



**Collingwood Green Phase 3
Invitations for Bids (IFB17-B002)
Issued: September 6, 2017**

**ADDENDUM #2
Issued: September 21, 2017**

NOTICE TO PROPOSERS:

- A. This Addendum shall be considered part of the Contract Documents for the above mentioned project as though it had been issued at the same time and shall be incorporated integrally therewith. Where provisions of the following supplementary data differ from those of the original Contract Documents, this Addendum shall govern and take precedence.
- B. Offerors are hereby notified that they shall make any necessary adjustment in their estimates on account of this Addendum. It will be construed that each Bidder's documentation is submitted with full knowledge of all modifications and supplemental data specified herein.

ADDENDUM NO. 2

1. The **Submittal Date** for this IFB has been extended to **Friday, October 6, 2017 at 11:00 AM.**
2. Please see the attached Addendums Items from Berardi + Partners, Inc.

**(End of Addendum #2)
#####**

Solicitation Inquiries: Kattie Bond

E-Mail: kbond@lucasmha.org

Phone: 419-259-9471

Section 3 Inquiries to:

mbishop@lucasmha.org



ADDENDUM '02'

The Proposal Drawings and Specifications, dated (09/06/2017) for:

Project Name Collingwood Green Phase 3
Toledo, Ohio

Addendum Date: September 20, 2017

NOTICE TO CONTRACTORS:

- A. This Addendum shall be considered part of the Contract Documents for the above mentioned project as though it had been issued at the same time and shall be incorporated integrally therewith. Where provisions of the following supplementary data differ from those of the original Contract Documents, this Addendum shall govern and take precedence.
- B. This Addendum is complimentary to and refers to revised drawings issued herewith this document, or provides general narrative for revisions to drawings not necessarily issued with this document.

Civil:

1. Sheet C401:
 - a. Detail H/C401: to be deleted
 - b. Detail P/C401: revise title to 'cleanout protection'
2. Site furnishings: Arbor identified on L1 sheets to be provided per attached cut sheet.

Structural:

1. Sheets S101 Foundation Plans: have been revised for building dimensions – attached.
2. Sheets S101 Buildings A/B/C/D/F/H – Foundation Plans: section cuts have been identified at stoops with steps at entry door as indicated on Civil Grading Plans
3. Sheet S101H: Building step elevations have been revised.
4. Sheet S103 Buildings B/D/E/F/H – Roof Framing Plans: parking lot side roof elements have been removed from roof framing plans; see attached sheets.
5. Sheet S201 – Foundation Details:
 - a. S/S201 – Stepped Entry: Exposed block to be solid smooth face architectural block, color to be determined.
 - b. Details R and Q: Note that depth of foundation varies – coordinate with exterior elevations / Civil grading plan and foundation plans.

Architectural:

1. Sheet A101H: handrail coded note '5' added at north stoop.
2. Sheet A201A: North elevation – coded note '11' at center element revised to '9'.
3. Sheet A300's – Dwelling Units 301/302/303/304/30: Door tags have been added to all doors.
4. Sheet A306 – Dwelling Unit 4 BR Townhouse:
 - a. Add shelf per coded note 3 at both bedroom #4 closets.
 - b. Add shelves per coded note 1 and 3 at both bedroom #10 closets.
 - c. Storage closet door to be type U8.
5. Sheet A307 – 3 Bedroom townhouse 'A':
6. bedroom 3 closet shelving note '26' added – see attached sheet.
7. Sheet A308 – 3 BR Corner TH:
 - a. Add shelf coded notes 10 and 3 at bedroom #2 closet.
 - b. Second floor exterior deck door to be type U2.



8. Sheet A701: Exterior doors to be steel Therma Tru per specification.
9. Sheet A901 – Finish Schedule: to be replaced with attached sheet A900.

Specifications:

1. General: Project specification is industry standard and no warranty language has been modified to change responsibility. Product and equipment etc. warranties are by the manufacturer and workmanship etc. requirements are to be the responsibility of the general contractor.
2. Section 05 720 Vista Pro railing is an acceptable manufacturer
3. Section 07 6113 – Metal Roofing: to be deleted.
4. Section 08 5313 – Vinyl Windows:
 - a. 1.3.C: Only **Handicap ANSI Type A** dwelling unit windows are required to meet the 5 pound of pressure requirement, which is to be met by utilization a product similar to the Windwease product specified in 2.5.F.
 - b. 2.1 A: add Anderson Silverline to allowable manufactures.
 - c. 2.1 A: remove Crystal from allowable manufactures.
 - d. 2.3 D.2: remove U-factor = .30; refer to section ‘H’ for Energy Star requirements.
 - e. 2.3 E: remove SHGC = 0.51; refer to section ‘H’ for Energy Star requirements.
 - f. 2.3.I: Windows to be white as per the specifications.
 - g. 2.4.C: all glazing to be tempered.
5. Section 09 2900: Certainteed Gypsum products is an acceptable manufacturer of equal products.
6. Section 12 2110:
 - a. No cellular shades are required.
 - b. Levolar is an acceptable manufacturer; must meet specification requirements.
7. Section 12 3530; basis of design, Advanta Vista Birch – Premier series
8. Division 21 – Fire Suppression: Disregard entire division.

Contractor Question Responses:

1. It does not appear that Unit Floor Finish Plans are provided for the 2 BR Townhouse HC unit or the 3 BR Townhouse HC unit as they are listed on the cover sheet. Please advise. *Revised finish schedule is attached.*
2. It does not appear that a Finish Schedule for the 4 BR End unit has been provided. Please advise. *Revised finish schedule is attached.*
3. It does not appear that storage closet flooring or base is called out in the 3 BR Townhouse Type “B” unit. Please advise. *Revised finish schedule is attached.*
4. Door Type U13 shows up on the floor plans but on the door schedule. Please advise. *Added to schedule – to be identical to door type U11.*
5. The storage closet door type is not called out on the 4 BR townhouse on the first floor. Please advise. *To be door type U8.*
6. Exterior elevations show the two outside windows on the south elevation of Building D as double windows 6’8” wide but the door schedule calls for a single window that is 3’0” wide. Please advise. *To be window type Q.*
7. Exterior elevations show the window on the north east corner of Building B as double windows 6’8” wide but the door schedule calls for a single window 2’6” wide. Please advise *To be window type Q.*
8. Can consideration please be given to requiring only the LMHA bid forms shown in 00 42 33 to be turned in with the bid and NOT the separate HUD 2328 form that is listed later in the spec. These two bid forms do not line up exactly and are very difficult to make “match” prior to submitting the bid. The HUD 2328 could be turned in along with any additional information required post bid.
 - a. *The requirement that the HUD-5372 be submitted with the bid shall be deleted in its entirety. The awarded contractor shall be required to submit the completed form within three days of the Notice of Award.*
9. Please confirm that this project is taxable. *Yes, the project is subject to all applicable taxes.*
10. Is the contractor responsible to provide a certified ALTA survey upon project completion? *The Contractor*
11. When is the proposed start date for construction? *Spring 2018*



12. Section 01 5000 does not dictate whether overnight and weekend security is a requirement of the contractor. Will the owner be providing this security? *LMHA will not be providing site security for Phase 3. The GC will be responsible for the site security of the phase 3 project site per specification section 01 500.*
13. Please confirm the contractor is providing the builder's risk insurance.
*Per HUD 5370 General Conditions for Construction Contracts, as attached to the bid documents, Clause 36 Insurance Section (b):
Before commencing work, the Contractor shall furnish the PHA with a certificate of insurance evidencing that Building's Risk (fire and extended coverage) Insurance on all work in place and/or materials stored at the building site(s), including foundations and building equipment, is in force...*
14. Please confirm that a 2 year maintenance bond is required for all work within the ROW.
A 2 year maintenance bond is required for the roadway work portion of the project and shall meet the requirements of section 109.12E in the City of Toledo's Part 'A' Standards 2017
15. Does this project require a fire suppression systems? Question is related to Division 21 Specification Sections that are provided. *Disregard entire specification division.*
16. *Plumbing Manufactures:*
 - a. 2.01:
 - i. proflo **OK**,
 - ii. Zurn **OK**,
 - iii. Gerber **OK**,
 - iv. cmi - **We cannot approve this manufacturer without additional information.**
 - v. and mainline - **We cannot approve this manufacturer.**
 - b. 2.02:
 - i. proflo, zurn, gerber, cmi, **See above**
 - ii. Olympia and pioneer, - **We cannot approve this manufacturer without additional information.**
 - iii. and mainline. **See above**
 - c. 2.03:
 - i. proflo, zurn, mainline, Gerber, cmi, **See above for each brand's respective comments.**
 - ii. and Elkay. **OK**
 - d. 2.04
 - i. proflo, gerber, and zurn. **See above**
 - ii. Mansfield, **OK - other than their toilets.**
 - e. 2.07: oatey, Sioux chief **OK**
 - f. 2.08: badger - **Insinkerator? already included in specs.**
 - g. 2.09: zurn, gerber, Mansfield, and proflo. **All OK if they meet MaP test score of 1000+ grams and performance of the basis of design**
 - h. 2.10 gerber, zurn, Mansfield, and proflo. **These are OK**
 - i. mainline, - **We cannot approve this manufacturer.**
 - j. 2.11 cdx, **CDX is the new name of Praxis, which is included in specs** and oasis, **OK**
 - k. 2.12
 - i. proflo, and mainline. **Stainless steel sinks - OK**
 - ii. zurn, Mansfield, - **We cannot approve this manufacturer without additional information.**
 - l. 2.13 Sioux chief **OK**
17. Can consideration also be given to completing the HUD-5372 as a post bid document? Without final numbers being completed until minutes before bids are due, it is difficult to **accurately** complete this form. *The requirement that the HUD-5372 be submitted with the bid shall be deleted in its entirety. The awarded contractor shall be required to submit the completed form within three days of the Notice of Award.*
18. Will the project budget be published before contractors are to submit their bids? *LMHA does not publish independent cost estimates for public bids unlike the Request for Proposal or Qualification process.*
19. Starting/Completion Information 00 43 56 – 1 of 1 describes a mid-July start. Pre Bid notes identify a Spring start. **Spring 2018 is proposed start date.**
20. Please delete the requirement for a detailed preliminary construction schedule to be turned in with the bid. *A preliminary construction schedule is required for the HUD funding submission which is scheduled to occur shortly after the bid date. Please submit your best estimated schedule based on previous experience.*
21. Is a level 5 finish required on the drywall where a gloss or semi-gloss paint is used per the drywall spec? **No; level 5 finish not required, level 4 finish to be provided.**
22. In the existing building walk thru I noticed there is a knockdown finish on most of the drywall. Is this required for this phase of buildings? If so, where is it to be located? **Knockdown ceiling finish is not required but can be provided at contractor's option.**

END OF ADDENDUM 02

Page 3



Home Products Info Interact Dealer Contact



Accessories

Arbors

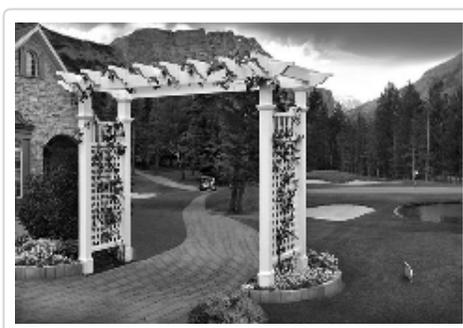
Lamp Posts

Pergolas

Planter Boxes

Trellises

Arbors



Fairfield Grande

\$829.99 - \$889.99

Looking for that wide arbor to span a walkway or fit your riding lawn mower through? The Fairfield Grande Arbor offers the perfect solution. Not only is it functional, but it looks beautiful with its stylish flat top design, while still offering timeless appeal. This arbor will offer an eloquent entrance to any yard or garden, helping define the concept of the outdoor room. Because it's made of premium weather-resistant vinyl, the Fairfield Grande Arbor is virtually maintenance free. This means that you will never need to stain, paint or maintain your arbor again! The Fairfield Grande Arbor combines modern appeal with classic looks that will



CONTACT:

Canadian Office
211 Campbell Street
Sarnia, ON N7T 2G6
MAP
Office Hours
8:00 to 5:00 EST Monday to Friday

Toll Free
1 800 282 9346

Toll Free Fax
1 866 698 9047

Michigan Warehouse
3605 32nd St, Bldg 3
Port Huron, MI 48060
MAP
E-mail
info@newenglandarbors.com

with classic looks that will give you a lifetime of enjoyment.

This product comes with a 20 year warranty against yellowing, warping, cracking, and rotting.

Details:

Item Code: VA84231

Assembly difficulty:
Medium

Posts: 4 x 4

Color: White

Number of Boxes: 2

Shipping Information

Price: \$829.99

Add-ons: Trim Kit

[Instructions](#)

[Line Drawings](#)

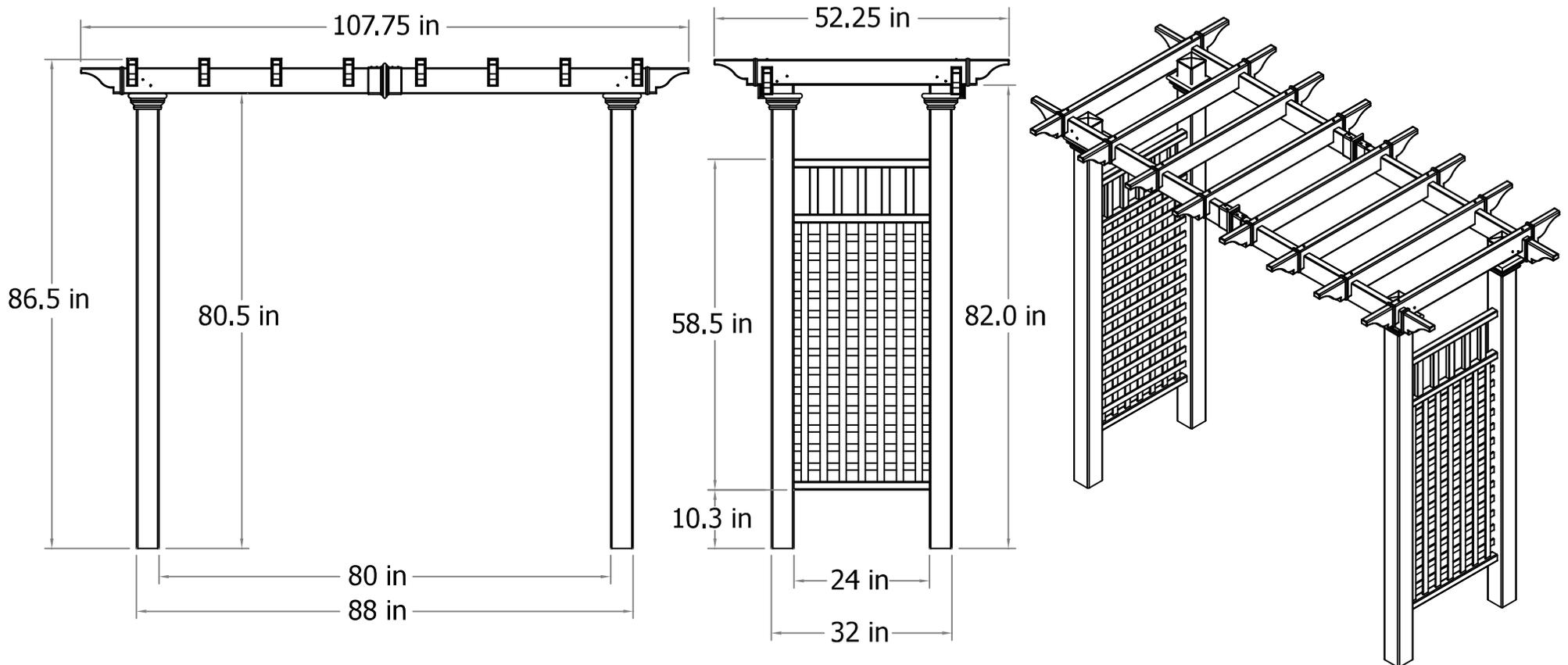
-
- \$829.99 - Fairfield Grande Arbor
 - \$889.99 - Fairfield Grande Arbor (with Trim Kit)

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Fairfield Grande Arbor

New England
Arbors
Leadership by Design





LMHA
Collingwood
Green, Phase III
Toledo, Ohio

Collingwood Green
Quality affordable living within a green community



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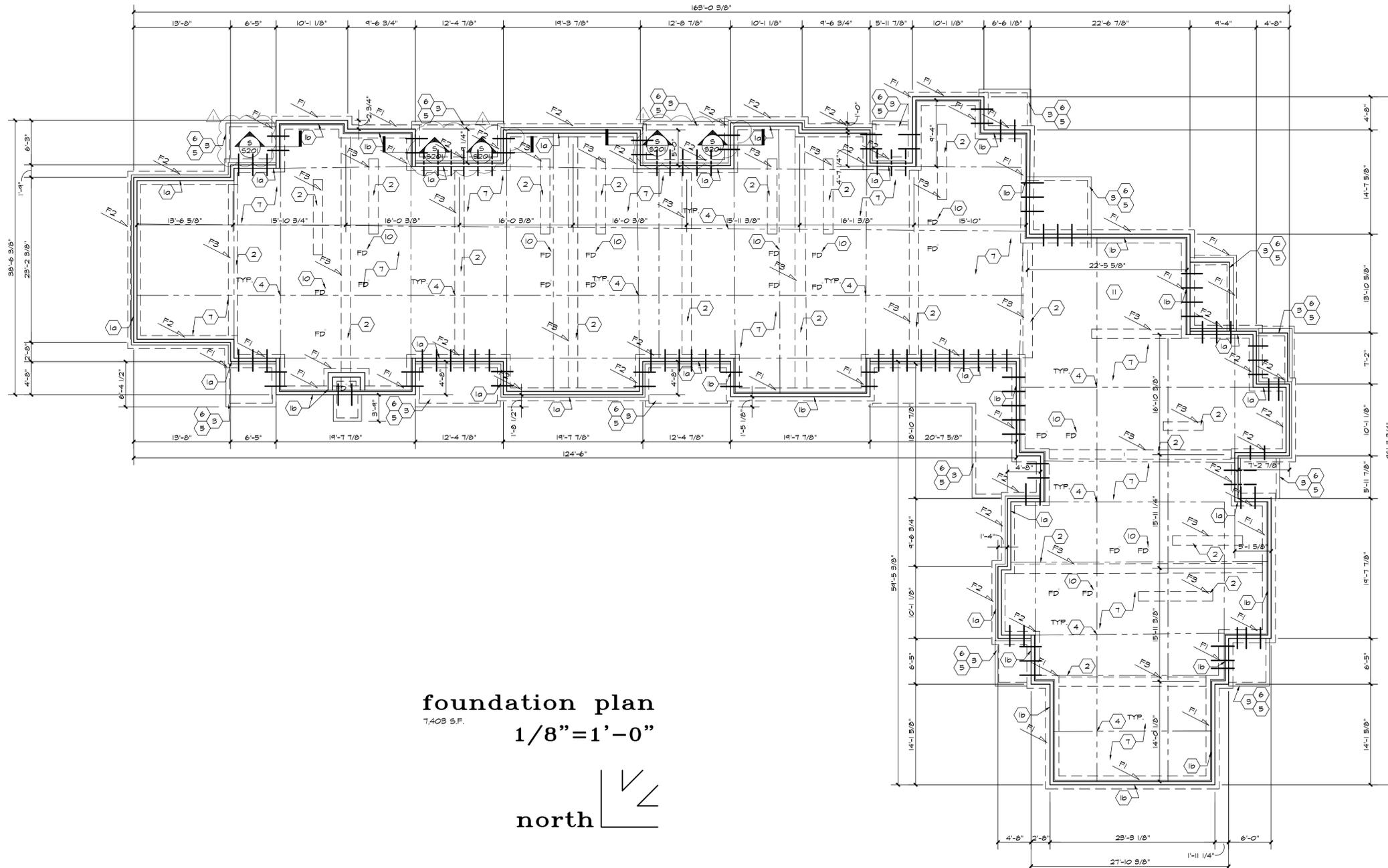
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- NOTE:
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 2. THE CONTRACT DOCUMENTS ARE COMPRISSED OF THE DRAWINGS AND THE PROJECT MANUAL IN THEIR ENTIRETY. THE INFORMATION IN THESE DOCUMENTS IS DEPENDENT UPON AND COMPLEMENTARY OF EACH OTHER. SEPARATION OF THE CONTRACT DOCUMENTS SHALL NOT BE PERMITTED IF THE CONTRACTOR CHOOSES TO SEPARATE THE DOCUMENTS, THEY DO SO AT THEIR OWN RISK AND EXPENSE.
 3. ADDITIONALLY, SEE GENERAL INFORMATION ON "A" SHEETS.
 4. THE CLIENT ACKNOWLEDGES THE CONSULTANT'S (ARCHITECT) DRAWINGS AND SPECIFICATION INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA AS INSTRUMENTS OF THE CONSULTANT'S (ARCHITECT) PROFESSIONAL SERVICE. THE CLIENT SHALL NOT REUSE OR MAKE OR PERMIT TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF THE CONSULTANT (ARCHITECT). THE CLIENT AGREES TO HAVE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT) ARISING FROM ANY UNAUTHORIZED TRANSFER, REUSE OR MODIFICATION OF THE DRAWINGS AND SPECIFICATION.
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Bid Set

PROJECT DATE 09/06/2017
PROJECT # 14105

Issue	Description	Date
1	ADDENDUM 2	09/18/17



foundation plan
7,403 S.F.
1/8" = 1'-0"
north

coded notes

1. POURED CONCRETE FOUNDATION STEM WALL ON POURED CONCRETE FOOTINGS - SEE FOUNDATION SCHEDULE. (BOTTOM OF ALL PERIMETER AND BUILDING EXTERIOR FOUNDATION SYSTEMS TO BE 42" MINIMUM BELOW FINISH GRADE.)
 - a. 10" MASONRY STEM WALL - PLUS BRICK VENEER DETAILS ON S201.
 - b. 8" MASONRY STEM WALL - PLUS STONE VENEER AND SIDING DETAILS ON S201.
2. POURED CONCRETE THICKENED SLAB (SEE FOOTING SCHEDULE). SEE DETAIL S201.
3. 4" THICK CONCRETE STOOP/SLAB W/ FIBROUS REINFORCING AND 42" DEEP TURNED DOWN EDGE ON GRAVEL - SEE DETAIL E/S201 & F/S201. (SEE SECTIONS FOR DEEPER SLAB EDGE.) TOOLED JOINTS AS INDICATED. HAND SWIRLED FINISH W/PICTURE FRAME JOINTS AND EDGES.
4. SAW CUT CONTROL JOINT. SEE DETAIL G/S201.
5. #4 BENT REBAR @ 16" O.C. AT EXTERIOR WALL ABUTMENT. FIRST AND LAST DOVEL PLACED W/IN 12" OF WALL. SEE DET. B/S201 SIM.
6. #4 BENT REBAR @ 16" O.C. AT EXTERIOR DOOR LOCATION. FIRST AND LAST DOVEL PLACED W/IN 12" OF WALL. SEE DET. A/S201 SIM.
7. 4" CONC. SLAB W/ WITH FIBROUS REINFORCING ON 6 MIL. POLY VAPOR BARRIER ON 4" GRANULAR FILL, TYPICAL.
8. CONT. FTG. FOR SHEAR WALL. SEE SECTION E/A601 - THICKEN FOOTING HOLD-DOWN TO 15' - 1'-0" PAST HOLD DOWN ALL DIRECTIONS.
9. INTERIOR CONCRETE FOOTINGS FOR WOOD COLUMN.
10. RECESSED FLOOR DRAINS 1/8" PER FT WITHIN AREA SERVED, TYP. COORDINATE WITH MP FOR EQUIPMENT LAYOUT.
11. CONCRETE SLAB TO BE DEPRESSION AT FIRST FLOOR SHOWERS, SEE DETAIL F/S201.
12. STEPPED FOOTING LOCATION REFER TO DETAIL A/S101.
13. KEYED CONSTRUCTION JOINT FOR THICKENED SLAB STEPPED 8" / FOUNDATION STEPPED EA END - REFER TO ELEVATIONS AND RELATED DETAIL.
14. 12" DIA. x 42" DP. CONC. POST FOOTING / 1" ISOLATION JOINT BETWEEN POST FOOTING AND CONC. SLAB (N.O. TYPICAL OF ALL POST COLUMNS ALL BLDGS TYP.)
15. SEE DETAIL M/S201 FOR STEPPED CONDITION @ EXTERIOR SLAB

footing schedule

MARK	SIZE	REINFORCING	LOCATION	CODED NOTE
F1	1'-8" W. X 10" D. MIN.	(2) #4'S CONT. BOTTOM	EXT. WALL FTG.	1
F2	1'-10" W. X 10" D. MIN.	(2) #5'S CONT. BOTTOM	EXT. WALL FTG.	1
F3	1'-6" W. X 12" D. THICKENED SLAB	(3) #5'S CONT. BOTTOM	INT. WALL FTG.	2
F4	2'-6" SQ. X 12" D.	(3) #4'S EACH WAY	COLUMN FTG.	9

NOTES:
CODED NOTES APPLY TO ENTIRE BUILDING.
INDIVIDUAL IDENTIFICATION IS FOR REFERENCE ONLY.
MATERIALS TO BE INSTALLED PER MANUFACTURERS MOST CURRENT WRITTEN INSTALLATION INSTRUCTIONS

1/2" Ø X 18" ANCHOR BOLTS 48" O.C. W/ 2" HOOK - NO GREATER THAN 12" FROM INSIDE OR OUTSIDE CORNER AND WITHIN 8" OF ALL DOOR OPENINGS AND THEN SPACED 48" O.C. BEYOND. IF INBED ANCHOR BOLT CONFLICTS W/ WD POST, INSTALL 8" WEDGE ANCHOR.

ALL EXTERIOR CONCRETE JOINTS TO BE TOOLED.

SOIL BEARING PRESSURE IS 3000 PSF!
SOILS ENGINEER TO INSPECT FOOTING EXCAVATIONS PRIOR TO PLACEMENT OF CONCRETE AND REINFORCING BARS.

BUILDING A
FOUNDATION
PLAN

S101A

THE COLLABORATIVE
419.242.7403 | thecollaborativeinc.com

berardi +
architecture + interior design + engineering

1398 Goodale Blvd. Columbus, Ohio 43212
Phone (614)221-1110 Fax (614)221-0831
www.berardipartners.com



LMHA
Collingwood
Green, Phase III
 Toledo, Ohio

Collingwood Green
Quality affordable living within a green community



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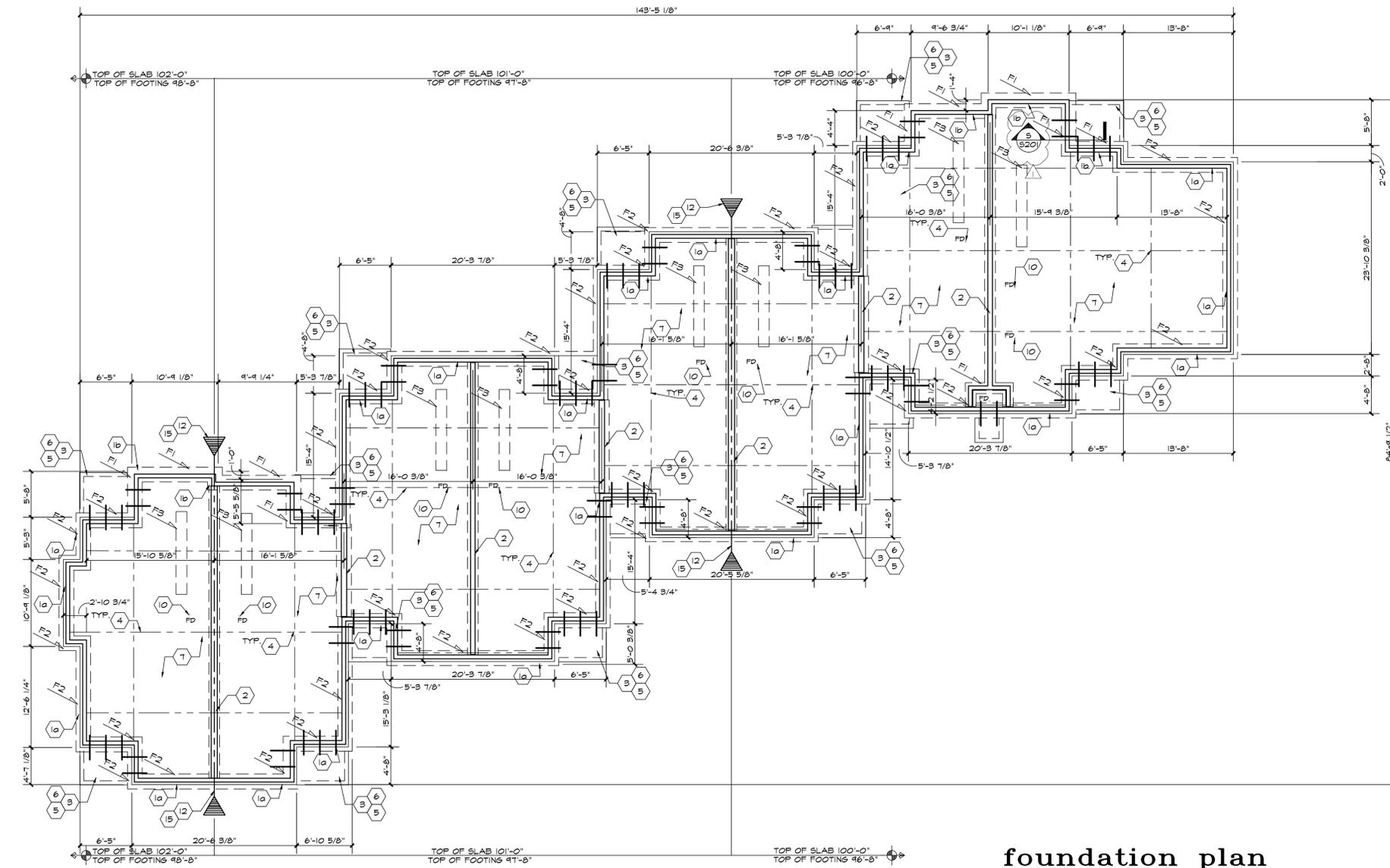
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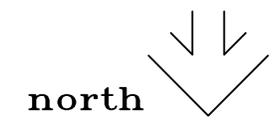
Bid Set

PROJECT DATE 09/06/2017
 PROJECT # 14105

Issue	Description	Date
1	ADDENDUM 2	09/18/17

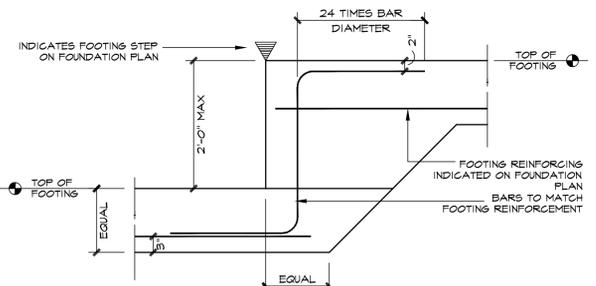


foundation plan
 7,403 S.F.
 1/8" = 1'-0"



coded notes

- POURED CONCRETE FOUNDATION STEM WALL ON POURED CONCRETE FOOTINGS - SEE FOUNDATION SCHEDULE. (BOTTOM OF ALL PERIMETER AND BUILDING EXTERIOR FOUNDATION SYSTEMS TO BE 42" MINIMUM BELOW FINISH GRADE.)
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- 4" THICK CONCRETE STOOP/SLAB W/ FIBROUS REINFORCING AND 42" DEEP TURNED DOWN EDGE ON GRAVEL - SEE DETAIL E/S201 & F/S201. (SEE SECTIONS FOR DEEPER SLAB EDGE.) TOOLED JOINTS AS INDICATED. HAND SAWED FINISH W/PICTURE FRAME JOINTS AND EDGES.
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A stepped foundation detail
 3/4" = 1'-0"

footing schedule

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ALL EXTERIOR CONCRETE JOINTS TO BE TOOLED.

SOIL BEARING PRESSURE IS 3000 PSF!
 SOILS ENGINEER TO INSPECT FOOTING EXCAVATIONS PRIOR TO PLACEMENT OF CONCRETE AND REINFORCING BARS.

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FOUNDATION
PLAN

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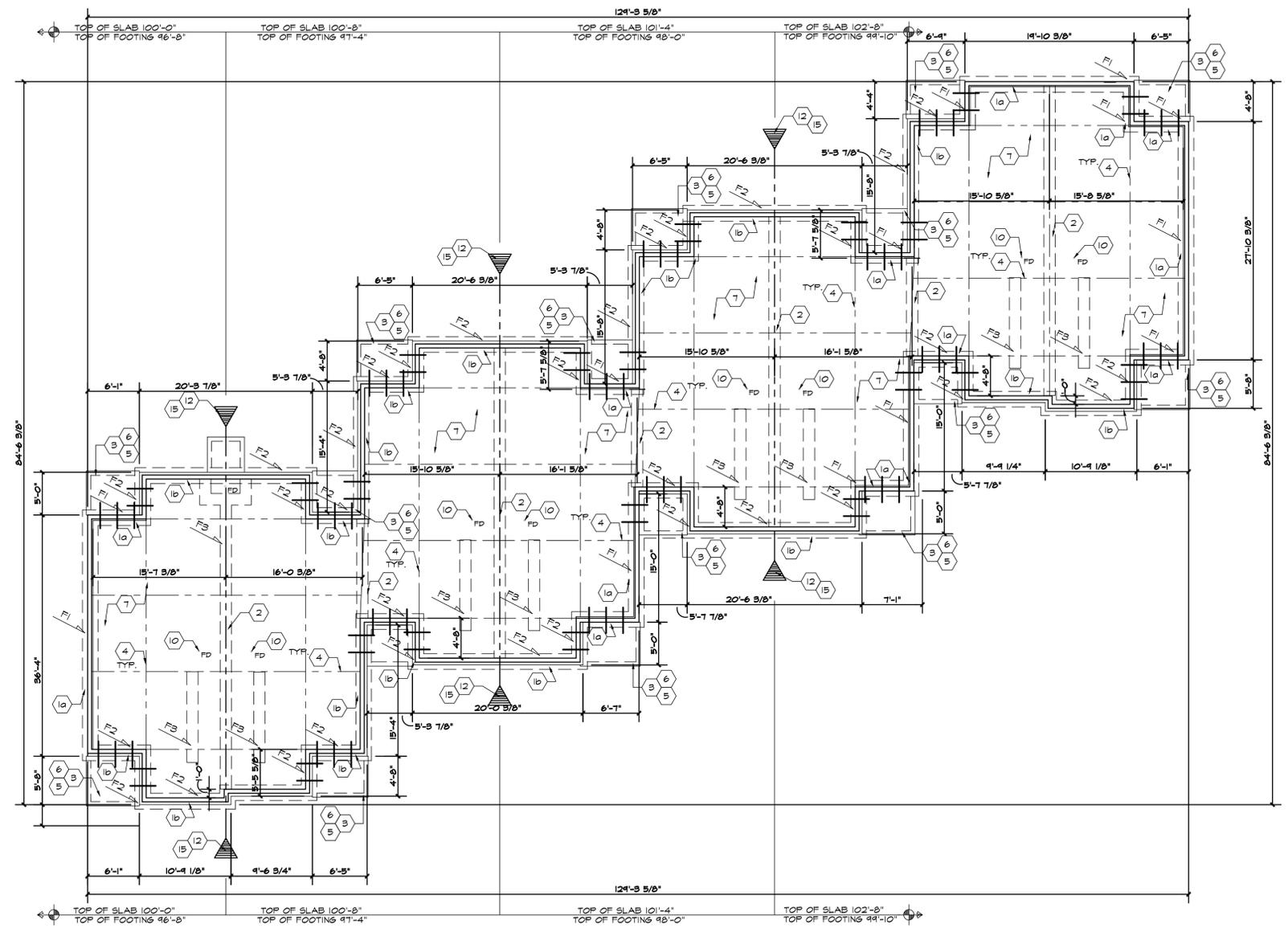
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Bid Set

PROJECT DATE: 09/06/2017
PROJECT #: 14105

Issue	Description	Date
1	ADDENDUM 2	09/18/17



coded notes

1. POURED CONCRETE FOUNDATION STEM WALL - PLUS STONE VENEER AND SIDING DETAILS ON S201. FOUNDATION SCHEDULE. (BOTTOM OF ALL PERIMETER AND BUILDING EXTERIOR FOUNDATION SYSTEMS TO BE 42" MINIMUM BELOW FINISH GRADE.)
 - a. 10" MASONRY STEM WALL - PLUS BRICK VENEER DETAILS ON S201.
 - b. 8" MASONRY STEM WALL - PLUS STONE VENEER AND SIDING DETAILS ON S201.
2. POURED CONCRETE THICKENED SLAB (SEE FOOTING SCHEDULE). SEE DETAIL S201
3. 4" THICK CONCRETE STOOP/SLAB W/ FIBROUS REINFORCING AND 42" DEEP TURNED DOWN EDGE ON GRAVEL - SEE DETAIL E/S201 & F/S201. (SEE SECTIONS FOR DEEPER SLAB EDGE) TOOLED JOINTS AS INDICATED. HAND SWIRLED FINISH W/PICTURE FRAME JOINTS AND EDGES.
4. SAW CUT CONTROL JOINT. SEE DETAIL G/S201.
5. #4 BENT REBAR @ 16" O.C. AT EXTERIOR WALL ABUTMENT. FIRST AND LAST DOVEL PLACED W/IN 12" OF WALL. SEE DET. B/S201 SIM.
6. #4 BENT REBAR @ 16" O.C. AT EXTERIOR DOOR LOCATION. FIRST AND LAST DOVEL PLACED W/IN 12" OF WALL. SEE DET. A/S201 SIM.
7. 4" CONC. SLAB W/ WITH FIBROUS REINFORCING ON 6 MIL. POLY VAPOR BARRIER ON 4" GRANULAR FILL, TYPICAL.
8. CONT. FTG. FOR SHEAR WALL. SEE SECTION E/A601 - THICKEN FOOTING HOLD-DOWN TO 15" - 1'-0" PAST HOLD DOWN ALL DIRECTIONS.
9. INTERIOR CONCRETE FOOTINGS FOR WOOD COLUMN
10. RECESSED FLOOR DRAINS 1/8" PER FT WITHIN AREA SERVED, TYP. COORDINATE WITH MP FOR EQUIPMENT LAYOUT.
11. CONCRETE SLAB TO BE DEPRESSED AT FIRST FLOOR SHOWERS, SEE DETAIL F/S201.
12. STEPPED FOOTING LOCATION. REFER TO DETAIL A/S101.
13. KEYED CONSTRUCTION JOINT FOR THICKENED SLAB STEPPED 8" / FOUNDATION STEPPED EA. END - REFERS TO ELEVATIONS AND RELATED DETAIL.
14. 12" DIA. x 42" DP CONC. POST FOOTING / 1" ISOLATION JOINT BETWEEN POST FOOTING AND CONC. SLAB (N.O. TYPICAL OF ALL POST COLUMNS ALL BLDGS TYP.)
15. SEE DETAIL M/S201 FOR STEPPED CONDITION @ EXTERIOR SLAB

foundation plan

1/8" = 1'-0"
north

footing schedule

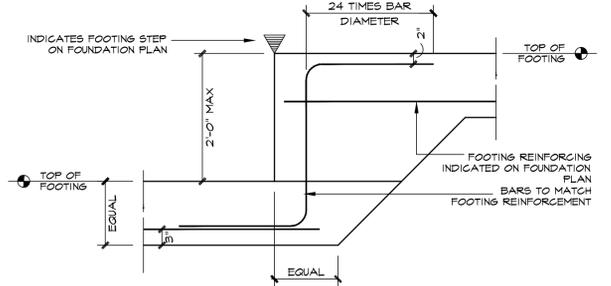
MARK	SIZE	REINFORCING	LOCATION	CODED NOTE
F1	1'-8" W. X 10" D. MIN.	(2) #4'S CONT. BOTTOM	EXT. WALL FTG.	1
F2	1'-10" W. X 10" D. MIN.	(2) #5'S CONT. BOTTOM	EXT. WALL FTG.	1
F3	1'-6" W. X 12" D. THICKENED SLAB	(3) #5'S CONT. BOTTOM	INT. WALL FTG.	2
F4	2'-6" SQ. X 12" D.	(3) #4'S EACH WAY	COLUMN FTG.	4

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SOIL BEARING PRESSURE IS 3000 PSI. SOILS ENGINEER TO INSPECT FOOTING EXCAVATIONS PRIOR TO PLACEMENT OF CONCRETE AND REINFORCING BARS.



A stepped foundation detail
S101 3/4" = 1'-0"

BUILDING E FOUNDATION PLAN

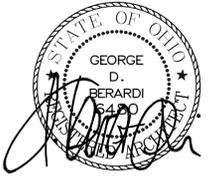
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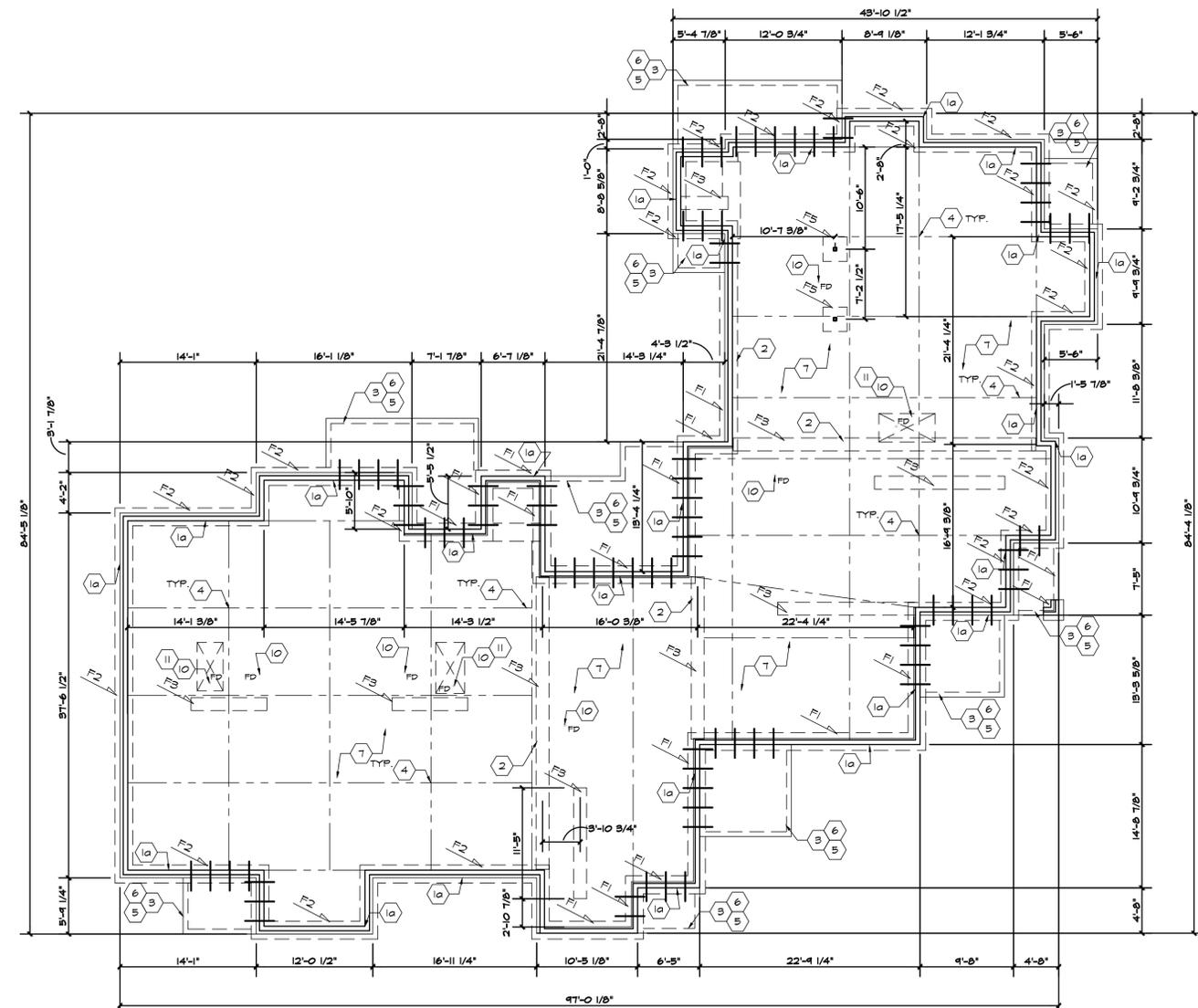
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foundation plan
1/8" = 1' - 0"

coded notes

1. POURED CONCRETE FOUNDATION STEM WALL ON POURED CONCRETE FOOTING - SEE FOUNDATION SCHEDULE. (BOTTOM OF ALL PERIMETER AND BUILDING EXTERIOR FOUNDATION SYSTEMS TO BE 42" MINIMUM BELOW FINISH GRADE.)
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4. SAW CUT CONTROL JOINT. SEE DETAIL S/S201.
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footing schedule

MARK	SIZE	REINFORCING	LOCATION	CODED NOTE
F1	1'-8" W. X 10" D. MIN.	(2) #4'S CONT. BOTTOM	EXT. WALL FTG.	1
F2	1'-10" W. X 10" D. MIN.	(2) #5'S CONT. BOTTOM	EXT. WALL FTG.	1
F3	1'-6" W. X 12" D. THICKENED SLAB	(3) #5'S CONT. BOTTOM	INT. WALL FTG.	2
F4	2'-6" SQ. X 12" D.	(3) #4'S EACH WAY	COLUMN FTG.	4

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Bid Set

PROJECT DATE 09/06/2017
PROJECT # 14105

Issue	Description	Date
1	ADDENDUM 2	09/18/17

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05



September 18, 2017

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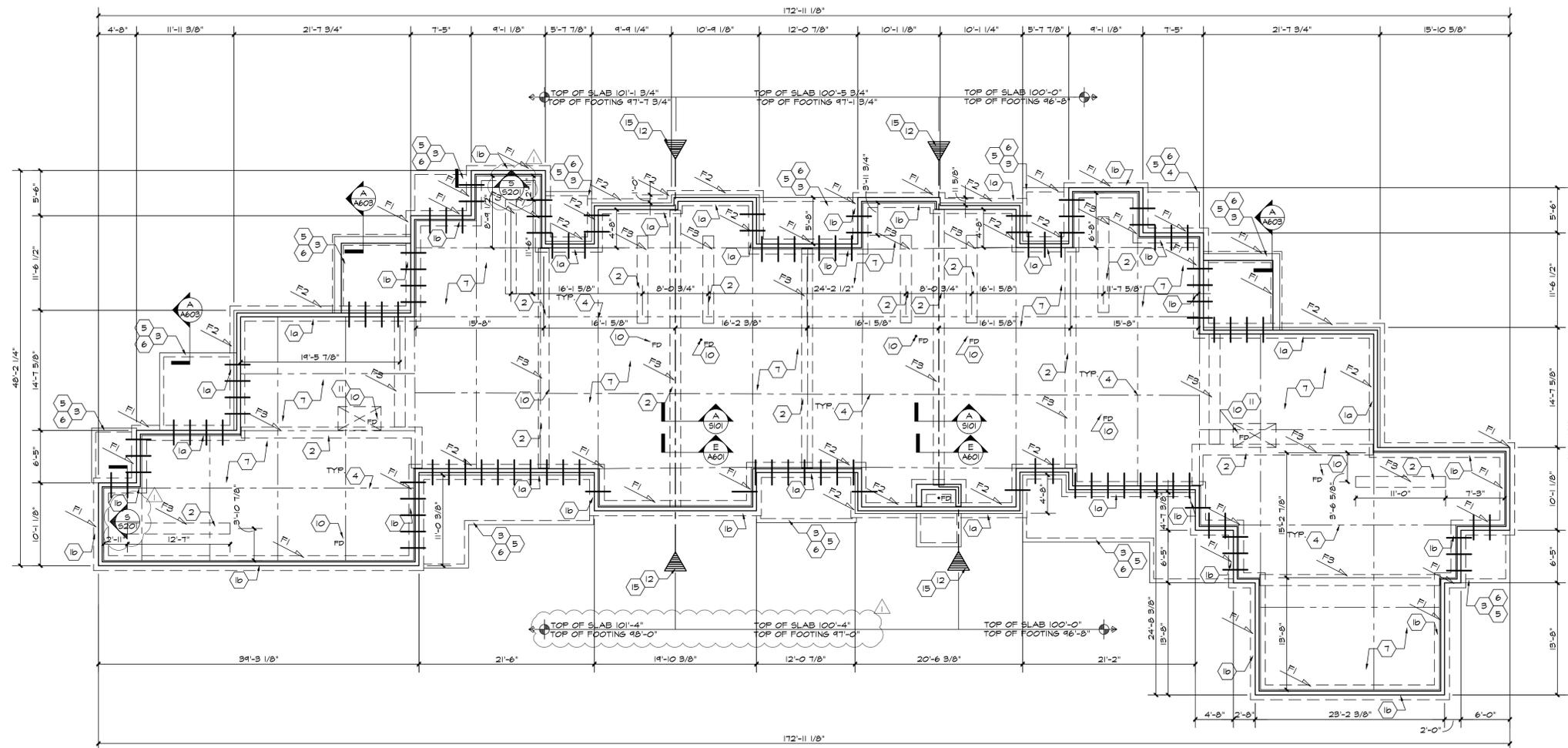
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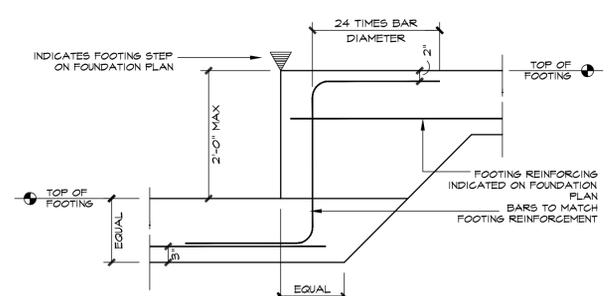
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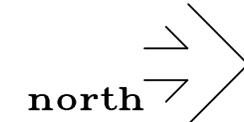
foundation plan
1/8" = 1'-0"

coded notes

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- 4" THICK CONCRETE STOOP/SLAB W/ FIBROUS REINFORCING AND 42" DEEP TURNED DOWN EDGE ON GRAVEL - SEE DETAIL F/S201. (SEE SECTIONS FOR DEEPER SLAB EDGE) TOOLED JOINTS AS INDICATED. HAND SWIRLED FINISH W/PICTURE FRAME JOINTS AND EDGES.
- SAM CUT CONTROL JOINT. SEE DETAIL G/S201.
- #4 x 36" REBAR DOVELS @ 24" O.C. AT EXTERIOR WALL ABUTMENT. FIRST AND LAST DOVEL PLACED W/IN 12" OF WALL. SEE DET. A/S201 SIM.
- #4 x 36" REBAR DOVELS @ 24" O.C. AT EXTERIOR DOOR LOCATION. FIRST AND LAST DOVEL PLACED W/IN 12" OF WALL. SEE DET. A/S201 SIM.
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- SEE DETAIL M/S201 FOR STEPPED CONDITION @ EXTERIOR SLAB



A stepped foundation detail
S101
3/4" = 1'-0"



footing schedule

MARK	SIZE	REINFORCING	LOCATION	CODED NOTE
F1	1'-8" W. X 10" D. MIN.	(2) #4'S CONT. BOTTOM	EXT. WALL FTG.	1
F2	1'-10" W. X 10" D. MIN.	(2) #5'S CONT. BOTTOM	EXT. WALL FTG.	1
F3	1'-6" W. X 12" D. THICKENED SLAB	(3) #5'S CONT. BOTTOM	INT. WALL FTG.	2
F4	2'-6" SQ. X 12" D.	(3) #4'S EACH WAY	COLUMN FTG.	4

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6. THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO DEFINE EXACT QUANTITIES, LOCATIONS OR COVER REQUIREMENTS. THE DRAWINGS SHALL NOT BE SCALED EXACT STATE AND LOCAL CODE REQUIREMENTS AND OTHER APPLICABLE CODE REQUIREMENTS SHALL BE OBSERVED BY AND ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY INFORMATION PROVIDED DIRECTLY TO THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT.

Bid Set

PROJECT DATE: 09/06/2017
PROJECT #: 14105

Issue 1 Description ADDENDUM 2 Date 09/18/17

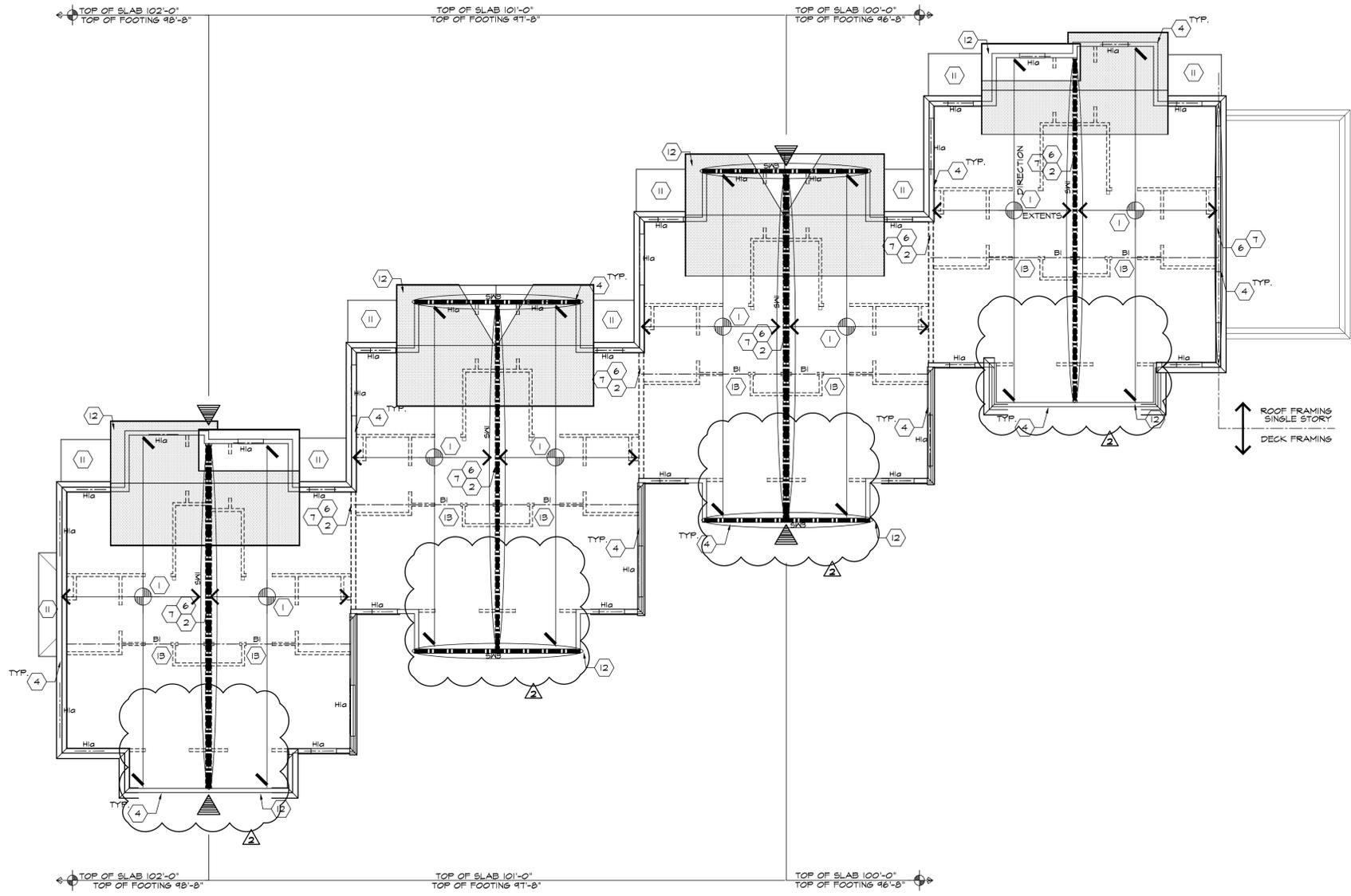
BUILDING B
ROOF
FRAMING

S103B

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north
roof framing
1/8" = 1'-0"

coded notes SEE DECK FRAMING ON S102

1. PRE-ENGINEERED WOOD ROOF TRUSSES @ 24" O.C. MAX. TYPICAL UNO. REFER TO TRUSS ENGINEER'S LAYOUT FOR SPECIFIC TRUSS PROFILES AND SPACING.
2. PROVIDE 8d NAILS @ 8" O.C. FULL HEIGHT FOR MULTIPLE STUDS
3. PROVIDE COMPRESSION/TENSION METAL "T" BRACINGS AT ALL INTERIOR TENANT COMMON WALLS NOT DESIGNATED AS SHEAR WALLS. PROVIDE #4 INSTALL ONE BRACE EACH SIDE OF WALL TO MAKE "X" AT EACH LOCATION.
4. BUILDING EXTERIOR TO RECEIVE A FULL SHEETS OF 7/16" O.S.B. SHEATHING.
5. SECTION OF RAISED BOTTOM CHORD / REFER TO REFLECTED CEILING PLAN, BUILDING SECTIONS AND DETAILS.
6. RATED BEARING WALLS EXTENDING TIGHT TO ROOF SHEATHING UN-INTERRUPTED, SEE WALL SECTIONS PROVIDE #4 INSTALL 1/2" 6x8 OR 3/8" MIN. OSB DRAFTSTOPPING
7. SHEAR WALL. SEE DETAILS E/A601 & H/5202
8. ONE HOUR ATTIC ACCESS PANEL BABCOCK-DAVIS' MODEL # B-IV 22x36
9. DO NOT OPEN ROOF SHEATHING 2'-0" EITHER SIDE OF FIREWALLS/SMOKE WALLS.
10. CLEARSPAN 2-PLY GIRDER TRUSS
11. 2x6 RAFTERS @ 24" O.C. - TYPICAL @ ENTRY PORCH ROOFS.
12. EXTEND PLYWOOD SHEATHING OVER TOP CHORDS OF TRUSSES. OVERLAY TRUSSES @ 24" O.C. BY TRUSS SUPPLIER
13. BEARING WALL SUPPORTED BY BEAM IN 2ND FLOOR DECK SYSTEM BELOW.

CODED NOTES APPLY TO THE ENTIRE STRUCTURE, INDIVIDUALLY IDENTIFIED LOCATIONS ARE FOR REFERENCE ONLY.

beam schedule			shear wall schedule		
MARK	END STUDS	KING STUDS EA END	MARK	END STUDS	KING STUDS EA END
B1	(3) 1 3/4" x 14" LVL	3	1	(2) 2X'S	NONE
B2	(2) 2 x 12 W/ 1/2" FILLER	2	2	(2) 2X'S	NONE
B3	(2) 2 x 10	2	3	(2) 2X'S	NONE
B4	(2) 1 3/4" x 11 1/4" LVL	2	4	(2) 2X'S	NONE
B5	(2) 1 3/4" x 11 1/4" LVL	2	5	(2) 2X'S	DTT22
B6	(4) 1 3/4" x 9 1/4" LVL	3	6	(2) 2X'S	HDU2-SDS2.5
B7	(2) 2 x 8	2	7	(2) 2X'S	CS22
B8	(2) 2 x 10 PT	2	8	(2) 2X'S	HDU4-SDS2.5
B9	(2) 2 x 10 PT	2	9	(2) 2X'S	CS18
B10	(2) 2 x 8 W/ 1/2" FILLER	2	10	(2) 2X'S	HDU8-SDS2.5
B11	(2) 1 3/4" x 16" LVL	3			
B12	(2) 1 3/4" x 14" LVL	3			

shear wall schedule					
MARK	END STUDS	WALL CONSTRUCTION	SHEATHING	SOLE PLATE ATTACHMENT	EDGE NAILING
1	(2) 2X'S	NONE	5/8" GYPSUM SHEATHING (E.S.)	16d NAILS @ 16" O.C.	6d 7" O.C. 6d 7" O.C.
2	(2) 2X'S	NONE	5/8" GYPSUM SHEATHING (E.S.)	1/2" @ 16" O.C.	6d 7" O.C. 6d 12" O.C.
3	(2) 2X'S	NONE	7/16" OSB SHEATHING (O.S.)	16d NAILS @ 6" O.C.	6d 7" O.C. 6d 12" O.C.
4	(2) 2X'S	NONE	7/16" OSB SHEATHING (O.S.)	1/2" @ 16" O.C.	6d 7" O.C. 6d 12" O.C.
5	(2) 2X'S	DTT22	5/8" GYPSUM SHEATHING (I.S.)	1/2" @ 16" O.C.	6d 7" O.C. 6d 12" O.C.
6	(2) 2X'S	HDU2-SDS2.5	7/16" OSB SHEATHING (O.S.)	1/2" @ 16" O.C.	6d 7" O.C. 6d 12" O.C.
7	(2) 2X'S	CS22	5/8" GYPSUM SHEATHING (I.S.)	16d NAILS @ 8" O.C.	6d 7" O.C. 6d 12" O.C.
8	(2) 2X'S	HDU4-SDS2.5	7/16" OSB SHEATHING (O.S.)	1/2" @ 16" O.C.	6d 7" O.C. 6d 12" O.C.
9	(2) 2X'S	CS18	7/16" OSB SHEATHING (O.S.)	16d NAILS @ 8" O.C.	6d 7" O.C. 6d 12" O.C.
10	(2) 2X'S	HDU8-SDS2.5	5/8" GYPSUM SHEATHING (O.S.)	1/2" @ 16" O.C.	6d 7" O.C. 6d 12" O.C.

header schedule					
MARK	SIZE	JACK STUDS EA. END	KING STUDS EA. END	ROOF FRAMING	2ND FRAMING
H1	(2) 2x6 W/ 1/2" FILLER	1	2	2	2
H2	(2) 2x8 W/ 1/2" FILLER	1	2	2	2
H3	(2) 2x10 W/ 1/2" FILLER	2	2	3	3
H4	(2) 2x12 W/ 1/2" FILLER	2	2	4	4
H5	NOT USED				
H6	(2) 1 3/4" x 9 1/4" LVL	2	2	3	3
H7	(2) 1 3/4" x 11 1/4" LVL	2	2	4	4
H8	(3) 2x6 W/ (2) 1/2" FILLER	1	1	1	1
H2a	(3) 2x8 W/ (2) 1/2" FILLER	1	-	1	1
H3a	(3) 2x10 W/ (2) 1/2" FILLER	2	-	2	2
H4a	(3) 2x12 W/ (2) 1/2" FILLER	2	-	2	2

GENERAL FRAMING NOTES: TYPICAL OF ALL SUBMITTED PLANS.

EXACT FLOOR TRUSS/JOIST LAYOUT AND DIMENSIONS ARE THE RESPONSIBILITY OF THE TRUSS FABRICATOR AND FRAMING SUBCONTRACTOR. TRUSS/JOIST LAYOUT SHALL BE COORDINATED WITH THE HVAC, PLUMBING AND ELECTRICAL SUBCONTRACTORS PRIOR TO SUBMISSION OF TRUSS SHOP DRAWINGS, FABRICATION AND INSTALLATION TO ENSURE THE PROPOSED LAYOUT PROVIDES NECESSARY CLEARANCES FOR THE HVAC, PLUMBING AND ELECTRICAL TRADE ELEMENTS, FIXTURES, DUCTING AND PIPING.

DO NOT CENTER TRUSSES ON CEILING RECESSES OR WITHIN 6" OF CENTERLINE OF DWELLING UNIT BEDROOM WINDOWS.

CONTRACTOR TO COORDINATE ADDITIONAL LOADING FOR BUILDING EQUIPMENT SYSTEMS TO FLOOR JOISTS - ROOF TRUSSES WITH MANUFACTURERS.

EXACT FRAMING LAYOUT SHALL BE COORDINATED WITH ALL OTHER TRADE SUBCONTRACTORS PRIOR TO INSTALLATION FOR ITEMS INCLUDING, BUT NOT LIMITED TO, THE ELECTRIC PANEL, ELECTRIC FIXTURES (INCLUDING CAN LIGHTS), MEDICINE CABINETS, CONTROL JOINTS, DOOR FRAMING AND HVAC DUCTS / SOFFITS.

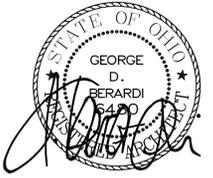
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EXTEND ALL POSTS AND COLUMNS TO FOUNDATION. PROVIDE SOLID BLOCKING WITHIN FLOOR FRAMING SPACES.

holdown schedule		
HOLDOWN MARK	ANCHOR TYPE	END POST
HD1	(1) M8T 2T	(2) 2x
		HD2

NOTES:

1. WHERE STUD MUST BE CUT DUE TO THE PLACEMENT OF ANCHORS BOLTS OR OTHER PRODUCTS, AN ADDITIONAL STUD SHALL BE INSERTED ALONG SIDE.
2. SHEAR WALL SHEATHING SHALL BE A.P.A. RATED SHEATHING, EXPOSURE 1.
3. PANEL EDGES SHALL BE SOLID BLOCKED WITH 2 x FRAMING MEMBER.
4. WALLS REFERRED TO SHALL BE FULL LENGTH COMMON WALLS.
5. #6 SCREWS x 3/4" L6. TYPE 5 MAY BE SUBSTITUTED FOR 6d NAILS.
6. SOLE PLATE ATTACHMENT BASED ON 1/2" TITEN HD ANCHORS W/ 4 1/2" MINIMUM EMBEDMENT.



LMHA
Collingwood
Green, Phase III
Toledo, Ohio

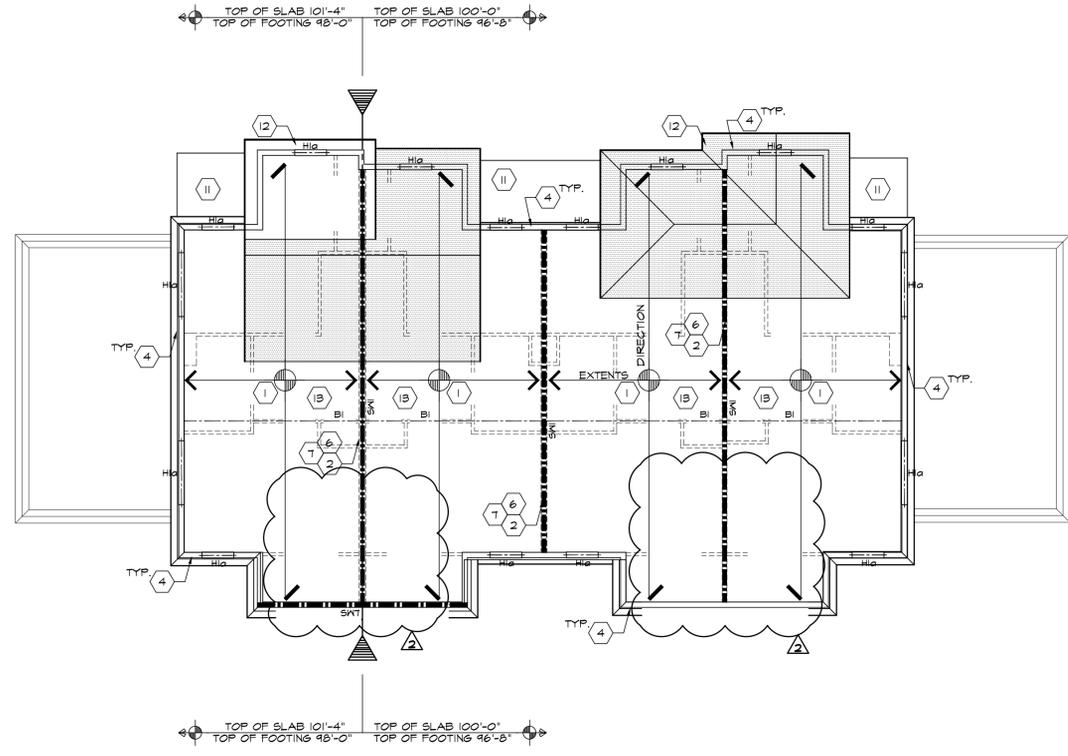
Collingwood Green
"Quality affordable living within a green community"



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 2. THE CONTRACT DOCUMENTS ARE COMPRISED OF THE DRAWINGS AND THE PROJECT MANUAL, IN THEIR ENTIRETY. THE INFORMATION IN THESE DOCUMENTS IS DEPENDENT UPON AND COMPLEMENTS ANY OF EACH OTHER. SEPARATION OF THE CONTRACT DOCUMENTS SHALL NOT BE PERMITTED. IF THE CONTRACTOR GOES TO SEPARATE THE DOCUMENTS, THEY DO SO AT THEIR OWN RISK AND EXPENSE.
 3. ADDITIONALLY, SEE GENERAL INFORMATION ON A07 SHEETS.
 4. THE CLIENT ACKNOWLEDGES THE CONSULTANT'S (ARCHITECT) DRAWINGS AND SPECIFICATION INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA AS INSTRUMENTS OF THE CONSULTANT'S (ARCHITECT) PROFESSIONAL SERVICE. THE CLIENT SHALL NOT REUSE OR MAKE OR PERMIT TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF THE CONSULTANT (ARCHITECT). THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT) ARISING FROM ANY UNAUTHORIZED TRANSFER, REUSE OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.
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north ↑↑
roof framing
1/8" = 1'-0"

shear wall schedule

MARK	WALL CONSTRUCTION			SOLE PLATE ATTACHMENT	EDGE NAILING SIZE SPACING	FIELD NAILING SIZE SPACING
	END STUDS	SIMPSON HOLDOWN	SHEATHING			
①	(2) 2X'S	NONE	5/8" GYPSUM SHEATHING (E.S.)	16d NAILS @ 16" O.C.	6d 7" O.C.	6d 7" O.C.
②	(2) 2X'S	NONE	5/8" GYPSUM SHEATHING (E.S.)	1/2" @ 16" O.C.	6d 7" O.C.	6d 7" O.C.
③	(2) 2X'S	NONE	7/16" OSB SHEATHING (O.S.) 5/8" GYPSUM SHEATHING (I.S.)	16d NAILS @ 6" O.C.	6d 6" O.C.	6d 12" O.C.
④	(2) 2X'S	NONE	7/16" OSB SHEATHING (O.S.) 5/8" GYPSUM SHEATHING (I.S.)	1/2" @ 16" O.C.	6d 7" O.C.	6d 7" O.C.
⑤	(2) 2X'S	DTT2Z	7/16" OSB SHEATHING (O.S.) 5/8" GYPSUM SHEATHING (I.S.)	1/2" @ 16" O.C.	6d 6" O.C.	6d 12" O.C.
⑥	(2) 2X'S	HDU2-SDS2.5	7/16" OSB SHEATHING (O.S.) 5/8" GYPSUM SHEATHING (I.S.)	1/2" @ 16" O.C.	6d 7" O.C.	6d 7" O.C.
⑦	(2) 2X'S	CS22	7/16" OSB SHEATHING (O.S.) 5/8" GYPSUM SHEATHING (I.S.)	16d NAILS @ 8" O.C.	6d 7" O.C.	6d 7" O.C.
⑧	(2) 2X'S	HDU4-SDS2.5	7/16" OSB SHEATHING (O.S.) 5/8" GYPSUM SHEATHING (I.S.)	1/2" @ 16" O.C.	6d 6" O.C.	6d 12" O.C.
⑨	(2) 2X'S	CS18	7/16" OSB SHEATHING (O.S.) 5/8" GYPSUM SHEATHING (I.S.)	16d NAILS @ 8" O.C.	6d 7" O.C.	6d 7" O.C.
⑩	(2) 2X'S	HDU8-SDS2.5	7/16" OSB SHEATHING (O.S.) 5/8" GYPSUM SHEATHING (I.S.)	1/2" @ 12" O.C.	6d 7" O.C.	6d 7" O.C.

- NOTES:**
1. WHERE STUD MUST BE CUT DUE TO THE PLACEMENT OF ANCHORS BOLTS OR OTHER PRODUCTS, AN ADDITIONAL STUD SHALL BE INSERTED ALONG SIDE.
 2. SHEAR WALL SHEATHING SHALL BE A.P.A. RATED SHEATHING, EXPOSURE 1.
 3. PANEL EDGES SHALL BE SOLID BLOCKED WITH 2 x FRAMING MEMBER.
 4. WALLS REFERRED TO SHALL BE FULL LENGTH COMMON WALLS.
 5. #6 SCREWS x 1 3/4" L6. TYPE S MAY BE SUBSTITUTED FOR 6d NAILS.
 6. SOLE PLATE ATTACHMENT BASED ON 1/2" @ TITEN HD ANCHORS 1/4" x 1/2" MINIMUM EMBEDMENT.

header schedule

MARK	SIZE	JACK STUDS EA. END		KING STUDS EA. END	
		ROOF FRAMING	2ND FRAMING	ROOF FRAMING	2ND FRAMING
H1	(2) 2x6 W/ 1/2" FILLER	1	2	2	2
H2	(2) 2x8 W/ 1/2" FILLER	1	2	2	2
H3	(2) 2x10 W/ 1/2" FILLER	2	2	2	2
H4	(2) 2x12 W/ 1/2" FILLER	2	2	2	4
H5	NOT USED	-	-	-	-
H6	(2) 1 3/4 x 9 1/4" LVL	2	2	2	2
H7	(2) 1 3/4 x 11 1/4" LVL	2	2	2	4
L1	16x12 W/ CONT. 3/8" X 10 1/2" PL.	-	-	-	-
H1a	(3) 2x6 W/ (2) 1/2" FILLER	1	1	1	1
H2a	(3) 2x8 W/ (2) 1/2" FILLER	1	-	-	1
H3a	(3) 2x10 W/ (2) 1/2" FILLER	2	-	-	1
H4a	(3) 2x12 W/ (2) 1/2" FILLER	2	-	-	1

- NOTES:**
- CODED NOTES APPLY TO THE ENTIRE BUILDING. INDIVIDUAL IDENTIFICATION IS FOR REFERENCE ONLY.
- MULTIPLE MICROLAMS SECURED TOGETHER IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS
- GIRDER TRUSSES SHALL HAVE MINIMUM 2x6 TOP & BOTTOM CHORDS TO FACILITATE FRAMING CONNECTIONS BETWEEN ADJOINING MEMBERS. PROVIDE GREATER AS NEEDED. COORDINATE W/ SUPPORTED MEMBER HANGER REQUIREMENTS
- THE ROOF TRUSS AND FRAMING LAYOUT DEPICTED HERE IS CONCEPTUAL ONLY. TO DEFINE THE DESIGN INTENT, EXACT ROOF TRUSS LAYOUT AND FRAMING DESIGN SHALL BE THE RESPONSIBILITY OF THE TRUSS SUPPLIER, WHO SHALL SUBMIT ENGINEERED AND SEALED TRUSS SHOP DRAWINGS FOR REVIEW TO THE ARCHITECT. SHOULD FRAMING BEARING LOCATIONS CHANGE FROM THAT DEPICTED, NOTIFY THE ARCHITECT IMMEDIATELY SO THAT ANY NECESSARY COORDINATION CAN BE IMPLEMENTED.

- coded notes** SEE DECK FRAMING ON S102
1. PRE-ENGINEERED WOOD ROOF TRUSSES @ 24" O.C. MAX. TYPICAL UNO. REFER TO TRUSS ENGINEER'S LAYOUT FOR SPECIFIC TRUSS PROFILES AND SPACING.
 2. PROVIDE 6d NAILS @ 8" O.C. FULL HEIGHT FOR MULTIPLE STUDS
 3. PROVIDE COMPRESSION/TENSION METAL "T" BRACING AT INTERIOR TENANT COMMON WALLS NOT DESIGNATED AS SHEAR WALLS. PROVIDE & INSTALL ONE BRACE EACH SIDE OF WALL TO MAKE & "X" AT EACH LOCATION.
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beam shedule

MARK	END STUDS	KING STUDS EA. END
B1	(3) 1 3/4" x 14" LVL	3
B2	(2) 2 x 12 W/ 1/2" FILLER	2
B3	(2) 2 x 10	2
B4	(2) 1 3/4" x 9 1/4" LVL	2
B5	(2) 1 3/4" x 11 1/4" LVL	2
B6	(4) 1 3/4" x 9 1/4" LVL	3
B7	(2) 2 x 8	2
B8	(2) 2 x 10 FT	2
B9	(2) 2 x 10 FT	2
B10	(2) 2 x 8 W/ 1/2" FILLER	2
B11	(2) 1 3/4 x 16" LVL	3
B12	(2) 1 3/4 x 14" LVL	3

holdown schedule

HOLDOWN MARK	ANCHOR TYPE	END POST
HD1	(1) M8T 2T	(2) 2x
		HD2

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Bid Set

PROJECT DATE 09/06/2017
PROJECT # 14105

Issue	Description	Date
1	ADDENDUM 2	09/18/17

**BUILDING D
ROOF
FRAMING**

S103D

THE COLLABORATIVE
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architecture + interior design + engineering

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 5. ARCHITECT CANNOT WARRANT THE ACCURACY OF DATA CONTAINED HEREIN. ANY USE OR REUSE OF ORIGINAL OR ALTERED CAD/DWG DESIGN MATERIALS BY THE USER OR OTHER PARTIES WITHOUT THE REVIEW AND WRITTEN APPROVAL OF THE ARCHITECT SHALL BE AT THE SOLE RISK OF THE USER. FURTHERMORE, USER AGREES TO DEFEND, INDEMNIFY, AND HOLD ARCHITECT HARMLESS FROM ALL CLAIMS, INJURIES, DAMAGES, LOSSES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE MODIFICATION OR REUSE OF THESE MATERIALS.
 6. THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO DEFINE EXACT QUANTITIES, LOCATIONS, OR CODE REQUIREMENTS. THE INFORMATION IN THESE DRAWINGS IS FOR REFERENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL APPLICABLE CODE REQUIREMENTS SHALL BE OBTAINED BY THE CONTRACTOR AND SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY INFORMATION PROVIDED DIRECTLY TO THE CONTRACTOR BY THE ARCHITECT SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT.

Bid Set

PROJECT DATE: 09/06/2017
PROJECT #: 14105

Issue 1 Description ADDENDUM 2 Date 09/18/17

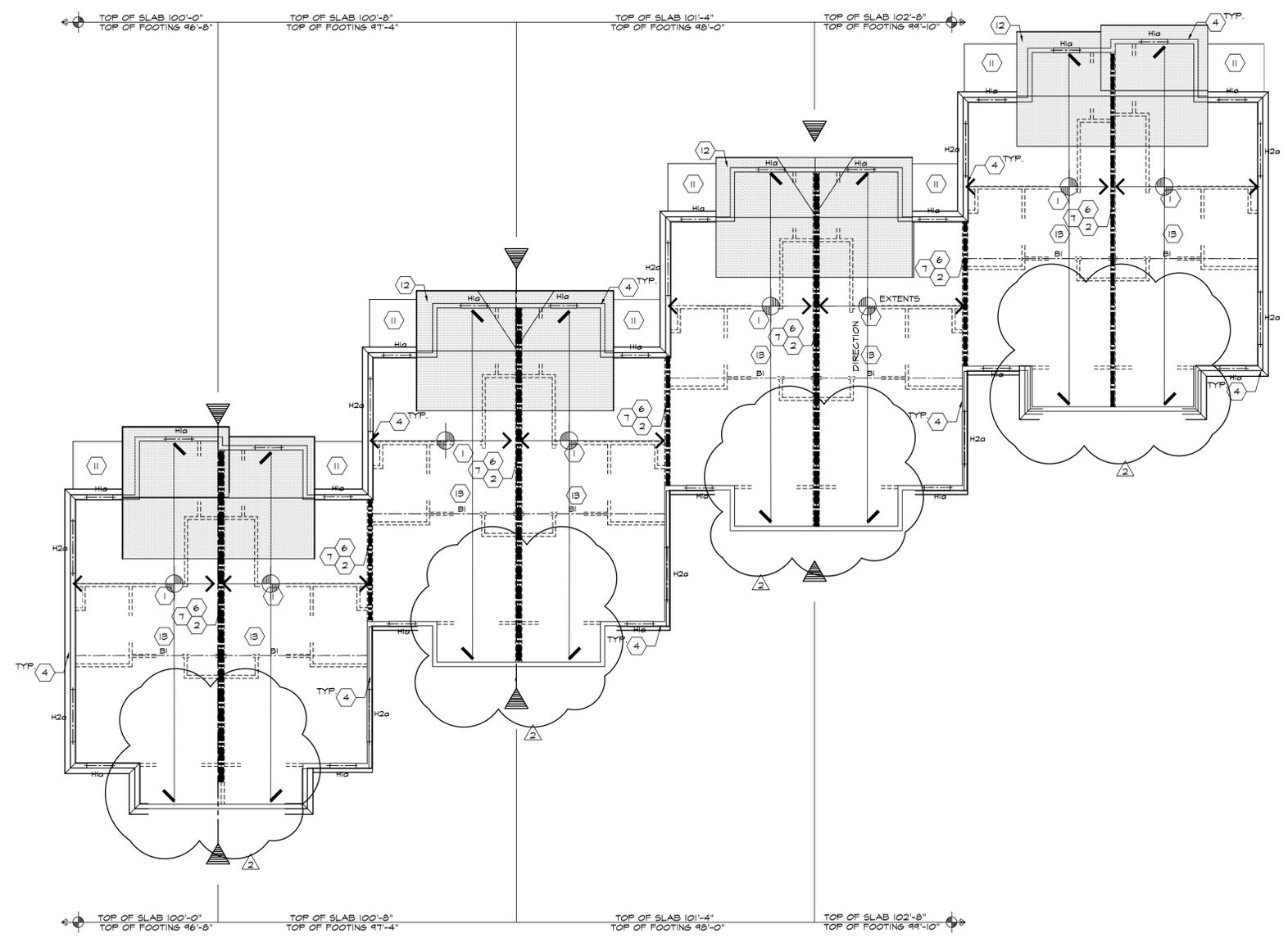
**BUILDING E
ROOF
FRAMING**

S103E

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Phone (614)221-1110 Fax (614)221-0831
www.berardipartners.com



north
roof framing
1/8" = 1'-0"

shear wall schedule

MARK	WALL CONSTRUCTION				EDGE NAILING		FIELD NAILING	
	END STUDS	SIMPSON HOLDDOWN	SHEATHING	SOLE & ATTACHMENT	SIZE	SPACINGS	SIZE	SPACINGS
①	(2) 2x5	NONE	5/8" GYPSUM SHEATHING (E.S.)	16d NAILS @ 16" O.C.	6d	1' O.C.	6d	1' O.C.
②	(2) 2x5	MSTC28	7/16" OSB SHEATHING (O.S.)	16d NAILS @ 16" O.C.	6d	1' O.C.	6d	12" O.C.
③	(2) 2x5	H2J2-SDS2.5 1/4" 5/8" Ø x 14" L6. THREADED ROD	7/16" OSB SHEATHING (O.S.)	1/2" Ø @ 48" O.C.	6d	1' O.C.	6d	12" O.C.
④	(2) 2x5	H2J4-SDS2.5 1/4" 5/8" Ø x 14" L6. THREADED ROD	5/8" GYPSUM SHEATHING (1.5)	1/2" Ø @ 48" O.C.	6d	1' O.C.	6d	12" O.C.
⑤	(2) 2x5	H2J5-SDS2.5 1/4" 5/8" Ø x 14" L6. THREADED ROD	7/16" OSB SHEATHING (O.S.)	1/2" Ø @ 32" O.C.	6d	1' O.C.	6d	12" O.C.
⑥	(3) 2x5	H2J8-SDS2.5 1/4" 7/8" Ø x 14" L6. THREADED ROD	7/16" OSB SHEATHING (O.S.)	1/2" Ø @ 24" O.C.	6d	1' O.C.	6d	12" O.C.
⑦	(4) 2x5	H2J11-SDS2.5 1/4" 1" Ø x 14" L6. THREADED ROD	5/8" GYPSUM SHEATHING (1.5)	1/2" Ø @ 12" O.C.	6d	1' O.C.	6d	12" O.C.

NOTES: 1. WHERE STUD MUST BE CUT DUE TO THE PLACEMENT OF ANCHORS BOLTS OR OTHER PRODUCTS, AN ADDITIONAL STUD SHALL BE INSERTED ALONG SIDE. (O.S.) OUTSIDE (E.S.) INSIDE
2. ALL SHEAR WALL SHEATHING SHALL BE A.P.A. RATED SHEATHING, EXPOSURE 1.
3. ALL PANEL EDGES SHALL BE SOLID BLOCKED WITH 2" FRAMING MEMBER.
4. ALL WALLS REFERRED TO SHALL BE FULL LENGTH COMMON WALLS.
5. #6 SCREWS 1 3/4" L6, TYPE S OR N MAY BE SUBSTITUTED FOR 6d NAILS.
6. SOLE PLATE ATTACHMENT BASED ON 1/2" TITEN HD ANCHORS 1/4" 40" EMBEDMENT.

GENERAL FRAMING NOTES: TYPICAL OF ALL SUBMITTED PLANS

EXACT FLOOR TRUSS/JOIST LAYOUT AND DIMENSIONS ARE THE RESPONSIBILITY OF THE TRUSS FABRICATOR AND FRAMING SUBCONTRACTOR. TRUSS/JOIST LAYOUT SHALL BE COORDINATED WITH THE HVAC, PLUMBING AND ELECTRICAL SUBCONTRACTORS PRIOR TO SUBMISSION OF TRUSS SHOP DRAWINGS, FABRICATION AND INSTALLATION TO ENSURE THE PROPOSED LAYOUT PROVIDES NECESSARY CLEARANCES FOR THE HVAC, PLB& AND ELECTRICAL TRADE ELEMENTS, FIXTURES, DUCTING AND PIPING.
DO NOT CENTER TRUSSES ON CEILING RECESSES OR WITHIN 6" OF CENTERLINE OF DWELLING UNIT BEDROOM WINDOWS.
CONTRACTOR TO COORDINATE ADDITIONAL LOADING FOR BUILDING EQUIPMENT SYSTEMS TO FLOOR JOISTS - ROOF TRUSSES WITH MANUFACTURERS.
EXACT FRAMING LAYOUT SHALL BE COORDINATED WITH ALL OTHER TRADE SUBCONTRACTORS PRIOR TO INSTALLATION FOR ITEMS INCLUDING, BUT NOT LIMITED TO, THE ELECTRIC PANEL, ELECTRIC FIXTURES (INCLUDING CAN LIGHTS), MEDICINE CABINETS, CONTROL JOINTS, DOOR FRAMING AND HVAC DUCTS / SOFFITS.
IF THE LAYOUT IS CHANGED SUCH THAT THE LOADING ON HEADERS/BEAMS IS INCREASED, THE FRAMING SUBCONTRACTOR SHALL SUBMIT A REVISED SCHEDULE OF THOSE HEADERS/BEAMS STAMPED BY AN ENGINEER REGISTERED WITH THE STATE IN WHICH THE PROJECT IS TO BE LOCATED.
EXTEND ALL POSTS AND COLUMNS TO FOUNDATION. PROVIDE SOLID BLOCKING WITHIN FLOOR SPACES.

coded notes SEE DECK FRAMING ON S102

1. PRE-ENGINEERED WOOD ROOF TRUSSES @ 24" O.C. MAX. TYPICAL UNO. REFER TO TRUSS ENGINEER'S LAYOUT FOR SPECIFIC TRUSS PROFILES AND SPACINGS.
2. PROVIDE 6d NAILS @ 8" O.C. FULL HEIGHT FOR MULTIPLE STUDS
3. PROVIDE COMPRESSION/TENSION METAL "T" BRACING AT INTERIOR TENANT COMMON WALLS NOT DESIGNATED AS SHEAR WALLS. PROVIDE 4" INSTALL ONE BRACE EACH SIDE OF WALL TO MAKE 8" X" AT EACH LOCATION.
4. BUILDING EXTERIOR TO RECEIVE A FULL SHEETS OF 7/16" O.S.B. SHEATHING.
5. SECTION OF RAISED BOTTOM CHORD / REFER TO REFLECTED CEILING PLAN, BUILDING SECTIONS AND DETAILS.
6. RATED BEARING WALLS EXTENDING TIGHT TO ROOF SHEATHING UN-INTERRUPTED, SEE WALL SECTIONS PROVIDE 4" INSTALL 1/2" 6x6 OR 3/8" MIN. OSB DRAFTSTOPPING
7. SHEAR WALL. SEE DETAILS E/A601 & H/5202
8. ONE HOUR ATTIC ACCESS PANEL BABCOCK-DAVIS' MODEL # B-1X 22x36
9. DO NOT OPEN ROOF SHEATHING 2'-0" EITHER SIDE OF FIREWALLS/SMOKE WALLS.
10. CLEARSPAN 2-PLY GIRDER TRUSS
11. 2x6 RAFTERS @ 24" O.C. - TYPICAL @ ENTRY PORCH ROOFS.
12. EXTEND PLYWOOD SHEATHING OVER TOP CHORDS OF TRUSSES. OVERLAY TRUSSES @ 24" O.C. BY TRUSS SUPPLIER
13. BEARING WALL SUPPORTED BY BEAM IN 2ND FLOOR DECK SYSTEM BELOW.

CODED NOTES APPLY TO THE ENTIRE STRUCTURE. INDIVIDUALLY IDENTIFIED LOCATIONS ARE FOR REFERENCE ONLY.

beam shedule

MARK	SIZE	EA	EA END
B1	(3) 1 3/4" x 11 1/4" LVL	3	
B2	(2) 2x12 1/4" 1/2" FILLER	2	
B3	(3) 1 3/4" x 9 1/4" LVL	2	
B4	(2) 1 3/4" x 9 1/4" LVL	2	
B5	(2) 1 3/4" x 11 1/4" LVL	2	
B6	(4) 1 3/4" x 11 1/4" LVL	3	
B7	(2) 2 x 8	2	
B8	(2) 2 x 10 FT	2	

1. HOLDDOWNS SHOWN ON 2ND FLOOR DECK FRAMING INDICATE HARDWARE AT FIRST FLOOR FRAMING BASE PLATE LEVEL.
2. HOLDDOWNS BRIDGING FRAMING ON ONE LEVEL TO FRAMING ON ANOTHER TO BE COORDINATED WITH DETAILS ON SHEET S202.

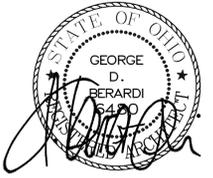
holdown schedule

HOLDDOWN MARK	ANCHOR TYPE	END POST
H21	(1) MST 21	(2) 2x
		H22

header schedule

MARK	SIZE	JACK STUDS EA. END		KING STUDS EA. END	
		ROOF FRAMING	2ND FRAMING	ROOF FRAMING	2ND FRAMING
H1	(2) 2x6 1/4" 1/2" FILLER	1	2	2	2
H2	(2) 2x8 1/4" 1/2" FILLER	1	2	2	2
H3	(2) 2x10 1/4" 1/2" FILLER	2	2	2	3
H4	(2) 2x12 1/4" 1/2" FILLER	2	2	2	4
H5	NOT USED				
H6	(2) 1 3/4" x 9 1/4" LVL	2	2	2	3
H7	(2) 1 3/4" x 11 1/4" LVL	2	2	2	4
H1a	(3) 2x6 1/4" (2) 1/2" FILLER	1	1	1	1
H2a	(3) 2x10 1/4" (2) 1/2" FILLER	2	-	1	1
H4a	(3) 2x12 1/4" (2) 1/2" FILLER	2	-	1	1

NOTES:
CODED NOTES APPLY TO THE ENTIRE BUILDING. INDIVIDUAL IDENTIFICATION IS FOR REFERENCE ONLY.
MULTIPLE MICROLAMS SECURED TOGETHER IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS
ALL GIRDER TRUSSES SHALL HAVE MINIMUM 2x6 TOP & BOTTOM CHORDS TO FACILITATE FRAMING CONNECTIONS BETWEEN ADJOINING MEMBERS. PROVIDE GREATER AS NEEDED. COORDINATE 1/4" SUPPORTED MEMBER HANGER REQUIREMENTS
THE ROOF TRUSS AND FRAMING LAYOUT DEPICTED HERE IS CONCEPTUAL ONLY TO DEFINE THE DESIGN INTENT. EXACT ROOF TRUSS LAYOUT AND FRAMING DESIGN SHALL BE THE RESPONSIBILITY OF THE TRUSS SUPPLIER, WHO SHALL SUBMIT ENGINEERED AND SEALED TRUSS SHOP DRAWINGS FOR APPROVAL TO THE ARCHITECT. SHOULD ROOF FRAMING BEARING LOCATIONS CHANGE FROM THAT DEPICTED, NOTIFY THE ARCHITECT IMMEDIATELY SO THAT ANY NECESSARY COORDINATION CAN BE IMPLEMENTED.



LMHA
Collingwood
Green, Phase III
Toledo, Ohio

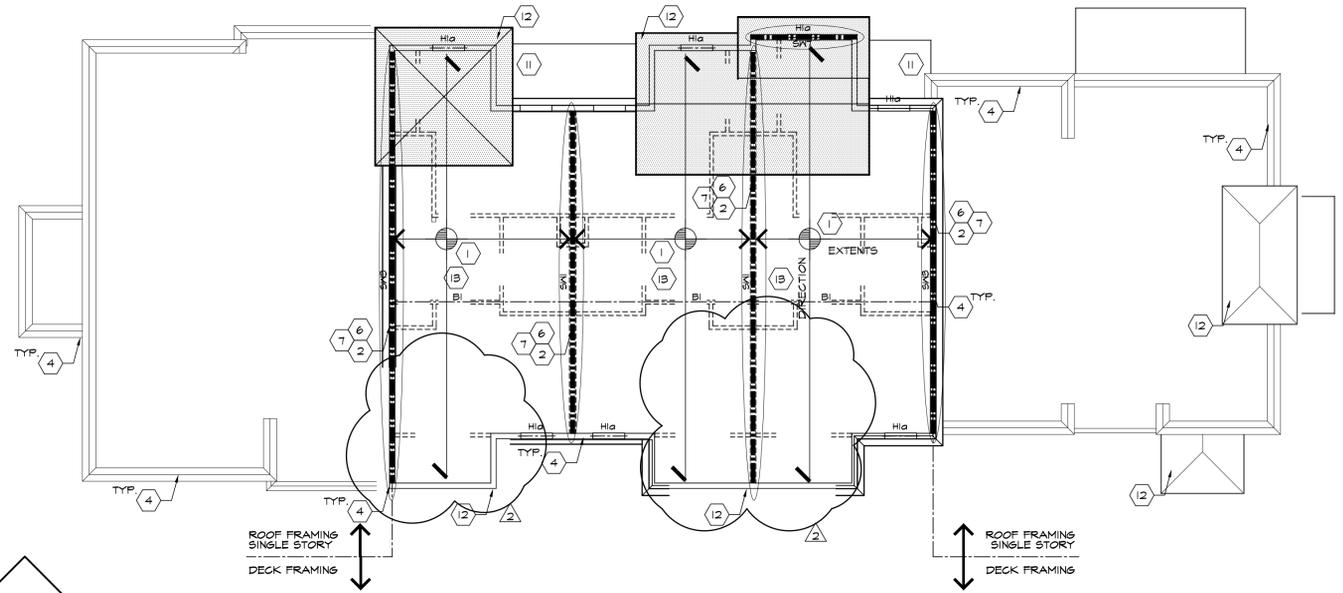
Collingwood Green
"Quality affordable living within a green community"



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NOTE:
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2. THE CONTRACT DOCUMENTS ARE COMPRISED OF THE DRAWINGS AND THE PROJECT MANUAL IN THEIR ENTIRETY. THE INFORMATION IN THESE DOCUMENTS IS DEPENDENT UPON AND COMPLEMENTS ANY OF EACH OTHER. SEPARATION OF THE CONTRACT DOCUMENTS SHALL NOT BE PERMITTED. IF THE CONTRACTOR GOES TO SEPARATE THE DOCUMENTS, THEY DO SO AT THEIR OWN RISK AND EXPENSE.
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north ↑↑
roof framing
1/8" = 1'-0"

shear wall schedule

MARK	WALL CONSTRUCTION			EDGE NAILING SIZE SPACING	FIELD NAILING SIZE SPACING
	END STUDS	SIMPSON HOLDOWN	SHEATHING		
①	(2) 2X'S	NONE	5/8" GYPSUM SHEATHING (E.S.)	16d NAILS @ 16" O.C.	6d 7" O.C. 6d 7" O.C.
②	(2) 2X'S	NONE	5/8" GYPSUM SHEATHING (E.S.)	1/2" @ 16" O.C.	6d 7" O.C. 6d 7" O.C.
③	(2) 2X'S	NONE	7/16" OSB SHEATHING (O.S.)	16d NAILS @ 6" O.C.	6d 6" O.C. 6d 12" O.C.
④	(2) 2X'S	NONE	5/8" GYPSUM SHEATHING (E.S.)	1/2" @ 16" O.C.	6d 7" O.C. 6d 7" O.C.
⑤	(2) 2X'S	DTT2Z	7/16" OSB SHEATHING (O.S.)	1/2" @ 16" O.C.	6d 6" O.C. 6d 12" O.C.
⑥	(2) 2X'S	HDU2-SDS2.5	7/16" OSB SHEATHING (O.S.)	1/2" @ 16" O.C.	6d 7" O.C. 6d 12" O.C.
⑦	(2) 2X'S	CS22	5/8" GYPSUM SHEATHING (E.S.)	16d NAILS @ 8" O.C.	6d 7" O.C. 6d 7" O.C.
⑧	(2) 2X'S	HDU4-SDS2.5	7/16" OSB SHEATHING (O.S.)	1/2" @ 16" O.C.	6d 6" O.C. 6d 12" O.C.
⑨	(2) 2X'S	CS18	7/16" OSB SHEATHING (O.S.)	16d NAILS @ 8" O.C.	6d 7" O.C. 6d 12" O.C.
⑩	(2) 2X'S	HDU8-SDS2.5	7/16" OSB SHEATHING (O.S.)	1/2" @ 12" O.C.	6d 7" O.C. 6d 7" O.C.

NOTES:
1. WHERE STUD MUST BE CUT DUE TO THE PLACEMENT OF ANCHORS BOLTS OR OTHER PRODUCTS, AN ADDITIONAL STUD SHALL BE INSERTED ALONG SIDE.
2. SHEAR WALL SHEATHING SHALL BE A.P.A. RATED SHEATHING, EXPOSURE 1.
3. PANEL EDGES SHALL BE SOLID BLOCKED WITH 2 X FRAMING MEMBER.
4. WALLS REFERRED TO SHALL BE FULL LENGTH COMMON WALLS.
5. #6 SCREWS X 3/4" L6. TYPE S MAY BE SUBSTITUTED FOR 6d NAILS.
6. SOLE PLATE ATTACHMENT BASED ON 1/2" @ TITEN HD ANCHORS W/ 4 1/2" MINIMUM EMBEDMENT.

GENERAL FRAMING NOTES: TYPICAL OF SUBMITTED PLANS

EXACT FLOOR TRUSS/JOIST LAYOUT AND DIMENSIONS ARE THE RESPONSIBILITY OF THE TRUSS FABRICATOR AND FRAMING SUBCONTRACTOR. TRUSS/JOIST LAYOUT SHALL BE COORDINATED WITH THE HVAC, PLUMBING AND ELECTRICAL SUBCONTRACTORS PRIOR TO SUBMISSION OF TRUSS SHOP DRAWINGS, FABRICATION AND INSTALLATION TO ENSURE THE PROPOSED LAYOUT PROVIDES NECESSARY CLEARANCES FOR THE HVAC, PLUMBING AND ELECTRICAL TRADE ELEMENTS, FIXTURES, DUCTING AND PIPING.

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EXTEND POSTS AND COLUMNS TO FOUNDATION. PROVIDE SOLID BLOCKING WITHIN FLOOR FRAMING SPACES.

beam schedule

MARK	SIZE	EA END
B1	(3) 1 3/4" x 11 1/4" LVL	3
B2	(2) 2x12 W/ 1/2" FILLER	2
B3	(3) 1 3/4" x 9 1/4" LVL	2
B4	(2) 1 3/4" x 9 1/4" LVL	2
B5	(2) 1 3/4" x 11 1/4" LVL	2
B6	(4) 1 3/4" x 11 1/4" LVL	3
B7	(2) 2 x 8	2
B8	(2) 2 x 10 FT	2

1. HOLDOWNS SHOWN ON 2ND FLOOR DECK FRAMING INDICATE HARDWARE AT FIRST FLOOR FRAMING BASE PLATE LEVEL.
2. HOLDOWNS BRIDGING FRAMING ON ONE LEVEL TO FRAMING ON ANOTHER TO BE COORDINATED WITH DETAILS ON SHEET S202.

holdown schedule

HOLDOWN MARK	ANCHOR TYPE	END POST
HD1	(1) M8T 2T	(2) 2x
		HD2

coded notes SEE DECK FRAMING ON S102

- PRE-ENGINEERED WOOD ROOF TRUSSES @ 24" O.C. MAX. TYPICAL U.N.O. REFER TO TRUSS ENGINEER'S LAYOUT FOR SPECIFIC TRUSS PROFILES AND SPACING.
- PROVIDE 6d NAILS @ 8" O.C. FULL HEIGHT FOR MULTIPLE STUDS
- PROVIDE COMPRESSION/TENSION METAL "T" BRACING AT INTERIOR TENANT COMMON WALLS NOT DESIGNATED AS SHEAR WALLS. PROVIDE 4 INSTALL ONE BRACE EACH SIDE OF WALL TO MAKE 8" X" AT EACH LOCATION.
- BUILDING EXTERIOR TO RECEIVE A FULL SHEETS OF 7/16" O.S.B. SHEATHING.
- SECTION OF RAISED BOTTOM CHORD / REFER TO REFLECTED CEILING PLAN, BUILDING SECTIONS AND DETAILS.
- RATED BEARING WALLS EXTENDING TIGHT TO ROOF SHEATHING UN-INTERRUPTED, SEE WALL SECTIONS PROVIDE 4 INSTALL 1/2" 6x8 OR 3/8" MIN. OSB DRAFTSTOPPING
- SHEAR WALL. SEE DETAILS E/A601 & H/S202
- ONE HOUR ATTIC ACCESS PANEL BABCOCK-DAVIS' MODEL # B-1X 22x36
- DO NOT OPEN ROOF SHEATHING 2'-0" EITHER SIDE OF FIREWALLS/SMOKE WALLS.
- CLEARSPAN 2-PLY GIRDER TRUSS
- 2x6 RAFTERS @ 24" O.C. - TYPICAL @ ENTRY PORCH ROOFS.
- EXTEND PLYWOOD SHEATHING OVER TOP CHORDS OF TRUSSES. OVERLAY TRUSSES @ 24" O.C. BY TRUSS SUPPLIER
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CODED NOTES APPLY TO THE ENTIRE STRUCTURE. INDIVIDUALLY IDENTIFIED LOCATIONS ARE FOR REFERENCE ONLY.

header schedule

MARK	SIZE	JACK STUDS EA. END		KING STUDS EA. END	
		ROOF FRAMING	2ND FRAMING	ROOF FRAMING	2ND FRAMING
H1	(2) 2x6 W/ 1/2" FILLER	1	2	2	2
H2	(2) 2x8 W/ 1/2" FILLER	1	2	2	2
H3	(2) 2x10 W/ 1/2" FILLER	2	2	2	3
H4	(2) 2x12 W/ 1/2" FILLER	2	2	2	4
H5	NOT USED	-	-	-	-
H6	(2) 1 3/4" x 9 1/4" LVL	2	2	2	3
H7	(2) 1 3/4" x 11 1/4" LVL	2	2	2	4
L1	16x12 W/ CONT. 3/8" X 10 1/2" PL.	-	-	-	-
H1a	(3) 2x6 W/ (2) 1/2" FILLER	1	1	1	1
H2a	(3) 2x8 W/ (2) 1/2" FILLER	1	-	-	1
H3a	(3) 2x10 W/ (2) 1/2" FILLER	2	-	-	1
H4a	(3) 2x12 W/ (2) 1/2" FILLER	2	-	-	1

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Bid Set

PROJECT DATE 09/06/2017
PROJECT # 14105

Issue	Description	Date
1	ADDENDUM 2	09/18/17

BUILDING F
ROOF
FRAMING

S103F



architecture + interior design + engineering
1398 Goodale Blvd. Columbus, Ohio 43212
Phone (614)221-1110 Fax (614)221-0831
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Green, Phase III
Toledo, Ohio

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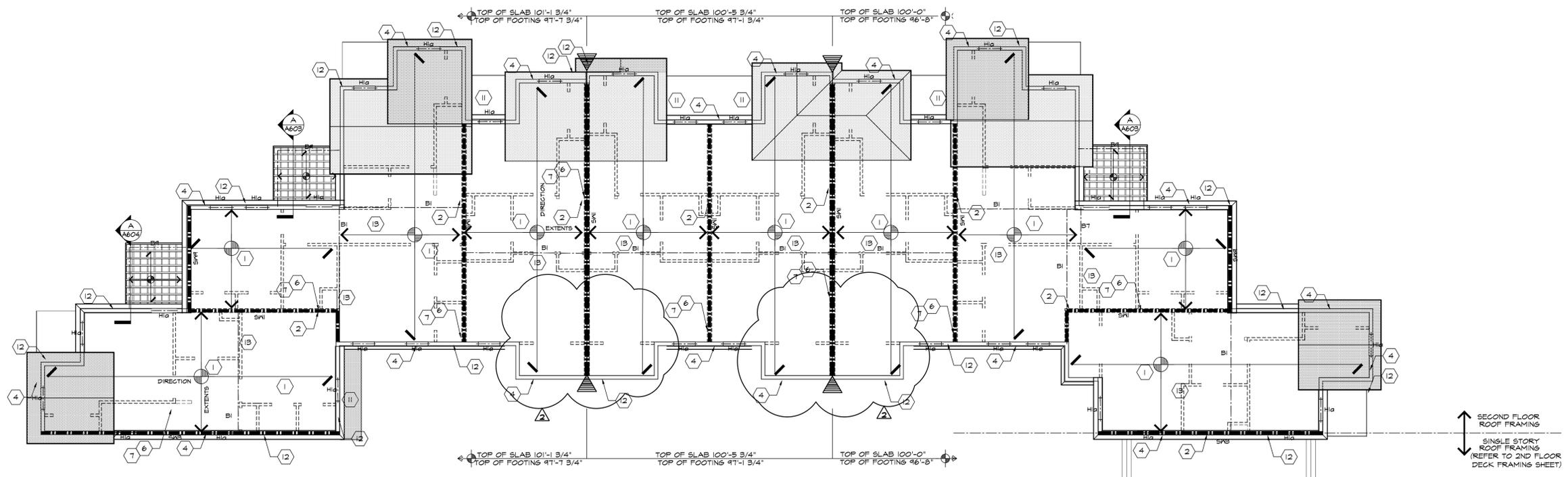
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METROPOLITAN HOUSING AUTHORITY

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4. THE CLIENT ACKNOWLEDGES THE CONSULTANT'S ARCHITECT DRAWINGS AND SPECIFICATIONS INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA AS INSTRUMENTS OF THE CONSULTANT (ARCHITECT). PROFESSIONAL SERVICE. THE CLIENT SHALL NOT REUSE OR MAKE OR PERMIT TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF THE CONSULTANT (ARCHITECT). THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT) ARISING FROM ANY UNAUTHORIZED TRANSFER, REUSE OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.
5. ARCHITECT CANNOT WARRANT THE ACCURACY OF DATA CONTAINED HEREIN. ANY USE OR REUSE OF ORIGINAL OR ALTERED CAD/DWG DESIGN MATERIALS BY THE USER OR OTHER PARTIES WITHOUT THE REVIEW AND WRITTEN APPROVAL OF THE ARCHITECT SHALL BE AT THE SOLE RISK OF THE USER. FURTHERMORE, USER AGREES TO DEFEND, INDEMNIFY, AND HOLD ARCHITECT HARMLESS FROM ALL CLAIMS, INJURIES, DAMAGES, LOSSES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE MODIFICATION OR REUSE OF THESE MATERIALS.
6. THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO DEFINE EXACT QUANTITIES OR COVER REQUIREMENTS. THE INFORMATION SHALL NOT BE ESCALATED EXACT STATE AND LOCAL CODES REQUIREMENTS AND OTHER APPLICABLE CODES. REQUIREMENTS SHALL BE REVIEWED BY AND ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY INFORMATION PROVIDED DIRECTLY CONSULT WITH ANY OF THESE CODES OR ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT.



roof framing
1,408 SF.
1/8" = 1'-0"
north

shear wall schedule

MARK	WALL CONSTRUCTION				EDGE NAILING		FIELD NAILING	
	END STUDS	SIMPSON HOLDOWN	SHEATHING	SOLE PLATE ATTACHMENT	SIZE	SPACING	SIZE	SPACING
①	(2) 2X5	NONE	5/8" GYPSUM SHEATHING (E.S.)	16d NAILS @ 16" O.C.	6d	1' O.C.	6d	1' O.C.
②	(2) 2X5	NONE	5/8" GYPSUM SHEATHING (E.S.)	1/2" @ 16" O.C.	6d	1' O.C.	6d	1' O.C.
③	(2) 2X5	NONE	7/16" OSB SHEATHING (O.S.) 5/8" GYPSUM SHEATHING (I.S.)	16d NAILS @ 6" O.C.	6d	1' O.C.	6d	1' O.C.
④	(2) 2X5	NONE	7/16" OSB SHEATHING (O.S.) 5/8" GYPSUM SHEATHING (I.S.)	1/2" @ 16" O.C.	6d	1' O.C.	6d	1' O.C.
⑤	(2) 2X5	DTT2Z	7/16" OSB SHEATHING (O.S.) 5/8" GYPSUM SHEATHING (I.S.)	1/2" @ 16" O.C.	6d	1' O.C.	6d	1' O.C.
⑥	(2) 2X5	HDU2-SDS2.5	7/16" OSB SHEATHING (O.S.) 5/8" GYPSUM SHEATHING (I.S.)	1/2" @ 16" O.C.	6d	1' O.C.	6d	1' O.C.
⑦	(2) 2X5	CS22	7/16" OSB SHEATHING (O.S.) 5/8" GYPSUM SHEATHING (I.S.)	16d NAILS @ 8" O.C.	6d	1' O.C.	6d	1' O.C.
⑧	(2) 2X5	HDU4-SDS2.5	7/16" OSB SHEATHING (O.S.) 5/8" GYPSUM SHEATHING (I.S.)	1/2" @ 16" O.C.	6d	1' O.C.	6d	1' O.C.
⑨	(2) 2X5	CS10	7/16" OSB SHEATHING (O.S.) 5/8" GYPSUM SHEATHING (I.S.)	16d NAILS @ 8" O.C.	6d	1' O.C.	6d	1' O.C.
⑩	(2) 2X5	HDU8-SDS2.5	7/16" OSB SHEATHING (O.S.) 5/8" GYPSUM SHEATHING (I.S.)	1/2" @ 12" O.C.	6d	1' O.C.	6d	1' O.C.

NOTES:

1. WHERE STUD MUST BE CUT DUE TO THE PLACEMENT OF ANCHORS BOLTS OR OTHER PRODUCTS, AN ADDITIONAL STUD SHALL BE INSERTED ALONG SIDE.
2. SHEAR WALL SHEATHING SHALL BE A P.A. RATED SHEATHING, EXPOSURE 1.
3. PANEL EDGES SHALL BE SOLID BLOCKED WITH 2 X FRAMING MEMBER.
4. WALLS REFERRED TO SHALL BE FULL LENGTH COMMON WALLS.
5. #6 SCREWS X 1 3/4" L6, TYPE 5 MAY BE SUBSTITUTED FOR 6d NAILS.
6. SOLE PLATE ATTACHMENT BASED ON 1/2" @ TITEN HD ANCHORS W/ 4 1/2" MINIMUM EMBEDMENT.

(O.S.) OUTSIDE
(I.S.) INSIDE
(E.S.) EACH SIDE

beam shedule

MARK	DESCRIPTION	QUANTITY
B1	(3) 1 3/4" x 14" LVL	3
B2	(2) 2 x 12 W/ 1/2" FILLER	2
B3	(2) 2 x 10	2
B4	(2) 1 3/4" x 9 1/4" LVL	2
B5	(2) 1 3/4" x 11 1/4" LVL	2
B6	(4) 1 3/4" x 9 1/4" LVL	3
B7	(2) 2 x 8	2
B8	(2) 2 x 10 PT	2
B9	(2) 2 x 10 PT	2
B10	(2) 2 x 8 W/ 1/2" FILLER	2
B11	(2) 1 3/4 x 16" LVL	3
B12	(2) 1 3/4 x 14" LVL	3

NOTES:

1. HOLDOWNS SHOWN ON 2ND FLOOR DECK FRAMING INDICATE HARDWARE AT FIRST FLOOR FRAMING BASE PLATE LEVEL.
2. HOLDOWNS BRIDGING FRAMING ON ONE LEVEL TO FRAMING ON ANOTHER TO BE COORDINATED WITH DETAILS ON SHEET S202.

holdown schedule

HOLDOWN MARK	ANCHOR TYPE	END POST
HD1	(1) MBT 2T	(2) 2x
		HD2

header schedule

MARK	SIZE	JACK STUDS EA. END		KING STUDS EA. END	
		1	2	1	2
H1	(2) 2x6 W/ W 1/2" FILLER	1	2	2	2
H2	(2) 2x8 W/ W 1/2" FILLER	1	2	2	2
H3	(2) 2x10 W/ W 1/2" FILLER	2	2	3	3
H4	(2) 2x12 W/ W 1/2" FILLER	2	2	4	4
H5	NOT USED	-	-	-	-
H6	(2) 1 3/4 x 9 1/4" LVL	2	2	3	3
H7	(2) 1 3/4 x 11 1/4" LVL	2	2	4	4
L1	1x8x21 W/ CONT. 3/8" X 10 1/2" FL.	-	-	-	-
H1a	(3) 2x6 W/ (2) 1/2" FILLER	1	1	1	1
H2a	(3) 2x8 W/ (2) 1/2" FILLER	1	1	1	1
H3a	(3) 2x10 W/ (2) 1/2" FILLER	2	2	1	1
H4a	(3) 2x12 W/ (2) 1/2" FILLER	2	2	1	1

NOTES:

1. CODED NOTES APPLY TO THE ENTIRE BUILDING. INDIVIDUAL IDENTIFICATION IS FOR REFERENCE ONLY.
2. MULTIPLE MICROLAMS SECURED TOGETHER IN ACCORDANCE W/ MANUFACTURERS INSTRUCTIONS
3. GIRDER TRUSSES SHALL HAVE MINIMUM 2x6 TOP & BOTTOM CHORDS TO FACILITATE FRAMING CONNECTIONS BETWEEN ADJOINING MEMBERS. PROVIDE GREATER AS NEEDED. COORDINATE W/ SUPPORTED MEMBER HANGER REQUIREMENTS
4. THE ROOF TRUSS AND FRAMING LAYOUT DEPICTED HERE IS CONCEPTUAL ONLY TO DEFINE THE DESIGN INTENT. EXACT ROOF TRUSS LAYOUT AND FRAMING DESIGN SHALL BE THE RESPONSIBILITY OF THE TRUSS SUPPLIER WHO SHALL SUBMIT ENGINEERED AND SEALED TRUSS SHOP DRAWINGS FOR REVIEW TO THE ARCHITECT. SHOULD ROOF FRAMING BEARING LOCATIONS CHANGE FROM THAT DEPICTED, NOTIFY THE ARCHITECT IMMEDIATELY SO THAT ANY NECESSARY COORDINATION CAN BE IMPLEMENTED.

GENERAL FRAMING NOTES: TYPICAL OF SUBMITTED PLANS

EXACT FLOOR TRUSS/JOIST LAYOUT AND DIMENSIONS ARE THE RESPONSIBILITY OF THE TRUSS FABRICATOR AND FRAMING SUBCONTRACTOR. TRUSS/JOIST LAYOUT SHALL BE COORDINATED WITH THE HVAC, PLUMBING AND ELECTRICAL SUBCONTRACTORS PRIOR TO SUBMISSION OF TRUSS SHOP DRAWINGS, FABRICATION AND INSTALLATION TO ENSURE THE PROPOSED LAYOUT PROVIDES NECESSARY CLEARANCES FOR THE HVAC, PLBS AND ELECTRICAL TRADE ELEMENTS, FIXTURES, DUCTING AND PIPING.

DO NOT CENTER TRUSSES ON CEILING RECESSES OR WITHIN 6" OF CENTERLINE OF DWELLING UNIT BEDROOM WINDOWS.

CONTRACTOR TO COORDINATE ADDITIONAL LOADING FOR BUILDING EQUIPMENT SYSTEMS TO FLOOR JOISTS - ROOF TRUSSES WITH MANUFACTURERS.

EXACT FRAMING LAYOUT SHALL BE COORDINATED WITH OTHER TRADE SUBCONTRACTORS PRIOR TO INSTALLATION FOR ITEMS INCLUDING, BUT NOT LIMITED TO, THE ELECTRIC PANEL, ELECTRIC FIXTURES (INCLUDING CAN LIGHTS), MEDICINE CABINETS, CONTROL JOINTS, DOOR FRAMING AND HVAC DUCTS / SOFFITS.

IF THE LAYOUT IS CHANGED SUCH THAT THE LOADING ON HEADERS/BEAMS IS INCREASED, THE FRAMING SUBCONTRACTOR SHALL SUBMIT A REVISED SCHEDULE OF THOSE HEADERS/BEAMS STAMPED BY AN ENGINEER REGISTERED WITH THE STATE IN WHICH THE PROJECT IS TO BE LOCATED.

EXTEND POSTS AND COLUMNS TO FOUNDATION. PROVIDE SOLID BLOCKING WITHIN FLOOR FRAMING SPACES.

coded notes

SEE DECK FRAMING ON S102

1. PRE-ENGINEERED WOOD ROOF TRUSSES @ 24" O.C. MAX. TYPICAL UNO. REFER TO TRUSS ENGINEER'S LAYOUT FOR SPECIFIC TRUSS PROFILES AND SPACING.
2. PROVIDE 6d NAILS @ 8" O.C. FULL HEIGHT FOR MULTIPLE STUDS
3. PROVIDE COMPRESSION/TENSION METAL TIE BRACING AT INTERIOR TENANT COMMON WALLS NOT DESIGNATED AS SHEAR WALLS. PROVIDE # INSTALL ONE BRACE EACH SIDE OF WALL TO MAKE # "X" AT EACH LOCATION.
4. BUILDING EXTERIOR TO RECEIVE A FULL SHEETS OF 7/16" O.S.B. SHEATHING.
5. SECTION OF RAISED BOTTOM CHORD / REFER TO REFLECTED CEILING PLAN, BUILDING SECTIONS AND DETAILS.
6. RATED BEARING WALLS EXTENDING TIGHT TO ROOF SHEATHING UN-INTERRUPTED, SEE WALL SECTIONS PROVIDE # INSTALL 1/2" 6x8 OR 3/8" MIN. OSB DRAFTSTOPPING
7. SHEAR WALL. SEE DETAILS E/A601 & H/S202
8. ONE HOUR ATTIC ACCESS PANEL BABCOCK-DAVIS' MODEL # B-W 22x36
9. DO NOT OPEN ROOF SHEATHING 2'-0" EITHER SIDE OF FIREWALLS/SMOKE WALLS.
10. CLEARSPAN 2-PLY GIRDER TRUSS
11. 2x6 RAFTERS @ 24" O.C. - TYPICAL @ ENTRY PORCH ROOFS.
12. EXTEND PLYWOOD SHEATHING OVER TOP CHORDS OF TRUSSES. OVERLAY TRUSSES @ 24" O.C. BY TRUSS SUPPLIER
13. BEARING WALL SUPPORTED BY BEAM IN 2ND FLOOR DECK SYSTEM BELOW.

CODED NOTES APPLY TO THE ENTIRE STRUCTURE. INDIVIDUALLY IDENTIFIED LOCATIONS ARE FOR REFERENCE ONLY.

Bid Set

PROJECT DATE 09/06/2017
PROJECT # 14105

Issue	Description	Date
1	ADDENDUM 2	09/18/17

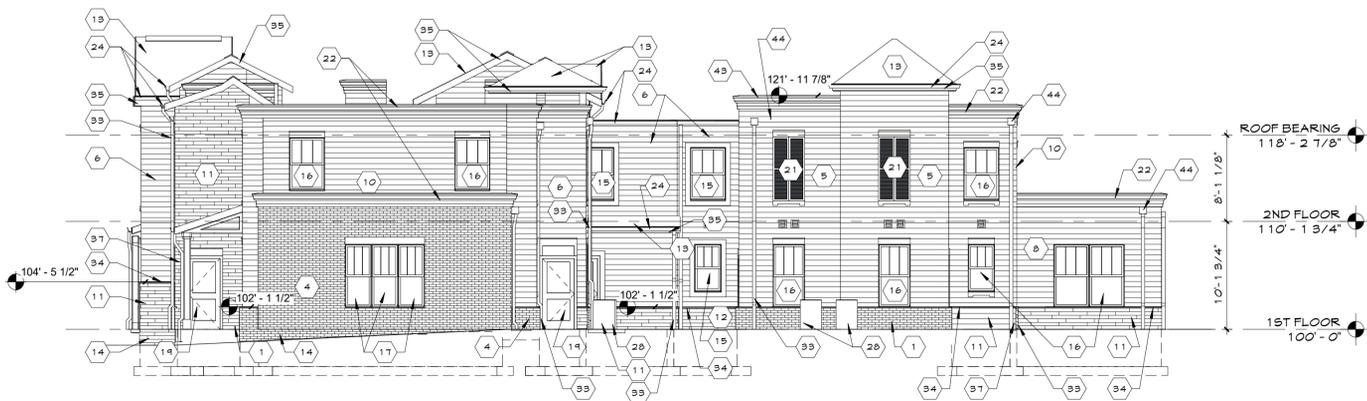
BUILDING H
ROOF
FRAMING

S103H

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BUILDING 'A' EAST ELEVATION

1/8" = 1'-0"



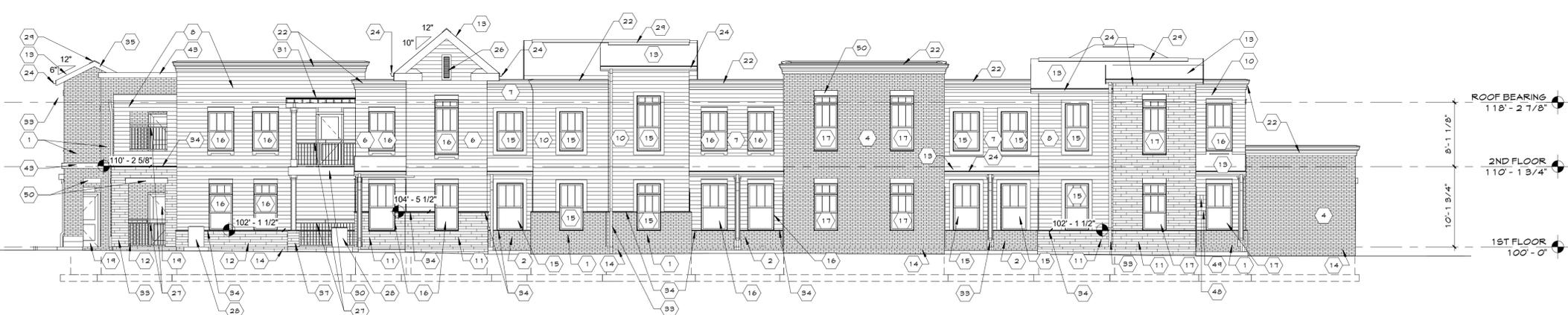
BUILDING 'A' WEST ELEVATION

1/8" = 1'-0"



BUILDING 'A' NORTH ELEVATION

1/8" = 1'-0"



BUILDING 'A' SOUTH ELEVATION

1/8" = 1'-0"

general notes: air leakage

IN ACCORDANCE WITH ASHRAE 90.1-04 (5.4.3.1)

- BUILDING ENVELOPE SEALING, THE FOLLOWING AREAS OF THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, GASKETED, OR WEATHER-STRIPPED TO MINIMIZE AIR LEAKAGE: (A) JOINTS AROUND FENESTRATION AND DOOR FRAMES. (B) JUNCTIONS BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AT BUILDING CORNERS, BETWEEN WALLS AND BETWEEN WALLS AND ROOF OR WALL PANELS. (C) OPENINGS AT PENETRATIONS OF UTILITY SERVICES THROUGH ROOFS, WALLS, AND FLOORS. (D) SITE-BUILT FENESTRATION AND DOORS. (E) BUILDING ASSEMBLIES USED AS DUCTS OR FLENUMS. (F) JOINTS, SEAMS, AND PENETRATIONS OF VAPOR RETARDERS.
- DRYWALL TO BE SEALED
- SEAL RECESSED CAN LIPS, UTILITY BOXES AND DOOR JAMBS.
- FRAMING RETURN AIR CAVITIES WILL BE IN INTERIOR WALLS WITH DRYWALL GLUED ON EIGHT FACES.
- TUBS/SHOWERS, STAIRS AND FIREPLACE ENCLOSURES REQUIRE EXTERIOR WALLS TO BE PRE-INSULATED AND BOARDED BEFORE BEING BUILT AGAINST.
- OTHER OPENINGS IN THE BUILDING ENVELOPE.

general notes: building envelope

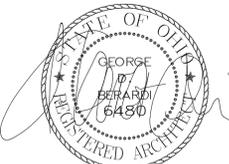
- OPENINGS SUCH AS DOORS AND WINDOWS (INCLUDING ALL SILL PANNING AS REQUIRED) TO BE FLASHED.
- GRADING TO BE SLOPED AWAY FROM BUILDING/ FOUNDATION (GRADE - SLOPE AWAY GUARANTEED FOR ON (1) YEAR).
- EXTERIOR WINDOWS TO BE PROVIDED WITH TEMPERED GLAZING.
- EXTERIOR DOORS AND FRAMES TO BE INSULATED HOLLOW METAL DOORS WITH HOLLOW METAL FRAMES.
- FOOTING TILE (BELOW TOP OF FOOTING DAYLIGHT OR TO INTERIOR TILE/SUMP).
- FOUNDATION INSULATION TO EXTEND TO TOP OF FOOTINGS
- INSTALL WALL AND CEILING INSULATION AGAINST CONDITIONED SURFACES (FACE STAPLE BATTS).
- ENCLOSE WALL INSULATION ON SIX SIDES - PROTECT FROM AIR WASH.
- CEILING INSULATION TO BE EVEN DEPTH AND TO BE MINIMUM R- 30.
- SOFFIT GUTTES ARE TO BE FULL CAVITY WITH TABS TO PROTECT EDGE OF PERIMETER INSULATION

general notes: elevation

- ELEVATION REFERENCES SHOWN ON THESE DRAWINGS ARE USED ONLY AS REFERENCE. SEE CIVIL DRAWINGS FOR ACTUAL FINISH FLOOR ELEVATIONS.
- DOWNSPOUTS SHALL BE AS LOCATED ON FLOOR PLANS. PROVIDE SPECIFIED BOOTS AND RUNS FROM BUILDING AS DETAILED ON CIVIL DRAWINGS. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
- EXTERIOR FINISH MATERIALS TO BE INSTALLED AS PER THE MANUFACTURER'S DIRECTIVES.
- EXPOSED CONCRETE MASONRY UNITS OR EXPOSED CONCRETE TO BE PARGED FINISH.
- SEE ROOF PLANS FOR FLASHING AND PENETRATION REQUIREMENTS.
- FINISH COLORS AND TEXTURES NOT SPECIFIED TO BE SELECTED BY ARCHITECT. SEE SHEET A201G FOR PROPOSED EXTERIOR FINISH SCHEDULE

Exterior Elevation Coded Notes

- BRICK VENEER (COLOR 'A')
- BRICK VENEER (COLOR 'B')
- BRICK VENEER (COLOR 'C')
- BRICK VENEER (COLOR 'D')
- SIDING (COLOR 'A')
- SIDING (COLOR 'B')
- SIDING (COLOR 'C')
- SIDING (COLOR 'D')
- SIDING (COLOR 'E')
- SIDING (COLOR 'F')
- ADHERED MANUFACTURED CONCRETE MASONRY VENEER (COLOR 'A')
- ADHERED MANUFACTURED CONCRETE MASONRY VENEER (COLOR 'B')
- ROOFING SHINGLES
- EXPOSED FOUNDATION CONDITION - EXTEND EXTERIOR FINISH MATERIAL. COORDINATE WITH FOUNDATION PLAN AND WALL SECTIONS/DETAILS
- VINYL SINGLE HUNG WINDOW WITH 5/4" HARDIE TRIM, 5-1/2" WIDE - SEE WINDOW SCHEDULE
- VINYL SINGLE HUNG WINDOW WITH FYPON HEAD AND SILL TRIM - SEE WINDOW SCHEDULE
- VINYL SINGLE HUNG WINDOW WITH LIMESTONE HEAD AND SILL TRIM - SEE WINDOW SCHEDULE
- VINYL SINGLE CLERESTORY WINDOW - SEE WINDOW SCHEDULE
- INSULATED STEEL DOOR - SEE DOOR SCHEDULE
- 18" X 12" DECORATIVE SHUTTERS WITH LIMESTONE HEAD AND SILL TRIM
- 18" X 12" DECORATIVE SHUTTERS WITH FYPON HEAD AND SILL TRIM
- PRE-MANUFACTURED EPS CORNICE - SEE DETAIL
- PRE-MANUFACTURED EPS PARAPET WALL - SEE DETAIL
- ALUMINUM GUTTER AND DRIP EDGE - TYPICAL
- NOT USED
- PRE-MANUFACTURED FYPON GABLE VENT - SEE MECHANICAL DOCUMENTS
- PRE-MANUFACTURED, PRE-FINISHED ALUMINUM RAILING
- AIR CONDITIONER CONDENSING UNIT - SEE MECHANICAL DOCUMENTS
- CONTINUOUS HIP/RIDGE VENT - SEE ROOF PLAN FOR DETAILS
- WOOD FRAME BALCONY - SEE WALL SECTIONS
- WOOD TRELLIS WITH CLEAR CORRUGATED FIBERGLASS ROOFING PANELS - SEE DETAILS
- DECORATIVE SHUTTER
- ALUMINUM DOWNSPOUT AS LOCATED ON FLOOR PLANS.
- CONTINUOUS AUTOCLAYED WATERABLE SILL - SEE DETAIL
- 2X ALUMINUM WRAPPED FASCIA - TYPICAL, SEE WALL SECTIONS FOR DETAILS
- DECORATIVE TRIM ELEMENT
- STRUCTURAL COLUMN WITH DECORATIVE WRAP - SEE DETAILS
- STEP IN ELEVATION FROM FOUNDATION THROUGH ROOF - SEE STRUCTURAL DOCUMENTS
- ROOF VENTS - SEE MECHANICAL DOCUMENTS
- DRYER VENT AND BATHROOM EXHAUST VENTS - COORDINATE LOCATIONS WITH MECHANICAL DOCUMENTS
- ALUMINUM WRAPPED PARAPET CAP - SEE WALL SECTIONS
- CEMENTITIOUS SHAKES
- LIMESTONE PARAPET CAP
- ALUMINUM SCUPPER BOX
- 18" X 60" DECORATIVE SHUTTERS WITH FYPON HEAD AND SILL TRIM
- 18" X 12" DECORATIVE SHUTTERS WITH 5/4 X 5 1/2" HARDIE TRIM
- FYPON DOOR HEAD TRIM WITH TRANSOM PANEL
- ENTRY LIGHT FIXTURE TYP.
- ADDRESS MARKER LOCATION - NUMERALS PER HARDWARE SCHEDULE, INSTALL ON 1X8 AZEK WHITE TRIM BOARD W/ S.S. SCREWS (2 LOCATIONS/UNIT)
- LIMESTONE HEAD TRIM



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NOTE:
1. ALL ADDRESSES SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND REQUIREMENTS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY ERRORS AND OMISSIONS SUBSEQUENTLY DISCOVERED IN THE CONTRACT DOCUMENTS.

2. THE CONTRACT DOCUMENTS ARE COMPREHENSIVE OF THE DRAWINGS AND THE PROJECT. SEPARATION OF THE CONTRACT DOCUMENTS SHALL NOT BE PERMITTED IF THE CONTRACTOR CHOOSES TO SEPARATE THE DOCUMENTS, THEY DO SO AT THEIR OWN RISK AND EXPENSE.

3. ADDITIONALLY, SEE GENERAL INFORMATION ON "A" SHEETS.

4. THE CLIENT ACKNOWLEDGES THE CONSULTANTS' (ARCHITECT) DRAWINGS AND SPECIFICATIONS INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA AS INSTRUMENTS OF THE CONSULTANTS' (ARCHITECT) PROFESSIONAL SERVICE. THE CLIENT SHALL NOT REUSE OR MAKE OR PERMIT TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE WRITTEN AUTHORIZATION OF THE CONSULTANT (ARCHITECT). THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT) ARISING FROM ANY UNAUTHORIZED REUSE, REUSE OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.

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6. THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS ARE INSTRUMENTS OF SERVICE. THE CONSULTANT'S LIABILITY IS LIMITED TO THE DESIGN AND SPECIFICATIONS LOCATIONS OR COVERED REQUIREMENTS. THE DRAWINGS SHALL NOT BE SALES CONTRACTS AND LOCAL CODE REQUIREMENTS AND OTHER APPLICABLE CODE REQUIREMENTS SHALL BE VERIFIED BY AND ARE THE SOLE RESPONSIBILITY OF THIS CONTRACTOR. ANY INFORMATION FROM PREVIOUS CONTACTS WITH ANY OF THESE CODES OR ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT.

Bid Set

PROJECT DATE: 01/26/2017
PROJECT #: 14105

Issue	Description	Date
1	Addendum 2	09/18/2017

BUILDING 'A' EXTERIOR ELEVATIONS

A201A

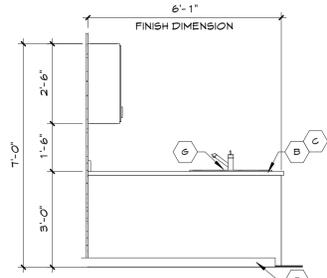
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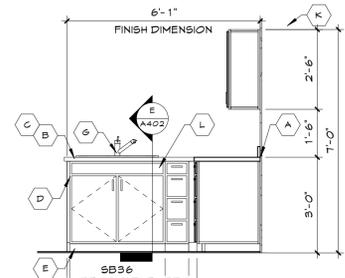
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unit elevation coded notes

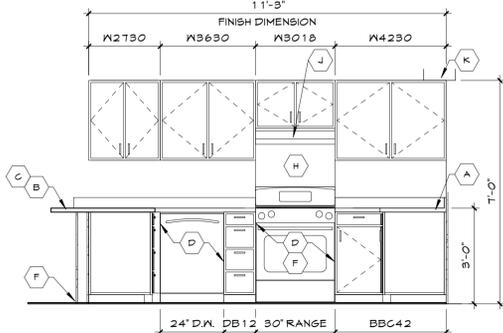
- A PLASTIC LAMINATE COUNTERTOP WITH 4" BACKSPLASH AND SIDE-SPLASH (6" BACKSPLASH AND SIDE-SPLASH AT HANDICAP DWELLING UNITS)
- B PENINSULA COUNTERTOP - SEE DETAIL E/A402
- C COUNTERTOP SUPPORTS TO MATCH CABINET FINISH
- D FINISHED END PANEL
- E BASE TRIM - SEE ROOM FINISH SCHEDULE.
- F INSTALL BASE TRIM BEHIND MOVEABLE EQUIPMENT
- G DOUBLE SINK BOWL WITH LEVER FAUCET, AND GARBAGE DISPOSAL, PROVIDE SCALD AND ABRASION PROTECTION AT SINK BASE CABINETS WITH REMOVABLE FRONTS, SIDES AND BOTTOMS - REFER TO DETAIL SHEET A402
- H FULL HEIGHT FIRE RESISTANT BACKSPLASH - 3/8" FILLER AT OVERHEAD CABINET FOR 30-3/8" BASE CABINET OPENING FOR FREE-STANDING RANGES
- J RANGE HOOD WITH LIGHT, FAN AND STOVETOP FIRESTOP CANISTERS, FAN TO BE VENTED TO OUTSIDE OF BUILDING - REFER TO MECHANICAL DOCUMENTS
- K SOFFITS ABOVE CABINETS - REFER TO REFLECTED CEILING PLANS AND MECHANICAL DOCUMENTS FOR EXACT LOCATIONS
- L NO DRAWER / FLUSH INFILL TO MATCH CABINET FRAME



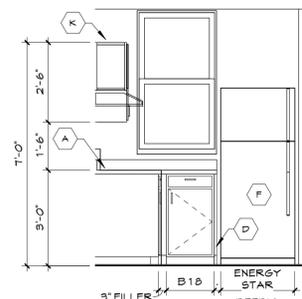
D kitchen elevation
3/8" = 1'-0"



C kitchen elevation
3/8" = 1'-0"



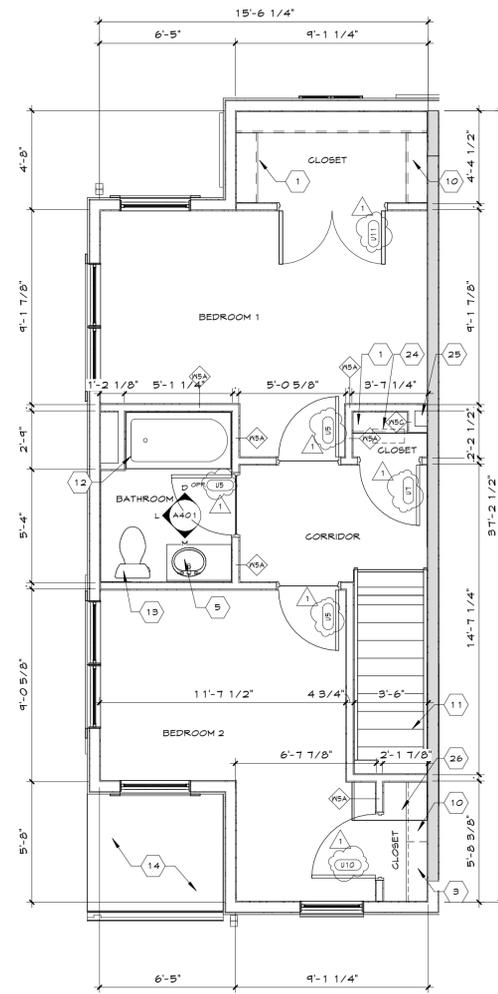
B kitchen elevation
3/8" = 1'-0"



A kitchen elevation
3/8" = 1'-0"

unit plan coded notes

- 1 (5) 15" DEEP SHELVES
- 2 SOFFIT LOCATION - COORDINATE WITH MECHANICAL DRAWINGS
- 3 30" LENGTH MID-HEIGHT SHELF
- 4 42" ALUMINUM RAILING SEE SPECIFICATIONS
- 5 MEDICINE CABINET
- 6 DRYER - NOT IN CONTRACT
- 7 WASHER - NOT IN CONTRACT
- 8 WATER HEATER WITH DRAIN PAN
- 9 AIR HANDLING UNIT
- 10 ADJUSTABLE CLOSET SHELF AND ROD
- 11 STAIR
- 12 BATHTUB
- 13 WATER CLOSET
- 14 ROOF BELOW
- 15 ANSI / ADA COMPLAINT FIBERGLASS SHOWER
- 16 3/8" GRAB BAR
- 17 42" GRAB BAR
- 18 30"x48" MINIMUM CLEAR FLOOR WORK SPACE BELOW CABINET.
- 19 FLOOR DRAIN
- 20 ELECTRICAL PANEL
- 21 (5) 4" DEEP SHELVES - SEE ACCESSORY LOCATION TABLE ON A001
- 22 PROVIDE 1 HOUR CEILING AND WALL ASSEMBLIES AT METER ROOM. SEE ASSEMBLY DETAIL SHEET A002
- 23 AT TYPICAL UNITS WITHOUT METER ROOM, PROVIDE CLOSET SIMILAR TO 3 BEDROOM TOWNHOUSE
- 24 MECHANICAL DAMPER LOCATION - CONTRACTOR TO COORDINATE ACCESS PANEL SIZE AND LOCATION
- 25 MECHANICAL CHASE, COORDINATE W/ MECH DWGS
- 26 RAISED FLOOR AREA - SEE A/A501



2 2ND FLOOR 2BR TOWNHOUSE
1/4" = 1'-0"

general notes

- 1. SEE SHEET A001 FOR MOUNTING HEIGHTS, SYMBOLS, AND ADDITIONAL NOTES.
- 2. SEE DETAILS 1 AND 2 A401 FOR REQUIRED GRAB BAR REINFORCEMENT LOCATION FOR DWELLING UNITS.

GRAB BAR STRENGTH
BENDING STRESS IN A GRAB BAR OR A SEAT INDUCED BY THE MAXIMUM BENDING MOMENT FROM THE APPLICATION OF 250 LB-FT (112 Nm) SHALL BE LESS THAN THE ALLOWABLE STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT.

SHEAR STRESS INDUCED IN A GRAB BAR OR A SEAT BY THE APPLICATION OF 250 LB-FT (112 Nm) SHALL BE LESS THAN THE ALLOWABLE SHEAR STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT. IF THE CONNECTION BETWEEN THE GRAB BAR OR SEAT AND ITS MOUNTING BRACKET OR OTHER SUPPORT IS CONSIDERED TO BE FULLY RESTRAINED, THEN DIRECT AND TORSIONAL SHEAR STRESSES SHALL BE TOTALLED FOR THE COMBINED SHEAR STRESS, WHICH SHALL NOT EXCEED THE ALLOWABLE SHEAR STRESS.

SHEAR FORCE INDUCED IN A FASTENER BY A DIRECT TENSION FORCE OF 250 LB-FT (112 Nm) SHALL BE LESS THAN THE ALLOWABLE LATERAL LOAD OF EITHER THE FASTENER OR MOUNTING DEVICE OF THE SUPPORTING STRUCTURE, WHICHEVER IS THE SMALLER ALLOWABLE LOAD.

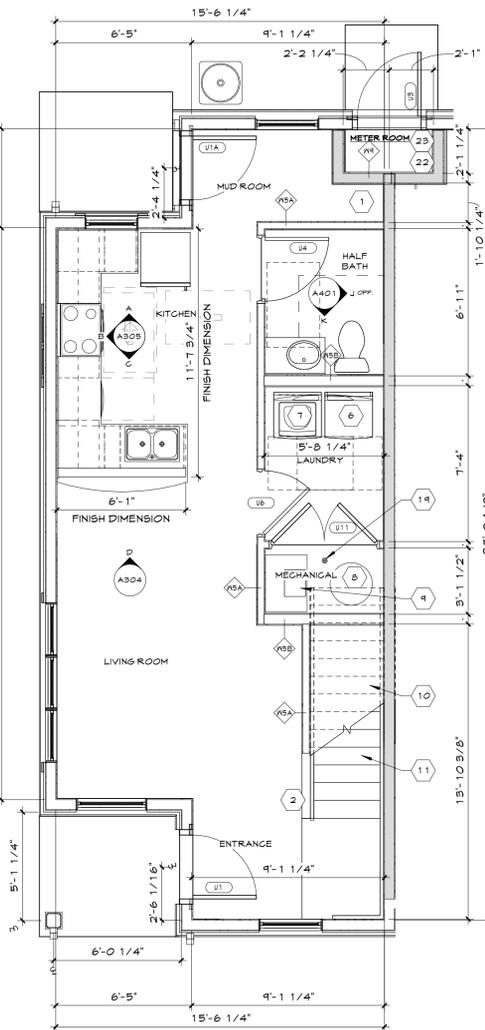
TENSION FORCE INDUCED IN A FASTENER BY A DIRECT TENSION FORCE OF 250 LB-FT (112 Nm) PLUS THE MAXIMUM MOMENT FROM THE APPLICATION OF 250 LB-FT (112 Nm) SHALL BE LESS THAN THE ALLOWABLE WITHDRAWAL AND THE SUPPORTING STRUCTURE.

GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.

CABINETS NOTED TO HAVE REMOVABLE FRONTS TO INCLUDE REMOVABLE SIDES AND BOTTOM SHELVES.

NOTE:
BLOCKING FOR GRAB BARS NOT REQUIRED AT TUB/SHOWER IF ENCLOSURES ARE FACTORY REINFORCED TO ACCEPT GRAB BARS.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THIS COORDINATION.



1 1ST FLOOR 2BR TOWNHOUSE
1/4" = 1'-0"

unit general notes: unit guidelines

- 1. ALL INTERIOR DWELLING UNITS COMPLY WITH THE "FAIR HOUSING ACCESSIBILITY GUIDELINES" (FHAG), AND ALL FEDERAL, STATE AND LOCAL ACCESSIBILITY CODES.
- 2. FIVE PERCENT (5%) OF THE TOTAL NUMBER OF UNITS (4 DWELLING UNITS CONSISTING OF (3) - TWO BEDROOM AND (1) THREEBEDROOM) ARE TYPE A FULLY ACCESSIBLE AS REQUIRED BY CODE. (LABELED H) AND MUST BE CONSTRUCTED FOR ACCESSIBILITY IN ACCORDANCE WITH THE LOCAL JURISDICTION AND THE PROVISIONS FOR TYPE A UNIT AS DEFINED BY ANSI - A 117.1. THE REMAINDER OF ALL UNITS MUST BE CONSTRUCTED FOR ACCESSIBILITY IN ACCORDANCE WITH THE LOCAL JURISDICTION AND THE PROVISIONS FOR TYPE B UNITS AS DEFINED BY ANSI - A 117.1.
- 3. ALL DWELLING UNITS MEET AND EXCEED THE MINIMUM REQUIREMENTS FOR "OHTYPE UNITS (ONE-BEDROOM SQUARE FOOTAGE OF 650 S.F. / TWO-BEDROOM SQUARE FOOTAGE OF 850 S.F.).
- 4. ALL DWELLING UNITS SHALL BE EQUIPPED WITH THE FOLLOWING APPLIANCES:
-REFRIGERATOR
-30" RANGE
-DISHWASHER
-ALL APPLIANCES MEET CLEAR FLOOR SPACE REQUIREMENTS
- 5. ALL DWELLING UNIT BEDROOMS MEET AND EXCEED THE MINIMUM REQUIREMENTS FOR UNIT BEDROOMS (MINIMUM REQUIREMENT OF 7'-0" IN EACH DIRECTION AND MINIMUM OF 100 S.F.).
- 6. ALL DWELLING UNIT ENTRY DOORS SHALL BE A 36" WIDE SOLID CORE DOOR (NO UNIT HAS A STEP UP/DOWN).
- 7. ALL DOOR HARDWARE SHALL HAVE A LEVER DESIGN.
- 8. ALL CARPET TO BE LOW (LESS THAN 1/2" HIGH PILE) DENSITY WITH FIRM PAD - NO PAD AT ANSI TYPE 'A' DWELLING UNITS.
- 9. THRESHOLD REQUIREMENTS:
-EXTERIOR MAXIMUM OF 1/2" BEVEL
-INTERIOR MAXIMUM OF 1/4" BEVEL
- 10. ALL INTERIOR DOORS SHALL BE 32" (CLEAR WIDTH) OR GREATER.
- 11. ALL DWELLING UNITS ARE EQUIPPED WITH A MIN. OF ONE (1) FULL BATHROOM.
- 12. ALL EXPOSED PLUMBING (AT BATHROOMS AND KITCHENS), SUPPLY AND DRAIN/SANITARY LINES, TO PROTECT AGAINST SCALDING/BURNS AND BUMPS.
- 13. ALL TOILETS TO BE 2 1/2" ("ADA" COMPLIANT) HIGHER THAN STANDARD TOILETS (1"1"-19") OR BE HEIGHT ADJUSTABLE.
- 14. ALL INSTALLED GRAB BARS AND REQUIRED BLOCKING (FOR FUTURE INSTALLATION) SHALL MEET OR EXCEED THE ABILITY TO SUPPORT 250-300 LBS.
- 15. BATHROOMS TO MEET OR EXCEED 60" TURNING RADIUS/T-TURN SPACE.
- 16. KITCHENS TO HAVE A FAUCET WITH LEVERED HANDLES.
- 17. ALL DRAWER PULLS TO HAVE "LOOPEED" HANDLES FOR EASY GRIP AND PULL.
- 18. ALL WORK SURFACES TO HAVE TASK LIGHTING (SEE ELECTRICAL DRAWINGS).
- 19. ROCKER TYPE LIGHT SWITCHED THROUGHOUT UNIT
- 20. CARBON MONOXIDE DETECTORS TO BE INSTALLED ON EACH FLOOR OF DWELLING UNIT.
- 21. COMBUSTION EQUIPMENT TO BE VENTED TO EXTERIOR.
- 22. BATHROOM KITCHEN TO BE EXHAUSTED TO EXTERIOR.
- 23. ALL COUNTERTOPS TO HAVE RADIUS CORNERS (2"R)

unit durability notes:

- 1. CONTRACTOR TO USE LEED FOR HOMES DURABILITY CHECKLIST DURING CONSTRUCTION; DURABILITY ITEMS ARE LISTED BELOW ARE NOT LIMITED TO THESE ITEMS.
- 2. WATER RESISTANT FLOORING AT KITCHENS/BATHROOMS/LAUNDRIES AND ENTRY WAYS.
- 3. INSTALL DRAIN DRAIN PAN AT WATER HEATER.
- 4. WASHER BOX TO HAVE SINGLE THROW VALVE.
- 5. CLOTHES DRYER TO BE EXHAUSTED TO EXTERIOR.
- 6. SEAL ALL EXTERNAL CRACK JOINTS, ETC. WITH CAULKING OR PEST-PROOF SCREEN.
- 7. ALL FLOORING IN BATHROOMS AND KITCHENS TO BE RUN WALL-TO-WALL (UNDER ALL REMOVABLE CABINETS AND APPLIANCES).
- 8. ALL DRY WALL TO BE SEALED.
- 9. USE NON-PAPER FACED BACKER BOARD AT ALL BATHROOM WALLS, TUB/SHOWER ENCLOSURES AND LAUNDRY AREAS INCLUDING CEILINGS.
- 10. SEAL ALL RECESSED CAN LIPS, UTILITY BOXES AND DOOR JAMBS.
- 11. TUBS/SHOWERS, STAIRS AND FIREPLACES ENCLOSURES REQUIRE EXTERIOR WALLS TO BE PRE-INSULATED AND BOARDED PRIOR TO BEING BUILT AGAINST.
- 12. ALL INTERIOR DOORS TO BE FILLED CORE.
- 13. KEEP ALL STORED MATERIALS DRY ON SITE.
- 14. PROVIDE POSITIVE DRAINAGE AWAY FROM WALLS.
- 15. RAISE PAPER COVERED GYPSUM BOARD 1/2" ABOVE CONCRETE SLAB.
- 16. PRIME AND PAINT ALL EXTERIOR WOOD TRIM ON ALL 6 SIDES.
- 17. GEMENTIUM SIDING TO BE SEALED AND INSTALLED PER MANUFACTURERS INSTRUCTIONS.

unit general notes:

- 1. SEE SHEET A001 FOR MOUNTING HEIGHTS, SYMBOLS AND ADDITIONAL INFORMATION.
- 2. SEE SHEET A002 FOR WALL AND FLOOR TYPES
- 3. ALL INTERIOR WALL THICKNESSES ARE 3 1/2" (TYPE W) UNLESS INDICATED OTHERWISE
- 4. SEE STRUCTURAL DRAWINGS FOR ALL SHEAR WALL CONDITIONS AND DETAILING
- 5. SEE INDEXED SHEET FOR CODE REQUIRED GRAB BAR BLOCKING
- 6. COORDINATE ALL SHOWER DIMENSIONS WITH FINAL SELECTION OF MANUFACTURER PRIOR TO CONSTRUCTION
- 7. ALL RATED WALL ASSEMBLIES MUST BE COMPLETE BEHIND ALL SIDES OF SHOWERS AND TUBS
- 8. WASHER/ DRYER CLOSET SIZED AND EQUIPPED TO ACCEPT SEPERATE WASHER/ DRYER - CENTERED CONDENSING WASHER/ DRYER REQUIRED FOR FULL VISIBILITY
- 9. SEE REFLECTED CEILING PLAN/MECHANICAL DRAWINGS FOR UNIT PLAN SOFFIT LOCATIONS
- 10. SEE BUILDING FLOOR PLANS (SHEET SERIES A100'S) FOR COMMON PARTITION WALL TYPE DESIGNATIONS
- 11. EXTERIOR DOORS AND FRAMES TO BE INSULATED HOLLOW METAL. DOORS WITH HOLLOW METAL FRAMES.
- 12. SEE BELOW DIAGRAM FOR DOOR LOCATIONS. CLOSET DOORS SHOULD BE CENTERED IN OPENING UNLESS OTHERWISE NOTED.

NOTE: 2X6 WALLS INCLUDE BUT ARE NOT LIMITED TO EXTERIOR WALLS, DEMISING WALLS AND PLUMBING WALLS



UNLESS NOTED OTHERWISE - 3" IS THE MINIMUM DISTANCE FROM A ROUGH FRAMED CORNER TO A ROUGH FRAMED DOOR JAMB



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NOTE:
1. ALL BIDDERS SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND REQUIREMENTS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY ERRORS AND OMISSIONS SUBSEQUENTLY DISCOVERED IN THE CONTRACT DOCUMENTS.

2. THE CONTRACT DOCUMENTS ARE COMPRISED OF THE DRAWINGS AND SPECIFICATIONS. THE INFORMATION IN THESE DOCUMENTS IS DEPENDENT UPON AND COMPLEMENTARY OF EACH OTHER. SEPARATION OF THE CONTRACT DOCUMENTS SHALL NOT BE PERMITTED. IF THE CONTRACTOR GOES TO SEPARATE THE DOCUMENTS, THEY DO SO AT THEIR OWN RISK AND EXPENSE.

3. ADDITIONALLY, SEE GENERAL INFORMATION ON "A" SHEETS.

4. THE CLIENT ACKNOWLEDGES THE CONSULTANTS' ARCHITECT DRAWINGS AND SPECIFICATIONS INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA AS INSTRUMENTS OF THE CONSULTANTS' (ARCHITECT)' PROFESSIONAL SERVICE. THE CLIENT SHALL NOT REUSE OR MAKE OR PERMIT TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF THE CONSULTANT (ARCHITECT). THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT) ARISING FROM ANY UNAUTHORIZED TRANSFER, REUSE OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.

5. ARCHITECT CANNOT WARRANT THE ACCURACY OF DATA CONTAINED HEREIN. ANY USE OR REUSE OF ORIGINAL OR ALTERED CAD/DWG MATERIALS BY THE USER OR OTHER PARTIES WITHOUT THE REVIEW AND WRITTEN APPROVAL OF THE ARCHITECT SHALL BE AT THE SOLE RISK OF THE USER. FURTHERMORE, USER AGREES TO INDEMNIFY, HOLD HARMLESS AND HOLD ARCHITECT HARMLESS FROM ALL CLAIMS, INJURIES, DAMAGES, LOSSES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE MODIFICATION OR REUSE OF THESE MATERIALS.

6. THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS ARE DRAWINGS AND ARE NOT INTENDED TO BE CONTRACT DOCUMENTS. LOCATIONS OR CODED REQUIREMENTS IN THE DRAWINGS SHALL NOT BE QUALIFIED BY ANY LOCAL, STATE OR FEDERAL CODES OR APPLICABLE CODES. REQUIREMENTS SHALL BE VERIFIED BY AND ARE THE SOLE RESPONSIBILITY OF THIS CONTRACTOR. ANY INFORMATION FROM PREVIOUS CONSULTANTS WITH ANY OF THESE CODES OR ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT.

Bid Set

PROJECT DATE: 01/26/2017
PROJECT #: 14105

Issue	Description	Date
1	Addendum 2	09/18/2017

ENLARGED
UNIT PLANS
2BR T.H.

A304

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general notes

- SEE SHEET A001 FOR MOUNTING HEIGHTS, SYMBOLS, AND ADDITIONAL NOTES.
- SEE DETAILS 1 AND 2 A401 FOR REQUIRED GRAB BAR REINFORCEMENT LOCATION FOR DWELLING UNITS.

GRAB BAR STRENGTH
BENDING STRESS IN A GRAB BAR OR A SEAT INDUCED BY THE MAXIMUM BENDING MOMENT FROM THE APPLICATION OF 250 LB-FT (1.12 Nm) SHALL BE LESS THAN THE ALLOWABLE STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT.

SHEAR STRESS INDUCED IN A GRAB BAR OR A SEAT BY THE APPLICATION OF 250 LB-FT (1.12 Nm) SHALL BE LESS THAN THE ALLOWABLE SHEAR STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT. IF THE CONNECTION BETWEEN THE GRAB BAR OR SEAT AND ITS MOUNTING BRACKET OR OTHER SUPPORT IS CONSIDERED TO BE FULLY RESTRAINED, THEN DIRECT AND TORSIONAL SHEAR STRESSES SHALL BE TOTALED FOR THE COMBINED SHEAR STRESS, WHICH SHALL NOT EXCEED THE ALLOWABLE SHEAR STRESS.

SHEAR FORCE INDUCED IN A FASTENER BY A DIRECT TENSION FORCE OF 250 LB-FT (1.12 Nm) SHALL BE LESS THAN THE ALLOWABLE LATERAL LOAD OF EITHER THE FASTENER OR MOUNTING DEVICE OF THE SUPPORTING STRUCTURE, WHICHEVER IS THE SMALLER ALLOWABLE LOAD.

TENSILE FORCE INDUCED IN A FASTENER BY A DIRECT TENSION FORCE OF 250 LB-FT (1.12 Nm) PLUS THE MAXIMUM MOMENT FROM THE APPLICATION OF 250 LB-FT (1.12 Nm) SHALL BE LESS THAN THE ALLOWABLE WITHDRAWAL AND THE SUPPORTING STRUCTURE.

GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.

CABINETS NOTED TO HAVE REMOVABLE FRONTS TO INCLUDE REMOVABLE SIDES AND BOTTOM SHELVES.

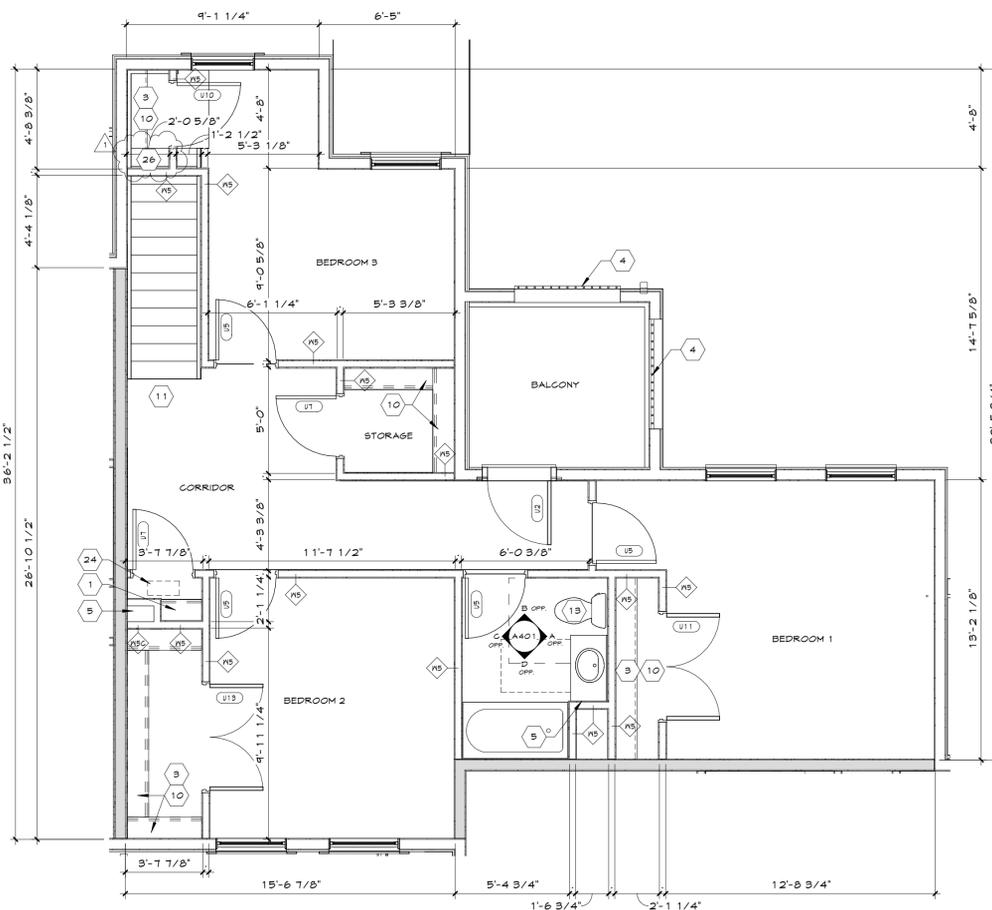
NOTE:
BLOCKING FOR GRAB BARS NOT REQUIRED AT TUB/SHOWER IF ENCLOSURES ARE FACTORY REINFORCED TO ACCEPT GRAB BARS.
THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THIS COORDINATION.

unit elevation coded notes

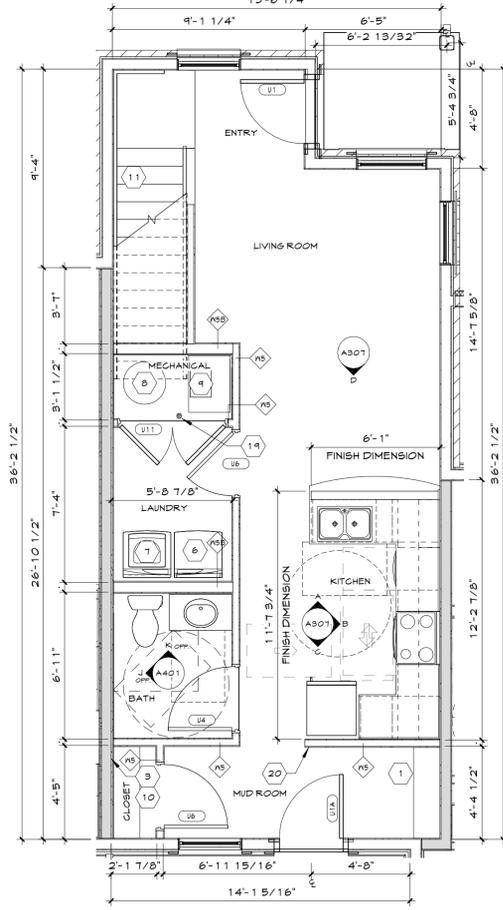
- A PLASTIC LAMINATE COUNTERTOP WITH 4" BACKSPLASH AND SIDE-SPLASH (6" BACKSPLASH AND SIDE-SPLASH AT HANDICAP DWELLING UNITS)
- B PENINSULA COUNTERTOP - SEE DETAIL E/A402
- C COUNTERTOP SUPPORTS TO MATCH CABINET FINISH
- D FINISHED END PANEL
- E BASE TRIM - SEE ROOM FINISH SCHEDULE.
- F INSTALL BASE TRIM BEHIND MOVEABLE EQUIPMENT
- G DOUBLE SINK BOWL WITH LEVER FAUCET, AND GARBAGE DISPOSAL. PROVIDE SCALD AND ABRASION PROTECTION AT SINK BASE CABINETS WITH REMOVABLE FRONTS, SIDES AND BOTTOMS - REFER TO DETAIL SHEET A402
- H FULL HEIGHT FIRE RESISTANT BACKSPLASH - 3/8" FILLER AT OVERHEAD CABINET FOR 30-3/8" BASE CABINET OPENING FOR FREE-STANDING RANGES
- J RANGE HOOD WITH LIGHT, FAN AND STOVETOP FIRESTOP CANISTERS. FAN TO BE VENTED TO OUTSIDE OF BUILDING - REFER TO MECHANICAL DOCUMENTS
- K SOFFITS ABOVE CABINETS - REFER TO REFLECTED CEILING PLANS AND MECHANICAL DOCUMENTS FOR EXACT LOCATIONS
- L NO DRAWER / FLUSH INFILL TO MATCH CABINET FRAME

unit plan coded notes

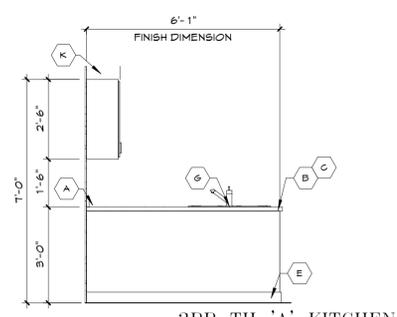
- (5) 15" DEEP SHELVES
- SOFFIT LOCATION - COORDINATE WITH MECHANICAL DRAWINGS
- 30" LENGTH MID-HEIGHT SHELF
- 42" ALUMINUM RAILING SEE SPECIFICATIONS
- MEDICINE CABINET
- DRYER - NOT IN CONTRACT
- WASHER - NOT IN CONTRACT
- WATER HEATER WITH DRAIN PAN
- AIR HANDLING UNI
- ADJUSTABLE CLOSET SHELF AND ROD
- STAIR
- BATHTUB
- WATER CLOSET
- ROOF BELOW
- ANSI / ADA COMPLIANT FIBERGLASS SHOWER
- 36" GRAB BAR
- 42" GRAB BAR
- 30"x48" MINIMUM CLEAR FLOOR WORK SPACE BELOW CABINET.
- FLOOR DRAIN
- ELECTRICAL PANEL
- (5) 4" DEEP SHELVES - SEE ACCESSORY LOCATION TABLE ON A001
- PROVIDE 1 HOUR CEILING AND WALL ASSEMBLIES AT METER ROOM. SEE ASSEMBLY DETAIL SHEET A002
- AT TYPICAL UNITS WITHOUT METER ROOM, PROVIDE CLOSET SIMILAR TO 3 BEDROOM TOWNHOUSE
- MECHANICAL DAMPER LOCATION - CONTRACTOR TO COORDINATE ACCESS PANEL SIZE AND LOCATION
- MECHANICAL CHASE. COORDINATE W/ MECH DWGS
- RAISED FLOOR AREA - SEE A/A501



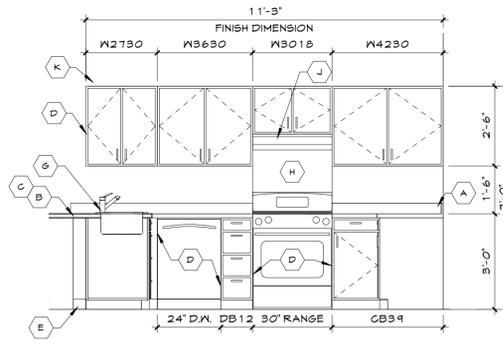
2
A307
2ND FLOOR THREE BEDROOM TOWNHOUSE 'A'
1/4" = 1'-0"



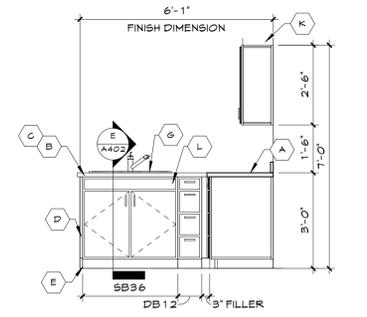
1
A307
1ST FLOOR THREE BEDROOM TOWNHOUSE 'A'
1/4" = 1'-0"



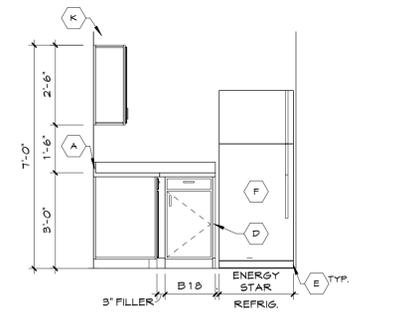
D
A307
3BR TH 'A' KITCHEN ELEVATION D
3/8" = 1'-0"



B
A307
3BR TH 'A' KITCHEN ELEVATION B
3/8" = 1'-0"



A
A307
3BR TH 'A' KITCHEN ELEVATION A
3/8" = 1'-0"



C
A307
3BR TH 'A' KITCHEN ELEVATION C
3/8" = 1'-0"

unit general notes: unit guidelines

- ALL INTERIOR DWELLING UNITS COMPLY WITH THE "FAIR HOUSING ACCESSIBILITY GUIDELINES" (FHAG), AND ALL FEDERAL, STATE AND LOCAL ACCESSIBILITY CODES.
- FIVE PERCENT (5%) OF THE TOTAL NUMBER OF UNITS (4 DWELLING UNITS CONSISTING OF (3) - TWO BEDROOM AND (1) THREEBEDROOM) ARE TYPE A FULLY ACCESSIBLE AS REQUIRED BY CODE. (LABELLED HC) AND MUST BE CONSTRUCTED FOR ACCESSIBILITY IN ACCORDANCE WITH THE LOCAL JURISDICTION AND THE PROVISIONS FOR TYPE A UNIT AS DEFINED BY ANSI - A 117.1. THE REMAINDER OF ALL UNITS MUST BE CONSTRUCTED FOR ACCESSIBILITY IN ACCORDANCE WITH THE LOCAL JURISDICTION AND THE PROVISIONS FOR TYPE B UNITS AS DEFINED BY ANSI - A 117.1.
- ALL DWELLING UNITS MEET AND EXCEED THE MINIMUM REQUIREMENTS FOR "OHTTYPE UNITS (ONE-BEDROOM SQUARE FOOTAGE OF 650 S.F. + TWO-BEDROOM SQUARE FOOTAGE OF 850 S.F. +).
- ALL DWELLING UNITS SHALL BE EQUIPPED WITH THE FOLLOWING APPLIANCES:
-REFRIGERATOR
-30" RANGE
-DISHWASHER
-ALL APPLIANCES MEET CLEAR FLOOR SPACE REQUIREMENTS
- ALL DWELLING UNIT BEDROOMS MEET AND EXCEED THE MINIMUM REQUIREMENTS FOR UNIT BEDROOMS (MINIMUM REQUIREMENT OF 1'-0" IN EACH DIRECTION AND MINIMUM OF 100 S.F.).
- ALL DWELLING UNIT ENTRY DOORS SHALL BE A 36" WIDE SOLID CORE DOOR (NO UNIT HAS A STEP UP/DOWN).
- ALL DOOR HARDWARE SHALL HAVE A LEVER DESIGN.
- ALL CARPET TO BE LOW (LESS THAN 1/2" HIGH PILE) DENSITY WITH FIRM PAD - NO PAD AT ANSI TYPE 'A' DWELLING UNITS.
- THRESHOLD REQUIREMENTS:
-EXTERIOR MAXIMUM OF 1/2" BEVEL
-INTERIOR MAXIMUM OF 1/4" BEVEL
- ALL INTERIOR DOORS SHALL BE 32" (CLEAR WIDTH) OR GREATER.
- ALL DWELLING UNITS ARE EQUIPPED WITH A MIN. OF ONE (1) FULL BATHROOM.
- ALL EXPOSED PLUMBING (AT BATHROOMS AND KITCHENS), SUPPLY AND DRAIN/SANITARY LINES, TO PROTECT AGAINST SCALDING/BURNS AND BUMPS.
- ALL TOILETS TO BE 2 1/2" (ADA) COMPLIANT HIGHER THAN STANDARD TOILETS (11" - 14") OR BE HEIGHT ADJUSTABLE.
- ALL INSTALLED GRAB BARS AND REQUIRED BLOCKING (FOR FUTURE INSTALLATION) SHALL MEET OR EXCEED THE ABILITY TO SUPPORT 250-300 LBS.
- BATHROOMS TO MEET OR EXCEED 60" TURNING RADIUS/T-TURN SPACE.
- KITCHENS TO HAVE A FAUCET WITH LEVERED HANDLES.
- ALL DRAWER PULLS TO HAVE "LOOPED" HANDLES FOR EASY GRIP AND PULL.
- ALL WORK SURFACES TO HAVE TASK LIGHTING (SEE ELECTRICAL DRAWINGS).
- LOCKER IN BATHROOMS AND KITCHENS TO BE RUN WALL-TO-WALL (UNDER ALL REMOVABLE CABINETS AND APPLIANCES).
- CARBON MONOXIDE DETECTORS TO BE INSTALLED ON EACH FLOOR OF DWELLING UNIT.
- COMBUSTION EQUIPMENT TO BE VENTED TO EXTERIOR.
- BATHROOM 4 KITCHEN TO BE EXHAUSTED TO EXTERIOR
- ALL COUNTERTOPS TO HAVE RADIUS CORNERS (2"R)

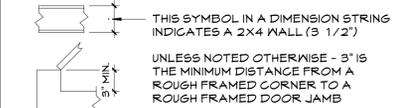
unit durability notes:

- CONTRACTOR TO USE LEED FOR HOMES DURABILITY CHECKLIST DURING CONSTRUCTION; DURABILITY ITEMS ARE LISTED BELOW ARE NOT LIMITED TO THESE ITEMS.
- WATER RESISTANT FLOORING AT KITCHENS/BATHROOMS/LAUNDRIES AND ENTRY WAYS.
- INSTALL DRAIN & DRAIN PAN AT WATER HEATER.
- WASHER BOX TO HAVE SINGLE THROW VALVE.
- CLOTHES DRYER TO BE EXHAUSTED TO EXTERIOR.
- SEAL ALL EXTERNAL CRACK JOINTS, ETC. WITH CAULKING OR PEST-PROOF SCREEN.
- ALL FLOORING IN BATHROOMS AND KITCHENS TO BE RUN WALL-TO-WALL (UNDER ALL REMOVABLE CABINETS AND APPLIANCES).
- ALL DRYWALL TO BE SEALED.
- USE NON-PAPER FACED BACKER BOARD AT ALL BATHROOM WALLS, TUB/SHOWER ENCLOSURES AND LAUNDRY AREAS INCLUDING CEILINGLINGS.
- SEAL ALL RECESSED CAN LIPS, UTILITY BOXES AND DOOR JAMBS.
- TUBS/SHOWERS, STAIRS AND FIREPLACE ENCLOSURES REQUIRE EXTERIOR WALLS TO BE PRE-INSULATED AND BORED PRIOR TO BEING BUILT AGAINST.
- ALL INTERIOR DOORS TO BE FILLED CORE.
- KEEP ALL STORED MATERIALS DRY ON SITE.
- PROVIDE POSITIVE DRAINAGE AWAY FROM WALLS.
- RAISE PAPER COVERED GYPSUM BOARD 1/2" ABOVE CONCRETE SLAB.
- PRIME AND PAINT ALL EXTERIOR WOOD TRIM ON ALL 6 SIDES.
- CEMENTITIOUS SIDING TO BE SEALED AND INSTALLED PER MANUFACTURERS INSTRUCTIONS.

unit general notes:

- SEE SHEET A001 FOR MOUNTING HEIGHTS, SYMBOLS AND ADDITIONAL INFORMATION.
- SEE SHEET A002 FOR WALL AND FLOOR TYPES
- ALL INTERIOR WALL THICKNESSES ARE 3 1/2" (TYPE W5) UNLESS INDICATED OTHERWISE
- SEE STRUCTURAL DRAWINGS FOR ALL SHEAR WALL CONDITIONS AND DETAILING
- SEE INDEXED SHEET FOR CODE REQUIRED GRAB BAR BLOCKING
- COORDINATE ALL SHOWER DIMENSIONS WITH FINAL SELECTION OF MANUFACTURER PRIOR TO CONSTRUCTION
- ALL RATED WALL ASSEMBLIES MUST BE COMPLETE BEHIND ALL SIDES OF SHOWERS AND TUBS
- WASHER/ DRYER CLOSET SIZED AND EQUIPPED TO ACCEPT SEPERATE WASHER/ DRYER - CENTERED CONDENSING WASHER/ DRYER REQUIRED FOR FULL VISIBILITY
- SEE REFLECTED CEILING PLAN/MECHANICAL DRAWINGS FOR UNIT PLAN SOFFIT LOCATIONS
- SEE BUILDING FLOOR PLANS (SHEET SERIES A 100S) FOR COMMON PARTITION WALL TYPE DESIGNATIONS
- EXTERIOR DOORS AND FRAMES TO BE INSULATED HOLLOW METAL. DOORS WITH HOLLOW METAL FRAMES.
- SEE BELOW DIAGRAM FOR DOOR LOCATIONS. CLOSET DOORS SHOULD BE CENTERED IN OPENING UNLESS OTHERWISE NOTED.

NOTE: 2X6 WALLS INCLUDE BUT ARE NOT LIMITED TO EXTERIOR WALLS, DEMISING WALLS AND PLUMBING WALLS



GEORGE D. BERARDI LICENSE #6430
EXPIRATION DATE: 12/31/2015

LMHA
Collingwood Green, Phase III
Toledo, Ohio

Collingwood Green
Quality Affordable Living within a green community.



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3. ADDITIONALLY, SEE GENERAL INFORMATION ON "A" SHEETS.

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Bid Set

PROJECT DATE: 01/26/2017
PROJECT #: 14105

Issue	Description	Date
1	Addendum 2	09/18/2017

ENLARGED UNIT PLANS
3BR CORNER
T.H. A
A307

THE COLLABORATIVE
One SeaGate, Park Level 118, Toledo, Ohio 43604
419.242.7405 | thecollaborative.com

berardi +
architecture + interior design + engineering

1398 Goodale Blvd. Columbus, Ohio 43212
Phone (614)221-1110 Fax (614)221-0831
www.berardipartners.com

ROOM	BASE	FLOOR	WALLS	CEILING	REMARKS
ENTRY	VGB	VP	PT2-E	PT1-F	-
ENTRY CLOSET	VGB	VP	PT2-E	PT1-F	-
LIVING ROOM	VGB	VP	PT2-E	PT1-F	-
DINING ROOM	VGB	VP	PT2-E	PT1-F	-
KITCHEN	VGB	VP	PT2-E	PT1-F	FLAM2, VGB AT CAB
LAUNDRY	VGB	VP	PT2-E	PT1-F	-
MECHANICAL	VGB	VGT	PT2-E	PT1-F	-
HALF BATH	VGB	LVT	PT4-S6	PT1-S6	FLAM3, VGB AT CAB, 9
BEDROOM 1, 2&3	VGB	VP	PT2-E	PT1-F	-
BEDROOM 1, 2&3 CLOSET	VGB	VP	PT2-E	PT1-F	-
FULL BATH	VGB	LVT	PT2-S6	PT1-S6	FLAM3, VGB AT CAB, 9

unit finish key

CAB	CABINETS: VISTA, CAPE
CPT1	CARPET: PATOCRAFT 1006-9 SOCRATES II-20 BERKELEY 00114
LVT	MANNINGTON COMMERCIAL - WALKNAT W110 CAMELBACK
FLAM1	PLASTIC LAMINATE: FORMICA 3618-59 BELUGA BEIGE
FLAM2	PLASTIC LAMINATE: FORMICA 3511-59 BAND CRYSTAL
PT1-F	PAINT: SHERWIN WILLIAMS 1012 CREAMY (FLAT)
PT1-S6	PAINT: SHERWIN WILLIAMS 1012 CREAMY (SEMI-GLOSS)
PT2-E	PAINT: SHERWIN WILLIAMS 6106 KILIM BEIGE (EGGSHELL)
PT2-S6	PAINT: SHERWIN WILLIAMS 6106 KILIM BEIGE (SEMI-GLOSS)
PT3-S6	PAINT: SHERWIN WILLIAMS 6204 SEA SALT (SEMI-GLOSS)
VGB	VINYL BASE: JOHNSONITE 11 CANVAS
VGT	VINYL COMPOSITE TILE: ARMSTRONGS, IMPERIAL TEXTURE STANDARD EXCELON 51813 BRUSHED SAND
VP	VINYL PLANK: JOHNSONITE, FRE-PLANK 5162 APPLE
VTR	VINYL TREAS 4 RISER, JOHNSONITE HT-XX-RD
WB	WOOD BASE PAINTED PT1-S6 (B-O SHEET A402)
CONG	SEALED CONCRETE

general notes

- ALL WINDOWS TO RECEIVE MINI BLINDS S/WF CONTRACT WHITE SATIN 205.
- PRE-MANUFACTURED WINDOW SILLS SHALL BE CULTURED MARBLE, BRIGHT WHITE.
- ALL WOOD TRIM THROUGH OUT TO BE PAINTED SEMI-GLOSS, SHERWIN WILLIAMS 1012 CREAMY.
- ALL PAINT TO BE LOW VOC.
- LOOP STYLE FULL CABINET HARDWARE.
- NOT USED.
- INSTALL VINYL BASE AT CABINET TOE AND SIDE PANELS.
- NOT USED.
- MEMBRANE PER SPECIFICATIONS AT ALL SECOND FLOOR CERAMIC TILE LOCATIONS.

ROOM	BASE	FLOOR	WALLS	CEILING	REMARKS
ENTRY	VGB	VP	PT2-E	PT1-F	-
ENTRY CLOSET	VGB	VP	PT2-E	PT1-F	-
LIVING ROOM	VGB	VP	PT2-E	PT1-F	-
DINING ROOM	VGB	VP	PT2-E	PT1-F	-
KITCHEN	VGB	VP	PT2-E	PT1-F	FLAM2, VGB AT CAB
LAUNDRY	VGB	VP	PT2-E	PT1-F	-
MECHANICAL	VGB	VGT	PT2-E	PT1-F	-
BEDROOM 1&2	VGB	GPT1	PT2-E	PT1-F	-
BEDROOM 1&2 CLOSET	VGB	GPT1	PT2-E	PT1-F	-
FULL BATHROOM	VGB	LVT	PT3-S6	PT1-S6	FLAM1, VGB AT CAB, 9

unit finish key

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DINING ROOM	VGB	VP	PT2-E	PT1-F	-
KITCHEN	VGB	VP	PT2-E	PT1-F	FLAM2, VGB AT CAB
LAUNDRY	VGB	VP	PT2-E	PT1-F	-
MECHANICAL	VGB	VGT	PT2-E	PT1-F	-
FULL BATH 1	VGB	LVT	PT4-S6	PT1-S6	FLAM3, VGB AT CAB, 9
FULL BATH 2	VGB	LVT	PT2-S6	PT1-S6	FLAM3, VGB AT CAB, 9
BEDROOM 1, 2, 3&4	VGB	VP	PT2-E	PT1-F	-
BEDROOM 1, 2, 3&4 CLOSET	VGB	VP	PT2-E	PT1-F	-

unit finish key

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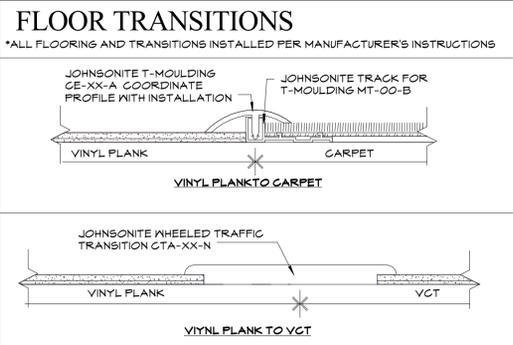
ROOM	BASE	FLOOR	WALLS	CEILING	REMARKS
ENTRY	VGB	VP	PT2-E	PT1-F	-
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STORAGE	VGB	VP	PT2-E	PT1-F	-
LIVING ROOM	VGB	VP	PT2-E	PT1-F	-
KITCHEN	VGB	VP	PT2-E	PT1-F	FLAM2, VGB AT CAB
LAUNDRY	VGB	VP	PT2-E	PT1-F	-
MECHANICAL	VGB	VGT	PT2-E	PT1-F	-
HALF BATH	VGB	LVT	PT3-S6	PT1-S6	FLAM1, VGB AT CAB, 9
MUD ROOM	VGB	VP	PT2-E	PT1-F	-
MUD ROOM CLOSET	VGB	VP	PT2-E	PT1-F	-
STAIR	VGB	VTR	PT2-E	PT1-F	PT1-S6 ON STRINGER
CORRIDOR	VGB	VP	PT2-E	PT1-F	-
CORRIDOR CLOSET	VGB	VP	PT2-E	PT1-F	-
BEDROOM 1&2	VGB	GPT1	PT2-E	PT1-F	-
BEDROOM 1&2 CLOSET	VGB	GPT1	PT2-E	PT1-F	-
FULL BATHROOM	VGB	LVT	PT2-S6	PT1-S6	FLAM1, VGB AT CAB, 9

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KITCHEN	VGB	VP	PT2-E	PT1-F	FLAM2, VGB AT CAB
LAUNDRY	VGB	VP	PT2-E	PT1-F	-
MECHANICAL	VGB	VGT	PT2-E	PT1-F	-
MUD ROOM	VGB	VP	PT2-E	PT1-F	-
MUD ROOM CLOSET	VGB	VP	PT2-E	PT1-F	-
HALF BATH	VGB	LVT	PT4-S6	PT1-S6	FLAM3, VGB AT CAB, 9
HALF BATH CLOSET	VGB	LVT	PT4-S6	PT1-S6	-
BEDROOM 1	VGB	VP	PT2-E	PT1-F	-
BEDROOM 1 CLOSET	VGB	VP	PT2-E	PT1-F	-
STAIR	VGB	VTR	PT2-E	PT1-F	PT1-S6 ON STRINGER
CORRIDOR	VGB	VP	PT2-E	PT1-F	-
CORRIDOR CLOSET	VGB	VP	PT2-E	PT1-F	-
BATHROOM SECOND FLOOR	VGB	LVT	PT2-S6	PT1-S6	FLAM3, VGB AT CAB, 9
BEDROOM 2&3	VGB	GPT1	PT2-E	PT1-F	-
BEDROOM 2&3 CLOSET	VGB	GPT1	PT2-E	PT1-F	-

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BATHROOM FIRST FLOOR	VGB	LVT	PT4-S6	PT1-S6	FLAM3, VGB AT CAB, 9
BEDROOM 1	VGB	VP	PT2-E	PT1-F	-
BEDROOM 1 CLOSET	VGB	VP	PT2-E	PT1-F	-
STAIR	VGB	VTR	PT2-E	PT1-F	PT1-S6 ON STRINGER
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BATHROOM SECOND FLOOR	VGB	LVT	PT2-S6	PT1-S6	FLAM3, VGB AT CAB, 9
BEDROOM 2, 3 & 4	VGB	GPT1	PT2-E	PT1-F	-
BEDROOM 2, 3 & 4 CLOSET	WB	CPT1	PT2-E	PT1-F	-

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CORRIDOR CLOSET	VGB	VP	PT2-E	PT1-F	-
BATHROOM SECOND FLOOR	VGB	LVT	PT2-S6	PT1-S6	FLAM3, VGB AT CAB, 9
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BEDROOM 1, 2&3 CLOSET	VGB	GPT1	PT2-E	PT1-F	-

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