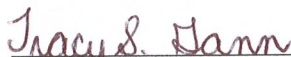


Addendum #1

To: All Prospective Bidders

From: Housing Authority of the City of High Point



Tracy S. Gann
Chief Financial Officer

Date: April 24, 2019

RE: 20190201 ~ HPHA Office HVAC

ADDENDUM #1

This Addendum is a part of the contract documents and modifies the original Invitation for Bids **20190201 ~ HPHA Office HVAC** dated April 2019.

The due date for this IFB package will remain as Friday, May 3, 2019 at 10:00 a.m.

This addendum #1 consists of three (3) pages.

QUESTIONS & ANSWERS

Q1. Existing controllers/thermostats are to be abandoned; what is process to cover up areas with wallpaper locations exist.

A1. Contractor to electrically isolate, as necessary, and abandon existing thermostats and temperature sensors in place.

Q2. Use of "Adaptor curbs" on South wing acceptable?

A2. Per Specifications Section 23 81 19, equipment other than Carrier is to include a curb adapter, as necessary. Per specifications, substitutions are to be submitted for approval prior to bid

Q3. On construction Notes: item 9 states no snap lock ducting. Flexible duct limited to 5 feet per note 17. Do runouts from new ductwork need to spiral pipe?

A3. Spiral duct is required. Contractor may use (1) snap-lock section for runout from trunk line to flex connection. If more than one section of snap lock is necessary to carry runout to service point, contractor is to use spiral. Contractor to seal all ductwork per SMACNA.

Q4. Mention of existing RTU's on North wing that all units to be reflashed due to leaks, even though they are to stay in place. There is no written specification on new flashings and how much is needed.

A4. No flashing is required for units on the North Wing.

Q5. On duct demolition and in all areas and new fabricated ducting per plans. Staging can somewhat occur but all ceilings must be removed for new layout which is different from existing = all ceilings must be removed for access. City of High Point mechanical inspections department will require to see each individual new trunk line before specified "New work Notes: item 4 to be insulated on Exterior with duct wrap.

A5. Contractor to submit staging plan with bid. Staging should be planned so that no more than ¼ of the building is without heating and air-conditioning at one time.

It is anticipated that the ceiling structure will largely be left in place during construction. Cross pieces and main beams may be temporarily removed as necessary, and must be replaced and returned to the original condition with manufacturer recommended fastening / securing methods. Ceiling tiles are to be removed and replaced as necessary. Contractor should include in its price cost sufficient to repair tiles damaged by contractor during the course of the work.

Q6. With ceiling work, all bids must be submitted with a North Carolina general contracting license?

A6. Removal and replacement of existing ceiling tiles does not require a North Carolina general contracting license.

Q7. Mentioned at pre-bid that existing units on "North Wing" plans that model number and age Where available to see if new "Modbus" modules where compatible for new Control specifications.

A7. Controls for the North Building rooftop units are not in the scope of work. Please refer to DWG M1.2.

Q8. Unclear on electrical requirements for new equipment. Do we use old disconnects Or replace with new on "South Wing"

A8. Per mechanical schedule M1.01, include new non-fused disconnect with rooftop units on South Wing.

Q9. New control system requires a "Graphic" package; does bid require a new separate Computer to achieve these specifications? Very unusual for us or outside vendor to come in and try to set up new controls on your existing computer hardware/software.

A9. Graphics will reside within JACE supervisory controller and will be accessed remotely by web interface. No separate operator workstation is required. Contractor will work with HPHA IT staff to establish a fixed IP address for the JACE.

Q10. Will there be any monies or contingency for all the ceiling work or ceiling tiles?

A10. Please reference question 5 above.

Q11. The sample bid form (RFP p.31 of 154) did not include a place for price Alt #1 (DWG M-1.2 Notes 11 & 12 for North Building and DWG M-1.4 Notes 5, 6, & 7 for South Building)

A11. A revised bid form is attached. Provide the price for the entire job as the base cost. Provide a separate deduct lump sum price for the North and South building portions of Alternate #1.

ATTACHMENT C

Cost Proposal: 20190201 Invitation for Bids for HPHA Office HVAC. The undersigned, having carefully examined this Invitation for Bids entitled HPHA Office HVAC and the following addenda:

Addenda Number(s) and Date(s): _____
 as well as the premises and conditions affecting the work, proposes to furnish all services, labor, materials, and equipment required to perform the work for the Lump sum of:

A cost spreadsheet is required with your sealed bid, showing the cost breakdown of how you priced this project. Below is sample spreadsheet.

HPHA Office HVAC - South Wing	QUANTITY	UNIT	UNIT COST	TOTAL COST
Demolition/Disposal	1	Each		
South Wing HVAC Materials	1	Lump Sum		
South Wing Labor	1	Lump Sum		
Equipment Rental	1	Lump Sum		
Mobilization/Demobilization	1	Lump Sum		
Permits	1	Each		
Sub Total				
Contingency				
Bonding				
TOTAL with Contingency				
Deduct for Alt #1 - South Wing Portion				

HPHA Office HVAC - North Wing	QUANTITY	UNIT	UNIT COST	TOTAL COST
Demolition/Disposal	1	Each		
South Wing HVAC Materials	1	Lump Sum		
South Wing Labor	1	Lump Sum		
Equipment Rental	1	Lump Sum		
Mobilization/Demobilization	1	Lump Sum		
Permits	1	Each		
Sub Total				
Contingency				
Bonding				
TOTAL with Contingency				
Deduct for Alt #1 - North Wing Portion				

Respectfully submitted:

Firm's Name: _____

Address: _____

Authorized Signature: _____ Date: _____

Title: _____

Printed Name of Authorized Signature: _____