



ADDENDUM '02'

The Proposal Drawings and Specifications, dated (01/26/2017) for:

Project Name Collingwood Green Phase 3
Toledo, Ohio

Addendum Date: February 13, 2017

NOTICE TO CONTRACTORS:

- A. This Addendum shall be considered part of the Contract Documents for the above mentioned project as though it had been issued at the same time and shall be incorporated integrally therewith. Where provisions of the following supplementary data differ from those of the original Contract Documents, this Addendum shall govern and take precedence.
- B. This Addendum is complimentary to and refers to revised drawings issued herewith this document, or provides general narrative for revisions to drawings not necessarily issued with this document.

Site:

- 1. BLOCK C PROPOSED UTILITIES Sheet 9/17 – Utility crossing tables were updated to include the duct bank
- 2. BLOCK D PROPOSED UTILITIES sheet 13/17 – Utility crossing tables were updated to include the duct bank
- 3. BLOCK E PROPOSED UTILITIES sheet 17/17 – Utility crossing tables were updated to include the duct bank
- 4. RIGHT-OF-WAY sheet 3/28
 - a. Revised “STORM QUANTITIES” to “SEWER SEPARATION QUANTITIES”
 - b. Moved the following line items to “SEWER SEPARATION QUANTITIES”.
 - i. SANITARY MANHOLE REMOVED
 - ii. 24” SANITARY SEWER ABANDONED
 - iii. 24” CONDUIT, TYPE B
 - iv. REBUILD SANITARY MANHOLE
 - v. BIOSWALE PLANTS – LITTLE BLUESTEM
 - vi. BIOSWALE PLANTS – SWAMP MILKWEEK
 - vii. BIOSWALE PLANTS – NEW ENGLAND ASTER
 - viii. BIOSWALE PLANTS – TALL COREOPSIS
 - ix. BIOSWALE PLANTS – MARCH BLAZING STAR
 - x. BIOSWALE PLANTS – INDIAN GRASS
 - xi. BIOSWALE PLANTS – SWITCH GRASS
 - c. Renumbered SEWER SEPARATION QUANTITIES items 30 through 55
 - d. Renumbered WATER QUANTITIES items 56 through 58
 - e. Renumbered SANITARY QUANTITIES items 59 through 62
 - f. Renumbered LANDSCAPE QUANTITIES items 63 through 70
 - g. (quantities did not change)
- 5. C401
 - a. Removed detail H/C401 HC Parking Sign Detail.
 - b. Changed P/C401 detail title to read “CLEANOUT PROTECTION”.



Structural:

1. S101 'A' through S101'H'; see attached sketch.
 - a. Added soil bearing note.
 - b. Revised footing F3 width from 1'-4" to 1'-6". See attached sketch.
2. S101A/C/F/G
 - a. Removed stepped foundation detail from sheet since it is not applicable to these buildings.
3. S103'A' through S103'H'; see attached sketch
 - a. Added direction and extents information to roof framing plan – typical.
4. S101F and S101G; see attached sketch
 - a. Removed continuous footing F3 at 2 bedroom flat. See attached sketch.
 - b. Added two spread footings, F5, for columns for revised beam location on S102F. See beam location at S102F.
5. S102F and S102G; see attached sketch
 - a. Changed beam B4 to Beam B5 and moved to be aligned with outside wall, and revised roof truss profile – see building section A/A502.
 - b. Added coded note 8 to identify wood framed column with column base cap and top cap for attachment to slab on grade and to beam B5.
6. S101H; see attached sketch
 - a. Adjusted annotation for foundation step at water meter room. Water meter room Top Of Slab is at 100'-5 3/4".
7. S203
 - a. Changed Seismic Class from class 'D' to class 'E'.

Architectural:

1. Sheet A001
 - a. Issue date for modified sheets changed to 02/13/2017 to match issue date of Addendum 02. Added sheets A100A through A100H, A619, A620, A621 and A622
2. Sheet A003
 - a. Removed Phase 2 revision cloud and tags; disregard on plan.
 - b. Ceiling type C-1: removed fire rating from assembly type.
3. Building Plans & Dwelling Unit Plans
 - a. Removed stair handrail extensions at first floor landings.
4. Sheets A100A – H
 - a. New reference sheets for all buildings with floor plan and associated elevations identifying wall section tags. Refer to these sheets for all wall section cuts. See attached sheets.
5. Sheets A101's and A102's
 - a. Refer to A100 sheets for wall section tags.
6. Sheets A101A through A101H and A102A through A102H
 - a. Change Building Area Table total line text from "TOTAL PROJECT AREA" to "TOTAL BUILDING AREA".
7. Sheets A101E, A102E and A304
 - a. Adjusted window graphics. NOTE: Window graphics adjustments to be shown at a later date – See elevations and window tags to confirm window sizes and locations.
8. Sheet A102A:
 - a. 3 windows indicated as '?' to be type 'K'.
9. Sheet A103B and A103E
 - a. Revise shed roof areas. See attached sketch
10. Sheet A101E
 - a. Revise wall type tags. See attached sketch
11. Sheet A102E
 - a. Revise wall type tags
 - b. Revise window types. See attached sketch



12. Sheet A201A
 - a. Add siding on sides of porch roof, add coded notes for siding above roof and scupper locations, and update grade on East Elevation.
 - b. Add siding on sides of porch roof, add coded notes for limestone cornice and limestone head trim on West Elevation.
 - c. Add coded notes for cornice locations and limestone head trim on South Elevation
 - d. Add coded notes to scupper and cornice locations and siding above roof on North Elevation
 - e. Add coded note 50 – Limestone Head Trim. See attached sketches
13. Sheet A201B
 - a. Add siding on sides of porch roof, add coded notes for siding above roof and revise shed roof area on East Elevation.
 - b. Add coded notes for cornice and door trim locations and revise shed roof areas on West Elevation.
 - c. Add coded notes for cornice locations and revise shed roof areas on South Elevation
 - d. Add coded notes to scupper and cornice locations on North Elevation
 - e. Add coded note 50 – Limestone Head Trim. See attached sketches.
14. Sheet A201C
 - a. Add siding on sides of porch roof and coded notes for scupper locations on East Elevation.
 - b. Add siding on sides of porch roof and limestone head and coded notes on West Elevation.
 - c. Add limestone head and coded notes on South Elevation
 - d. Add coded notes to scupper locations on North Elevation
 - e. Add coded note 50 – Limestone Head Trim. See attached sketches
15. Sheet A201E
 - a. Revise roof slopes at shed roof areas on South Elevation
 - b. Revise stone base on South Elevation
 - c. Revise windows on East and West Elevations
 - d. Add notes for siding above roof on West Elevation
 - e. Add coded note to scuppers and gutters on North Elevation. See attached sketches.
16. Sheet A201G
 - a. Add limestone head and coded notes on East and North Elevations
 - b. Add coded notes to scupper locations on West Elevation
 - c. Add coded note 50 – Limestone Head Trim. See attached sketches.
17. Sheet A201H
 - a. Add limestone head and coded notes on all Elevations
 - b. Add coded note 50 – Limestone Head Trim. See attached sketches.
18. Sheet A304 through A308 & A801
 - a. Coordinated townhouse motor operated damper access panel locations, and added the following coded note #24: MECHANICAL DAMPER ACCESS PANEL – CONTRACTOR TO COORDINATE ACCESS PANEL SIZE AND LOCATION. These panels are not located in rated assemblies. See attached sketches.
19. Sheet A502
 - a. Detail A/A502: Revised building section to match roof framing plan S102F.
20. Sheet A602
 - a. Revise wall section D/A602 to be full height brick veneer. See attached sketch
21. Sheet A605
 - a. Revise stone veneer and window trim, and revise roof framing on section D/A605
 - b. Revise stone veneer and revise roof framing on section E/A605. See attached sketches.
22. Sheet A606
 - a. Revise direction of joists in section H/A606
 - b. Revise direction of joists and roof slope in section D/A606
 - c. Add scupper, add call out for window detail and revise roof joists in section E/A606. See attached sketches.



- d. Revise roof framing on G/A606. See attached sketches.
- 23. Sheet A607
 - a. Revise roof truss in section G/A607
 - b. Revise roof slope note in section D and E/A607 to read “ SEE ROOF PLAN FOR ROOF SLOPE” (Not included in sketches)
 - c. Add 'sim' notation to detail call out on section C/A607 (not included in sketches)
 - d. Revise roof framing and add eave trim on section B/A607
 - e. Add dimension and eave trim on section A/A607. See attached sketches.
- 24. Sheet A608
 - a. Add eave trim and revise roof framing in section A/A608
 - b. Revise roof framing on section E/A608
 - c. Revise parapet on section D/A608. See attached sketches.
- 25. Sheet A609
 - a. Revise roof framing on section A/A609, B/A609 and F/A609.
 - b. Add section F/A609. See attached sketches.
- 26. Sheet A610
 - a. Revise roof framing in sections A, B, E and F/A610
 - b. Add shutter and window trim to sections D and F/A610
 - c. Add scupper to section E/A610. See attached sketches.
- 27. Sheet A611
 - a. Revise roof and floor framing on sections A and B/A611
 - b. Revise roof slope note on section C/A611
 - c. Add shutter and window trim on section D/A611
 - d. Revise window height on section E/A611. See attached sketches.
- 28. Sheet A612
 - a. Revise roof and floor framing on section A/A612
 - b. Revise roof framing on sections B/A612, C/A612 and D/A612
 - c. Revise roof framing and add dimensions on section E/A612
 - d. Revise roof slope and add shutters/window trim on section E/A612
 - e. Revise roof dimension on section F/A612. See attached sheet.
- 29. Sheet A613
 - a. Revise roof framing on sections A, B, E and F/A613
 - b. Revise roof slope and material on section D/A613. See attached sketches.
- 30. Sheet A614
 - a. Revise roof framing and add eave trim on sections B/A614 D/A614
 - b. Revise roof and floor framing on sections E and F/A614
 - c. Revise stone veneer, roof framing, window height and window trim on section G/A614
 - d. Revise window height and window trim on section H/A614. See attached sketches.
- 31. Sheet A615
 - a. Revise roof framing on sections B and E/A615
 - b. Add new section F/A615. See attached sketches.
- 32. Sheets A619 – A622:
 - a. New Wall Section Sheets added for clarification; See attached sheets.
- 33. Sheet A701
 - a. Removed Tyvek proprietary window flashing detail from sheet.
- 34. Sheet A801; see attached sketches
 - a. Updated floor plan for Unit ‘C’ 3br townhouse first floor plan. Added motor operated damper access panel and added the following coded note: MECHANICAL DAMPER ACCESS PANEL – CONTRACTOR TO COORDINATE ACCESS PANEL SIZE AND LOCATION.
 - b. Added pattern that identifies fire rated assembly.



Specifications:

1. General: Project specification is industry standard and no warranty language has been modified to change responsibility. Product and equipment etc. warranties are by the manufacturer and workmanship etc. requirements are to be the responsibility of the general contractor.
2. Section 03 3000 – Cast In Place Concrete:
 - a. 2.1K: Husky Yellow Guard 15 mil by Poly-America, CFYG1514-140 15 mil, is an acceptable product.
3. Section 04 2000: The following Cavity drainage material, masonry cleaner and masonry lime solvent products are acceptable for use:
 - a. Mortar trap weep vents by Hohmann & Barnard
 - b. 202 New Masonry Detergent by Diedrich Technologies.
 - c. 202 Vana-Stop by Diedrich Technologies.
4. Section 08 5313 – Vinyl Windows:
 - a. 2.1 A: add Anderson Silverline to allowable manufactures.
 - b. 2.1 A: remove Crystal from allowable manufactures.
 - c. 2.3 D.2: remove U-factor = .30; refer to section 'H' for Energy Star requirements.
 - d. 2.3 E: remove SHGC = 0.51; refer to section 'H' for Energy Star requirements.

Attachments:

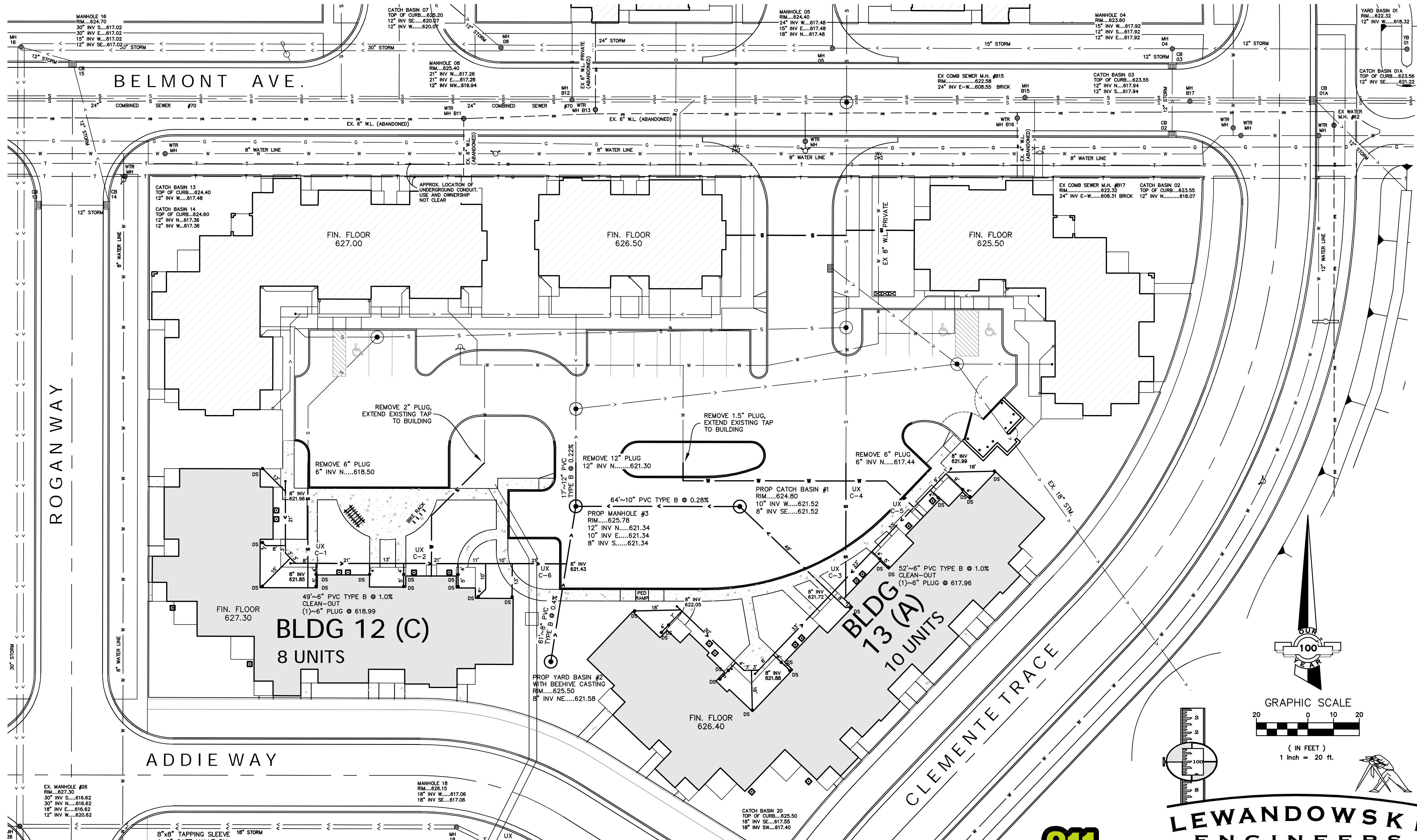
Drawings: Block C Proposed Site Utilities 9/17, Block D Proposed Site Utilities 13/17, Block E Proposed Site Utilities 17/17, Right-Of-Way sheet 3/28, A001, A100A – A100H, A612, A619 – A622
Sketches: SK-01 through SK-55

END OF ADDENDUM 02

SITE DEVELOPMENT FOR: LMHA COLLINGWOOD GREEN PHASE III CITY OF TOLEDO, LUCAS COUNTY, OHIO

BENCHMARKS

- LE SITE BENCH MARK #5
NORTHWEST BOLT ON BRIDGE RAIL ON
NORTH SIDE OF NEBRASKA
ELEVATION.....635.92
- LE SITE BENCH MARK #11
SOUTHEAST CORNER OF THE BOTTOM STEP
OF ST. MARY'S MISSIONARY BAPTIST
CHURCH
ELEVATION.....627.60
- SITE BENCH MARK #12
HEAD OF MAG NAIL IN POWER POLE 340'±
EAST OF DIVISION ON THE NORTH SIDE OF
AVONDALE
ELEVATION.....630.60
- RBM #1
CONCRETE MONUMENT w/DIMPLE AT THE
INTERSECTION OF DIVISION AND AVONDALE
ELEVATION.....627.77
- RBM #2
NE B-BOLT ON NEW HYDRANT AT
SOUTHEAST CORNER OF AVONDALE AND
DIVISION
ELEVATION.....629.91
- RBM #3
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OF AVONDALE AT EAST END OF STREET
ELEVATION.....630.65
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"X" SET ON SOUTHEAST CORNER OF CURB
INLET TO METAL BACK, 200'± NORTH OF
NEBRASKA ON EAST SIDE OF WELER
ELEVATION.....625.32
- RBM #6
NE B-BOLT ON NEW HYDRANT 300'± SOUTH
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ELEVATION.....622.91



LEGEND

- | | |
|-------------------------------|-------|
| ELECTRIC | E |
| FIBER OPTIC | FO |
| GAS | G |
| SANITARY | S |
| STORM | > |
| WATER | W |
| TELEPHONE | T |
| FENCE | X |
| OVERHEAD ELECTRIC | OHE |
| OVERHEAD TELEPHONE | OHT |
| OVERHEAD TELEPHONE & ELECTRIC | OHT&E |
| GUARDRAIL | GR |
| CATCH BASIN | CB |
| CURB INLET | CI |
| MANHOLE | MH |
| YARD BASIN | YB |
| HYDRANT | H |
| VALVE | V |
| POWER POLE | PP |
| GUY WIRE | GW |
| YARD LIGHT | YL |
| GUY/MISC. POLE | GM |
| FLAGPOLE | FP |
| STREET LIGHT | SL |
| TRAFFIC SIGNAL | TS |
| BOLLARD | B |
| METER | M |
| ID SIGN | IS |
| SIGN | S |
| TRANSFORMER | TR |
| TREE - CONIFEROUS | TC |
| TREE - DECIDUOUS | TD |



NOTICE

CONTRACTOR SHALL APPLY AND PAY FOR ALL PERMIT, TAP, INSPECTION FEES AND MAINTENANCE BONDS

* CONTRACTOR SHALL INSTALL UTILITIES PER THE FOLLOWING ORDER: GRAVITY SANITARY AND STORM SEWERS SHALL BE INSTALLED AT THE INVERTS AS SHOWN, UTILITY DUCT BANK SHALL BE INSTALLED WITH 3' OF COVER AND SHALL BE LOWERED TO PROVIDE 1.5' CLEARANCE WHEREVER THERE IS A CONFLICT WITH SANITARY OR STORM SEWERS. WATER LINE SHALL BE INSTALLED WITH 5' OF COVER AND SHALL BE LOWERED TO PROVIDE 1.5' CLEARANCE WHEREVER THERE IS A CONFLICT WITH THE UTILITY DUCT BANK, SANITARY OR STORM SEWERS. ALL OTHER SITE UTILITIES SHALL BE INSTALLED AROUND THE AFOREMENTIONED WITH MINIMUM CLEARANCES OF 1.5'.

STORM COLLECTORS ALONG THE BUILDINGS SHALL BE 8" PVC TYPE 'B' @ 0.4% INDIVIDUAL STORM CONNECTIONS TO THE BUILDINGS SHALL BE 6" PVC TYPE 'B' @ 1%.

SUBMITTED SHOP DRAWINGS WILL BE REVIEWED BY THE ENGINEER FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPT AND CONTRACT DOCUMENTS. ENGINEER'S MARKINGS OR COMMENTS SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR FROM COMPLIANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, NOR DEPARTURES THEREFROM. THE CONTRACTOR REMAINS RESPONSIBLE FOR COMPLIANCE WITH DESIGN DRAWINGS AND SPECIFICATIONS, ALL OF WHICH HAVE PRIORITY OVER SHOP DRAWINGS.

UTILITY CROSSING TABLE

NOTE: CONTRACTOR SHALL VERIFY ALL UTILITY CROSSINGS PRIOR TO BIDDING

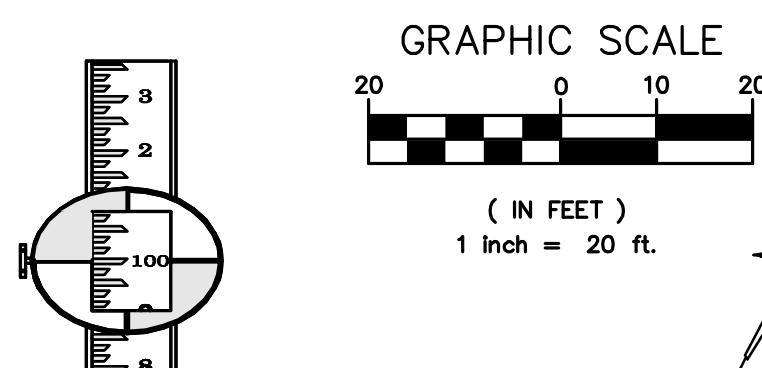
UX C-1	8" STM INV.....621.83 6" SAN INV.....618.89 6" SAN TOP.....619.56 CLEARANCE.....2.3'	UX C-4	6" SAN INV.....617.51* 1.5" WTR TOP.....620.58* CLEARANCE.....1.5"
UX C-2	8" STM INV.....621.64* 1.5" WTR TOP.....622.13* CLEARANCE.....1.5"	UX C-5	8" STM INV.....621.91* 1.5" WTR TOP.....621.21* CLEARANCE.....1.5"
UX C-3	8" STM INV.....621.75 6" SAN INV.....617.89 6" SAN TOP.....618.56 CLEARANCE.....3.2'	UX C-6	8" STM INV.....621.48* DUCT BANK TOP.....623.45* DUCT BANK BOT.....620.45* CLEARANCE.....CONFLICT*



WARNING

UNDERGROUND CONDUITS IN AREA; CONTACT THE OHIO UTILITIES PROTECTION SERVICE (OUPS) TWO WORKING DAYS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION.....1-800-362-2764

CONTRACTOR SHALL IDENTIFY AND CONTACT ANY UTILITY COMPANIES THAT DO NOT PARTICIPATE IN THE OUPS SYSTEM.



LEWANDOWSKI ENGINEERS

CIVIL ENGINEERS & SURVEYORS
THE CHIEF BLDG 234 N. ERIE ST.
TOLEDO, OHIO, 43604
LEWANDOWSKIENG.COM
OFFICE: 419.255.4111

SITE DEVELOPMENT FOR:
COLLINGWOOD GREEN PHASE III
CITY OF TOLEDO, LUCAS COUNTY, OHIO
BLOCK C
-- PROPOSED SITE UTILITIES --

DATE: 01/26/2017
DRAWN: NJG
CHECKED: TMB
BOUNDARY: RPL
TOPO: SPT
UTILITIES: JLA
GPS: NAD '83, GEOID-12A, OHIO N. 3401

SCALE: 1"=20'
DWG #: 43301
DIR #: 43301
DATUM NAVD 88 GPS
AUTOCAD REL. 2004
GIS: ARCVIEW 9.2

LMHA
Collingwood
Green, Phase III
Toledo, Ohio



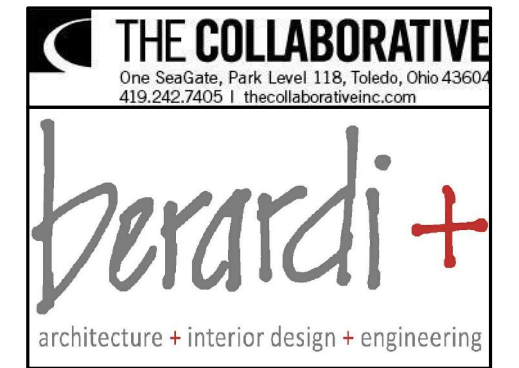
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- THE INFORMATION SHOWN HEREIN IS THE SOLE PROPERTY OF BERARDI + PARTNERS, INC., ARCHITECTS AND ENGINEERS, AND MAY NOT BE REPRODUCED WITHOUT ITS WRITTEN PERMISSION.
- NOTE:
- ALL READERS SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND REQUIREMENTS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY ERRORS AND OMISSIONS SUBSEQUENTLY DISCOVERED IN THE CONTRACT DOCUMENTS.
 - THE CONTRACT DOCUMENTS ARE COMPOSED OF THE DRAWINGS AND SPECIFICATIONS AS SHOWN AND ANY SEPARATE DOCUMENTS OR CORRECTIONS TO THE CONTRACT DOCUMENTS SHALL NOT BE PERMITTED, IF THE CONTRACTOR CHOOSES TO SEPARATE THE DOCUMENTS, THEY DO SO AT THEIR OWN RISK AND EXPENSE.
 - ADDITIONALLY, SEE GENERAL INFORMATION ON "A" SHEETS.
 - THE CLIENT ACKNOWLEDGES THE CONSULTANT'S (ARCHITECT) DRAWINGS AND SPECIFICATIONS INCLUDING ALL DOCUMENTS OR ELECTRONIC MEDIA AS INSTRUMENTS OF THE CONSULTANT (ARCHITECT) PROFESSIONAL SERVICE. THE CLIENT SHALL NOT REUSE OR MAKE OR PERMIT TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE PRIOR WRITTEN APPROVAL OF THE CONSULTANT (ARCHITECT). THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT) ARISING FROM ANY UNAUTHORIZED TRANSFER, REUSE OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.
 - ARCHITECT CANNOT WARRANT THE ACCURACY OF DATA CONTAINED HEREIN. ANY USE OR REUSE OF ORIGINAL OR ALTERED CAD DESIGN MATERIALS BY THE USER OR OTHER PARTIES WITHOUT THE REVIEW AND WRITTEN APPROVAL OF THE ARCHITECT SHALL BE AT THE SOLE RISK OF THE USER. FURTHERMORE, USER AGREES TO DEFEND, INDEMNIFY AND HOLD ARCHITECT HARMLESS FROM ALL CLAIMS, DAMAGES, LOSSES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE MODIFICATION OR REUSE OF THESE MATERIALS.
 - THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO BE USED AS CONSTRUCTION DOCUMENTS. THE DRAWING SHALL NOT BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS FOUND IN THE CONTRACT DOCUMENTS. THE ARCHITECT SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT.

Proposal
Set

PROJECT DATE: 01/26/2017
PROJECT #: 14105

Issue	Description	Date
	ADDENDA #2	02/13/2017



1398 Goodale Blvd., Columbus, Ohio 43212
Phone: (614)221-1110 Fax: (614)221-0831
www.berardipartners.com

SITE DEVELOPMENT FOR: LMHA COLLINGWOOD GREEN PHASE III CITY OF TOLEDO, LUCAS COUNTY, OHIO

BENCHMARKS

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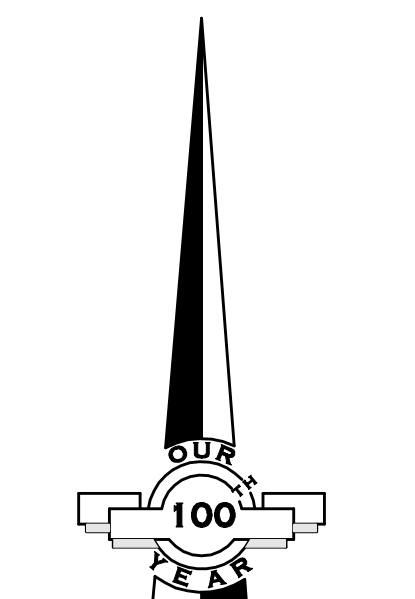
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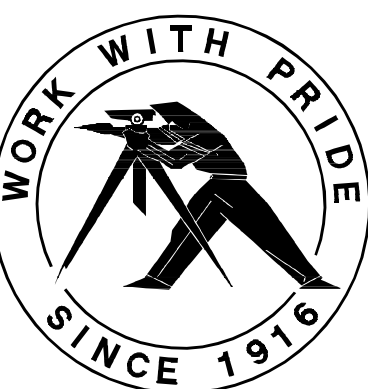


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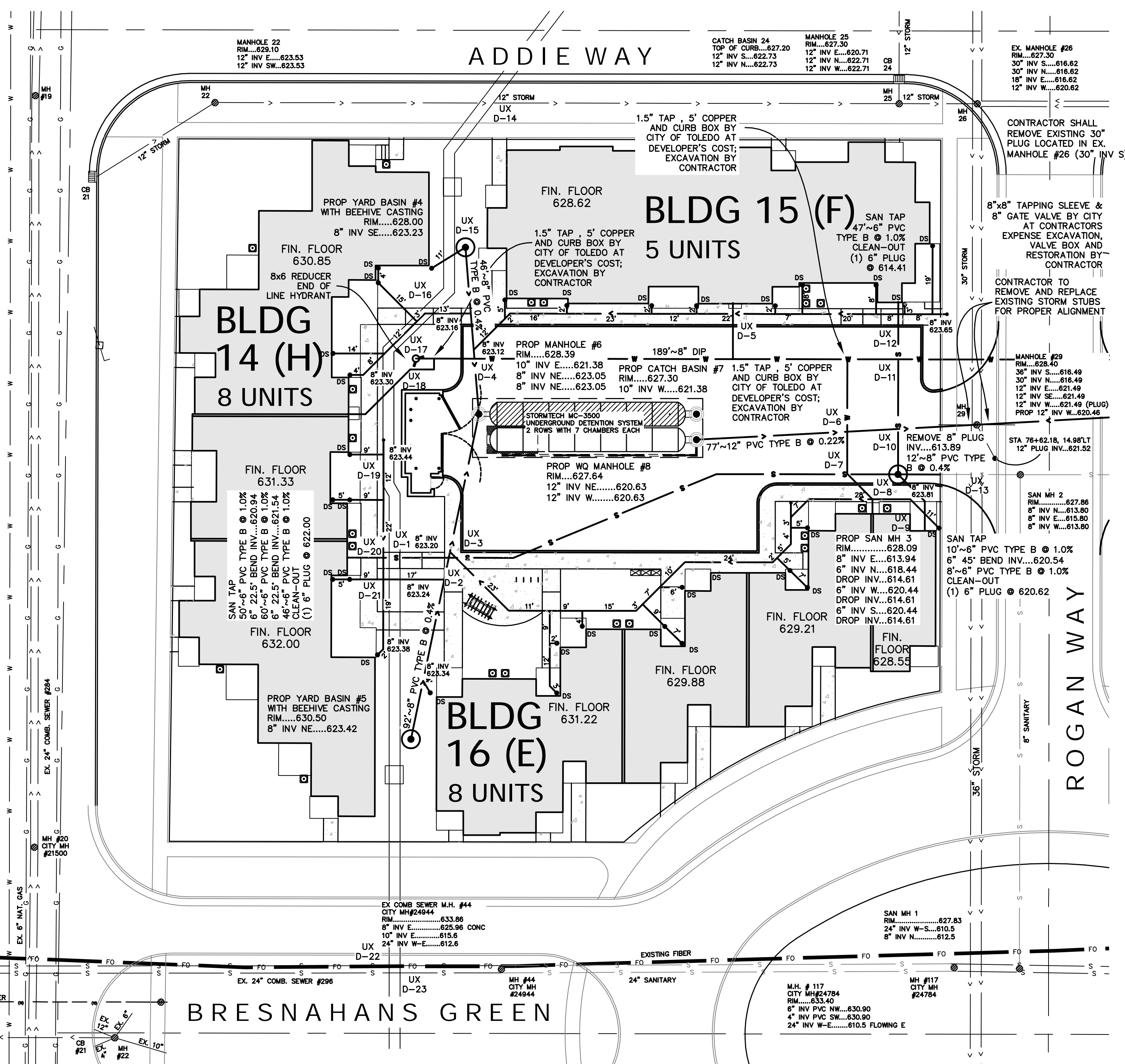
- | | |
|-------------------------------|---------|
| ELECTRIC | —E— |
| FIBER OPTIC | —FO— |
| GAS | —G— |
| SANITARY | —S— |
| STORM | —>— |
| WATER | —W— |
| TELEPHONE | —T— |
| FENCE | —X— |
| OVERHEAD ELECTRIC | —OHE— |
| OVERHEAD TELEPHONE | —OHT— |
| OVERHEAD TELEPHONE & ELECTRIC | —OHT&E— |
| GUARDRAIL | —G— |
| CATCH BASIN | —CB— |
| CURB INLET | —CI— |
| MANHOLE | —MH— |
| YARD BASIN | —YB— |
| HYDRANT | —H— |
| VALVE | —V— |
| POWER POLE | —PP— |
| GUY WIRE | —GW— |
| YARD LIGHT | —YL— |
| GUY/MISC. POLE | —GMP— |
| FLAGPOLE | —FP— |
| STREET LIGHT | —SL— |
| TRAFFIC SIGNAL | —TS— |
| BOLLARD | —B— |
| METER | —M— |
| ID SIGN | —IS— |
| SIGN | —S— |
| TRANSFORMER | —TR— |
| TREE - CONIFEROUS | —C— |
| TREE - DECIDUOUS | —D— |

WARNING

UNDERGROUND CONDUITS IN AREA;
CONTACT THE OHIO UTILITIES
PROTECTION SERVICE (OUPS) TWO
WORKING DAYS PRIOR TO ANY
EXCAVATION, DEMOLITION OR
CONSTRUCTION.....1-800-362-2764



CONTRACTOR SHALL IDENTIFY AND
CONTACT ANY UTILITY COMPANIES
THAT DO NOT PARTICIPATE IN THE
OUPS SYSTEM.



UTILITY CROSSING TABLE

NOTE: CONTRACTOR SHALL VERIFY ALL UTILITY
CROSSINGS PRIOR TO BIDDING

UX D-1	8" STM INV.....623.33 6" SAN INV.....621.90 6" SAN TOP.....622.57 CLEARANCE.....0.8'	UX D-13	8" SAN INV.....613.84 8" SAN TOP.....614.68 36" STM INV.....616.47 CLEARANCE.....1.7'
UX D-2	8" STM INV.....623.21 6" SAN INV.....621.73 6" SAN TOP.....622.40 CLEARANCE.....0.8'	UX D-14	12" STM INV.....623.23* DUCT BANK TOP.....625.13* DUCT BANK BOT.....622.13* CLEARANCE.....CONFLICT*
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UX D-4	8" STM INV.....623.11* 8" WTR INV.....622.27* 8" WTR TOP.....623.10* CLEARANCE.....1.5'	UX D-16	8" STM INV.....623.21* DUCT BANK TOP.....626.57* DUCT BANK BOT.....623.57* CLEARANCE.....CONFLICT*
UX D-5	8" STM INV.....623.43* 1.5" WTR TOP.....623.46* CLEARANCE.....1.5'	UX D-17	8" STM INV.....623.27* DUCT BANK TOP.....624.17* DUCT BANK BOT.....624.17* CLEARANCE.....CONFLICT*
UX D-6	1.5" WTR TOP.....623.01* 12" STM INV.....620.54* CLEARANCE.....1.5'	UX D-18	1.5" WTR TOP.....625.33* DUCT BANK TOP.....627.33* DUCT BANK BOT.....624.33* CLEARANCE.....CONFLICT*
UX D-7	6" SAN INV.....614.08* 1.5" WTR TOP.....623.74* CLEARANCE.....1.5'	UX D-19	8" STM INV.....623.44* 8" STM TOP.....624.27* DUCT BANK TOP.....627.70* DUCT BANK BOT.....624.70* CLEARANCE.....CONFLICT*
UX D-8	8" STM INV.....623.77* 1.5" WTR TOP.....623.74* CLEARANCE.....1.5'	UX D-20	6" SAN INV.....621.87 6" SAN TOP.....622.54 DUCT BANK TOP.....625.38 DUCT BANK BOT.....625.38 CLEARANCE.....2.8'
UX D-9	6" STM INV.....623.87 6" SAN INV.....620.58 6" SAN TOP.....621.25 CLEARANCE.....2.6'	UX D-21	8" STM INV.....623.29 8" STM TOP.....624.12 DUCT BANK TOP.....628.18 DUCT BANK BOT.....625.18 CLEARANCE.....1.1'
UX D-10	12" STM INV.....620.51 6" SAN INV.....618.56 6" SAN TOP.....619.23 CLEARANCE.....1.2'	UX D-22	CONTRACTOR TO DETERMINE DEPTH OF EXISTING UTILITY DUCT BANK AND CONSTRUCT PROPOSED DUCT BANK WITH A MINIMUM CLEARANCE OF 1.5'
UX D-11	8" WAT INV.....621.99 6" SAN INV.....618.76 6" SAN TOP.....619.43 CLEARANCE.....2.6'	UX D-23	24" SAN INV.....612.6 24" SAN TOP.....614.8 DUCT BANK TOP.....627.97 DUCT BANK BOT.....624.97 CLEARANCE.....10.2'
UX D-12	8" STM INV.....623.61 6" SAN INV.....618.88 6" SAN TOP.....619.55 CLEARANCE.....4.1'		

NOTICE NOTICE

<p>CONTRACTOR SHALL APPLY AND PAY FOR ALL PERMIT, TAP, INSPECTION FEES AND MAINTENANCE BONDS</p> <p>* CONTRACTOR SHALL INSTALL UTILITIES PER THE FOLLOWING ORDER: GRAVITY SANITARY AND STORM SEWERS SHALL BE INSTALLED AT THE INVERTS AS SHOWN, UTILITY DUCT BANK SHALL BE INSTALLED WITH 3' OF COVER AND SHALL BE LOWERED TO PROVIDE 1.5' CLEARANCE WHEREVER THERE IS A CONFLICT WITH SANITARY OR STORM SEWERS; WATER LINE SHALL BE INSTALLED WITH 5' OF COVER AND SHALL BE LOWERED TO PROVIDE 1.5' CLEARANCE WHEREVER THERE IS A CONFLICT WITH THE UTILITY DUCT BANK, SANITARY OR STORM SEWERS. ALL OTHER SITE UTILITIES SHALL BE INSTALLED AROUND THE AFOREMENTIONED WITH MINIMUM CLEARANCES OF 1.5'.</p>	<p>STORM COLLECTORS ALONG THE BUILDINGS SHALL BE 8" PVC TYPE 'B' @ 0.4% INDIVIDUAL STORM CONNECTIONS TO THE BUILDINGS SHALL BE 6" PVC TYPE 'B' @ 1%.</p> <p>SUBMITTED SHOP DRAWINGS WILL BE REVIEWED BY THE ENGINEER FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPT AND CONTRACT DOCUMENTS. ENGINEER'S MARKINGS OR COMMENTS SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR FROM COMPLIANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, NOR DEPARTURES THEREFROM. THE CONTRACTOR REMAINS RESPONSIBLE FOR COMPLIANCE WITH DESIGN DRAWINGS AND SPECIFICATIONS, ALL OF WHICH HAVE PRIORITY OVER SHOP DRAWINGS.</p>
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LMHA
Collingwood
Green, Phase III
Toledo, Ohio



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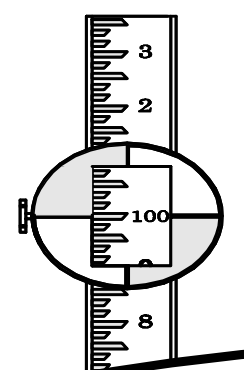
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NOTE:
1. ALL WORKERS SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND REQUIREMENTS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY TRENCHES AND OBSTRUCTIONS SUBSEQUENTLY DISCOVERED IN THE CONTRACT DOCUMENTS.
2. THE CONTRACT DOCUMENTS ARE COMPOSED OF THE DRAWINGS AND SPECIFICATIONS. THE DRAWINGS AND SPECIFICATIONS ARE SEPARATE AND COMPLEMENTARY OF EACH OTHER. SEPARATION OF THE CONTRACT DOCUMENTS SHALL NOT BE PERMITTED. IF THE CONTRACTOR CHOOSES TO SEPARATE THE DOCUMENTS, THEY DO SO AT THEIR OWN RISK AND EXPENSE.
3. ADDITIONALLY, SEE GENERAL INFORMATION ON "A" SHEETS.
4. THE CLIENT ACKNOWLEDGES THE CONSULTANT'S (ARCHITECT) DRAWINGS AND SPECIFICATIONS, INCLUDING ALL DOCUMENTS OR ELECTRONIC MEDIA, AS INSTRUMENTS OF SERVICE. THE CLIENT SHALL NOT REUSE OR MAKE OR PERMIT TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE WRITTEN APPROVAL OF THE CONSULTANT (ARCHITECT). THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT) ARISING FROM ANY UNAUTHORIZED TRANSFER, REUSE OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.
5. ARCHITECT CANNOT WARRANT THE ACCURACY OF DATA CONTAINED HEREIN. ANY USE OR REUSE OF ORIGINAL OR ALTERED CAD/DWG MATERIALS BY THE USER OR OTHER PARTIES WITHOUT THE WRITTEN AND WRITTEN APPROVAL OF THE ARCHITECT SHALL BE AT THE SOLE RISK OF THE USER. FURTHERMORE, USER AGREES TO DEFEND, INDEMNIFY AND HOLD ARCHITECT HARMLESS FROM ALL CLAIMS, INJURIES, DAMAGES, LOSSES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE MODIFICATION OR REUSE OF THESE MATERIALS.
6. THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS ARE SHOWN AS NOT BEING INTENDED TO DEFINE DUCT BANKS, LOCATIONS OF COVERED REQUIREMENTS. THE DRAWINGS SHALL NOT BE SCALED EXACT SIZE AND LOCAL SIZE REQUIREMENTS AND OTHER APPLICABLE CODE REQUIREMENTS SHALL BE REVIEWED BY AND ARE THE SOLE RESPONSIBILITY OF THIS CONTRACTOR. ANY INFORMATION WHICH DIRECTLY CONFLICTS WITH ANY OF THESE CODES OR ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT.

Proposal Set

PROJECT DATE: 01/26/2017
PROJECT #: 14105

Issue	Description	Date
	ADDENDA #2	02/13/2017

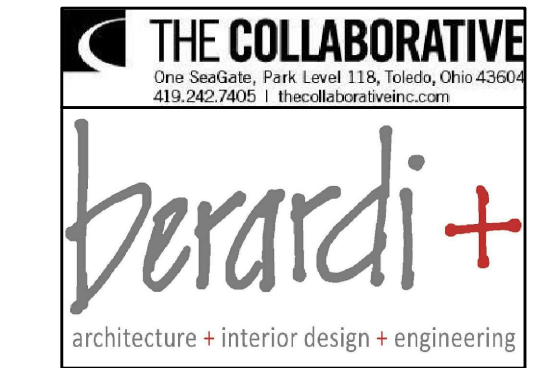


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CIVIL ENGINEERS & SURVEYORS
THE CHIEF BLDG 234 N. ERIE ST.
TOLEDO, OHIO, 43604
LEWANDOWSKIENGINE.COM
OFFICE: 419.255.4111

SITE DEVELOPMENT FOR:
COLLINGWOOD GREEN PHASE III
CITY OF TOLEDO, LUCAS COUNTY, OHIO
BLOCK D
-- PROPOSED SITE UTILITIES --

DATE: 01/26/2017	SCALE: 1"=20'
DRAWN: NJG	DWG #: 43301
CHECKED: TMB	DIR #: 43301
BOUNDARY: RPL	DATUM NAVD 88 GPS
TOPO: SPT	AUTOCAD REL 2004
UTILITIES: JLA	GIS: ARCVIEW 9.2
GPS: NAD '83, GEOID-12A, OHIO N. 3401	



1398 Goodale Blvd., Columbus, Ohio 43212
Phone (614)221-1110 Fax (614)221-0831
www.berardipartners.com

SITE DEVELOPMENT FOR: LMHA COLLINGWOOD GREEN PHASE III CITY OF TOLEDO, LUCAS COUNTY, OHIO

BENCHMARKS

LE SITE BENCH MARK #5
NORTHWEST BOLT ON BRIDGE RAIL ON
NORTH SIDE OF NEBRASKA
ELEVATION.....635.92

LE SITE BENCH MARK #11
SOUTHEAST CORNER OF THE BOTTOM STEP
OF ST. MARY'S MISSIONARY BAPTIST
CHURCH
ELEVATION.....627.60

SITE BENCH MARK #12
HEAD OF MAG NAIL IN POWER POLE 340'±
EAST OF DIVISION ON THE NORTH SIDE OF
AVONDALE
ELEVATION.....630.60

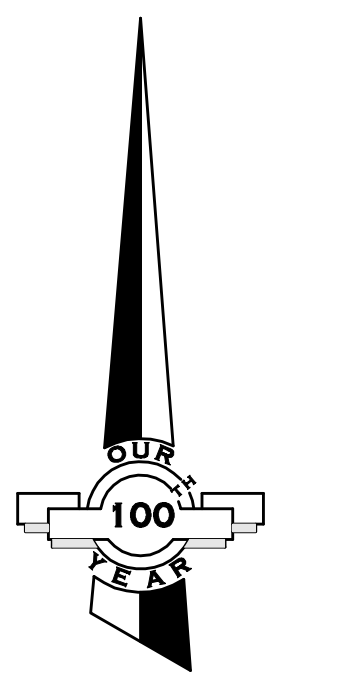
RBM #1
CONCRETE MONUMENT w/DIMPLE AT THE
INTERSECTION OF DIVISION AND AVONDALE
ELEVATION.....627.77

RBM #2
NE B-BOLT ON NEW HYDRANT AT
SOUTHEAST CORNER OF AVONDALE AND
DIVISION
ELEVATION.....629.91

RBM #3
NE B-BOLT ON NEW HYDRANT SOUTH SIDE
OF AVONDALE AT EAST END OF STREET
ELEVATION.....630.65

RBM #5
"X" SET ON SOUTHEAST CORNER OF CURB
INLET TO METAL BACK, 200'± NORTH OF
NEBRASKA ON EAST SIDE OF WELER
ELEVATION.....625.32

RBM #6
NE B-BOLT ON NEW HYDRANT 300'± SOUTH
OF BELMONT ON EAST SIDE OF WELER
ELEVATION.....622.91



LEGEND

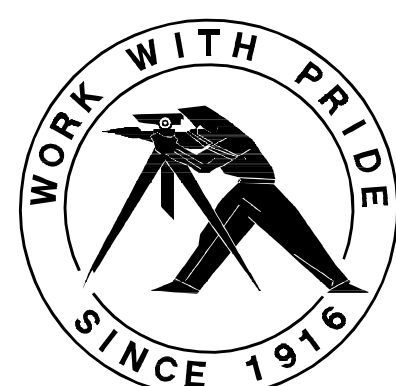
ELECTRIC	E
FIBER OPTIC	FO
GAS	G
SANITARY	S
STORM	>
WATER	W
TELEPHONE	T
FENCE	X
OVERHEAD ELECTRIC	OHE
OVERHEAD TELEPHONE	OHT
OVERHEAD TELEPHONE & ELECTRIC	OHT&E
GUARDRAIL	GR
CATCH BASIN	CB
CURB INLET	CI
MANHOLE	MH
YARD BASIN	YB
HYDRANT	H
VALVE	V
POWER POLE	PP
GUY WIRE	GW
YARD LIGHT	YL
GUY/MISC. POLE	GM
FLAGPOLE	FP
STREET LIGHT	SL
TRAFFIC SIGNAL	TS
BOLLARD	B
METER	M
ID SIGN	IS
SIGN	S
TRANSFORMER	TR
TREE - CONIFEROUS	TC
TREE - DECIDUOUS	TD

WARNING

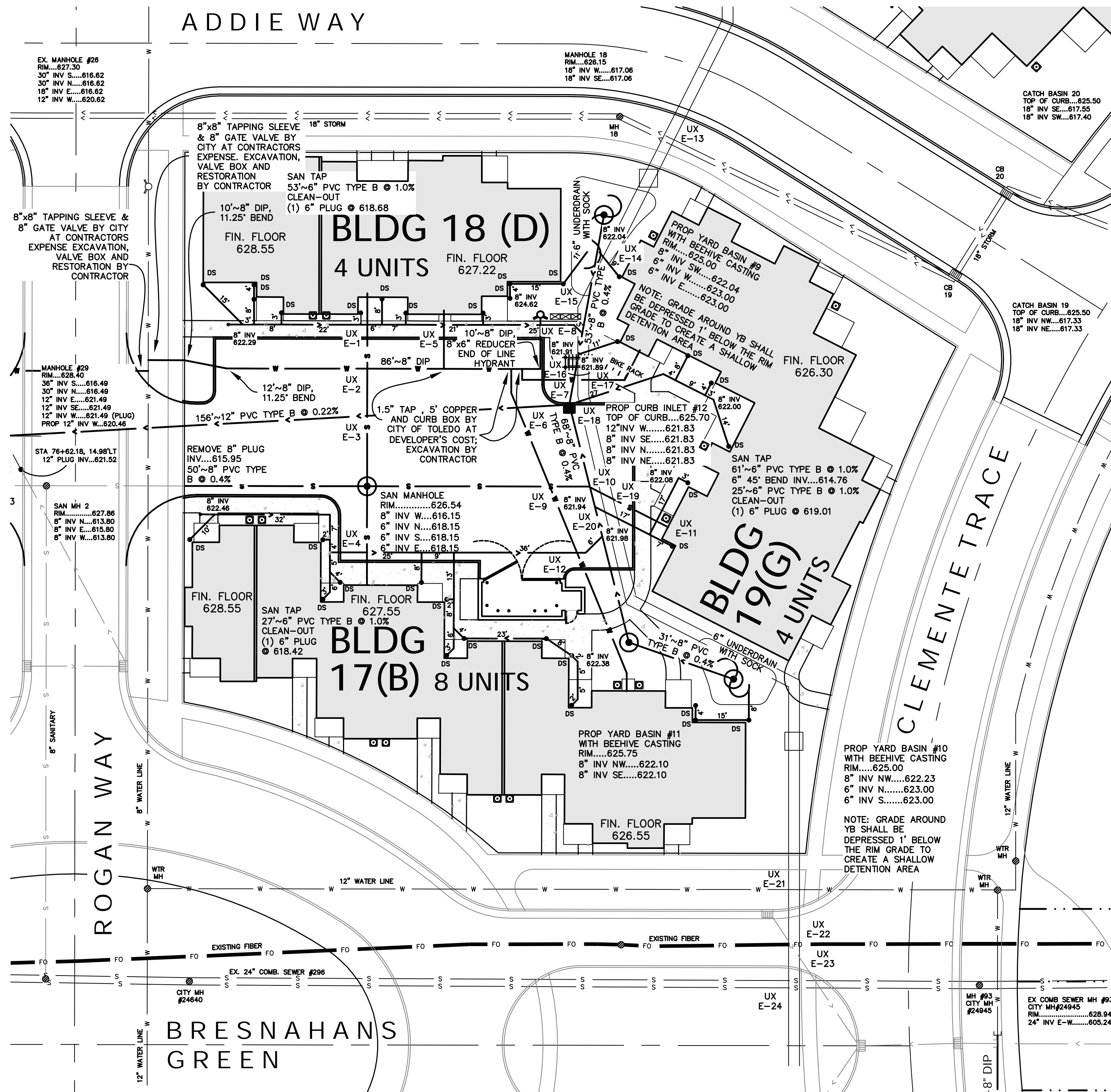
UNDERGROUND CONDUITS IN AREA;
CONTACT THE OHIO UTILITIES
PROTECTION SERVICE (OUPS) TWO
WORKING DAYS PRIOR TO ANY
EXCAVATION, DEMOLITION OR
CONSTRUCTION.....1-800-362-2764



Know what's below.
Call before you dig.



CONTRACTOR SHALL IDENTIFY AND
CONTACT ANY UTILITY COMPANIES
THAT DO NOT PARTICIPATE IN THE
OUPS SYSTEM.



NOTICE

CONTRACTOR SHALL APPLY AND PAY FOR ALL PERMIT, TAP, INSPECTION FEES AND MAINTENANCE BONDS

STORM COLLECTORS ALONG THE BUILDINGS SHALL BE 8" PVC TYPE 'B' @ 0.4%; INDIVIDUAL STORM CONNECTIONS TO THE BUILDINGS SHALL BE 6" PVC TYPE 'B' @ 1%.

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UTILITY CROSSING TABLE

NOTE: CONTRACTOR SHALL VERIFY ALL UTILITY CROSSINGS PRIOR TO BIDDING

UX E-1	8" STM INV.....622.15 6" SAN INV.....618.60 6" SAN TOP.....619.27 CLEARANCE.....2.9'	UX E-13	18" STM INV.....617.09 18" STM TOP.....618.76 DUCT BANK TOP.....623.16 DUCT BANK BOT.....620.16 CLEARANCE.....1.4'
UX E-2	8" WTR INV.....620.50 6" SAN INV.....618.47 6" SAN TOP.....619.14 CLEARANCE.....1.4'	UX E-14	6" STM INV.....623.03* DUCT BANK TOP.....622.79* DUCT BANK BOT.....619.79* CLEARANCE.....CONFLICT*
UX E-3	12" STM INV.....621.71 6" SAN INV.....618.34 6" SAN TOP.....619.01 CLEARANCE.....2.7'	UX E-15	8" STM INV.....621.96* DUCT BANK TOP.....622.91* DUCT BANK BOT.....619.91* CLEARANCE.....CONFLICT*
UX E-4	8" STM INV.....622.25 6" SAN INV.....618.33 6" SAN TOP.....619.00 CLEARANCE.....3.3'	UX E-16	8" STM INV.....621.89* DUCT BANK TOP.....623.0* DUCT BANK BOT.....620.0* CLEARANCE.....CONFLICT*
UX E-5	8" STM INV.....622.07* 1.5" WTR TOP.....622.03* CLEARANCE.....1.5'*	UX E-17	1.5" WTR TOP.....620.87* DUCT BANK TOP.....622.87* DUCT BANK BOT.....619.87* CLEARANCE.....CONFLICT*
UX E-6	12" STM INV.....621.80* 1.5" WTR TOP.....620.49* CLEARANCE.....1.5'*	UX E-18	8" STM INV.....621.85* DUCT BANK TOP.....622.76* DUCT BANK BOT.....619.76* CLEARANCE.....CONFLICT*
UX E-7	8" STM INV.....621.86* 1.5" WTR TOP.....620.85* CLEARANCE.....1.5'*	UX E-19	6" SAN INV.....618.82* DUCT BANK TOP.....622.41* DUCT BANK BOT.....619.41* CLEARANCE.....CONFLICT*
UX E-8	8" STM INV.....621.66* 6" WTR INV.....621.15* 6" WTR TOP.....621.82* CLEARANCE.....1.5'*	UX E-20	6" STM INV.....621.99* DUCT BANK TOP.....622.44* DUCT BANK BOT.....619.44* CLEARANCE.....CONFLICT*
UX E-9	6" SAN INV.....618.65 1.5" WTR TOP.....620.72 CLEARANCE.....2.0'	UX E-21	12" WTR INV.....618.14* DUCT BANK TOP.....621.81* DUCT BANK BOT.....618.81* CLEARANCE.....CONFLICT*
UX E-10	8" STM INV.....621.92 6" SAN INV.....614.76 6" SAN TOP.....615.43 CLEARANCE.....6.5'	UX E-22	CONTRACTOR TO DETERMINE DEPTH OF EXISTING UTILITY DUCT BANK AND CONSTRUCT PROPOSED DUCT BANK WITH A MINIMUM CLEARANCE OF 1.5'
UX E-11	8" STM INV.....622.02 6" SAN INV.....614.97 6" SAN TOP.....615.64 CLEARANCE.....6.4'	UX E-23	12" STM INV.....617.13* DUCT BANK TOP.....621.39* DUCT BANK BOT.....618.39* CLEARANCE.....CONFLICT*
UX E-12	8" STM INV.....622.02 1.5" WTR TOP.....620.69* CLEARANCE.....1.5'*	UX E-24	24" SAN INV.....606.58 24" SAN TOP.....608.75 DUCT BANK TOP.....621.9 DUCT BANK BOT.....618.9 CLEARANCE.....10.2'

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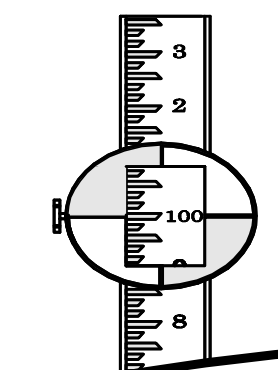
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NOTE:
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6. THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO DEFINE DIMENSIONS, LOCATIONS OF COVERED REQUIREMENTS. THE DRAWINGS SHALL NOT BE SCALE DRAWING STATE AND LOCAL CODE REQUIREMENTS AND OTHER APPLICABLE CODE REQUIREMENTS SHALL BE OBSERVED BY AND ARE THE SOLE RESPONSIBILITY OF THIS CONTRACTOR. ANY INFORMATION WHICH DIRECTLY CONTRADICTS ANY OF THESE CODES OR ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT.

Proposal Set

PROJECT DATE: 01/26/2017
PROJECT #: 14105

Issue	Description	Date
	ADDENDA #2	02/13/2017



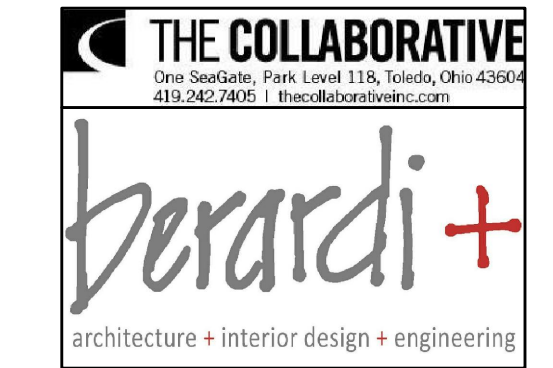
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THE CHIEF BLDG 234 N. ERIE ST.
TOLEDO, OHIO, 43604
LEWANDOWSKIENG.COM
OFFICE: 419.255.4111

SITE DEVELOPMENT FOR:
COLLINGWOOD GREEN PHASE III
CITY OF TOLEDO, LUCAS COUNTY, OHIO
BLOCK E
-- PROPOSED SITE UTILITIES --

DATE: 01/26/2017
DRAWN: NJG
CHECKED: TMB
BOUNDARY: RPL
TOPO: SPT
UTILITIES: JLA
GPS: NAD '83, GEOID-12A, OHIO N. 3401

SCALE: 1"=20'
DWG #: 43301
DIR #: 43301
DATUM NAVD 88 GPS
AUTOCAD REL. 2004
GIS: ARCVIEW 9.2



General Summary*

Prop. Item No.	State Item No.	Quantity		Grand Total	Unit	Description
		Quantity Schedule	Contingency			
R O A D W A Y Q U A N T I T I E S						
1	201	1	0	1	LUMP	CLEARING AND GRUBBING
2	202	10	0	10	LN FT	TROLLEY TRACKS REMOVED
3	202	5125	0	5125	SQ FT	WALK REMOVED
4	202	213	0	213	SQ YD	PAVEMENT REMOVED
5	202	1605	0	1605	FT	CURB REMOVED
6	203	8087	0	8087	CU YD	EXCAVATION
7	203	579	0	479	CU YD	EMBANKMENT
8	301	366	0	366	CU YD	ASPHALT CONCRETE BASE
9	304	867	0	867	CU YD	AGGREGATE BASE
10	407	441	0	441	GAL	TACK COAT
11	408	1550	0	1550	GAL	PRIME COAT
12	441	186	0	186	CU YD	ASPHALT CONCRETE, SURFACE COURSE, TYPE 1 (446) , PG 64-22
13	441	217	0	217	CU YD	ASPHALT CONCRETE, INTERMEDIATE COURSE, TYPE 2 (446), PG 64-22
14	605	2505	0	2505	FT	6" SHALLOW PIPE UNDERDRAIN, PER 707.31 W/SOCK
15	608	362	0	362	SQ FT	8" NON-REINFORCED CONCRETE PAVEMENT, CLASS MS
16	608	16480	0	16480	SQ FT	4" CONCRETE WALK
17	608	29	0	29	EACH	PEDESTRIAN CURB RAMP
18	609	2555	0	2555	FT	CONCRETE CURB AND GUTTER, TYPE B
19	609	558	0	544	FT	CONCRETE CURB TYPE A
20	614	1	0	1	LUMP	MAINTAINING TRAFFIC
21	623	12	0	12	EACH	STANDARD MONUMENT, TYPE C
22	623	12	0	12	EACH	MONUMENT BOX
23	624	1	0	1	LUMP	MOBILIZATION
24	653	743	0	743	CU YD	TOPSOIL, FURNISHED & PLACED
25	659	6686	0	6686	SQ YD	SEEDING & MULCHING, INCLUDING COMMERCIAL FERTILIZER
26	206	1	0	1	LUMP	CONTRACTOR DESIGNED CHEMICALLY STABILIZED SUBGRADE
27	206	1822	0	1822	SQ YD	CEMENT STABILIZATION SUBGRADE, 16"
28	206	219	0	219	TON	CEMENT
29	206	1822	0	1822	SQ YD	CURING COAT
S E W E R S E P A R A T I O N Q U A N T I T I E S						
30	202	15	0	15	EACH	CATCH BASIN REMOVED
31	202	5	0	5	EACH	MANHOLE REMOVED
32	202	214	0	214	FT	SEWER ABANDONED, 12" AND UNDER
33	611	611	0	611	FT	12" CONDUIT, TYPE B
34	611	230	0	230	FT	12" CONDUIT, TYPE C
35	611	209	0	209	FT	18" CONDUIT, TYPE B
36	611	21	0	21	EACH	MANHOLE ADJUSTED TO GRADE
37	611	10	0	10	EACH	CATCH BASIN, TYPE A-1
38	611	1	0	1	EACH	YARD BASIN WITH BEEHIVE GRATE
39	611	2	0	2	EACH	MANHOLE, NO. 3
40	611	2	0	2	EACH	CATCH BASIN RECONSTRUCTED TO GRADE
41	623	1	0	1	LUMP	CONSTRUCTION LAYOUT STAKES
42	SPCL	21	0	21	EACH	CURB INLET PROTECTION
43	SPCL	1341	0	1341	FT	FILTER FABRIC FENCE
44	202	10	0	10	EACH	SANITARY MANHOLE REMOVED
45	202	1184	0	1184	FT	24" SANITARY SEWER ABANDONED
46	611	143	0	143	FT	24" CONDUIT, TYPE B
47	SPCL	2	0	2	EACH	REBUILD SANITARY MANHOLE
48	SPCL	1125	0	1125	EACH	BIOSWALE PLANTS - LITTLE BLUESTEM
49	SPCL	450	0	450	EACH	BIOSWALE PLANTS - SWAMP MILKWEED
50	SPCL	450	0	450	EACH	BIOSWALE PLANTS - NEW ENGLAND ASTER
51	SPCL	450	0	450	EACH	BIOSWALE PLANTS - TALL COREOPSIS
52	SPCL	450	0	450	EACH	BIOSWALE PLANTS - MARSH BALZING STAR
53	SPCL	1125	0	1125	EACH	BIOSWALE PLANTS - INDIAN GRASS
54	SPCL	450	0	450	EACH	BIOSWALE PLANTS - SWITCHGRASS
55	SPCL	1050	0	1050	SQ YD	DETENTION BASIN SEED MIX
W A T E R Q U A N T I T I E S						
56	202	2	0	2	EACH	WATER MANHOLE REMOVED
57	638	4	0	4	EACH	WATER VALVE BOX ADJUSTED TO GRADE
58	638	1	0	1	EACH	WATER MANHOLE ADJUSTED TO GRADE
S A N I T A R Y Q U A N T I T I E S						
59	611	196	0	196	FT	8" CONDUIT, TYPE B
60	611	3	0	3	EACH	SANITARY MANHOLE, NO. 3
61	611	1	0	1	EACH	PROVIDE AND INSTALL SANITARY MANHOLE COVER AND FRAME
62	611	2	0	2	EACH	ADJUST SANITARY MANHOLE TO GRADE
L A N D S C A P E Q U A N T I T I E S						
63	SPCL	20	0	20	EACH	TREES - AUTUMN BLAZE MAPLE
64	SPCL	12	0	12	EACH	TREES - AUTUMN GOLD GINKO
65	SPCL	9	0	9	EACH	TREES - EUROPEAN HORNBEAM
66	SPCL	22	0	22	EACH	TREES - EXCLAMATION LONDON PLANE TREE
67	SPCL	15	0	15	EACH	TREES - PACIFIC SUNSET MAPLE
68	SPCL	19	0	19	EACH	TREES - SHADEMASTER HONEYLOCUST
69	SPCL	13	0	13	EACH	TREES - STATE STREET MIYABE'S MAPLE
70	SPCL	17	0	17	EACH	TREES - STERLING SILVER LINDEN

GENERAL PROVISIONS

THIS IS A LUMP SUM BID. QUANTITIES SHOWN ARE ESTIMATED ONLY AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALCULATING ALL REQUIRED QUANTITIES.

THE CITY OF TOLEDO, DIVISION OF ENGINEERING SERVICES "PART 'A' - STANDARDS - 2016" AND THE "2016 CITY OF TOLEDO CONSTRUCTION STANDARDS" SHALL GOVERN AND ARE A PART OF THIS PROPOSAL AND CONTRACT, UNLESS SPECIFICALLY NOTED IN THESE PLANS AND BID BOOK. WHERE APPARENT CONFLICTS EXIST BETWEEN "PART 'A' - STANDARDS - 2016" AND THE PLANS, THE TERMS OF THE PLANS AND BID BOOK WILL GOVERN.

A COPY OF "PART 'A' - STANDARDS - 2016" AND THE "2016 CITY OF TOLEDO CONSTRUCTION STANDARDS" ARE AVAILABLE AT THE CITY OF TOLEDO WEBSITE (HTTP://TOLEDO.OH.GOV/SERVICES/PUBLIC-UTILITIES/DIV-ENGINEERING-SERVICES/CONTRACTOR-RESOURCES/). ATTENTION IS CALLED TO SECTION 100, GENERAL PROVISIONS, OF THE 2013 STATE OF OHIO DEPARTMENT OF TRANSPORTATION "CONSTRUCTION & MATERIAL SPECIFICATIONS" AS AMENDED BY THE CITY OF TOLEDO "PART 'A' - STANDARDS - 2016", WHICH CONTAIN SPECIFICATIONS AND PROVISIONS SUPPLEMENTING THIS PROPOSAL AND CONTRACT. THE MATERIALS AND METHODS FOR THE WORK TO BE ACCOMPLISHED SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS AND THE LATEST LOCAL, STATE AND FEDERAL REGULATIONS FOR THE TYPE OF WORK INVOLVED AND THOSE SPECIFICALLY STATED HEREIN.

SPECIAL PROVISIONS

- WORK ON BELMONT AND DIVISION BETWEEN ROGAN AND BELMONT SHALL COMMENCE WITHIN 1 MONTH FROM THE START OF WORK AND SHALL, WITH THE EXCEPTION OF STREET TREE PLANTING, BY NOVEMBER 15, 2017. CONTRACTOR SHALL INFORM THE OWNER PRIOR TO AWARD OF THE PROJECT IF AN EXTENSION OF THIS DATE IS REQUIRED.
- CONTRACTOR SHALL COORDINATE CONSTRUCTION OF DRIVE APPROACHES TO THE EXISTING LUMA BUILDING PROJECT WITH LUMA. IN ORDER TO PROVIDE AMPLE ON-STREET PARKING, NO MORE THAN ONE DRIVE APPROACH SHALL BE CLOSED AT ANY ONE TIME.
- WHEN IT IS NOT NECESSARY TO ADJUST THE GRADE OF AN EXISTING STRUCTURE, THE NEW ASPHALT SURFACE SHALL BE PLACED TO MATCH THE ELEVATION OF THE CASTING OR MONUMENT.
- CASTING ADJUSTMENTS:** ALL PRECAST ADJUSTMENT RINGS OR MATERIALS USED TO RAISE/REPAIR CATCH BASINS SHALL CONFORM TO THE CONFIGURATION OF THE EXISTING STRUCTURE AND THE GRATE SHALL BE SET TO A MINIMUM OF ONE INCH (1") AND A MAXIMUM OF TWO INCHES (2") OF LOCAL DEPRESSION ALONG THE GUTTER LINE OR AS SPECIFICALLY DIRECTED BY THE ENGINEER. WHENEVER POSSIBLE, DEPRESSIONS AT THE GUTTER SHOULD BE SET NEARER TO THE MAXIMUM IN ORDER TO AFFORD PROPER DRAINAGE.
- WEATHER PERMITTING, THE FOLLOWING CONSTRUCTION ITEMS SHALL BE COMPLETED WITHIN THE TIME LIMITS SPECIFIED. AT THE DISCRETION OF THE ENGINEER, LIQUIDATED DAMAGES OF \$100 PER DAY PER OCCURRENCE WILL BE LEVIED FOR FAILURE TO PERFORM THE WORK BELOW IN THE TIME ALLOCATED.
 - AFTER COMPLETION OF THE FINAL ASPHALT CONCRETE SURFACE COURSE, THE PAVEMENT GUTTER (ALONG TYPE A CURB ONLY) ALONG WITH BUTT JOINTS AND/OR FEATHERED JOINTS SHALL BE SEALED WITHIN 24 HOURS WITH ASPHALT CEMENT.
 - THE CONTRACTOR SHALL COMMENCE PLACING TOPSOIL, GRADING, SEEDING AND MULCHING WITHIN THREE (3) WORKING DAYS AFTER BEING GIVEN NOTICE BY THE ENGINEER.
- WEATHER PERMITTING, THE FOLLOWING CONSTRUCTION ITEMS SHALL BE COMPLETED WITHIN THE TIME LIMITS SPECIFIED. AT THE DISCRETION OF THE ENGINEER, LIQUIDATED DAMAGES OF \$250 PER DAY PER OCCURRENCE WILL BE LEVIED FOR FAILURE TO PERFORM THE WORK BELOW IN THE TIME ALLOCATED.
 - THE CONTRACTOR SHALL REPLACE ALL CONCRETE PAVEMENT REPAIR AREAS AND ALL DRIVES WITHIN SEVENTY-TWO (72) HOURS OF REMOVAL, NOT INCLUDING CURE TIME.
 - ADJUSTMENT AND RECONSTRUCTION WORK OF STRUCTURES SHALL COMMENCE NO LATER THAN THREE (3) WORKING DAYS AFTER PLACEMENT OF SURFACE COURSE. SAID WORK MUST BE CONTINUOUS UNTIL ALL ADJUSTMENT/RECONSTRUCTION WORK IS COMPLETE.
 - EACH STRUCTURE BEING ADJUSTED/RECONSTRUCTED SHALL BE COMPLETED WITHIN 72 HOURS OF BEGINNING WORK, INCLUDING REPAIR, ADJUSTMENT, BACKFILL, AND CONCRETE COLLAR (NOT INCLUDING CURE TIME).
 - BACKFILLING OF AREAS DISTURBED BY CONSTRUCTION OF SIDEWALK, DRIVE APPROACHES, CURB, AND STRUCTURE ADJUSTMENTS/RECONSTRUCTIONS SHALL BE BACKFILLED (TO A COMPACTED ELEVATION WITHIN 3" BELOW FINISH GRADE) WITHIN FIVE (5) WORKING DAYS AFTER THE PLACEMENT OF CONCRETE IN THE IMMEDIATE AREA. CONTRACTOR SHALL CONNECT ALL CURB DRAINS PRIOR TO BACKFILLING.
 - TEMPORARY PAVEMENT MARKINGS SHALL BE COMPLETED ON ALL PAVEMENT COURSES PRIOR TO OPENING THE ROADWAY TO TRAFFIC.
- FAILURE TO SEAL THE GUTTER LINE OF AN ASPHALT PAVEMENT IN A NEAT MANNER AS DETERMINED BY THE ENGINEER, SHALL RESULT IN LIQUIDATED DAMAGES IN THE AMOUNT OF \$500 PER CITY BLOCK.
 - FAILURE TO REMOVE ASPHALT TRACKED ON CITY ROADWAYS FROM PAVING OPERATIONS WITHIN 72 HOURS AFTER NOTIFICATION BY THE CITY SHALL RESULT IN LIQUIDATED DAMAGES IN THE AMOUNT OF \$500 PER DAY PER LOCATION UNTIL SATISFACTORY CLEANUP IS COMPLETED.
 - FAILURE TO EXPOSE AND PROVIDE FULL ACCESS INTO MANHOLES/MONUMENTS THAT ARE PAVED OVER WITHIN 24 HOURS AFTER EACH ASPHALT COURSE IS PLACED SHALL RESULT IN LIQUIDATED DAMAGES IN THE AMOUNT OF \$500 PER DAY PER MANHOLE/MONUMENT UNTIL THE CONTRACTOR PROVIDES FULL ACCESS INTO THE MANHOLE/MONUMENT.
- THE ENGINEER SHALL APPROVE THE CONTRACTOR'S SCHEDULE FOR THE PLACEMENT OF ALL FINAL ASPHALT SURFACE COURSES. PLACEMENT OF THE SURFACE COURSE SHALL BE CONTINUOUS, WEATHER PERMITTING. AT THE DISCRETION OF THE ENGINEER, LIQUIDATED DAMAGES FOR DELAYS, UNRELATED TO WEATHER, OF FIVE HUNDRED DOLLARS (\$500) WILL BE LEVIED IF PLACEMENT OF SAID SURFACE COURSE IS INTERRUPTED FOR MORE THAN FIFTEEN (15) HOURS. ADDITIONAL LIQUIDATED DAMAGES OF FIVE HUNDRED DOLLARS (\$500) FOR EACH TWENTY-FOUR (24) HOURS OF DELAY AFTER THE FIRST FIFTEEN (15) HOURS WILL BE LEVIED FOR DELAY IN COMPLETING THE WORK.
- COMPLIANCE WITH OHIO'S NPDES CONSTRUCTION PERMIT**
REFER TO THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHOWN ON THE CONTRACT DRAWINGS.
- WHEN PLACING CONCRETE, IF AMBIENT AIR TEMPERATURE IS OVER 85° F OR IS PREDICTED TO GO ABOVE 85° F DURING THE CONCRETE PLACEMENT; AND THE RATE OF EVAPORATION APPROACHES 0.2 LBS/SQ FT/HR ACCORDING TO FIGURE 1, AC 308-81 (ODOT OMS PG.329), THE CONTRACTOR SHALL USE CONFORM BY MASTER BUILDERS, OR APPROVED EQUAL, ON CONCRETE SIDEWALKS, DRIVEWAYS, AND PAVEMENT TO REDUCE SURFACE MOISTURE EVAPORATION.

1. SUBGRADE GEOTEXTILE FABRIC

WORK SHALL CONSIST OF FURNISHING AND PLACING A FABRIC BETWEEN THE SUBGRADE AND THE PAVEMENT LAYERS FOR THE PURPOSE OF SUBSURFACE DRAINAGE, STABILIZATION AND SEPARATION. THIS SPECIFICATION GUIDE IS APPLICABLE TO FABRIC MEMBRANES FOR FULL COVERAGE OF THE SUBGRADE.

2. MATERIALS

THE FABRIC USED WITH THIS SPECIFICATION SHALL BE A NONWOVEN FABRIC CONSISTING OF CONTINUOUS CHAIN POLYMERIC FILAMENTS OR YARNS OF POLYESTER OR POLYPROPYLENE, FORMED INTO A STABLE NETWORK BY NEEDLE PUNCHING. SAID FABRIC SHALL BE RESISTANT TO CHEMICAL ATTACK, MILDEW, AND ROT. FABRIC SHALL MEET THE FOLLOWING MINIMUM AVERAGE ROLL VALUES:

PROPERTY	TEST METHOD	REQUIRED VALUE
MINIMUM TENSILE STRENGTH	ASTM D 4632	160LB 800 N
MAXIMUM ELONGATION	ASTM D 4632	50%
MINIMUM PUNCTURE STRENGTH	ASTM D 6241	385LB 1715 N
APPARENT OPENING SIZE	ASTM D 4751	
SOIL TYPE-1: SOILS WITH 50% OR LESS PASSING AOS =OR< 0.6MM		
NO 200 (75 UM) SIEVE		
SOIL TYPE-2: SOILS WITH 50% OR 85% PASSING AOS =OR< 0.3MM		
NO 200 (75 UM) SIEVE		
PERMITIVITY	ASTM D 4491	0.05 SEC-1

3. EQUIPMENT

FABRIC HANDLING EQUIPMENT, MECHANICAL OR MANUAL LAY DOWN EQUIPMENT SHALL BE CAPABLE OF LAYING THE FABRIC SMOOTHLY.

3.2 MISCELLANEOUS EQUIPMENT: STIFF BRISTLE BROOMS OR SQUEEGEES TO SMOOTH THE FABRIC, SOISSORS, OR BLADES TO CUT THE FABRIC.

4. CONSTRUCTION METHODS/REQUIREMENTS

4.1 FABRIC PACKAGING AND STORAGE: FABRIC ROLLS SHALL BE FURNISHED WITH SUITABLE WRAPPING FOR PROTECTION AGAINST MOISTURE AND EXTENDED ULTRA-VIOLET EXPOSURE PRIOR TO PLACEMENT. EACH ROLL SHALL BE LABELED OR TAGGED TO PROVIDE PRODUCT IDENTIFICATION SUFFICIENT FOR INVENTORY AND QUALITY CONTROL PURPOSES. ROLLS SHALL BE STORED IN A MANNER WHICH PROTECTS THEM FROM THE ELEMENTS. IF STORED OUTDOORS, THEY SHALL BE ELEVATED AND PROTECTED WITH A WATERPROOF COVER.

4.2 FABRIC PLACEMENT: THE FABRIC SHALL BE PLACED ONTO THE SUBGRADE PRIOR TO THE TIME OF PLACEMENT OF THE STONE BASE OR AS DIRECTED BY THE ENGINEER. WRINKLES OR FOLDS IN EXCESS OF ONE INCH SHALL BE SLIT AND LAID FLAT. OVERLAP OF FABRIC JOINTS SHALL BE SUFFICIENT TO ENSURE FULL CLOSURE OF THE JOINT, 12 INCHES FOR LONGITUDINAL JOINTS AND 6 INCHES FOR TRANSVERSE JOINTS. REMOVAL AND REPLACEMENT OF FABRIC THAT IS DAMAGED WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

12. GEGRID

1. DESCRIPTION

WORK SHALL CONSIST OF FURNISHING AND PLACING A GEOGRID MATERIAL FOR THE PURPOSE OF REINFORCING THE SUBGRADE.

2. MATERIAL

THE GEOGRID USED WITH THIS SPECIFICATION WILL BE SUCH AS TO SATISFY THE FOLLOWING REQUIREMENTS.

THE GEOGRID SHALL BE MANUFACTURED USING A "PUNCHED-AND-DRAWN" TECHNIQUE WHEREBY A REGULAR, INTEGRAL GRID STRUCTURE IS FORMED BYSTRETCHING IN ORTHOGONAL DIRECTIONS (MACHINE AND CROSS-MACHINE), A CONTINUOUS SHEET OF SELECT POLYPROPYLENE MATERIAL. THE GEOGRID SHALL HAVE APERTURE GEOMETRY AND RIB AND JOINTION CROSS SECTIONS SUFFICIENT TO PERMIT SIGNIFICANT MECHANICAL INTERLOCK WITH THE MATERIAL BEING REINFORCED. THE GEOGRID SHALL HAVE HIGH FLEXURAL RIGIDITY AND A HIGH TENSILE MODULUS IN RELATION TO THE MATERIAL BEING REINFORCED AND ALSO HAVE HIGH CONTINUITY OF TENSILE STRENGTH THROUGH ALL RIBS AND JOINTIONS. THE GEOGRID SHALL MAINTAIN ITS REINFORCEMENT AND INTERLOCK CAPABILITIES UNDER REPEATED DYNAMIC LOADS WHILE IN SERVICE AND SHALL ALSO BE RESISTANT TO ULTRAVIOLET DEGRADATION, TO DAMAGE UNDER NORMAL CONSTRUCTION PRACTICES AND TO ALL FORMS OF BIOLOGICAL OR CHEMICAL DEGRADATION NORMALLY ENCOUNTERED IN THE MATERIAL BEING REINFORCED.

THE GEOGRID SHALL ALSO CONFORM IN ALL RESPECTS TO THE PROPERTY REQUIREMENTS LISTED BELOW:

PRODUCT PROPERTIES	TEST METHOD	UNITS	MIN VALUE	MAX VALUE
INDEX PROPERTIES				
APERTURE DIMENSIONS	DIRECT MEASUREMENT2	IN.	1.0 - 1.6	1.0 - 1.6
MINIMUM RIB THICKNESS	DIRECT MEASUREMENT2	IN.	0.05	0.05
TENSILE STRENGTH @ 2% STRAIN	ASTM D6637-01	LB/FT	410	620
TENSILE STRENGTH @ 5% STRAIN	ASTM D6637-01	LB/FT	810	1,340
ULTIMATE TENSILE STRENGTH	ASTM D6637-01	LB/FT	1,310	1,870
STRUCTURAL INTEGRITY				
JUNCTION EFFICIENCY	GRJ-022-05	%	93	
FLEXURAL STIFFNESS	ASTM D7748	KG-CM	750,000	
APERTURE STABILITY	US ACE METHOD03	N-M/DEG	0.65	

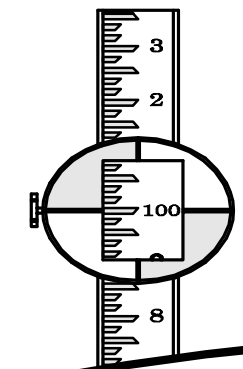
DURABILITY

RESISTANCE TO INSTALLATION DAMAGE (SC/SW/OP SOIL)	TEST METHOD	%	VALUE
	ASTM D6637-01	%	95/93/90
RESISTANCE TO LONG-TERM DEGRADATION	ASTM D6637-01	%	100
RESISTANCE TO UV DEGRADATION	ASTM D4355-05	%	100

- UNLESS INDICATED OTHERWISE, VALUES SHOWN ARE MINIMUM AVERAGE ROLL VALUES (MARV)
- MAXIMUM INSIDE DIMENSION IN EACH PRINCIPAL DIRECTION MEASURED BY CALIPERS.
- RESISTANCE TO IN-PLANE ROTATIONAL MOVEMENT MEASURED BY APPLYING A 20 KG-CM (2 N-M) MOMENT TO THE CENTRAL JOINTION OF A 9 INCH X 9 INCH SPECIMEN RESTRAINED AT ITS PERIMETER IN ACCORDANCE WITH U.S. ARMY CORPS OF ENGINEERS METHODOLOGY FOR MEASUREMENT OF APERTURE STABILITY MODULUS (TORSIONAL RIGIDITY).

3. CONSTRUCTION METHODS/REQUIREMENTS

- SUBGRADE SOIL SHALL BE PREPARED AS INDICATED ON THE CONSTRUCTION DRAWINGS OR AS DIRECTED BY THE ENGINEER.
- GEOGRID SHALL BE LAID AT THE PROPER ELEVATION AND ALIGNMENT AS SHOWN ON THE CONSTRUCTION DRAWINGS OR AS DIRECTED BY THE ENGINEER.
- GEOGRID SHALL BE ORIENTED SUCH THAT THE ROLL LENGTH RUNS PARALLEL TO THE ROAD DIRECTION.
- GEOGRID SECTIONS SHALL BE OVERLAPPED AS INDICATED ON THE CONSTRUCTION DRAWING OR AS DIRECTED BY THE ENGINEER. (MINIMUM OVERLAP IS 1 FOOT.)
- CARE SHALL BE TAKEN TO ENSURE THAT GEOGRID SECTIONS DO NOT SEPARATE AT OVERLAPS DURING CONSTRUCTION.
- PLACEMENT OF GEOGRID AROUND CORNERS WILL REQUIRE CUTTING OF GEOGRID PRODUCT AND DIAGONAL OVERLAPPING OF SAME TO ENSURE THAT EXCESSIVE BUCKLING OF GRID MATERIAL DOES NOT OCCUR.
- GRANULAR FILL MATERIAL SHALL BE PLACED IN LIFT THICKNESSES AND COMPACTED AS DIRECTED BY THE ENGINEER.
- GRANULAR FILL MATERIAL SHALL BE BACK DUMPED FROM TRUCKS RIDING ON TOP OF THE REINFORCED FILL AND BLADED ONTO GEOGRID IN SUCH A MANNER THAT THE FILL ROLLS ONTO THE GRID AHEAD (E.G. BY GRADUALLY RAISING AT DOZER BLADE WHILE MOVING FORWARD).
- TRACKED CONSTRUCTION EQUIPMENT SHALL NOT OPERATE DIRECTLY UPON THE GEOGRID. A MINIMUM FILL THICKNESS OF SIX (6) INCHES IS REQUIRED PRIOR TO OPERATION OF TRACKED VEHICLES OVER THE GEOGRID.
- RUBBER TIRE EQUIPMENT MAY PASS OVER THE GEOGRID AT SLOW SPEEDS, LESS THAN 10 MPH, IF THE UNDERLYING MATERIAL IS CAPABLE OF SUPPORTING THE LOADS WITHOUT EXCESSIVE RUTTING OR CAUSING DAMAGE TO THE GEOGRID. CARE SHOULD BE TAKEN BY OPERATORS TO AVOID SUDDEN BRAKING OR SHARP TURNING.
- IF RUTS ARE CREATED IN THE GRANULAR FILL DUE TO CONSTRUCTION TRAFFIC THEY SHALL BE FILLED WITH ADDITIONAL GRANULAR MATERIAL, RATHER THAN BLADING ADJACENT MATERIAL INTO THE RUT.



LEWANDOWSKI ENGINEERS

CIVIL ENGINEERS & SURVEYORS
THE CHIEF BLDG 234 N. ERIE ST.
TOLEDO, OHIO, 43604
LEWANDOWSKIENG.COM
OFFICE: 419.255.4111

SITE DEVELOPMENT FOR:
COLLINGWOOD GREEN PHASE III RIGHT-OF-WAY
CITY OF TOLEDO, LUCAS COUNTY, OHIO
-- GENERAL SUMMARY AND NOTES --

DATE: 01/26/2017
DRAWN: NJG
CHECKED: TMB
BOUNDARY: RPL
TOPO: SPT
UTILITIES: JLA
GPS: NAD '83, GEOID-12A, OHIO N. 3401

SCALE: N/A
DWG #: 43301
DIR #: 43301
DATUM NAVD 88 GPS
AUTOCAD REL. 2004
GIS: ARCVIEW 9.2



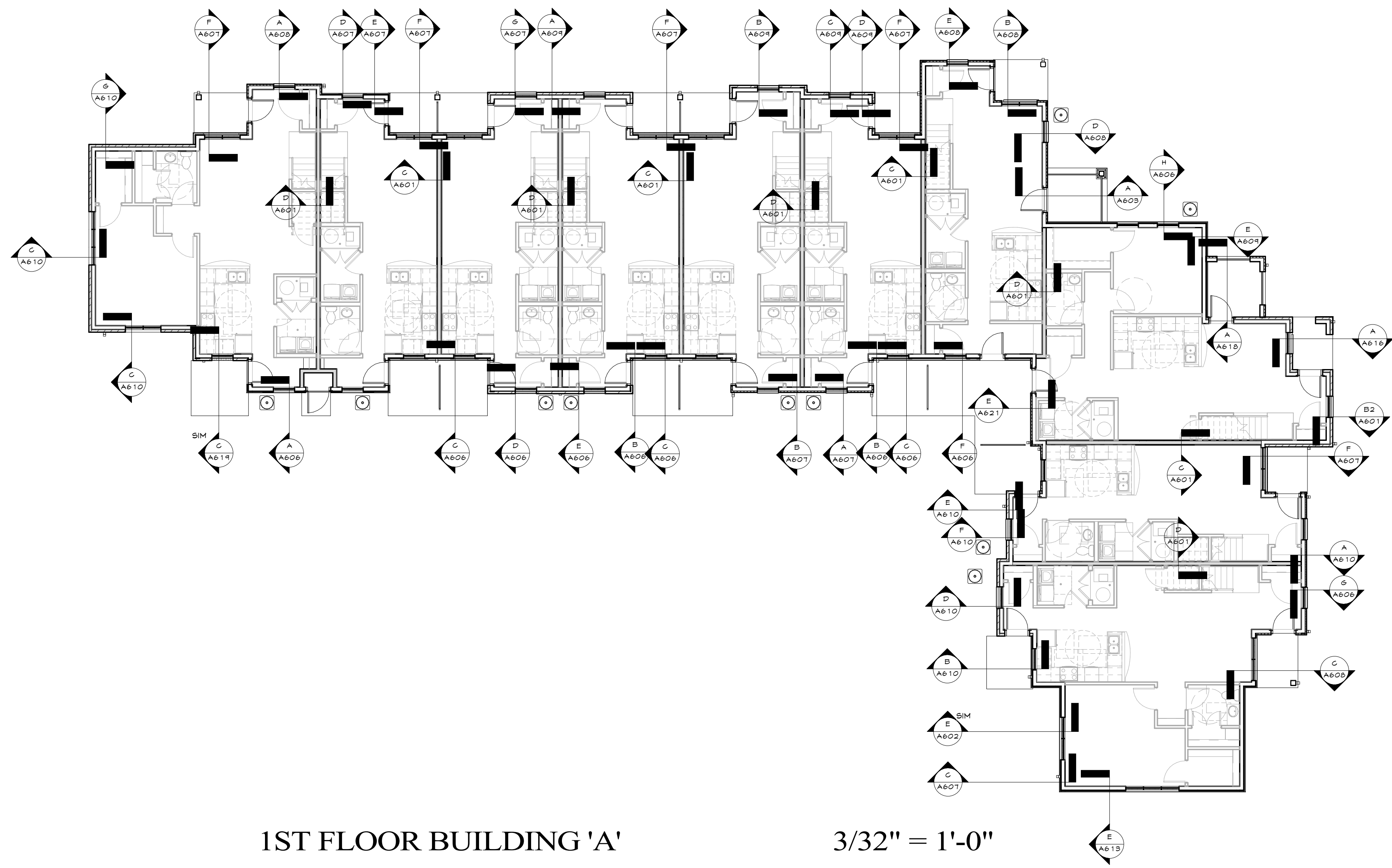
WARNING

UNDERGROUND CONDUITS IN AREA; CONTACT THE OHIO UTILITIES PROTECTION SERVICE (OUPS) TWO WORKING DAYS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION.....1-800-362-2764
CONTRACTOR SHALL IDENTIFY AND CONTACT ANY UTILITY COMPANIES THAT DO NOT PARTICIPATE IN THE OUPS SYSTEM.



Know what's below.
Call before you dig.

* GENERAL SUMMARY AND QUANTITIES ARE ESTIMATED ONLY - CONTRACTOR SHALL BE RESPONSIBLE FOR CALCULATING QUANTITIES REQUIRED TO COMPLETE THE PROJECT AND SHOWN IN THE PLANS



1ST FLOOR BUILDING 'A'

3/32" = 1'-0"



BUILDING 'A' WEST ELEVATION

3/32" = 1'-0"



BUILDING 'A' EAST ELEVATION

3/32" = 1'-0"



BUILDING 'A' NORTH ELEVATION

3/32" = 1'-0"



BUILDING 'A' SOUTH ELEVATION

3/32" = 1'-0"

GEORGE D BERARDI LICENSE #6480
EXPIRATION DATE: 12/31/2019

LMHA
Collingwood
Green, Phase III
Toledo, Ohio

Collingwood Green
Quality affordable living within a green community

LUCAS
METROPOLITAN HOUSING AUTHORITY

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NOTE:
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2. THE CONTRACT DOCUMENTS ARE COMPRISED OF THE DRAWINGS AND SPECIFICATIONS. THE INFORMATION IN THESE DOCUMENTS IS DEPENDENT UPON AND COMPLEMENTARY OF EACH OTHER. SEPARATION OF THE CONTRACT DOCUMENTS SHALL NOT BE PERMITTED IF THE CONTRACTOR CHOOSES TO SEPARATE THE DOCUMENTS, THEY DO SO AT THEIR OWN RISK AND EXPENSE.

3. ADDITIONALLY, SEE GENERAL INFORMATION ON 'A0' SHEETS.

4. THE CLIENT ACKNOWLEDGES THE CONSULTANTS' ARCHITECTURAL DRAWINGS AND SPECIFICATIONS INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA AS INSTRUMENTS OF THE CONSULTANTS' (ARCHITECT) PROFESSIONAL SERVICE. THE CLIENT SHALL NOT REUSE OR MAKE OR PERMIT TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF THE CONSULTANT (ARCHITECT). THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT) ARISING FROM ANY UNAUTHORIZED TRANSFER, REUSE OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.

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PROPOSAL SET

PROJECT DATE: 01/26/2017
PROJECT #: 14105

Issue	Description	Date
2	Addendum 2	02/13/2017

BUILDING A
WALL
SECTION
REFERENCES
A100A

THE COLLABORATIVE
One SeaGate, Park Level 118, Toledo, Ohio 43604
419.242.7405 | thecollaborative.com

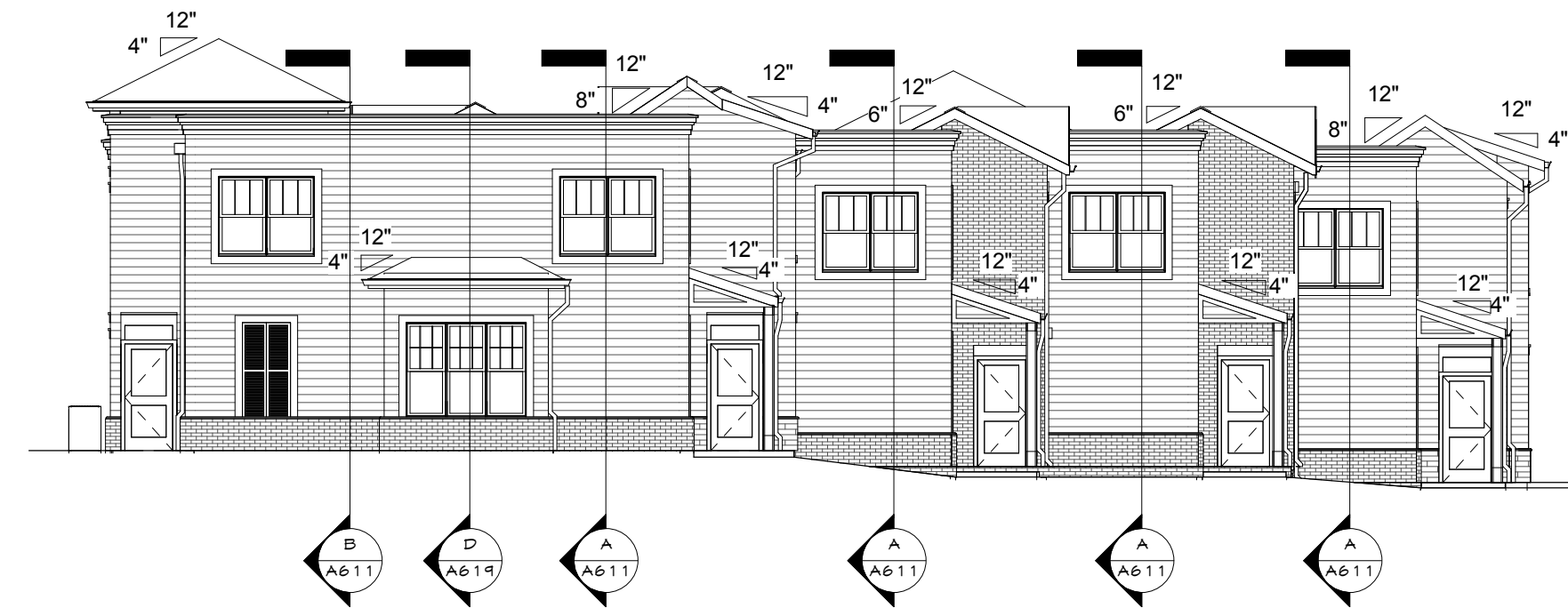
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www.berardipartners.com



1ST FLOOR BUILDING 'B'

3/32" = 1'-0"



BUILDING 'B' WEST ELEVATION

3/32" = 1'-0"



BUILDING 'B' EAST ELEVATION

3/32" = 1'-0"



BUILDING 'B' SOUTH ELEVATION

3/32" = 1'-0"



BUILDING 'B' NORTH ELEVATION

3/32" = 1'-0"

GEORGE D BERARDI LICENSE #6480
EXPIRATION DATE: 12/31/2019

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Green, Phase III
Toledo, Ohio

Collingwood Green
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OTHER PARTIES WITHOUT THE REVIEW AND WRITTEN
APPROVAL OF THE ARCHITECT SHALL BE AT THE SOLE
RISK OF THE USER. FURTHERMORE, USER AGREES TO
KEEP, MAINTAIN, AND HOLD ARCHITECT HARMLESS
FROM ALL CLAIMS, INJURIES, DAMAGES, LOSSES,
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ANY INFORMATION FROM PREVIOUS CONTACT WITH ANY OF THESE
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PROPOSAL SET

PROJECT DATE: 01/26/2017
PROJECT #: 14105

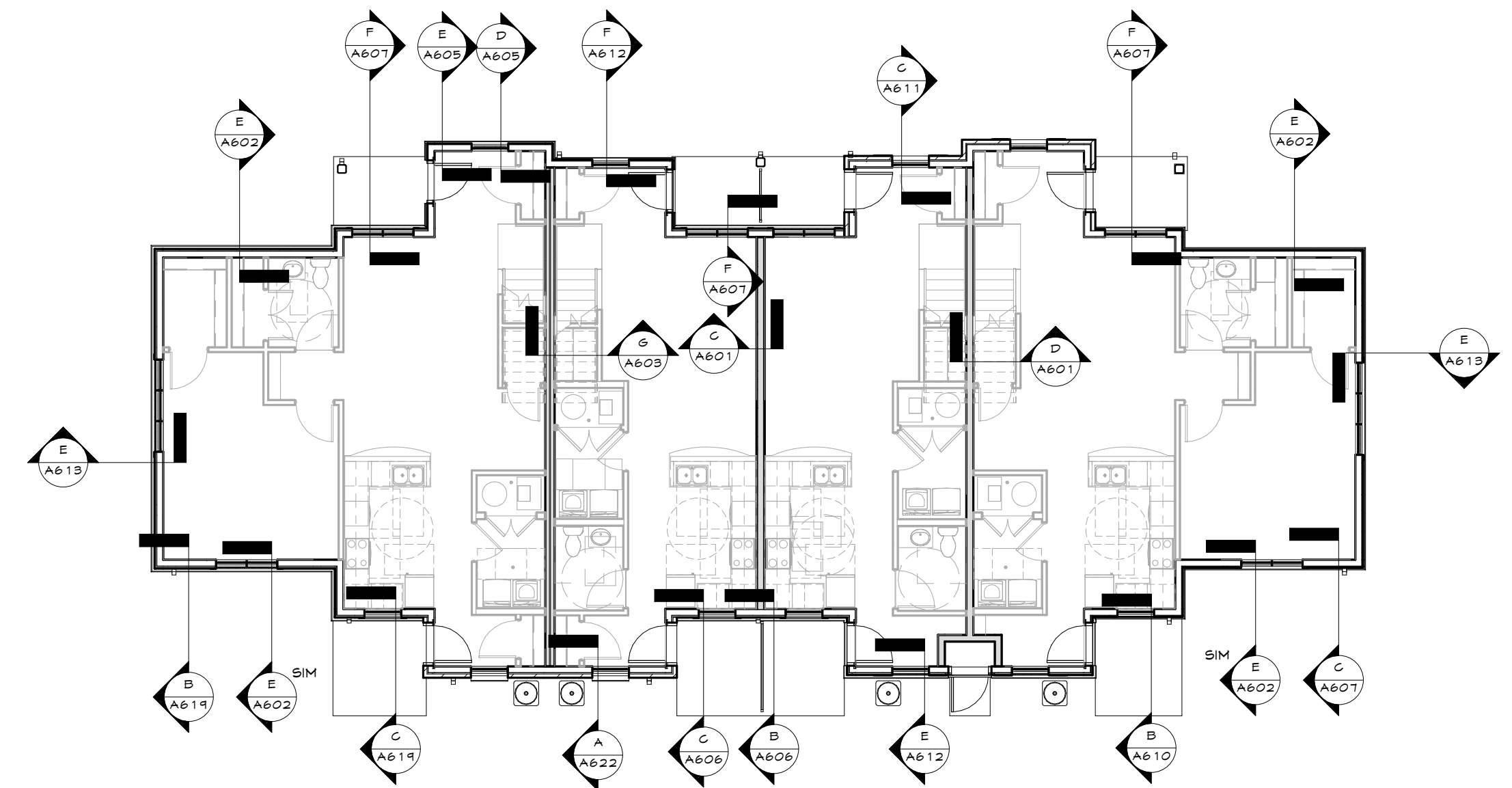
Issue	Description	Date
2	Addendum 2	02/13/2017

BUILDING B
WALL
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REFERENCES
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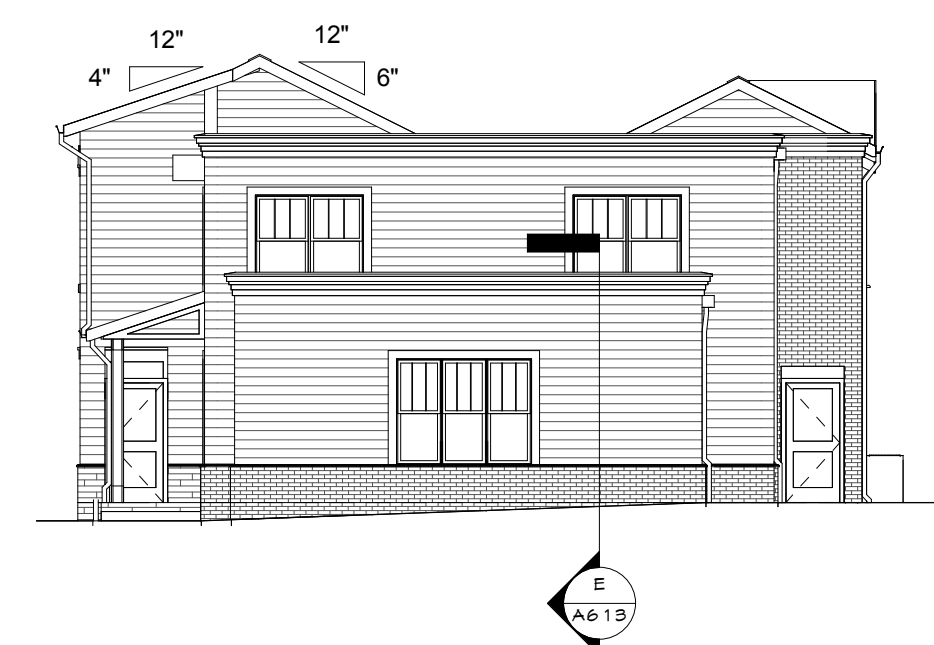
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1ST FLOOR BUILDING 'D' 3/32" = 1'-0"



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GEORGE D. BERARDI LICENSE #6480
EXPIRATION DATE: 12/31/2019

LMHA
Collingwood
Green, Phase III
Toledo, Ohio

Collingwood Green
"Quality affordable living within a green community"

LUCAS
METROPOLITAN HOUSING AUTHORITY

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3. ADDITIONALLY, SEE GENERAL INFORMATION ON 'A0' SHEETS.

4. THE CLIENT ACKNOWLEDGES THE CONSULTANTS' ARCHITECT DRAWINGS AND SPECIFICATIONS INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA AS INSTRUMENTS OF THE CONSULTANTS' (ARCHITECT) PROFESSIONAL SERVICE. THE CLIENT SHALL NOT REUSE OR RENT TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF THE CONSULTANT (ARCHITECT). THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT) ARISING FROM ANY UNAUTHORIZED TRANSFER, REUSE OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.

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PROPOSAL SET

PROJECT DATE: 01/26/2017
PROJECT #: 14105

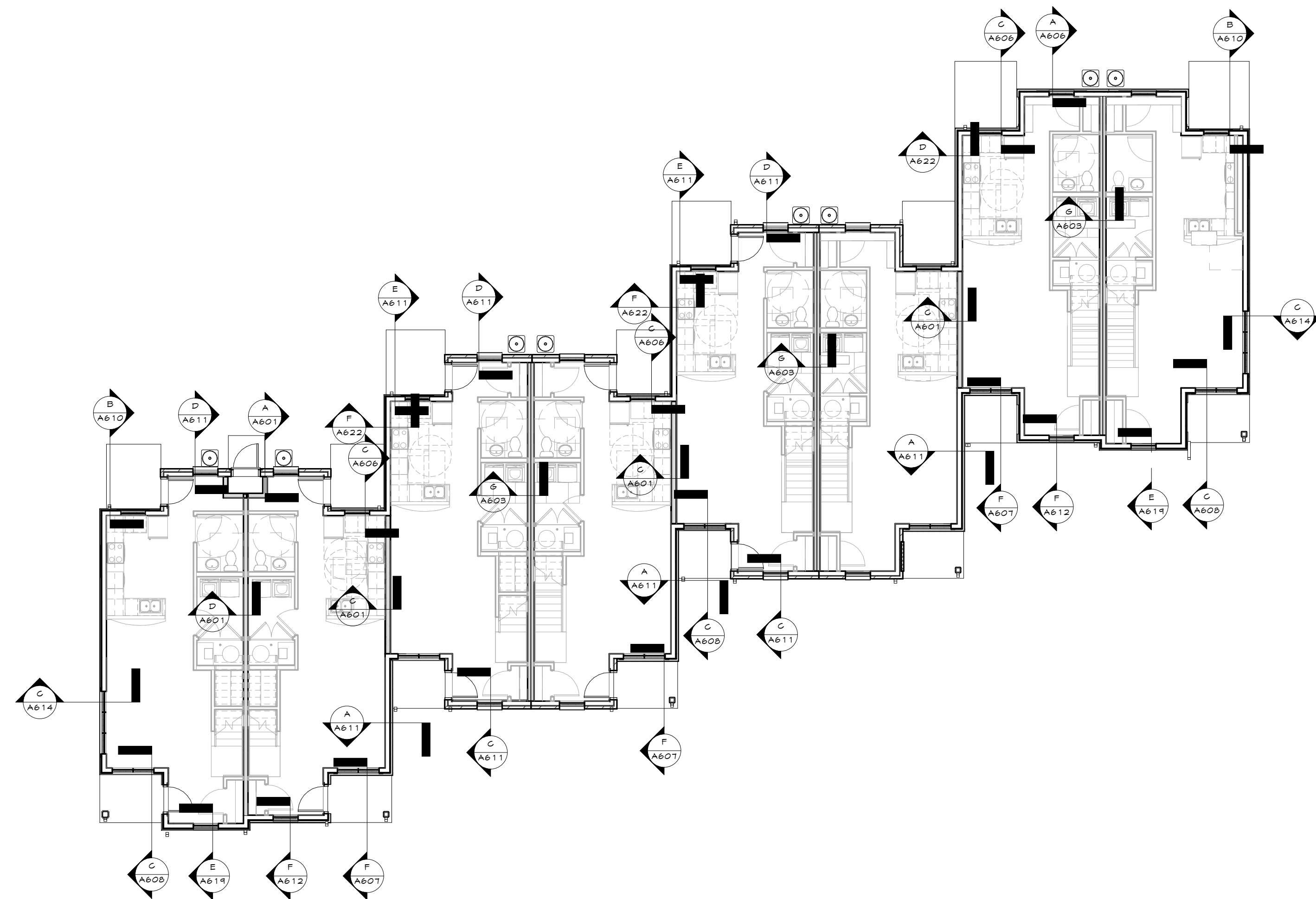
Issue	Description	Date
2	Addendum 2	02/13/2017

BUILDING D
WALL
SECTION
REFERENCES
A100D

THE COLLABORATIVE
One SeaGate, Park Level 118, Toledo, Ohio 43604
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berardi +
architecture + interior design + engineering

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Phone (614)221-1110 Fax (614)221-0831
www.berardipartners.com



1ST FLOOR BUILDING 'E'

3/32" = 1'-0"



BUILDING 'E' EAST ELEVATION

3/32" = 1'-0"



BUILDING 'E' WEST ELEVATION

3/32" = 1'-0"



BUILDING 'E' SOUTH ELEVATION

3/32" = 1'-0"



BUILDING 'E' NORTH ELEVATION

3/32" = 1'-0"

GEORGE D BERARDI LICENSE #6480
EXPIRATION DATE: 12/31/2019

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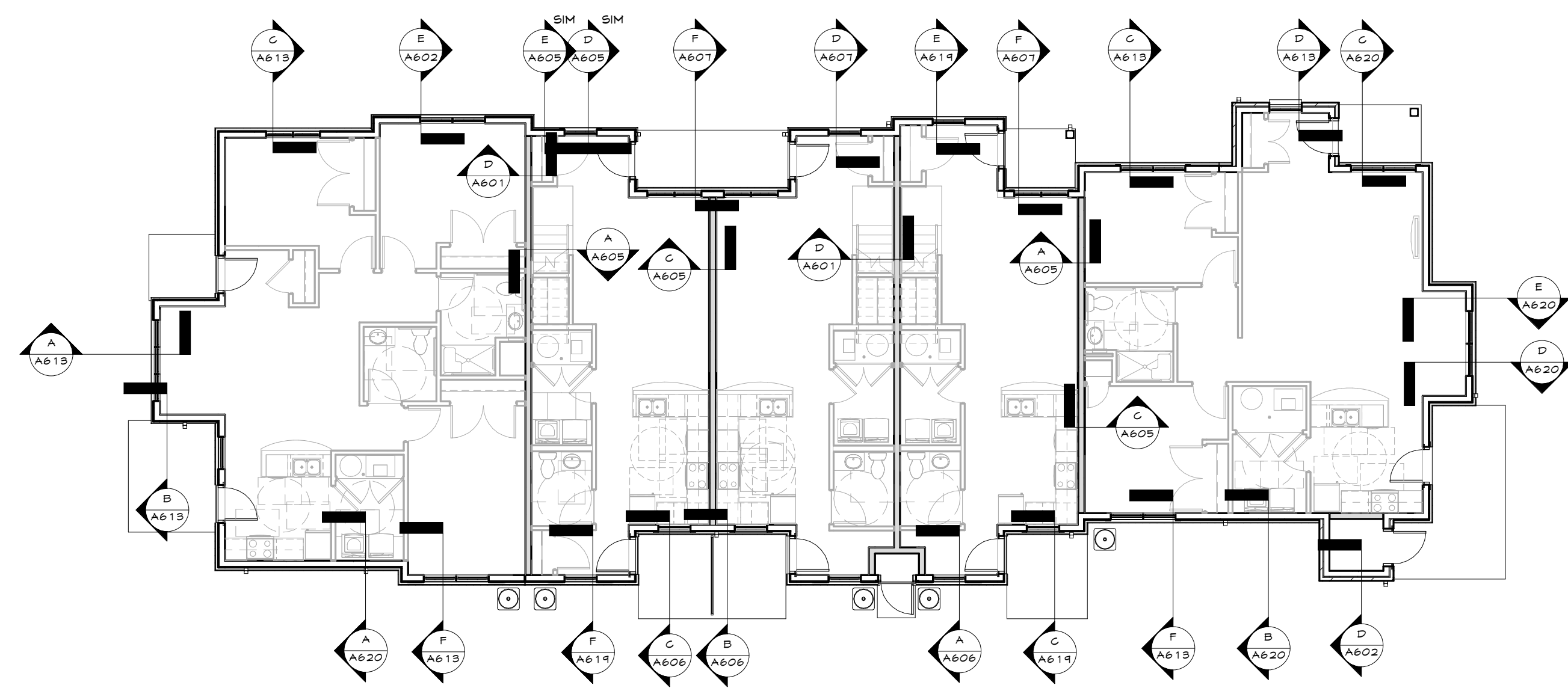
BUILDING E
WALL
SECTION
REFERENCES
A100E

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1ST FLOOR BUILDING 'F'

3/32" = 1'-0"



BUILDING 'F' EAST ELEVATION

3/32" = 1'-0"



BUILDING 'F' WEST ELEVATION

3/32" = 1'-0"



BUILDING 'F' NORTH ELEVATION

3/32" = 1'-0"



BUILDING 'F' SOUTH ELEVATION

3/32" = 1'-0"

GEORGE D. BERARDI LICENSE #6480
EXPIRATION DATE: 12/31/2019

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PROJECT #: 14105

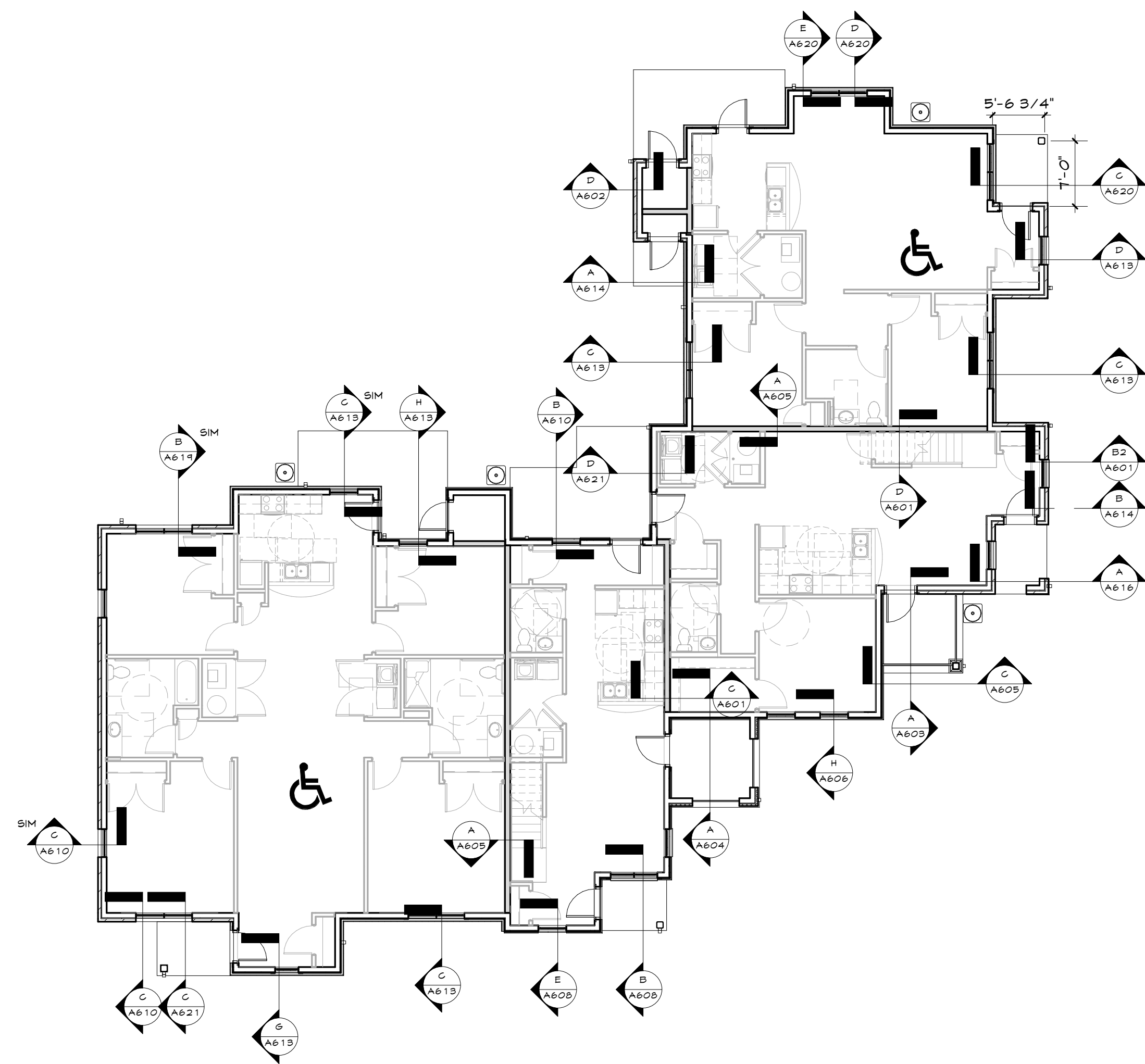
Issue	Description	Date
2	Addendum 2	02/13/2017

BUILDING F
WALL
SECTION
REFERENCES
A100F

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1ST FLOOR BUILDING 'G'

3/32" = 1'-0"



BUILDING 'G' EAST ELEVATION

3/32" = 1'-0"



BUILDING 'G' WEST ELEVATION

3/32" = 1'-0"



BUILDING 'G' NORTH ELEVATION

3/32" = 1'-0"



BUILDING 'G' SOUTH ELEVATION

3/32" = 1'-0"

GEORGE D. BERARDI LICENSE #6480
EXPIRATION DATE: 12/31/2019

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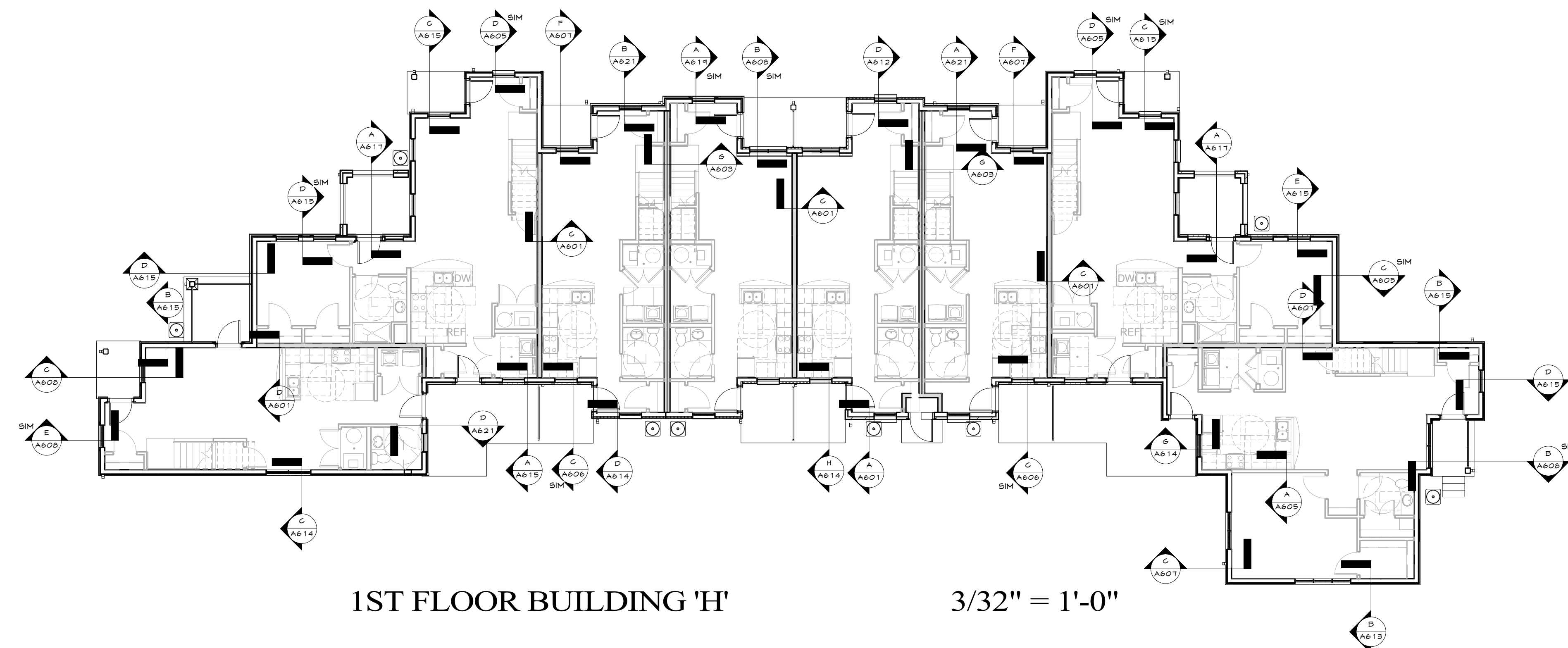
Issue	Description	Date
2	Addendum 2	02/13/2017

BUILDING G
WALL
SECTION
REFERENCES
A100G

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1ST FLOOR BUILDING 'H'

3/32" = 1'-0"



BUILDING 'H' NORTH ELEVATION

3/32" = 1'-0"



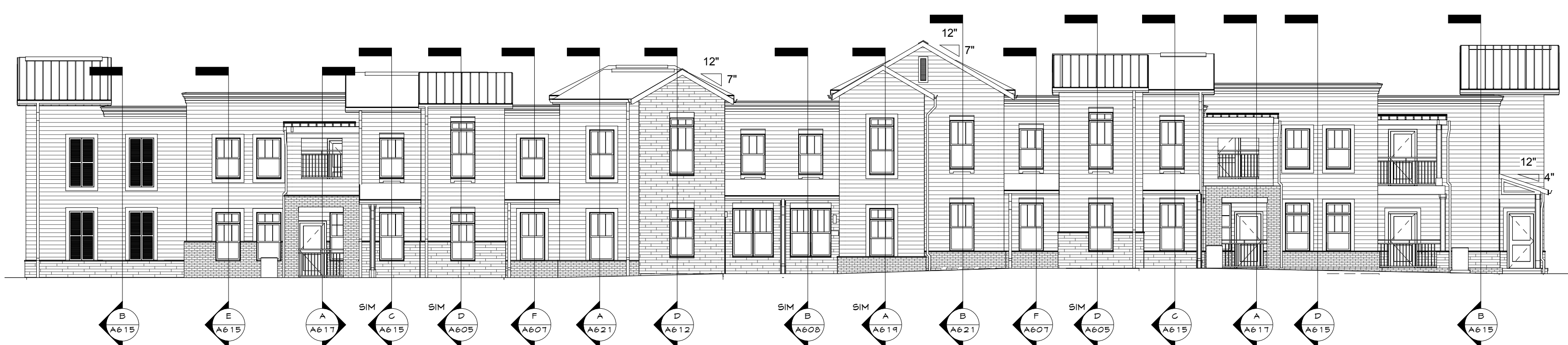
BUILDING 'H' SOUTH ELEVATION

3/32" = 1'-0"



BUILDING 'H' EAST ELEVATION

3/32" = 1'-0"



BUILDING 'H' WEST ELEVATION

3/32" = 1'-0"

GEORGE D BERARDI LICENSE #6480
EXPIRATION DATE: 12/31/2019

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Green, Phase III
Toledo, Ohio

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PROPOSAL SET

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Issue	Description	Date
2	Addendum 2	02/13/2017

PROPOSAL SET

PROJECT DATE: 01/26/2017
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Issue	Description	Date
2	Addendum 2	02/13/2017

BUILDING H
WALL
SECTION
REFERENCES
A100H

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Proposal
Set

PROJECT DATE 01/26/2017
PROJECT # 14105

Issue	Description	Date
	ADDENDUM #2	02/13/2017

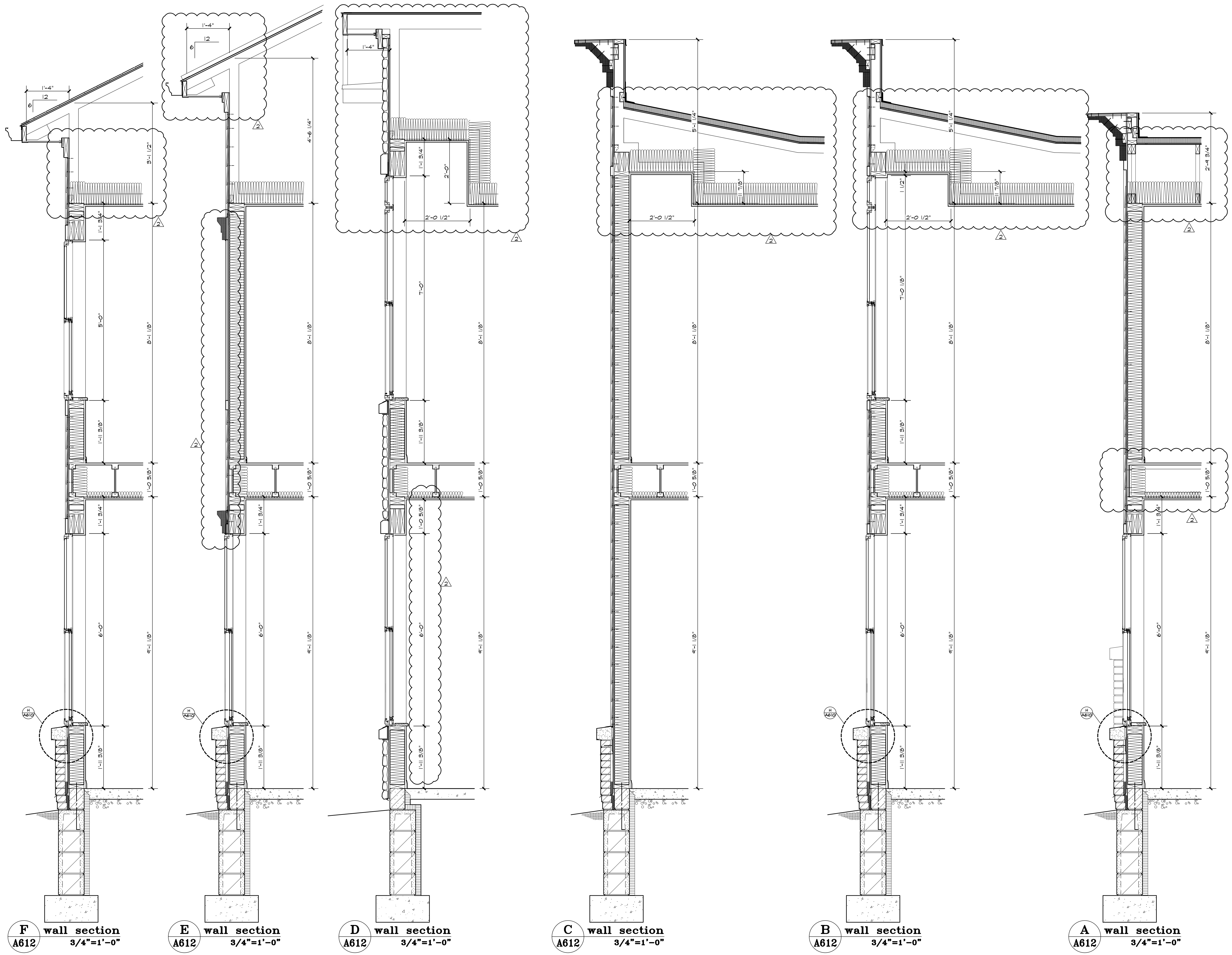
TYPICAL
WALL
SECTIONS

A612

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F wall section
A612 3/4"=1'-0"

E wall section
A612 3/4"=1'-0"

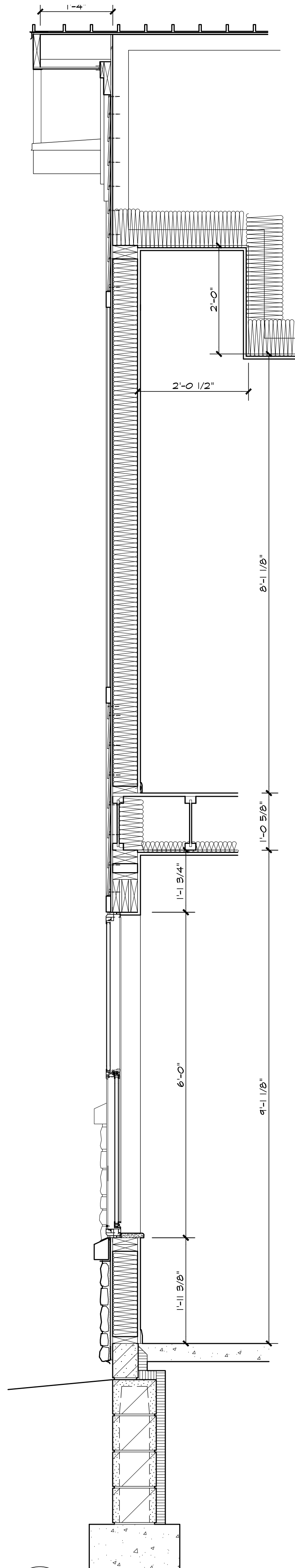
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A612 3/4"=1'-0"

C wall section
A612 3/4"=1'-0"

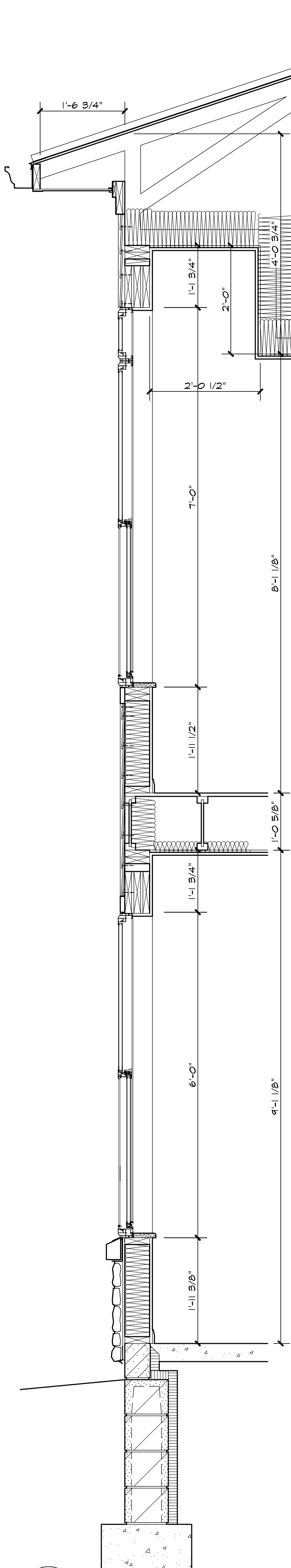
B wall section
A612 3/4"=1'-0"

A wall section
A612 3/4"=1'-0"

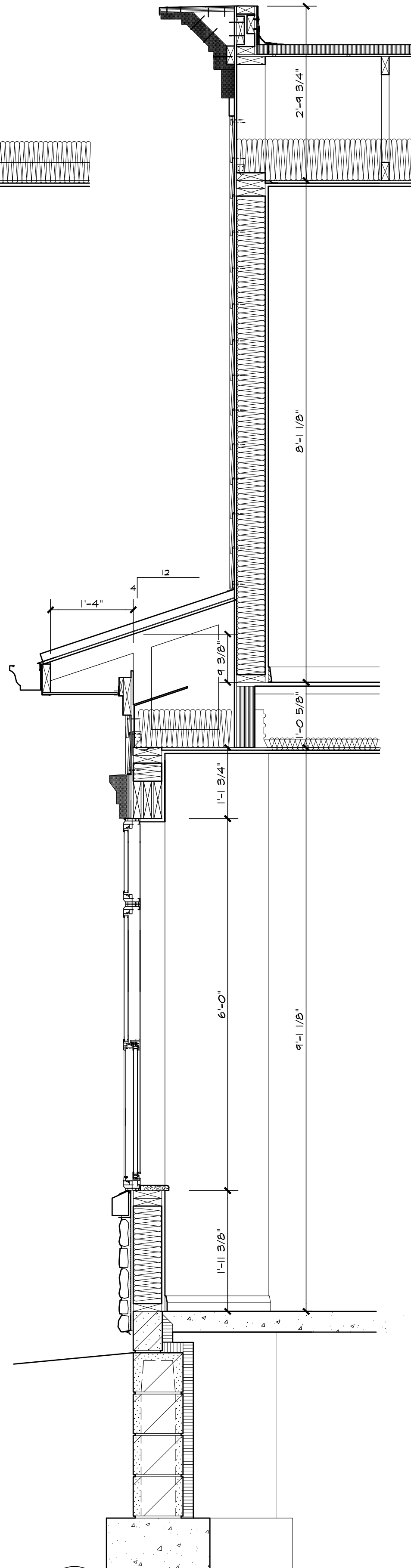
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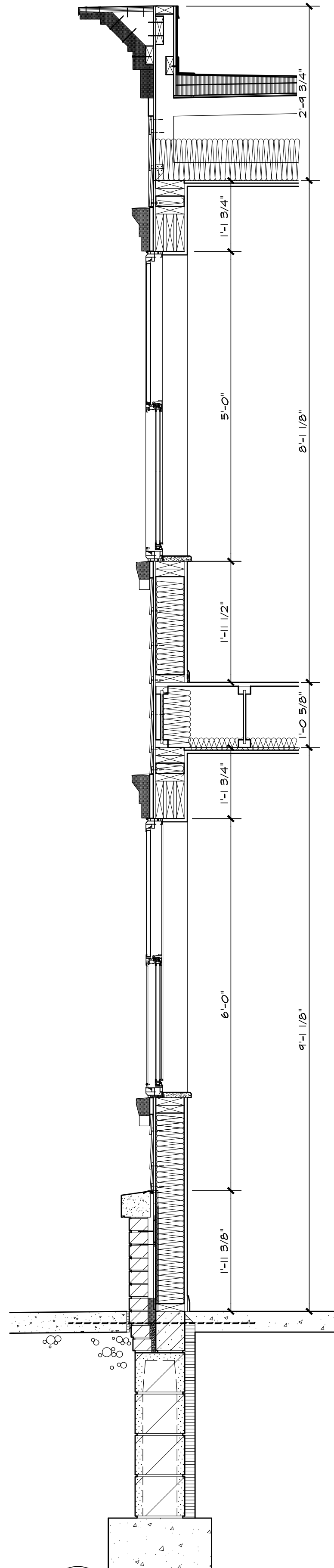
F wall section
A619 3/4"=1'-0"



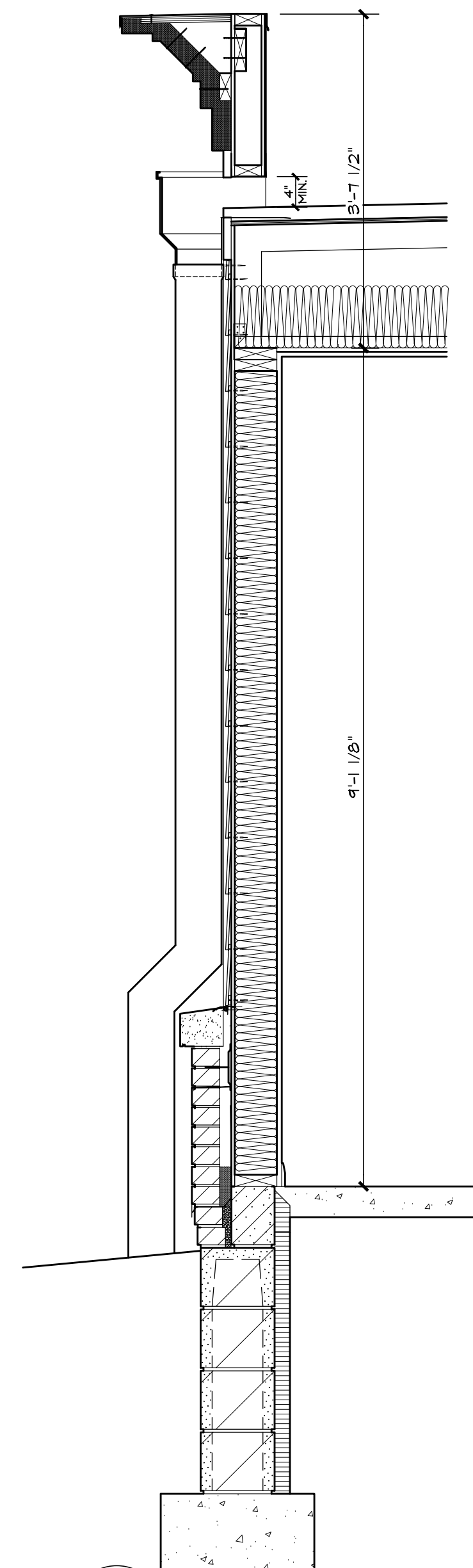
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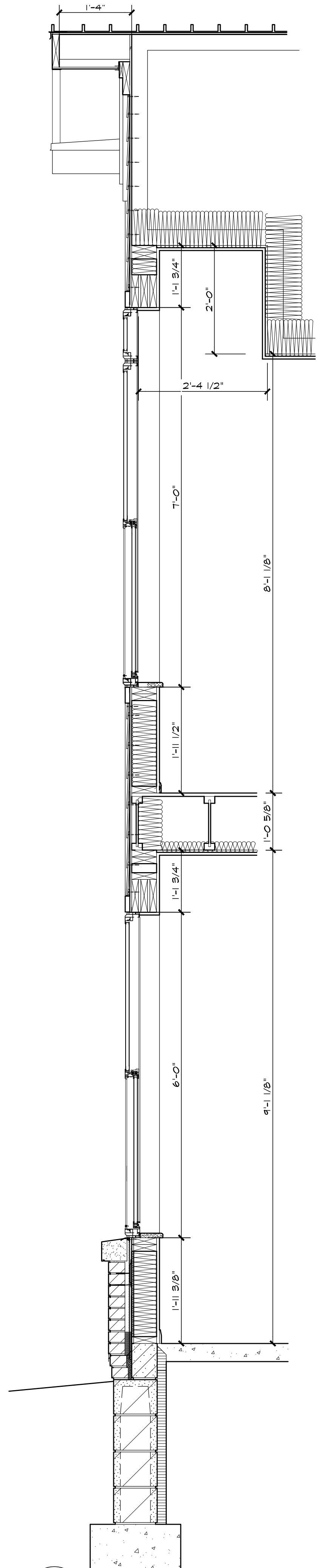
D wall section
A619 3/4"=1'-0"



C wall section
A619 3/4"=1'-0"



B wall section
A619 3/4"=1'-0"



A wall section
A619 3/4"=1'-0"

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 4. THE CLIENT ACKNOWLEDGES THE CONSULTANT'S (ARCHITECT) DRAWINGS AND SPECIFICATIONS INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA AS INSTRUMENTS OF THE CONSULTANT'S (ARCHITECT) PROFESSIONAL SERVICE. THE CLIENT SHALL NOT REUSE OR MAKE OR PERMIT TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF THE CONSULTANT (ARCHITECT). THE CLIENT AGREES TO HAVE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT) ARISING FROM ANY UNAUTHORIZED TRANSFER, REUSE OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.
 5. ARCHITECT CANNOT WARRANT THE ACCURACY OF DATA CONTAINED HEREIN. ANY USE OR REUSE OF ORIGINAL OR ALTERED CAD/DWG DESIGN MATERIALS BY THE USER OR OTHER PARTIES WITHOUT THE REVIEW AND WRITTEN APPROVAL OF THE ARCHITECT SHALL BE AT THE SOLE RISK OF THE USER. FURTHERMORE, USER AGREES TO DEFEND, INDEMNIFY, AND HOLD ARCHITECT HARMLESS FROM ALL CLAIMS, INJURIES, DAMAGES, LOSSES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE MODIFICATION OR REUSE OF THESE MATERIALS.
 6. THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS ARE DIAGNOSTIC AND ARE NOT INTENDED TO DEFINE EXACT QUANTITIES, LOCATIONS OR COORDINATE REQUIREMENTS. THE DRAWINGS SHALL NOT BE SCALED EXACT STATE AND LOCAL CODE REQUIREMENTS AND OTHER APPLICABLE CODE REQUIREMENTS SHALL BE VERIFIED BY AND ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY INFORMATION WHICH DIRECTLY CONFLICTS WITH ANY OF THESE CODES OR ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT.

Proposal
Set

PROJECT DATE 01/26/2017
PROJECT #: 14105

Issue	Description	Date
△	ADDENDUM #2	02/13/2017

TYPICAL
WALL
SECTIONS

A619

1. ALL BIDDERS SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND REQUIREMENTS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY ERRORS AND OMISSIONS SUBSEQUENTLY DISCOVERED IN THE CONTRACT DOCUMENTS.
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**Proposal
Set**

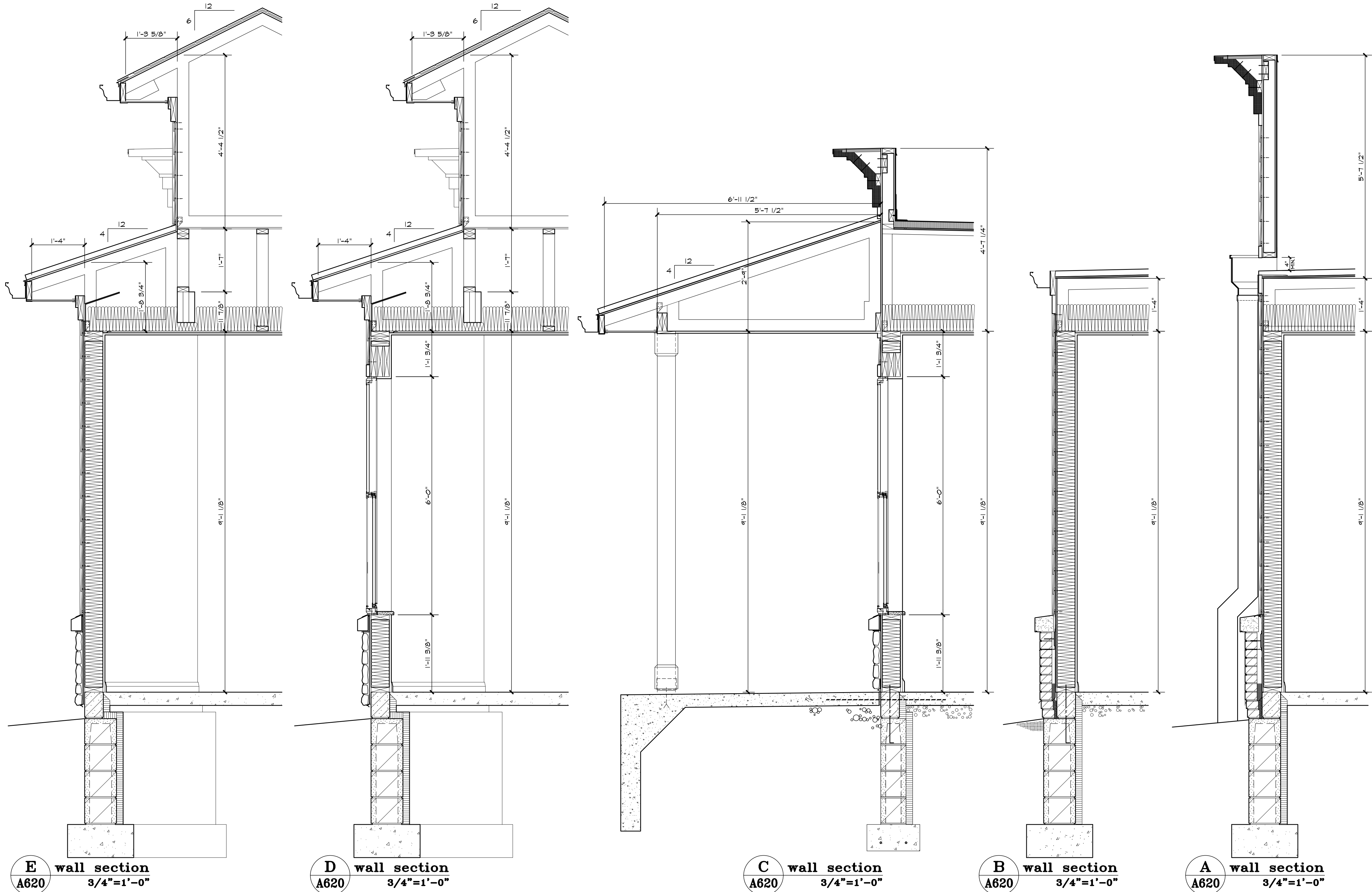
PROJECT DATE 01/26/2017

PROJECT # 14105

Issue	Description	Date
▲	ADDENDUM #2	02/13/2017

TYPICAL
WALL
SECTIONS

A620



E wall section
A620 3/4"=1'-0"

D wall section
A620 3/4"=1'-0"

C wall section
A620 3/4"=1'-0"

B wall section
A620 3/4"=1'-0"

A wall section
A620 3/4"=1'-0"

PL 000 CD REV
00 00 00 00 00

Proposal
Set

PROJECT DATE 01/26/2017
PROJECT # 14105

Issue	Description	Date
	ADDENDUM #2	02/13/2017

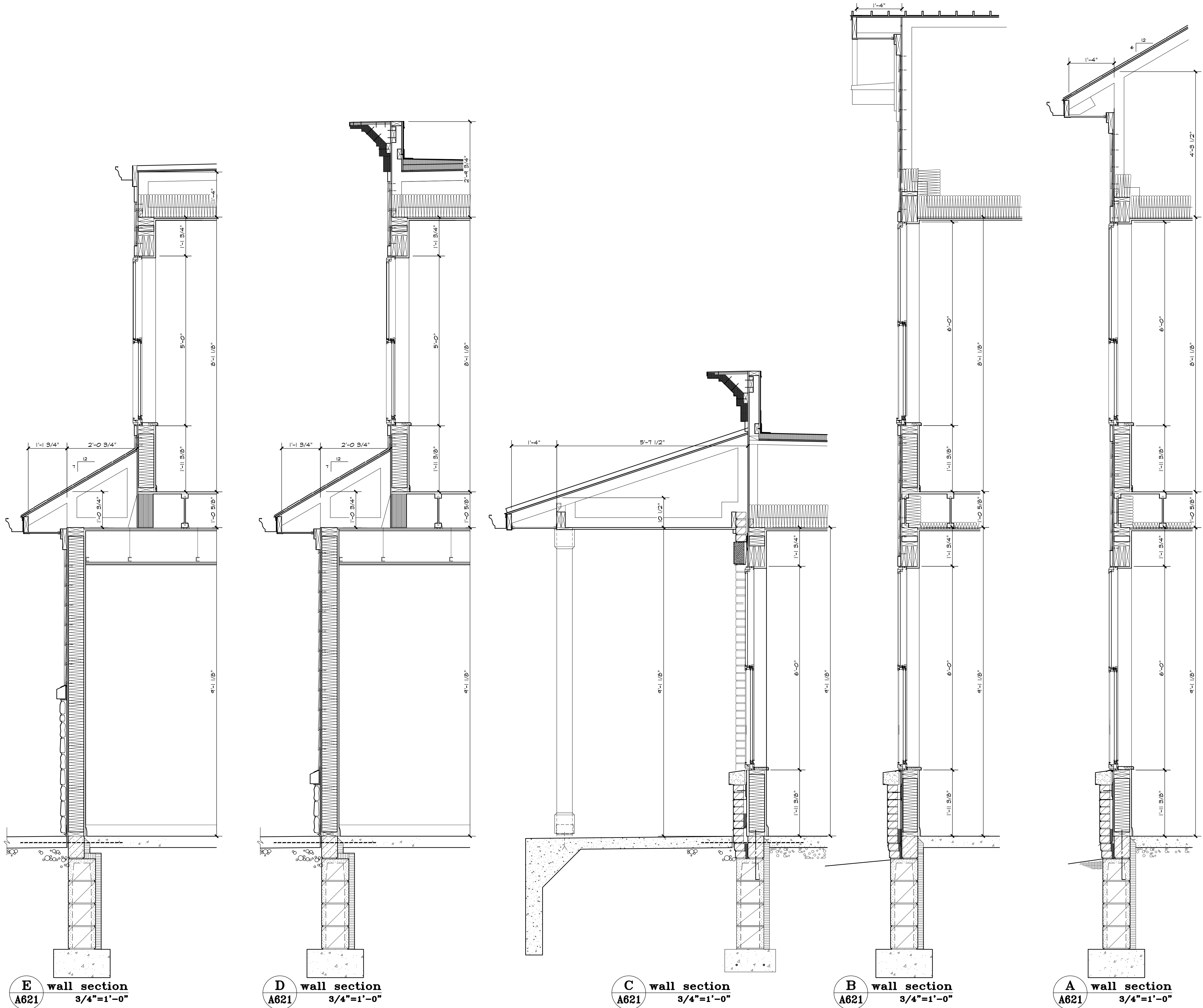
TYPICAL
WALL
SECTIONS

A621

THE COLLABORATIVE
One Madison Park Lane, Toledo, Ohio 43604
419.242.7425 | thecollaborativeinc.com

berardi +
architecture + interior design + engineering

1398 Goodale Blvd. Columbus, Ohio 43212
Phone (614)221-1110 Fax (614)221-0831
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E wall section
A621 3/4"=1'-0"

D wall section
A621 3/4"=1'-0"

C wall section
A621 3/4"=1'-0"

B wall section
A621 3/4"=1'-0"

A wall section
A621 3/4"=1'-0"

PL 00 00 00 REV
00 00 00 00 00

LMHA
Collingwood
Green, Phase III
Toledo, Ohio

Collingwood Green
Quality affordable living within a green community

LUCAS
METROPOLITAN HOUSING AUTHORITY


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- NOTE:
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Proposal Set

PROJECT DATE 01/26/2017
PROJECT # 14105

Issue	Description	Date
	ADDENDUM #2	02/13/2017

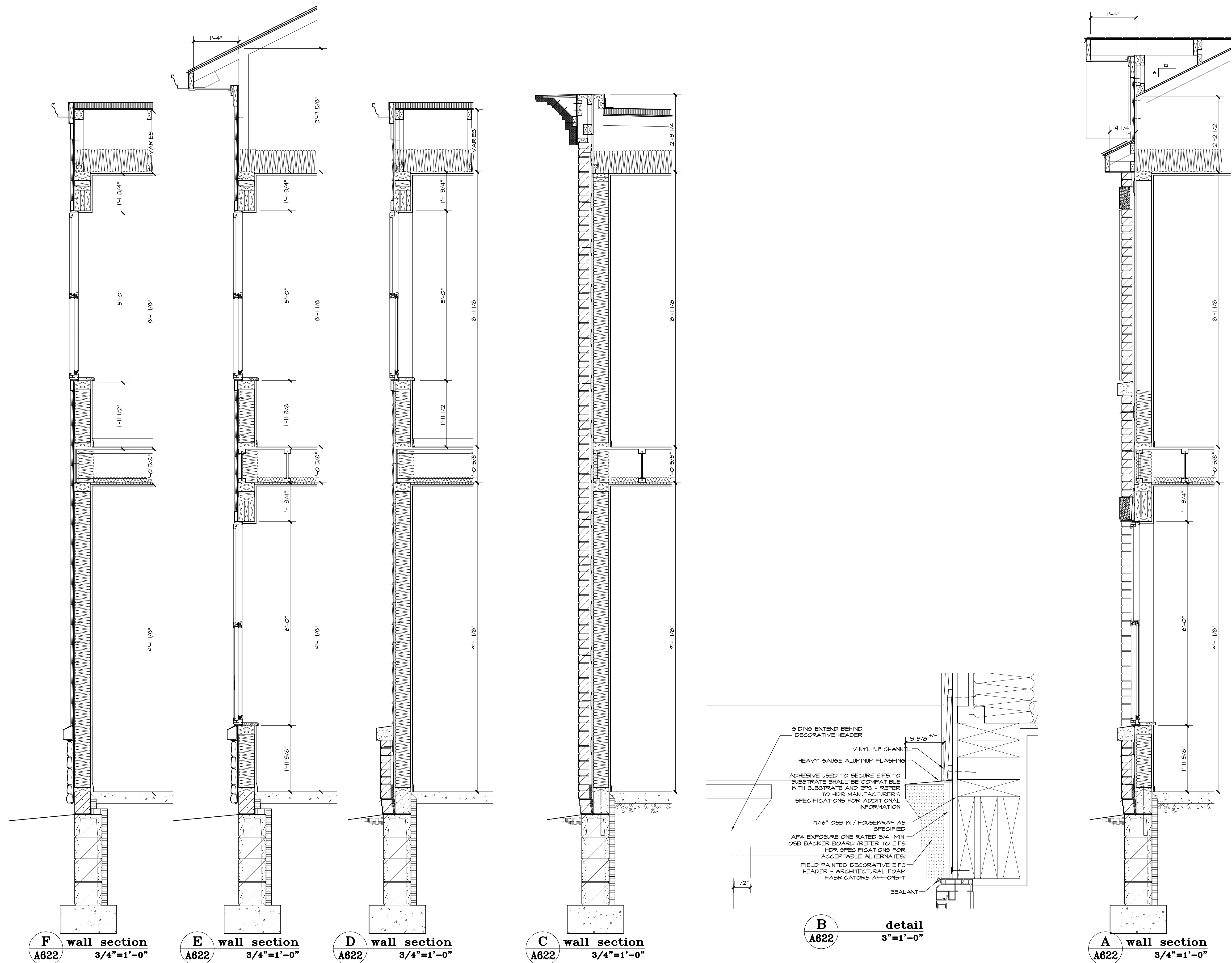
TYPICAL WALL SECTIONS

A622

THE COLLABORATIVE
ONE SULLIVAN PARK LANE, TOLEDO, OHIO 43604
419.242.7405 | thecollaborativeinc.com

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F wall section
A622 3/4"=1'-0"

E wall section
A622 3/4"=1'-0"

D wall section
A622 3/4"=1'-0"

C wall section
A622 3/4"=1'-0"

B detail
A622 3"=1'-0"

A wall section
A622 3/4"=1'-0"

PL 00 00 REV
 00 00 00 00 00

2

SOIL BEARING PRESSURE IS 3000 PSI.
SOILS ENGINEER TO INSPECT FOOTING
EXCAVATIONS PRIOR TO PLACEMENT
OF CONCRETE AND REINFORCING
BARS.

F3	1'-6" W. X 12" D. THICKENED SLAB	(3) #5'S CONT. BOTTOM	INT. WALL FTG.	2
----	-------------------------------------	-----------------------	----------------	---



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project:

Collingwood Green Phase 3

document:

Addendum 02

reference dwg.:

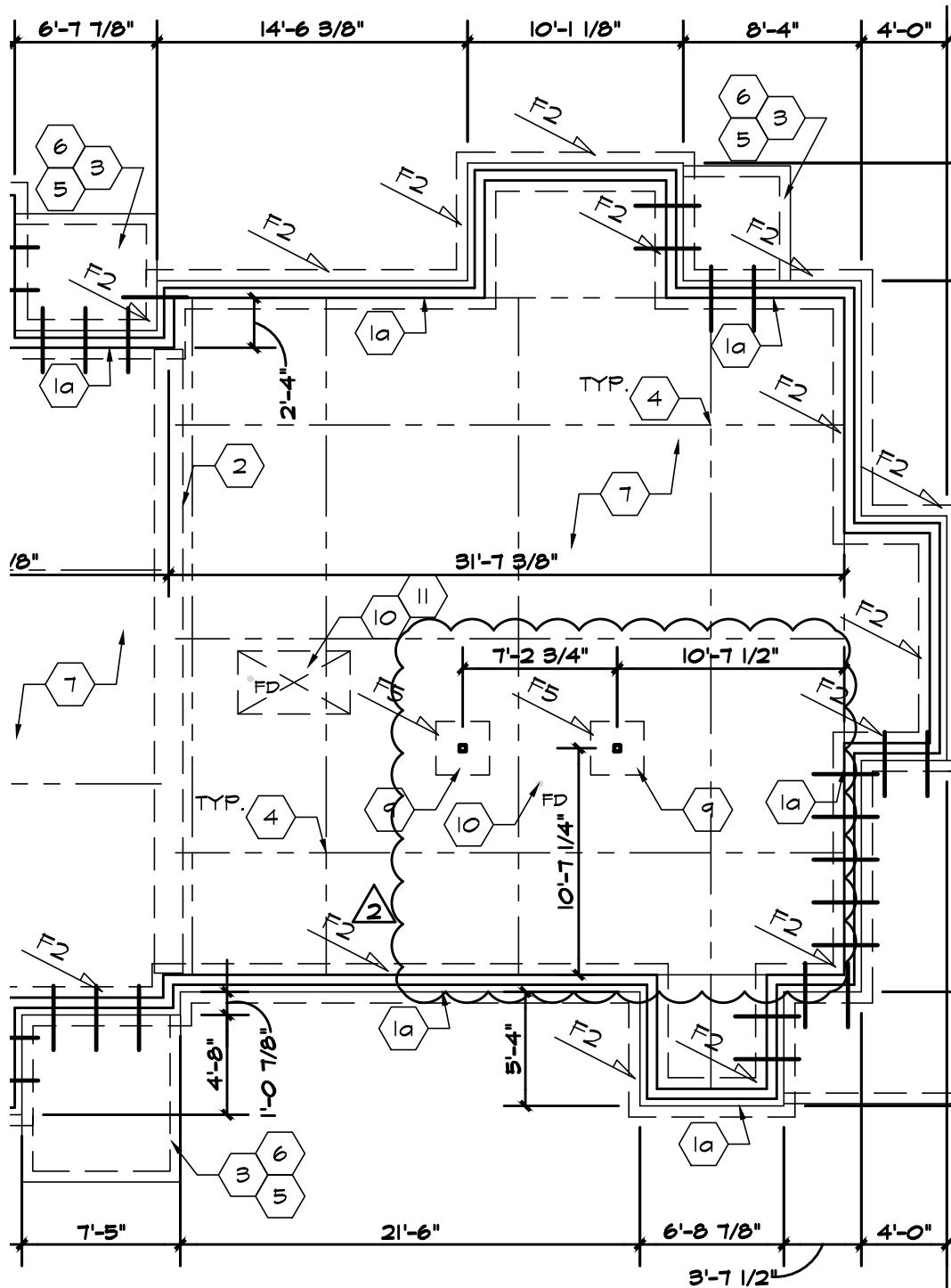
S101A-S101H (TYPICAL)

date:

02/13/2017

SK-01

ADD02



foundation plan

7,403 S.F.

1/8" = 1'-0"



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project:

Collingwood Green Phase 3

document:

Addendum 02

reference dwg.:

S101F & S101G

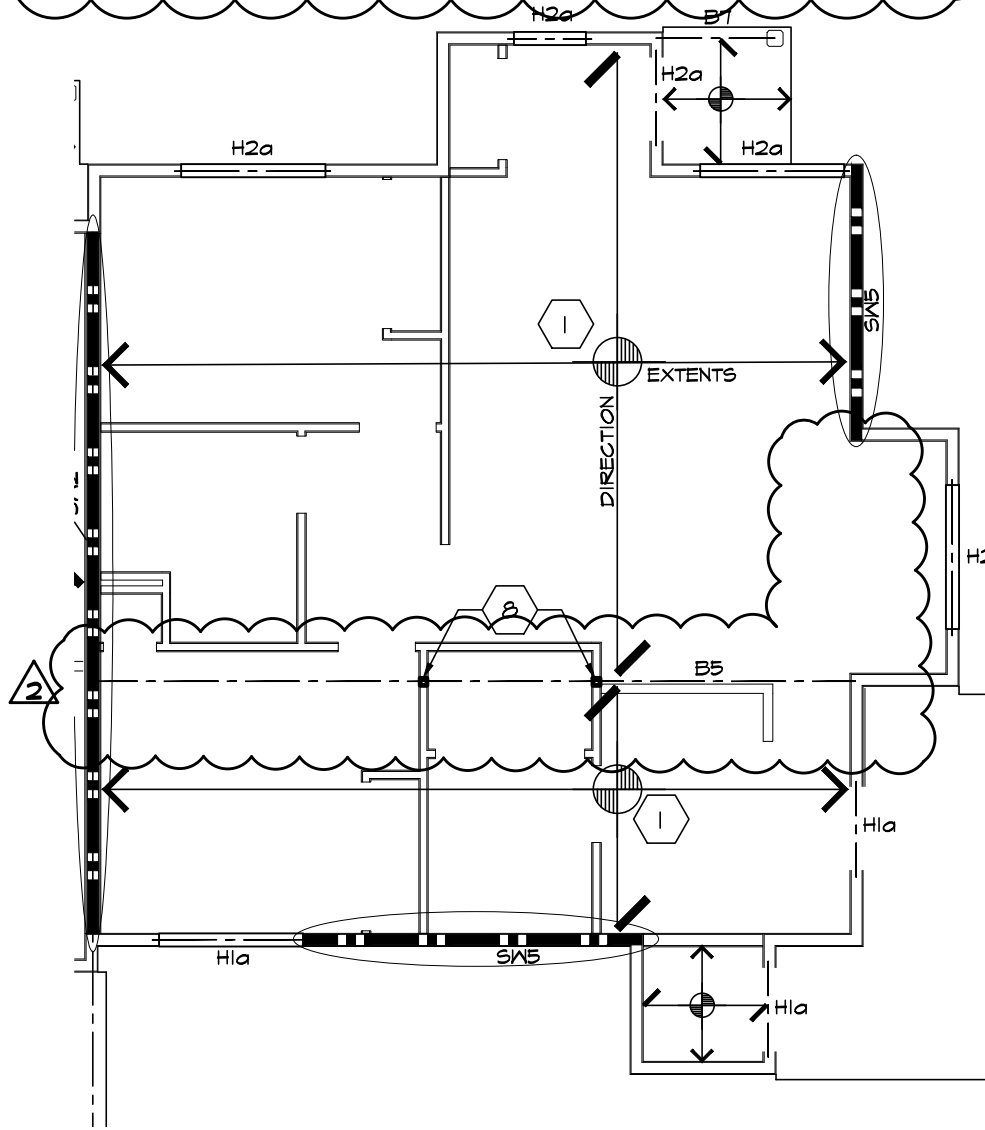
date:

02/13/2017

SK-02

ADD02

2 8. (3) 2x4's INTERIOR WOOD COLUMN WITH SIMPSON COLUMN CAP CCQ44 SDS2.5, AND SIMPSON COLUMN BASE CBSQ44 SDS2



second floor framing plan

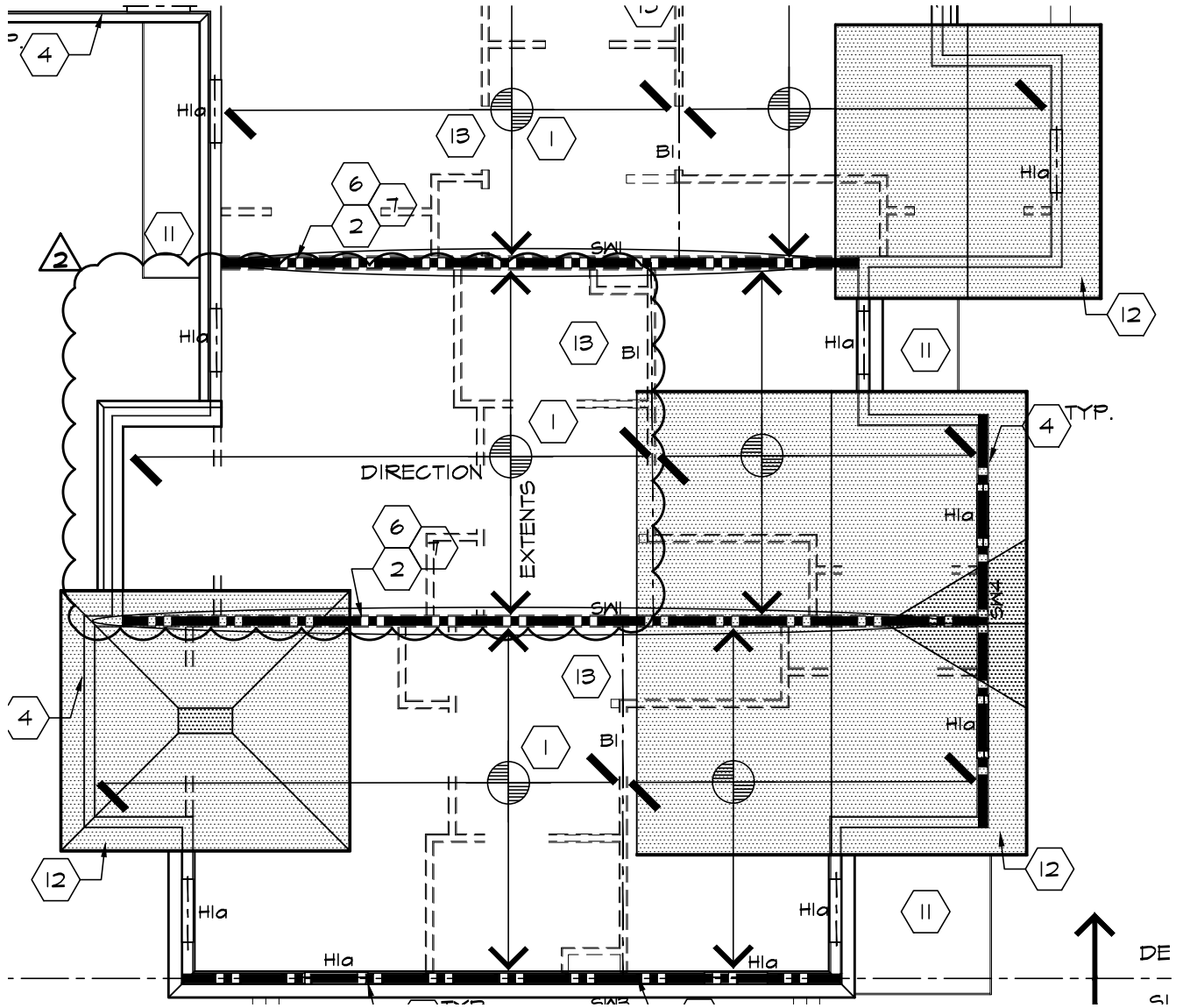
7,403 S.F.

1/8" = 1'-0"



project: Collingwood Green Phase 3
document: Addendum 02
reference dwg.: S102F & S102G
date: 02/13/2017

SK-03
ADD02



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project:

Collingwood Green Phase 3

document:

Addendum 02

reference dwg.:

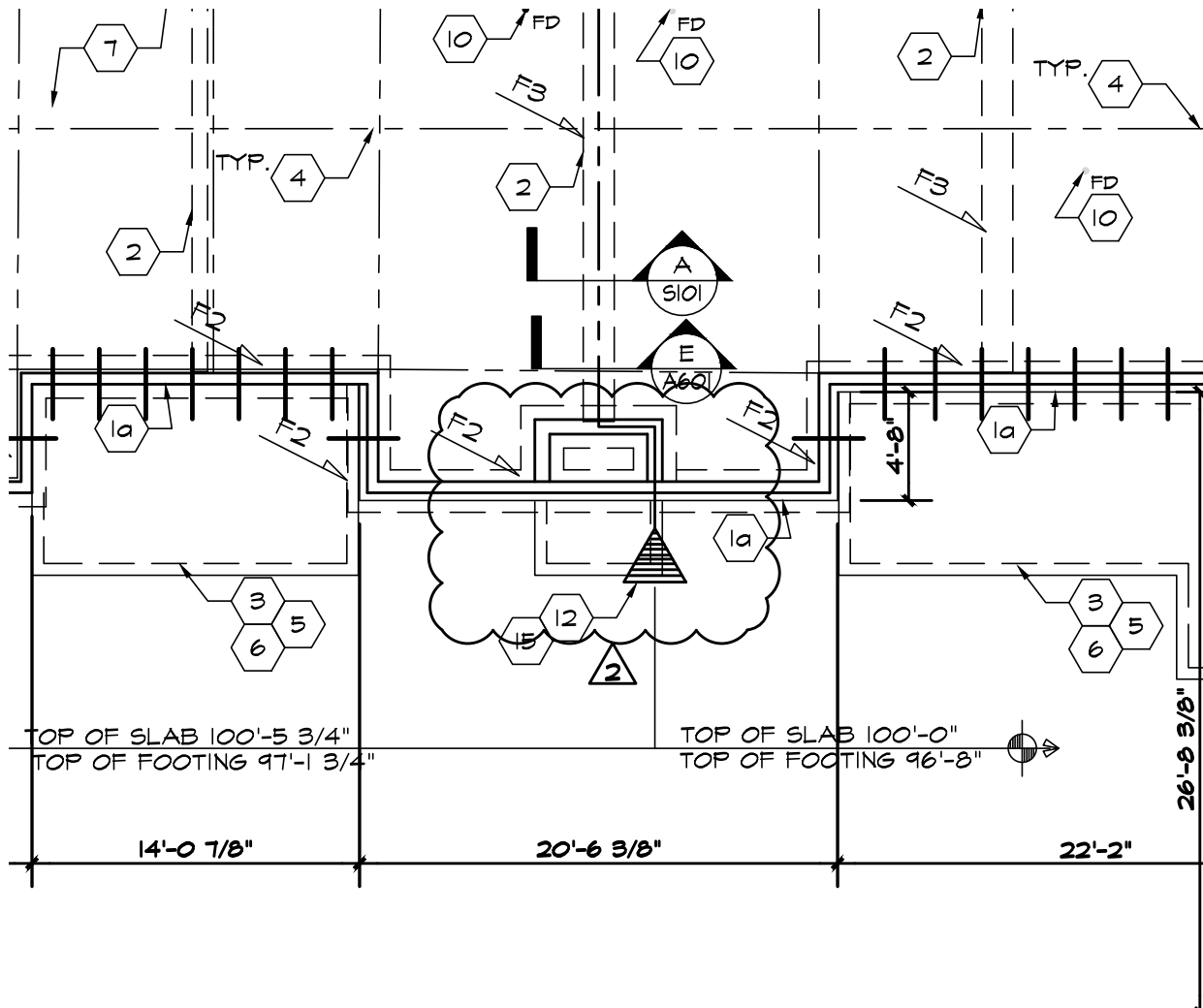
S103A - S103H (TYPICAL)

date:

02/13/2017

SK-04

ADD02



foundation plan

7,403 S.F.

1/8" = 1'-0"



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project:

Collingwood Green Phase 3

document:

Addendum 02

reference dwg.:

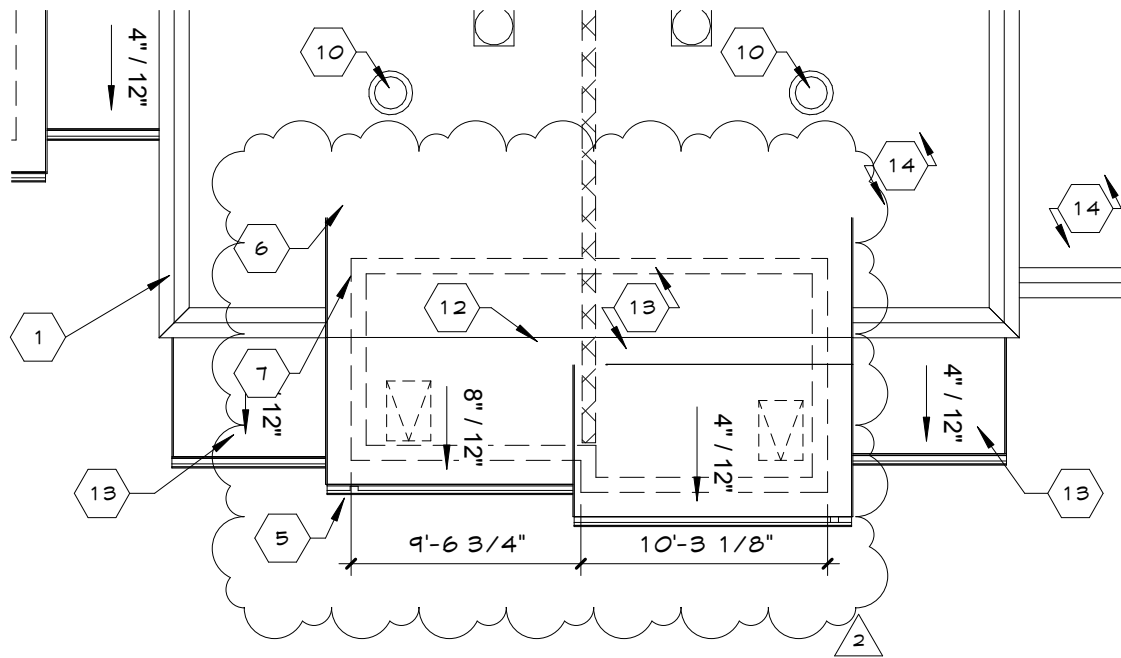
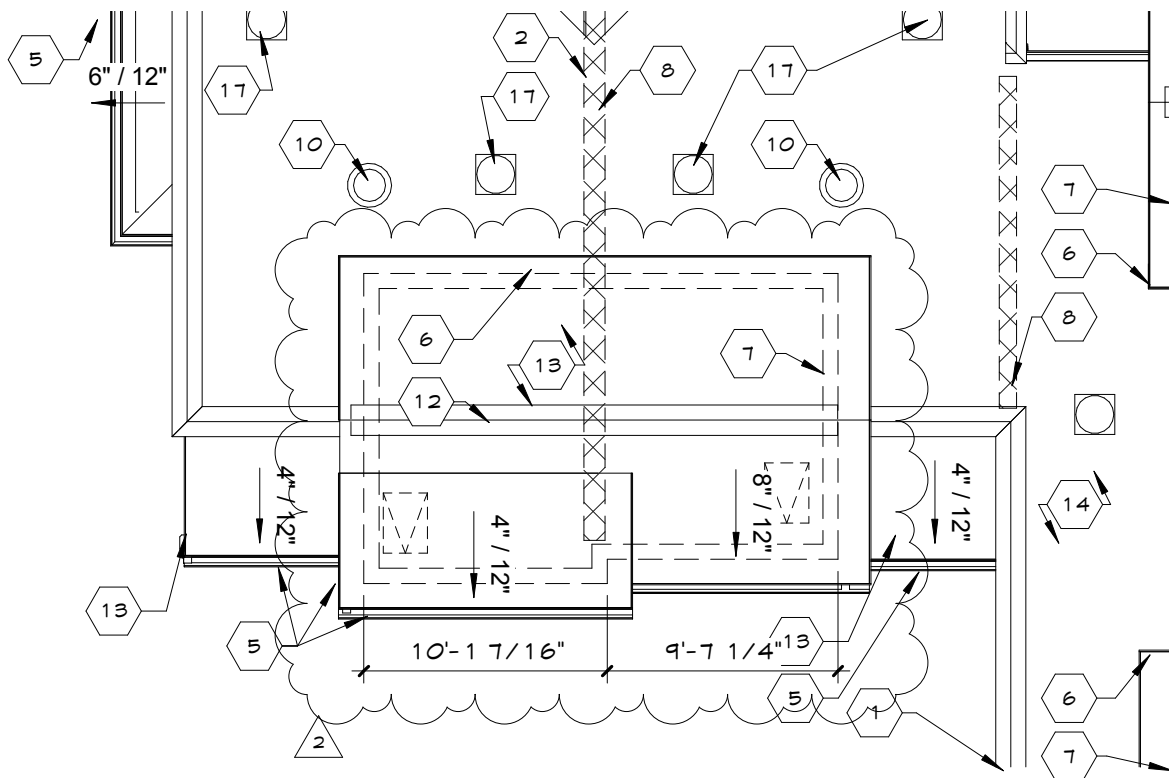
S101H

date:

02/13/2017

SK-05

ADD02

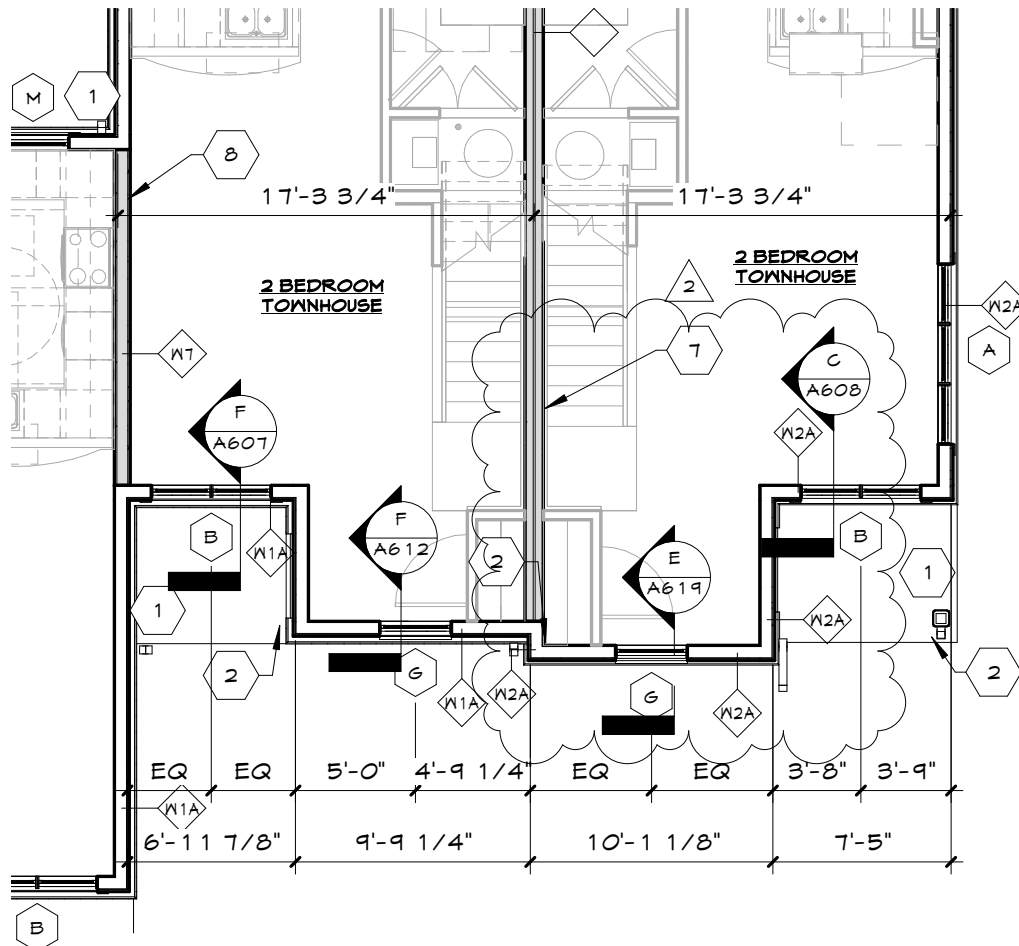


Addendum 02 - ROOF PLAN
BUILDING 'B'

1
SK-06

1/8" = 1'-0"

Project: LMHA Collingwood Green, Phase III
Toledo, Ohio
Document: Addendum 02
Reference Dwg: A103B, A103E
Date: 02/10/17



Addendum 02 - 1ST FLOOR
BUILDING 'E'

1
SK-07

1/8" = 1'-0"

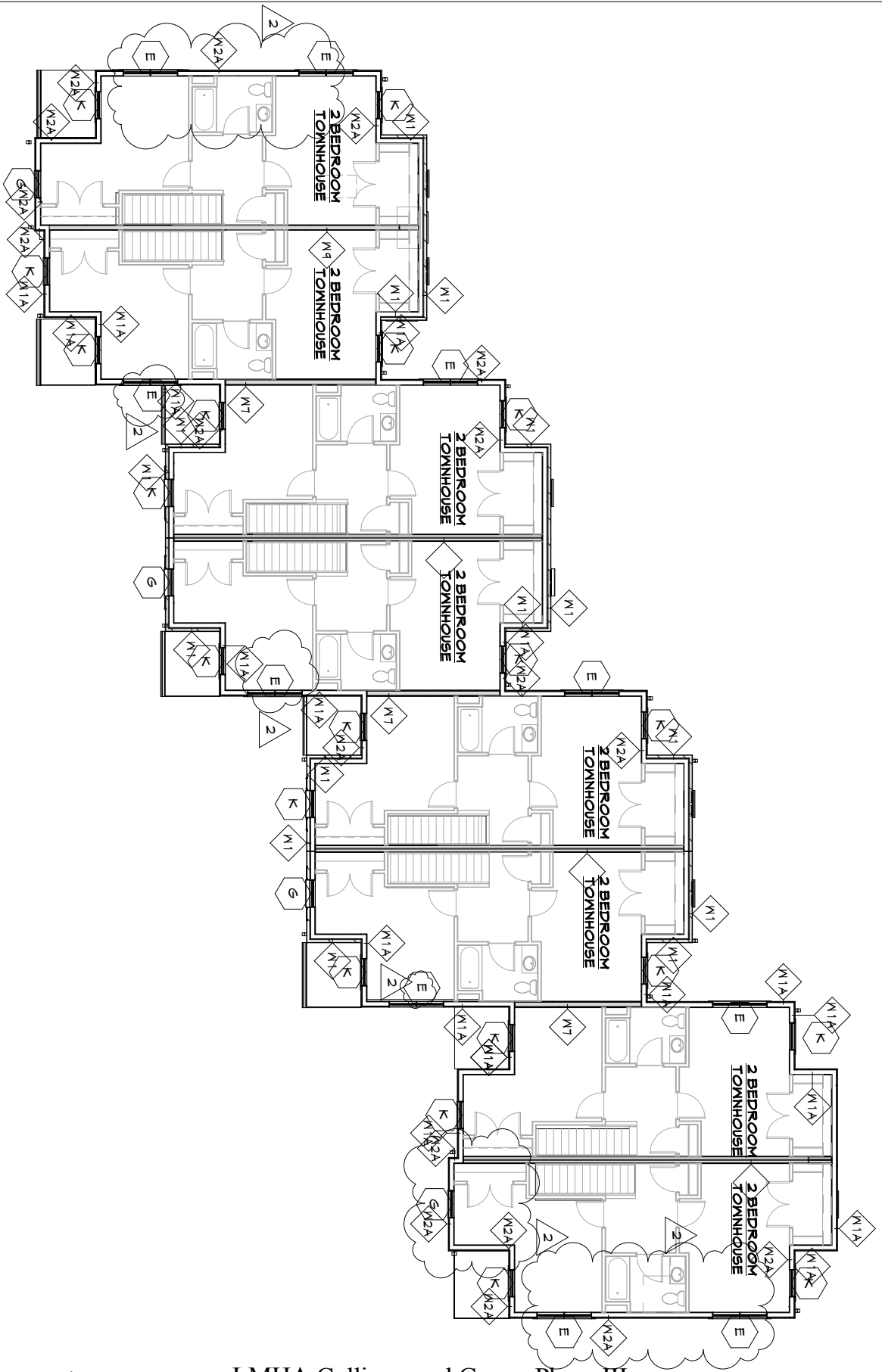


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Project: LMHA Collingwood Green, Phase III
Toledo, Ohio
Document: Addendum 02
Reference Dwg: A101E
Date: 02/10/17

SK-07

ADD 02



1
SK-08

Addendum 02 - 2ND FLOOR
BUILDING 'E'

1/16" = 1'-0"

Project: LMHA Collingwood Green, Phase III
Toledo, Ohio

Document: Addendum 02

Reference Dwg: A102E

Date: 02/10/17

SK-08
ADD 02

Exterior Elevation Coded Notes - Addendum 02

2

50 LIMESTONE HEAD TRIM



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Project:

LMHA Collingwood Green, Phase III
Toledo, Ohio

Document:

Addendum 02

Reference Dwg:

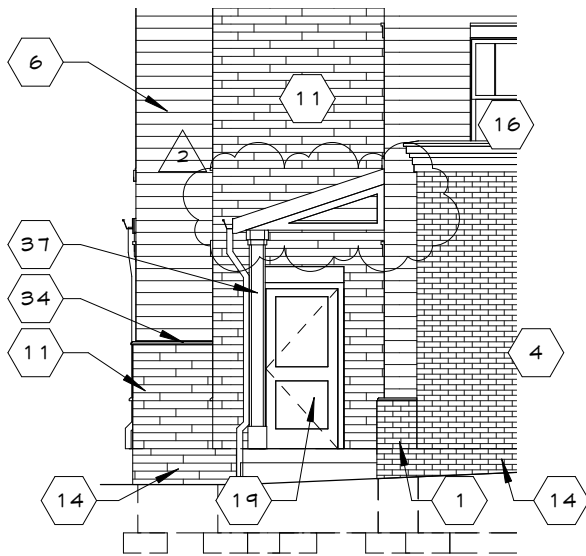
A201A, B, C, D, E, F, G and H

Date

02/10/2017

SK-09

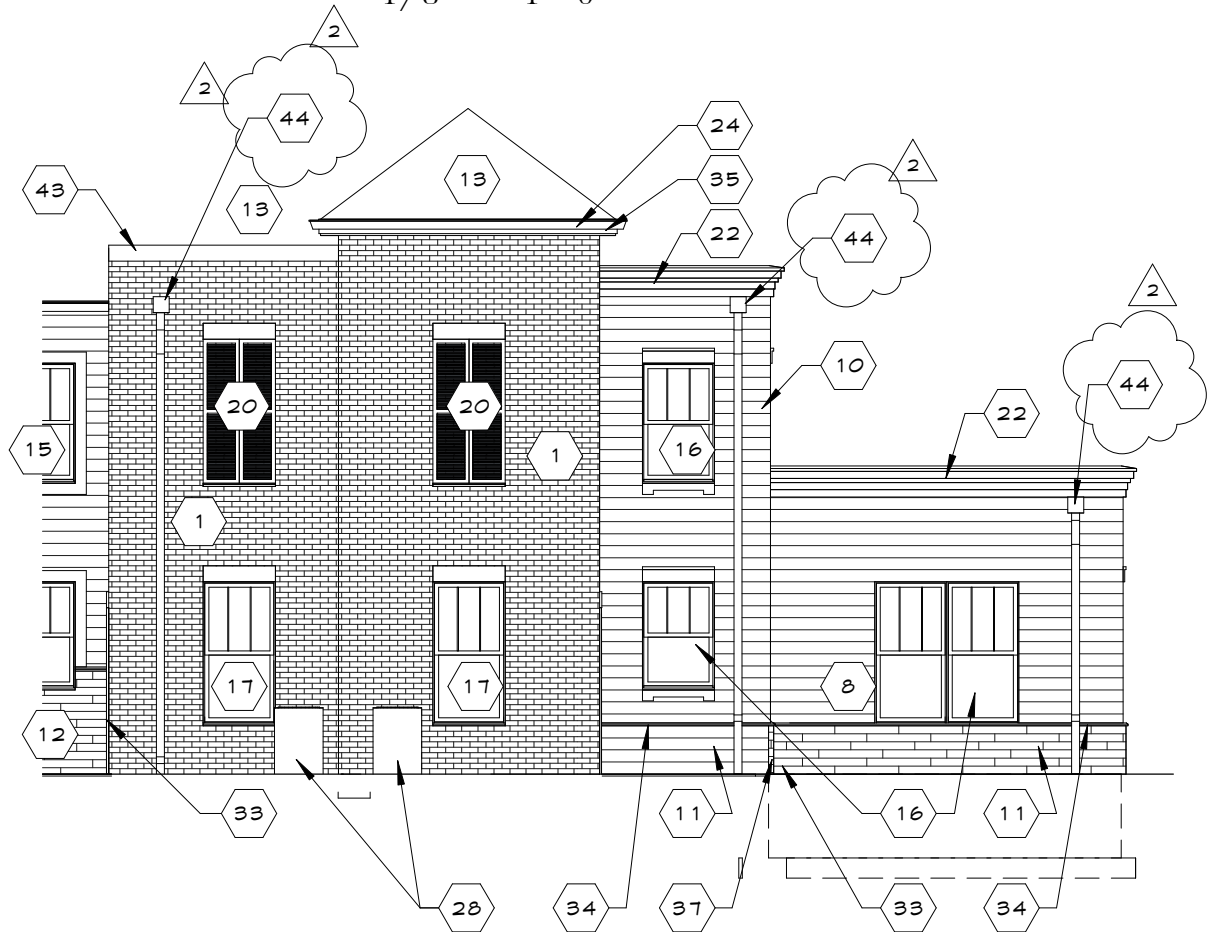
ADD 02



Addendum 02 - BUILDING
'A' EAST ELEVATION 2

1/8" = 1'-0"

2
SK-10



Addendum 02 - BUILDING
'A' EAST ELEVATION

1/8" = 1'-0"

1
SK-10

Project:

LMHA Collingwood Green, Phase III
Toledo, Ohio

Document:

Addendum 02

Reference Dwg:

A201A

Date

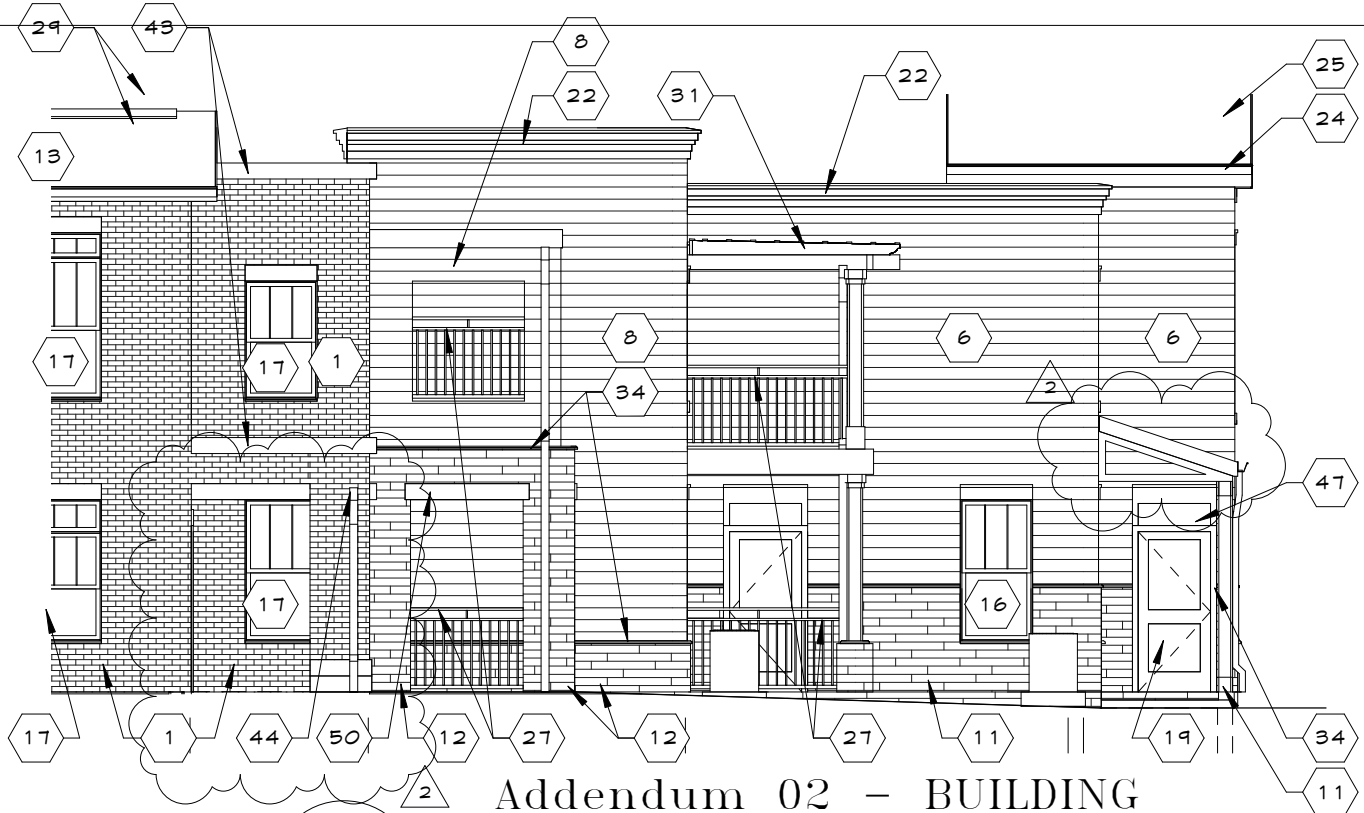
02/10/17

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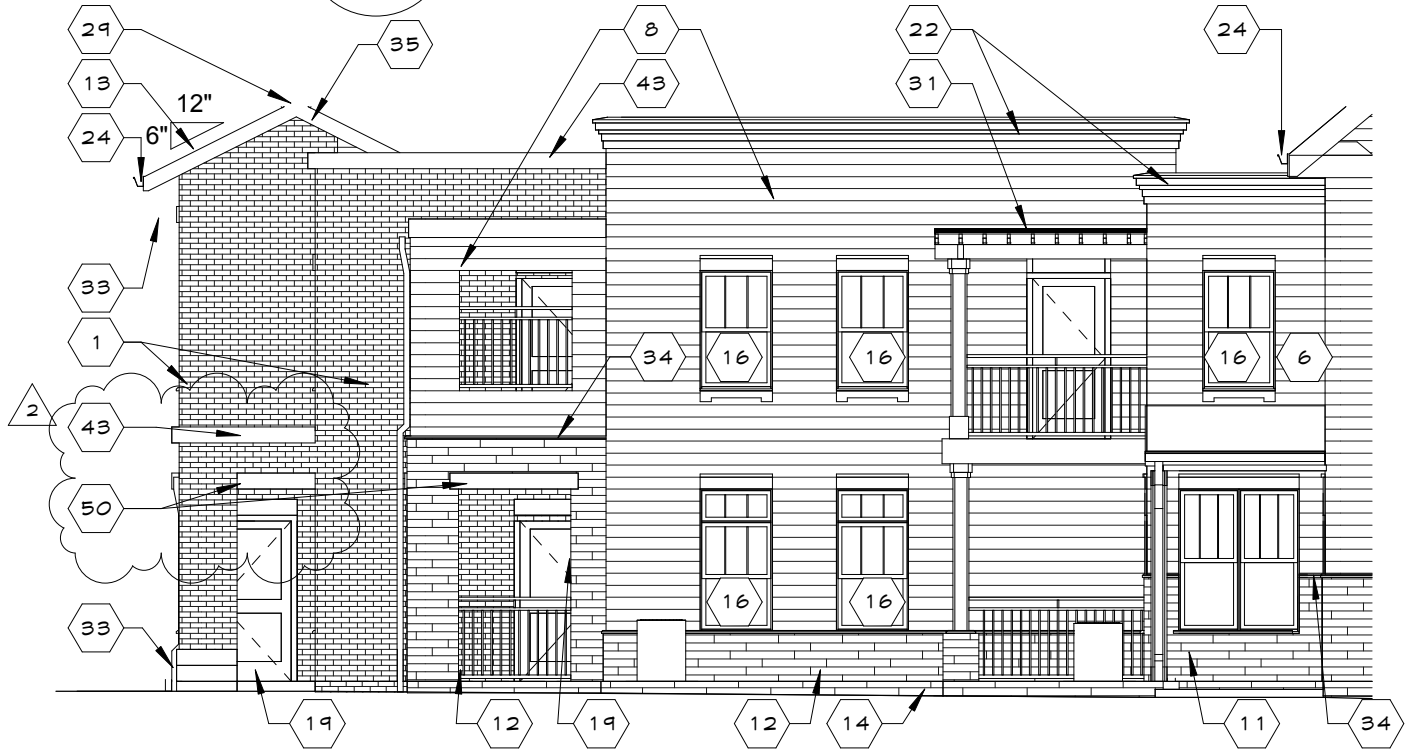
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SK-10

ADD 02



1
 SK-11
 Addendum 02 - BUILDING
 'A' WEST ELEVATION
 1/8" = 1'-0"



2
 SK-11
 Addendum 02 - BUILDING
 'A' SOUTH ELEVATION
 1/8" = 1'-0"

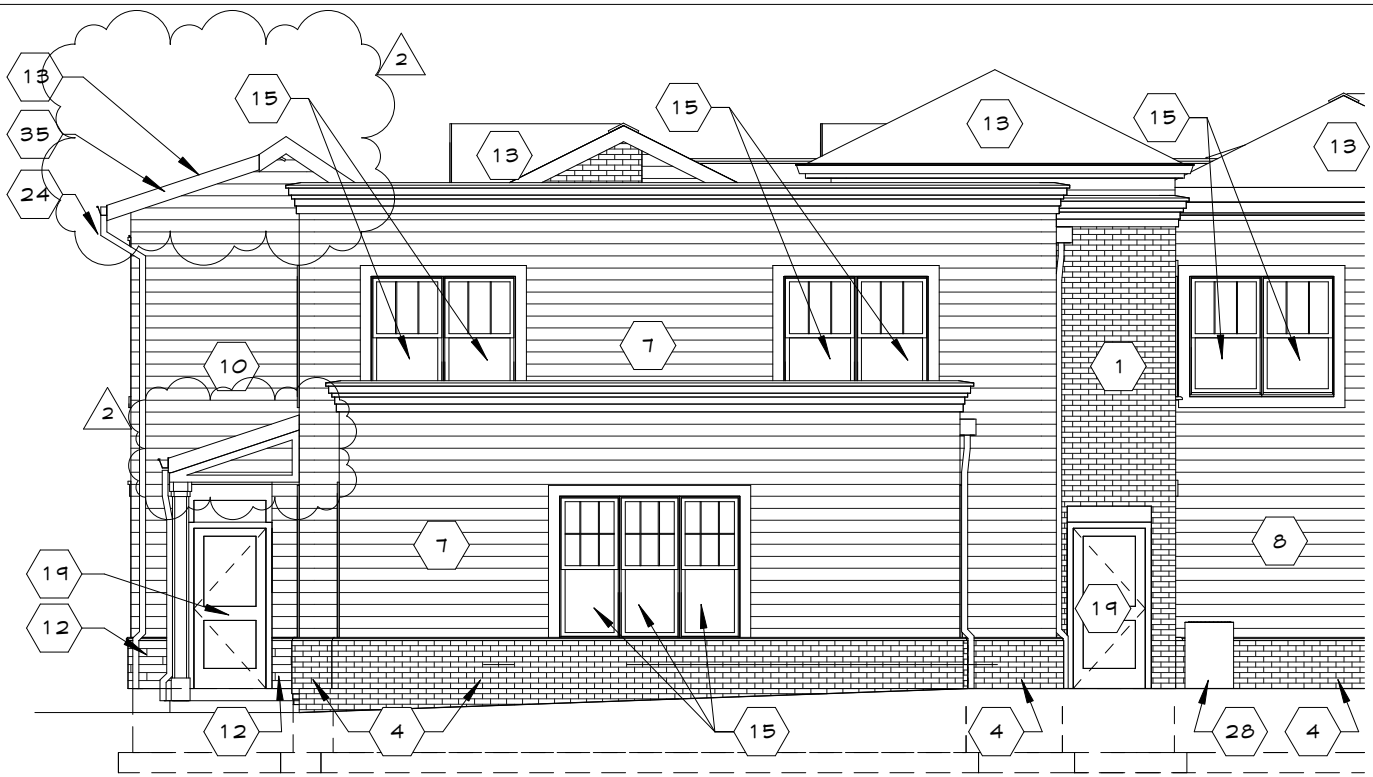
Project: LMHA Collingwood Green, Phase III
 Toledo, Ohio
 Document: Addendum 02
 Reference Dwg: A201A
 Date: 02/10/17



BUILDING 'B' WEST
ELEVATION

1
SK-12

1/8" = 1'-0"



BUILDING 'B' EAST
ELEVATION

1
SK-13

1/8" = 1'-0"



BUILDING 'B' NORTH
ELEVATION

2
SK-13

1/8" = 1'-0"

Project: LMHA Collingwood Green, Phase III
Toledo, Ohio
Document: Addendum 02
Reference Dwg: A201B
Date: 02/10/17



BUILDING 'B' SOUTH
ELEVATION

1/8" = 1'-0"

1
SK-14

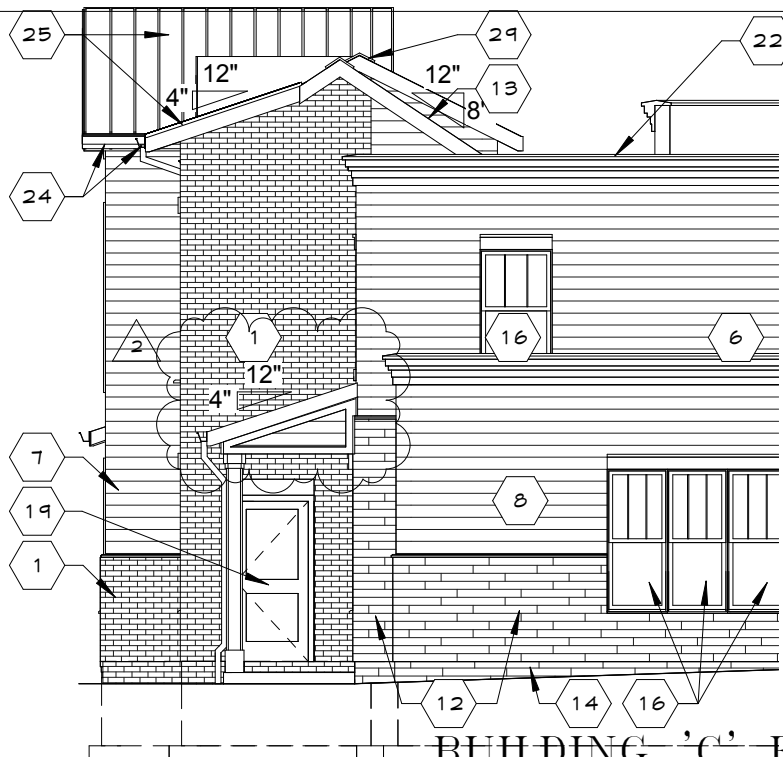


BUILDING 'B' SOUTH
ELEVATION

1/8" = 1'-0"

2
SK-14

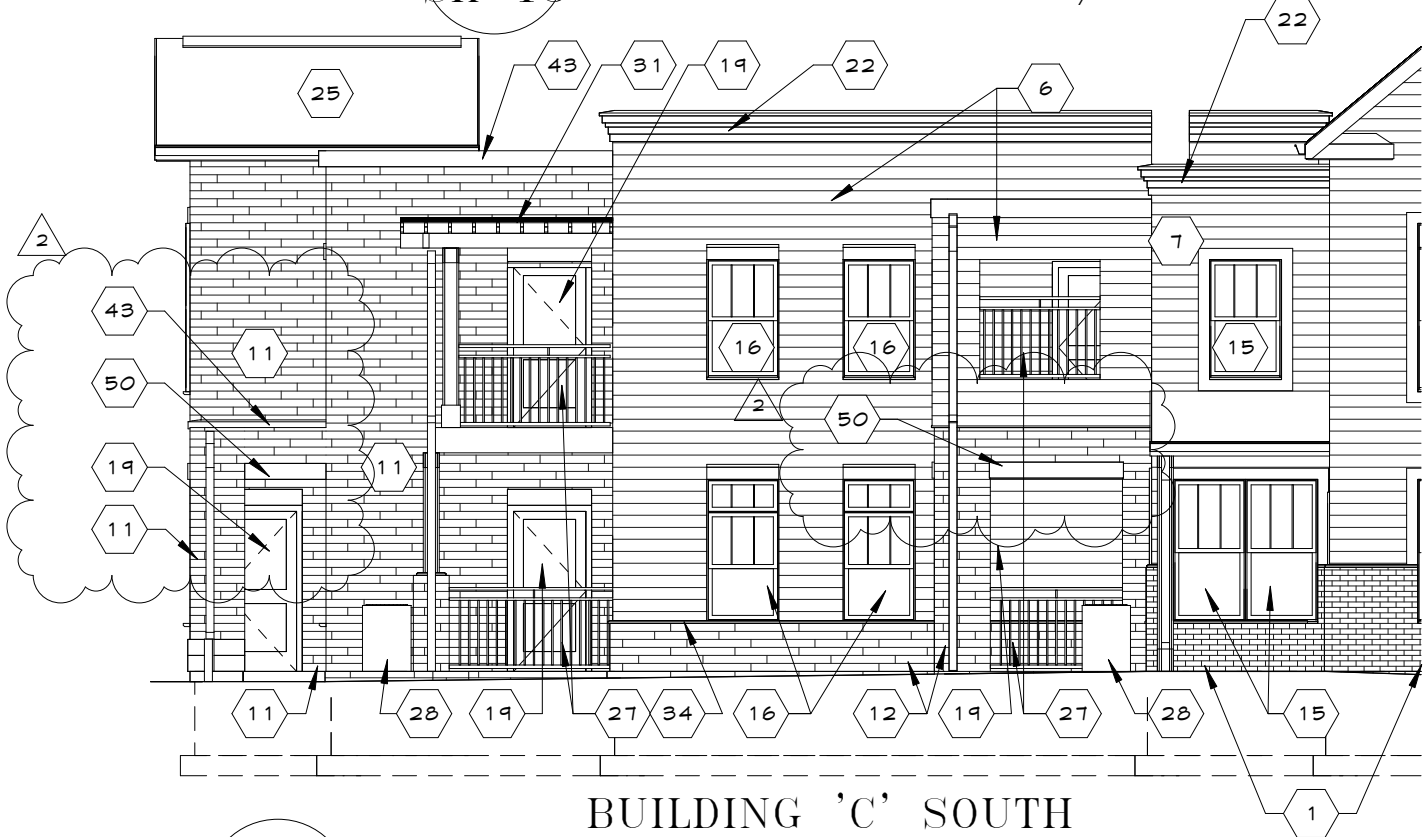
Project: LMHA Collingwood Green, Phase III
Toledo, Ohio
Document: Addendum 02
Reference Dwg: A201B
Date: 02/10/17



BUILDING 'C' EAST
ELEVATION

1
SK-15

1/8" = 1'-0"



BUILDING 'C' SOUTH
ELEVATION

2
SK-15

1/8" = 1'-0"

Project:

LMHA Collingwood Green, Phase III
Toledo, Ohio

Document:

Addendum 02
A201C

Reference Dwg:

Date

02/10/17

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SK-15

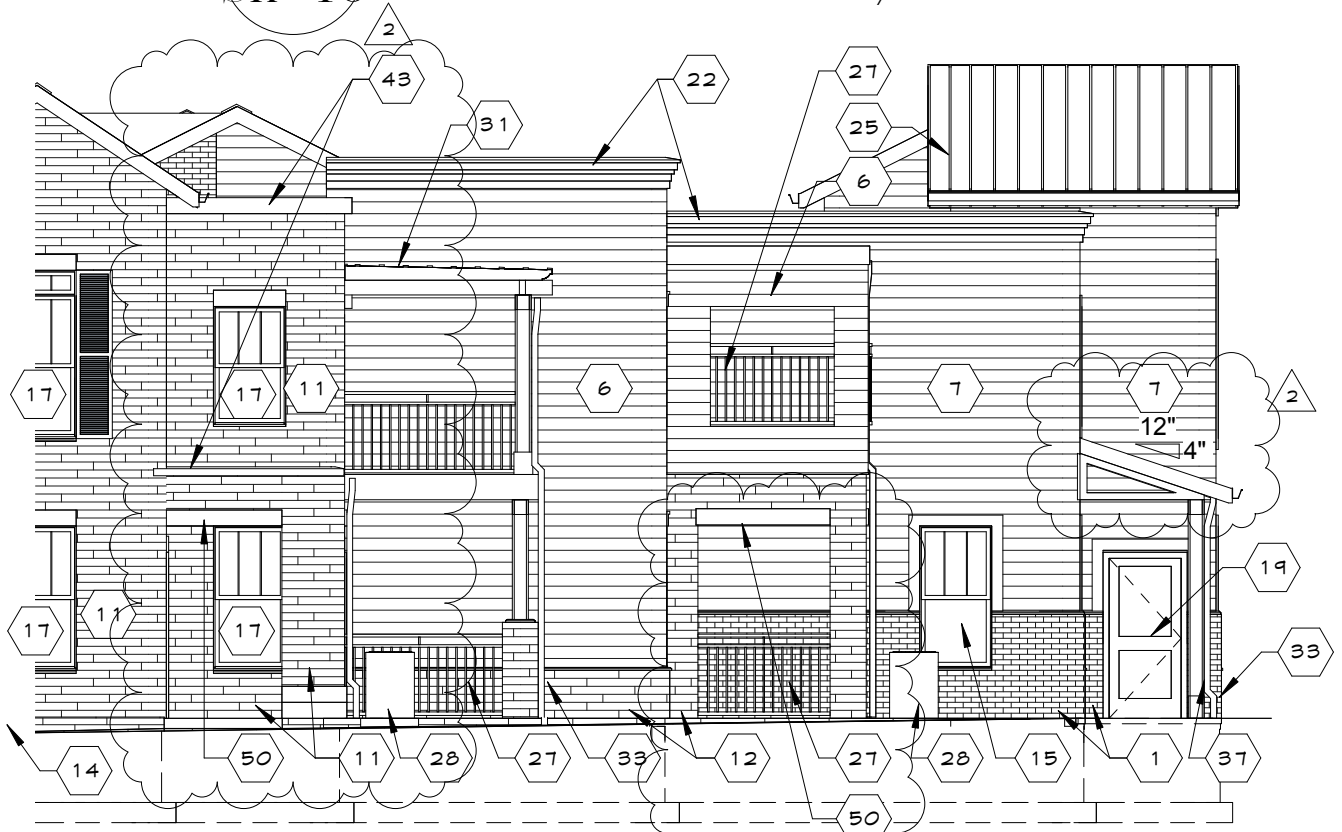
ADD 02



BUILDING 'C' NORTH
ELEVATION

1
SK-16

1/8" = 1'-0"



BUILDING 'C' WEST
ELEVATION

2
SK-16

1/8" = 1'-0"

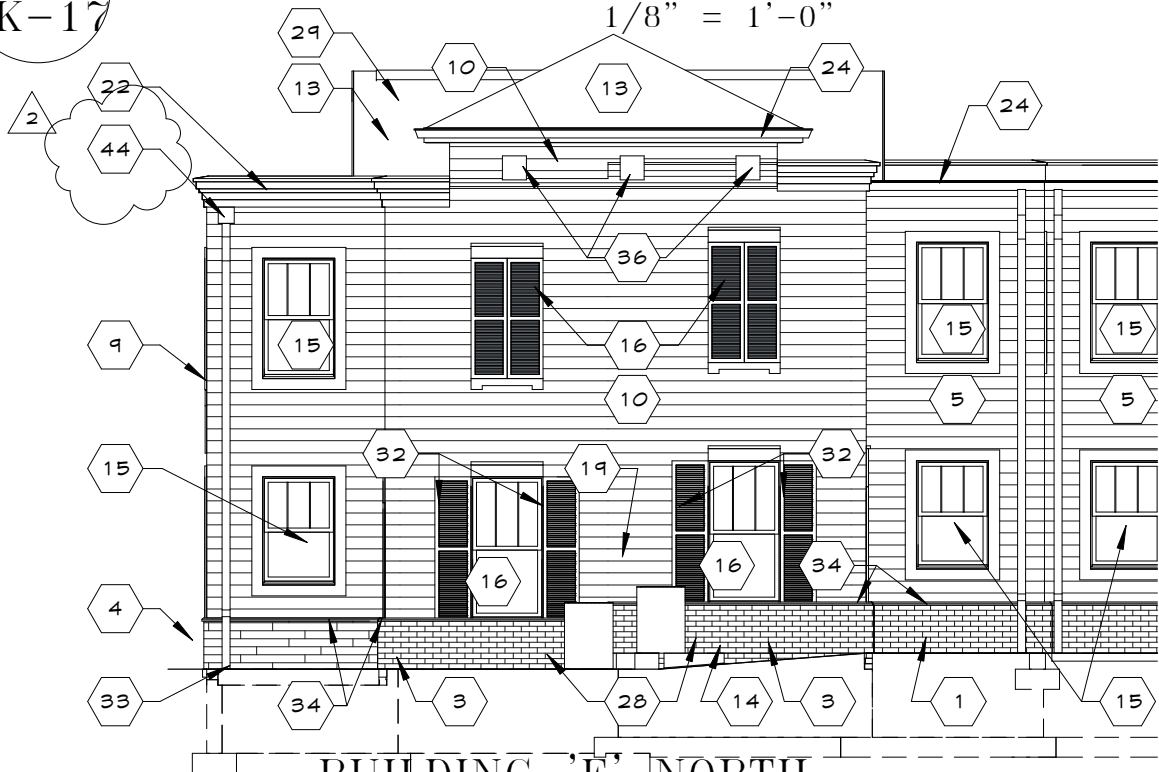
Project: LMHA Collingwood Green, Phase III
Toledo, Ohio
Document: Addendum 02
Reference Dwg: A201C
Date: 02/10/17



BUILDING 'E' WEST
ELEVATION

1
SK-17

1/8" = 1'-0"



BUILDING 'E' NORTH
ELEVATION

2
SK-17

1/8" = 1'-0"

Project:

LMHA Collingwood Green, Phase III
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Document:

Addendum 02

Reference Dwg:

A201E

Date

02/10/17

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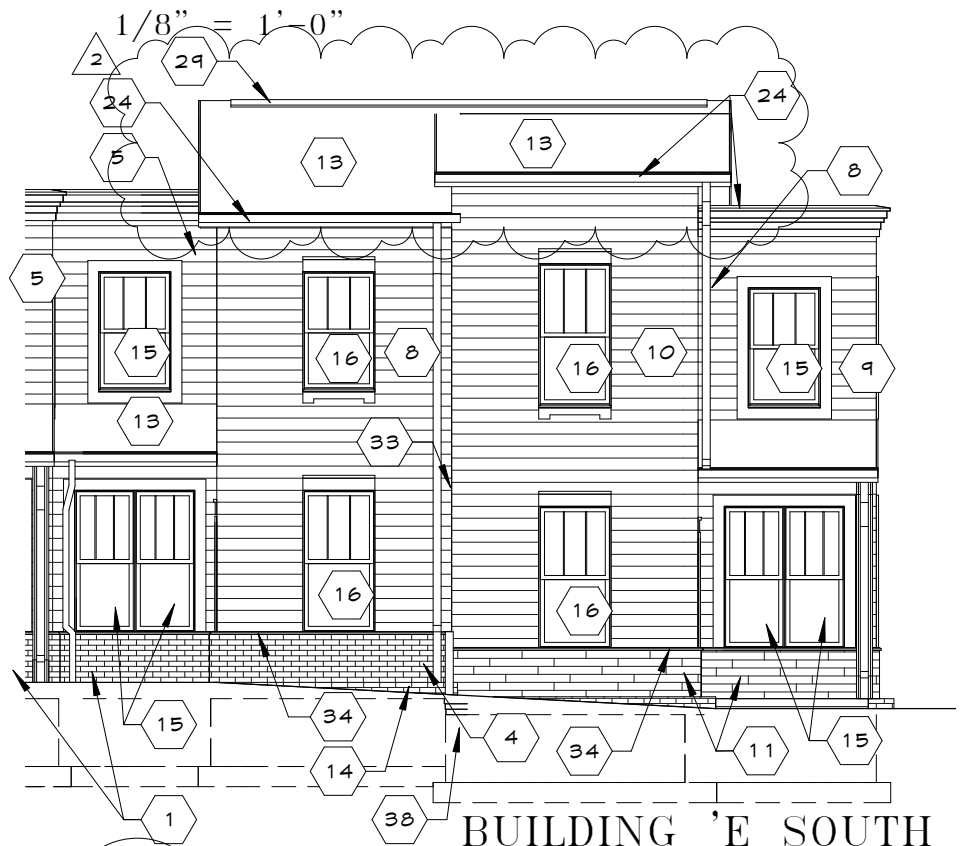
SK-17

ADD 02



BUILDING 'E SOUTH
ELEVATION

1
SK-18



BUILDING 'E SOUTH
ELEVATION

2
SK-18

1/8" = 1'-0"

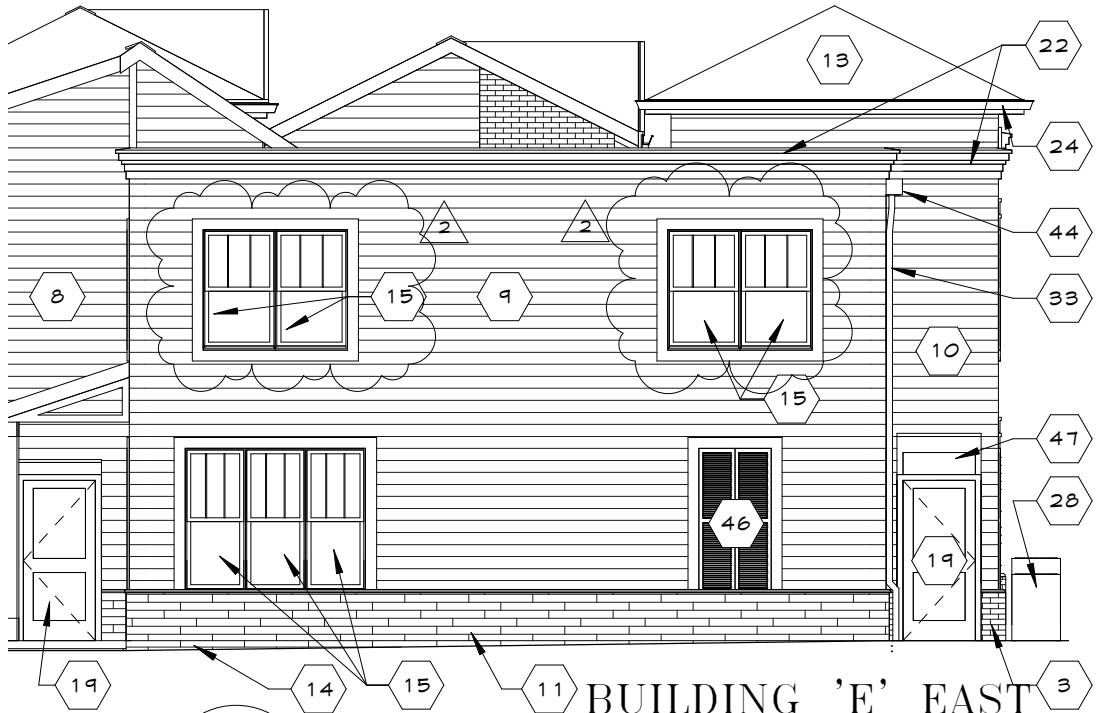
Project: LMHA Collingwood Green, Phase III
Toledo, Ohio
Document: Addendum 02
Reference Dwg: A201E
Date: 02/10/17



BUILDING 'E' EAST
ELEVATION

1/8" = 1'-0"

1
SK-19

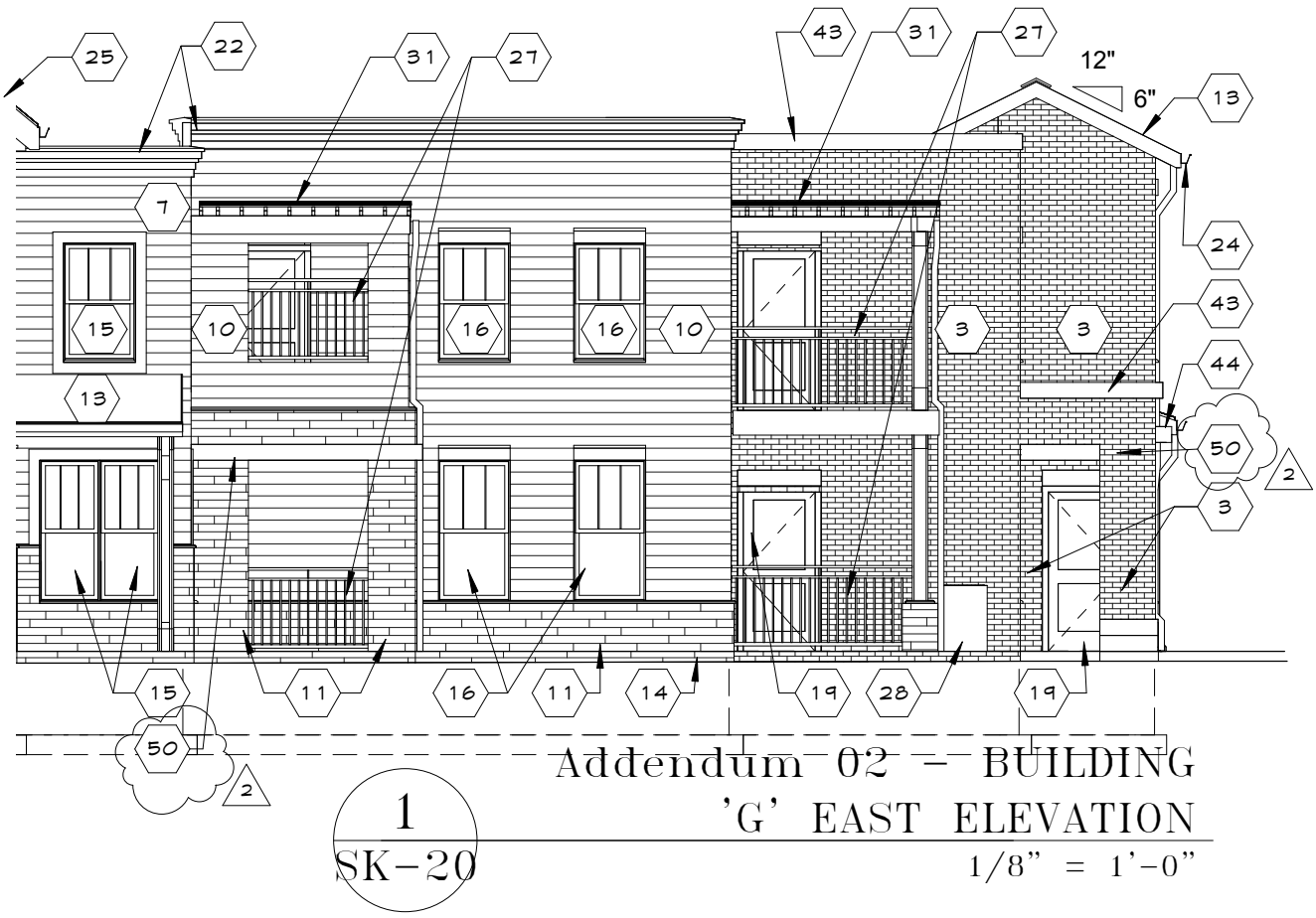


BUILDING 'E' EAST
ELEVATION

1/8" = 1'-0"

2
SK-19

Project: LMHA Collingwood Green, Phase III
Toledo, Ohio
Document: Addendum 02
Reference Dwg: A201E
Date: 02/10/17



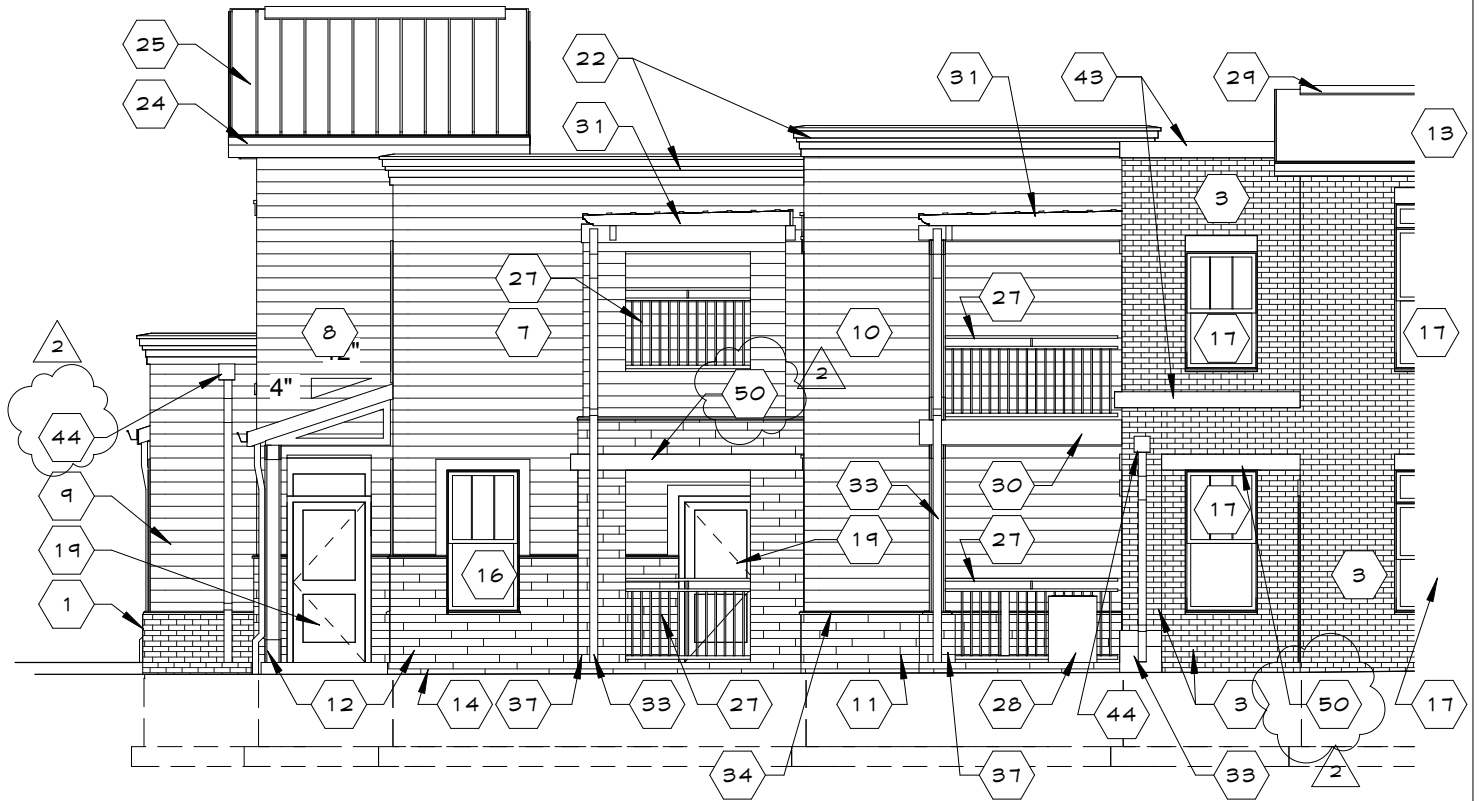
1
SK-20

Addendum 02 - BUILDING
'G' EAST ELEVATION
1/8" = 1'-0"



2
SK-20

Addendum 02 - BUILDING
'G' WEST ELEVATION
1/8" = 1'-0"



Addendum 02 - BUILDING
'G' NORTH ELEVATION

1
SK-21

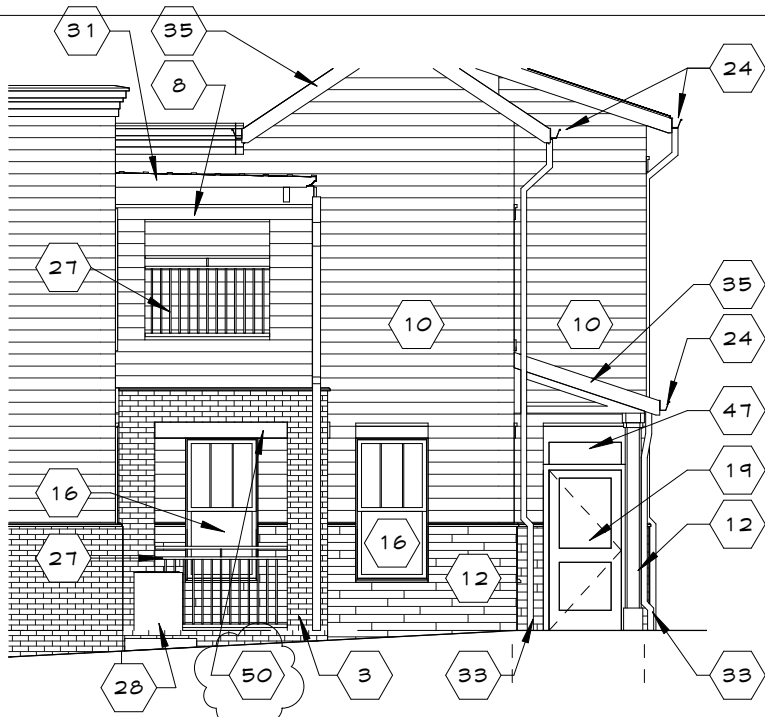
1/8" = 1'-0"



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Project: LMHA Collingwood Green, Phase III
Toledo, Ohio
Document: Addendum 02
Reference Dwg: A201G
Date: 02/10/17

SK-21
ADD 02



1
SK-22

Addendum 02 - BUILDING 'H' NORTH ELEVATION

1/8" = 1'-0"



2
SK-22

Addendum 02 - BUILDING 'H' SOUTH ELEVATION

1/8" = 1'-0"

Project: LMHA Collingwood Green, Phase III
 Toledo, Ohio
 Document: Addendum 02
 Reference Dwg: A201H
 Date: 02/10/17



SK-22
ADD 02



Addendum 02 - BUILDING
'H' WEST ELEVATION

1
SK-23

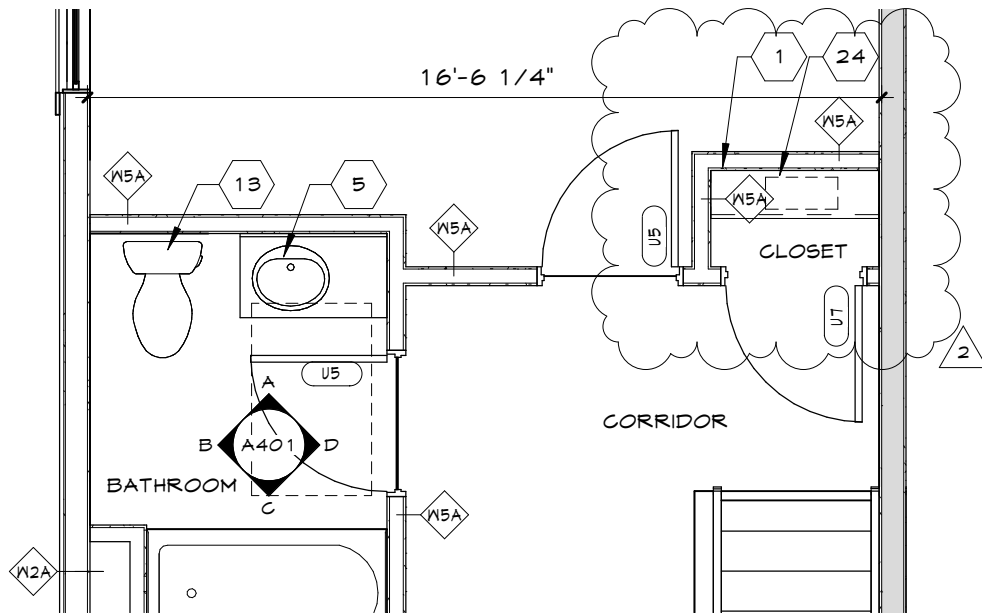
1/8" = 1'-0"



Addendum 02 - BUILDING
'H' WEST ELEVATION Copy 1

2
SK-23

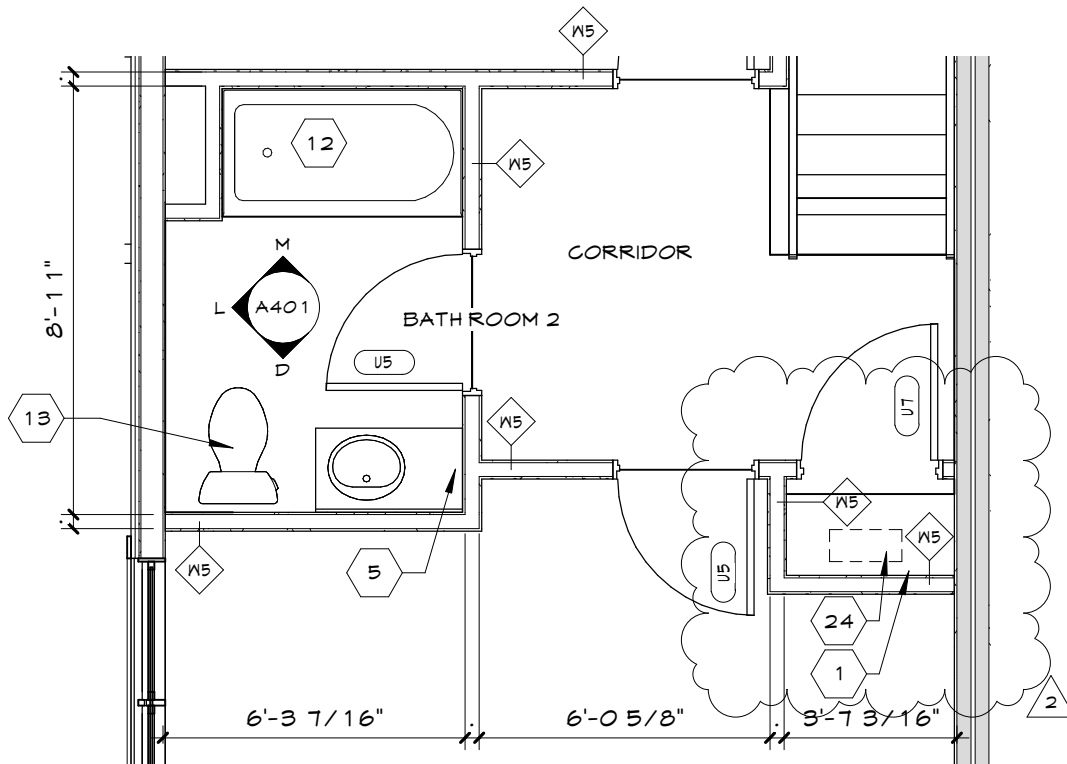
1/8" = 1'-0"



Addendum 02 - 2ND FLOOR
 2BR TOWNHOUSE ANSI TYPE
 'B'

1
 SK-24

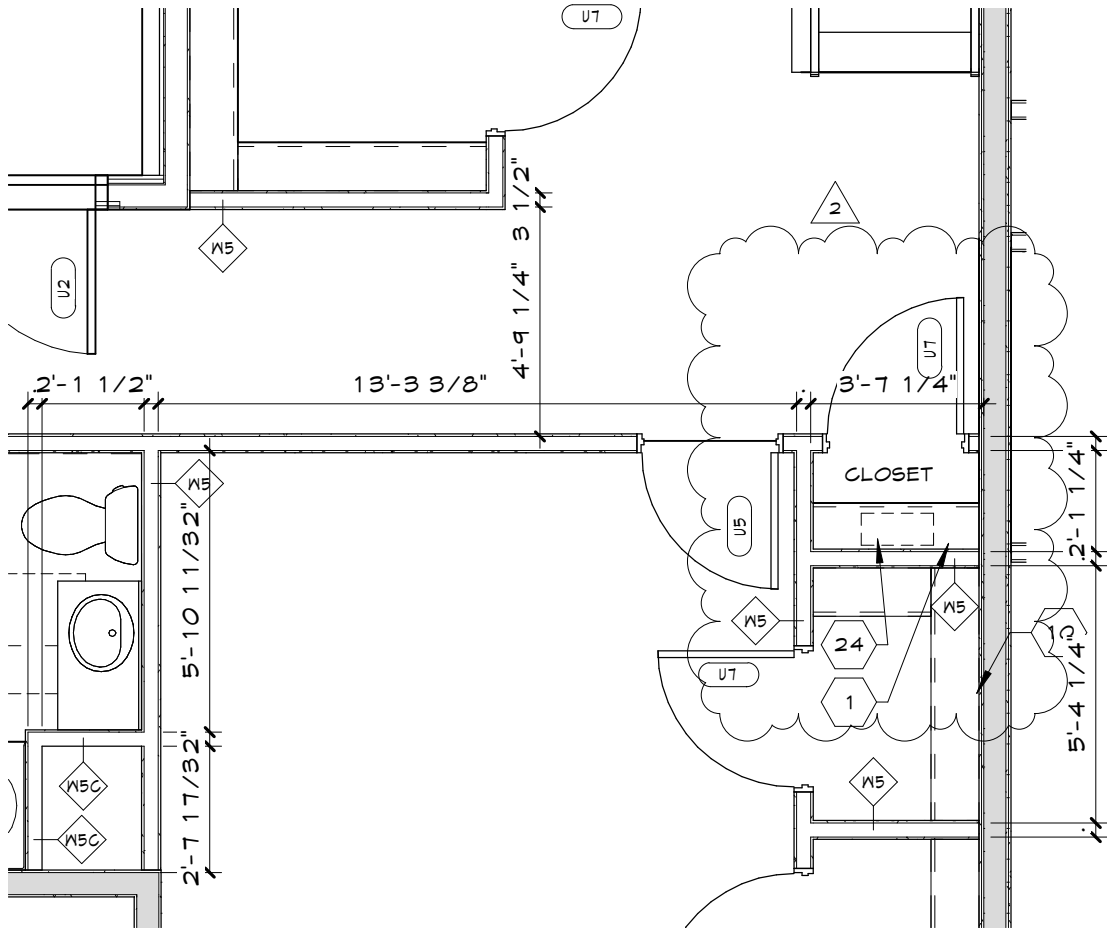
1/4" = 1'-0"



Addendum 02 - 2ND FLOOR
 3BR TOWNHOUSE ANSI TYPE
 'B'

1
 SK-25

1/4" = 1'-0"



Addendum 02 - 2ND FLOOR
 4BR TOWNHOUSE TYPE 'B'

1
 SK-26

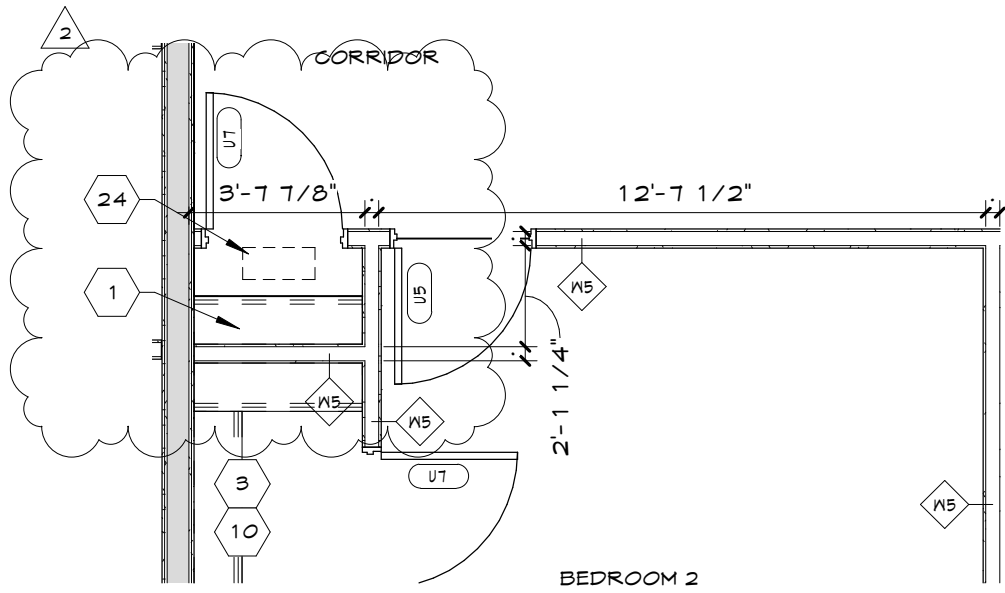
1/4" = 1'-0"



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Project: LMHA Collingwood Green, Phase III
 Toledo, Ohio
 Document: Addendum 02
 Reference Dwg: A306
 Date: 02/10/17

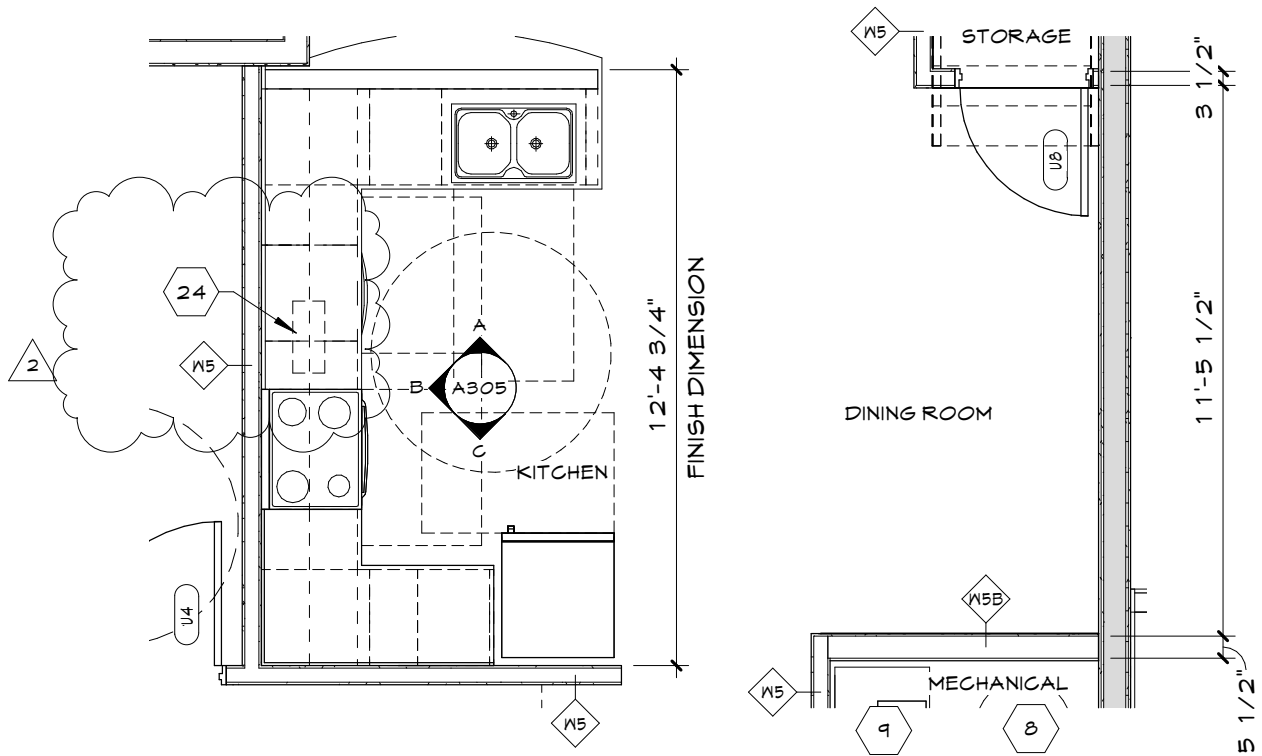
SK-26
 ADD 02



Addendum 02 - 2ND FLOOR
 THREE BEDROOM TOWNHOUSE
 'A' ANSI TYPE 'B'

1
 SK-27

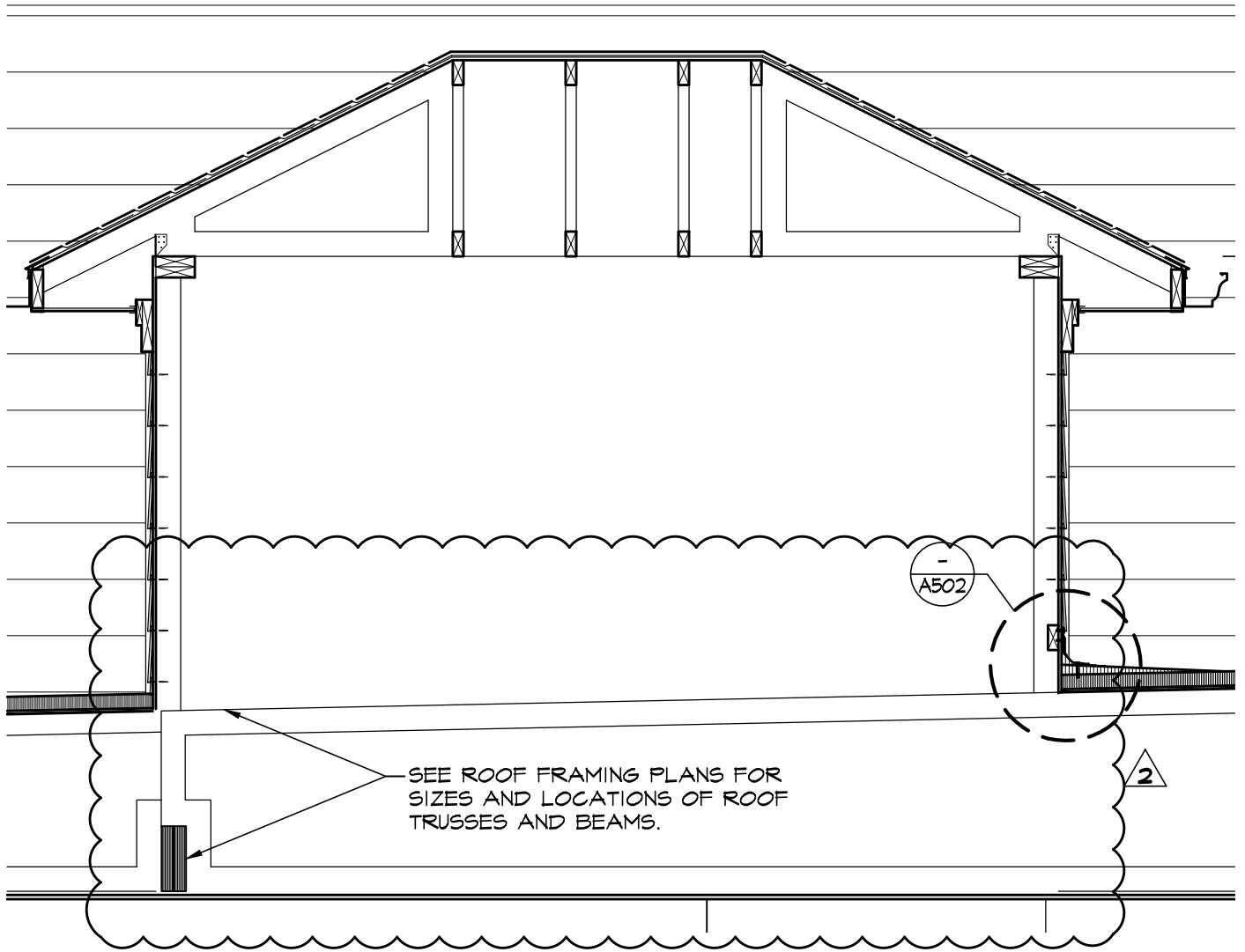
1/4" = 1'-0"



1ST FLOOR THREE BEDROOM
TOWNHOUSE 'B' ANSI TYPE
'B'

1
SK-28

1/4" = 1'-0"



A
A502

cross section @ single story

1/2"=1'-0"

project:

Collingwood Green Phase 3

document:

Addendum 02

reference dwg.:

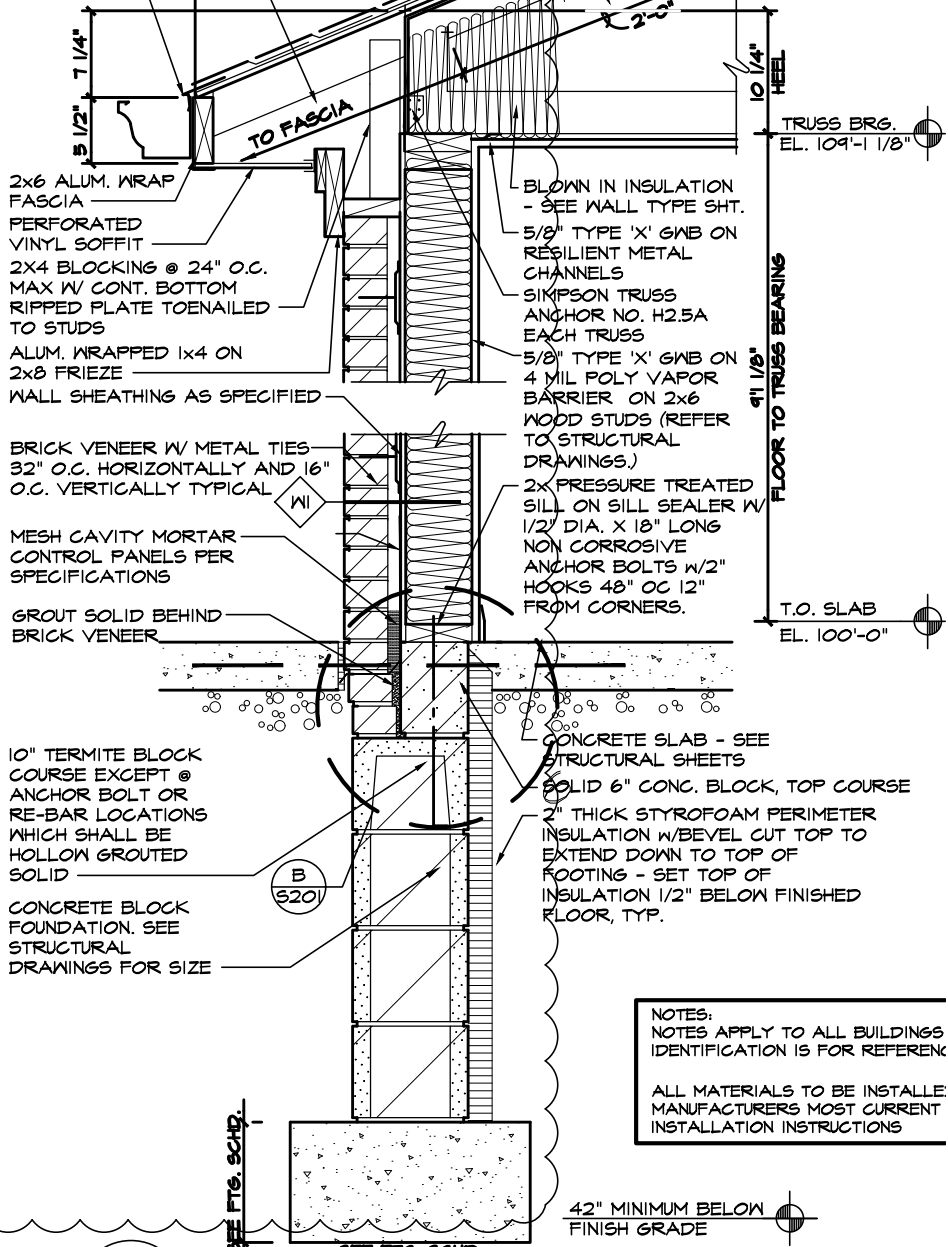
A502

date:

02/13/2017

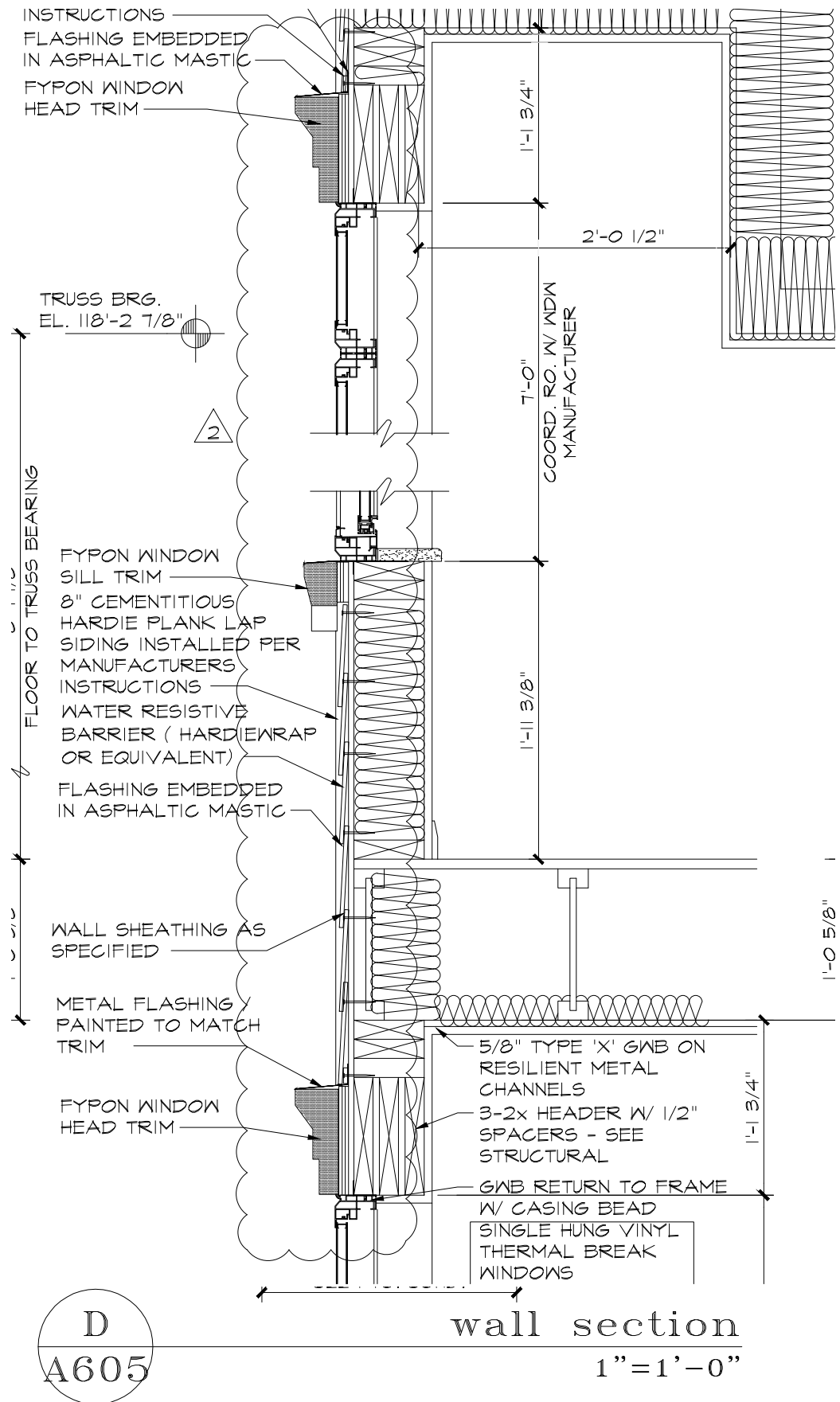
2

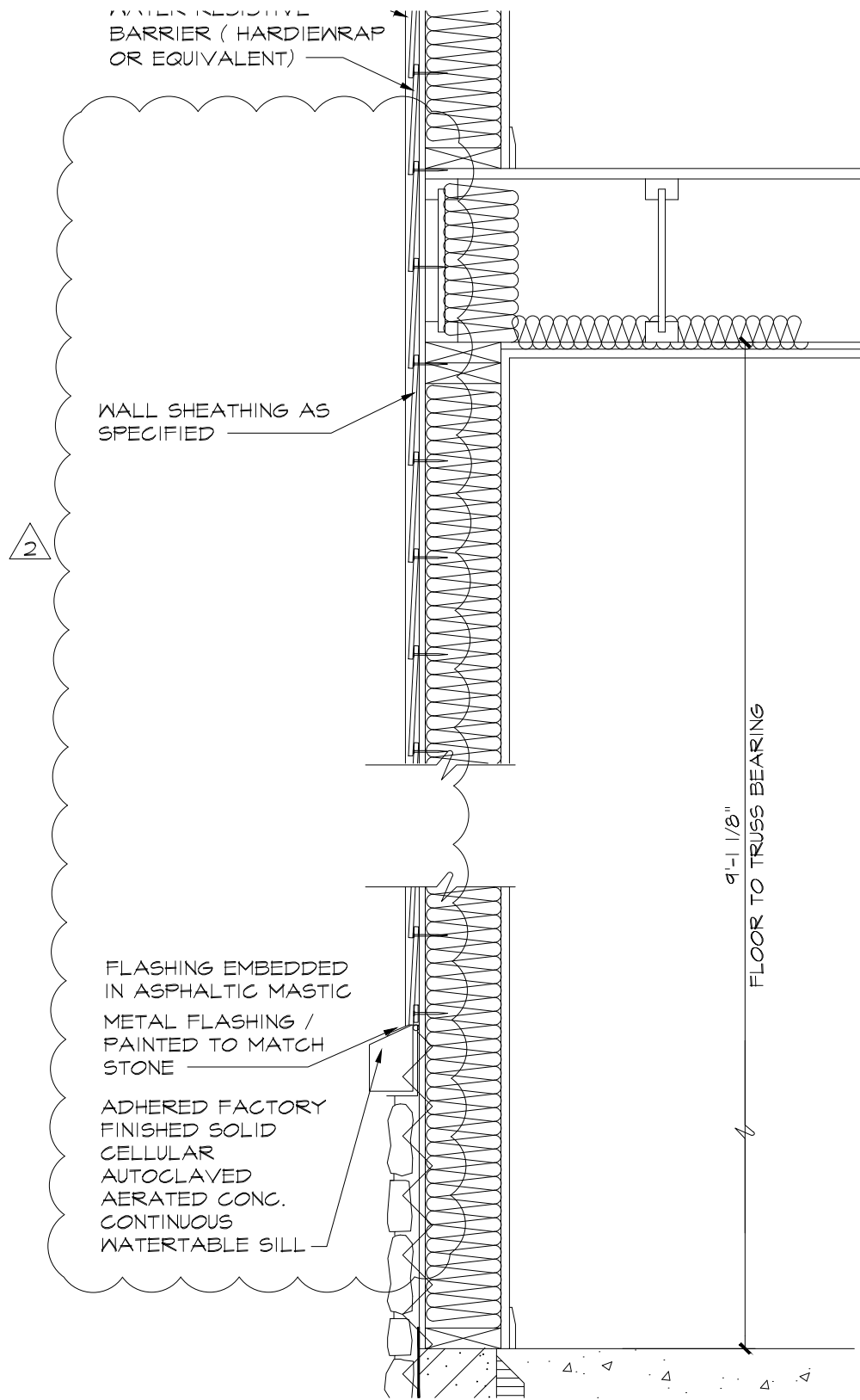
SIMULATED DIMENSIONAL SHINGLES ON 15# ROOFING FELT ON ROOF SHEATHING W/ 'H' CLIPS
 ICE GUARD UNDERLAYMENT FROM BOTTOM OF FASCIA TO 24" MINIMUM INSIDE THE EXTERIOR WALL TYPICAL- REFER TO ROOF PLAN & SPECIFICATIONS FOR ADDITIONAL INFORMATION
 PREFABRICATED/ ENGINEERED WOOD TRUSSES, SEE STRUCTURAL SHTS.
 SOFFIT SPACE TO BE FIRESTOPPED AT EACH COMMON WALL -
 ALUM. GUTTER AND DRIP EDGE



NOTES:
 NOTES APPLY TO ALL BUILDINGS
 IDENTIFICATION IS FOR REFERENK
 ALL MATERIALS TO BE INSTALLE
 MANUFACTURERS MOST CURRENT
 INSTALLATION INSTRUCTIONS

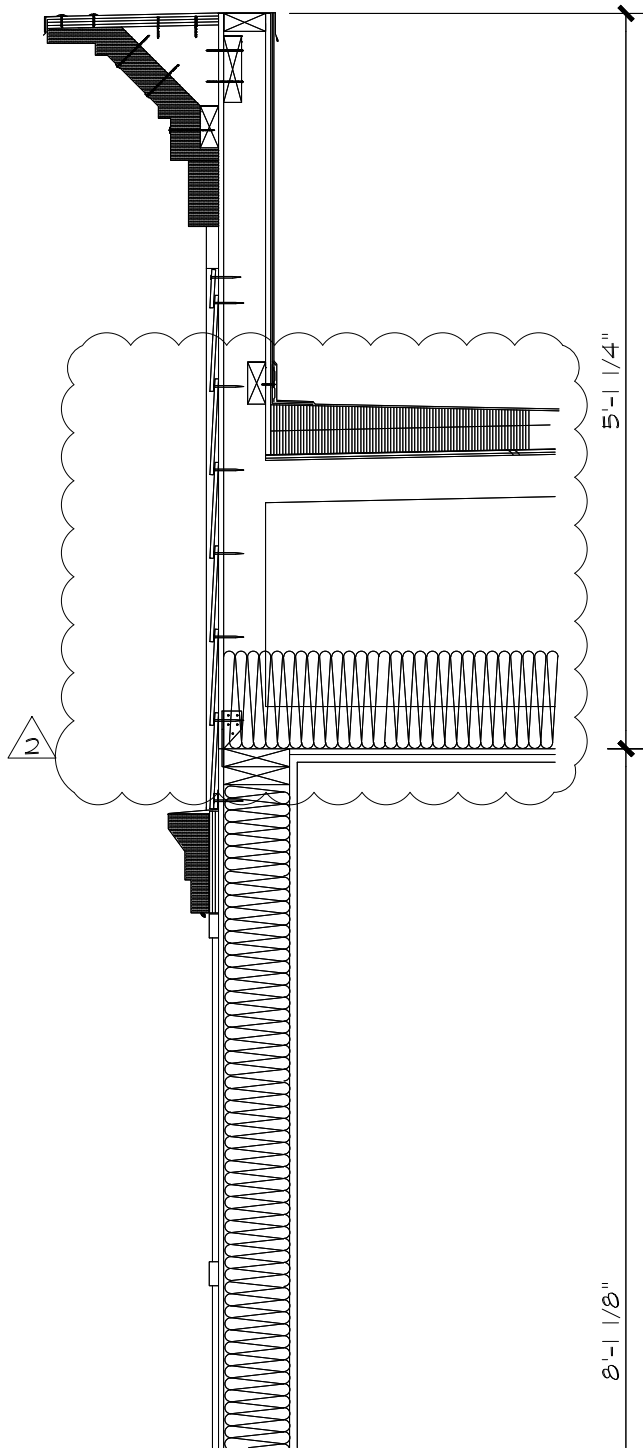
D single story wall section
A602 1"=1'-0" NOT TO SCALE



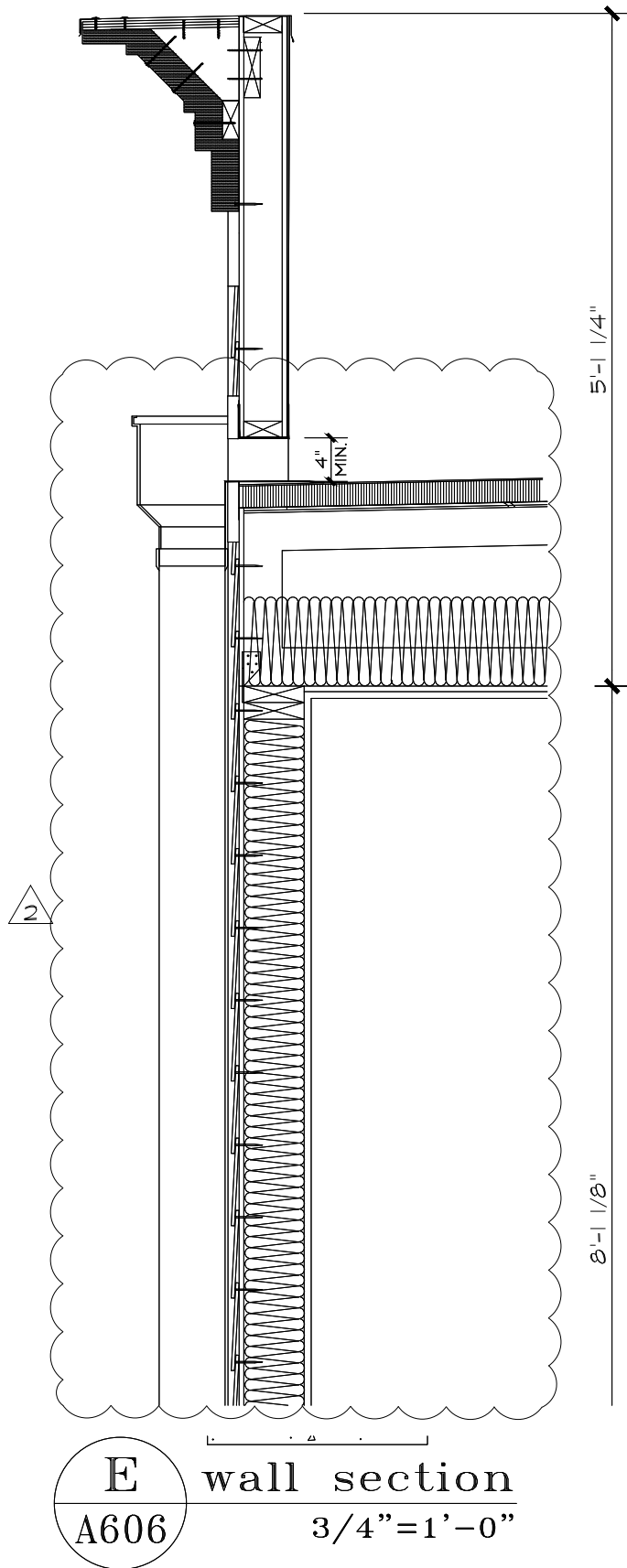


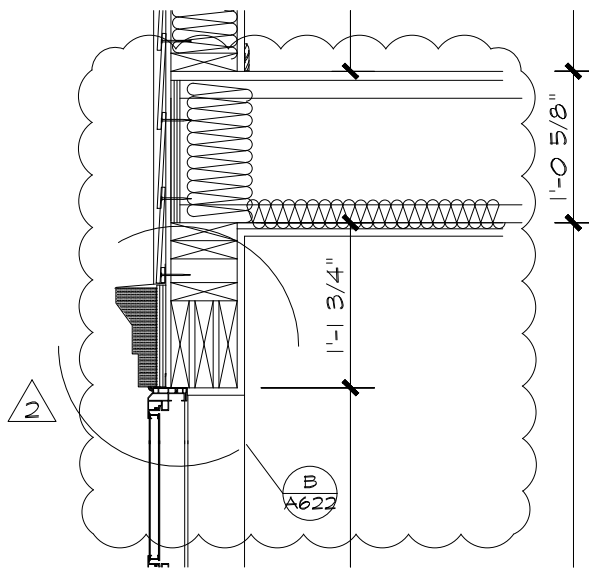
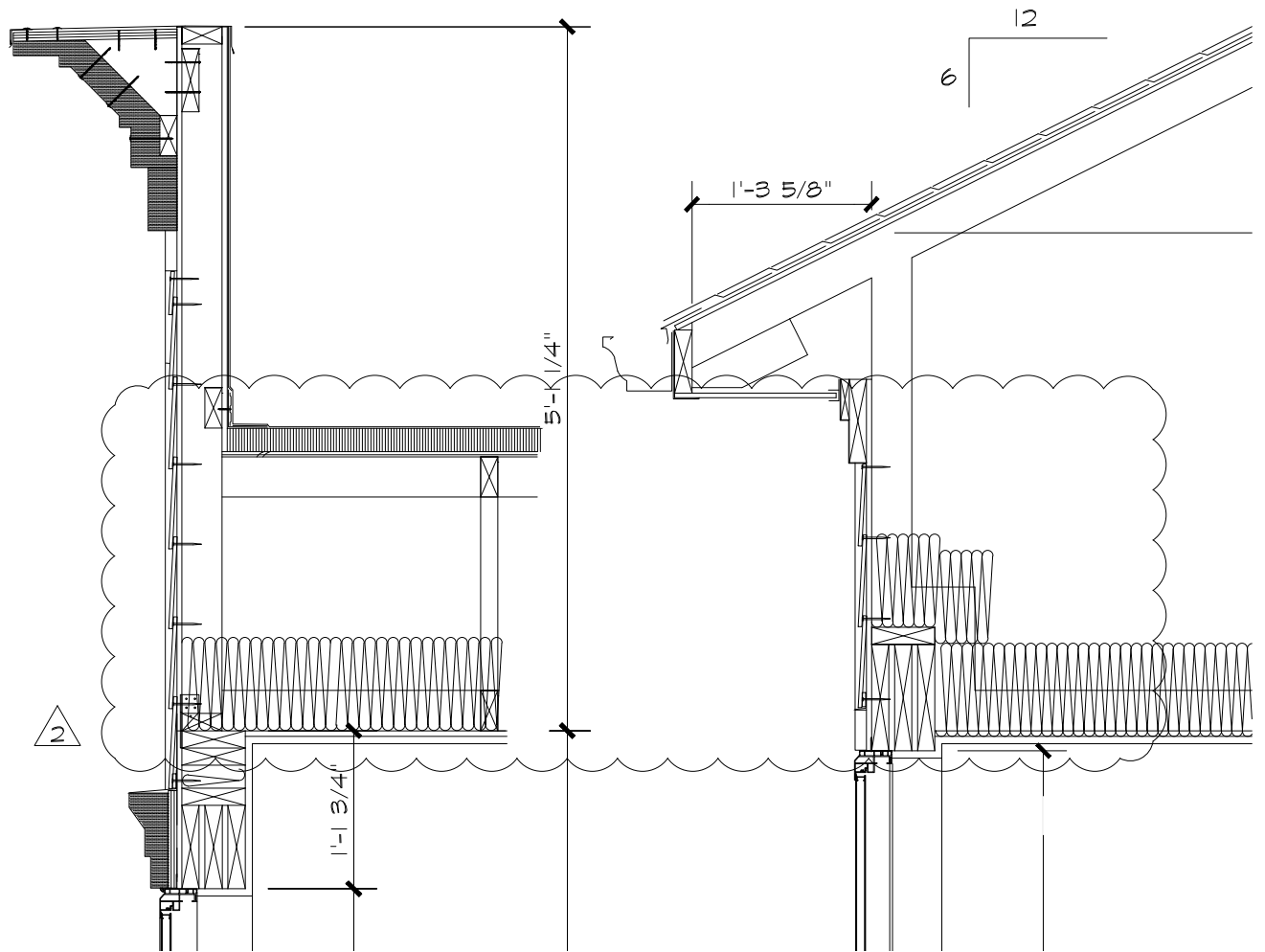
E
A605

wall section
1" = 1'-0"



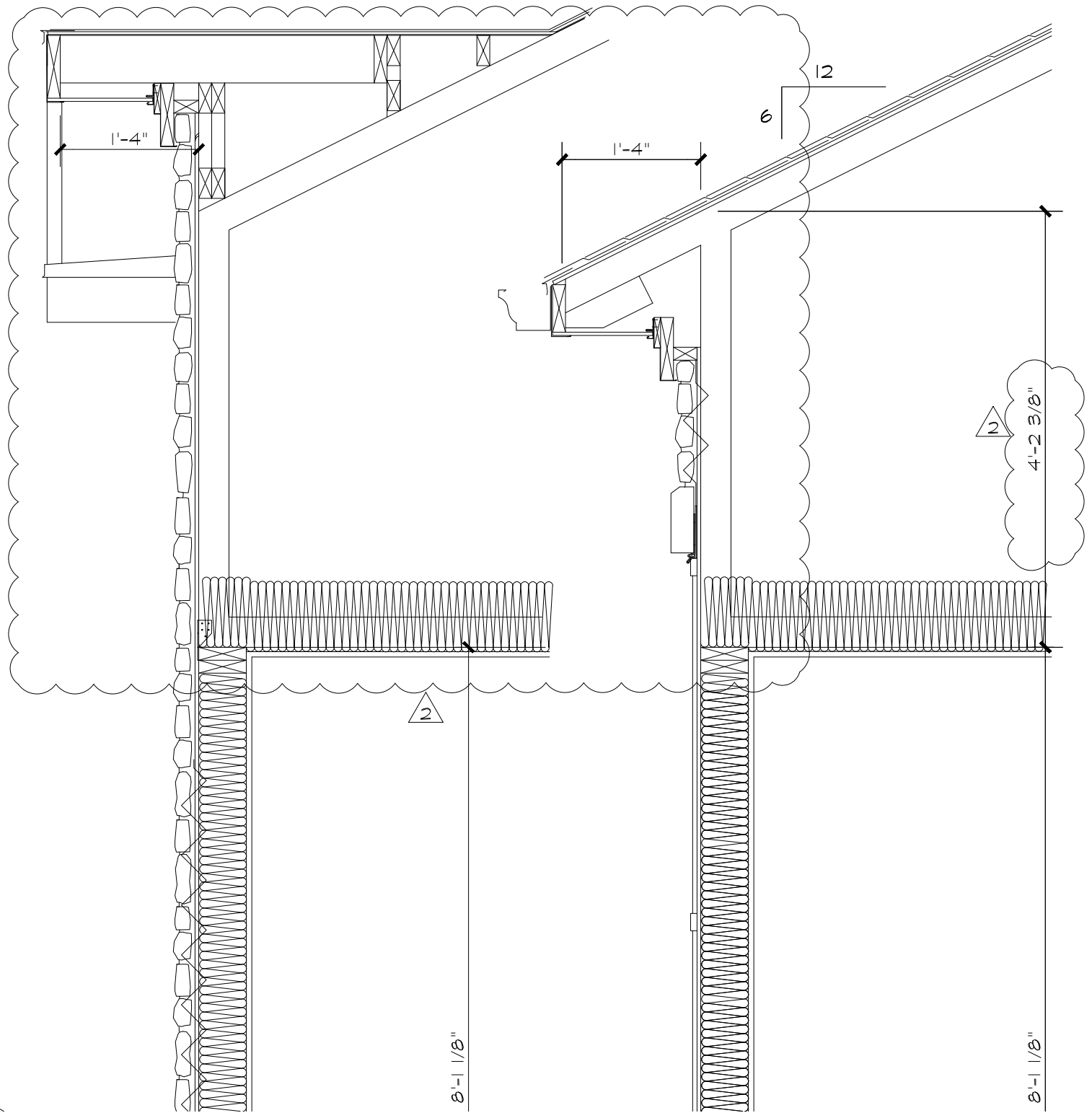
D
wall section
A606
3/4" = 1'-0"





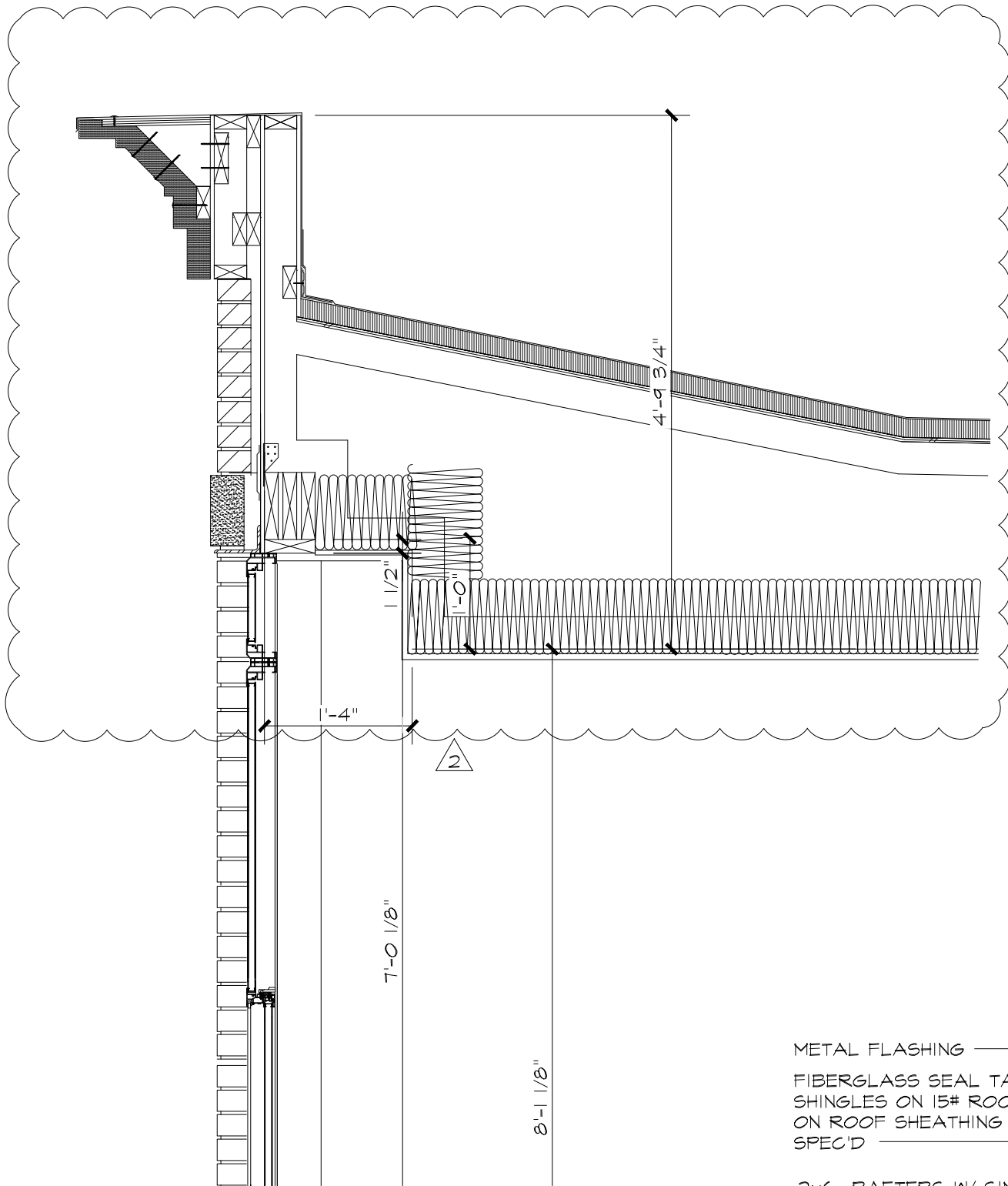
H wall section
A606
3/4"=1'-0"

G wall section
A606
3/4"=1'-0"



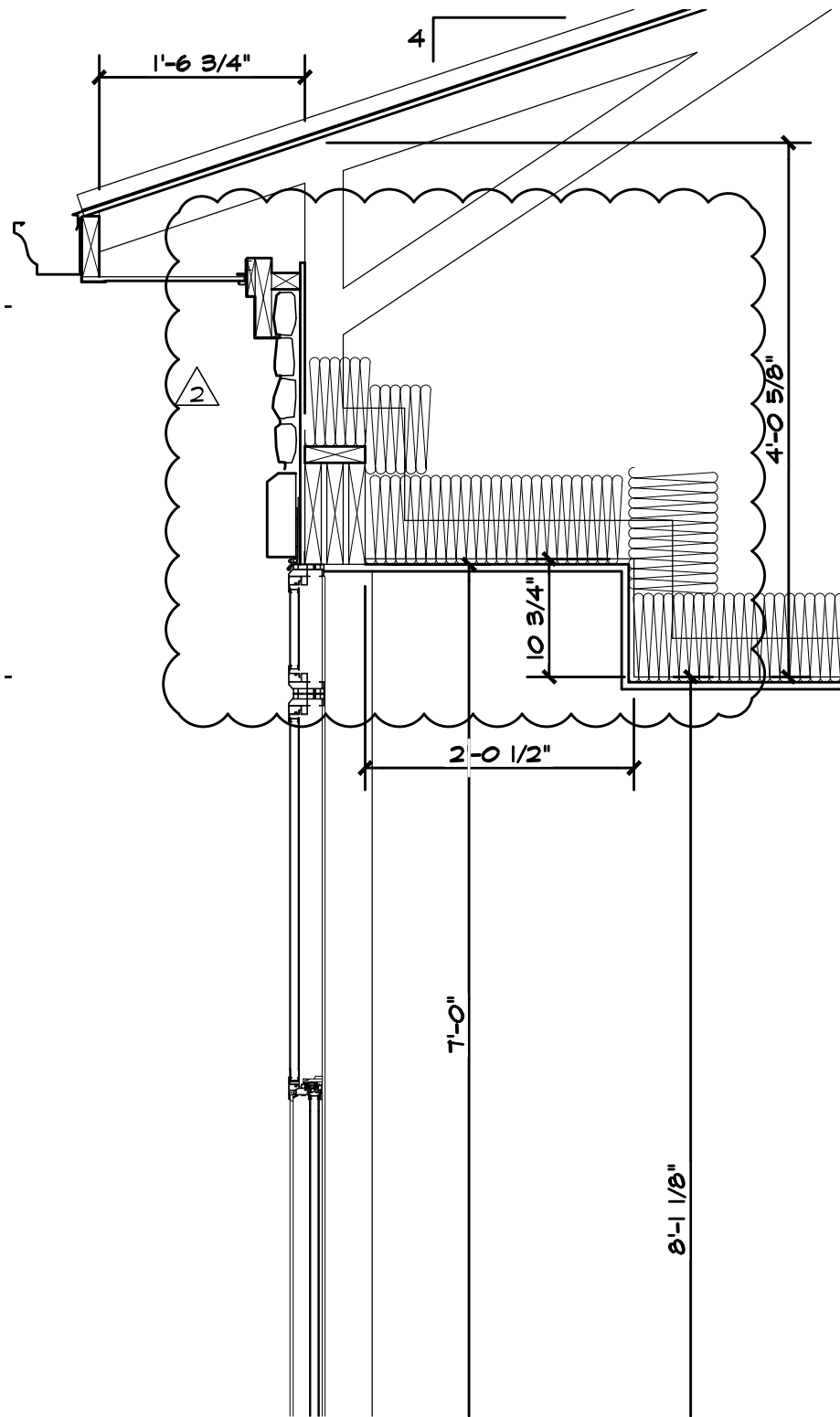
B wall section
A607
3/4" = 1'-0"

A wall section
A607
3/4" = 1'-0"



METAL FLASHING ———
 FIBERGLASS SEAL TAP
 SHINGLES ON 15# ROOF
 ON ROOF SHEATHING AS
 SPEC'D ———

G wall section
 A607 $3/4" = 1'-0"$



A wall section
A608 $3/4" = 1'-0"$

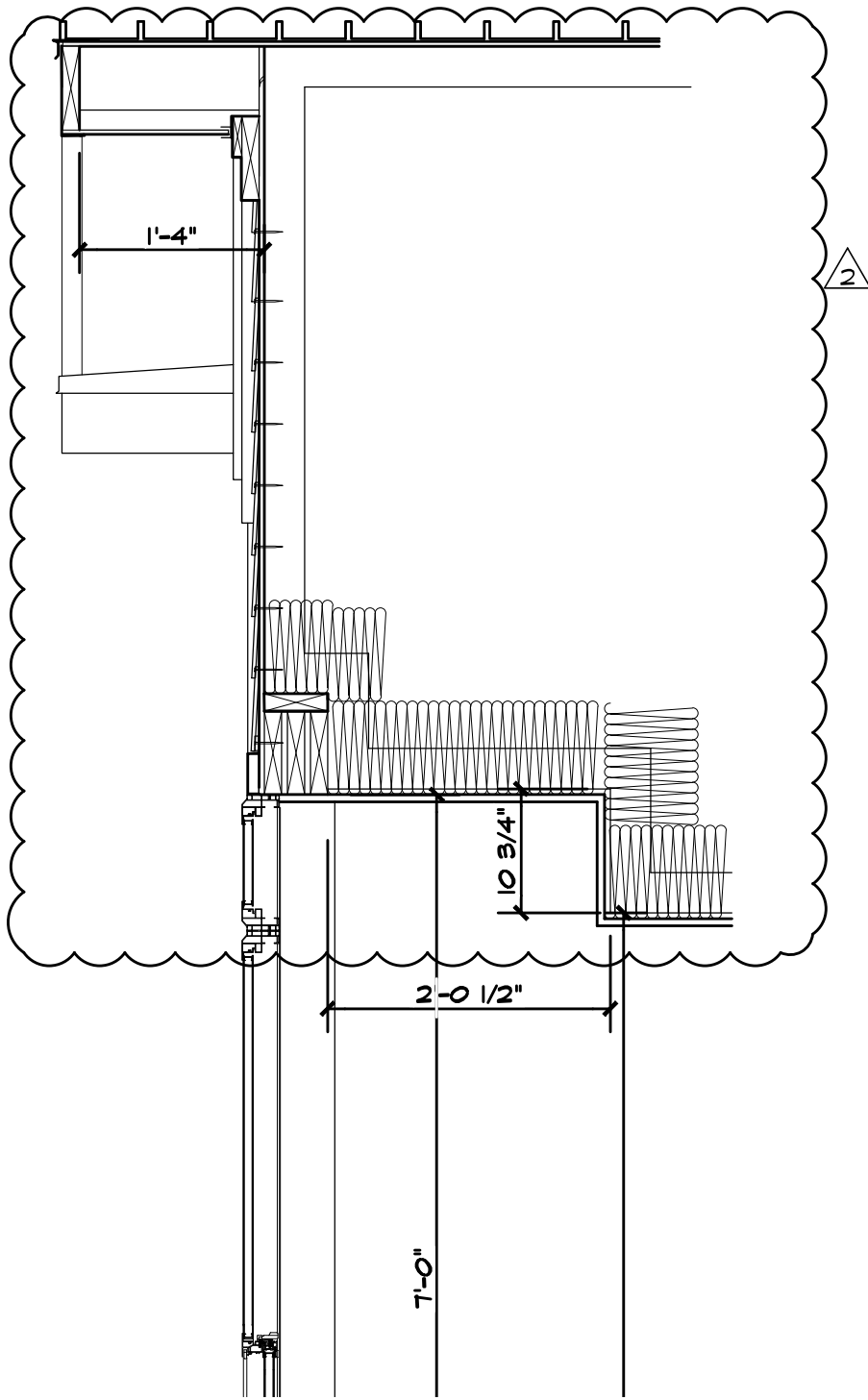


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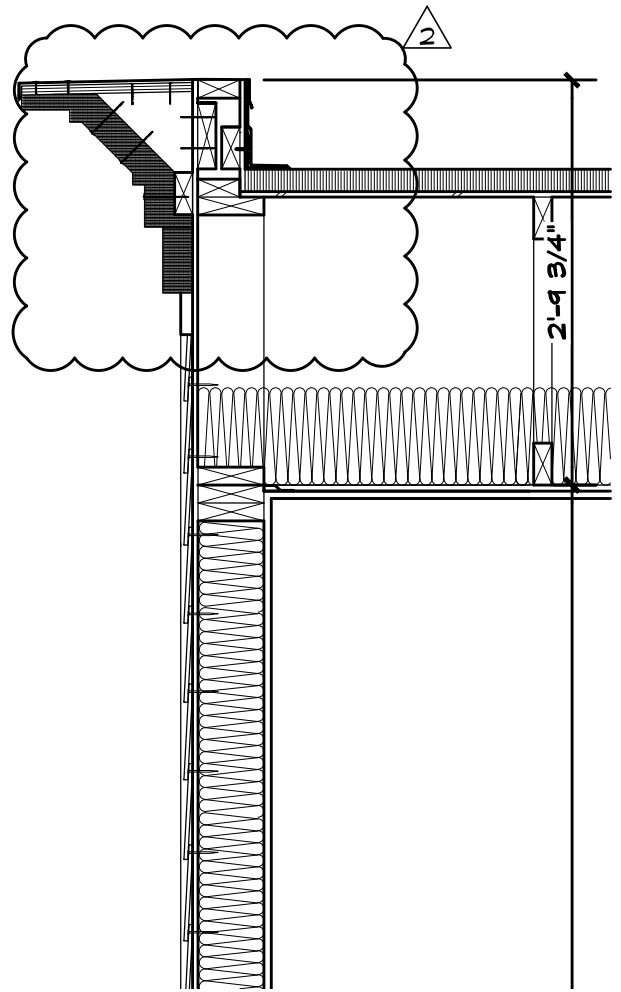
project: Collingwood Green Phase 3
document: Addendum 02
reference dwg.: A608
date: 02/13/2017

SK-38

ADD02



E wall section
A608 $3/4" = 1'-0"$



D wall section
A608 $3/4" = 1'-0"$



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project:

Collingwood Green Phase 3

document:

Addendum 02

reference dwg.:

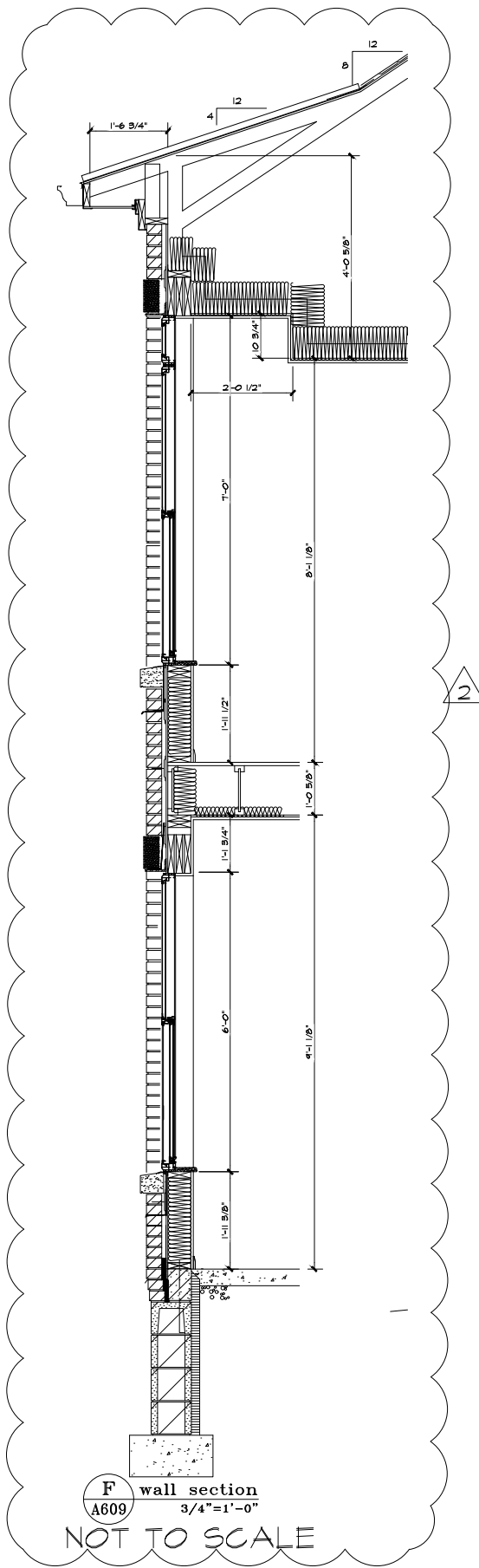
A608

date:

02/13/2017

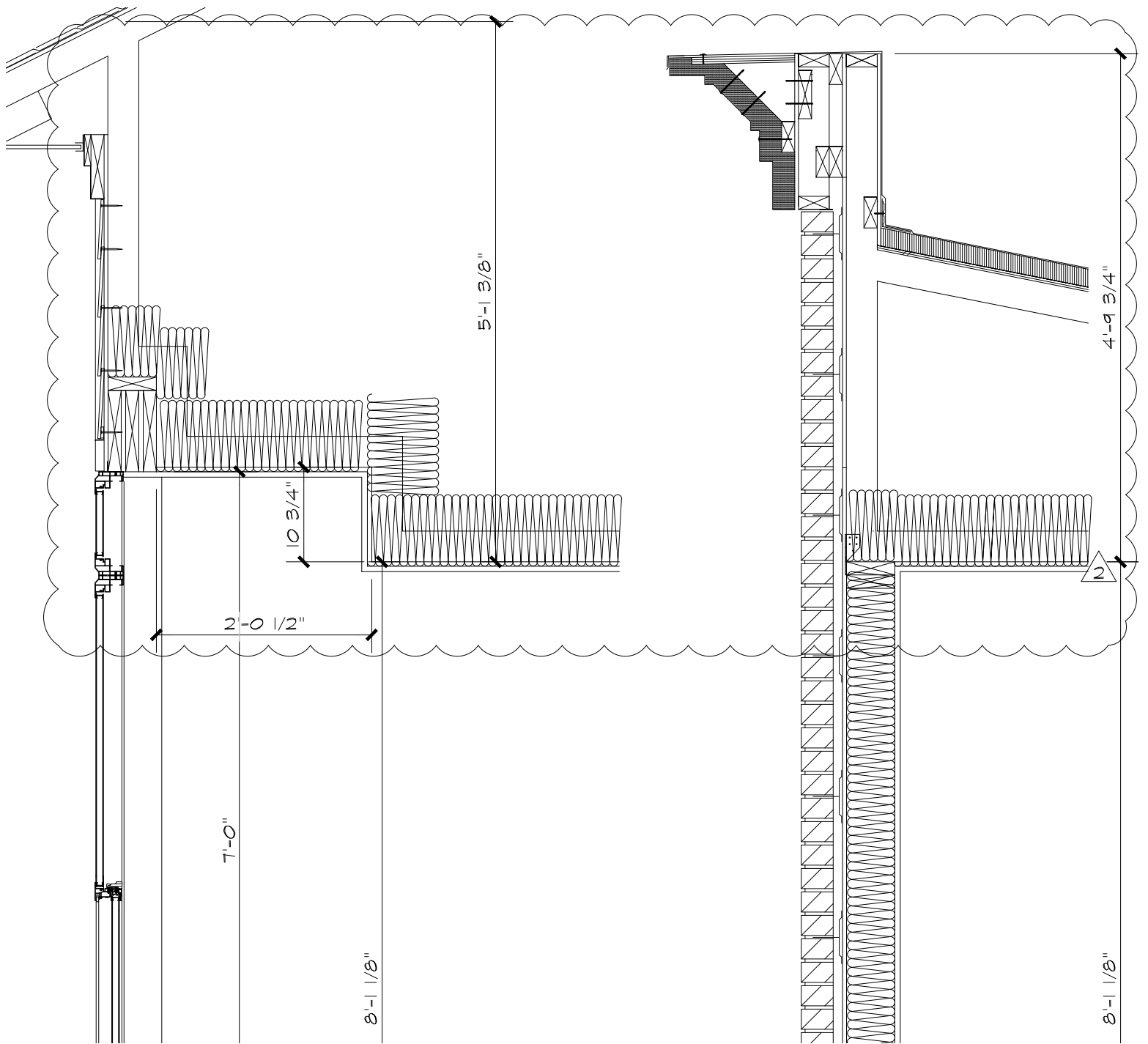
SK-39

ADD02



F wall section
 A609 3/4"=1'-0"

NOT TO SCALE



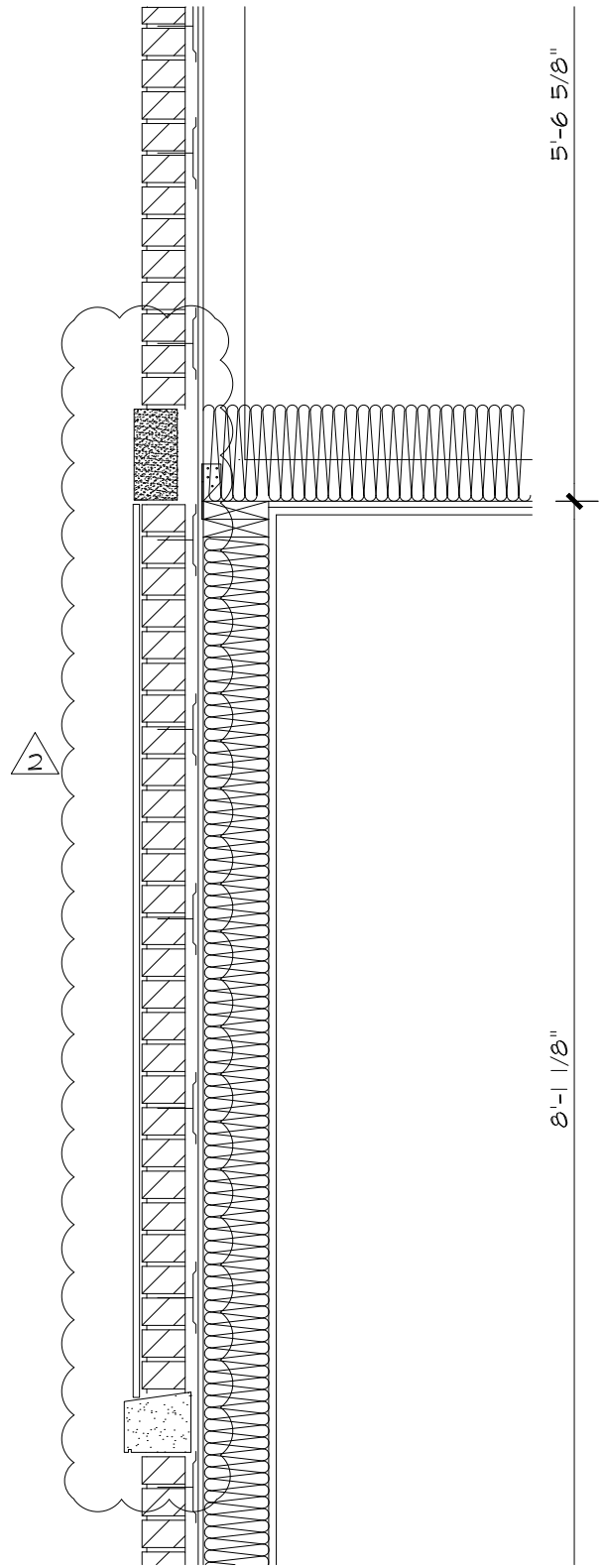
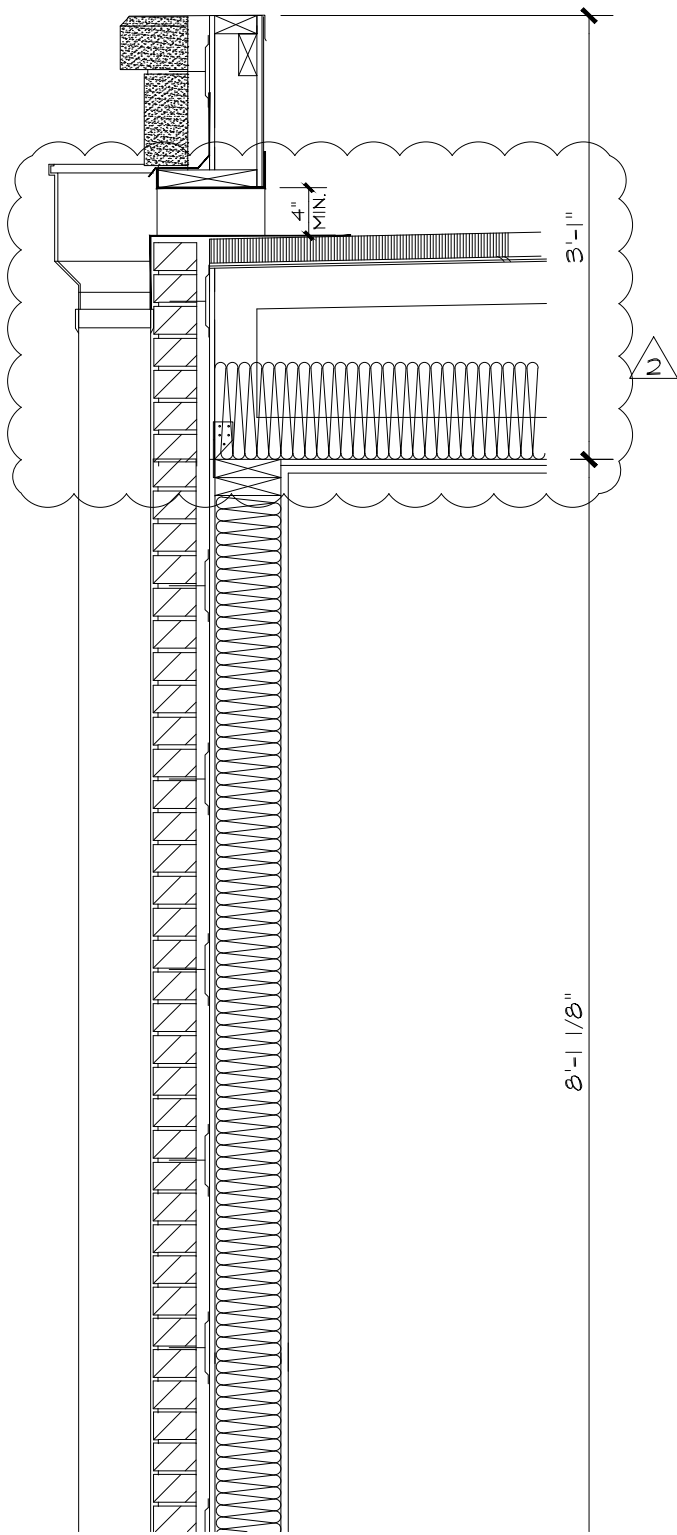
B wall section
 A609 $3/4" = 1'-0"$

A wall section
 A609 $3/4" = 1'-0"$



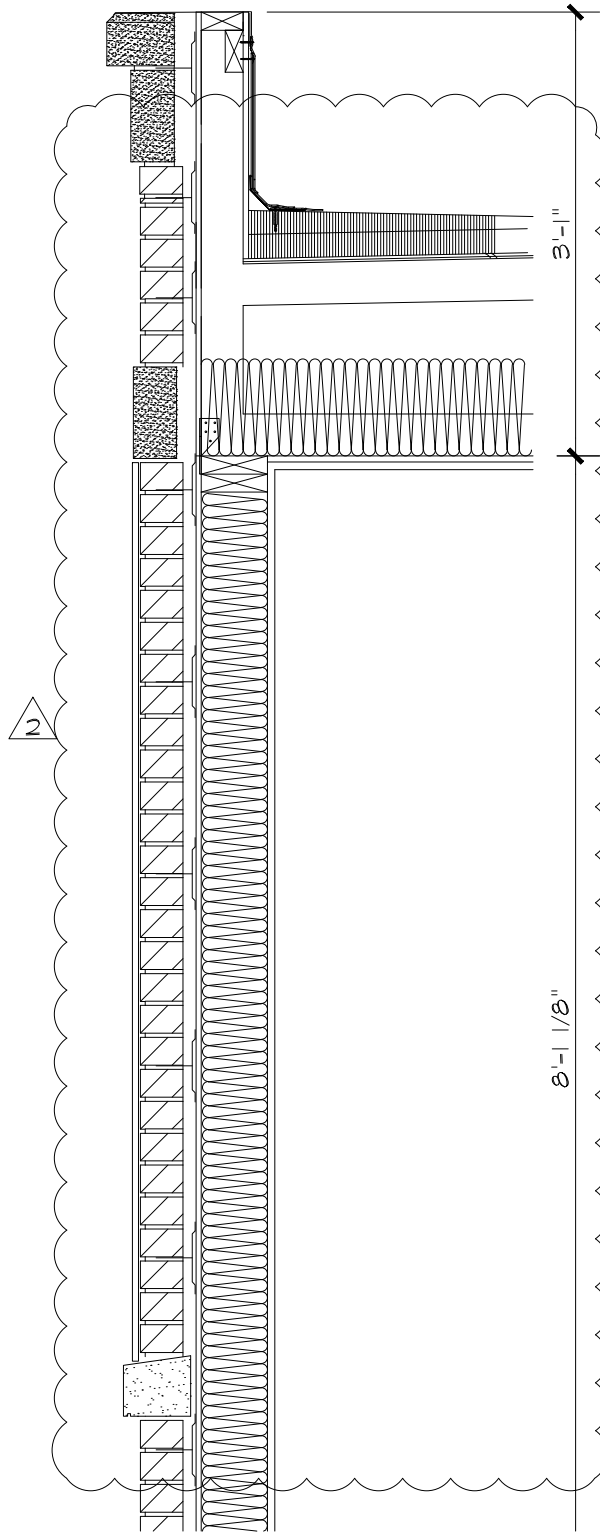
project: Collingwood Green Phase 3
 document: Addendum 02
 reference dwg.: A609
 date: 02/13/2017

SK-41
 ADD02

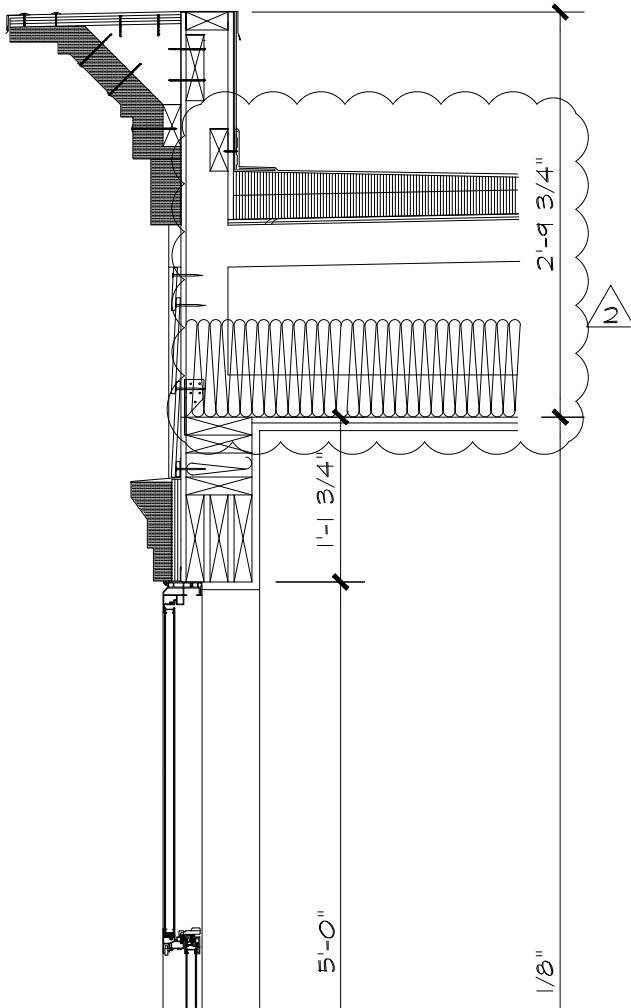


E wall section
A610 3/4"=1'-0"

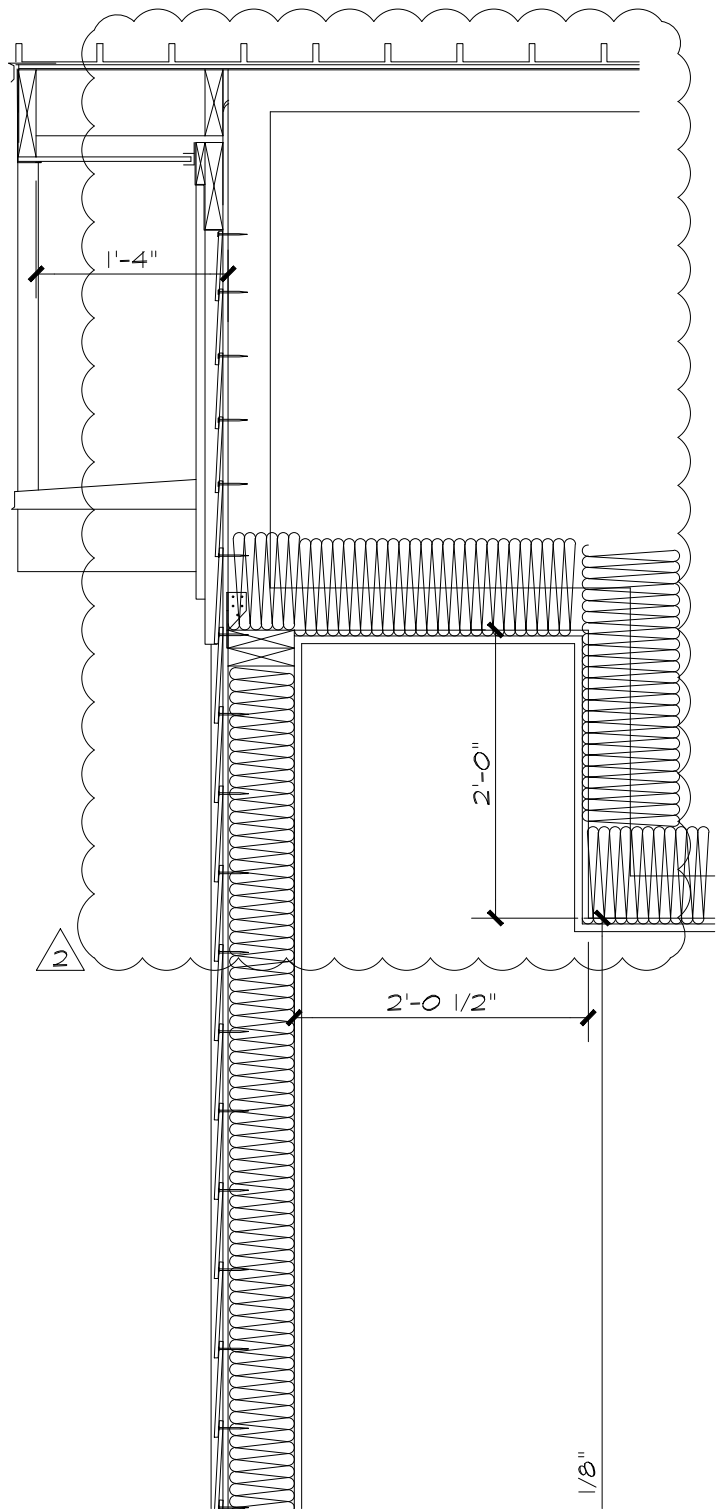
D wall section
A610 3/4"=1'-0"



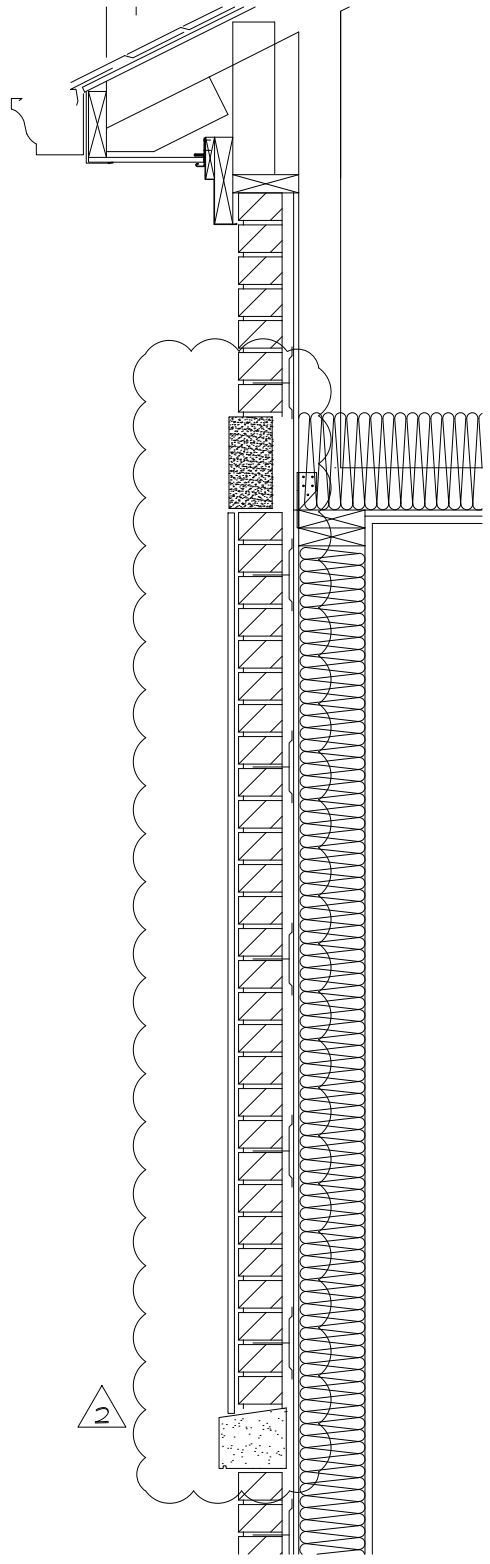
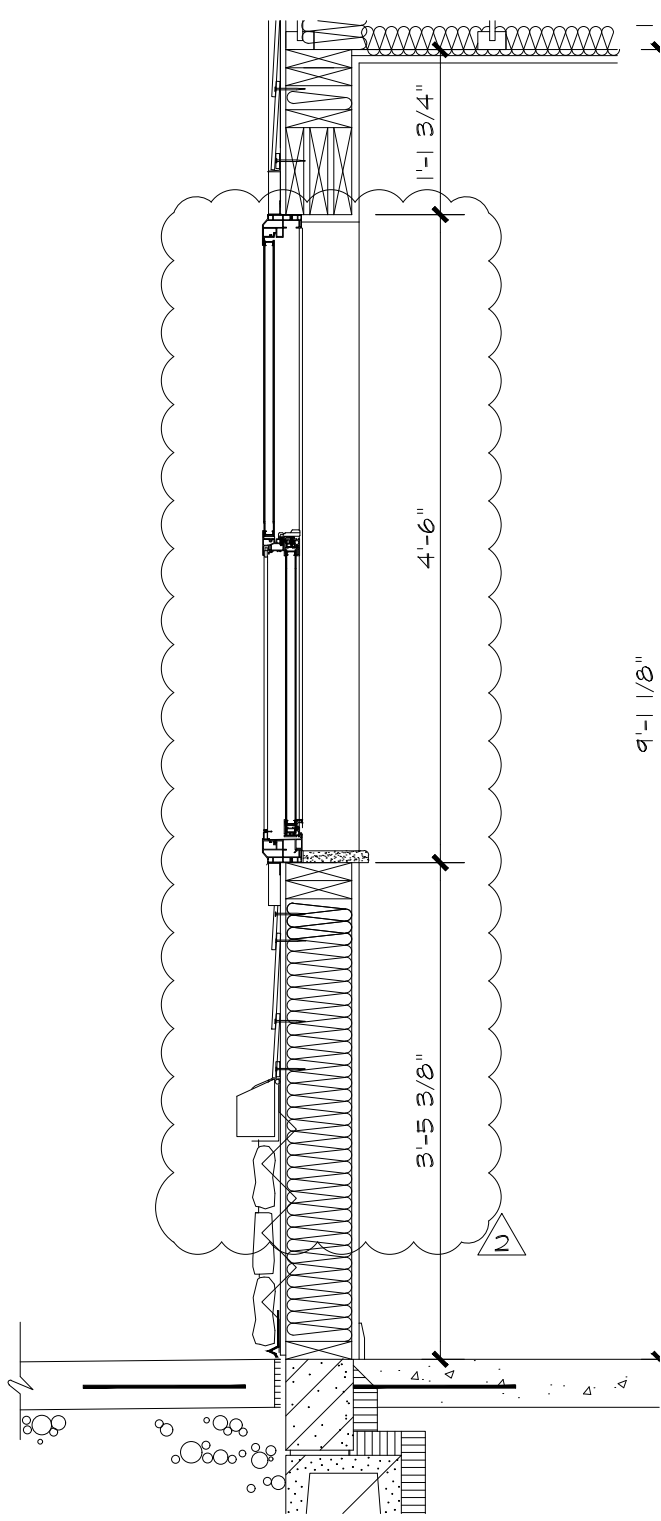
F wall section
A610 $3/4" = 1'-0"$



B wall section
 A610 $\frac{3}{4}'' = 1'-0''$



A wall section
 A610 $\frac{3}{4}'' = 1'-0''$



9'-1 1/8"

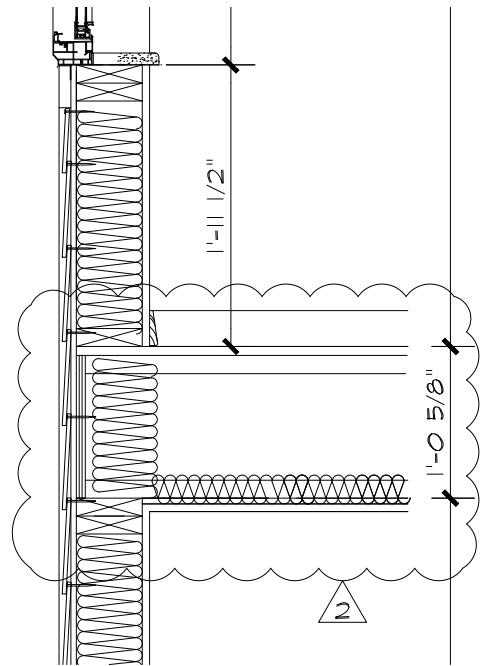
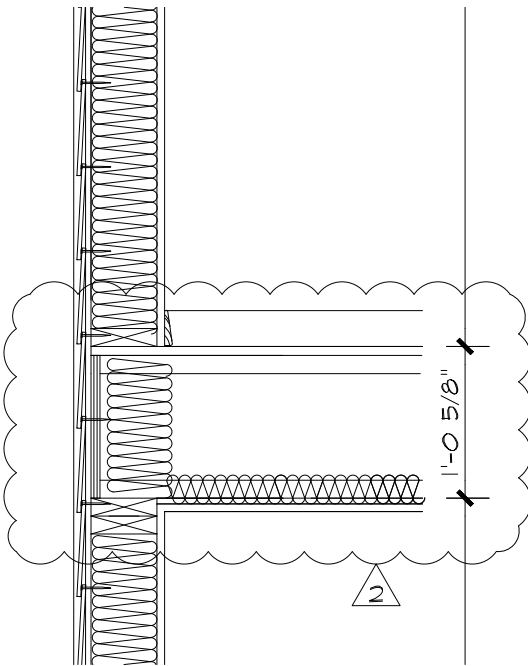
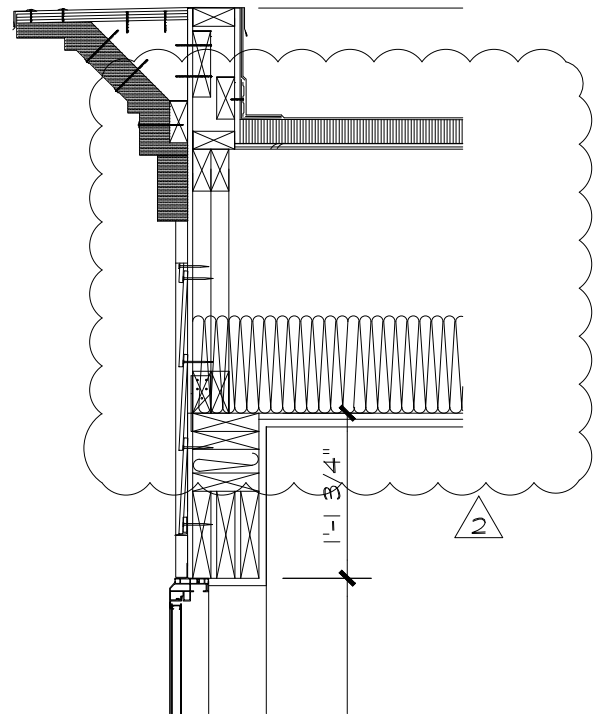
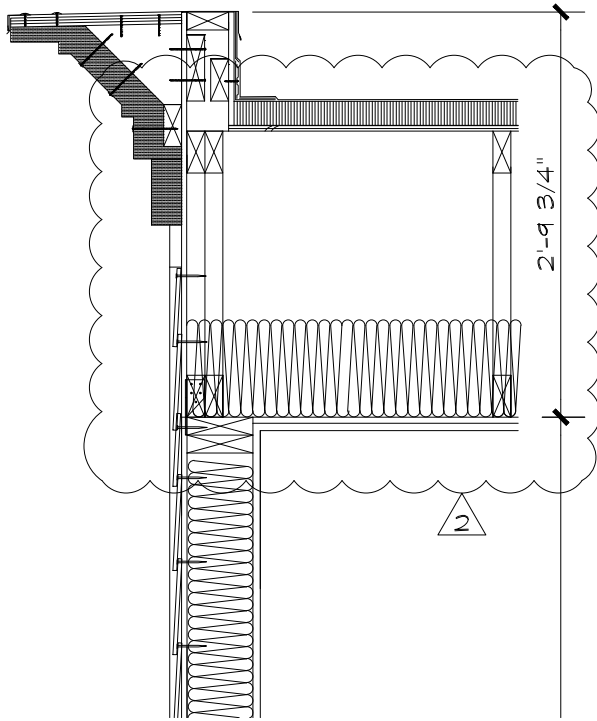
E wall section
 A611 3/4"=1'-0"

D wall section
 A611 3/4"=1'-0"



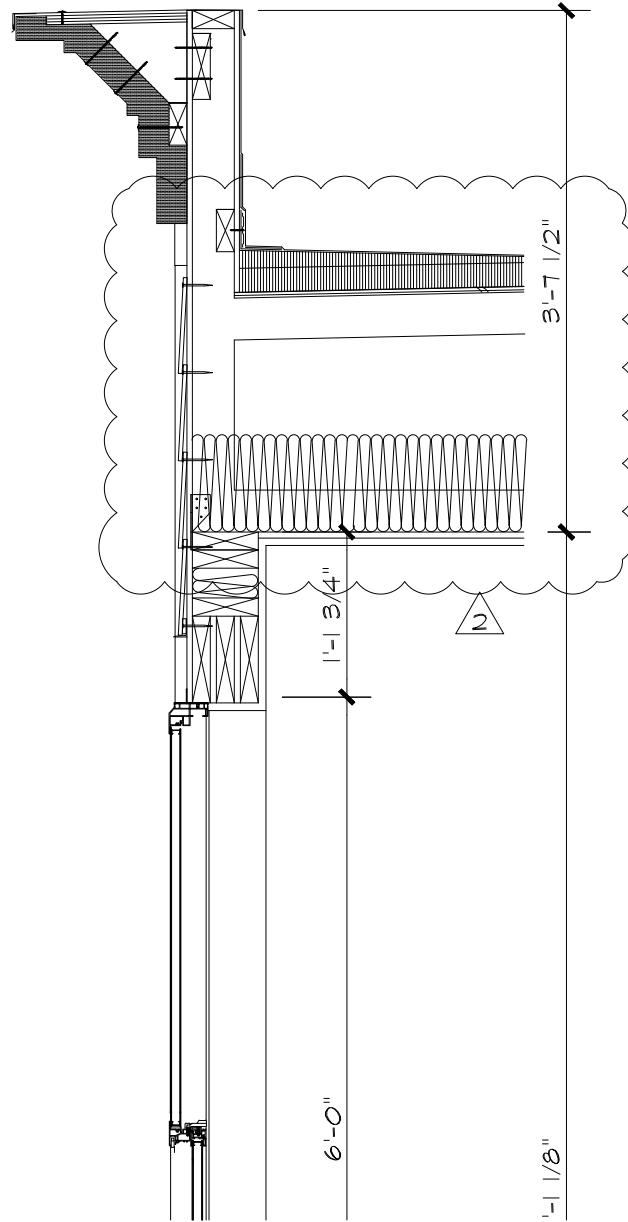
project: Collingwood Green Phase 3
 document: Addendum 02
 reference dwg.: A611
 date: 02/13/2017

SK-45
 ADD02

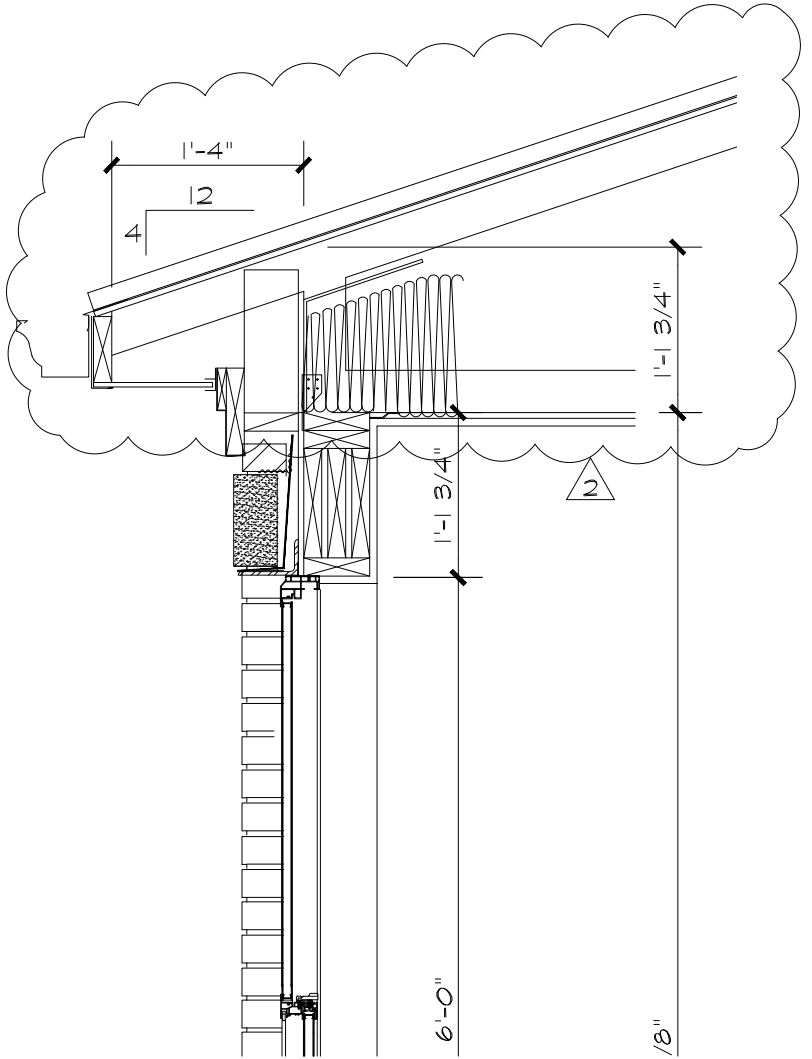
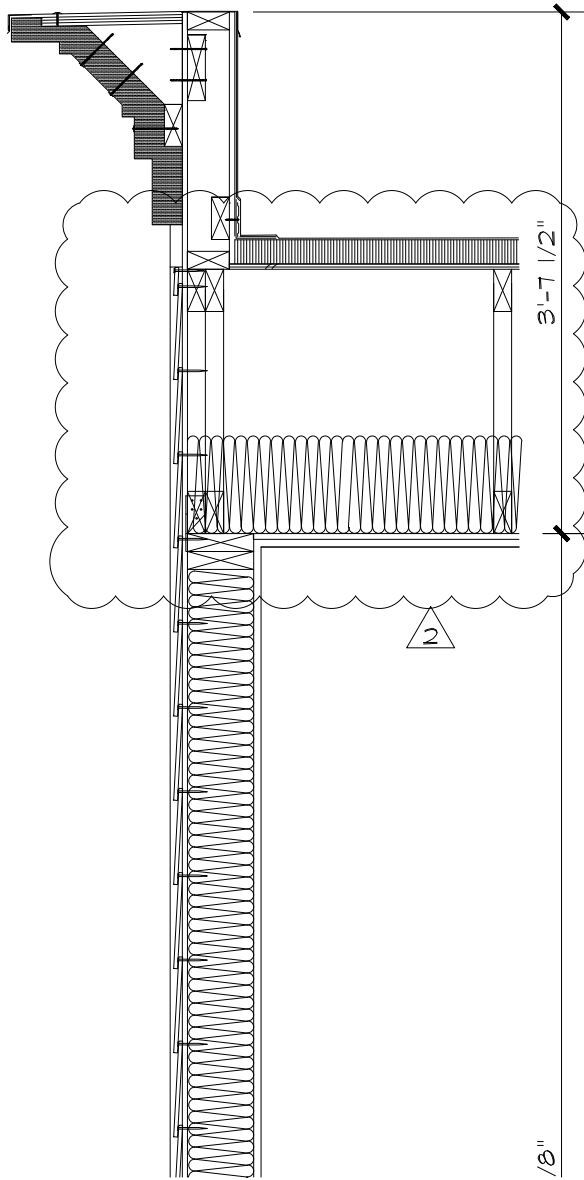


B wall section
A611 $3/4" = 1'-0"$

A wall section
A611 $3/4" = 1'-0"$

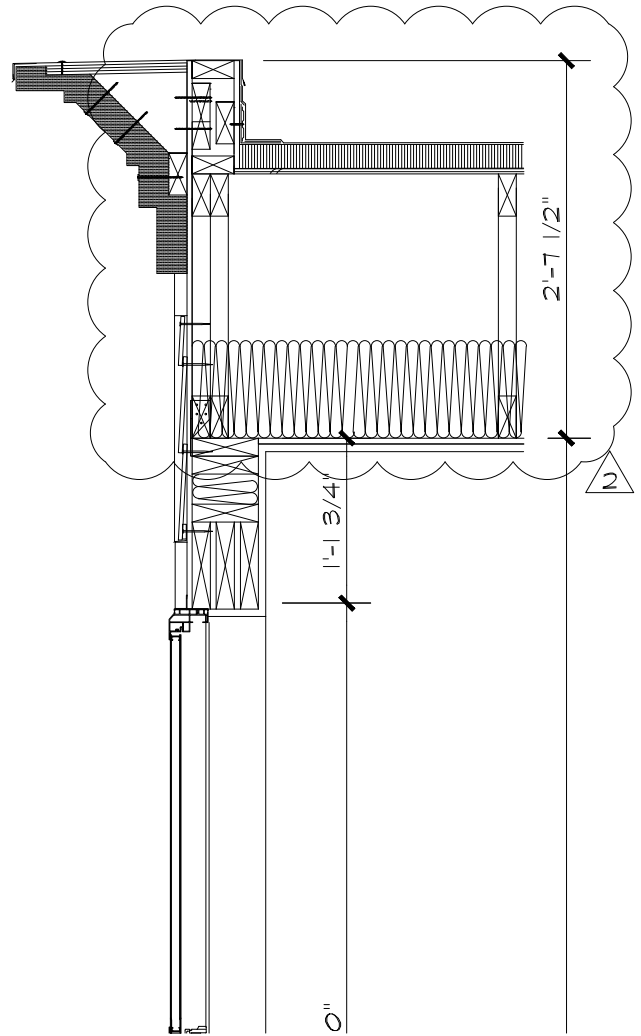
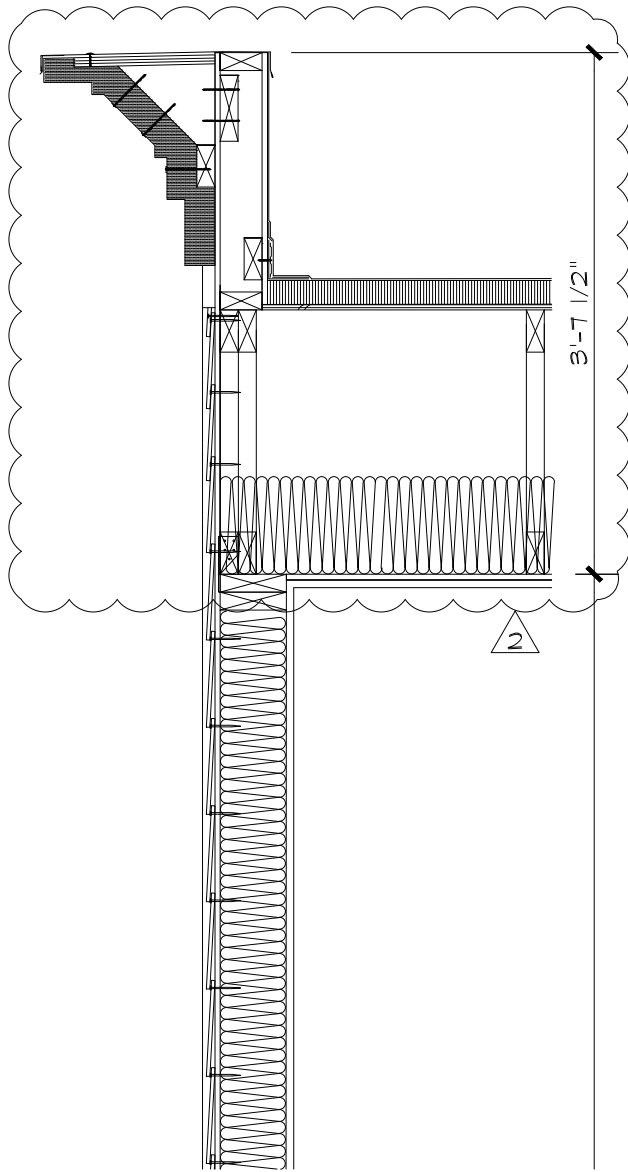


F wall section
A613 $\frac{3}{4}'' = 1'-0''$



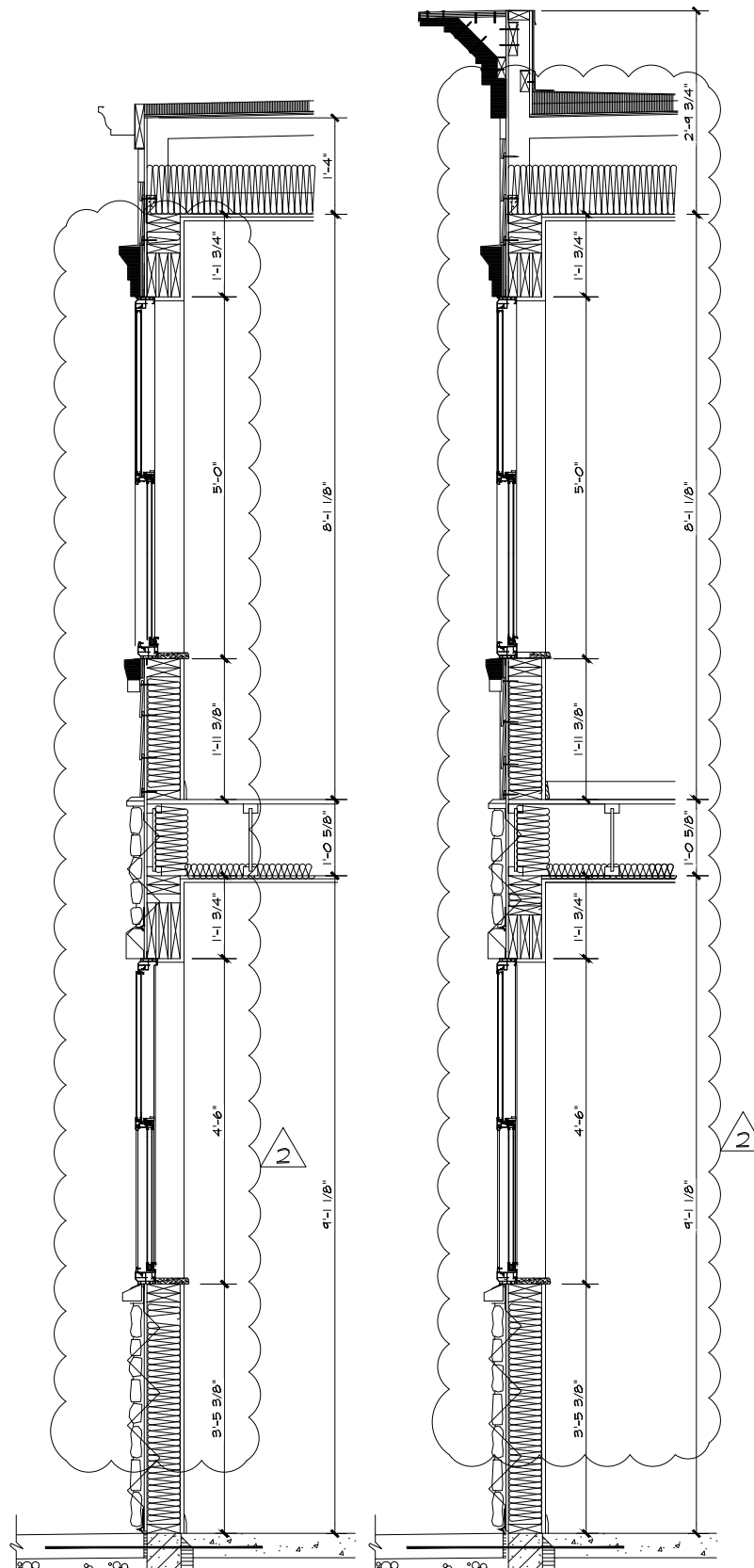
E wall section
A613 $3/4" = 1'-0"$

D wall section
A613 $3/4" = 1'-0"$



B wall section
 A613 $3/4''=1'-0''$

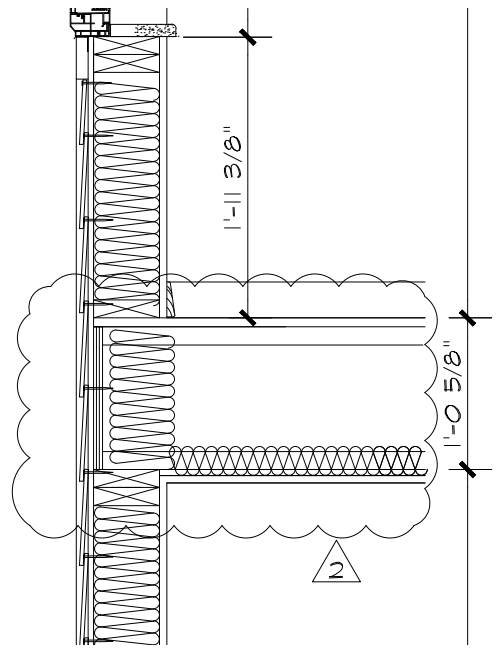
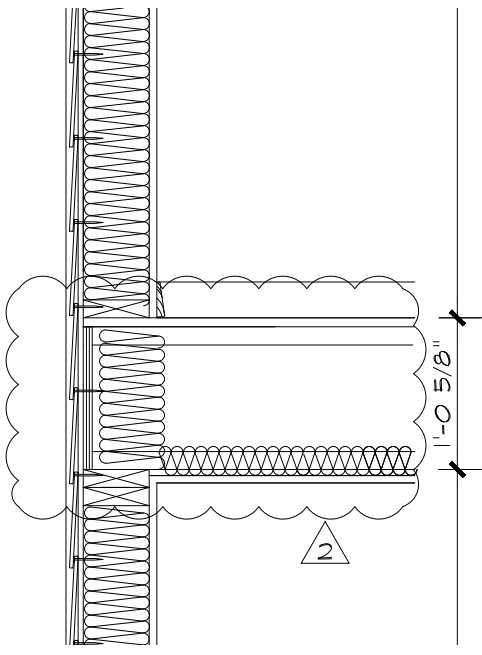
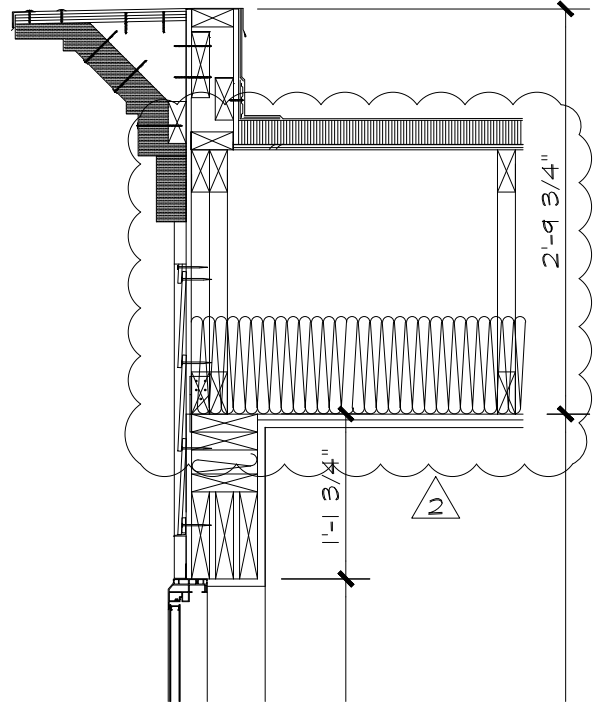
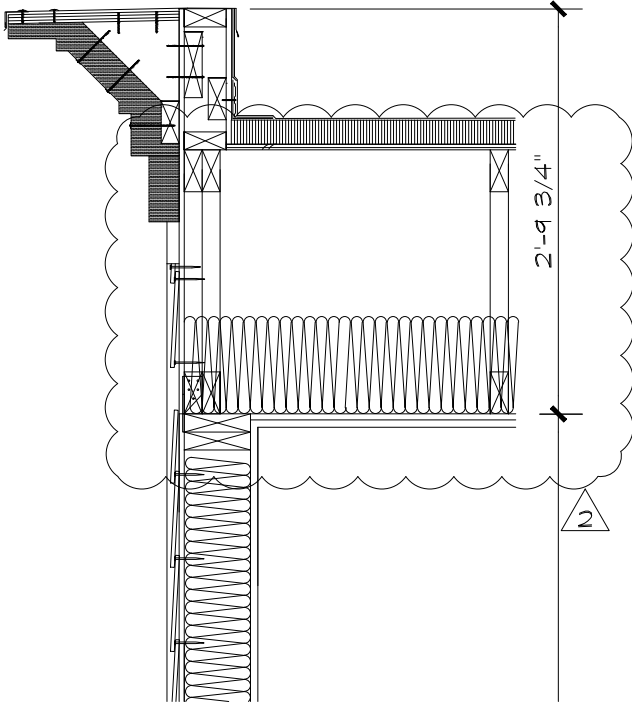
A wall section
 A613 $3/4''=1'-0''$



H wall section
A614 $3/4"=1'-0"$
 NOT TO SCALE

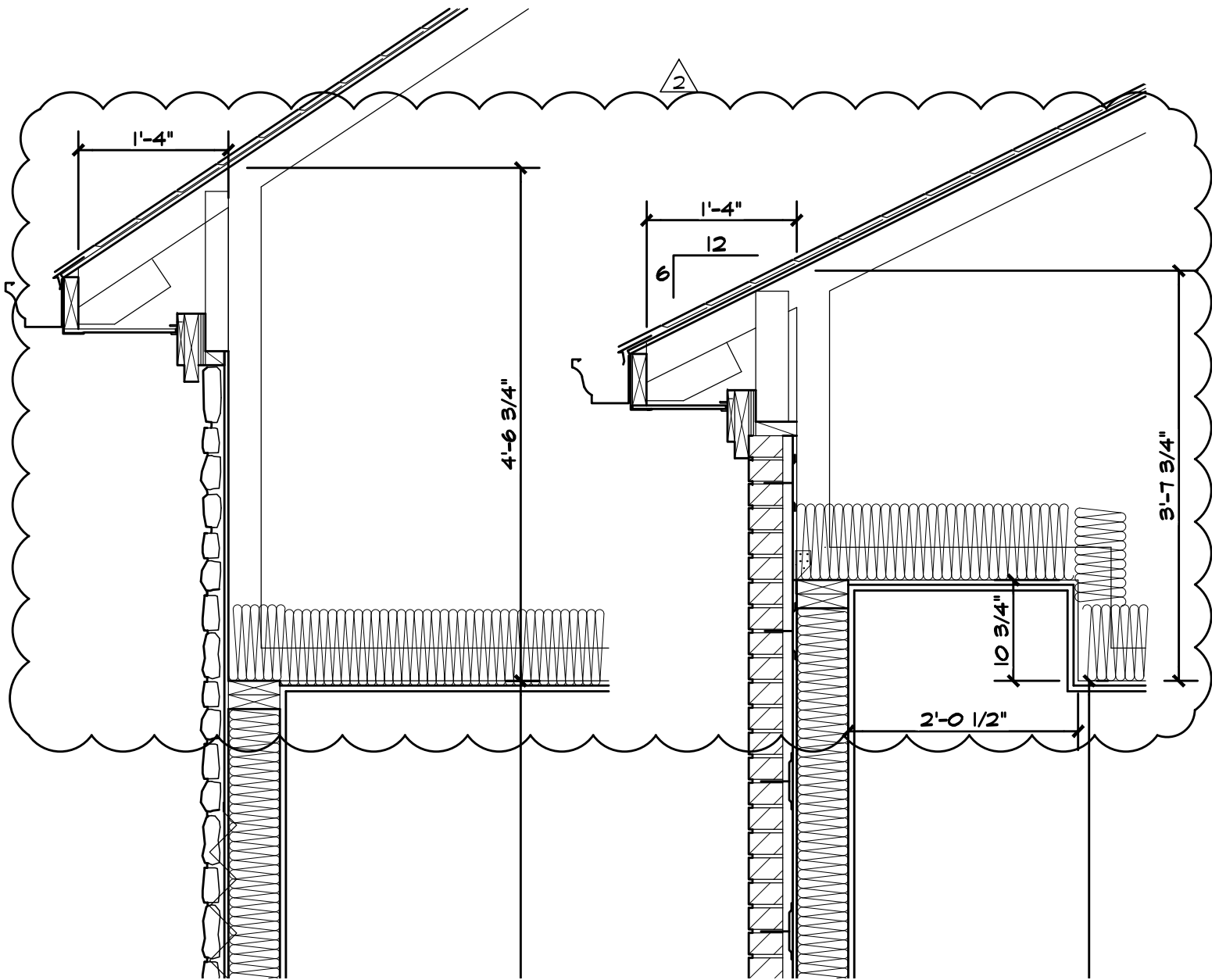
G wall section
A614 $3/4"=1'-0"$
 NOT TO SCALE

project: Collingwood Green Phase 3
 document: Addendum 02
 reference dwg.: A614
 date: 02/13/2017



G wall section
A614 3/4"=1'-0"

F wall section
A614 3/4"=1'-0"



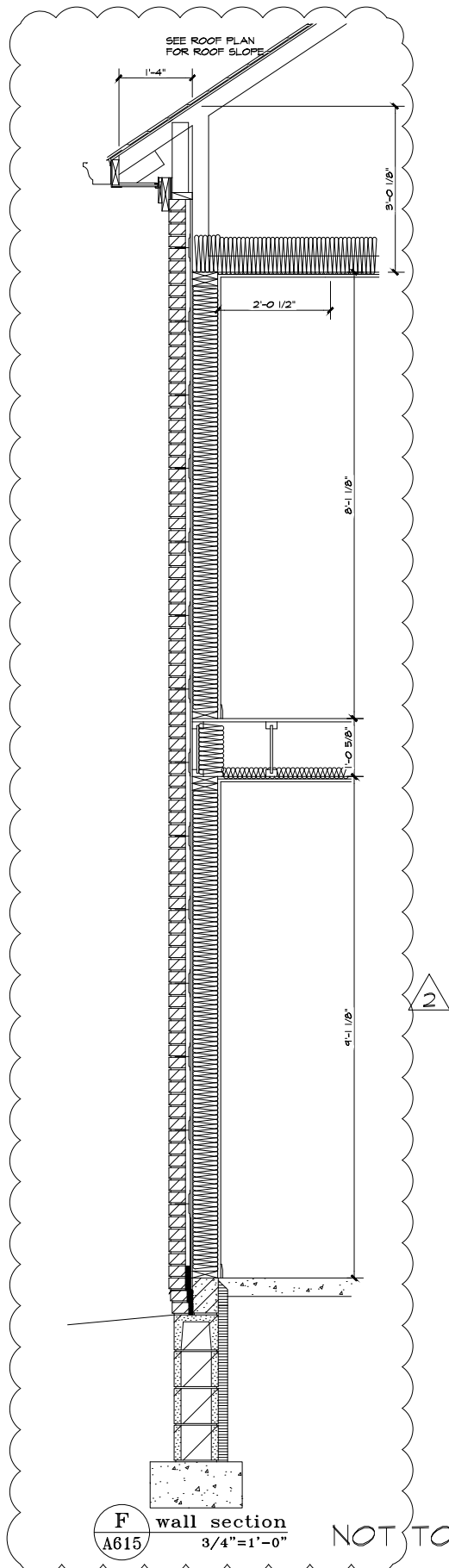
D wall section
A614 $3/4"=1'-0"$

B wall section
A614 $3/4"=1'-0"$

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project: Collingwood Green Phase 3
document: Addendum 02
reference dwg.: A614
date: 02/13/2017

SK-52
ADD02



F wall section
A615 $\frac{3}{4}''=1'-0''$

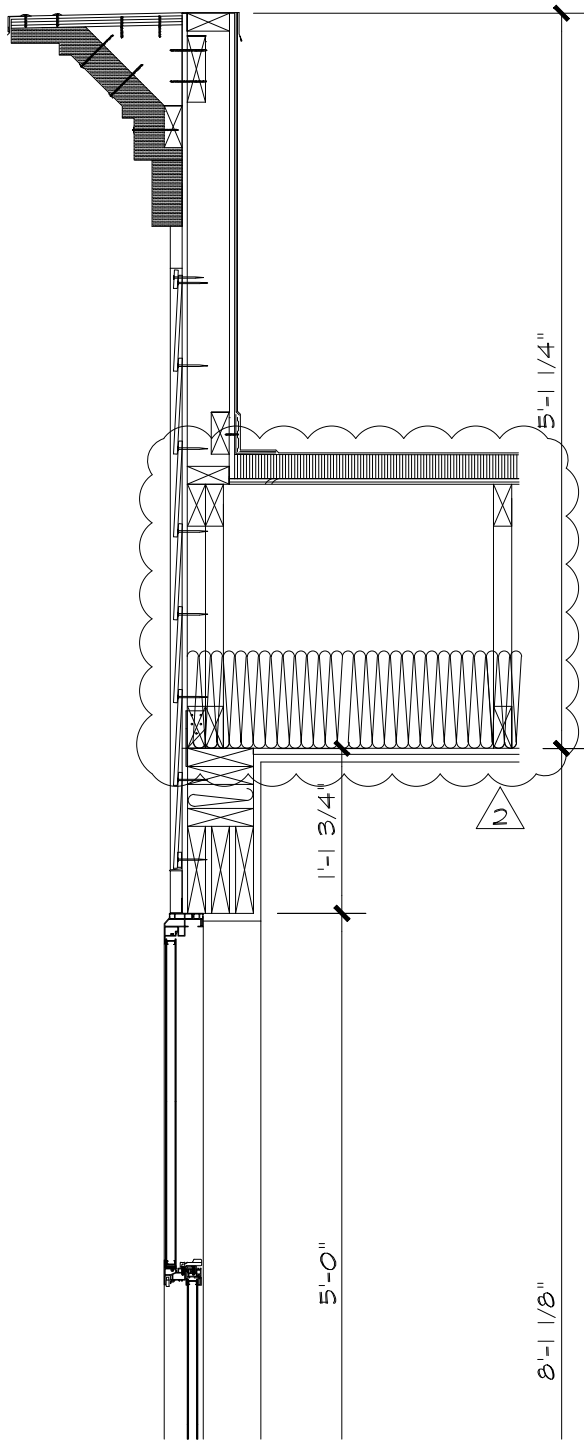
NOT TO SCALE

Collingwood Green Phase 3

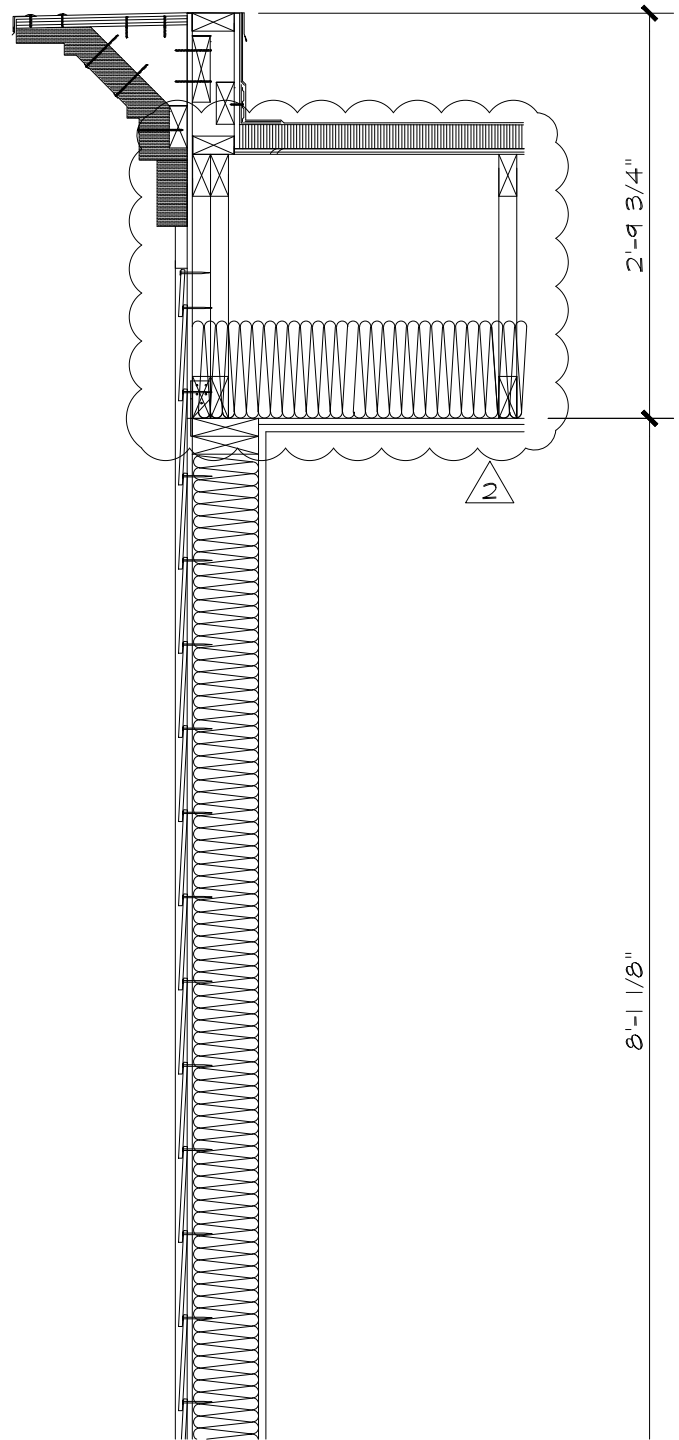


project: Collingwood Green Phase 3
document: Addendum 02
reference dwg.: A615
date: 02/13/2017

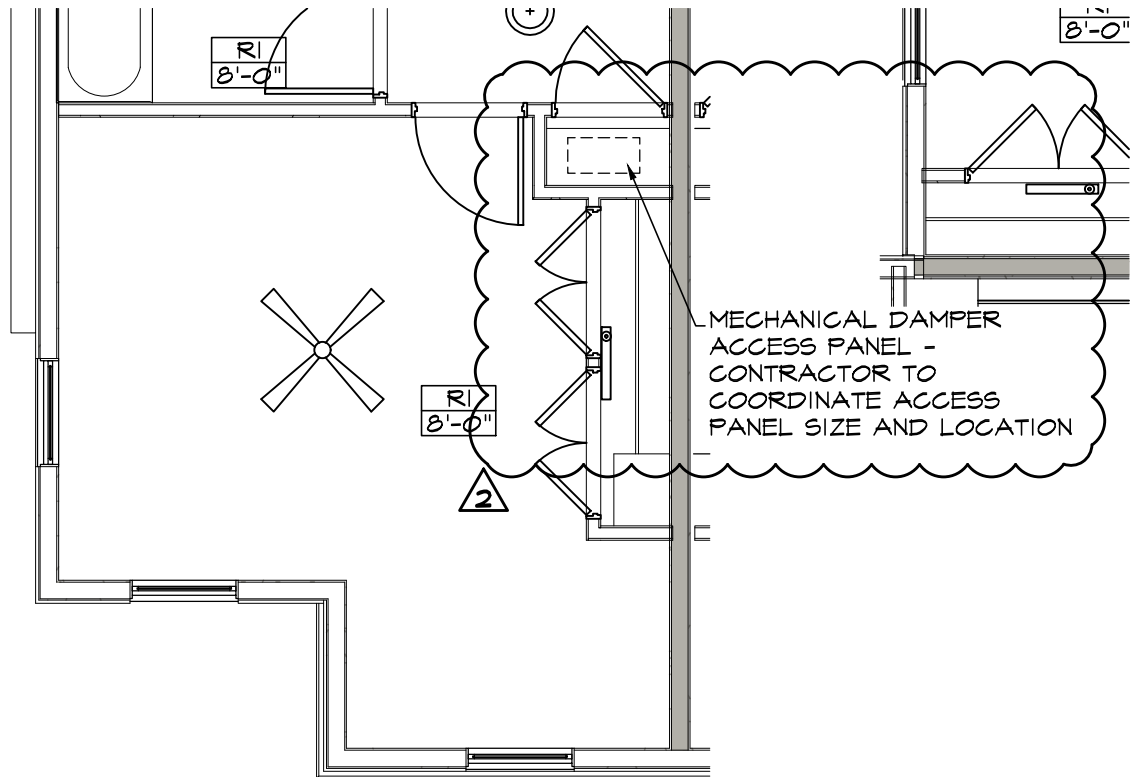
SK-53
ADD02



E wall section
 A615 $3/4" = 1'-0"$



B wall section
 A615 $3/4" = 1'-0"$



unit "B" 2br townhouse
 second floor plan
 3/16" = 1'-0"

||



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project:

Collingwood Green Phase 3

document:

Addendum 02

reference dwg.:

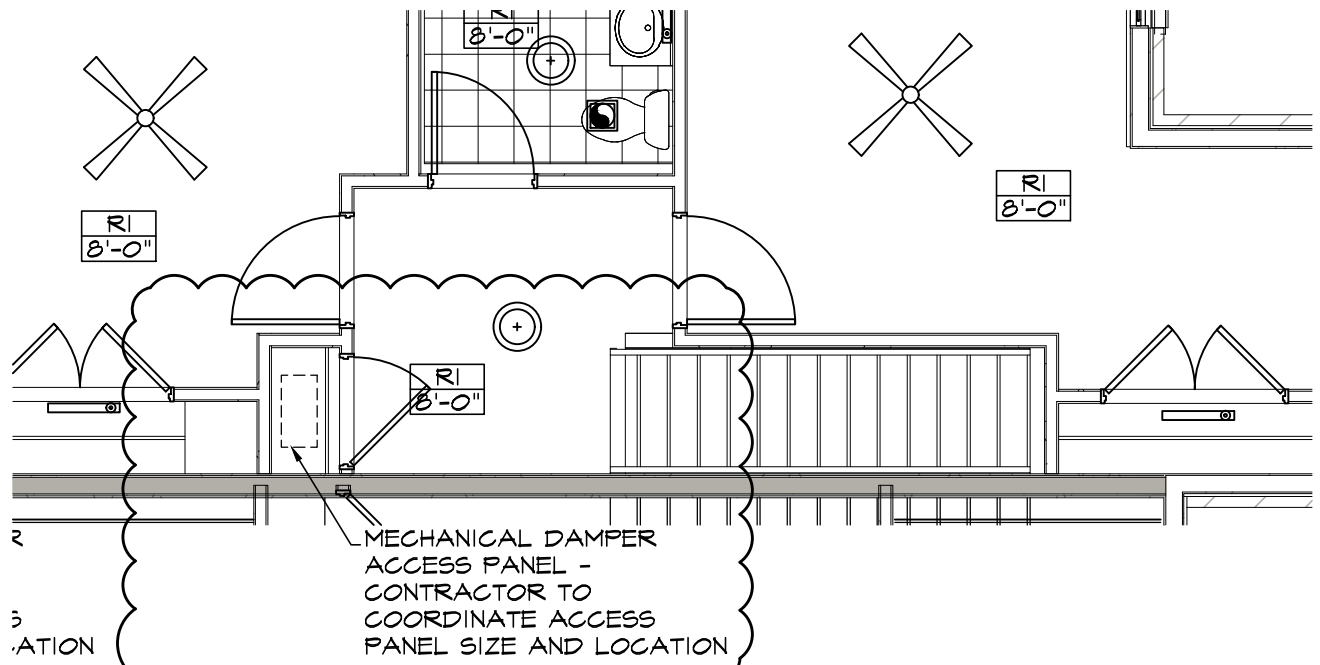
A801

date:

02/13/2017

SK-55

ADD02



2 unit "C" 3br townhouse
 second floor plan
 3/16" = 1'-0"



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project:

Collingwood Green Phase 3

document:

Addendum 02

reference dwg.:

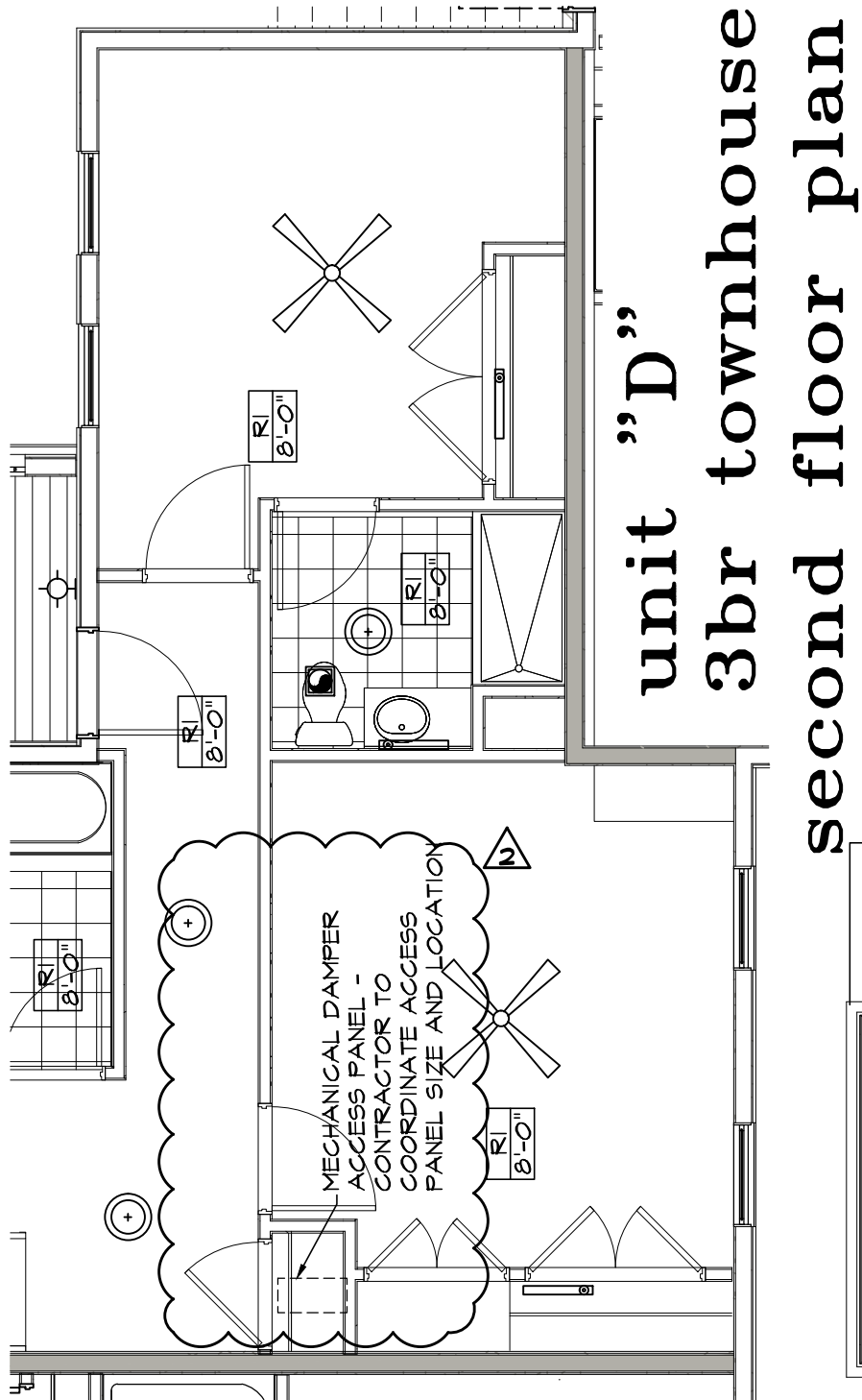
A801

date:

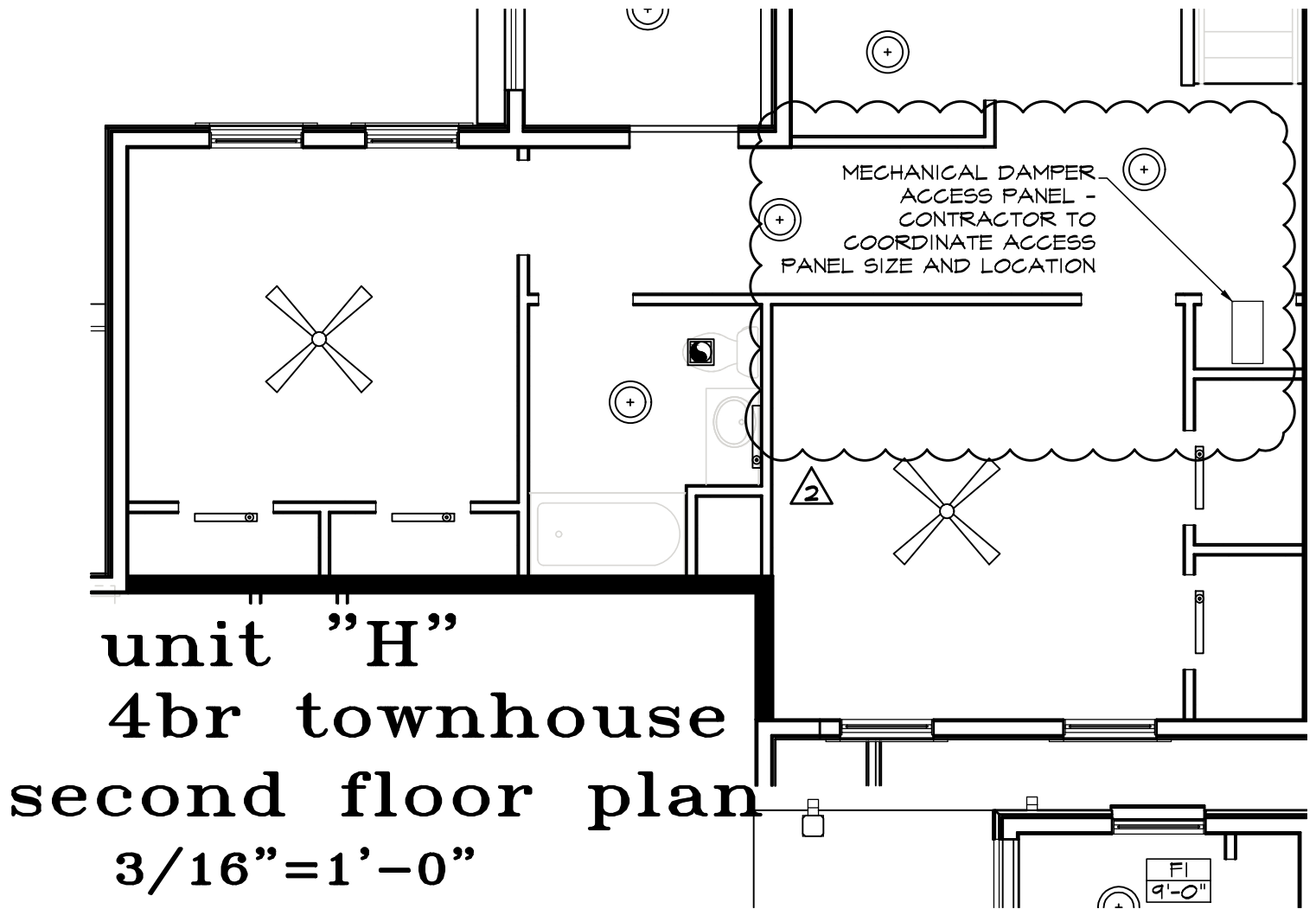
02/13/2017

SK-56

ADD02



unit "D"
3br townhouse
second floor plan



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project:

Collingwood Green Phase 3

document:

Addendum 02

reference dwg.:

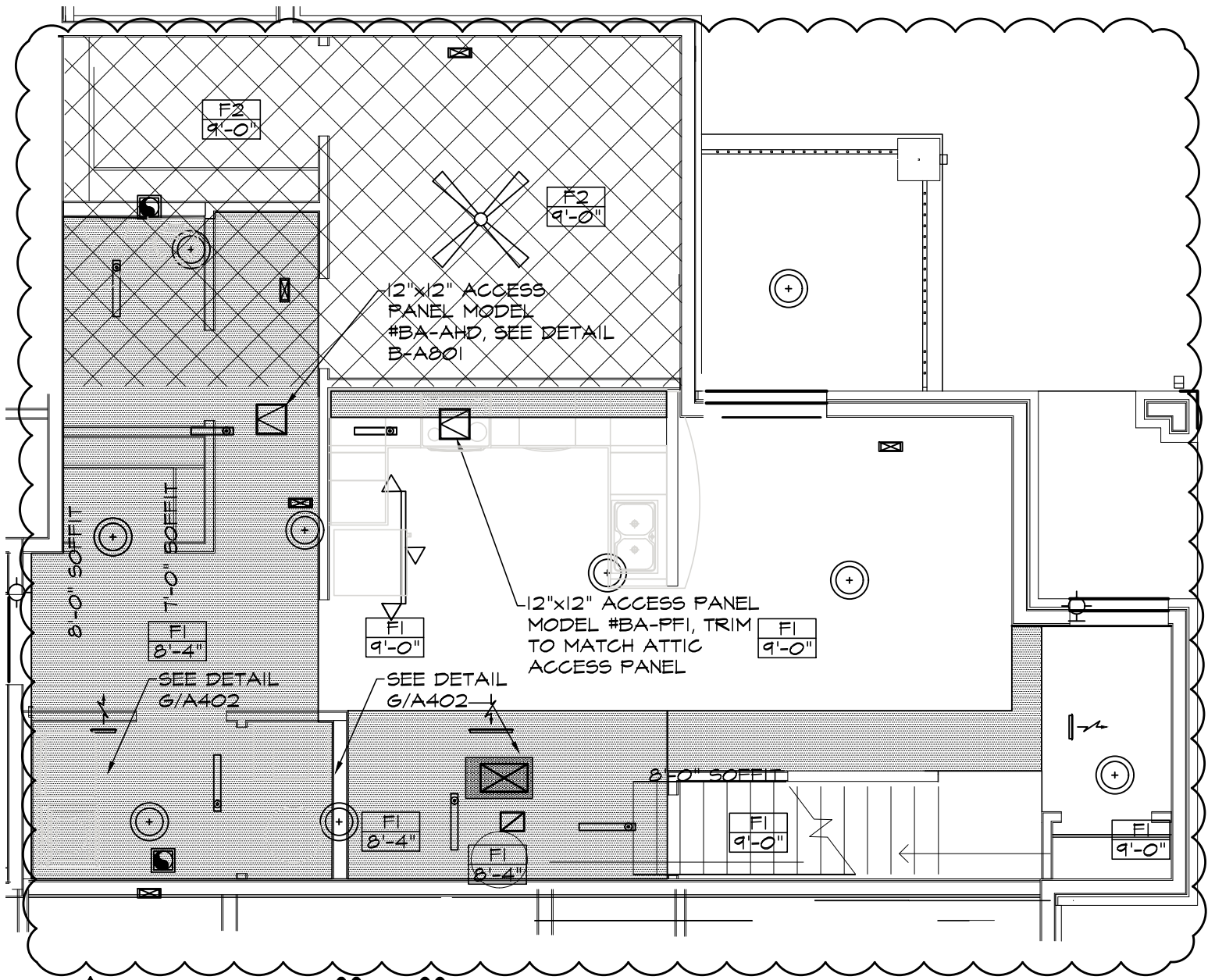
A103A - A103H (TYPICAL)

date:

02/13/2017

SK-58

ADD02



2 unit "C" 3br townhouse
 first floor plan
 3/16" = 1'-0"



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project:

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document:

Addendum 02

reference dwg.:

A801

date:

02/13/2017

SK-59

ADD02