

**GUTTER AND FASCIA REPAIRS TO HHA CENTRAL OFFICE
HUNTSVILLE, ALABAMA
SEPTEMBER 15, 2015**

ADDENDUM NO. 1

The following changes are hereby made a part of the Drawings and Project Manual dated August 27, 2015.

A. PROJECT MANUAL:

1. Section 00100 LEGAL ADVERTISEMENT, Paragraph 3, Line 2:
CHANGE "September 29, 2015" to "October 1, 2015".
2. REMOVE Section 00110, BID FORM in its entirety and REPLACE with attached Section 00110 BID FORM.
3. Section 00801, SUPPLEMENTAL GENERAL CONDITIONS:
 - A. CHANGE 9.0, SCHEDULING OF WORK to read as follows:
"9.0 SCHEDULING OF WORK
The Contractor will be responsible for Coordinating with the Huntsville Housing Authority to schedule the Work. Contact Connie McLaurin, Development / Maintenance Manager, at (256) 755-6293. For duration of this project only, the Contractor shall be allowed to perform Work from 7:00 A.M. until dark, 7 days a week. Note that HHA's hours are Monday thru Friday 8:00 A.M. – 4:30 P.M."
 - B. CHANGE "10.0, SUBMITTALS" to "11.0 SUBMITTALS".
 - C. CHANGE "11.0, HHA BUY AMERICAN POLICY: NOT APPLICABLE" to "12.0, HHA BUY AMERICAN POLICY: NOT APPLICABLE".
 - D. CHANGE "12.0, HHA SECTION 3 POLICY" to "13.0 HHA SECTION 3 POLICY".
 - E. INSERT "10.0, MOBILIZATION:
The HHA parking lot shall not be used for construction parking or storage. The four parallel parking space on the south side of the building can be made available for dumpster and material storage. Per the City of Huntsville instruction, a \$25.00 deposit and a \$4.00 per day per-occupied space, is required to occupy public metered parking spaces. Contractor to coordinate with the City of Huntsville's Parking Services should metered parking spaces be occupied while Work in is progress".
3. Section 01500, TEMPORARY FACILITIES, 5:
CHANGE B to read as follows:
"B. Contractor shall make arrangements to provide temporary electric service"

CHANGE C. to read as follows.
"C. Contractor shall provide, install, and maintain temporary lighting and power systems to any on-site location and requiring lighting and/or power."

B. DRAWINGS:

1. Sheet A1.0, EXISTING/DEMO EXTERIOR ELEVATION:
 - A. GENERAL DEMOLITION NOTES:
 - 1.) DELETE "C." in its entirety and ADD "C. NOT USED".
 - 2.) DELETE "E." in its entirety and ADD "E. NOT USED".
 - 3.) DELETE "G." in its entirety and ADD "G. NOT USED".
 - 4.) NOTE "O," DELETE "See Electrical and Plumbing Plans".
 - 5.) DELETE "P." in its entirety and ADD "O. NOT USED".
 - 6.) DELETE "Q." in its entirety and ADD "Q. NOT USED".
 - 7.) NOTE "O," DELETE "See Electrical and Plumbing Plans".
 - B. 1, NORTH ELEVATION:
 - 1.) ADD note "Remove exist window and prepare opening for new window); arrows to point to dashed windows only.
 - C. 1, EAST ELEVATION:
 - 1.) REPLACE Number "1" with Number "2".
 - D. 1, SOUTH ELEVATION:
 - 1.) REPLACE Number "1" with Number "3".
 - 2.) MODIFY arrows to note; arrows to point to dashed windows only.
 - E. 1, WEST ELEVATION:
 - 1.) REPLACE Number "1" with Number "4".
 - 2.) MODIFY arrows to note "Remove exist window and prepare opening for new Window"; arrows to point to dashed windows only.
 - F. DEMOLITION LEGEND
 - 1.) DELETE notation "Existing door to the be removed" and dashed door symbol.
2. DELETE Sheet A2.1, FLOOR PLANS in its entirety and REPLACE with attached A2.1, FLOOR PLANS, revised September 15, 2015.
3. DELETE Sheet A2.2, ROOF PLAN AND DETAILS in its entirety and REPLACE with attached A2.2, ROOF PLAN AND DETAILS, revised September 15, 2015.
4. Sheet A4.1, EXTERIOR ELEVATIONS:
 - A. At East Elevation, REPLACE Number "1" with Number "2".
 - B. At South Elevation, REPLACE Number "1" with Number "3".

C. At West Elevation:

- 1.) REPLACE Number "1" with Number "4".
- 2.) ADD note: "Re-attach all loose shutters, typical all locations"; arrows to point to existing shutters.

END OF ADDENDUM NO. 1

SECTION 00110
BID FORM

IFB NO. 2015-06
GUTTER AND FASCIA REPAIR TO HHA CENTRAL OFFICE
HUNTSVILLE HOUSING AUTHORITY
(RETURN WITH BIDS)

In compliance with the above, the undersigned offers and agrees, if the bid is accepted within 90 days from the date of the bid deadline, to furnish all of the items upon which prices are quoted, at the price set forth, delivery at the designated point and within the time specified in the contract.

• **BASE BID**

For construction complete as shown and specified, the sum of: _____

NAME OF BIDDER: _____

ADDRESS: _____

CITY: _____

STATE & ZIP CODE: _____

PHONE: _____

FAX: _____

EMAIL: _____

The undersigned agrees to furnish all materials, labor, equipment, supervision, insurance, taxes, licenses, and other services required for construction of the work in accordance with the Drawings and Specifications for HHA's IBF No. 2015-06 Gutter and Fascia Repairs to HHA Central Office, including any Addenda (if provided).

SIGNATURE OF PERSON AUTHORIZED TO SIGN BID

DATE

TITLE: _____

PRINT NAME: _____

General Contractor's License# _____

In Compliance with the Bidding Documents, the undersigned, in making this Bid, represents the following:
(Contractor is to initial each line item to certify agreement)

Bidder's Initials

- _____ 1. Contractor has read and understands the bidding documents, and Contractor's Bid is made in accordance therewith;
- _____ 2. Contractor has reviewed the Contract for Construction prepared by HHA and understands that it will apply to this project and his/her bid is made in accordance therewith.
- _____ 3. Contractor has had the opportunity to visit the site, has familiarized himself /herself with the local conditions under which the work is to be performed and has correlated his/her observations with the requirements of the bidding documents.
- _____ 4. Contractor has included in his bid the cost of all labor, material and items required for the proper execution and completion of the work during construction.

- _____ 5. Contractor's bid is based upon the materials, systems and equipment required by the bidding documents without exception;
- _____ 6. Contractor is licensed and qualified under the laws of the State of Alabama to perform the quantity and type of work shown on the proposed Contract documents;
- _____ 7. Contractor has reviewed the HHA policy on Section 3 compliance provided with the Supplemental Conditions. All bidders will be required to meet the HHA minimum required for Section 3, non-compliance is not an option.

List of acknowledged Addenda (if no addenda published, leave blank)

- No _____ dated _____
- No. _____ dated _____
- No. _____ dated _____
- No. _____ dated _____
- No. _____ dated _____

UNIT PRICES: The following items of work are anticipated during construction of this contract; however the exact quantity of each work item may not be determinable prior to bidding. The Contractor, shall therefore, include in the Lump Sum Base Bid, an amount for the following items in the quantities indicated below. In addition to the unit quantities noted to be included in the base bid the Contractor is to provide a unit price for the perspective items in the event that the unit quantity does or does not provide the amount of work required in the field so that additional work can be authorized by the HHA, or the value of the unused amount can be reconciled with the Owner.

Unit Prices include all charges for labor, materials and equipment, supervision (field and home office), general expenses, taxes, insurance, overhead and profit, but not limited to, for accomplishment of the Unit item(s)

<u>Unit Price Item</u>	<u>Unit Quantity</u> (Qty included in Base Bid)	<u>Unit Price</u> (to reconcile Base Bid Allowance)
<i>(Refer to Survey for repair notes and classification)</i>		
EIFS Repair	100 Sq. Ft.	\$ _____ Total
Window Replacement	1 occurrence- Double Window	\$ _____ Total
Window Replacement	1 occurrence- Single Window	\$ _____ Total

Should the amount required in the base bid not be fully used, a deductive change orders will be issued and/or the Housing Authority will negotiate with the Contactor to perform other minor scopes of work (exterior improvement, power washing, caulking etc.), up to the total amount of the total unit price. See 01270 Unit Prices for detailed information.

COMPLETION DATE

Work under the Contract is to be substantially complete within Ninety (90) calendar days from the date of Notice to Proceed.

THE UNDERSIGNED BIDDER AGREES TO THE FOLLOWING:

1. This bid will not be modified, withdrawn or canceled during the (90) day period following the time and date designed for the receipt of the bid.
2. The Owner reserves the right to reject any or all bids and to waive any informality in the bidding.
3. The undersigned certifies that he/she is authorized to execute contracts on behalf of the bidder as legally names, that this proposal is submitted in good faith without fraud or collusion with any other bidder, that the information indicated in the document is true and complete, and that the bid is made in full accord with State Law.

SUBMITTAL OF BID:

Signature of Bidder/Agent of Bidder: _____

Name/Title of Bidder/Agent (Printed): _____

Date: _____

HUNTSVILLE HOUSING AUTHORITY

IFB NO. 2015-06
GUTTER AND FASCIA REPAIRS TO HHA CENTRAL OFFICE
HUNTSVILLE HOUSING AUTHORITY
(RETURN WITH BIDS)

CONTRACTOR REFERENCES

BIDDING CONTRACTOR: _____
CONTRACTOR'S NAME: _____

REFERENCE #1

COMPANY NAME: _____
ADDRESS _____

CONTACT PERSON: _____
TELEPHONE NUMBER: _____
FAX: _____
EMAIL ADDRESS: _____

REFERENCE #2

COMPANY NAME: _____
ADDRESS: _____

CONTACT PERSON _____
TELEPHONE NUMBER _____
FAX _____
EMAIL ADDRESS _____

REFERENCE #3

COMPANY NAME _____
ADDRESS _____

CONTACT PERSON _____
TELEPHONE NUMBER _____
FAX _____
EMAIL ADDRESS _____

**INVITATION FOR BIDS NO. 2015-06
GUTTER AND FASCIA REPAIRS TO HHA CENTRAL OFFICE**

CONTRACTOR AFFIDAVIT

By executing this affidavit, the undersigned contractor verifies its compliance with E-Verify, stating affirmatively that the individual, firm or corporation which is engaged in the physical performance of services on behalf of HHA has registered with, is authorized to use and uses the federal work authorization program known as E-Verify, or any subsequent replacement program, in accordance with the applicable provisions and deadlines established with E-Verify. Furthermore, the undersigned contractor will continue to use the federal work authorization program throughout the contract period and the undersigned contractor will contract for the physical performance of services in satisfaction of such contract only with subcontractors who present an affidavit to the Contractor with the information required by E-Verify. Contractor hereby attests that its federal work authorization user identification number and date of authorization are as follows:

Federal Work Authorization User Identification Number: _____

Date of Authorization: _____

Name of Contractor: _____

I hereby declare under penalty of perjury that the foregoing is true and correct.

Executed on _____, 2015 in _____ (city).

_____ (State).

Signature of Authorized Officer or Agent

Printed Name and Title of Authorized Officer or Agent

SUBSCRIBED AND SWORN BEFORE ME

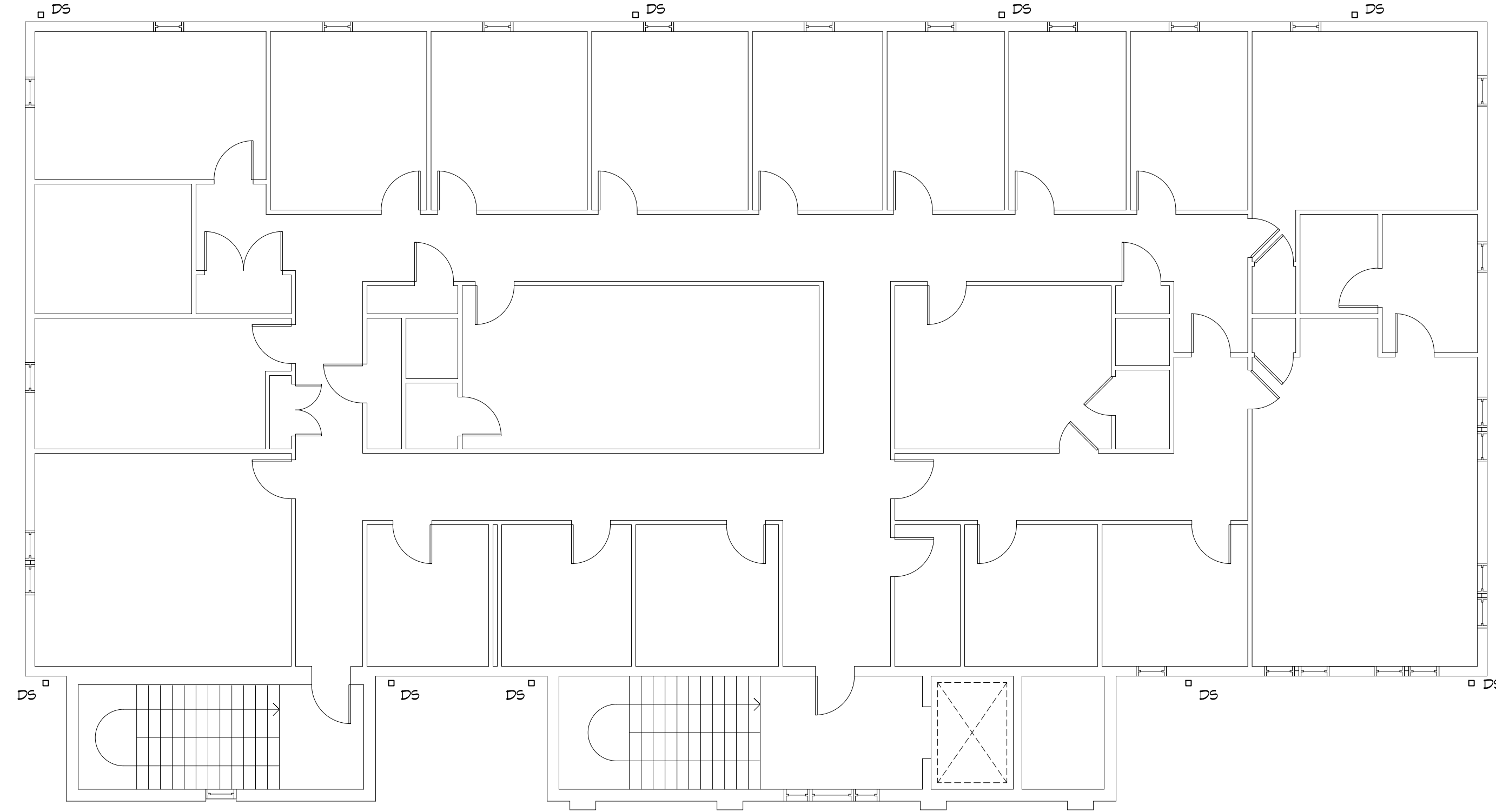
ON THIS THE _____ DAY OF _____, 2015.

NOTARY PUBLIC

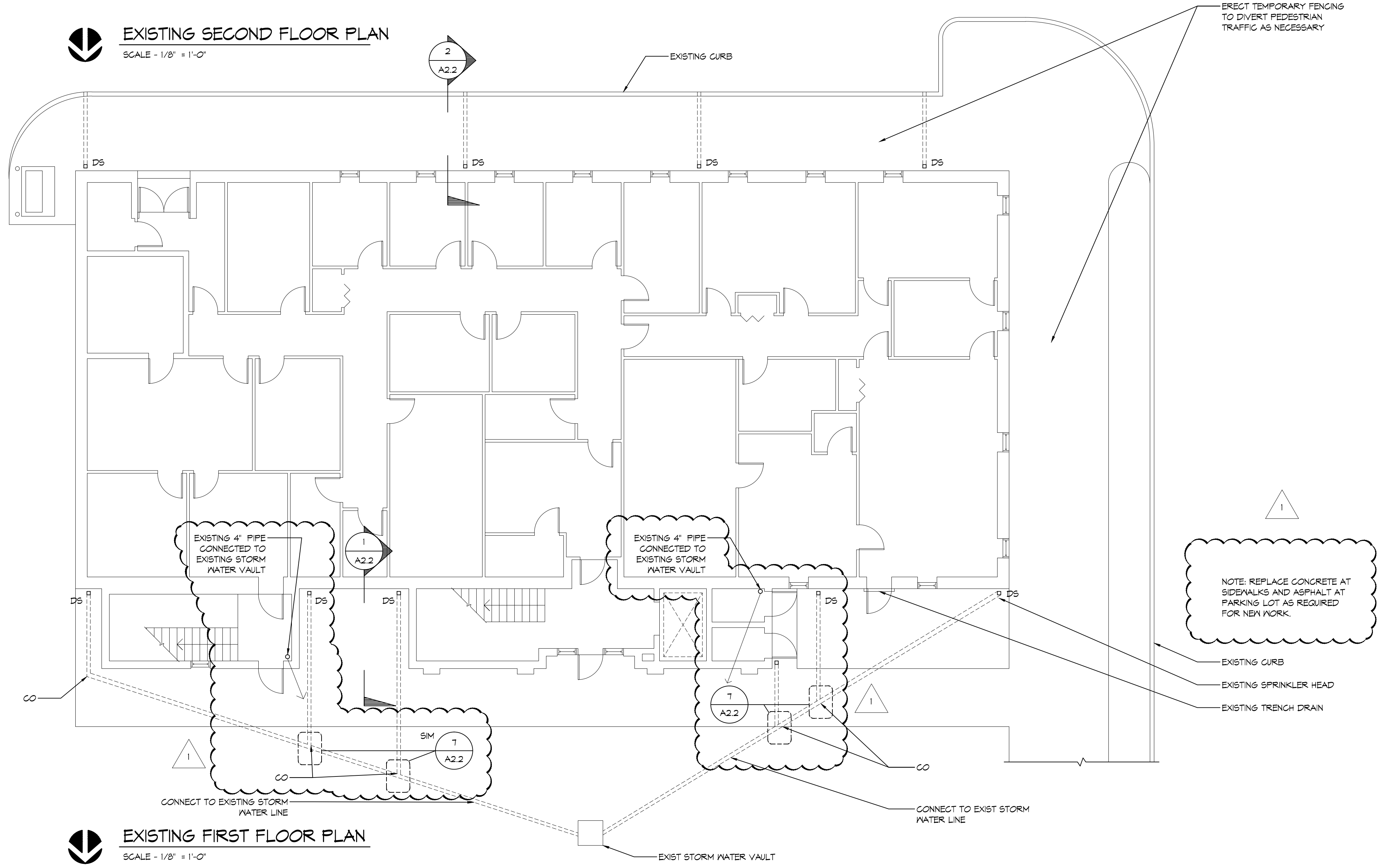
My Commission Expires:

GENERAL NOTES

1. BEFORE DOING ANY WORK OR ORDERING ANY MATERIALS, THE CONTRACTORS SHALL VERIFY ALL MEASUREMENTS OF ANY WORK AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS. ANY DIFFERENCES WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION BEFORE PROCEEDING WITH THE WORK.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SUPPORT WHERE EXISTING STRUCTURE MAY BE JEOPARDIZED BY REMOVAL OF EXISTING WALLS.
3. ALL STEEL REMOVED MUST BE RECYCLE. PROVIDE DOCUMENTATION AT THE END OF THE PROJECT IN THE CLOSEOUT DOCUMENTS
4. SHOULD IT APPEAR THAT THE WORK INTENDED TO BE DESCRIBED OR ANY OF THE MATTERS RELATIVE THERETO ARE NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THE DRAWINGS, THE CONTRACTORS SHALL APPLY TO ARCHITECT FOR SUCH DRAWINGS OR EXPLANATIONS AS MAY BE NECESSARY AND SHALL CONFORM TO THEM AS FAR AS THEY SHALL BE CONSISTENT WITH ORIGINAL DRAWINGS.
5. IF ANY QUESTION ARISES REGARDING THE TRUE MEANING OF THE DRAWINGS REFERENCE SHALL BE MADE TO THE ARCHITECT WHOSE DECISION SHALL BE CONCLUSIVE.
6. IN NO INSTNCE SHALL A BID BE SUBMITTED FOR ANY WORK STARTED WITH ANY UNCERTAINTY.
7. EXTRA COMPENSATION WILL NOT BE ALLOWED BECAUSE OF DIFFERENCES BETWEEN ACTUAL DIMENSIONS AND MEASUREMENTS INDICATED ON THE WORKING DRAWINGS.
8. WHERE A CONFLICT OCCURS BETWEEN OR WITHIN STANDARDS, CODES, ORDINANCES AND/OR WORKING DRAWINGS THE MORE STRINGENT OR HIGHER QUALITY REQUIREMENTS SHALL APPLY.
9. IT IS THE INTENT OF THE CONTRACT DOCUMENTS FOR EACH AND EVERY ITEM AND/OR COMPONENT TO BE COMPLETE WITH ALL REQUIRED DEVICES AND STANDARD FEATURES NECESSARY FOR THAT ITEM AND/OR COMPONENT TO PROPERLY FUNCTION.
10. ALL LABOR SHALL BE PERFORMED BY EXPERIENCED MECHANICS IN THIS TYPE OF WORK. ALL WORK ON THE PREMISES SHALL BE DONE AT SUCH TIME AS TO PROMOTE THE PROPER CONDUCT OF THE PROJECT. PROVIDE A COMPETENT ON-SITE SUPERINTENDENT TO SUPERVISE THE WORK AND TO PROVIDE OTHER TRADES WITH SUCH INFORMATION NECESSARY TO MAINTAIN PROPER CONDUCT AND TIMELY COMPLETION OF THE WORK.
11. NOT USED
12. NOT USED
13. CONTRACTOR TO REVIEW ALL REQUIRED SHOP DRAWINGS AND SUBMITTALS FOR COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS PRIOR TO SUBMITTING THEM TO THE ARCHITECT.
14. SUBMIT COLORS AND FINISHES TO ARCHITECT FOR APPROVAL
15. NOT USED
16. NOT USED
17. REPAIR AND/OR PATCH AND PREPARE ALL SURFACES PRIOR TO RECEIVING PAINT
18. ALL NEW FINISHES TO MATCH EXISTING UNLESS NOTED OTHERWISE



EXISTING SECOND FLOOR PLAN
SCALE = 1/8" = 1'-0"



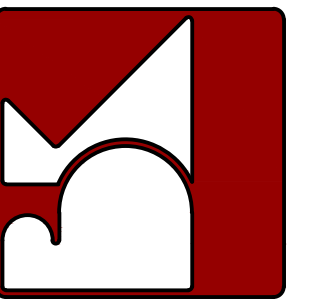
EXISTING FIRST FLOOR PLAN
SCALE = 1/8" = 1'-0"

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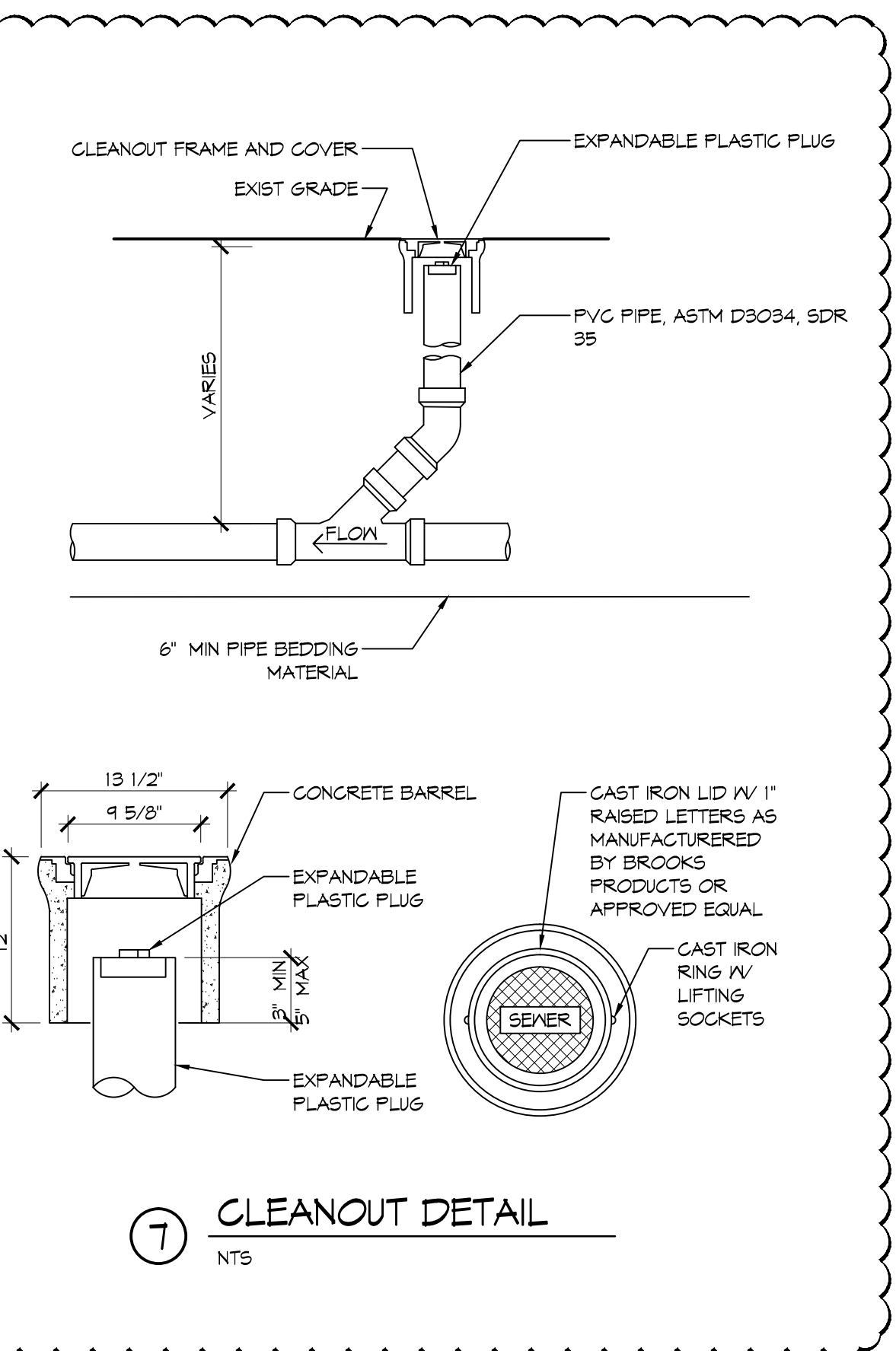
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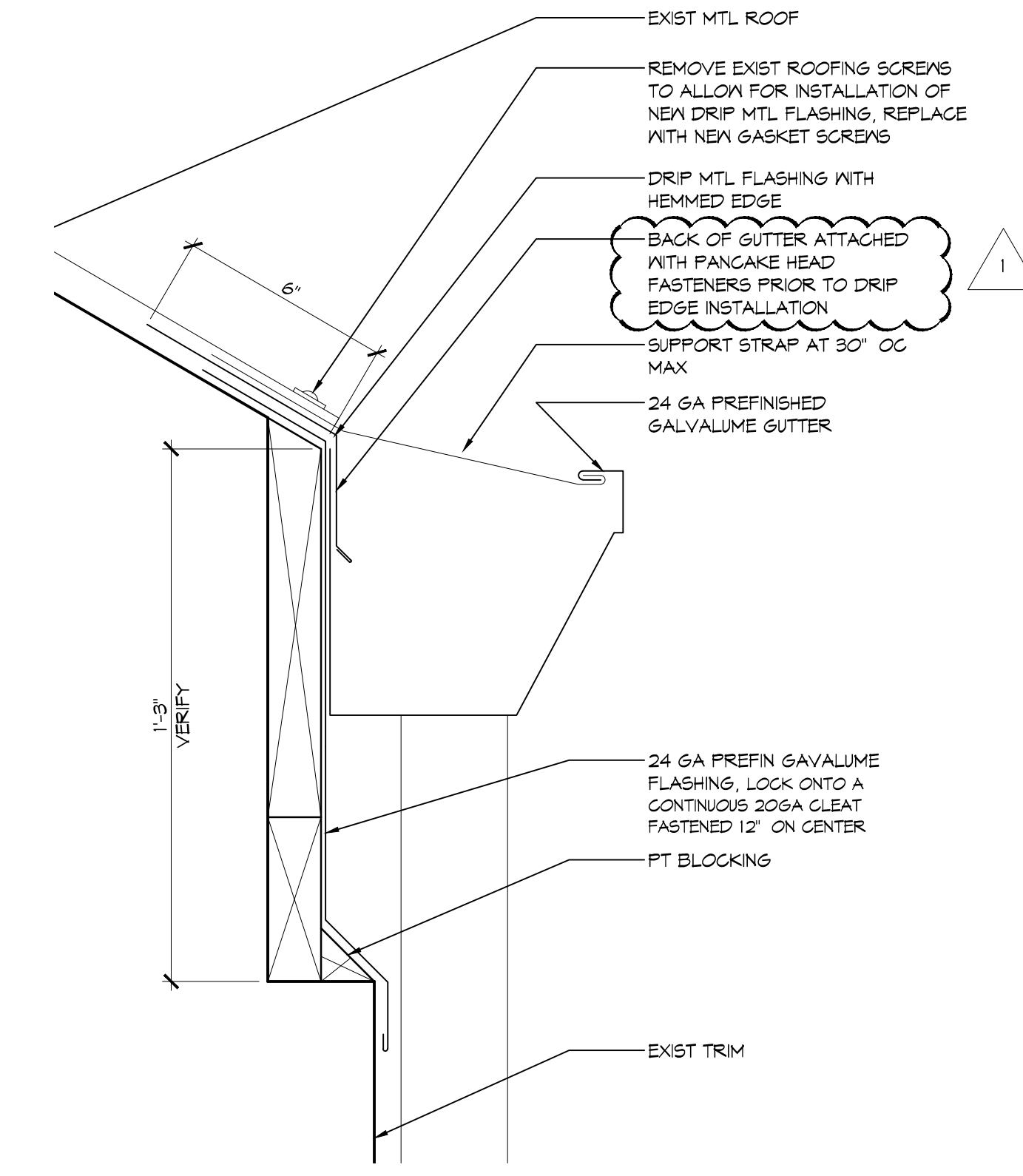
GUTTER AND FASCIA REPAIRS TO HHA CENTRAL OFFICE
 200 WASHINGTON STREET
 HUNTSVILLE, ALABAMA

NO.	DATE / DESCRIPTION
1	09-15-2015
ADDENDUM 1	

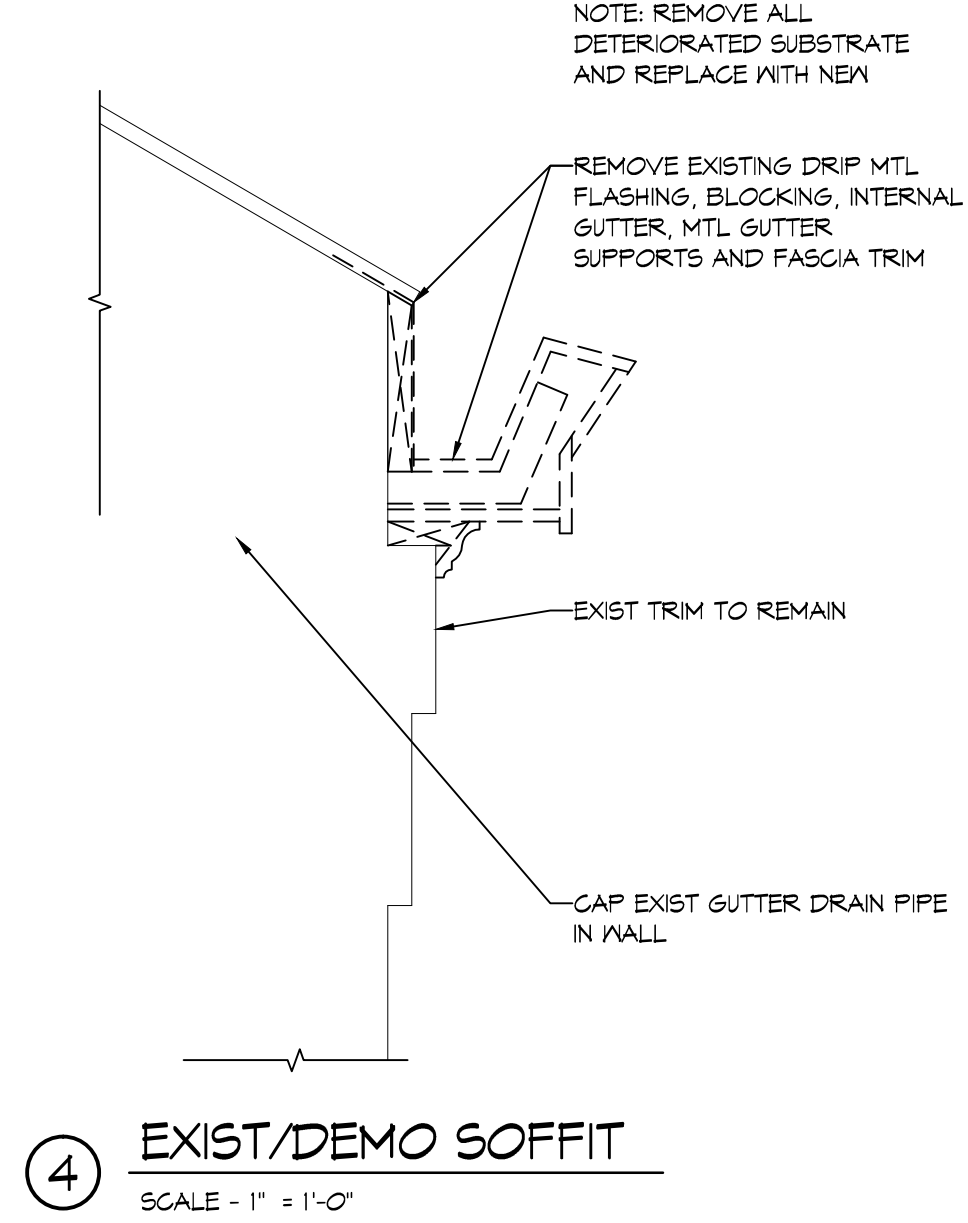
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PROJECT NO.	1489
SHEET TITLE	FLOOR PLANS
SHEET NO.	A2.1



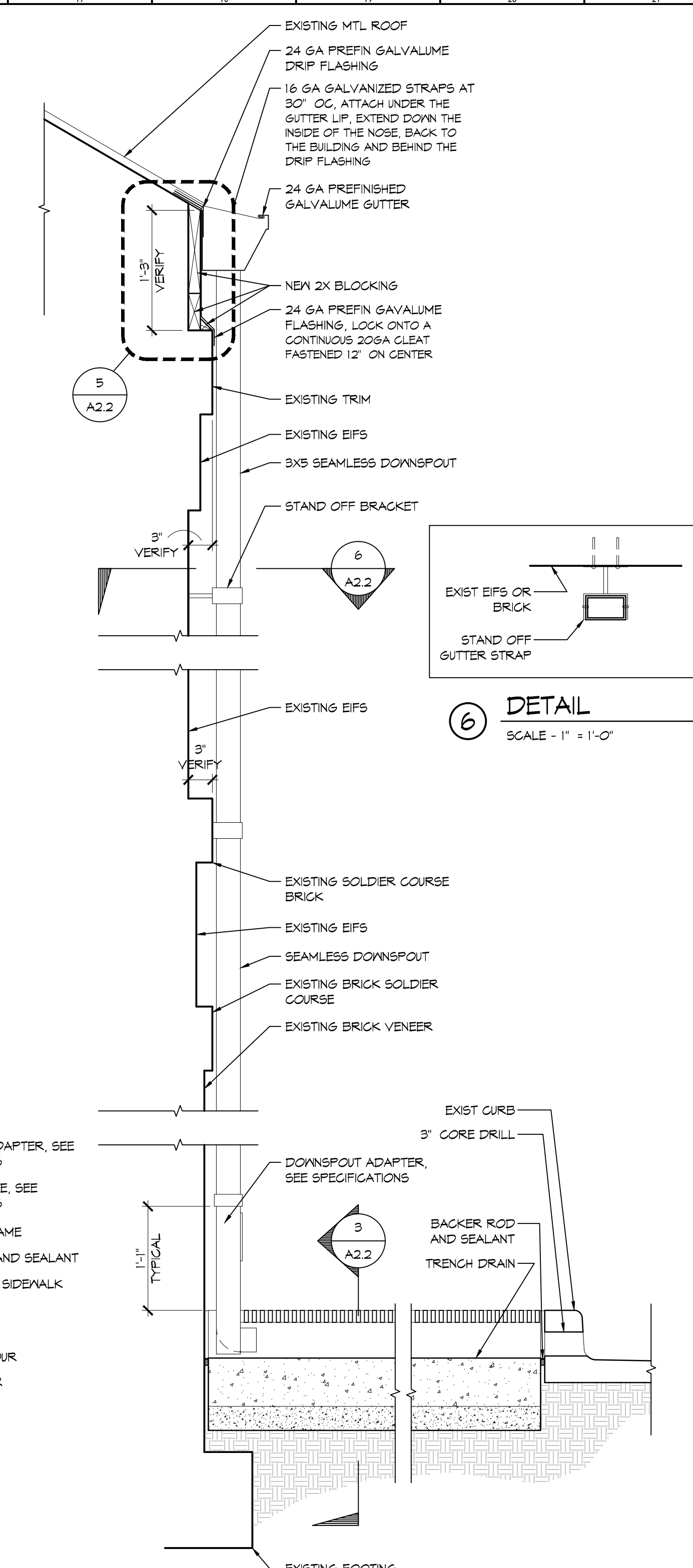
7 CLEANOUT DETAIL
NTS



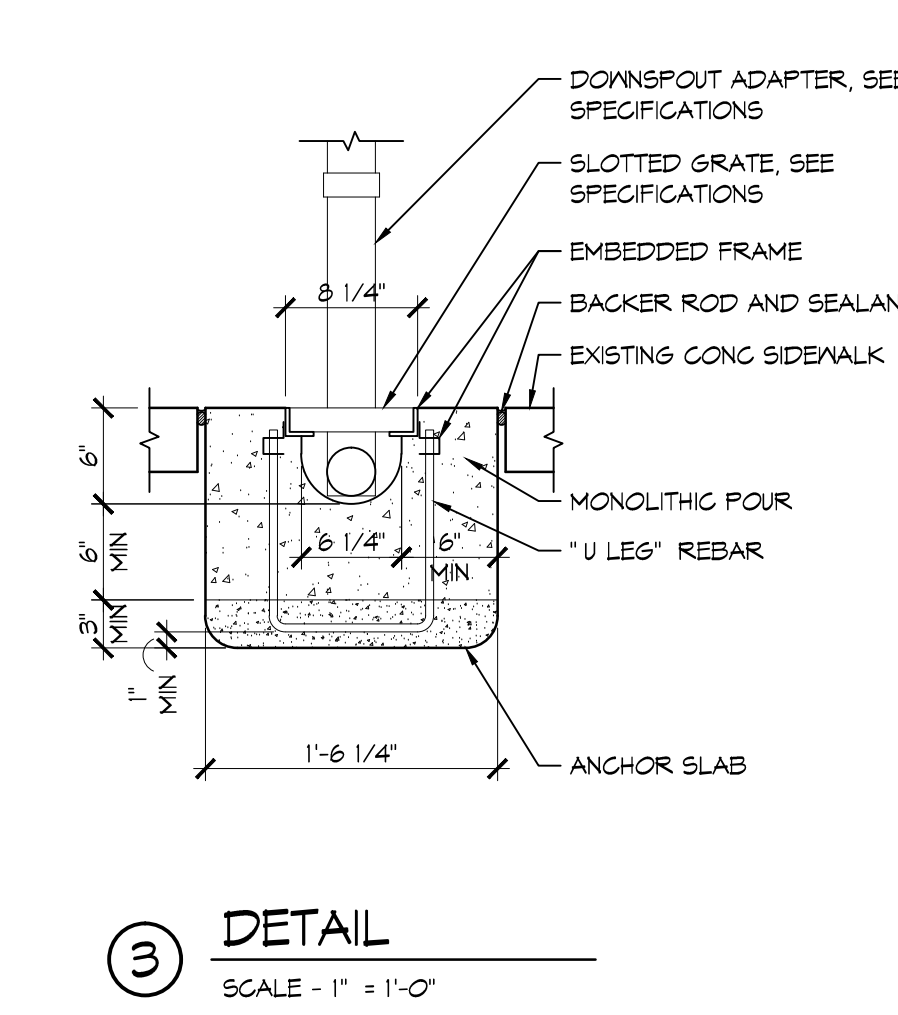
5 ENLARGED DETAIL AT GUTTER
SCALE - 1" = 1'-0"



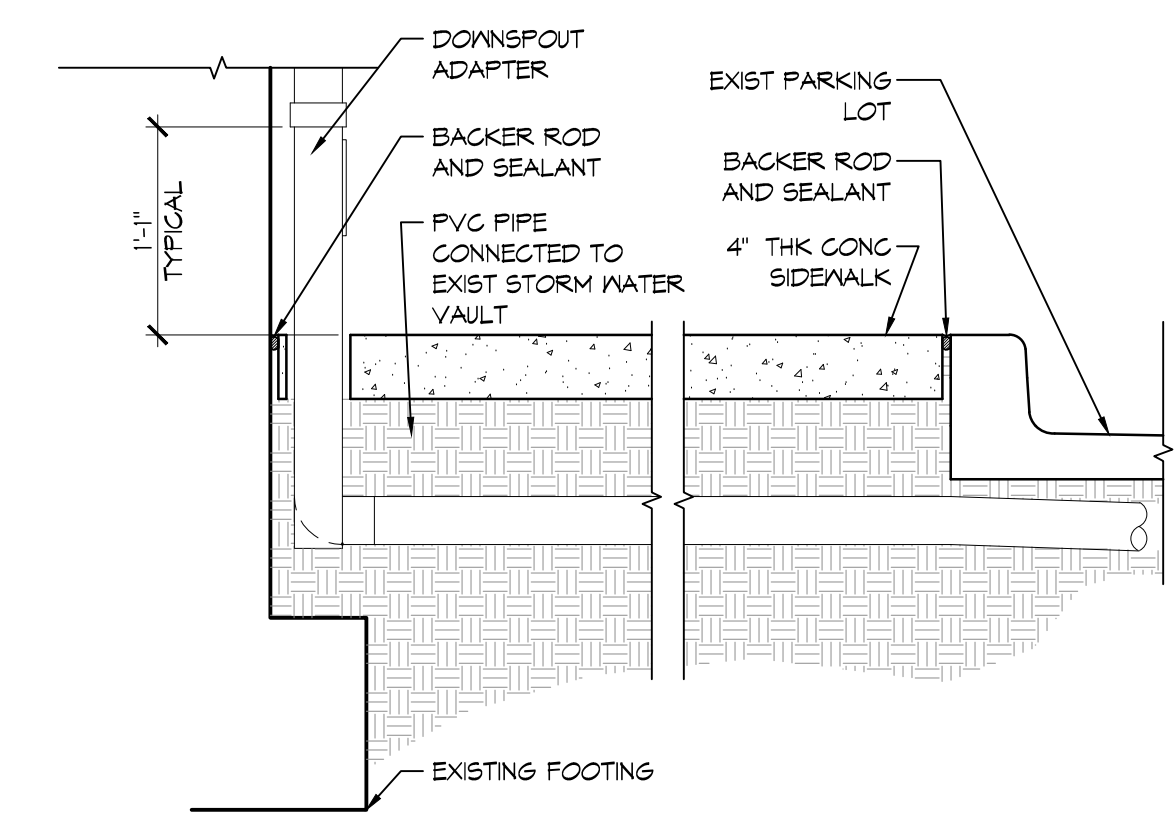
4 EXIST/DEMO SOFFIT
SCALE - 1" = 1'-0"



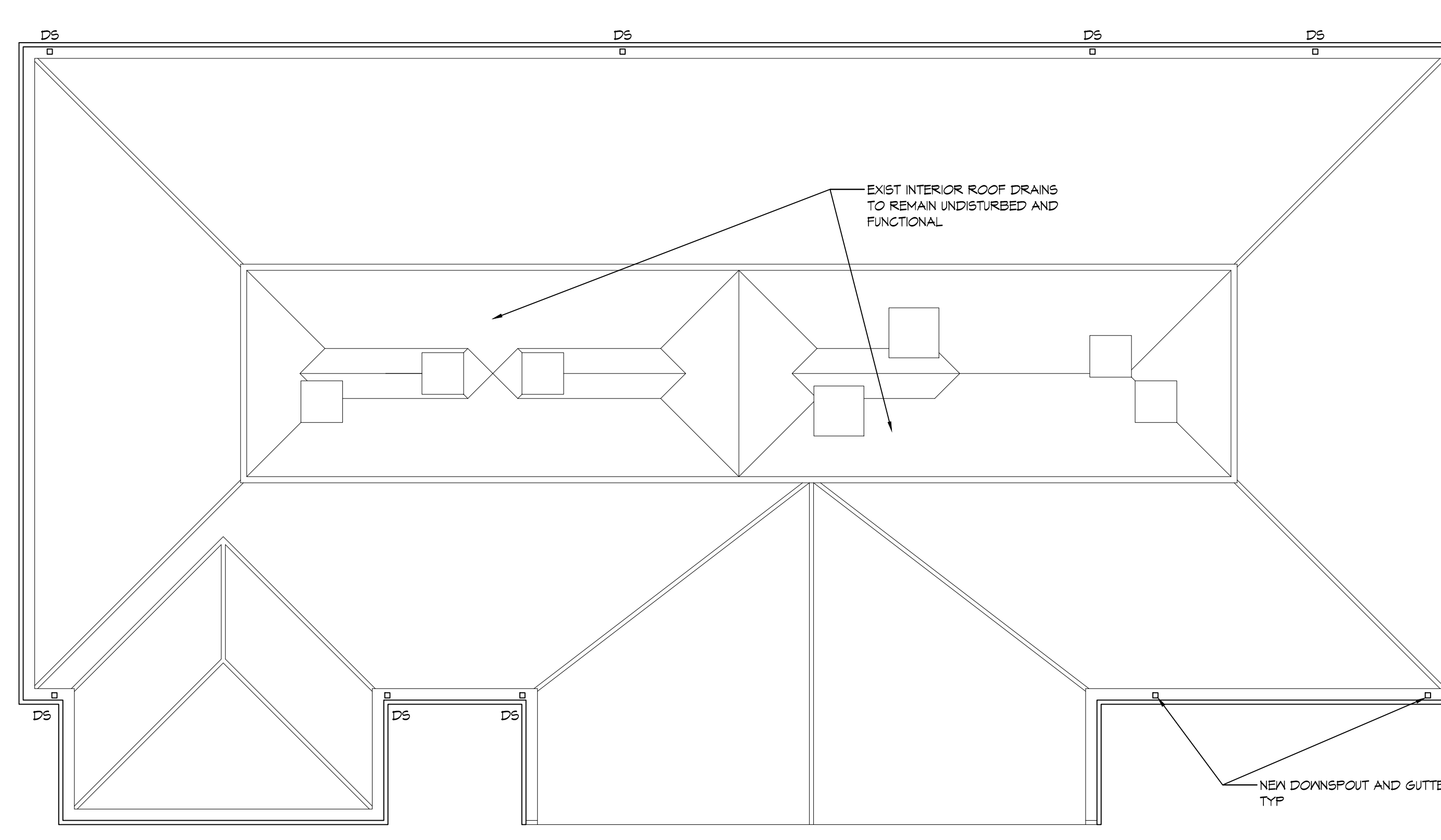
2 DETAIL AT SIDEWALK
SCALE - 1" = 1'-0"



3 DETAIL
SCALE - 1" = 1'-0"

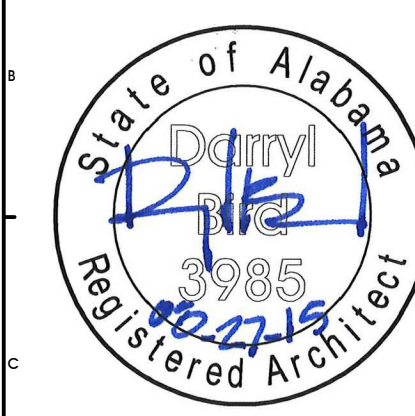


1 DETAIL AT PARKING LOT
SCALE - 1" = 1'-0"



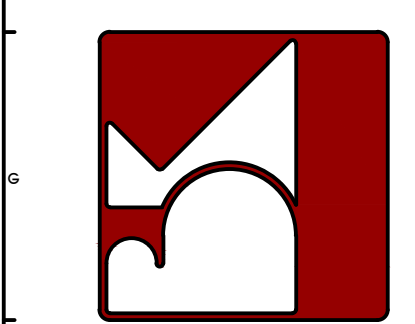
EXISTING ROOF PLAN
SCALE 1/8" = 1'-0"

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GUTTER AND FASCIA REPAIRS TO
HHA CENTRAL OFFICE
200 WASHINGTON STREET
HUNTSVILLE, ALABAMA

REVISIONS	NO.	DATE / DESCRIPTION
▲	09-15-2015	ADDENDUM 1
▲		
▲		
▲		
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▲		
DATE	09-15-2015	
PROJECT NO.	1489	
SHEET TITLE		
ROOF PLAN AND DETAILS		
SHEET NO.		
A2.2		

Drawing name: S:\BK Projects\2014\1489 - Repairs to 200 Washington Street - Drawings\A02 - CAD\A02.2 - Sheet Files\1489-A2.2.dwg Plotted on: Sep 16, 2015 - 8:34am Scale Factor: 1