



ADDENDUM '04'

The Proposal Drawings and Specifications, dated (01/26/2017) for:

Project Name Collingwood Green Phase 3
Toledo, Ohio

Addendum Date: March 01, 2017

NOTICE TO CONTRACTORS:

- A. This Addendum shall be considered part of the Contract Documents for the above mentioned project as though it had been issued at the same time and shall be incorporated integrally therewith. Where provisions of the following supplementary data differ from those of the original Contract Documents, this Addendum shall govern and take precedence.
- B. This Addendum is complimentary to and refers to revised drawings issued herewith this document, or provides general narrative for revisions to drawings not necessarily issued with this document.

General:

- 1. HUD forms 2328 and 5372 have been attached and will be required to be submitted by the General Contractor with their proposal.
 - a. The 5372 is to be an estimated completion schedule.
 - b. Off-site ROW work to be provided in separate attached 2328.
- 2. On the "Representations, Certifications, and Other Statements of Bidders" it has an item that a "fully executed "non-collusive Affidavit" is or is not included with the bid". This form is not in the proposal docs – Form 00 43 46 – It's in the Table of Contents, but not in the bound specs.
Form has been attached.

Site:

- 1. **Cluster Mailboxes:**
 - a. Tag identifying location of Cluster Mailbox for Block C, Block D and Block E has been added to Sheet 8/17, Sheet 12/17 and Sheet 16/17. Please note the Cluster Mailbox for Block C is existing.
 - b. Refer to attached cut sheet for detail of Cluster Box Unit model WL-4CADD-10-PBM as manufactured by Florence Manufacturing.
- 2. **Site Furnishings:**
 - a. One bench at each block to be supplied per attached specification.
 - b. One Arbor to be provided at each block per attached cut sheet.

Architectural:

- 1. Radon Mitigation: one radon mitigation pit and stack to be supplied at each building per attached detail sheet. Provide electrical junction box on roof for future fan at each stack location. Pipe will be enclosed in wall construction; location to be determined.

END OF ADDENDUM 04

Page 1

Contractor's and/or Mortgagor's Cost Breakdown Schedules of Values

U.S. Department of Housing and
Urban Development
Office of Housing
Federal Housing Commissioner

OMB No. 2502-0044 (exp. 06/30/2016)

Public reporting burden for this collection of information is estimated to average 4 hours per response, including the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information. This information is required to obtain benefits. HUD may not collect this information, and you are not required to complete this form, unless it displays a currently valid OMB Control Number.

Section 227 of the National Housing Act (Section 126 of the Housing Act of 1954, Public Law 560, 12 U.S.C., 1715r), authorizes the collection of this information. The information is required for a general contractor when an identity of interest exists between the general contractor and the mortgagor or when the mortgagor is a non-profit entity and a cost plus contract has been used. The information is used by HUD to facilitate the advances of mortgage proceeds and their monitoring.

Privacy Act Notice. The United States Department of Housing and Urban Development, Federal Housing Administration, is authorized to solicit the information requested in this form by virtue of Title 12, United States Code, Section 1701 et seq., and regulations promulgated thereunder at Title 12, Code of Federal Regulations. While no assurances of confidentiality is pledged to respondents, HUD generally discloses this data only in response to a Freedom of Information request.

Date		Sponsor	
Project No.		Building Identification	
Name of Project		Location	

This form represents the Contractors and/or Mortgagors firm costs and services as a basis for disbursing dollar amounts when insured advances are requested. Detailed instructions for completing this form are included on the reverse side.

Line	Div.	Trade Item	Cost	Trade Description
1	3	Concrete		
2	4	Masonry		
3	5	Metals		
4	6	Rough Carpentry		
5	6	Finish Carpentry		
6	7	Waterproofing		
7	7	Insulation		
8	7	Roofing		
9	7	Sheet Metal		
10	8	Doors		
11	8	Windows		
12	8	Glass		
13	9	Lath and Plaster		
14	9	Drywall		
15	9	Tile Work		
16	9	Acoustical		
17	9	Wood Flooring		
18	9	Resilient Flooring		
19	9	Painting and Decorating		
20	10	Specialties		
21	11	Special Equipment		
22	11	Cabinets		
23	11	Appliances		
24	12	Blinds and Shades, Artwork		
25	12	Carpets		
26	13	Special Construction		
27	14	Elevators		
28	15	Plumbing and Hot Water		
29	15	Heat and Ventilation		
30	15	Air Conditioning		
31	16	Electrical		
32		Subtotal (Structures)		
33		Accessory Structures		
34		Total (Lines 32 and 33)		

Line	Div.	Trade Item	Cost	Trade Description			
35	2	Earth Work					
36	2	Site Utilities					
37	2	Roads and Walks					
38	2	Site Improvements					
39	2	Lawns and Planting					
40	2	Unusual Site Condition		Nonresidential and Special Exterior Land Improvement (costs included in trade item breakdown)		Offsite Costs (costs not included in trade item breakdown)	
41		Total Land Improvements					
42		Total Struct. & Land Imprvts.		Description	Est. Cost	Description	Est. Cost
43	1	General Requirements					
44		Subtotal (Lines 42 and 43)					
45		Builder's Overhead					
46		Builder's Profit		Total \$			
47		Subtotal (Lines 44 thru 46)		Other Fees		Total \$	
48						Demolition (costs not included in trade item breakdown)	
49		Other Fees					
50		Bond Premium				Description	Est. Cost
51		Total for All Improvements					
52		Builder's Profit Paid by Means Other Than Cash					
53		Total for All Improvements Less Line 52		Total \$		Total \$	

I hereby certify that all the information stated herein, as well as any information provided in the accompaniment herewith, is true and accurate.

Warning: HUD will prosecute false claims and statements. Conviction may result in criminal and/or civil penalties. (18 U.S.C. 1001, 1010, 1012; 31 U.S.C. 3729, 3802)

Mortgagor	By	Date	
Contractor	By	Date	
FHA (Processing Analyst)	Date	FHA (Chief, Cost Branch or Cost Analyst)	Date
FHA (Chief Underwriter)		Date	

Instructions for Completing Form HUD-2328

This form is prepared by the contractor and/or mortgagor as a requirement for the issuance of a firm commitment. The firm replacement cost of the project also serves as a basis for the disbursement of dollar amounts when insured advances are requested. A detailed breakdown of trade items is provided along with spaces to enter dollar amounts and trade descriptions.

A separate form is prepared through line 32 for each **structure type**. A summation of these structure costs are entered on line 32 of a master form. Land improvements, General Requirements and Fees are completed through line 53 on the master 2328 **only**.

Date—Date form was prepared.

Sponsor—Name of sponsor or sponsoring organization.

Project No.—Eight-digit assigned project number.

Building Identification—Number(s) or Letter(s) of each building as designated on plans.

Name of Project—Sponsors designated name of project.

Location—Street address, city and state.

Division—Division numbers and trade items have been developed from the cost accounting section of the uniform system.

Accessory Structures—This item reflects structures, such as: community, storage, maintenance, mechanical, laundry and project office buildings. Also included are garages and carports or other buildings.

When the amount shown on line 33 is \$20,000.00 or 2% of line 32 whichever is the lesser, a separate form HUD-2328 will be prepared through line 32 for Accessory Structures.

Unusual Site Conditions—This trade item reflects rock excavation, high water table, excessive cut and fill, retaining walls, erosion, poor drainage and other on-site conditions considered unusual.

Cost—Enter the cost being submitted by the Contractor or bids submitted by a qualified subcontractor for each trade item. These costs will include, as a minimum, prevailing wage rates as determined by the Secretary of Labor.

Trade Description—Enter a brief description of the work included in each trade item.

Other Fees—Includable are fees to be paid by the Contractor, such as sewer tap fees not included in the plumbing contract. Fees paid or to be paid by the Mortgagor are not to be included on this form.

Total For All Improvements—This is the sum of lines 1 through 50 and is to include the total builder's profit (line 46).

Line 52—When applicable, enter that portion of the builder's profit (line 46) to be paid by means other than cash and/or any part of the builder's profit to be waived during construction.

Non-Residential and Special Exterior Land Improvement Costs—Describe and enter the cost of each improvement, i.e. on-site parking facilities including individual garages and carports, commercial facilities, swimming pools with related facilities and on-site features provided to enhance the environment and livability of the project and the neighborhood. The Design Representative and Cost Analyst shall collaborate with the mortgagor or his representative in designating the items to be included.

Off-Site Costs—Enter description and dollar amount including fees and bond premium for off-site improvements.

Demolition—Enter description and dollar amount of demolition work necessary to condition site for building improvements including the removal of existing structures, foundations, utilities, etc.

Other Fees—Enter a brief description of item involved and cost estimate for each item.

Signatures—Enter the firm name, signature of authorized officer of the contractor and/or mortgagor and date the form was completed.

Construction Progress Schedule

U.S. Department of Housing and Urban Development
Office of Public and Indian Housing

OMB Approval No. 2577-0157 (Exp. 1/31/2017)

Public reporting burden for this collection of information is estimated to average 1 hour per response, including the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information. This agency may not conduct or sponsor, and a person is not required to respond to, a collection of information unless that collection displays a valid OMB control number.

Construction practices and HUD administrative requirements establish the need that HAs maintain certain records or submit certain documents in conjunction with the oversight of the award of construction contracts for the construction of new low-income housing developments or modernization of existing developments. These forms are used by HAs to provide information on the construction progress schedule and schedule of amounts for contract payments. Responses to the collection of information are required to obtain a benefit or to retain a benefit. The information requested does not lend itself to confidentiality.

1. Name of Public Housing Agency/Indian Housing Authority (PHA/IHA)

2. City		3. State	5. Project Name				
4. Location			6. Project Number				
7. Contract For			8. Contract Time (Days)				
9. From (mm/dd/yyyy)		To (mm/dd/yyyy)	10. Contract Price \$				
11. Number of Buildings		12. Number of Dwelling Units			13. Number of Rooms		

(Submit as many pages as necessary to cover the construction period.)	Year						
	(yyy)	Month					
Actual Monthly Value, Work in Place	(\$)						
Actual Accumulated Progress	(%)						
Anticipated Monthly Value	(\$)						
Accumulated Scheduled Progress	(%)						

Submitted by	Contractor's Name		
	Title	Signature	Date (mm/dd/yyyy)
Approved by	PHA/IHA		
	Title		Date (mm/dd/yyyy)
Approved by	Architect		Date (mm/dd/yyyy)

**Instructions for Preparation of Construction Progress Schedule
Form HUD-5372**

General. The information required for items 1 through 6 can be obtained from the contract documents. (7.) Enter the type of work awarded by the PHA/IHA. This may be "general construction," "plumbing," "heating," "electrical," etc., depending upon prime contract awards. (8.) Enter the contract time in calendar days (unless otherwise stated). (9.) Enter the starting and completion dates as established by the Notice to Proceed.

Year and Month. At the top of the Schedule, space is provided for inserting the "Year" and "Month" to identify the times during which the work is to be performed.

Year. Enter the year when the Notice to Proceed was issued. If the starting date of the contract is such that the time assigned for completion will be carried into a succeeding year, two yearly designations will be shown, each centered over the applicable spread of time for each year.

Month. The body of the Schedule is divided into Columns, each representing a period of one month. Starting in the Column with the month stated in the Notice to Proceed, enter at the top of each column the successive months corresponding to the entire spread of the total contract time. The Schedule must contain monthly columns to cover the entire active period of contract, with extra columns for possible overruns in contract time.

Computation of Anticipated Monthly Value of Work in Place

Before presenting the form for approval, enter in each monthly column the dollar value (omit cents) of the increment of work anticipated to be put in place during that interval of time. This shall be the Contractor's best estimate of the rate of progress for each month. This section contains a suggested guide for the elapsed contract time vs. progress percentages.

The horizontal total of the monthly dollars shown for "Anticipated Monthly Value" must equal the contract price shown in the heading.

Accumulated Scheduled Progress – %

Entries on this line shall show in percentage of total completion the cumulative stage of progress that is scheduled to be reached at the end of each monthly interval. It is generally sufficient to state this anticipated progress to the nearest tenth of one percent, but for very large contracts it may be advisable to extend computations to the nearest hundredth.

The entry for the first month's column should be the % obtained by the anticipated monthly dollar value of work in place at the close of the first month being divided by the contract price.

The entry for the second month's column is obtained by the sum of the anticipated monthly dollar values of work in place for Columns 1 and 2 being divided by the contract price.

Enter in the third month's column the percentage computed similarly, using the sum of dollar values of work in place for Columns 1, 2, and 3. Continue in this manner for the succeeding monthly columns until "100" is reached in the final column.

Charting Actual Progress. The horizontal space extending through the monthly columns is divided into "Actual Monthly Value of Work in Place – \$" and "Actual Accumulated Progress – %." In each monthly column show the actual accumulated % of progress and the actual value of work in place for that month, as the work progresses. An anticipated complete shutdown at some stage in the work because of adverse seasonal weather or otherwise, as may occur in road work, excavation (grading), etc., is readily shown by a gap.

The Contractor's name shall be placed in the lower left-hand corner of the form, together with the signature and title of the employee who prepared the Schedule and the date. The form then shall be sent to the Architect for review. If the Architect considers that changes are necessary to make the Schedule more realistic, it will withhold approval and so advise the Contractor. When the form is acceptable and approved by the Architect, and the PHA/ IHA, it will be returned to the Contractor, who shall reproduce and submit the number and style of prints required by the PHA/ IHA.

Normal building construction experience has proved that the rate of overall progress (as measured by work in place) accelerates slowly at the start, reaches its peak in the middle third of the construction period, and tapers down at the close. The data following illustrate the general average expectancy of a well-balanced operation and may be used as a guide. If the proposed progress lies within reasonable range of these check points, the Schedule may be considered satisfactory insofar as the time-performance feature is involved.

% of Contract Time	% of Contract Accumulated Progress
0	
10	
20	28
30	20
40	37
50	57
60	75
70	89
80	96
90	99
100	100

The foregoing percentages must be tempered by consideration of seasonal weather conditions and other known conditions which may affect the progress of the work. These percentages are offered for information only.

LUCAS METROPOLITAN HOUSING AUTHORITY

Collingwood Green Phase III

NON-COLLUSIVE AFFIDAVIT

State of _____

County of _____

_____, being first duly sworn, deposes and says:

That he/she is _____, the party making the foregoing proposal or bid, that such proposal or bid is genuine and not collusive or sham; that said bidder has not colluded, conspired, connived or agreed, directly or indirectly, with any bidder or person, to put in a sham bid or to refrain from bidding, and has not in any manner, directly or indirectly, sought by agreement or collusion, or communication or conference, with any person, to fix the bid price or affiant, or of any other bidder, or to fix any overhead, profit or cost element of said bid price, or of that of any other bidder, or to secure any advantage against the Lucas Metropolitan Housing Authority or any person interested in the proposed contract; and that all statements in said proposal or bid are true.

Subscribed and sworn to before me this _____ day of _____, 20__.

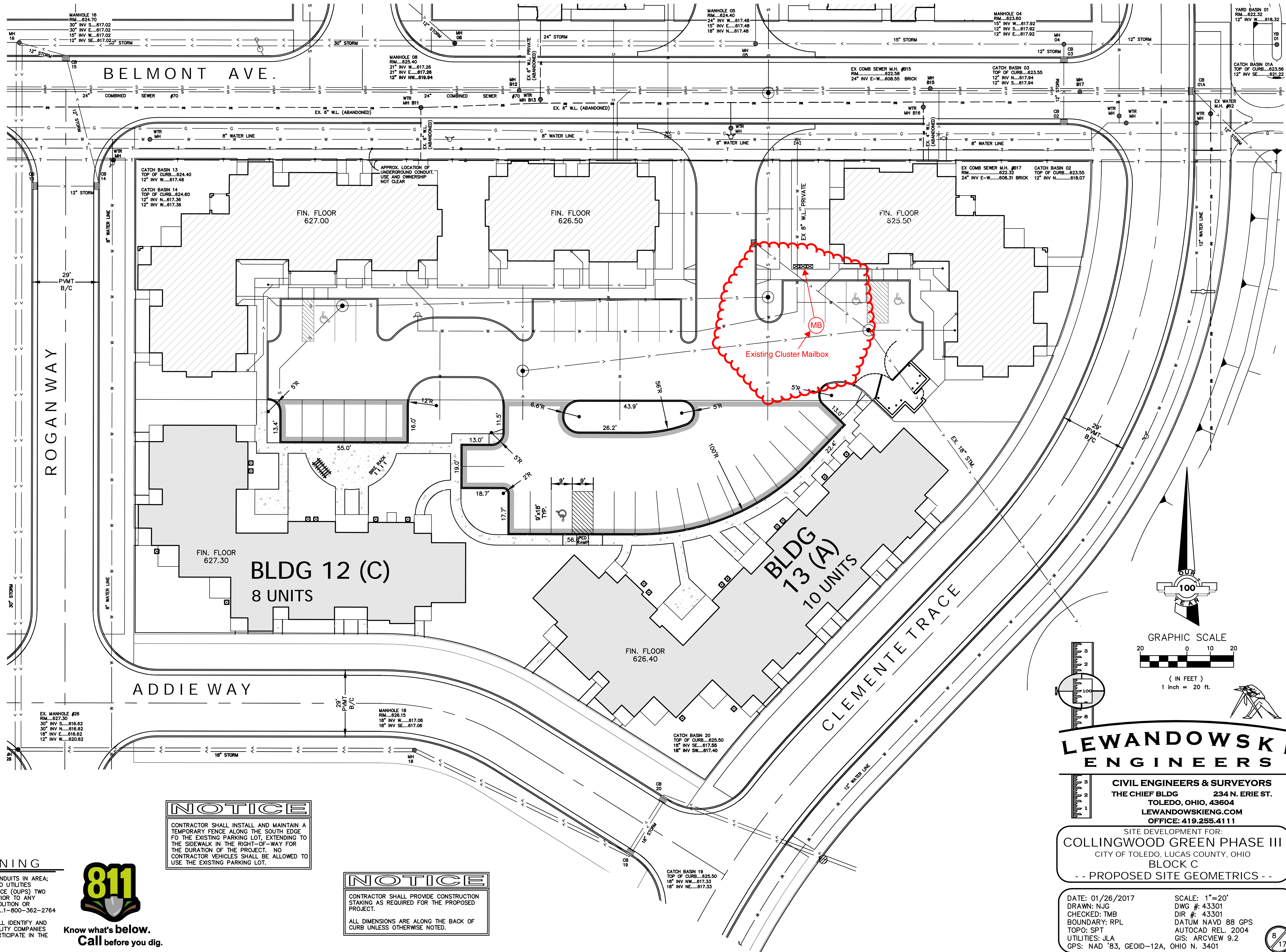
Notary Public

My commission expires _____.

SITE DEVELOPMENT FOR: LMHA COLLINGWOOD GREEN PHASE III CITY OF TOLEDO, LUCAS COUNTY, OHIO

BENCHMARKS

- LE SITE BENCH MARK #5
NORTHWEST BOLT ON BRIDGE RAIL ON
NORTH SIDE OF NEBRASKA
ELEVATION.....635.92
- LE SITE BENCH MARK #11
SOUTHEAST CORNER OF THE BOTTOM STEP
OF ST. MARY'S MISSIONARY BAPTIST
CHURCH
ELEVATION.....627.60
- SITE BENCH MARK #12
HEAD OF MAG NAIL IN POWER POLE 340'±
EAST OF DIVISION ON THE NORTH SIDE OF
AVONDALE
ELEVATION.....630.60
- RBM #1
CONCRETE MONUMENT w/DIMPLE AT THE
INTERSECTION OF DIVISION AND AVONDALE
ELEVATION.....627.77
- RBM #2
NE B-BOLT ON NEW HYDRANT AT
SOUTHEAST CORNER OF AVONDALE AND
DIVISION
ELEVATION.....629.91
- RBM #3
NE B-BOLT ON NEW HYDRANT SOUTH SIDE
OF AVONDALE AT EAST END OF STREET
ELEVATION.....630.65
- RBM #5
"X" SET ON SOUTHEAST CORNER OF CURB
INLET TOC METAL BACK, 200'± NORTH OF
NEBRASKA ON EAST SIDE OF WELER
ELEVATION.....625.32
- RBM #6
NE B-BOLT ON NEW HYDRANT 300'± SOUTH
OF BELMONT ON EAST SIDE OF WELER
ELEVATION.....622.91



LEGEND

- | | |
|-------------------------------|-------|
| ELECTRIC | E |
| FIBER OPTIC | FO |
| GAS | G |
| SANITARY | S |
| STORM | > |
| WATER | W |
| TELEPHONE | T |
| FENCE | X |
| OVERHEAD ELECTRIC | OHE |
| OVERHEAD TELEPHONE | OHT |
| OVERHEAD TELEPHONE & ELECTRIC | OHT&E |
| GUARDRAIL | CB |
| CATCH BASIN | CB |
| CURB INLET | CI |
| MANHOLE | MH |
| YARD BASIN | YB |
| HYDRANT | H |
| VALVE | V |
| POWER POLE | PP |
| GUY WIRE | GW |
| YARD LIGHT | YL |
| GUY/MISC. POLE | GM |
| FLAGPOLE | FP |
| STREET LIGHT | SL |
| TRAFFIC SIGNAL | TS |
| BOLLARD | B |
| METER | M |
| ID SIGN | IS |
| SIGN | S |
| TRANSFORMER | TR |

TREE - CONIFEROUS

TREE - DECIDUOUS

Cluster Mailbox
See Spec and Detail A
Sheet 12/17

WARNING

UNDERGROUND CONDUITS IN AREA:
CONTACT THE OHIO UTILITIES
PROTECTION SERVICE (OUPS) TWO
WORKING DAYS PRIOR TO ANY
EXCAVATION, DEMOLITION OR
CONSTRUCTION.....1-800-362-2764

CONTRACTOR SHALL IDENTIFY AND
CONTACT ANY UTILITY COMPANIES
THAT DO NOT PARTICIPATE IN THE
OUPS SYSTEM.

811
Know what's below.
Call before you dig.

NOTICE

CONTRACTOR SHALL INSTALL AND MAINTAIN A TEMPORARY FENCE ALONG THE SOUTH EDGE OF THE EXISTING PARKING LOT, EXTENDING TO THE SIDEWALK IN THE RIGHT-OF-WAY FOR THE DURATION OF THE PROJECT. NO CONTRACTOR VEHICLES SHALL BE ALLOWED TO USE THE EXISTING PARKING LOT.

NOTICE

CONTRACTOR SHALL PROVIDE CONSTRUCTION STAKING AS REQUIRED FOR THE PROPOSED PROJECT.

ALL DIMENSIONS ARE ALONG THE BACK OF CURB UNLESS OTHERWISE NOTED.

LMHA
Collingwood
Green, Phase III
Toledo, Ohio



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ARCHITECTS AND ENGINEERS
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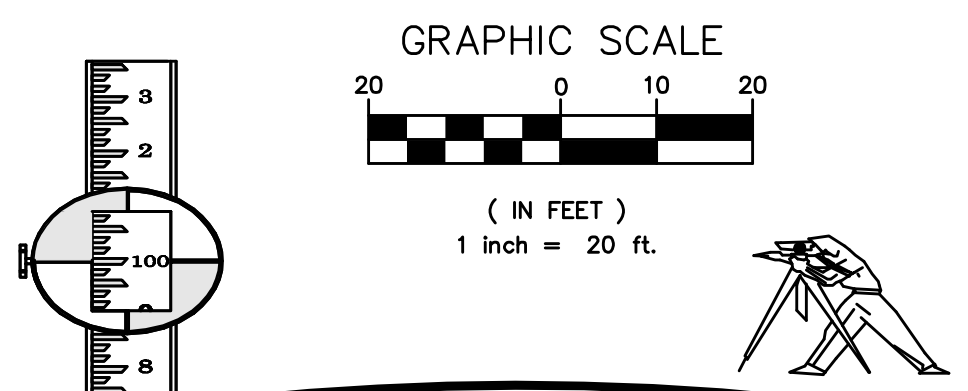
THE INFORMATION SHOWN HEREIN IS THE SOLE PROPERTY OF BERARDI + PARTNERS, INC. ARCHITECTS AND ENGINEERS, AND MAY NOT BE REPRODUCED WITHOUT ITS WRITTEN PERMISSION.

NOTE:
1. ALL READERS SHALL VISIT THE SITE AND BECOME FAMILIAR W/ THE EXISTING CONDITIONS AND REQUIREMENTS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY ERRORS AND OMISSIONS SUBSEQUENTLY DISCOVERED IN THE CONTRACT DOCUMENTS.
2. THE CONTRACT DOCUMENTS ARE COMPOSED OF THE DRAWINGS AND SPECIFICATIONS AND ANY SUPPLEMENTARY DOCUMENTS IS DEPENDENT UPON AND COMPLEMENTARY OF EACH OTHER. SEPARATION OF THE CONTRACT DOCUMENTS SHALL NOT BE PERMITTED. IF THE CONTRACTOR CHOOSES TO SEPARATE THE DOCUMENTS, THEY DO SO AT THEIR OWN RISK AND EXPENSE.
3. ADDITIONALLY, SEE GENERAL INFORMATION ON "A0" SHEETS.
4. THE CLIENT ACKNOWLEDGES THE CONSULTANT'S (ARCHITECT) DRAWINGS AND SPECIFICATIONS INCLUDING ALL DOCUMENTS OR ELECTRONIC MEDIA AS INSTRUMENTS OF THE CONSULTANT'S (ARCHITECT) PROFESSIONAL SERVICE. THE CLIENT SHALL NOT REUSE OR MAKE OR PERMIT TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE WRITTEN APPROVAL OF THE CONSULTANT (ARCHITECT). THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT) ARISING FROM ANY UNAUTHORIZED TRANSFER, REUSE OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.
5. ARCHITECT CANNOT WARRANT THE ACCURACY OF DATA CONTAINED HEREIN. ANY USE OR REUSE OF ORIGINAL OR ALTERED CAD/DWG MATERIALS BY THE USER OR OTHER PARTIES WITHOUT THE REVIEW AND WRITTEN APPROVAL OF THE ARCHITECT SHALL BE AT THE USER'S RISK OF THE USER. FURTHERMORE, USER AGREES TO DEFEND, INDEMNIFY, AND HOLD ARCHITECT HARMLESS FROM ALL CLAIMS, DAMAGES, LOSSES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE MODIFICATION OR REUSE OF THESE MATERIALS.
6. THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS ARE UNENFORCEABLE AND ARE NOT MEANT TO BE ENFORCED. LOCATIONS OF CURBS, REVISIONS, AND OTHER INFORMATION SHOWN HEREIN SHALL NOT BE SOLELY DEPENDENT UPON THE DRAWINGS AND OTHER APPLICABLE CODE REQUIREMENTS SHALL BE REVIEWED BY AND ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY INFORMATION FROM THESE DRAWINGS SHALL BE OF USE ONLY IN CASES OF ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT.

Proposal
Set

PROJECT DATE: 01/26/2017
PROJECT #: 14105

Issue	Description	Date
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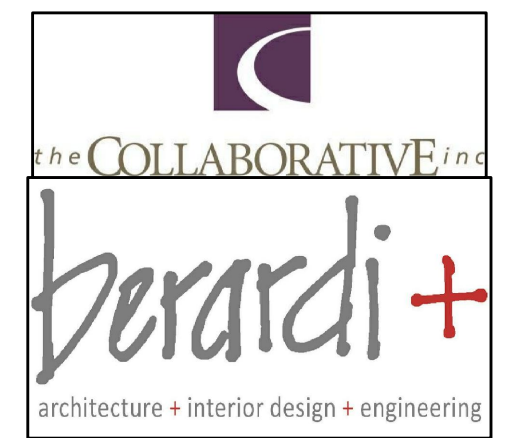


LEWANDOWSKI ENGINEERS

CIVIL ENGINEERS & SURVEYORS
THE CHIEF BLDG 234 N. ERIE ST.
TOLEDO, OHIO, 43604
LEWANDOWSKIENG.COM
OFFICE: 419.255.4111

SITE DEVELOPMENT FOR:
COLLINGWOOD GREEN PHASE III
CITY OF TOLEDO, LUCAS COUNTY, OHIO
BLOCK C
-- PROPOSED SITE GEOMETRICS --

DATE: 01/26/2017	SCALE: 1"=20'
DRAWN: NJG	DWG #: 43301
CHECKED: TMB	DIR #: 43301
BOUNDARY: RPL	DATUM: NAVD 88 GPS
TOPO: SPT	AUTOCAD REL: 2004
UTILITIES: JLA	GIS: ARCVIEW 9.2
GPS: NAD '83, GEOID-12A, OHIO N. 3401	



SITE DEVELOPMENT FOR: LMHA COLLINGWOOD GREEN PHASE III CITY OF TOLEDO, LUCAS COUNTY, OHIO

BENCHMARKS

LE SITE BENCH MARK #5
NORTHWEST BOLT ON BRIDGE RAIL ON
NORTH SIDE OF NEBRASKA
ELEVATION.....635.92

LE SITE BENCH MARK #11
SOUTHEAST CORNER OF THE BOTTOM STEP
OF ST. MARY'S MISSIONARY BAPTIST
CHURCH
ELEVATION.....627.60

SITE BENCH MARK #12
HEAD OF MAG NAIL IN POWER POLE 340'±
EAST OF DIVISION ON THE NORTH SIDE OF
AVONDALE
ELEVATION.....630.60

RBM #1
CONCRETE MONUMENT w/DIMPLE AT THE
INTERSECTION OF DIVISION AND AVONDALE
ELEVATION.....627.77

RBM #2
NE B-BOLT ON NEW HYDRANT AT
SOUTHEAST CORNER OF AVONDALE AND
DIVISION
ELEVATION.....629.91

RBM #3
NE B-BOLT ON NEW HYDRANT SOUTH SIDE
OF AVONDALE AT EAST END OF STREET
ELEVATION.....630.65

RBM #5
"X" SET ON SOUTHEAST CORNER OF CURB
INLET TOC METAL BACK, 200'± NORTH OF
NEBRASKA ON EAST SIDE OF WELER
ELEVATION.....625.32

RBM #6
NE B-BOLT ON NEW HYDRANT 300'± SOUTH
OF BELMONT ON EAST SIDE OF WELER
ELEVATION.....622.91

LEGEND

ELECTRIC	E
FIBER OPTIC	FO
GAS	G
SANITARY	S
STORM	>
WATER	W
TELEPHONE	T
FENCE	X
OVERHEAD ELECTRIC	OHE
OVERHEAD TELEPHONE	OHT
OVERHEAD TELEPHONE & ELECTRIC	OHT&E
GUARDRAIL	GR
CATCH BASIN	CB
CURB INLET	CI
MANHOLE	MH
YARD BASIN	YB
HYDRANT	H
VALVE	V
POWER POLE	PP
GUY WIRE	GW
YARD LIGHT	YL
GUY/MISC. POLE	GM
FLAGPOLE	FP
STREET LIGHT	SL
TRAFFIC SIGNAL	TS
BOLLARD	B
METER	M
ID SIGN	IS
SIGN	S
TRANSFORMER	TR
TREE - CONIFEROUS	TR
TREE - DECIDUOUS	TR

Cluster Mailbox
See Spec and Detail A
Sheet 12/17

WARNING

UNDERGROUND CONDUITS IN AREA;
CONTACT THE OHIO UTILITIES
PROTECTION SERVICE (OUPS) TWO
WORKING DAYS PRIOR TO ANY
EXCAVATION, DEMOLITION OR
CONSTRUCTION.....1-800-362-2764

CONTRACTOR SHALL IDENTIFY AND
CONTACT ANY UTILITY COMPANIES
THAT DO NOT PARTICIPATE IN THE
OUPS SYSTEM.

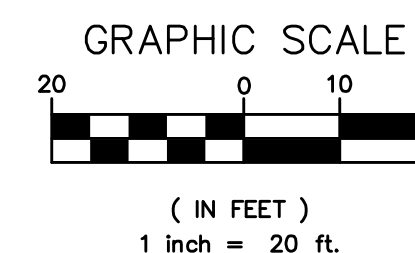
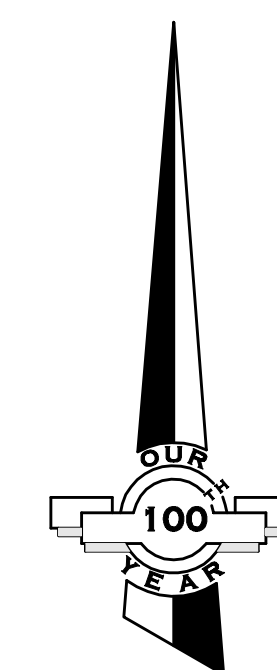
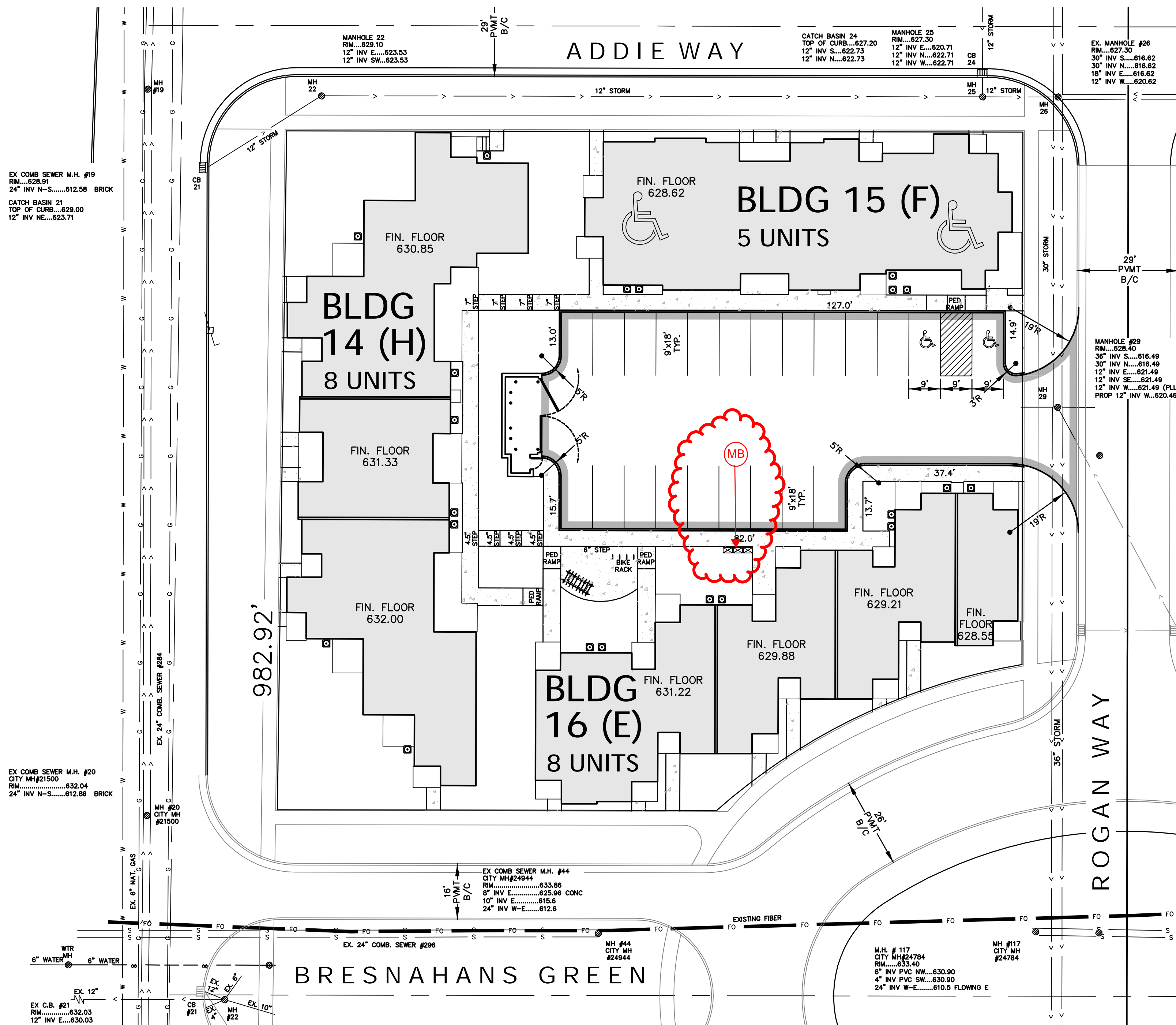


Know what's below.
Call before you dig.

NOTICE

CONTRACTOR SHALL PROVIDE CONSTRUCTION
STAKING AS REQUIRED FOR THE PROPOSED
PROJECT.

ALL DIMENSIONS ARE ALONG THE BACK OF
CURB UNLESS OTHERWISE NOTED.



Add Cluster
Mailbox Detail
Plan and
Elevation

LMHA
Collingwood
Green, Phase III
Toledo, Ohio



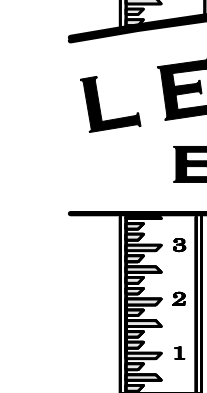
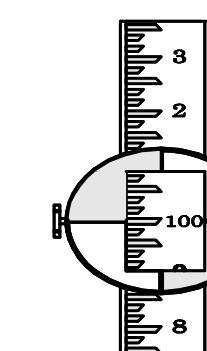
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 - THE CONTRACT DOCUMENTS ARE COMPOSED OF THE DRAWINGS AND
SPECIFICATIONS WITHOUT THE PRIOR WRITTEN APPROVAL OF
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THE DOCUMENTS, THEY DO SO AT THEIR OWN RISK AND EXPENSE.
 - ADDITIONALLY, SEE GENERAL INFORMATION ON "A" SHEETS.
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OTHER PARTIES WITHOUT THE READER AND WRITER
APPROVAL OF THE ARCHITECT SHALL BE AT THE SOLE
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DYNAMIC AND ARE MEANT TO BE USED IN CONJUNCTION WITH
LOCATIONS OF CURBS, REQUIREMENTS. THESE DRAWINGS SHALL NOT
BE SOLID EXISTING AND LOCAL ONE REQUIREMENTS AND OTHER
APPLICABLE CODE REQUIREMENTS SHALL BE OBSERVED BY AND
ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
ANY INFORMATION WHICH DIRECTLY CONTRADICTS ANY OF THESE
ORDERS OR ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS
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Proposal
Set

PROJECT DATE: 01/26/2017
PROJECT #: 14105

Issue	Description	Date

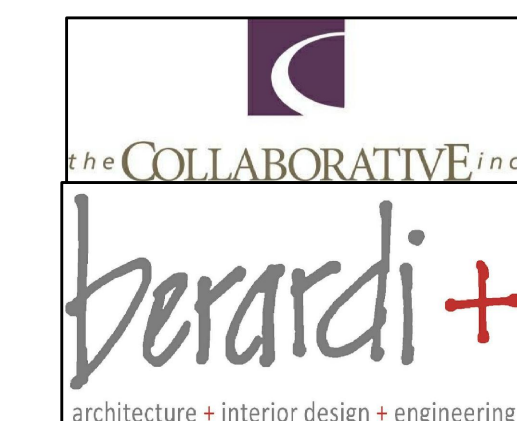


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CIVIL ENGINEERS & SURVEYORS
THE CHIEF BLDG 234 N. ERIE ST.
TOLEDO, OHIO, 43604
LEWANDOWSKIENG.COM
OFFICE: 419.255.4111

SITE DEVELOPMENT FOR:
COLLINGWOOD GREEN PHASE III
CITY OF TOLEDO, LUCAS COUNTY, OHIO
BLOCK D
-- PROPOSED SITE GEOMETRICS --

DATE: 01/26/2017 SCALE: 1"=20'
DRAWN: NJG DWG #: 43301
CHECKED: TMB DIR #: 43301
BOUNDARY: RPL DATUM NAVD 88 GPS
TOPO: SPT AUTOCAD REL. 2004
UTILITIES: JLA GIS: ARCVIEW 9.2
GPS: NAD '83, GEOID-12A, OHIO N. 3401



1398 Goodale Blvd., Columbus, Ohio 43212
Phone (614)221-1110 Fax (614)221-0831
www.berardipartners.com

SITE DEVELOPMENT FOR: LMHA COLLINGWOOD GREEN PHASE III CITY OF TOLEDO, LUCAS COUNTY, OHIO

BENCHMARKS

- LE SITE BENCH MARK #5
NORTHWEST BOLT ON BRIDGE RAIL ON
NORTH SIDE OF NEBRASKA
ELEVATION.....635.92
- LE SITE BENCH MARK #11
SOUTHEAST CORNER OF THE BOTTOM STEP
OF ST. MARY'S MISSIONARY BAPTIST
CHURCH
ELEVATION.....627.60
- SITE BENCH MARK #12
HEAD OF MAG NAIL IN POWER POLE 340'±
EAST OF DIVISION ON THE NORTH SIDE OF
AVONDALE
ELEVATION.....630.60
- RBM #1
CONCRETE MONUMENT w/DIMPLE AT THE
INTERSECTION OF DIVISION AND AVONDALE
ELEVATION.....627.77
- RBM #2
NE B-BOLT ON NEW HYDRANT AT
SOUTHEAST CORNER OF AVONDALE AND
DIVISION
ELEVATION.....629.91
- RBM #3
NE B-BOLT ON NEW HYDRANT SOUTH SIDE
OF AVONDALE AT EAST END OF STREET
ELEVATION.....630.65
- RBM #5
"X" SET ON SOUTHEAST CORNER OF CURB
INLET FOC METAL BACK, 200'± NORTH OF
NEBRASKA ON EAST SIDE OF WELER
ELEVATION.....625.32
- RBM #6
NE B-BOLT ON NEW HYDRANT 300'± SOUTH
OF BELMONT ON EAST SIDE OF WELER
ELEVATION.....622.91

LEGEND

- | | |
|-------------------------------|-------|
| ELECTRIC | E |
| FIBER OPTIC | FO |
| GAS | G |
| SANITARY | S |
| STORM | > |
| WATER | W |
| TELEPHONE | T |
| FENCE | X |
| OVERHEAD ELECTRIC | OHE |
| OVERHEAD TELEPHONE | OHT |
| OVERHEAD TELEPHONE & ELECTRIC | OHT&E |
| GUARDRAIL | CB |
| CATCH BASIN | CB |
| CURB INLET | CI |
| MANHOLE | MH |
| YARD BASIN | YB |
| HYDRANT | HD |
| VALVE | V |
| POWER POLE | PP |
| GUY WIRE | GW |
| YARD LIGHT | YL |
| GUY/MISC. POLE | GM |
| FLAGPOLE | FP |
| STREET LIGHT | SL |
| TRAFFIC SIGNAL | TS |
| BOLLARD | B |
| METER | M |
| ID SIGN | IS |
| SIGN | S |
| TRANSFORMER | TR |
| TREE - CONIFEROUS | CT |
| TREE - DECIDUOUS | CD |

Cluster Mailbox
See Spec and Detail A
Sheet 12/17

WARNING

UNDERGROUND CONDUITS IN AREA;
CONTACT THE OHIO UTILITIES
PROTECTION SERVICE (OUPS) TWO
WORKING DAYS PRIOR TO ANY
EXCAVATION, DEMOLITION OR
CONSTRUCTION.....1-800-362-2764

CONTRACTOR SHALL IDENTIFY AND
CONTACT ANY UTILITY COMPANIES
THAT DO NOT PARTICIPATE IN THE
OUPS SYSTEM.



Know what's below.
Call before you dig.

LIMITS

CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING SITE OUTSIDE OF RIGHT-OF-WAY. CONTRACTOR SHALL BE RESPONSIBLE TO GRADE OUTSIDE OF THESE LIMITS AT A 3:1 MAXIMUM SLOPE TO MATCH THE EXISTING GRADE.

CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL THE CURB CUT, PLACE THE STONE BASE FOR THE DRIVE APPROACH WITHIN THE RIGHT-OF-WAY AND PLACE TEMPORARY STONE AS NEEDED TO MATCH GRADE FROM THE RIGHT-OF-WAY TO THE EXISTING ROADWAY.

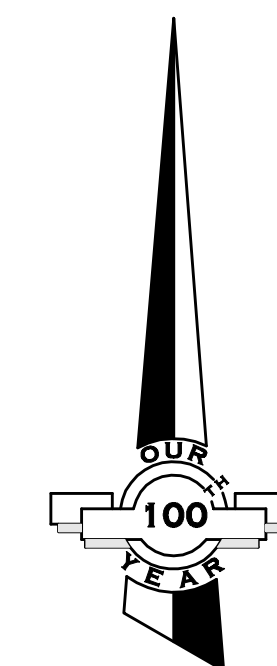
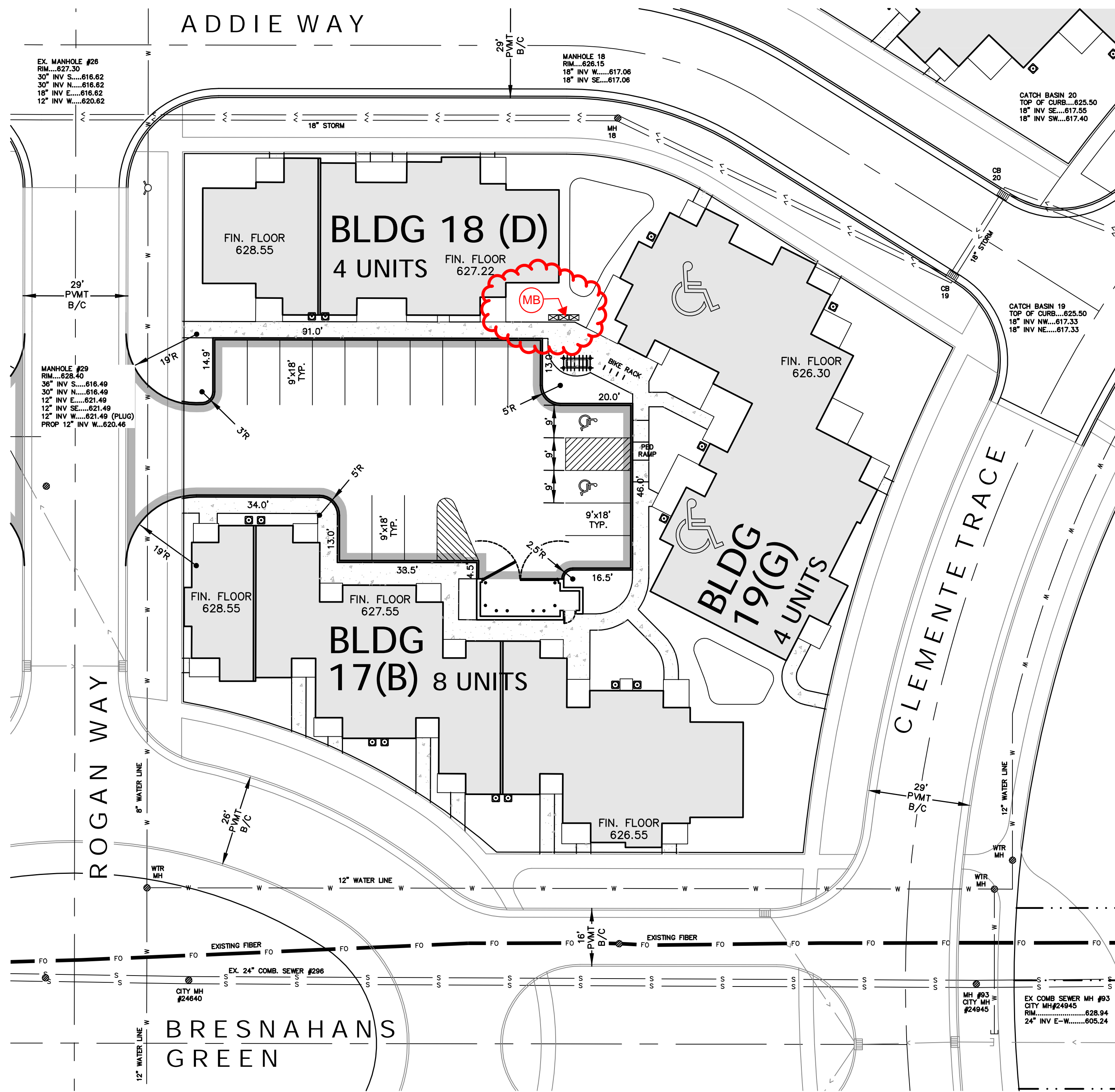
IMPROVEMENTS TO THE RIGHT-OF-WAYS, INCLUDING SIDEWALK AND DRIVE APPROACH CONCRETE SHALL BE COMPLETED BY OTHERS.

NOTICE

ALL GRADES ARE TOP OF PAVEMENT GRADES. ADD 0.50' TO GET TOP CURB GRADE; SEE SITE GEOMETRICS FOR LOCATIONS OF FLUSH CURB

NOTICE

CONTRACTOR SHALL RE-GRADE ALL LAWN AREAS AT A MAXIMUM SLOPE OF 3:1 FROM PROPOSED PAVEMENT/CURB TO EXISTING LAWN. THE CONTRACTOR SHALL PLACE A MINIMUM OF 2" TOPSOIL, SEED AND MULCH ON ALL DISTURBED AREAS.



(IN FEET)
1 inch = 20 ft.

LMHA
Collingwood
Green, Phase III
Toledo, Ohio



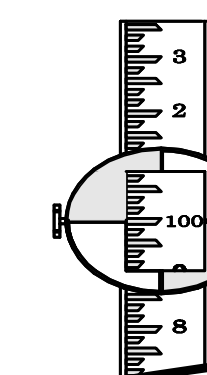
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Proposal Set

PROJECT DATE: 01/26/2017
PROJECT #: 14105

Issue	Description	Date



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SITE DEVELOPMENT FOR:
COLLINGWOOD GREEN PHASE III
CITY OF TOLEDO, LUCAS COUNTY, OHIO
BLOCK E
-- PROPOSED SITE GEOMETRICS --

DATE: 01/26/2017 SCALE: 1"=20'
DRAWN: NJG DWG #: 43301
CHECKED: TMB DIR #: 43301
BOUNDARY: RPL DATUM NAVD 88 GPS
TOPO: SPT AUTOCAD REL. 2004
UTILITIES: JLA GIS: ARCVIEW 9.2
GPS: NAD '83, GEOID-12A, OHIO N. 3401



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Commercial Mailboxes

Cluster Mailboxes | CBU Mailboxes



8 Door Cluster Mailbox USPS Approved CBU - Sandstone

Code: WL-CBU-8-SDBM
 Size: 62"H x 30.5"W x 17.875"D
 Weight: 145 lbs
 Color: See Site for Color Choices
 Reg Price: \$1,288.00

Today's Online Price: \$1,061.78
FREE SHIPPING!!



12 Door Cluster Mailbox USPS Approved CBU - Sandstone

Code: WL-CBU-12-SDBM
 Size: 62"H x 30.5"W x 17.875"D
 Weight: 190 lbs
 Color: See Site for Color Choices
 Reg Price: \$1,300.00

Today's Online Price: \$1,082.78
FREE SHIPPING!!



16 Door Cluster Mailbox USPS Approved CBU - Sandstone

Code: WL-CBU-16-SDBM
 Size: 62"H x 30.5"W x 17.875"D
 Weight: 175 lbs
 Color: Finish available in sandstone, bronze, green, black, white and gray
 Reg Price: \$1,333.00

Today's Online Price: \$1,131.78
FREE SHIPPING!!



13 Door Cluster Mailbox USPS Approved CBU- Sandstone (13 "B" size doors)

Code: WL-CBU-13-SDBM
 Size: 62"H x 30.5"W x 17.875"D
 Weight: 165 lbs
 Color: See Site for Color Choices
 Reg Price: \$1,322.00

Today's Online Price: \$1,111.78
FREE SHIPPING!!

Commercial Mailboxes

4C Horizontal Mailboxes



20 Tenant Doors 2 Parcel Units Front Loading USPS APPROVED 4C Horizontal Mailboxes

Code: WL-3716D-20AFUBM
 Size: 31.125"W x 56.75"H x 17"D
 Weight: 170 lbs
 Color: See Site for Color Choices
 Reg Price: \$1,745.00

Today's Online Price: \$1396.00
FREE SHIPPING!!



18 Tenant Doors 2 Parcel Units Front Loading USPS APPROVED 4C Horizontal Mailboxes

Code: WL-3715D-18AFUBM
 Size: 31.125"W x 55"H x 17"D
 Weight: 160 lbs
 Color: See Site for Color Choices
 Reg Price: \$1,725.00

Today's Online Price: \$1379.67
FREE SHIPPING!!



16 Tenant Doors 2 Parcel Units Front Loading USPS APPROVED 4C Horizontal Mailboxes

Code: WL-3714D-16AFUBM
 Size: 51.5"H x 31.125"W x 17"L
 Weight: 170.50 lbs
 Color: See Site for Color Choices
 Reg Price: \$1,590.00

Today's Online Price: \$1271.67
FREE SHIPPING!!



12 Tenant Doors 2 Parcel Units Front Loading USPS APPROVED 4C Horizontal Mailboxes

Code: WL-3712D-12AFUBM
 Size: 44.5"H x 31.125"W x 17"L
 Weight: 159.50 lbs
 Color: See Site for Color Choices
 Reg Price: \$1,320.00

Today's Online Price: \$1055.67
FREE SHIPPING!!

Commercial Mailboxes

4C Horizontal Mailboxes



10 Tenant Compartments 2 Parcel Lockers Versatile Front Loading Double Column Commercial Mailbox

Code: WL-4CADD-10-PBM
Size:
Weight:
Color: See Site for Color Choices

Reg Price: \$1,726.00

Today's

Online Price: **\$1,380.94**

FREE SHIPPING!!



All Aluminum Construction  

19 Tenant 2 Parcel Lockers Rear Loading 4C Mailbox

Code: WL-3716D-19ZRUBM
Size:
Weight:
Color: See Site for Color Choices

Reg Price: 1,774.00

Today's

Online Price: **\$1419.53**

FREE SHIPPING!!



19 Tenant 2 Parcel Lockers 4c Pedestal Mailbox

Code: WL-3416D-19SANBM
Size:
Weight:
Color: See Site for Color Choices

Reg Price: \$2,872.00

Today's

Online Price: **\$2297.97**

FREE SHIPPING!!

16 Tenant Doors Rear Loading USPS APPROVED 4C Horizontal Mailboxes



 All Aluminum Construction 

Code: WL-3709D-16ZRUBM
Size: 31.125"W x 34"H x 17"D
Weight: 125.00 lbs
Color: See Site for Color Choices
Reg Price: \$1,185.00

Today's

Online Price: **\$947.67**

FREE SHIPPING!!

4

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Ordering**

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Or Search for the CODE and self checkout at

budgetmailboxes.com



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Fax: (619) 324-5809

budgetmailboxes.com

SECTION 129300 – SITE FURNISHINGS

PART 1 - GENERAL

1.1 SUMMARY

- A. This Section includes site furnishings.

1.2 SUBMITTALS

- A. Product Data: For each type of product indicated.
B. Product certificates.

1.3 DELIVERY, STORAGE, AND HANDLING

- A. Deliver to secure location before installation. Coordinate installation with concrete base installation.

PART 2 - PRODUCTS

2.1 LITTER RECEPTACLE

- A. Heavy-duty public space litter collection device constructed of the following components.
1. Product Style – Landscape Forms, Inc.; “Petoskey” Litter receptacle, surface mounted; Litter Receptacle Model Number LFK2042SM or approved equal. Landscape Forms – (800) 624-2443. Alternate manufactured by Erlau USA and Victor Stanley (SDC-24) are acceptable.
 2. Perforated Metal – 11 gauge cold rolled steel with ¼” square holes on 7/16” straight centers with 3” solid metal border.
 3. Lid – 11 gauge domed spun metal with minimum spin lines. 20-1/2” diameter x 5” high at top of dome.
 4. Liner – Constructed of linear low-density polyethylene of .100” nominal thickness. 30-gallon capacity.
 5. Shape, sizes and mounting – Round with front opening. 20” diameter x 42” high, surface mounted, secured to new concrete base with stainless steel anchors.
 6. Finishes – Rust inhibitor and topcoat finish of thermosetting polyester powder coat that is U.V., chip and flake resistant – Landscape Forms Pangard II or approved equal. All surfaces shall receive this coating.
 7. Color – as selected by Architect.
 8. Graffiti Guard – Landscape Forms Graffiti Guard coating. Field applied to steel per manufacturer’s instructions.
 9. Warranty – 3-year manufacturer’s warranty.

2.2 BENCHES

- A. Heavy-duty public space seating constructed of the following components.
1. Product Style – Landscape Forms, Inc.; “Petoskey” Backed polysite quad support Bench, surface mounted Site and Street Furniture Seating Model Number LFK3178SM or approved equal. Landscape Forms – (800) 624-2443. Alternate manufacturer Erlau USA and Victory Stanley are acceptable.
 2. Support: Tubular steel 3” o.d., 0.120-inch wall thickness.
 3. Seating Panels: Landscape Forms, Inc. PolySite 100% high-density polyethylene (HDPE) derived from recycled post-consumer packaging with over 90% recycled content by weight. PolySite timbers extruded to 2” x 6” nominal Fay 2006-08 Modernization Site Furnishings molded face boards and 2”x3” interior boards. All boards shall have eased edges as well as ends. Each board mounted with tamper-resistant screws onto heavy gauge steel backstraps.
 4. System Size: 26” deep x 32” high x 78” long – nominal.
 5. Steel Finishes – Rust inhibitor and topcoat finish of thermosetting polyester powder coat that is U.V., chip and flake resistant – Landscape Forms Pangard II or approved equal. All surfaces shall receive this coating.
 6. Color – as selected by Architect.
 7. Graffiti Guard – Landscape Forms Graffiti Guard coating. Field applied to steel per manufacturer’s instructions.
 8. Mounting – Surface mounted into thickened concrete.
 9. Warranty – 3-year manufacturer’s warranty.

2.3 BIKE RACK

- A. Heavy-duty public space bike rack constructed of the following components.
1. Product Style – Landscape Forms, Inc.; “Flo” embedded Bicycle rack or approved equal. Alternate manufacturer Erlau USA and Stanley (BRCS-103) are acceptable.
 2. Landscape Forms, Inc., 431 Lawndale Avenue, Kalamazoo, Michigan 49048. Toll Free (800) 521-2546. Phone (269) 381-0396. Fax (269) 381-3455. Website www.landscapeforms.com. E-mail: specify@landscapeforms.com.
 3. Powder Coated ASTM A513 Carbon Steel. Outside Diameter: 1.5 inches; Wall Thickness: 0.120 inches.
 4. System Size: 27 3/4” deep x 32 1/4” high x 25 1/2” long
 5. Steel Finishes – Rust inhibitor and topcoat finish of thermosetting polyester powder coat that is U.V., chip and flake resistant – Landscape Forms Pangard II or approved equal. All surfaces shall receive this coating.
 6. Color – as selected by Architect.
 7. Graffiti Guard – Landscape Forms Graffiti Guard coating. Field applied to steel per manufacturer’s instructions.

8. Mounting – Surface mounted into thickened concrete.
9. Warranty – 3-year manufacturer's warranty.

PART 3 - EXECUTION

3.1 INSTALLATION

- A. Site Preparation: Provide and construct concrete base as indicated.
 1. Subgrades: Level soil to accommodate new 5" concrete slab. Compact soil.
 2. Concrete: 4,000 psi air-entrained concrete with fiber mesh. Smooth wood steel trowl finish.

Installation of Receptacle: Provide and install litter receptacle on new concrete base where indicated. Secure to base with a minimum of three (3) ¼" stainless steel lag bolts with anchors, or self-taping screw, or concrete set studs. Assemble receptacle in accordance with manufacturer's printed instructions. Install level and plumb.
- C. Installation of Benches: Where indicated on the drawings provide and install the bench in accordance with manufacturer's instructions for an embedded installation. Provide ½" x 10" J-bolts. Set J-bolts into 12" dia. x 24" deep concrete footing. At concrete pads bolt in place to concrete pad without footing. Place top of footing flush with surrounding grade and so that the bench will be installed level and plumb. Assemble bench in accordance with manufacturer's printed instructions.
- D. Restore adjacent areas or otherwise disturbed areas after finish grading and before planting.

END OF SECTION 129300



Home Products Info Interact Dealer Contact



Accessories

Arbors

Lamp Posts

Pergolas

Planter Boxes

Trellises

Arbors



Fairfield Grande

\$829.99 - \$889.99

Looking for that wide arbor to span a walkway or fit your riding lawn mower through? The Fairfield Grande Arbor offers the perfect solution. Not only is it functional, but it looks beautiful with its stylish flat top design, while still offering timeless appeal. This arbor will offer an eloquent entrance to any yard or garden, helping define the concept of the outdoor room. Because it's made of premium weather-resistant vinyl, the Fairfield Grande Arbor is virtually maintenance free. This means that you will never need to stain, paint or maintain your arbor again! The Fairfield Grande Arbor combines modern appeal with classic looks that will



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Sarnia, ON N7T 2G6
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Michigan Warehouse
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Port Huron, MI 48060
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E-mail
info@newenglandarbors.com

with classic looks that will give you a lifetime of enjoyment.

This product comes with a 20 year warranty against yellowing, warping, cracking, and rotting.

Details:

Item Code: VA84231

Assembly difficulty:
Medium

Posts: 4 x 4

Color: White

Number of Boxes: 2

Shipping Information

Price: \$829.99

Add-ons: Trim Kit

[Instructions](#)

[Line Drawings](#)

\$829.99 - Fairfield Grande Arbor

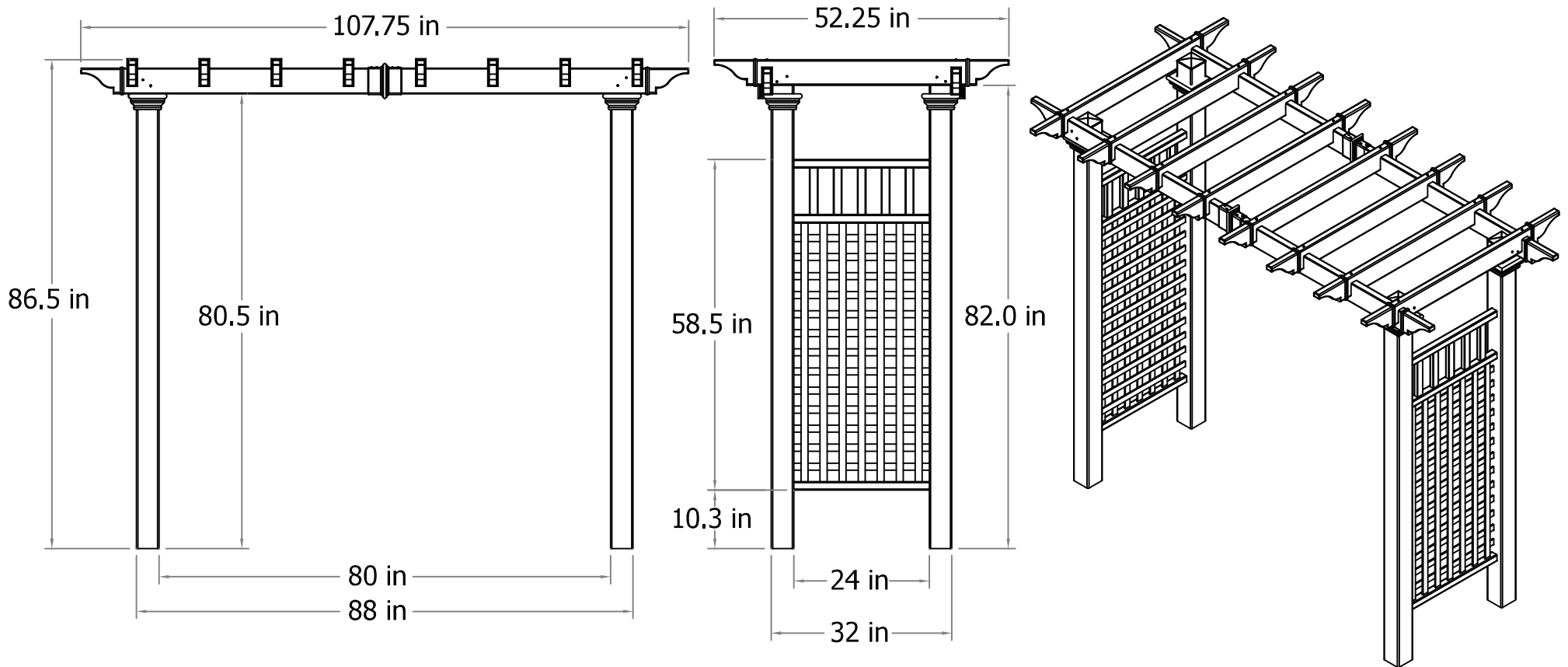
\$889.99 - Fairfield Grande Arbor (with Trim Kit)

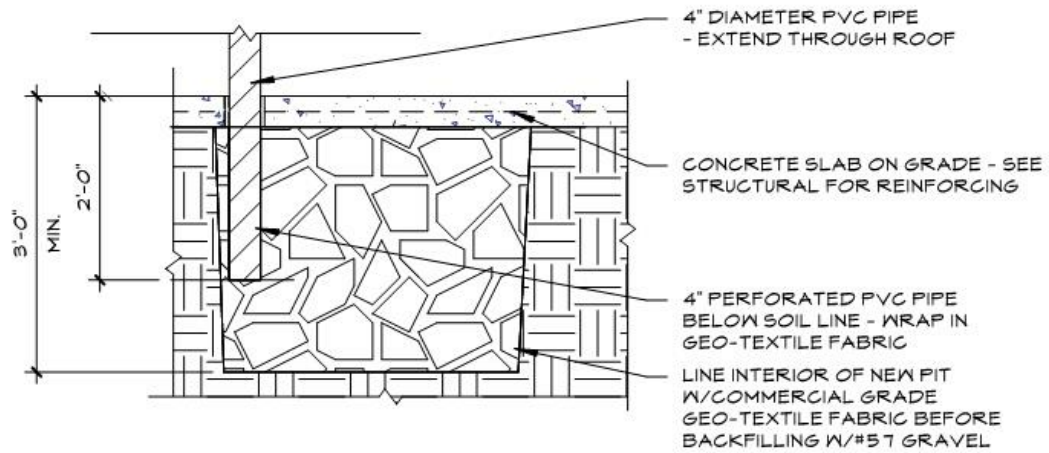
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Fairfield Grande Arbor

New England
Arbors
Leadership by Design

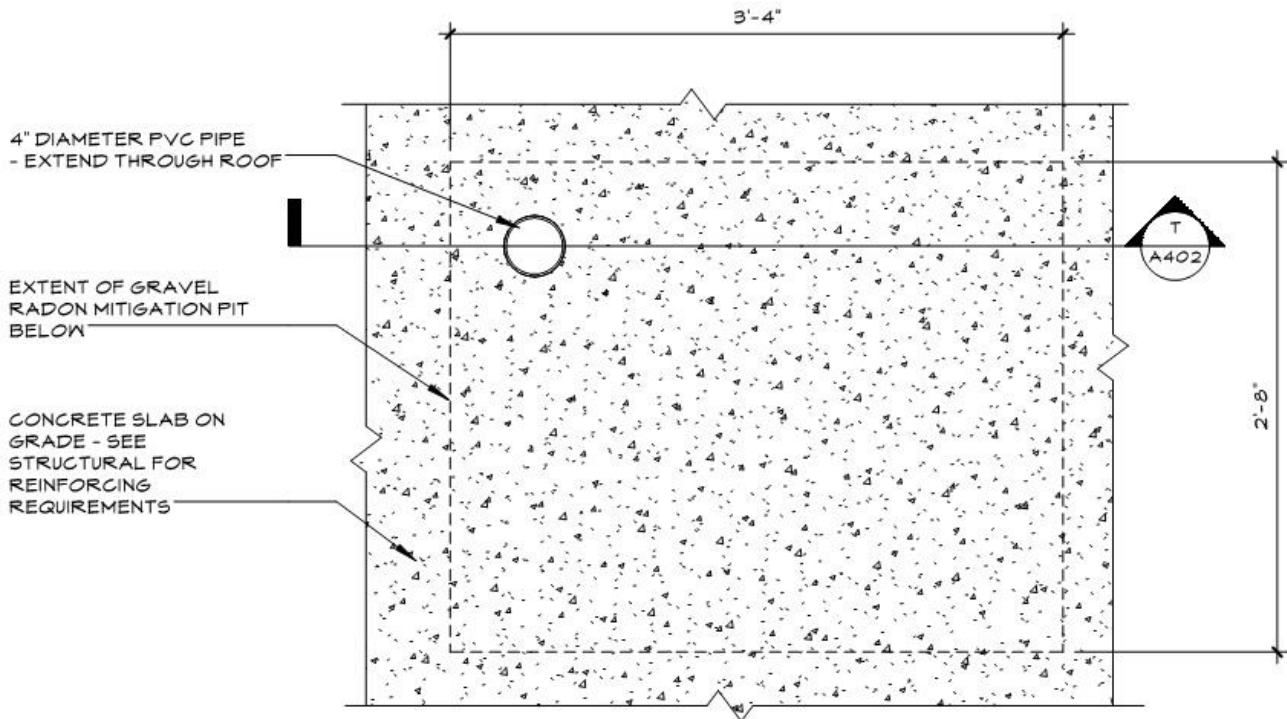




T
A402

radon pit detail

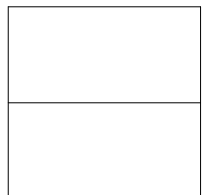
1/2" = 1'-0"



U
A402

radon mitigation detail

1" = 1'-0"



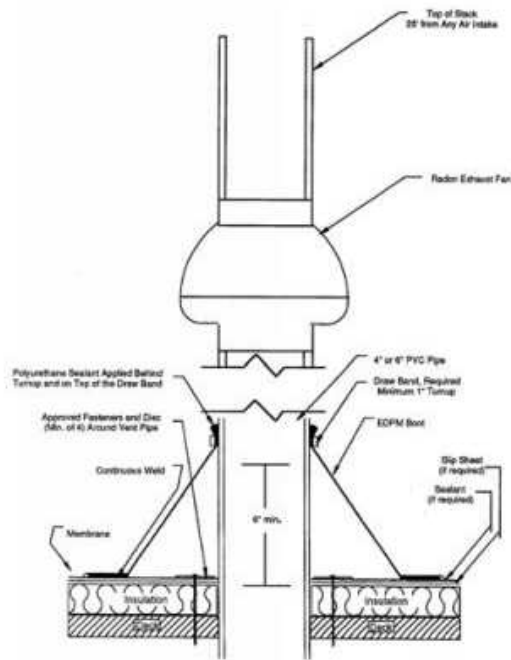
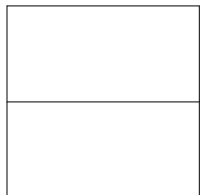
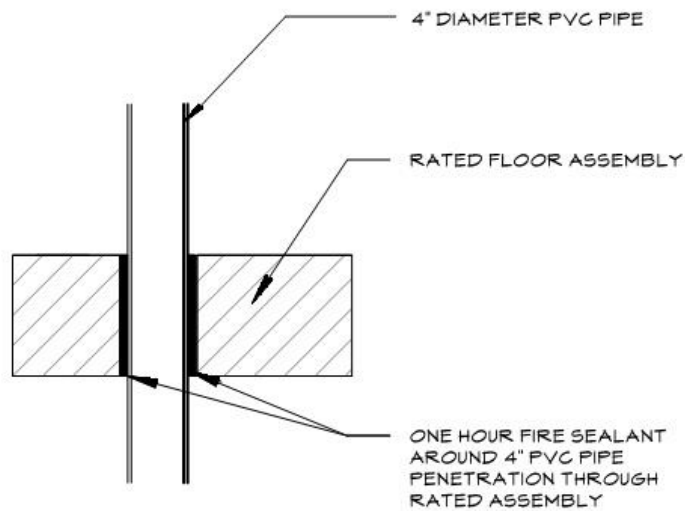


Figure 2-6. Sealing pipe penetrations through roof. Not to scale.

ENVIRONMENTAL PROTECTION AGENCY DETAILS FOR RADON GAS PREVENTION





S
A402

radon pipe slab
penetration

1" = 1'-0"

berardi +

architecture + interior design + engineering
1398 goodale boulevard, columbus ohio 43212
phone 614-221-1110 fax 614-221-0831
www.berardipartners.com

Project:

LMHA Collingwood Green, Phase III
Toledo, Ohio

Document:

Reference Dwg:

Date

03/01/17

