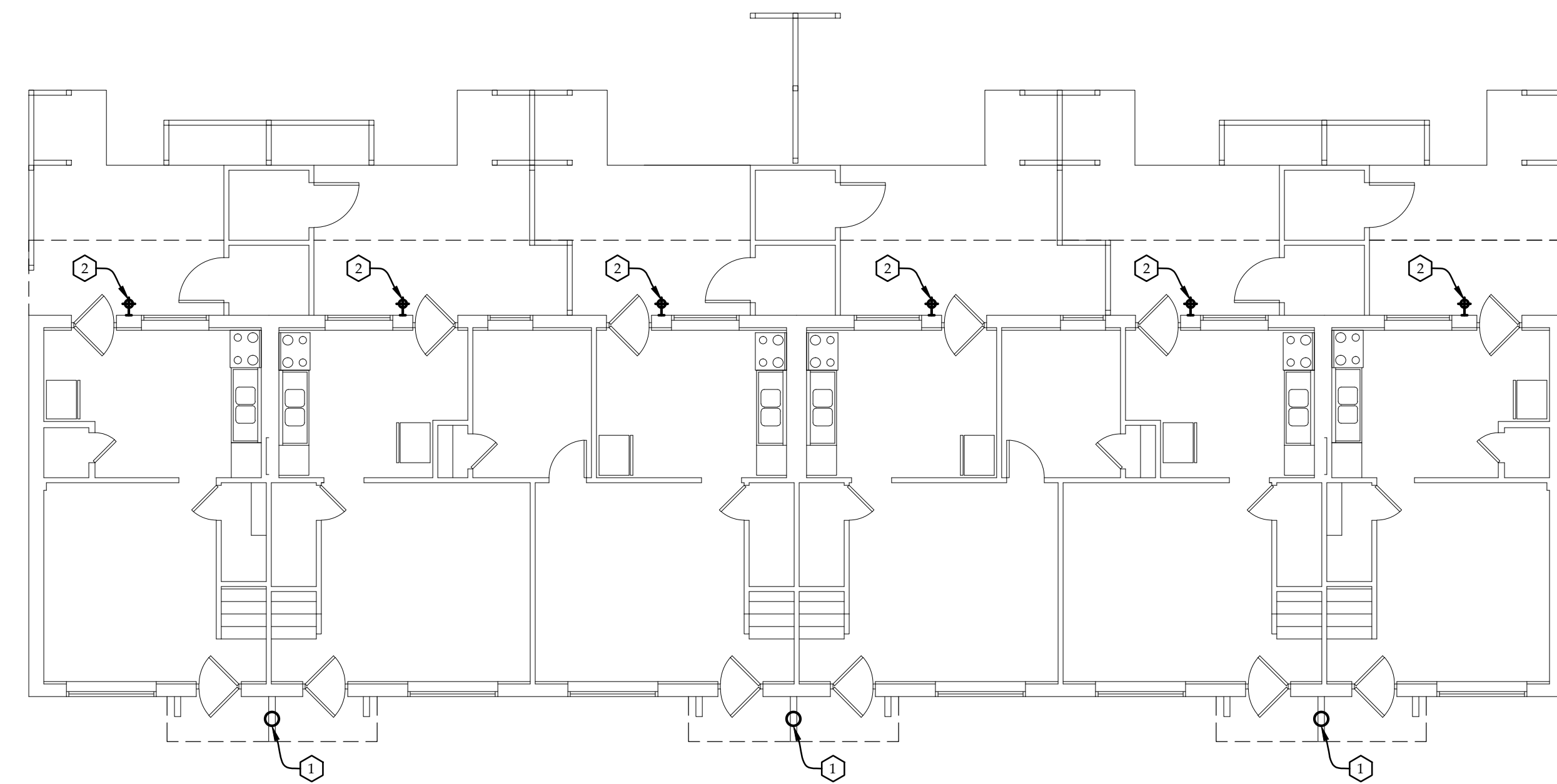
1. REMOVE EXISTING EXTERIOR LIGHT FIXTURE. PROVIDE & INSTALL NEW 'HAMPTON BAY' MED EXTERIOR LED COLOR CHANGING FLUSH MOUNT CEILING LIGHT FIXTURE, MODEL #1002857333. (58 TOTAL / 12 SPARES)
2. REMOVE EXISTING WALL MOUNTED LIGHT FIXTURE. PROVIDE & INSTALL NEW BLACK LED EXTERIOR WALL LANTERN w/ CCT COLOR SWITCHABLE (3, 4, 5K) LIGHT FIXTURE MODEL #1007 207 370. (130 TOTAL / 12 SPARES)
3. REMOVE EXISTING RECESSED LIGHT FIXTURE. PROVIDE & INSTALL NEW 10"x10" (MINIMUM) LED SURFACE MOUNTED LIGHT FIXTURE TO CONCEAL THE EXISTING REMOVED FIXTURE (VERIFY SIZE - MAY VARY). COLOR: DARK BRONZE. CAULK PERIMETER TO MATCH AS REQUIRED.



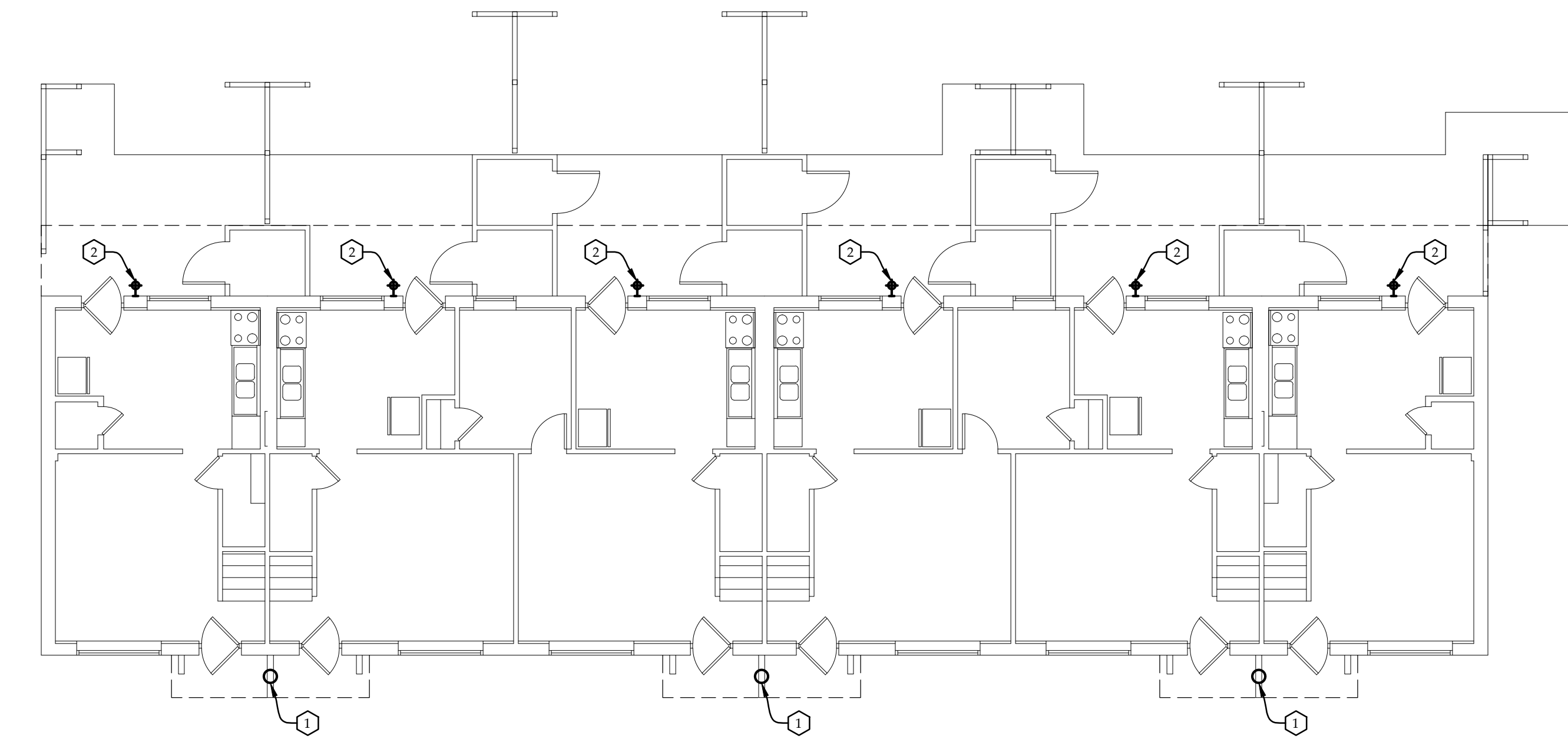
**D FARLEY SQUARE COMMUNITY BUILDING PLAN**  
SCALE: 1/8"=1'-0"



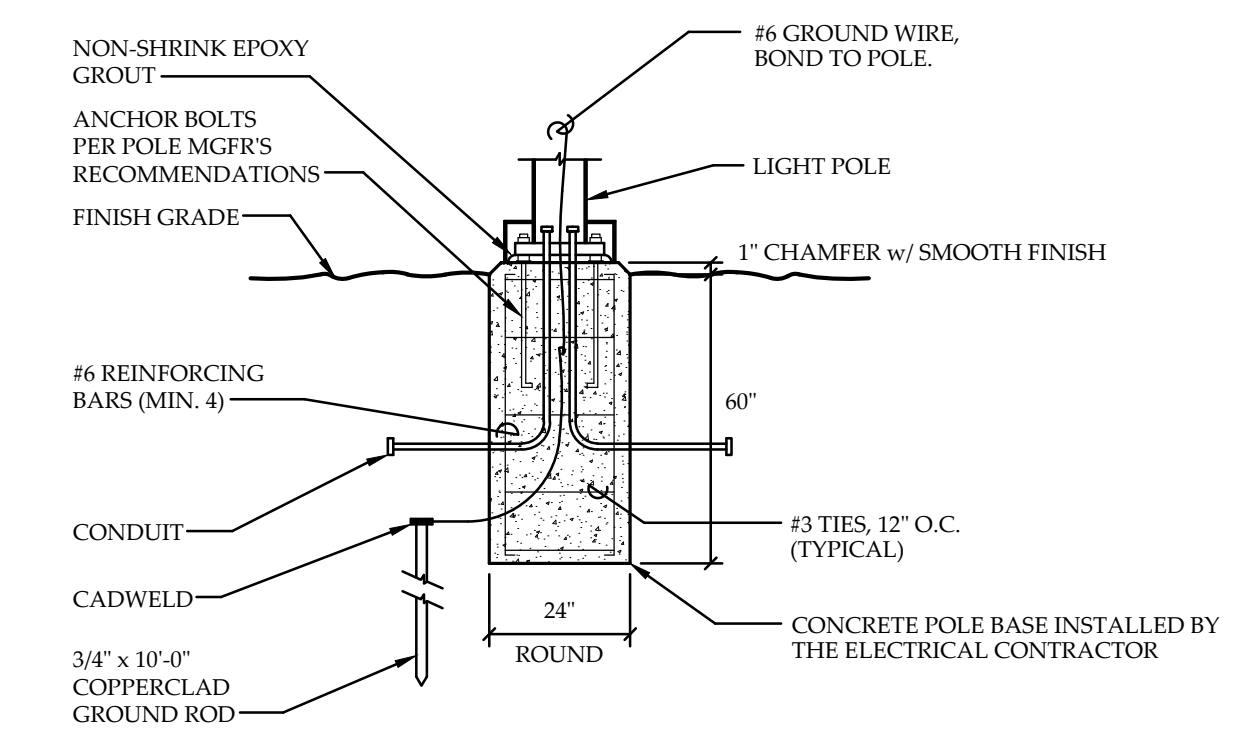
**E FARLEY SQUARE GARAGE PLAN**  
SCALE: 1/8"=1'-0"



**A FARLEY SQUARE '1238' FIRST FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**B FARLEY SQUARE '1506' FIRST FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**C POLE BASE DETAIL**  
N.T.S.

**PROJECT**  
NEW EXTERIOR LIGHTS at:  
LETT TERRACE, MILLER MANOR  
& FARLEY SQUARE SITES

**OWNER**  
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410 COURT STREET  
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