



818 S. FLORES ST. SAN ANTONIO, TEXAS 78204 www.saha.org

Procurement Department

ADDENDUM # 1

To: File 19025-909-23-4929
IFB for: Cassiano Burn Units Rehabilitation

Please see the attached drawings. It appears the drawings were corrupted in the original mailing. Delete the original drawings and replaced with the attached.

The following questions are asked:

- Question 1: Just wanted to confirm the site visit address for this project. I understand that there is a pre-bid meeting on the 9th, followed by a site visit on the 10th. Could you provide the address where you want attendees to meet on the 10th (day of site visit)?
- Answer 1: The site visit will be at the Cassiano Homes, 2919 S. Laredo, San Antonio, Texas 78207. Staff will be available only to guide prospective bidders, they will not be able to answer any questions.

By: Charles R Bode
Charles Bode Asst. Director of Procurement

Date: June 26, 2019

CASSIANO HOMES PARTIAL REMODEL

2919 S LAREDO ST.

SAN ANTONIO, TX 78207



SAHA SAN ANTONIO HOUSING AUTHORITY

Opportunity Lives Here

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MEP ENGINEER

HM3 ENGINEERING

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CODE SUMMARY

APPLICABLE BUILDING CODES	2015 INTERNATIONAL BUILDING CODE
2015 INTERNATIONAL FIRE CODE	
2015 INTERNATIONAL MECHANICAL CODE	
2015 INTERNATIONAL PLUMBING CODE	
2014 NATIONAL ELECTRIC CODE	
BUILDING AREAS	1 2
UNIT 103	798 SF 798 SF
UNIT 2404	798 SF 798 SF
UNIT 1523	944 SF 944 SF
UNIT 3023	944 SF 944 SF
UNIT 1501	1293 SF 1293 SF
UNIT 942	929 SF
UNIT 1818	1205 SF 1205 SF
OVERALL:	6935 SF 6005 SF = 12940SF
OCCUPANCY CLASSIFICATION	RESIDENTIAL - GROUP R-2
CONSTRUCTION TYPE	TYPE 5-A

SCOPE OF WORK:

PROJECT CONSIST OF INTERIOR REMODEL FOR SEVEN (7) MULTI-FAMILY RESIDENTIAL UNITS FOR S.A.H.A. THE EXISTING UNITS ARE CURRENTLY VACANT DUE TO FIRE OR WATER DAMAGE. INTERIOR DEMOLITION HAS BEEN PERFORMED UNDER A SEPARATE PERMIT, NO STRUCTURAL MEMBERS HAVE BEEN REMOVED.

ALL SEVEN (7) UNITS WILL REMODELED AND READY TO MOVE IN. ALL DAMAGED WOOD JOISTS AND STUDS WILL BE REPLACED WITH NEW WOOD JOISTS AND STUDS AS SCHEDULED BY THE STRUCTURAL ENGINEER. THE EXISTING WOOD STUDS SHALL BE RECEIVING NEW GYPSUM BOARD, TEXTURED & PAINTED. ALL UNITS ARE SCHEDULED TO HAVE NEW MECHANICAL, ELECTRICAL, & PLUMBING IMPROVEMENTS AS SCHEDULED ON PLANS. THE EXTERIOR FINISH MODIFICATIONS CONSIST OF NEW ROOFING, SHEATHING WHERE APPLICABLE, 8.25 CEMENTITIOUS SIDING WITH SMOOTH FINISH, AND REPLACING EXISTING VENEER BRICK WITH NEW BRICK TO MATCH EXISTING AS SPELLED OUT IN DRAWINGS.

THE SCOPE OF WORK IS A GENERAL BRIEF DESCRIPTION. THE GENERAL CONTRACTOR SHALL PROVIDE ALL OF THE CONSTRUCTION AS DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

GENERAL NOTES:

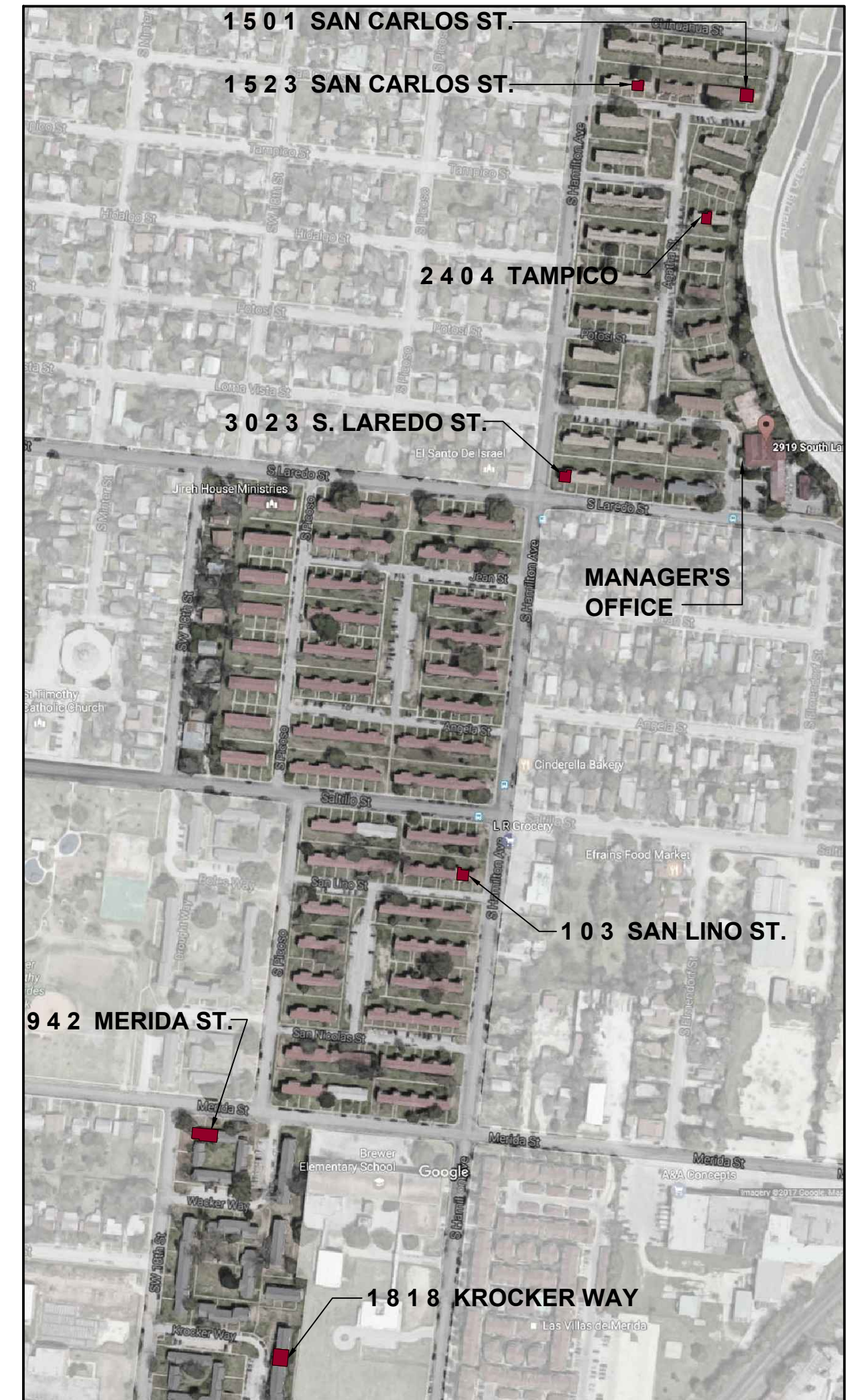
- ALL WORK IS TO BE DONE BY THE GENERAL CONTRACTOR, EXCEPT AS NOTED OTHERWISE.
- THE GENERAL CONTRACTOR SHALL EXECUTE ALL WORK, SUPPLY ALL MATERIALS, AND EQUIP. IN ACCORDANCE WITH LOCAL AND NATIONAL GOVERNING CODES.
- THE GENERAL CONTRACTOR SHALL CHECK AND FIELD VERIFY ALL DIMENSIONS AND CONDITIONS, REPORTING ANY DISCREPANCIES, IN WRITING, TO THE ARCHITECT BEFORE BEGINNING ANY PHASE OF CONSTRUCTION. THIS IS THE SAME FOR LACK OF FULL KNOWLEDGE OF EXISTING CONDITIONS UNDER WHICH THE CONTRACTOR WILL BE OBLIGATED TO OPERATE. CONDITIONS SHOWN ON THESE DOCUMENTS ARE BASED ON INFORMATION SUPPLIED BY THE OWNER.
- DIMENSIONS ARE TYPICALLY TO A FINISHED SURFACE OR TO AN ASSEMBLY, FIXTURE, CENTERLINE, ETC. REPORT ALL DISCREPANCIES IN DIMENSIONS IN WRITING TO THE ARCHITECT PRIOR TO BEGINNING ANY PHASE OF CONSTRUCTION. WORK SHALL BE TRUE AND LEVEL AS INDICATED. ALL WORK SHALL RESULT IN AN ORDERLY AND WORKMAN-LIKE APPEARANCE. WHERE FIGURES OR DIMENSIONS HAVE BEEN OMITTED FROM THE DRAWINGS, THE DRAWINGS SHALL NOT BE SCALED. THE CONTRACTOR SHALL IMMEDIATELY REQUEST DIMENSIONS IN WRITING FROM THE ARCHITECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR HAVING THE SUB-CRONTACTORS COORDINATE THEIR WORK WITH THE OTHER TRADES INCLUDING WORK NOT IN CONTRACT.
- THE GENERAL CONTRACTOR SHALL FILE FOR AND SECURE ALL APPROVALS, PERMITS, TESTS, INSPECTIONS AND CERTIFICATES OF COMPLIANCE REQUIRED.
- THE GENERAL CONTRACTOR IS TO KEEP A FULL SET OF UP-TO-DATE CONSTRUCTION DOCUMENTS INCLUDING ADDENDA, FIELD SKETCHES, CLARIFICATIONS AND SUPPLEMENTS AVAILABLE AT THE JOB SITE AT ALL TIMES.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PROGRAMS AND PRECAUTIONS NECESSARY FOR COMPLETION OF WORK AND FOR PROTECTION OF WORKERS, VISITORS AND THE PUBLIC.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL UTILITIES TO THE UNITS.
- THE GENERAL CONTRACTOR IS TO PROVIDE ADEQUATE BARRICADES AS PER LOCAL BUILDING CODES AND ORDINANCES TO INSURE THE SAFETY OF PERSONS AND PROPERTY ON THE SITE OCCUPIED BY THE OWNER AND IN THE ADJACENT PUBLIC RIGHT OF WAY.
- THE GENERAL CONTRACTOR IS TO REPAIR, REPLACE, PATCH AND MATCH ANY MATERIALS, AREAS OR SYSTEMS AS REQUIRED AND CALLED FOR TO INSURE PROPER INSTALLATION AND NEAT APPEARANCE OF THE WORK.
- SPECIFIED ITEMS HAVE BEEN SELECTED BECAUSE THEY REFLECT THE STANDARDS OF QUALITY DESIRED, POSSESS FEATURES REQUIRED TO PRESERVE THE DESIGN CONCEPT, THE ARCHITECT, THEREFORE, RESERVES THE RIGHT TO REQUIRE THE USE OF SPECIFIED ITEMS. ANY REQUESTS FOR SUBSTITUTIONS FOR THE SPECIFIED ITEMS MUST BE SUBMITTED TO THE ARCHITECT, IN WRITING, ALONG WITH A SAMPLE AND PROOF OF EQUALITY OF SUCH ITEMS. IN ALL CASES, THE BURDEN OF PROOF OF EQUALITY SHALL BE WITH THE BIDDER AND THE DECISION OF THE ARCHITECT SHALL BE FINAL.
- THE OWNER, ARCHITECT, OR ENGINEER WILL NOT BE RESPONSIBLE FOR ANY VERBAL INSTRUCTIONS.
- ALL SCRAP MATERIALS ARE TO BE REMOVED FROM THE SITE ON A DAILY BASIS. TRASH SHALL NOT BE ALLOWED TO ACCUMULATE.
- THE GENERAL CONTRACTOR IS TO NOTIFY OWNER'S REPRESENTATIVE AND ARCHITECT UPON FINDING CONDITIONS NOT IDENTIFIED ON DRAWINGS.
- THE ADJACENT PROPERTIES SHALL IN NO WAY BE INCONVENIENCED OR DISTURBED BY VEHICLES, DEBRIS, SIGNS, OR NOISY CONDITIONS OR NON-CONSTRUCTION NOISE. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONDUCT OF ALL PERSONS ON SITE AT ALL TIMES AND FOR THE BEHAVIOR OF INDIVIDUALS WITH RESPECT TO ADJACENT AREAS. THE PROJECT SITE SHALL BE DRUG AND ALCOHOL FREE.
- REFER TO ADDITIONAL NOTES BY MEP DISCIPLINE.
- EVERY DRAWING DETAIL AND SPECIFICATION ITEM IS TO BE UTILIZED IN THIS PROJECT. IF IT IS NOT CLEAR WHERE A SPECIFIC DETAIL IS TO BE UTILIZED, OR A REQUIRED QUANTITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A WRITTEN CLARIFICATION PRIOR TO BID AWARD.
- MATERIALS USED FOR NEW CONSTRUCTION SHALL MATCH EXISTING MATERIALS. IF SUCH MATERIALS ARE UNAVAILABLE THE CONTRACTOR WILL USE MATERIALS THAT BEST MATCH EXISTING ADJACENT SURFACES AS SPECIFIED BY ARCHITECT. ALL MATERIALS USED WILL MATCH OR EXCEED THE QUALITY OF PERFORMANCE CAPABILITIES OF EXISTING MATERIALS. MATERIAL APPROVAL BY ARCHITECT AND OWNER.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL PHASES OF CONSTRUCTION AND FOR COORDINATION BETWEEN SUBCONTRACTORS MEANS AND METHOD OF CONSTRUCTION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ANY PRECAUTION REQUIRED TO PROTECT ALL WORK INCLUDING EXISTING WORK TO REMAIN DURING CONSTRUCTION IS PART OF THE SCOPE OF WORK AND SHALL BE INCLUDED IN THE BASE BID.
- GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY FENCING DURING CONSTRUCTION TO PROTECT VALUABLE MATERIALS AND UNAUTHORIZED PEOPLE ENTERING THE SITE. THE OWNER/ ARCHITECT IS NOT RESPONSIBLE FOR ANY DAMAGES OR LOSSES OF VALUABLES, MATERIALS OR LOST OF PROPERTY.
- IF AN ITEM OR SPECIFICATION IS NOTED AT LEAST ONCE IN THE DOCUMENTS IT IS TO BE CONSIDERED PART OF THE BID.

DEMOLITION NOTES:

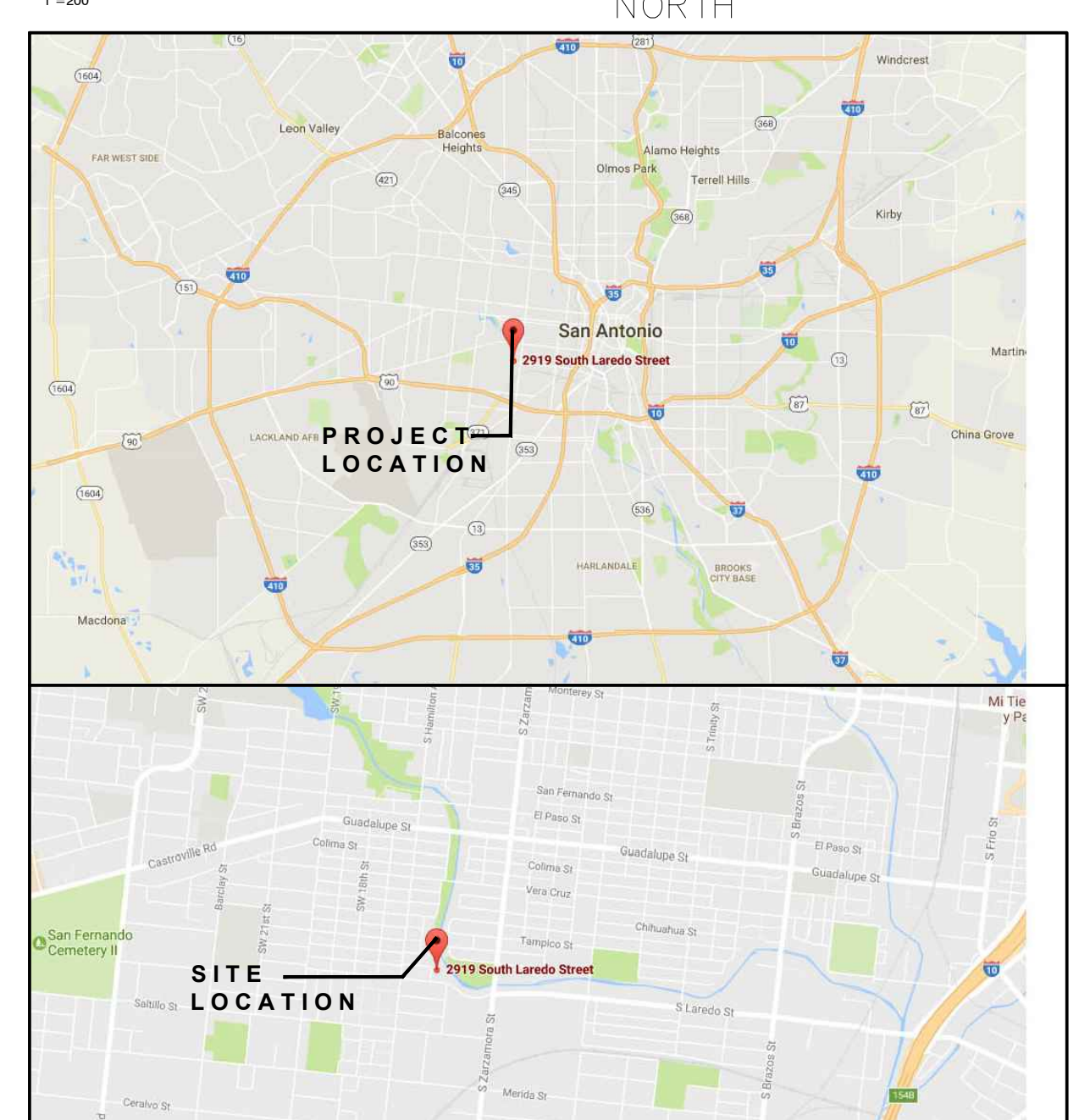
- REMOVE ALL INTERIOR MILLWORK / WALL & FLOOR TILE / PLUMBING FIXTURES
- REMOVE HOT WATER HEATER, DUCTS, VENTS, AND CONTROLLERS
- REMOVE ALL INTERIOR DOORS & FRAMES.
- ALL WINDOWS ARE TO BE REMOVED AND REPLACED WITH NEW SIMILAR STYLE WINDOWS.
- REMOVE ALL DAMAGED WOOD SIDING MATERIALS AND TRIM.
- REMOVE AND REPLACE EXISTING BRICK VENEER AS SPECIFIED.
- REMOVE ALL SOFFIT & FASCIA MATERIALS AS SPECIFIED.
- REMOVE ALL EXISTING ROOF SHINGLES OR METAL ROOF AS SPECIFIED.
- ALL EXISTING INTERIOR FRAMING TO REMAIN. PROTECT DURING DEMOLITION & CONSTRUCTION.
- THESE NOTES ARE TO BE USED IN CONJUNCTION WITH AND/OR IN ADDITION TO THE REQUIREMENTS DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS AND WILL BE INCLUDED AS PART OF THE BASE BID.
- PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING, OR STRUCTURAL SUPPORT TO MAINTAIN STABILITY AND TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF AREA TO BE SELECTIVELY DEMOLISHED. STRENGTHEN OR ADD SUPPORTS AS REQUIRED BY THESE DOCUMENTS DURING SELECTIVE DEMOLITION.
- REMOVE, REPLACE, PATCH AND REPAIR MATERIALS FOR USE WITH EXISTING SURFACES CUT OR DAMAGED DURING SELECTIVE DEMOLITION ACTIVITIES WITH MATERIALS OF IDENTICAL OR GREATER QUALITY AS SPECIFIED BY ARCHITECT
- SURVEY EXISTING CONDITIONS AND COORDINATE WITH THE REQUIREMENTS INDICATED IN THE CONSTRUCTION DOCUMENTS TO DETERMINE THE EXTENT OF SELECTIVE DEMOLITION REQUIRED.
- THE CONTRACTOR WILL SURVEY THE PROGRESS OF WORK TO DETECT HAZARDS RESULTING FROM DEMOLITION ACTIVITIES.
- LOCATE, IDENTIFY, DISCONNECT, SEAL AND CAP ALL UTILITY LINES THAT ARE TO BE SELECTIVELY DEMOLISHED OR RELOCATED OR REROUTED. COORDINATE WITH THE ARCHITECT AND OWNER TO ARRANGE SHUT OFF OF UTILITIES BEING AFFECTED. THE CONTRACTOR WILL PROVIDE BYPASS CONNECTIONS TO MAINTAIN SERVICE TO OTHER STRUCTURES PRIOR TO PROCEEDING WITH ANY WORK.
- CLEAN ADJACENT STRUCTURES, EXISTING FEATURES OF THE SITE OR IMPROVEMENTS OF DUST DIRT AND DEBRIS CAUSED BY DEMOLITION ACTIVITIES. RETURN ALL SUCH AREA AS TO CONDITIONS EXISTING PRIOR TO THE START OF DEMOLITION.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING TREES, RETAINING BLOCK WALLS, & CONCRETE WALKS, BALCONIES AND EXTERIOR BUILDING ELEMENTS.
- GENERAL CONTRACTOR SHALL NOT STORE ANY MATERIALS OR EQUIPMENT ON PARKING LOT OBSTRUCTING FIRE LANES OR FIRE HYDRANTS.
- GENERAL CONTRACTOR IS TO COORDINATE DEMOLITION WITH NEW CONSTRUCTION.
- IF THERE ARE ANY DISCREPANCIES IN DRAWINGS AND SPECIFICATIONS, THE MOST STRINGENT REQUIREMENTS SHALL PREVAIL.
- ANY DAMAGES TO EXISTING FACILITY DUE TO CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BACK TO ORIGINAL CONDITION AT THE G.C.'S EXPENSE.
- GENERAL CONTRACTOR SHALL COORDINATE WORK DESCRIBED IN CONSTRUCTION DOCUMENTS SUCH THAT ALL WORK IS COMPLETED AS INDICATED IN THE DOCUMENTS. ANY ERRORS RESULTING FROM G.C.'S LACK OF COORDINATION AND DIRECTION SHALL BE CORRECTED AT G.C.'S EXPENSE, AND WILL NOT BE CONSIDERED AS A BASIS FOR MONETARY CONSIDERATION.

NEW CONSTRUCTION NOTES:

- PROVIDE NEW EXTERIOR WALL 1/2" SHEATHING AND 3/4" FLOOR DECKING WHERE DAMAGED AS REQUIRED AND NEW CEMENTITIOUS SIDING AS SCHEDULED TO BE INSTALLED. PROVIDE NEW BUILDING WRAP PRODUCT ON ALL WALLS RECEIVING NEW SHEATHING.
- WINDOW OPENINGS ARE TO RECEIVE NEW WINDOW WRAP PRODUCT, WHERE APPLICABLE. ALL WINDOWS ARE TO BE REPLACED WITH NEW USING DOUBLE HUNG ALUMINUM WINDOW SYSTEM, NEW WINDOWS TO MATCH EXISTING.
- PROVIDE NEW (R-19) INSULATION IN ALL EXTERIOR WALLS WHERE FRAMING IS EXPOSED INSIDE.
- ALL ROOF ARE TO HAVE NEW ROOF INSULATION (R-38) IN ALL ROOF AREAS.
- PROVIDE NEW 5/8" GYPSUM WALL BOARD, TEXTURED & PAINTED ON ALL INTERIOR WALLS. PROVIDE WATER RESISTANT GYPSUM WALL BOARD IN ALL WET LOCATIONS.
- PROVIDE BACKER BOARD WHERE WALL TILE IS SCHEDULED TO BE INSTALL. PROVIDE CONTINUOUS SURFACE WITH BUTTING GYPSUM BOARD.
- PROVIDE NEW ROOF INSULATION (R-38) IN ALL ROOF AREAS THAT RECEIVE NEW ROOFING.
- ROOF (BUILT-UP SYSTEM) - NEW ROOFING IS TO MATCH EXISTING AND APPLIED ONLY AFTER THE NEW UNDERLAYMENT HAS BEEN APPLIED. COORDINATE SPEC OF UNDERLAYMENT BEFORE INSTALLATION WITH OWNER & ARCHITECT. PROVIDE METAL FLASHING AND METAL DRIP EDGES ALONG EAVES AS NECESSARY.
- ROOF (METAL ROOF) NEW ROOFING IS TO MATCH EXISTING AND APPLIED ONLY AFTER THE NEW UNDERLAYMENT HAS BEEN APPLIED. COORDINATE SPEC OF UNDERLAYMENT BEFORE INSTALLATION WITH OWNER & ARCHITECT. PROVIDE METAL FLASHING AND METAL DRIP EDGES ALONG EAVES AS NECESSARY.
- ALL EXISTING WOOD SIDING IS TO BE REPLACED WITH NEW 8.25" WIDE SMOOTH CEMENTITIOUS LAP SIDING TO MATCH EXISTING. PROVIDE 3.5" TRIM. NEW SIDING WILL MATCH EXISTING SIZE, PAINT AND TEXTURE AND TYPE AS SPECIFIED.
- PROVIDE NEW 1/2" THICK CEMENTITIOUS SOFFITS TO MATCH EXISTING, NEW SOFFIT WILL MATCH EXISTING SIZE, PAINT, TEXTURE AND TYPE AS SPECIFIED.
- PROVIDE NEW 1" THICK CEMENTITIOUS FASCIAS TO MATCH EXISTING, NEW FASCIAS WILL MATCH EXISTING SIZE, PAINT, TEXTURE AND TYPE AS SPECIFIED.
- PROVIDE ADDRESS NUMBERS AND MAIL BOXES FOR EACH UNIT / MATCH EXISTING.
- EXISTING WOOD STAIRS: REPLACE DAMAGED OR LOOSE WOOD TREADS TO MATCH EXISTING. EXISTING WOOD STRINGERS ARE TO REMAIN, UNLESS DAMAGED OR NEED TO BE REPLACED.
- EXISTING WOOD TREADS AND RISERS: SAND, PATCH AND PAINT WITH OIL BASE PAINT. SEAL WITH A LACQUER OR POLYURETHANE. - TYPICAL
- CONTRACTOR IS TO POWER WASH AND SEAL EXISTING CONCRETE SIDEWALKS, PATIOS AND PORCHES OF EACH UNIT.
- PROVIDE DURA ROC GYPSUM BOARD WHERE TILE IS LOCATED AND PURPLE GYPSUM (MOLD, MILDEW, MOISTURE RESISTANT) BOARD AT ALL WET LOCATIONS INCLUDING ALL OF BATHROOMS.
- CONTRACTOR IS PROVIDE LAMINATE CHIPS SWATCHES TO SAHA AND ARCHITECT FOR KITCHEN AND BATH COUNTER TOPS.
- ANY MISSING CMU BLOCK WALL IS TO BE REPLACED WITH AS SPECIFIED WITH CONCRETE. CONCRETE IS TO BE DETAILED TO HAVE SIMILAR GROUT LINES AS CMU BLOCK. PAINTED.
- ALL CHARRED CMU BLOCK WALLS ARE TO BE STRIPPED, AND HAVE THE PAINT REMOVED IN ITS ENTIRETY. REPAINT AND TEXTURE THE CMU BLOCK WALLS.
- CONTRACTOR IS TO PROVIDE WATERPROOFING WHERE THERE IS NO WATERPROOFING. CONTRACTOR IS TO COORDINATE DETAILS OF MISSING WATERPROOFING WITH OWNER OR ARCHITECT UNLESS NOTED.
- MATCH, PATCH AND REPLACE ALL CHARRED SIDING, WATERPROOFING AND SHEATHING WITH NEW SIDING, WATERPROOFING AND SHEATHING. FIRE BLOCKING AND CAULK AS NECESSARY.
- APPLIANCES WILL BE PROVIDED BY THE CONTRACTOR AND GIVEN TO THE PROPERTIES MAINTENANCE STAFF FOR INSTALLATION. (SECURITY ISSUES, NOT A GOOD IDEA TO LEAVE IN APPLIANCE AND MATERIALS INSIDE UNITS)
- ALL EXISTING SLOAN VALVE TYPE TOILETS SUCH BE CHANGED TO A TANK AND BOWL FOR UNIT PRICING.
- CONTRACTOR IS TO FIELD VERIFY EVERYTHING INCLUDING ALL NOTES, DIMENSIONS AND EXISTING ROOF CONDITIONS. PLEASE BRING MULTIPLE LIGHTS TO INSPECT THE UNITS AS MANY UNITS DO NOT HAVE ANY ELECTRICITY OR LIGHTING.
- MATCH NEW SIDING WITH NEW CEMENTITIOUS / PAINT AND TEXTURE TO MATCH EXISTING.
- PROVIDE NEW WATERPROOFING AND WHERE NECESSARY
- ALL UNITS ARE TO HAVE NEW CABLE AND DATA LINES. CABLE AND DATA IS TO BE INSTALLED IN EVERY BEDROOM AND THE LIVING ROOM. DATA WILL ALSO BE INSTALLED IN KITCHEN.
- ALL BUCKLING FLOOR DECKING MUST BE REINFORCED WITH SCREWS INTO A 2X6 CONNECTING FROM THE EXISTING FLOOR JOISTS. DETAIL A7/18
- CONTRACTOR IS TO POWER WASH ALL BRICK AS NECESSARY BEFORE PRIMER AND PAINT.
- ALL UNITS ARE TO RECEIVE NEW ELECTRICAL WIRING PER CODE STANDARDS.
- REMOVE AND REPLACE EXISTING HEAVY DUTY SCREEN DOORS AND REPAIR IF THE DOORS ARE REPAIRABLE. IF THE DOORS ARE DAMAGED AND NEED TO BE REPLACED, MATCH THE EXISTING SCREEN DOOR. PAINT.
- ALL UNITS WHERE FLOOR DECKING IS TO BE REPLACED, ARE TO HAVE NEW 3/4" FULL SHEET PLYWOOD FLOOR DECKING. UNIT PRICING WILL OCCUR WHERE THE FLOOR DECK NEEDS TO BE PATCHED. ALL NEW FLOOR DECKING WILL BE NEW FULL SHEETS WHEN POSSIBLE. ALL 1/4" AND 1/2" DECKING MUST BE REPLACED WITH WHOLE 3/4" DECKING SHEETS AT A UNIT PRICE.
- ALLS STAIRS ARE TO BE REPLACED IF CRACKED OR BROKE. STAIRS THAT ARE SALVAGEABLE ARE TO BE STRIPPED, SANDED, CLEANED, PAINTED AND HAVE 3 COATS OF POLYURETHANE.
- ALL UNITS ON FIRST AND SECOND FLOOR WILL HAVE NEW DOOR FRAMES.
- ALL UNITS ARE TO RECEIVE NEW EXTERIOR AND INTERIOR WINDOW TRIM AS NECESSARY.
- N/A
- ALL FIRE DAMAGED UNITS ARE TO BE PROPERLY CLEANED, SEALED AND SPRAYED WITH TWO COATS OF KILZ TO ELIMINATE FIRE DAMAGE ODOR.
- ALL UNITS ARE TO HAVE NEW MAILBOXES AND EXTERIOR LIGHT FIXTURES, INCLUDING WALL PACKS WITH DUSK TILL DAWN SENSORS AS PER EXISTING. MATCH EXISTING.
- ALL BRICK ON ALL UNITS ARE TO HAVE A MASON REPOINT, AND CRACKS ARE TO BE ADDRESSED PROPERLY BY STONE MASON.
- ALL BUILDINGS SHOULD HAVE NEW GAS (HARD) LINES FROM THE METER TO THE APPLIANCES, LOCATED IN THEIR ORIGINAL LOCATION, TIED DOWN.
- REPLACE ALL WINDOW FRAMES AND DOOR FRAMES ARE TO BE LEVEL. SHIM AS NECESSARY.
- ALL WALL STUD SHOULD MATCH EXISTING WALL STUD DIMENSIONS, CONTRACTOR IS TO TAKE THIS COST OF CUTTING ANY MATERIAL TO SIZE INTO CONSIDERATION AND AS PART OF THE BID.
- ALL ELECTRICAL PANEL BOXES SHALL BE REPLACED WITH NEW ELECTRICAL PANEL BOXES.
- ANY EXTERIOR PENETRATIONS FROM GAS LINES OR WATER LINES MUST BE SEALED SPRAY FOAMED.
- ALL BATHROOM ACCESSORIES, TOILET, TUB, SINK AND FIXTURES - PROVIDE EXTRA BLOCKING.
- ALL PIPES LOCATED OUTSIDE WALL CAVITIES OR FLOOR CAVITIES NEED TO PROPERLY TIED DOWN.
- ALL UNITS ARE TO HAVE NEW WATER HEATER, BATHROOM, AND KITCHEN HOOK UPS AS SPECIFIED.
- ALL UNITS ARE TO HAVE NEW T&P VALVES AND COPPER LINES WITH PROTECTIVE LINING.
- ALL GAS LINES AND COPPER LINES ARE TO BE PRESSURE TESTED/ TESTED FOR ANY LEAKS.
- CONTRACTOR IS TO REMOVE EXISTING PEELING PAINT ON CMU AND BRICK WALLS IN ALL UNITS (INTERIOR AND EXTERIOR) TO ACHIEVE A SMOOTH SURFACE CAPABLE OF ADHERING PRIMER AND PAINT.
- ALL UNITS ARE TO RECEIVE NEW GUTTERS AND DOWNSPOUTS AS NECESSARY. MATCH EXISTING. OWNER SPECIFIED
- ALL UNITS WILL HAVE NEW COMBO CARBON MONOXIDE AND SMOKE DETECTORS IN ALL BEDROOMS AND LIVING ROOMS
- ALL UNITS ARE TO HAVE NEW ROOF WATERPROOFING AND FLASHING AROUND ROOF FLUE. PROVIDE ADDITIONAL DECKING AND BLOCKING AS NEEDED. SEE M4.0/6
- ALL 2X3 WALLS WILL HAVE DOOR FRAMES, JAMBS, AND HEADERS FABRICATED TO SIZE AS FRAMING MEMBERS.
- ALL OUTLETS ON THE 2X3 WALLS WILL PROPERLY BE MOUNTED. DO NOT NOTCH THE 2X3 FRAMING MEMBERS, WHOSE SAW THE FRAMING MEMBERS TO ALLOW ELECTRICAL TO PASS THROUGH. OWNER WILL NOT ALLOW NOTCHING ON 2X3 STUDS.
- ALL UNITS ARE TO RECEIVE NEW INTERIOR WINDOW TRIM AS NECESSARY. SUBMIT TO ARCHITECT FOR SPECIFICATIONS.
- NEW WATERPROOFING/ WINDOW WRAP WILL BE INSTALL ON ALL NEW WINDOWS.
- ALL UNITS ARE TO HAVE NEW SOUND INSULATION LOCATED ON ALL 1ST FLOOR CEILINGS.
- CONTRACTOR IS TO PROVIDE NEW LIGHTING FIXTURES AS SPECIFIED ON THE LIGHTING PLAN (MEP). PLEASE CONTACT THE ARCHITECT FOR SPECIFICATIONS.



1 EXISTING PLAN AND LOCATIONS OF UNITS TO BE RENOVATED



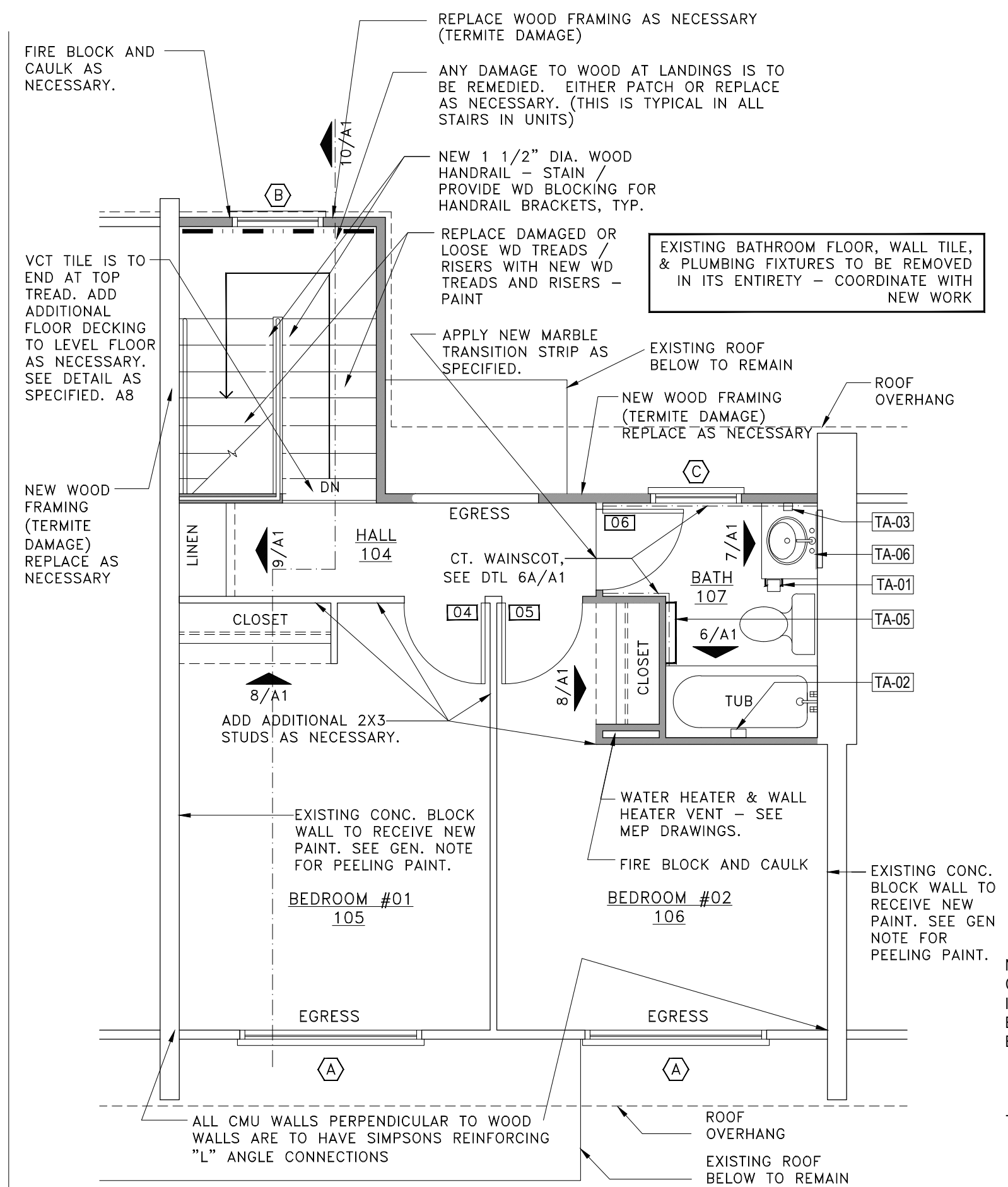
CASSIANO HOMES PARTIAL REMODEL
2919 S LAREDO ST. SAN ANTONIO, TX 78207

ISSUE DATE:
04/16/2018

REVISIONS:

SHEET:

A0



2 SECOND FLOOR PLAN - UNIT 103 & UNIT 2404
1/4" = 1'-0"

ALL WINDOWS ARE TO BE REPLACED INCLUDING THE FRAME. IMPLEMENTATION OF NEW SPECIFIED WINDOWS TO BE INSTALLED WITH NEW WINDOW FRAME AND VAPOR BARRIER. SEVERELY DAMAGED WINDOWS & WINDOW FRAMES TO BE REPLACED COMPLETELY WITH NEW SPECIFIED WINDOWS TO MATCH WINDOWS USED ELSEWHERE.

ALL WALL STUD SHOULD MATCH EXISTING WALL STUD. CONTRACTOR SHOULD TAKE THIS COST OF FABRICATING ANY MATERIAL INTO CONSIDERATION.

ALL UNITS ARE TO HAVE NEW HEATER VENT PIPE FLASHING AND WATERPROOFING TO AT ROOF LOCATION. INSTALL TO MANUFACTURER'S SPECIFICATIONS.

ALL UNITS ARE TO HAVE NEW HEAVY DUTY DOOR FRAMES INCLUDING 2X3 WALLS.

EACH INDIVIDUAL APARTMENT UNIT TO BE PROVIDED WITH ONE 2A, 10BC FIRE EXTINGUISHER. THE EXTINGUISHER IS TO BE MOUNTED INSIDE THE CABINET UNDER THE SINK IN THE KITCHEN.

THIS FLOOR PLAN PERTAINS TO UNIT 103 SAN LINO. UNIT 2404 IS A MIRROR IMAGE OF THIS FLOOR PLAN.

ALL EXISTING UNDAMAGED INTERIOR PARTITIONS ARE TO BE REUSED AND PROVIDED W/ NEW 5/8" GWB, PTD.

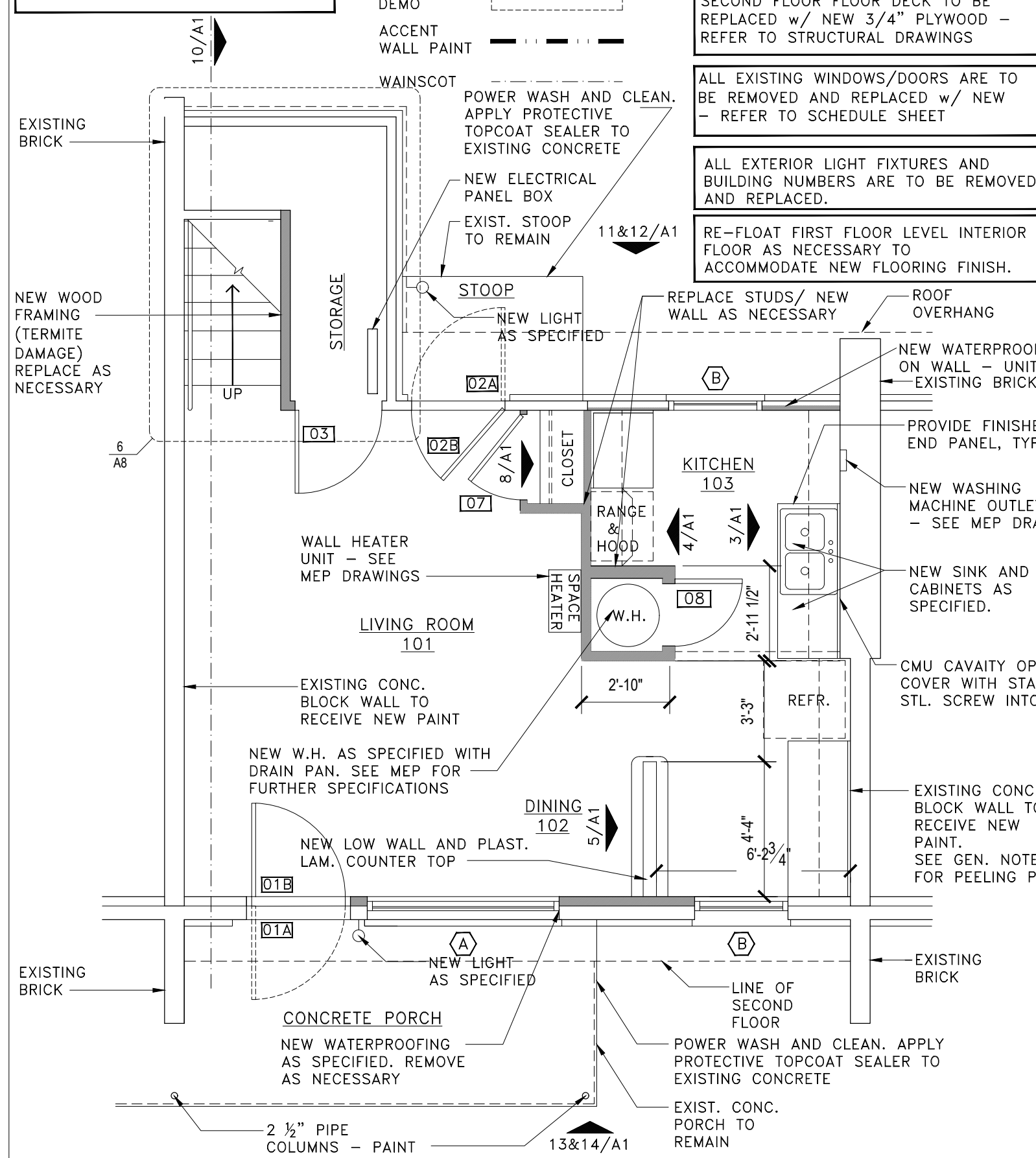
SECOND FLOOR FLOOR DECK TO BE REPLACED W/ NEW 3/4" PLYWOOD - REFER TO STRUCTURAL DRAWINGS.

ALL EXISTING WINDOWS/DOORS ARE TO BE REMOVED AND REPLACED W/ NEW - REFER TO SCHEDULE SHEET.

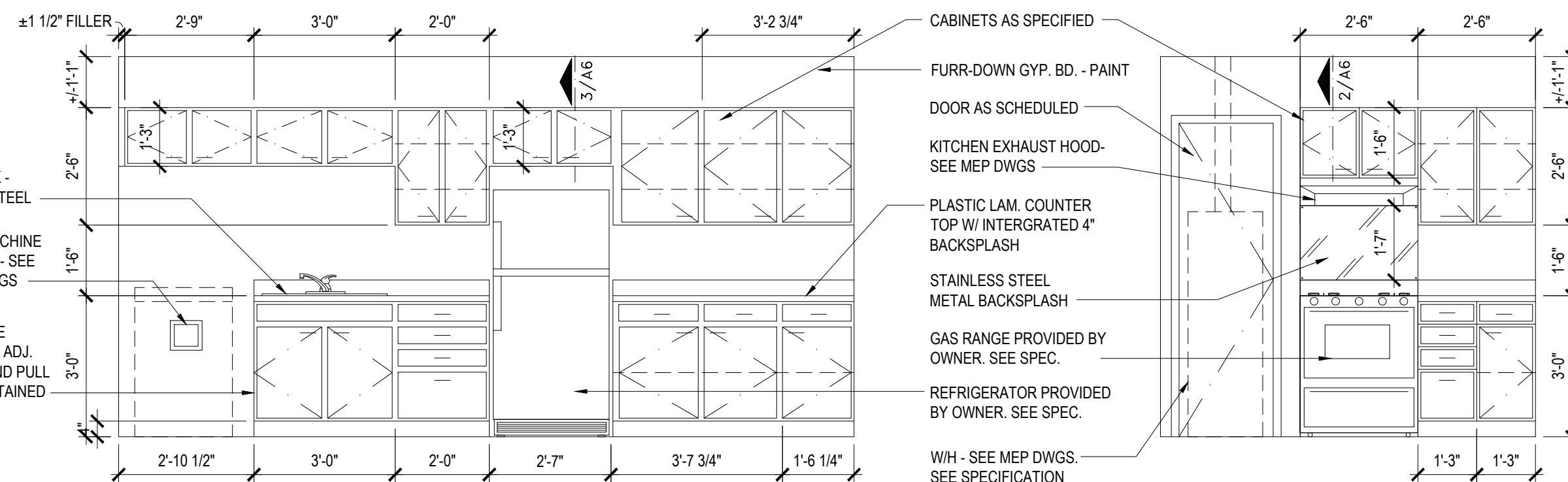
ALL EXTERIOR LIGHT FIXTURES AND BUILDING NUMBERS ARE TO BE REMOVED AND REPLACED.

RE-FLOAT FIRST FLOOR LEVEL INTERIOR FLOOR AS NECESSARY TO ACCOMMODATE NEW FLOORING FINISH.

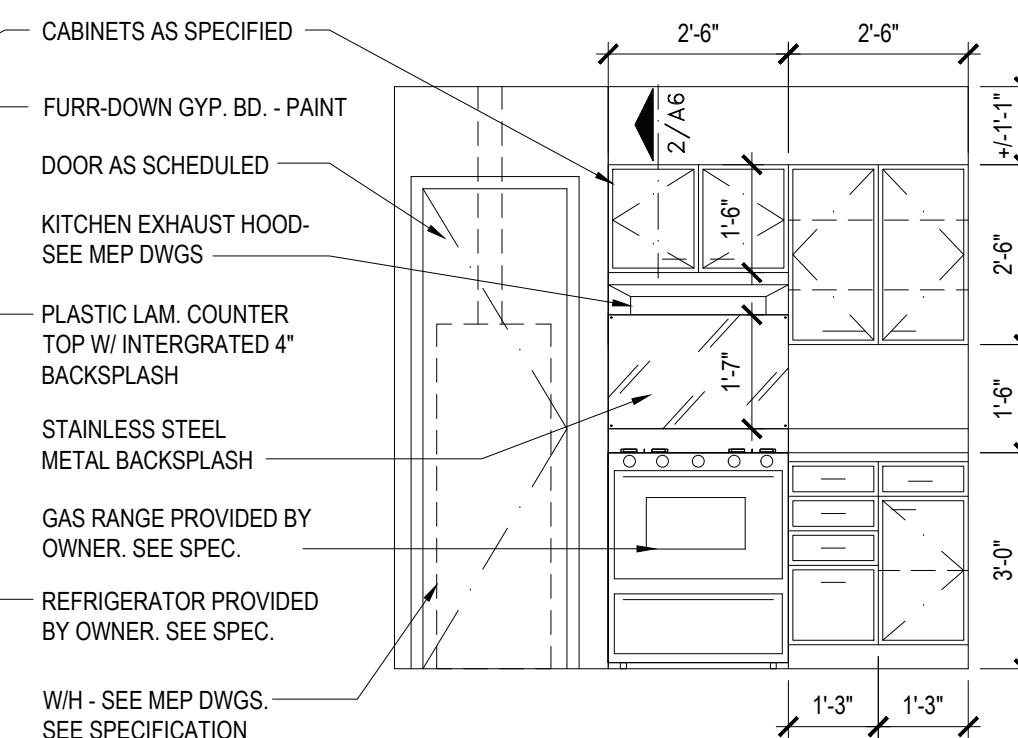
LEGEND:



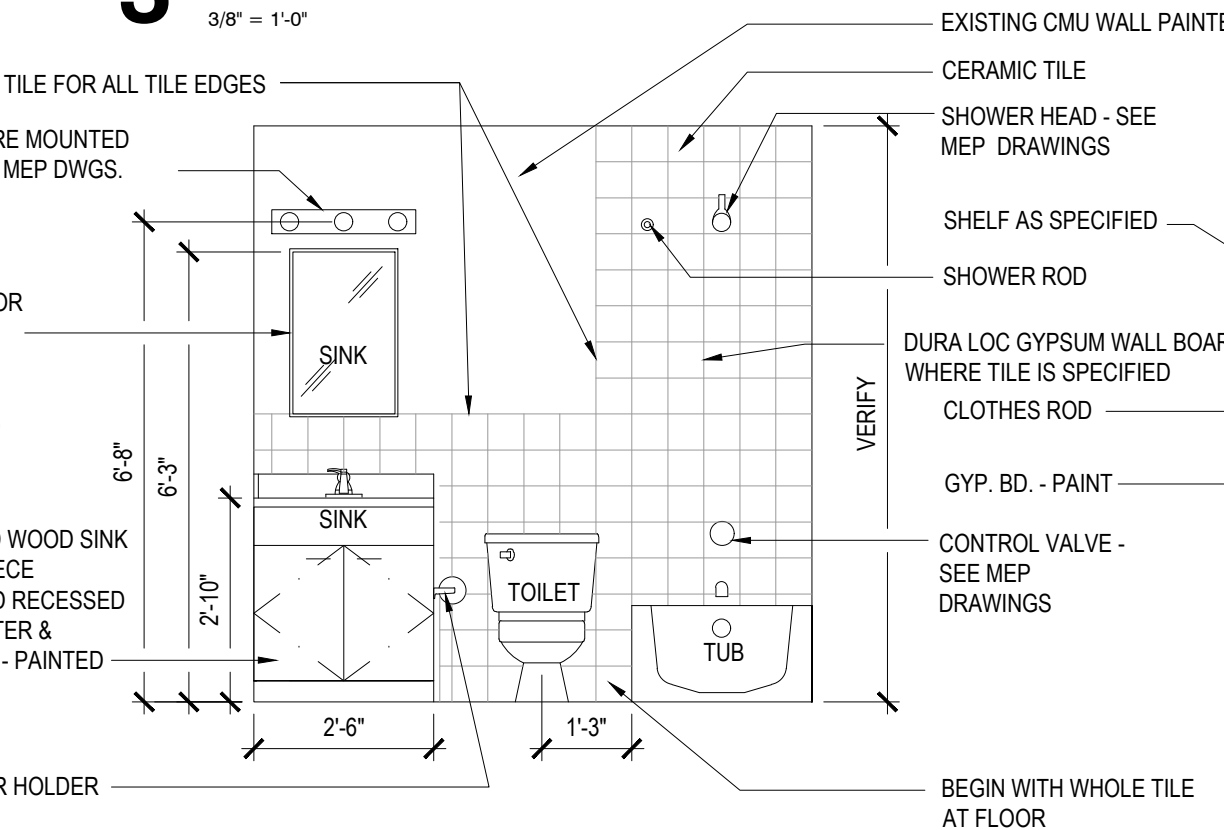
1 GROUND FLOOR PLAN - UNIT 103 & UNIT 2404
1/4" = 1'-0"



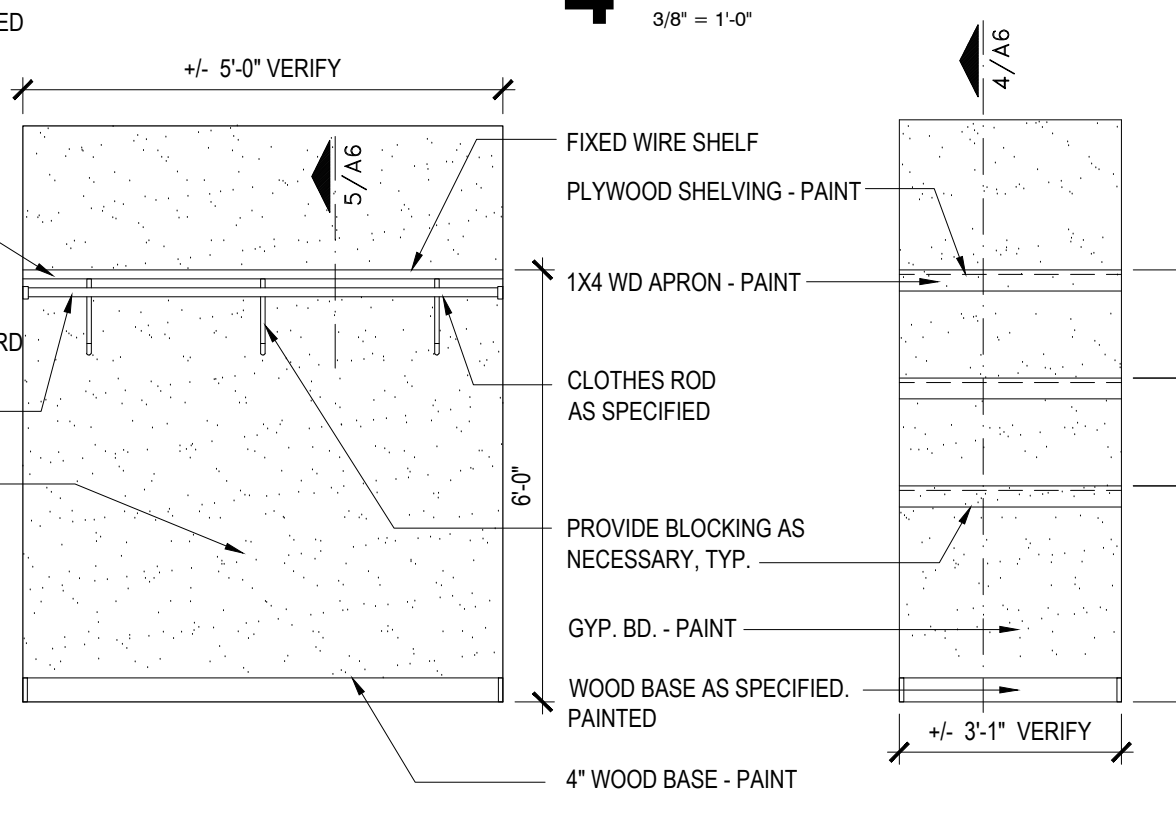
3 KITCHEN ELEV - UNITS 103 & 2404
3/8" = 1'-0"



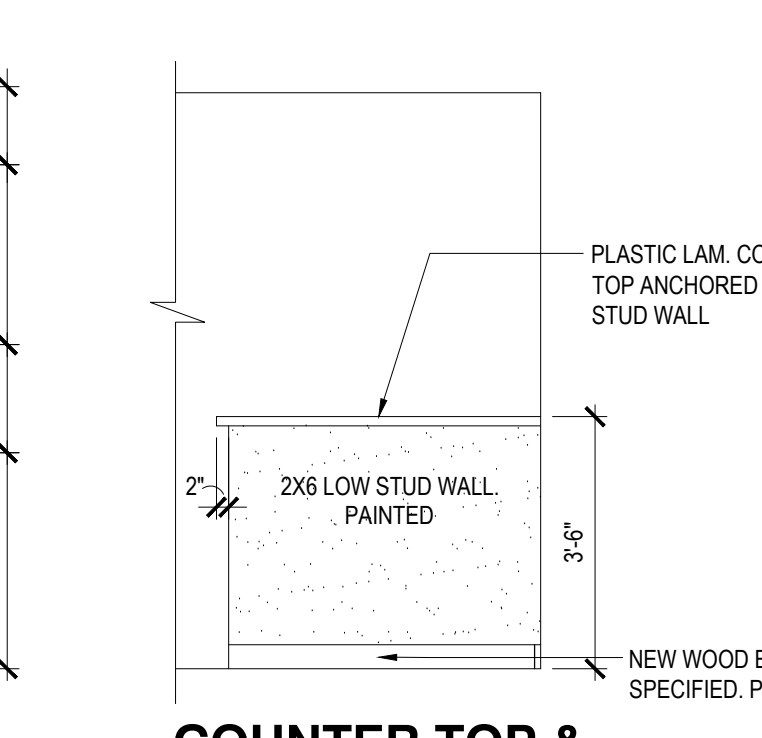
4 KITCHEN ELEV - UNITS 103 & 2404
3/8" = 1'-0"



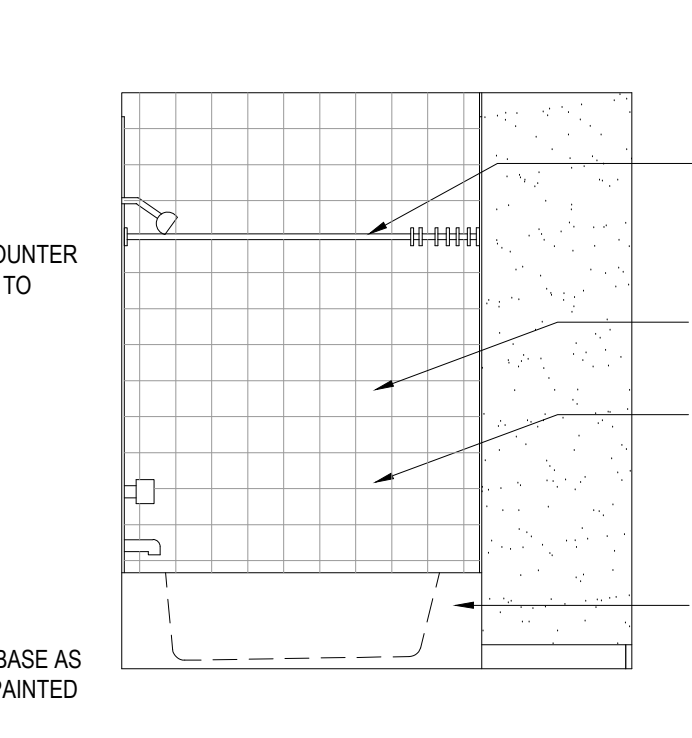
7 BATHROOM ELEV - UNITS 103 & 2404
3/8" = 1'-0"



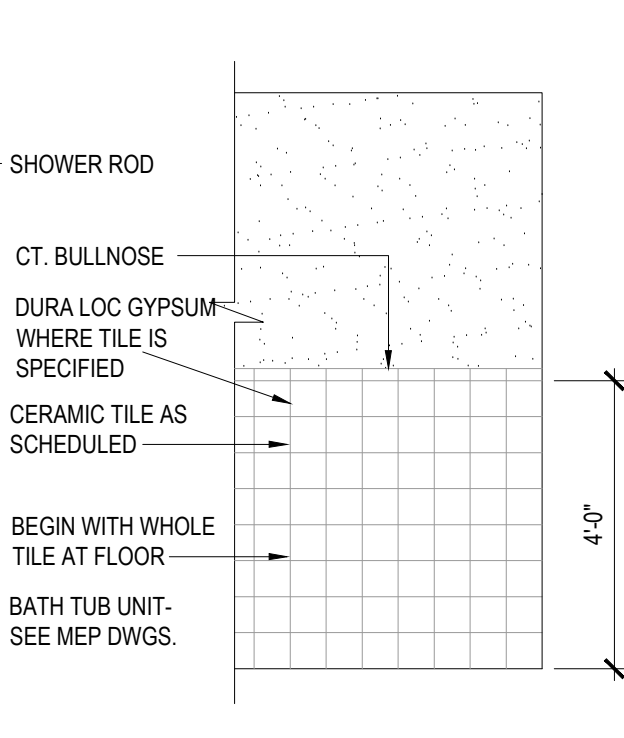
8 TYP. CLOSET SHELF ELEVATION
3/8" = 1'-0"



5 COUNTER TOP & LOW WALL ELEV - UNITS 103 & 2404
3/8" = 1'-0"



6 BATHROOM ELEV - UNITS 103 & 2404
3/8" = 1'-0"



6A CERAMIC TILE WAINSCOT
3/8" = 1'-0"

REPLACE ALL PLUMBING VALVES AS SPECIFIED.

ALL PLUMBING UNDER LAVATORIES, SINKS, AND FAUCETS SHALL BE BRASS AND CHROME FINISH IN LIEU OF PVC.

ALL BATHROOM ACCESSORIES, TOILET, TUB, SINK AND FIXTURES - PROVIDE EXTRA BLOCKING.

GENERAL CONTRACTOR SHALL PERFORM A PLUMBING DRAIN TEST FOR EXISTING LINES AND BE SURE ALL LINES ARE PERFORMING ACCORDINGLY.

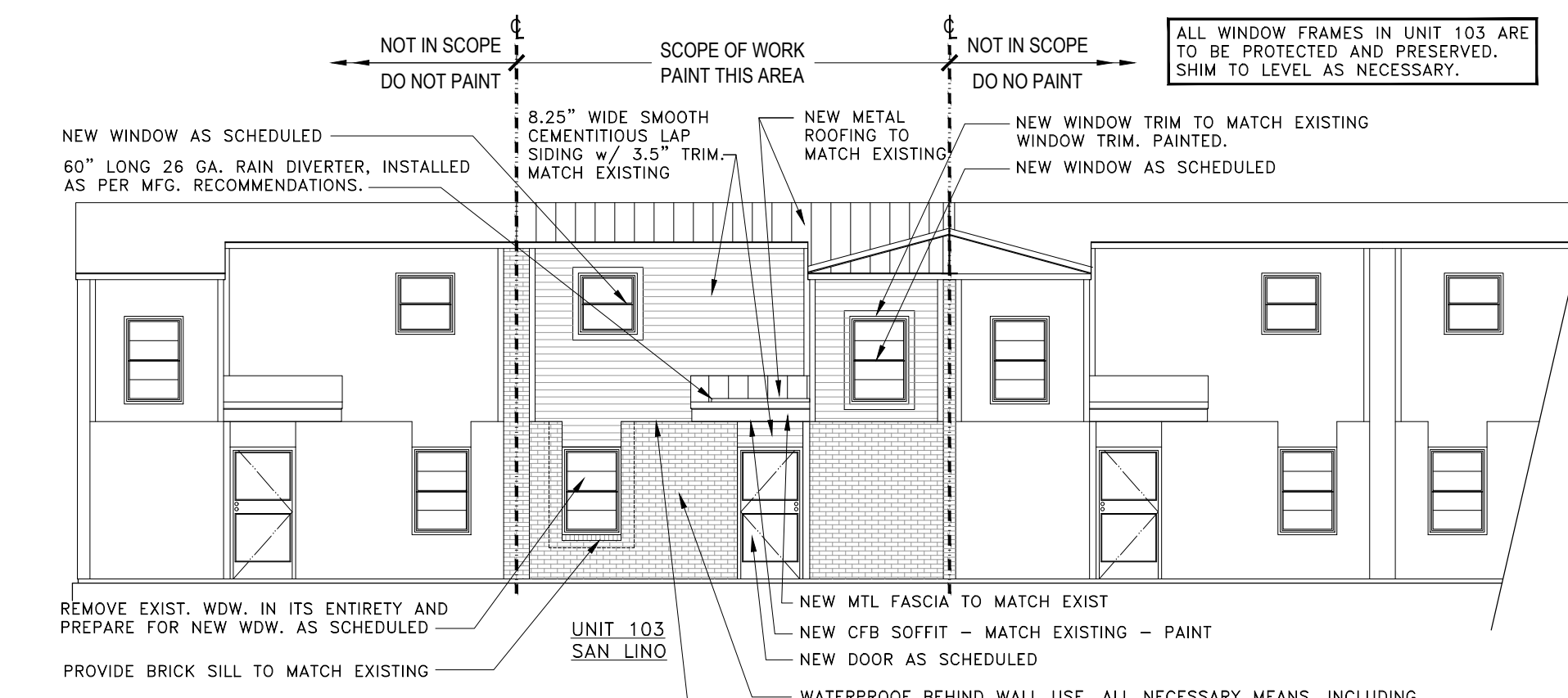
AT ALL WET LOCATIONS PROVIDE MOISTURE RESISTANT GYPSUM BOARD.

ALL FIRE DAMAGED STUDS, SHEATHING, SIDING AND WATERPROOFING IS TO BE REPLACED WITH NEW STUDS, WATERPROOFING, SIDING AND SHEATHING AS SPECIFIED.

CONTRACTOR IS TO POWER WASH ALL BRICK AS NECESSARY BEFORE PRIMER AND PAINT.

ALL UNITS WILL HAVE NEW SMOKE DETECTORS IN ALL BEDROOMS AND LIVING ROOMS.

ALL EXTERIOR MATERIALS ARE TO MATCH EXISTING MATERIALS. ANY DEVIATIONS ARE TO BE APPROVED BY THE ARCHITECT.



11 REAR ELEVATION - UNIT 103
1/8" = 1'-0"

ALL WINDOW FRAMES IN UNIT 103 ARE TO BE PROTECTED AND PRESERVED. SHIM TO LEVEL AS NECESSARY.

ALL UNITS ARE TO HAVE NEW MAILBOXES AND EXTERIOR LIGHT FIXTURES, INCLUDING WALL PACKS WITH DUSK TILL DAWN SENSORS.

ALL FIRE DAMAGED UNITS ARE TO BE PROPERLY CLEANED, SEALED AND SPRAYED WITH 2 COATS OF KILZ TO ELIMINATED FIRE DAMAGE ODOR.

ALL WINDOWS ARE TO HAVE NEW INT./EXT. WINDOW TRIM AS NECESSARY.

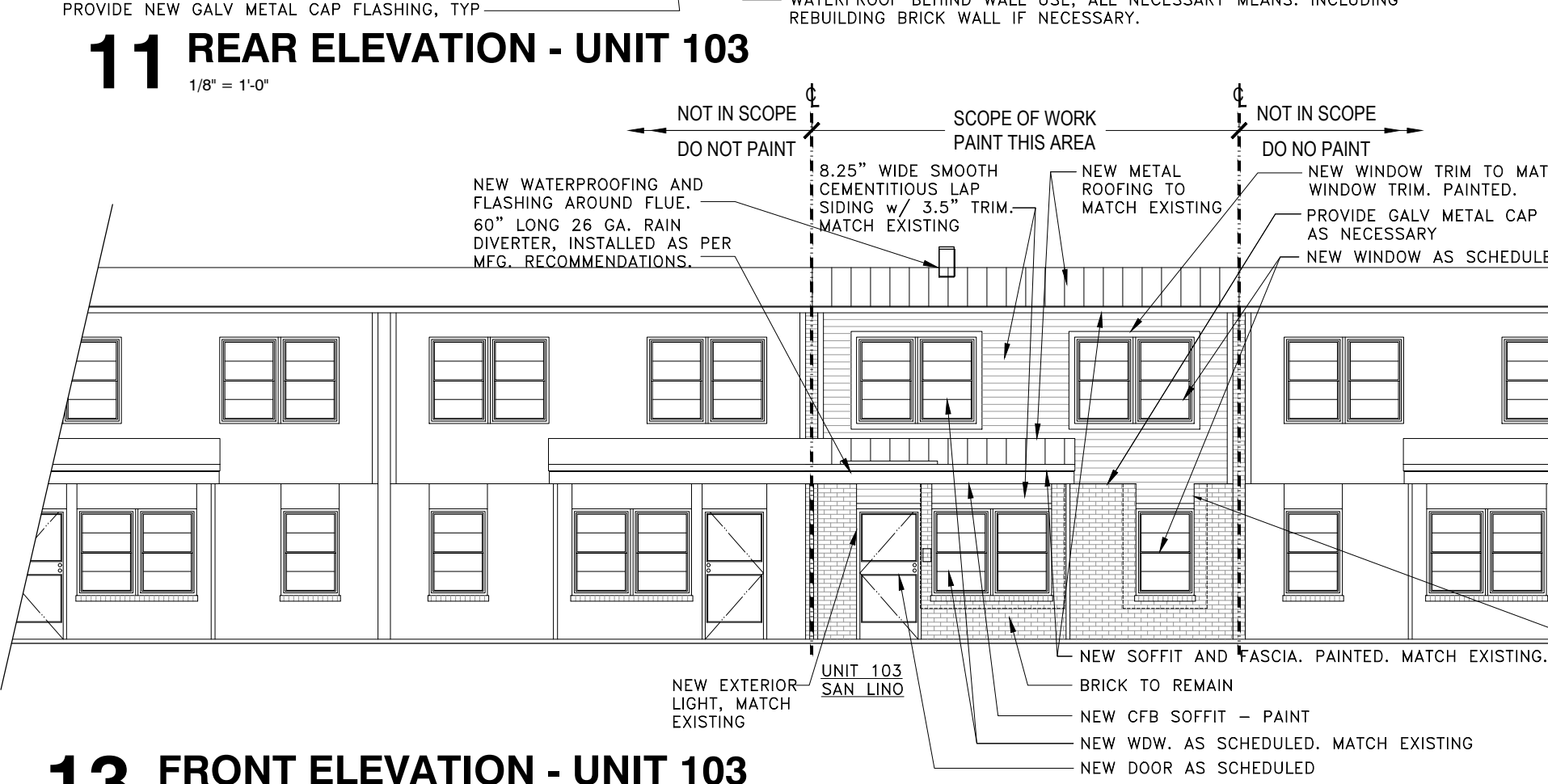
ALL UNITS ARE TO HAVE NEW CABLE AND DATA LINES. CABLE AND DATA IS TO BE INSTALLED IN EVERY BEDROOM AND LIVING ROOM.

REMOVE ALL EXISTING SIDING. PROVIDE NEW 8.25" WIDE SMOOTH CEMENTITIOUS LAP SIDING W/ 3.5" TRIM. MATCH EXISTING. DAMAGED MASONRY AND REPLACE DAMAGED SHEATHING & VAPOR BARRIER W/ NEW SHEATHING & VAPOR BARRIER SEE STRUCTURAL DRAWINGS.

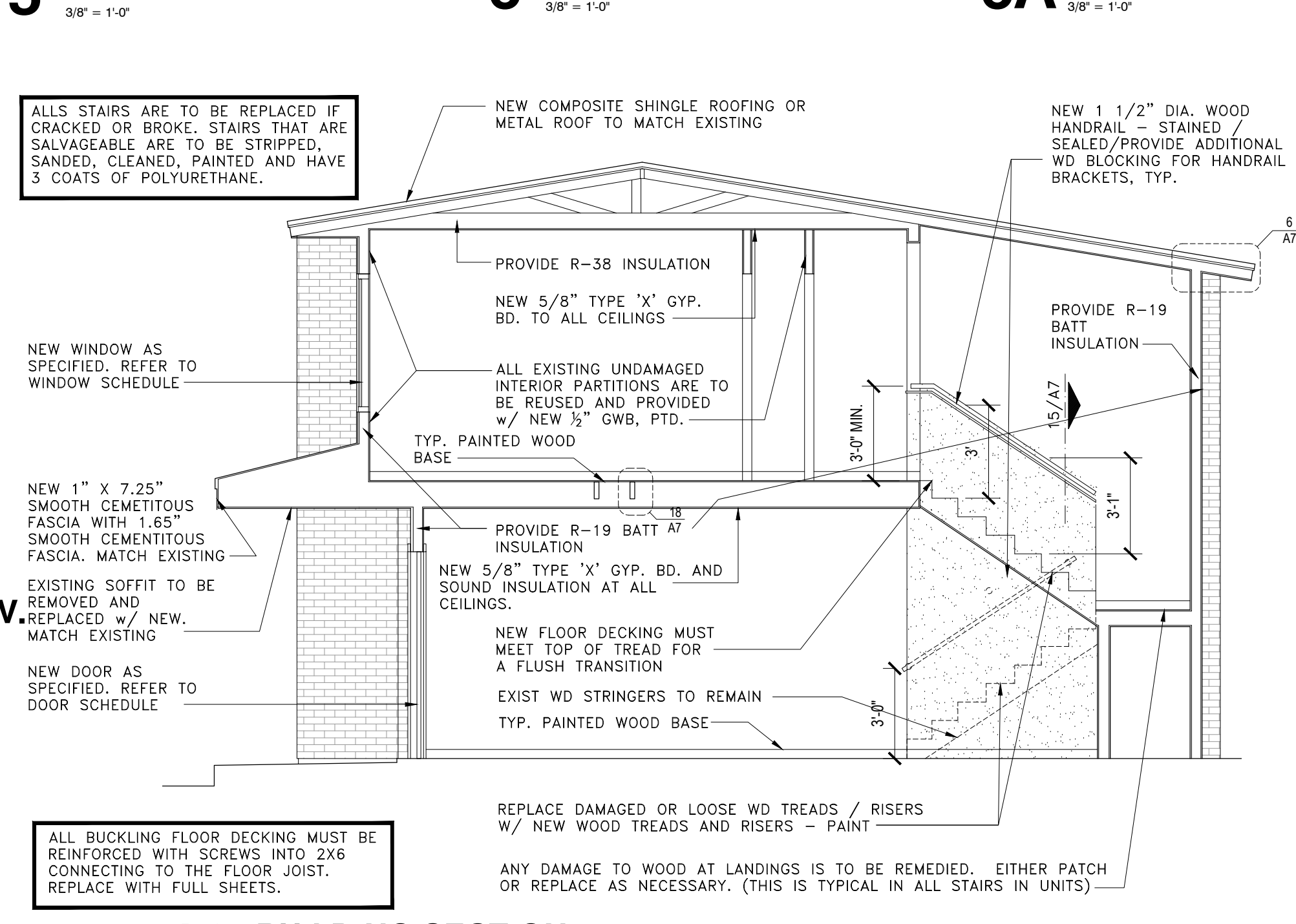
ALL EXISTING WINDOWS/ EXTERIOR DOORS ARE TO BE REMOVED AND REPLACED WITH NEW. NEW WINDOWS/DOORS TO MATCH EXISTING WINDOW STYLING.

SIDING IS TO MATCH EXISTING SIDING TEXTURE.

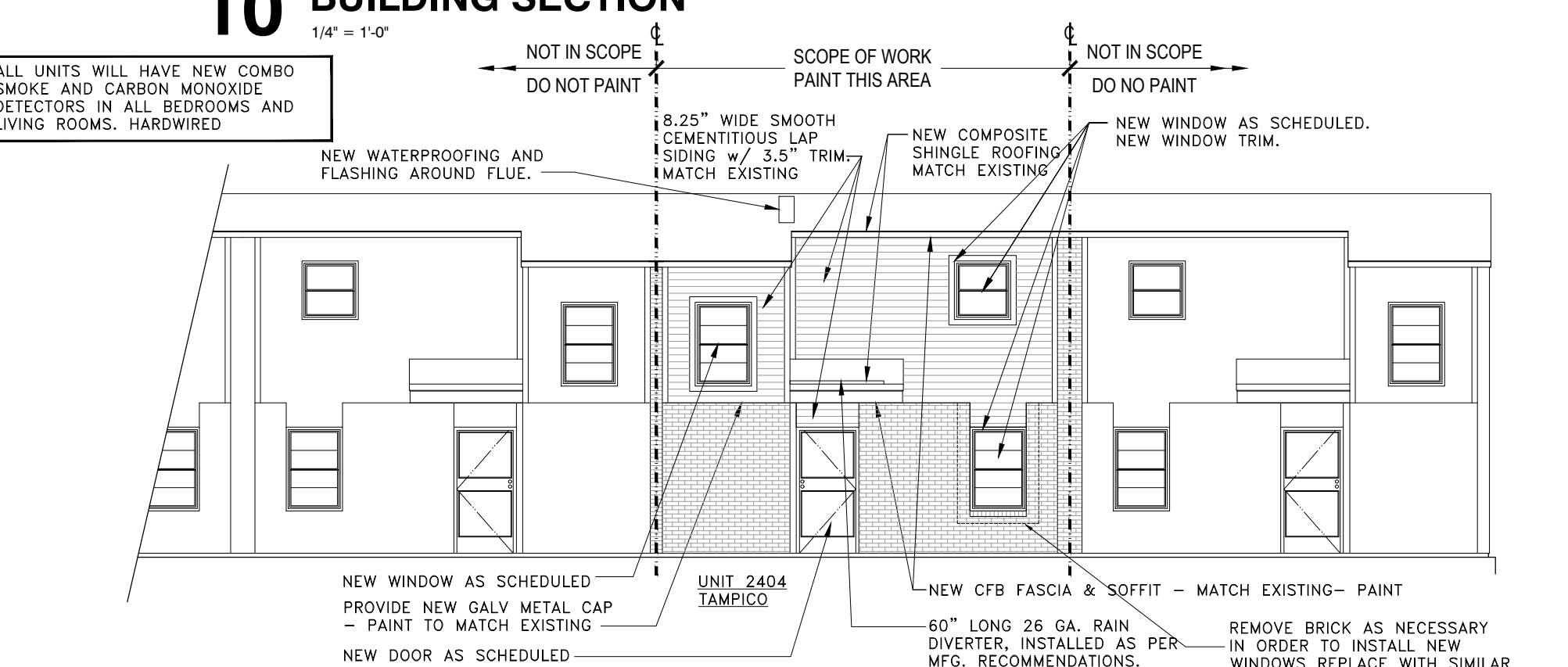
ALL UNITS ARE TO RECEIVE NEW GUTTERS AND DOWN SPOUTS AS NECESSARY. MATCH EXISTING. OWNER SPECIFIED.



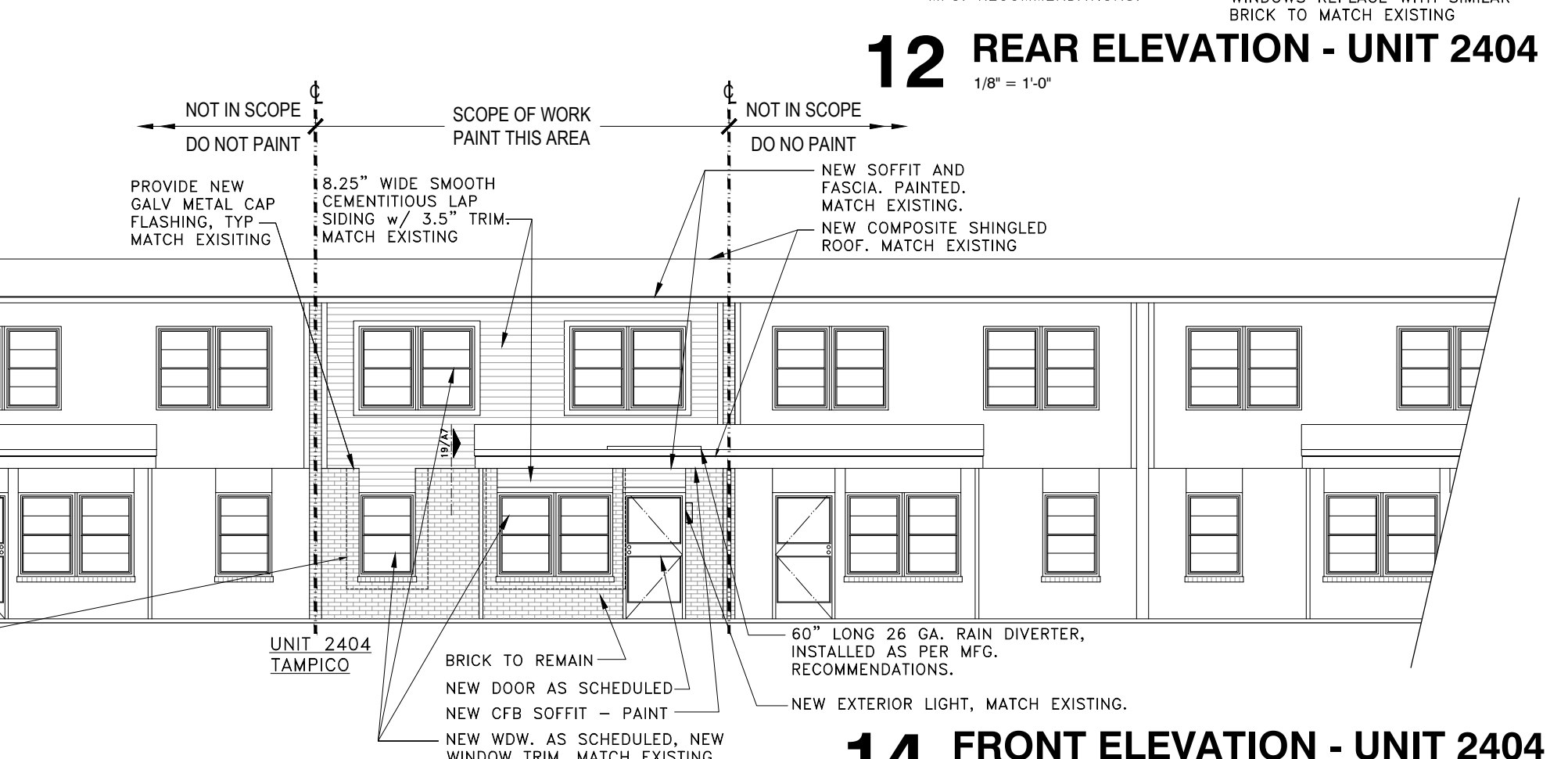
13 FRONT ELEVATION - UNIT 103
1/8" = 1'-0"



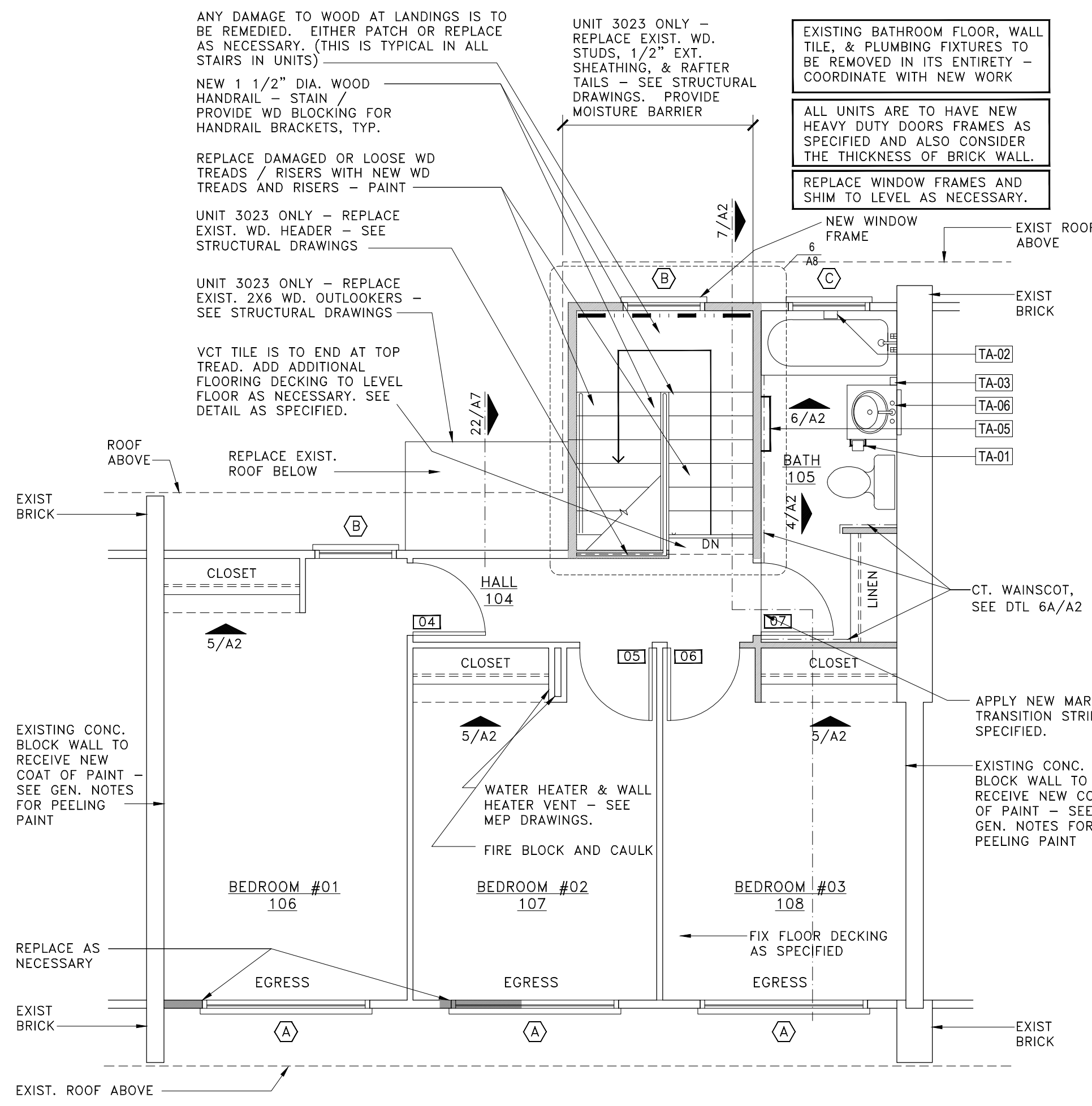
10 BUILDING SECTION
1/4" = 1'-0"



12 REAR ELEVATION - UNIT 2404
1/8" = 1'-0"



14 FRONT ELEVATION - UNIT 2404
1/8" = 1'-0"



2 SECOND FLOOR PLAN - UNIT 1523 & UNIT 3023
1/4" = 1'-0"

LEGEND:

EXISTING	---
NEW	----
DEMO	----
ACCENT WALL PAINT	----
WAINSCOT	----

EACH INDIVIDUAL APARTMENT UNIT TO BE PROVIDED WITH ONE 2A, 10BC FIRE EXTINGUISHER. THE EXTINGUISHER IS TO BE MOUNTED INSIDE THE CABINET UNDER THE SINK IN THE KITCHEN.

THIS FLOOR PLAN PERTAINS TO UNIT 1523 SAN CARLOS. UNIT 3023 S LAREDO IS AN END UNIT.

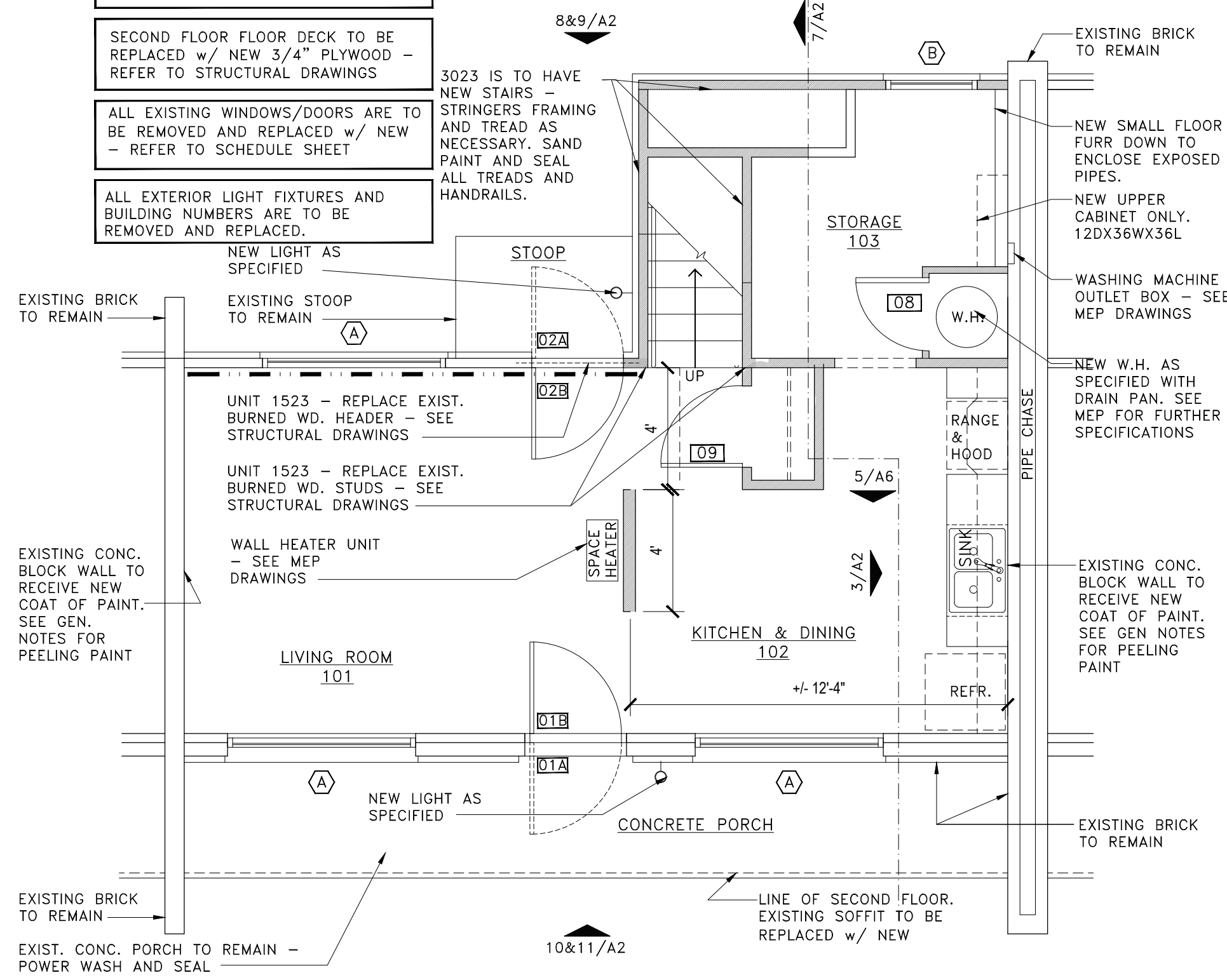
ALL EXISTING UNDAMAGED INTERIOR PARTITIONS ARE TO BE REUSED AND PROVIDED W/ NEW 5/8" GWB, PTD.

SECOND FLOOR FLOOR DECK TO BE REPLACED W/ NEW 3/4" PLYWOOD - REFER TO STRUCTURAL DRAWINGS.

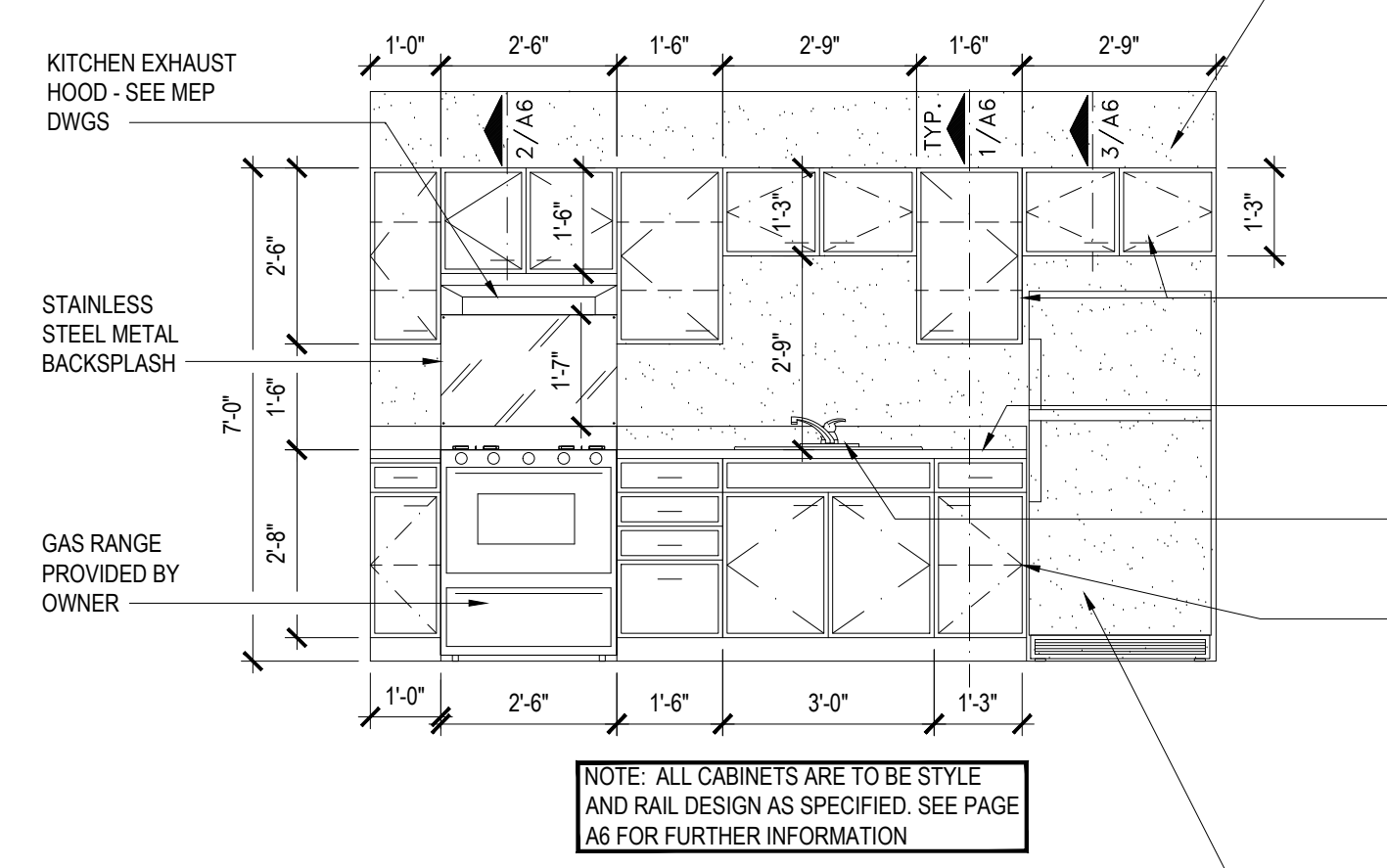
ALL EXISTING WINDOWS/DOORS ARE TO BE REMOVED AND REPLACED W/ NEW - REFER TO SCHEDULE SHEET.

ALL EXTERIOR LIGHT FIXTURES AND BUILDING NUMBERS ARE TO BE REMOVED AND REPLACED.

NEW LIGHT AS SPECIFIED.



1 GROUND FLOOR PLAN - UNIT 1523 & UNIT 3023
1/4" = 1'-0"



3 KITCHEN ELEV - UNITS 1523 & 3023
3/8" = 1'-0"

ALL FIRE DAMAGED STUDS, SHEATHING, SIDING AND WATERPROOFING IS TO BE REPLACED WITH NEW STUDS, SHEATHING SIDING AND WATERPROOFING AS SPECIFIED.

ALL SPECIFIED PLUMBING VALVES SHALL BE AS SPECIFIED.

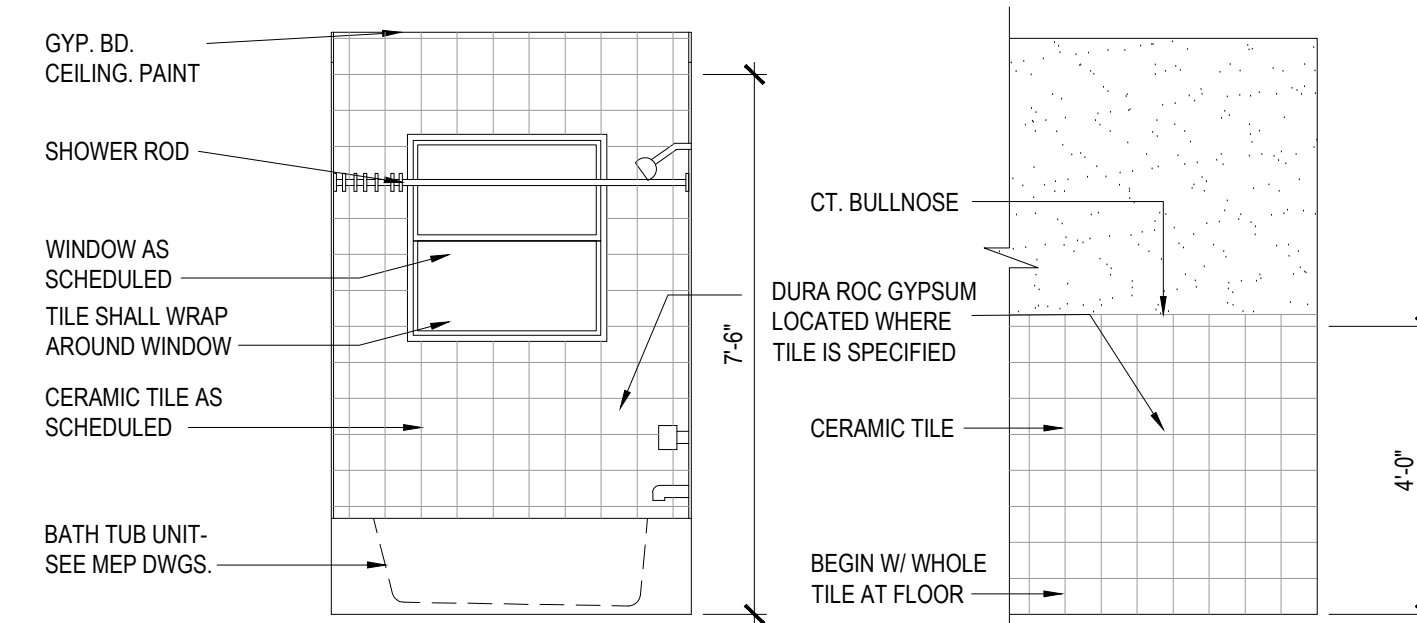
ALL PLUMBING UNDER LAVATORIES, SINKS, AND FAUCETS SHALL BE BRASS AND CHROME FINISH IN LIEU OF PVC.

AT ALL WET LOCATIONS PROVIDE PURPLE GYPSUM BOARD.

ALL BATHROOM ACCESSORIES, TOILET, TUB, SINK AND FIXTURES - PROVIDE EXTRA BLOCKING.

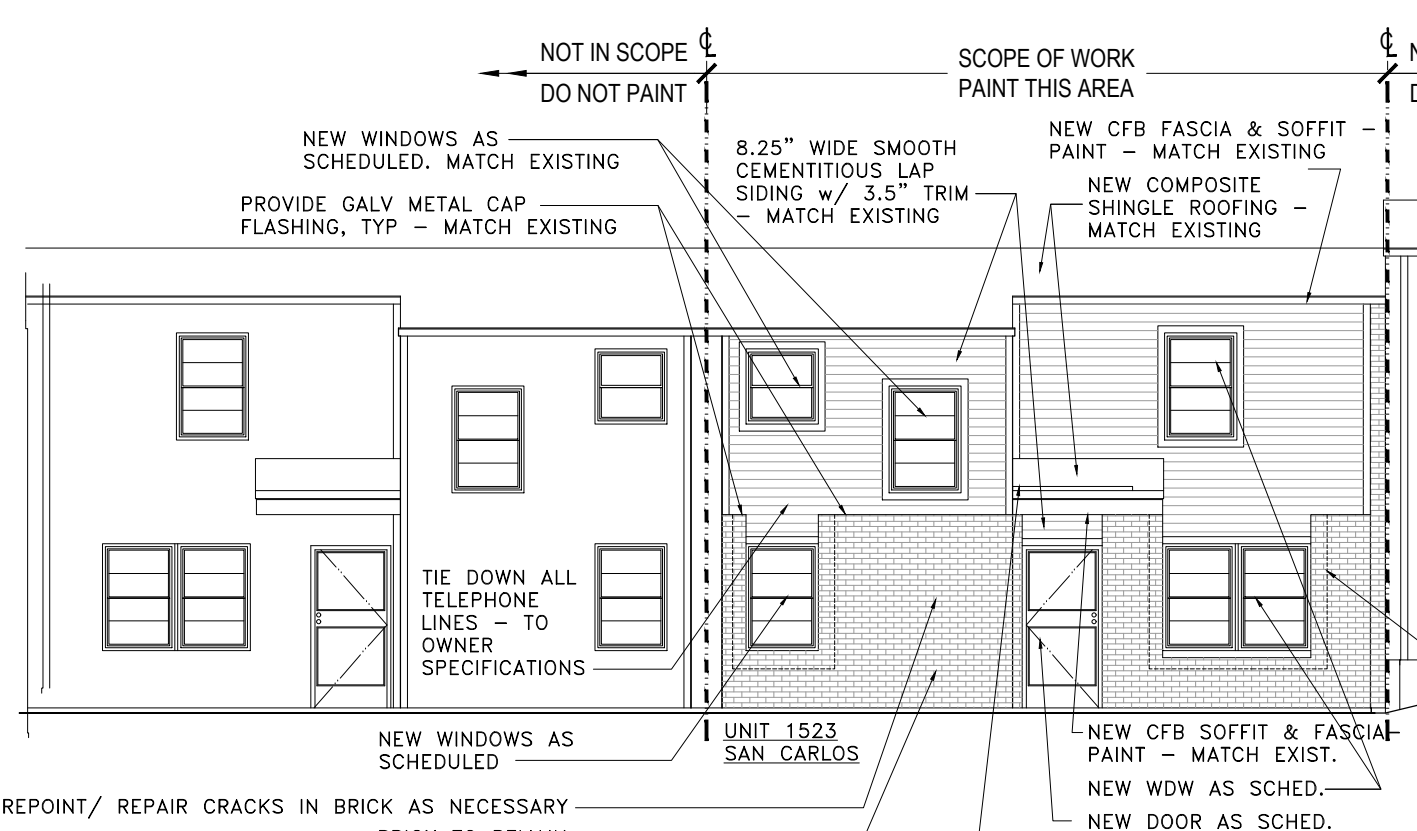
GENERAL CONTRACTOR SHALL PERFORM A PLUMBING DRAIN TEST FOR EXISTING LINES AND BE SURE ALL LINES ARE PERFORMING ACCORDINGLY.

ALL UNITS WILL HAVE NEW COMBO SMOKE AND CARBON MONOXIDE DETECTORS IN ALL BEDROOMS AND LIVING ROOMS. HARD WIRED.

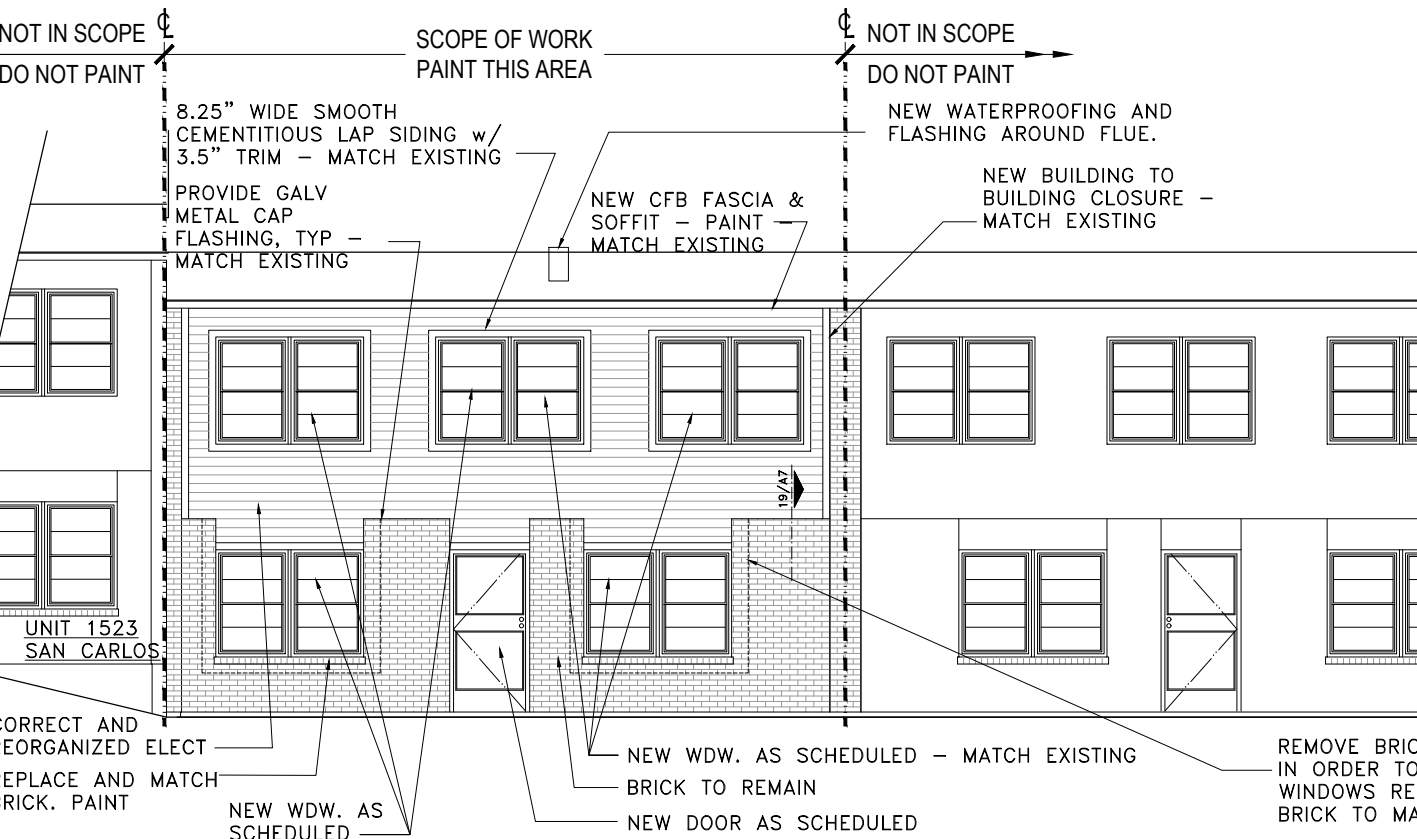


6 BATHROOM ELEV - UNITS 1523 & 3023
3/8" = 1'-0"

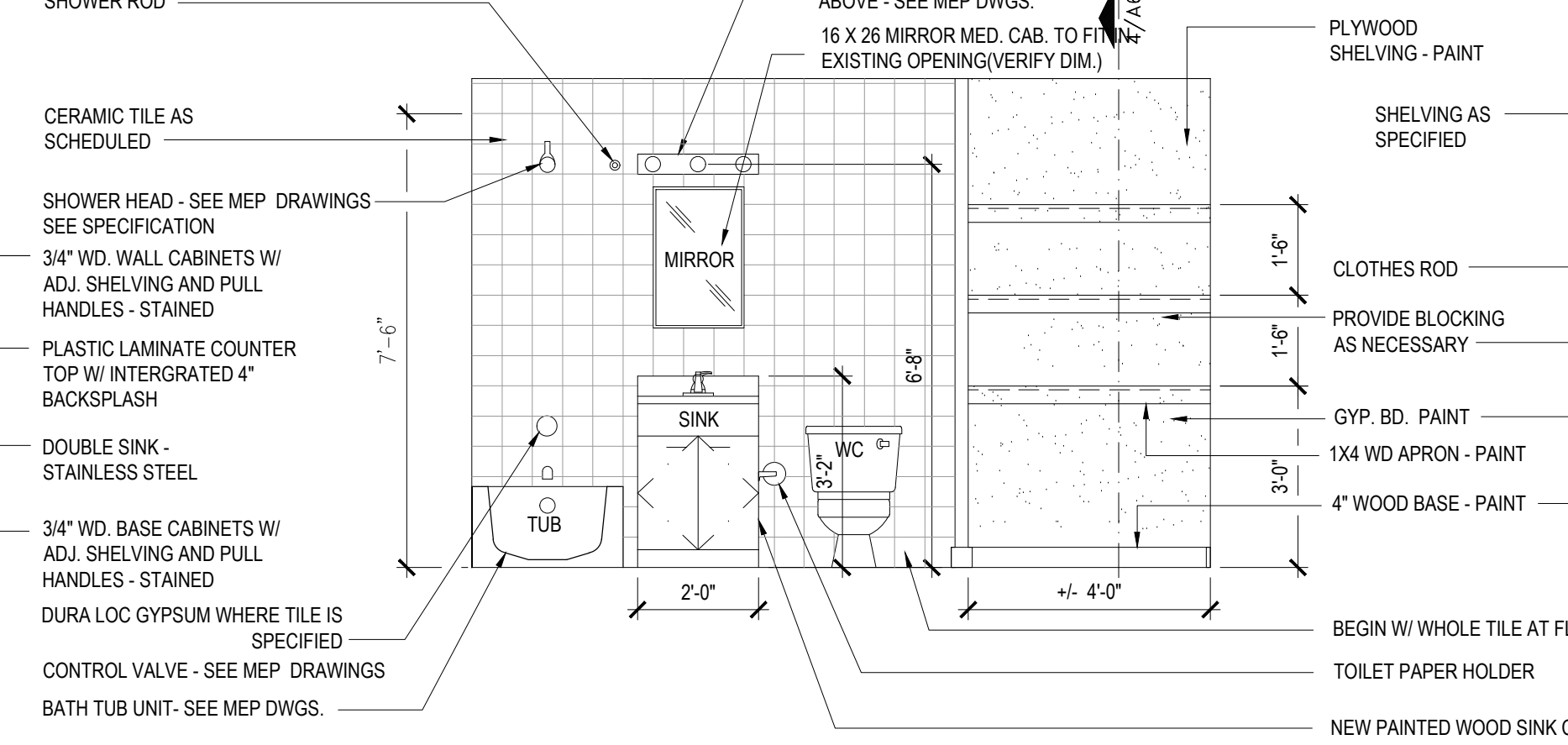
6A CERAMIC TILE WAINSCOT
3/8" = 1'-0"



8 REAR ELEVATION - UNIT 1523
1/8" = 1'-0"

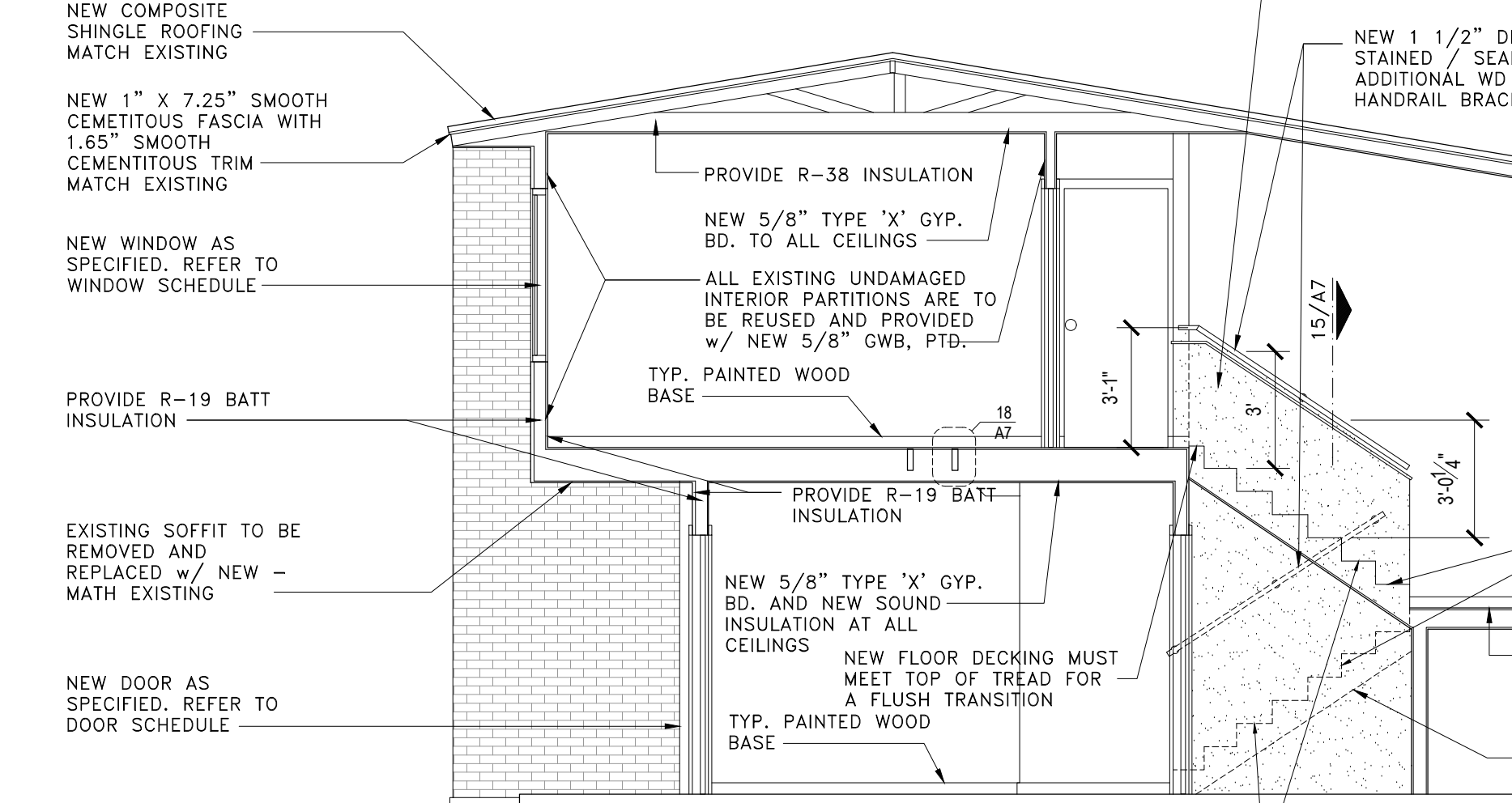


10 FRONT ELEVATION - UNIT 1523
1/8" = 1'-0"

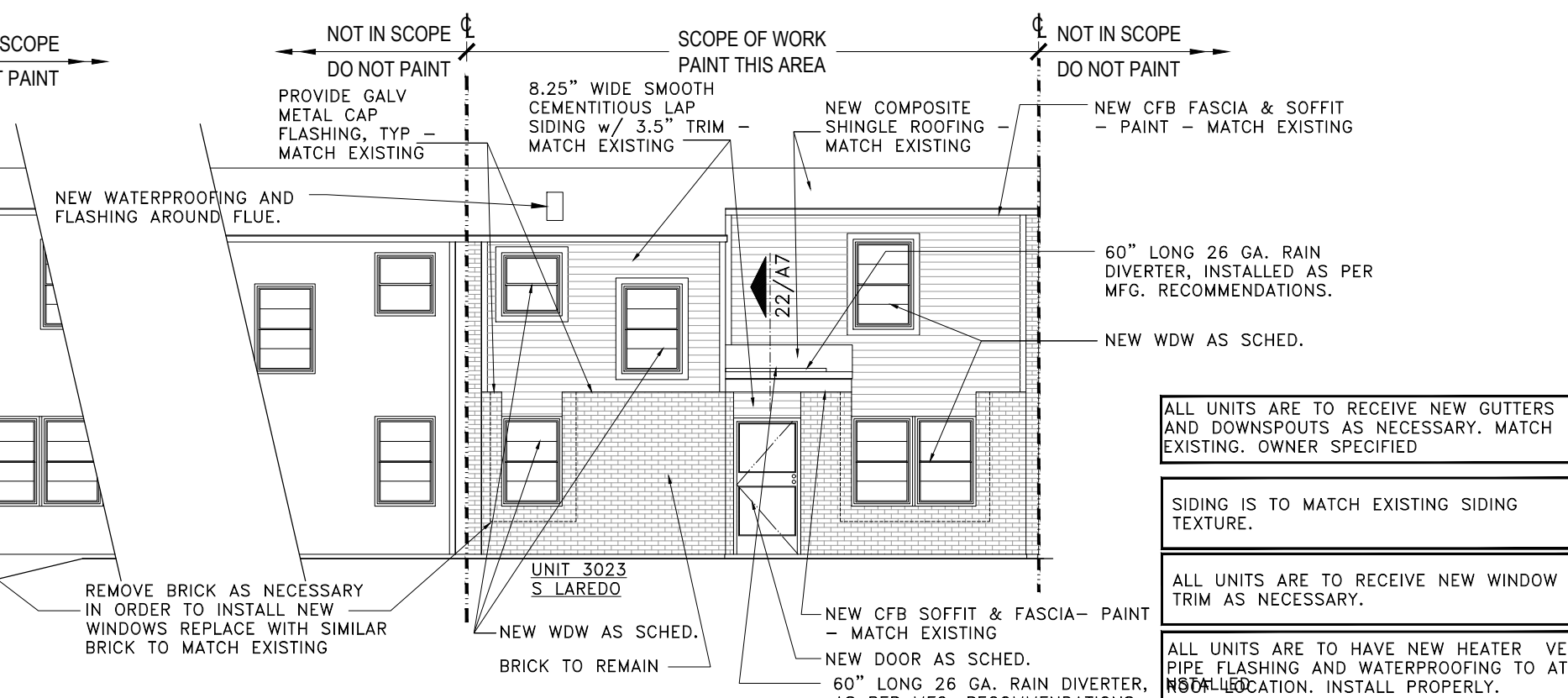


4 BATHROOM ELEV - UNITS 1523 & 3023
3/8" = 1'-0"

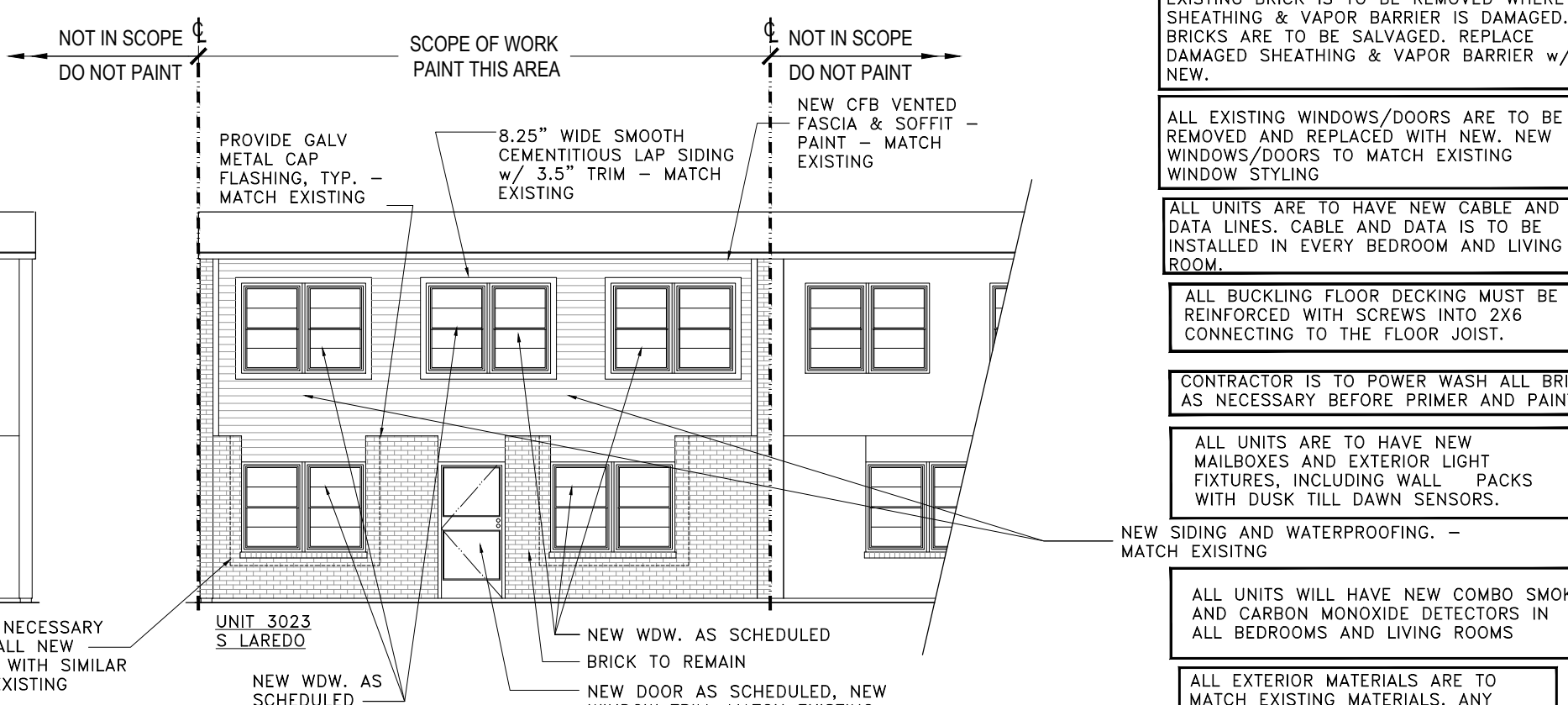
5 TYP. CLOSET SHELF ELEVATION
3/8" = 1'-0"



7 BUILDING SECTION
1/4" = 1'-0"



9 REAR ELEVATION - UNIT 3023
1/8" = 1'-0"



11 FRONT ELEVATION - UNIT 3023
1/8" = 1'-0"

ALL UNITS ARE TO RECEIVE NEW GUTTERS AND DOWNSPOUTS AS NECESSARY. MATCH EXISTING. OWNER SPECIFIED.

SIDING IS TO MATCH EXISTING SIDING TEXTURE.

ALL UNITS ARE TO RECEIVE NEW WINDOW TRIM AS NECESSARY.

ALL UNITS ARE TO HAVE NEW HEATER VENT PIPE FLASHING AND WATERPROOFING TO AT WORK LOCATIONS. INSTALL PROPERLY.

REMOVE ALL EXISTING SIDING. PROVIDE NEW 8.25" WIDE SMOOTH CEMENTITIOUS LAP SIDING. 3.5" TRIM. EXISTING BRICK IS TO BE REMOVED WHERE SHEATHING & VAPOR BARRIER IS DAMAGED. BRICKS ARE TO BE SALVAGED. REPLACE DAMAGED SHEATHING & VAPOR BARRIER W/ NEW.

ALL EXISTING WINDOWS/DOORS ARE TO BE REMOVED AND REPLACED WITH NEW. NEW WINDOWS/DOORS TO MATCH EXISTING WINDOW STYLING.

ALL UNITS ARE TO HAVE NEW CABLE AND DATA LINES. CABLE AND DATA IS TO BE INSTALLED IN EVERY BEDROOM AND LIVING ROOM.

ALL BUCKLING FLOOR DECKING MUST BE REMOVED AND REPLACED WITH NEW. 2x6 CONNECTING TO THE FLOOR JOIST.

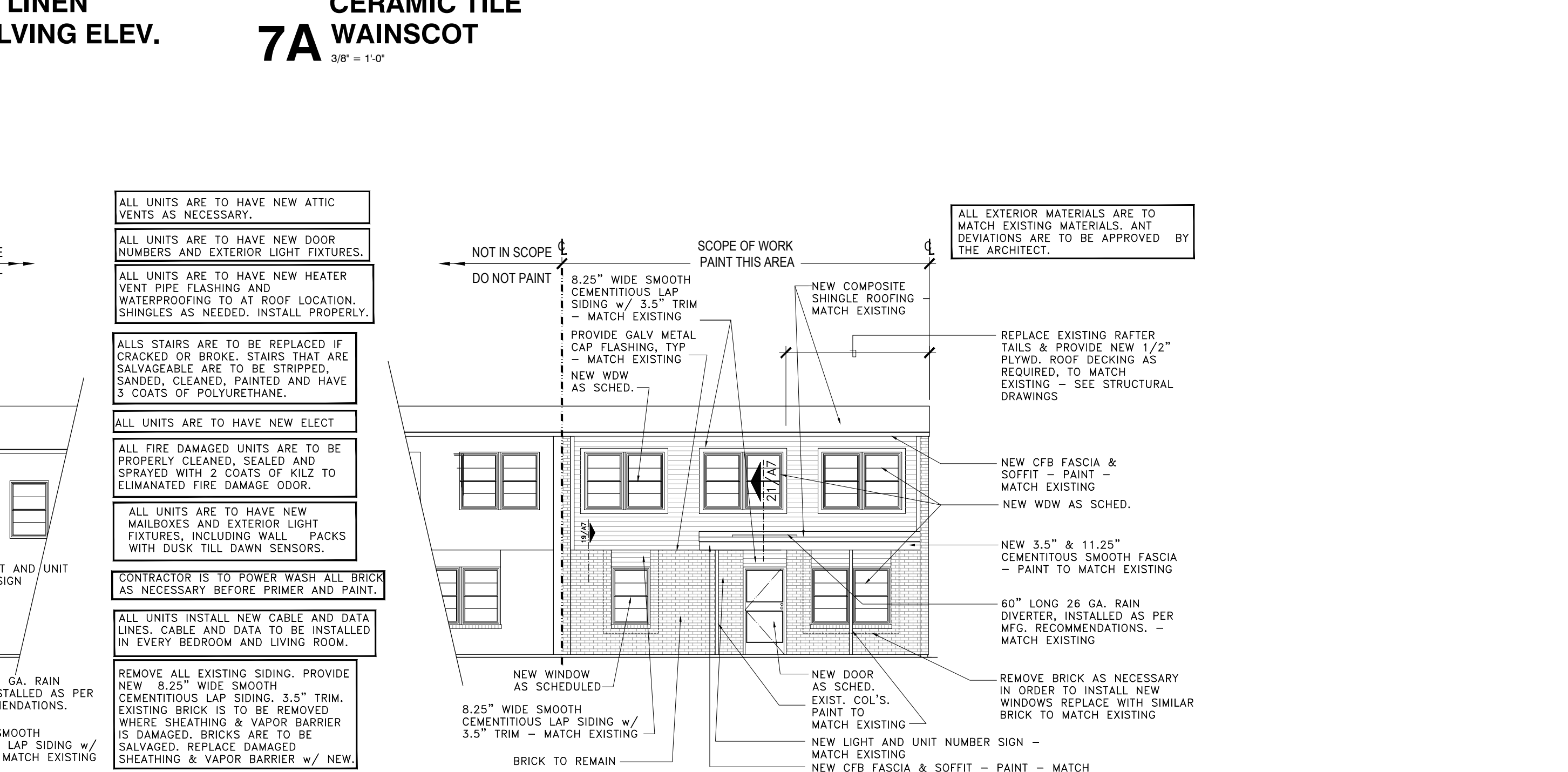
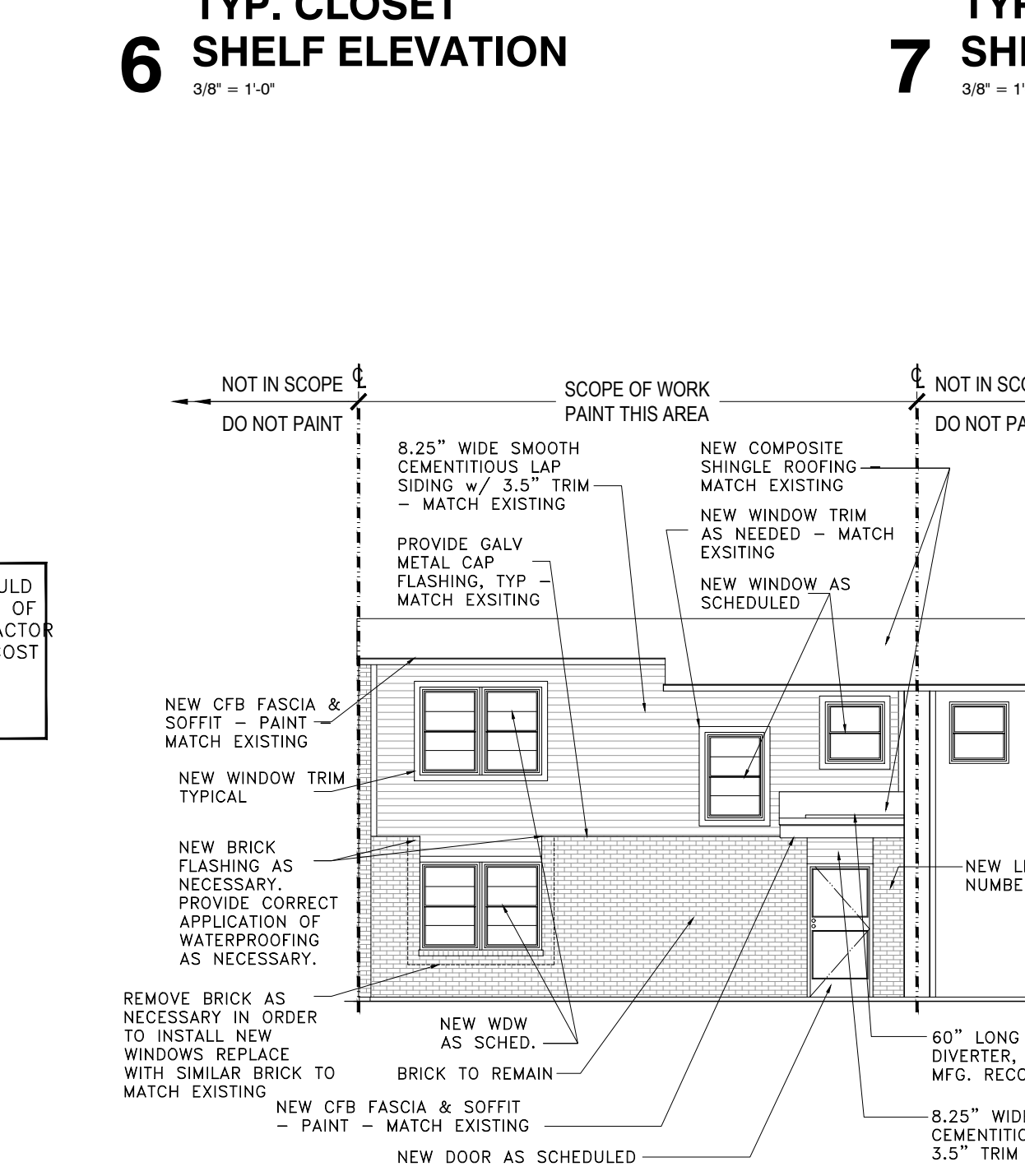
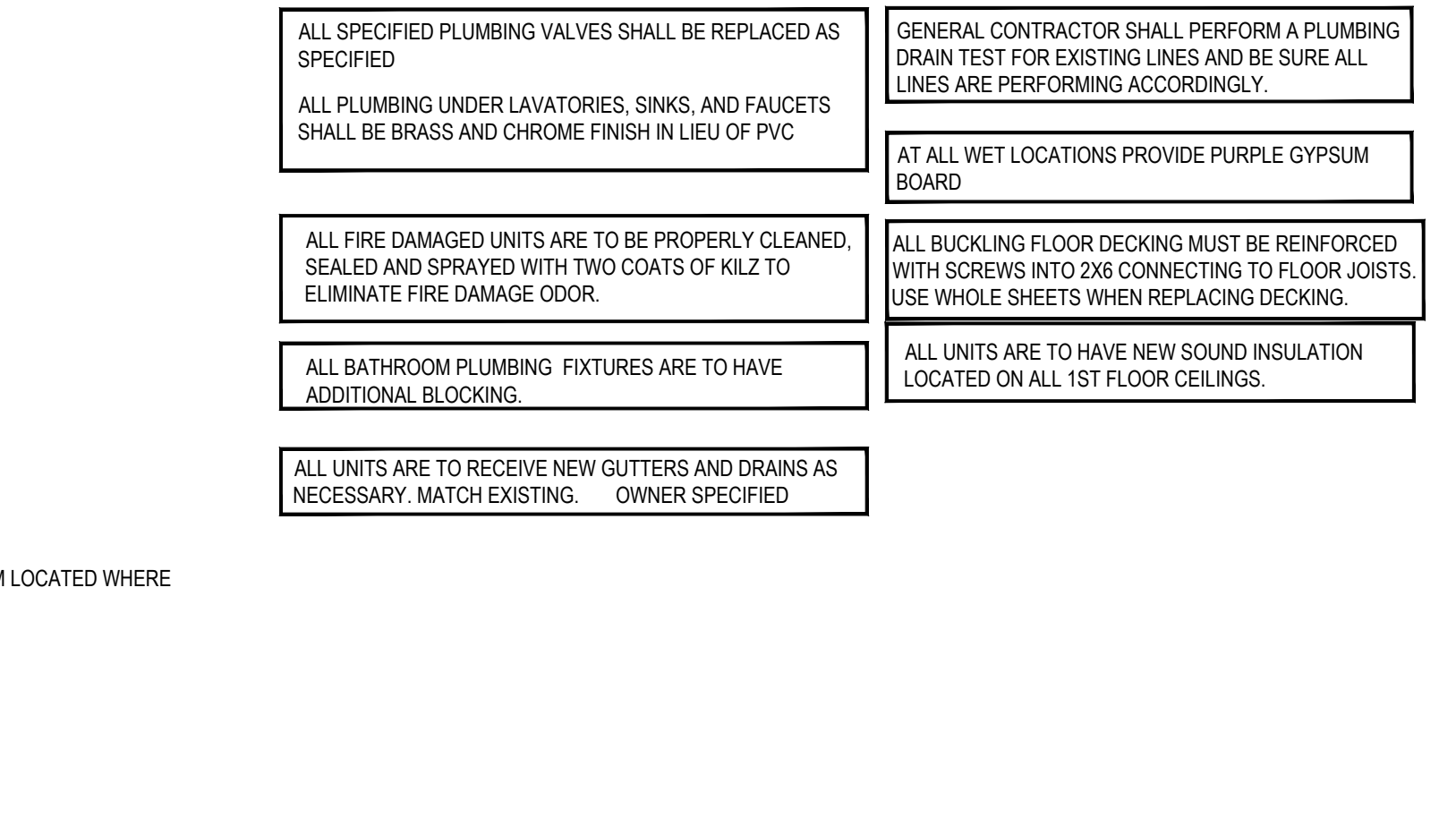
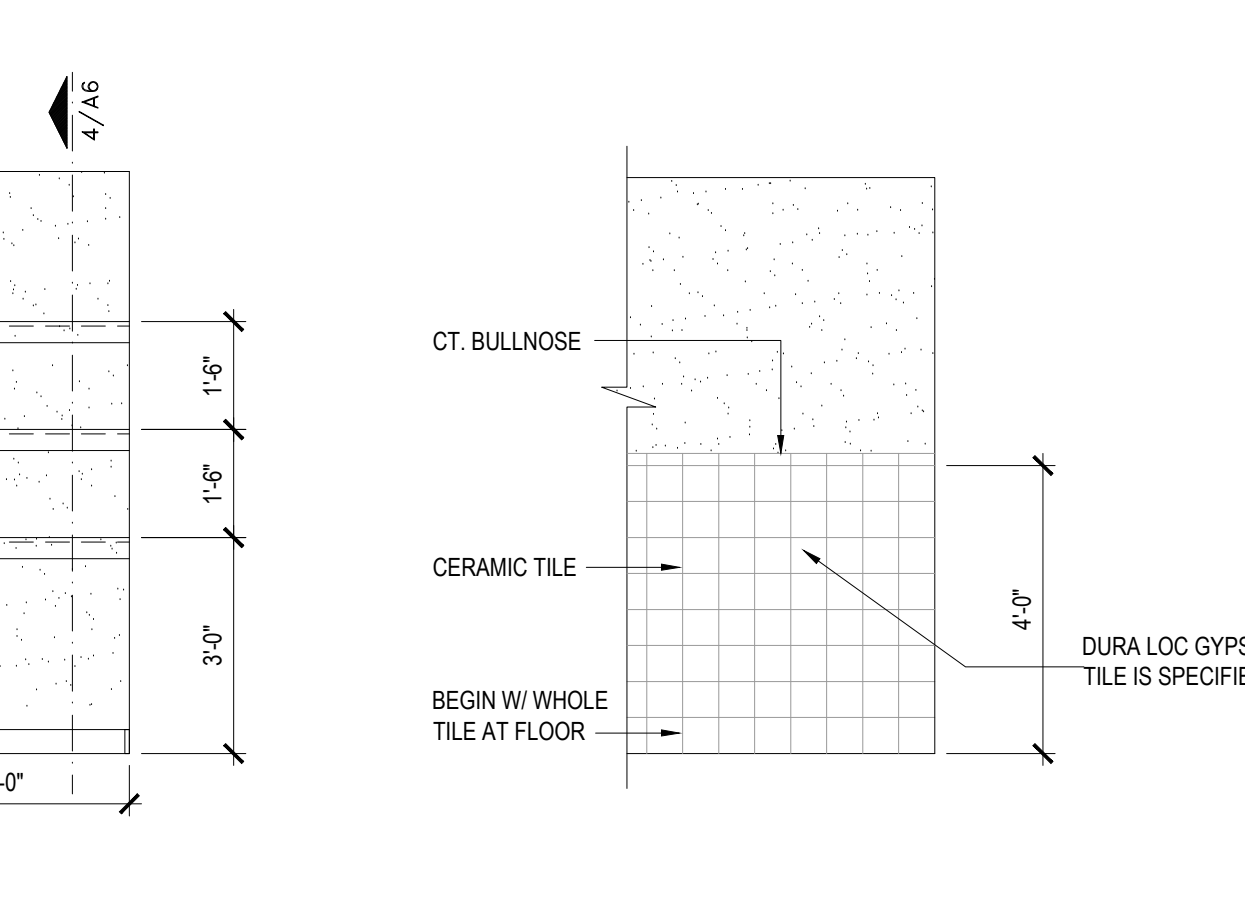
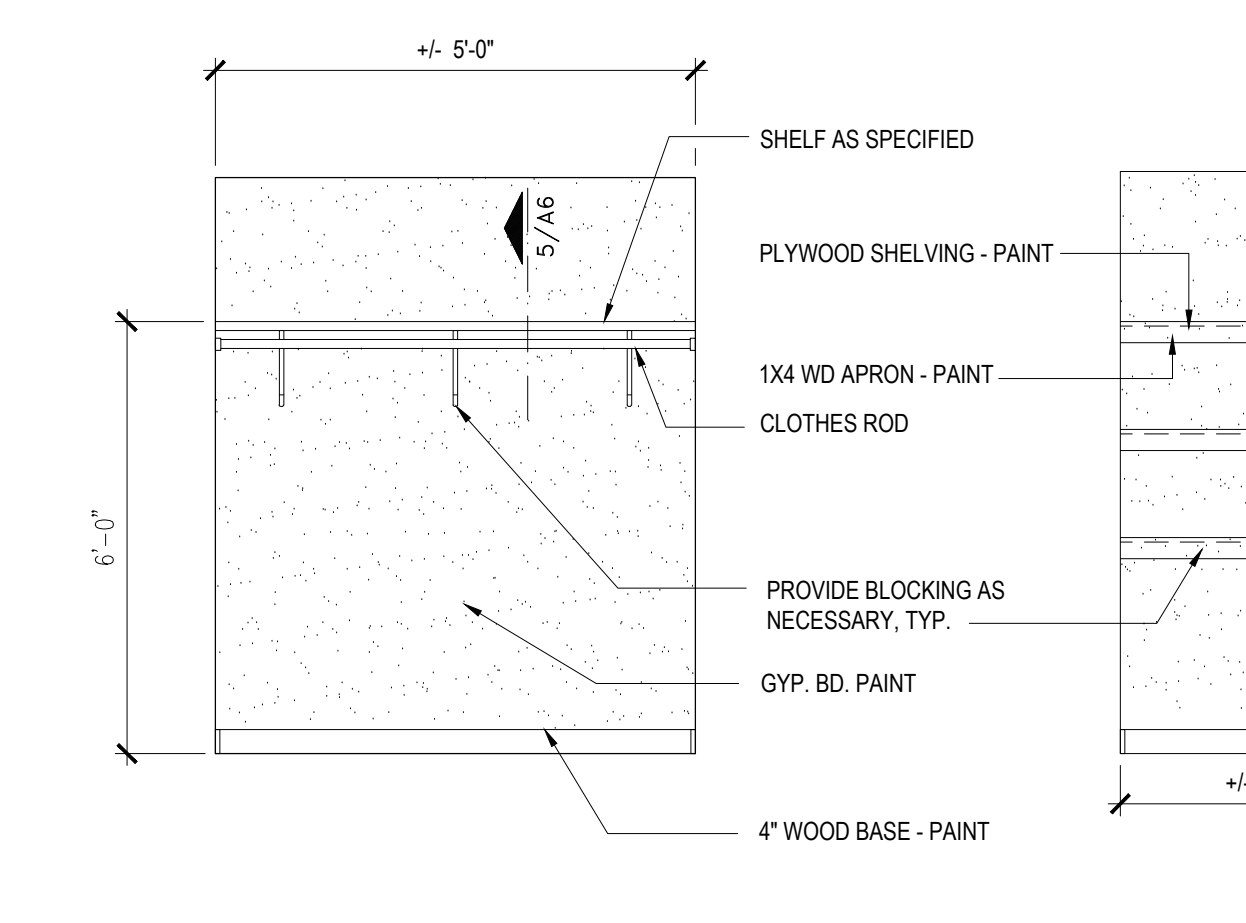
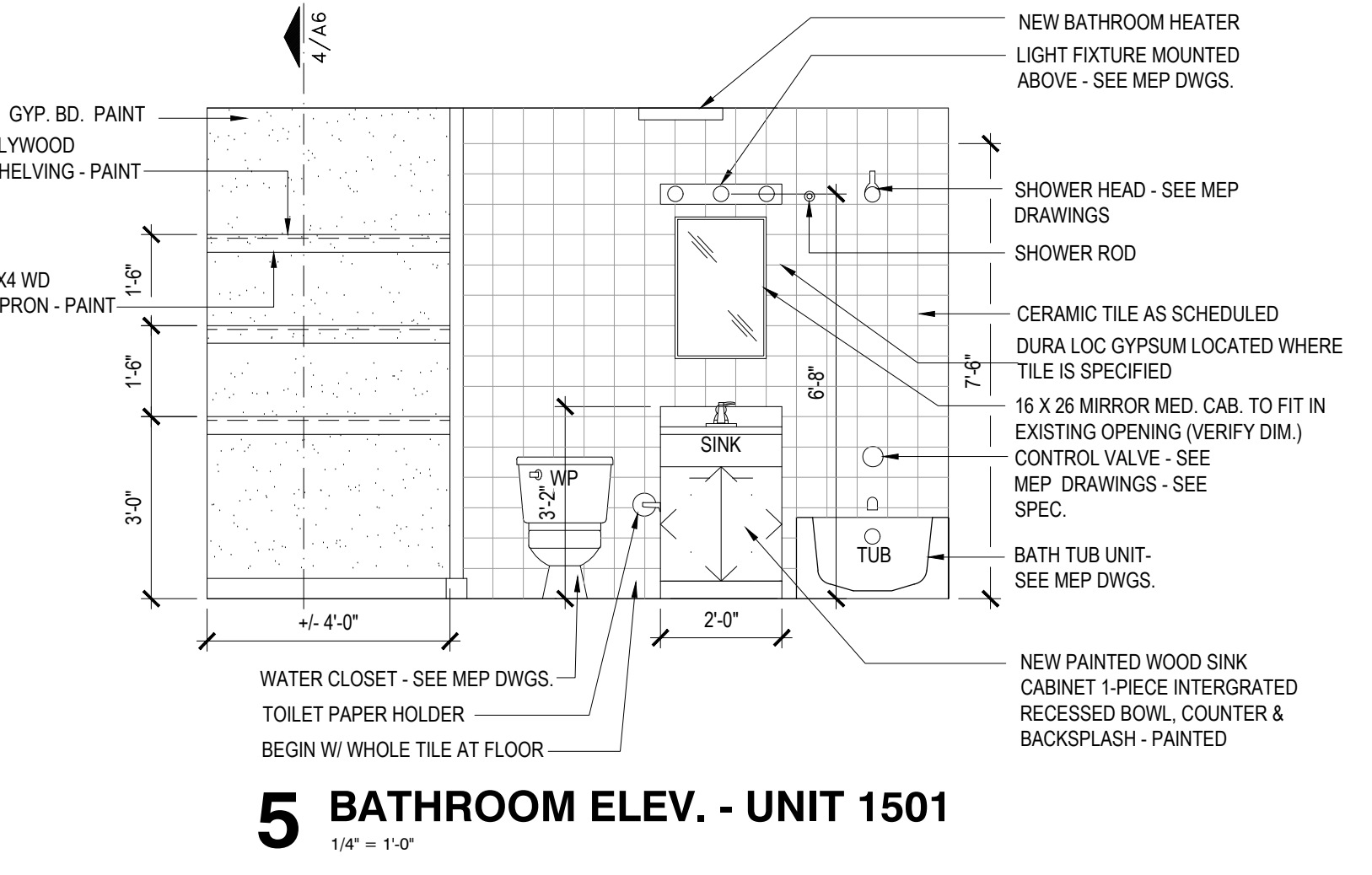
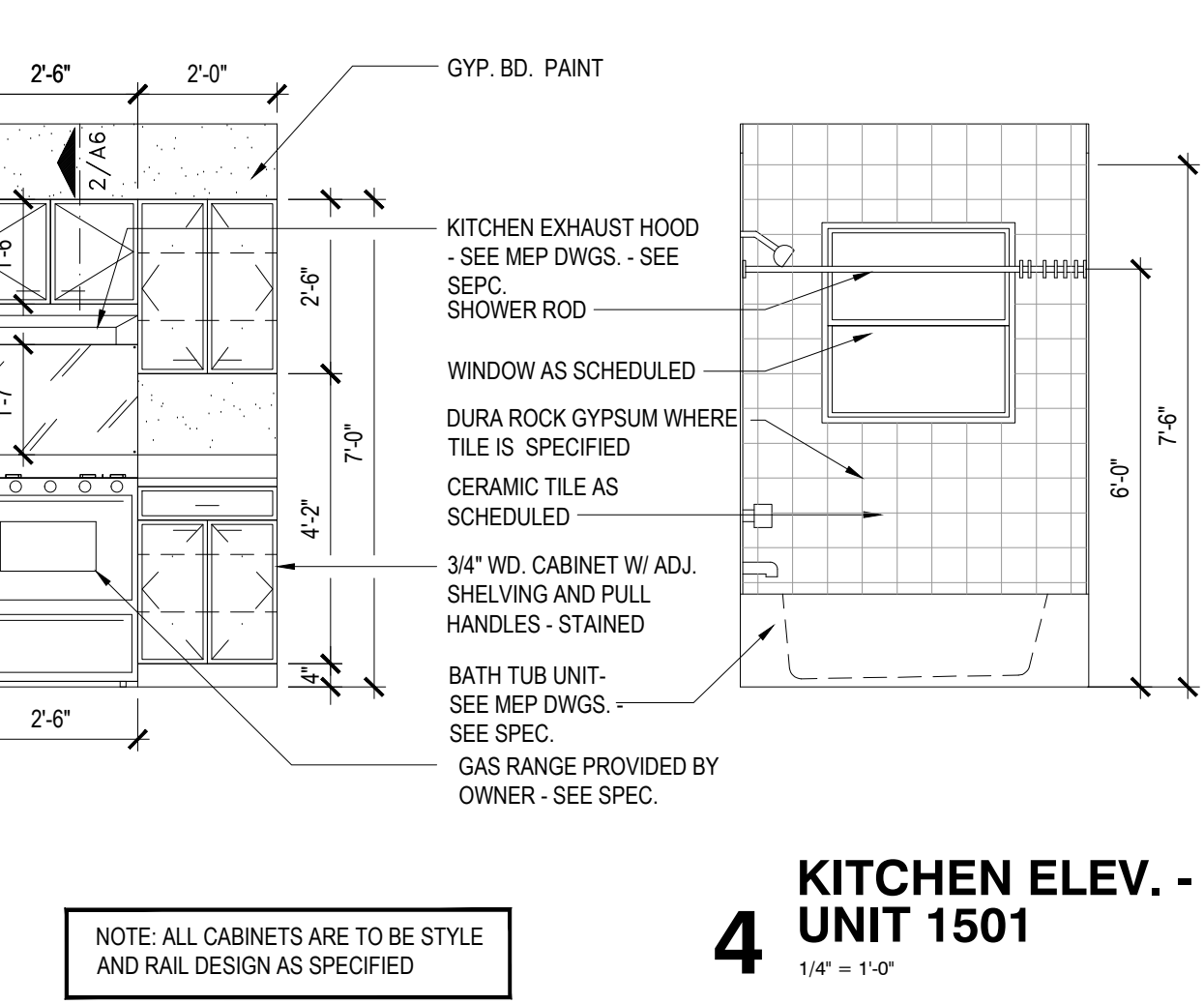
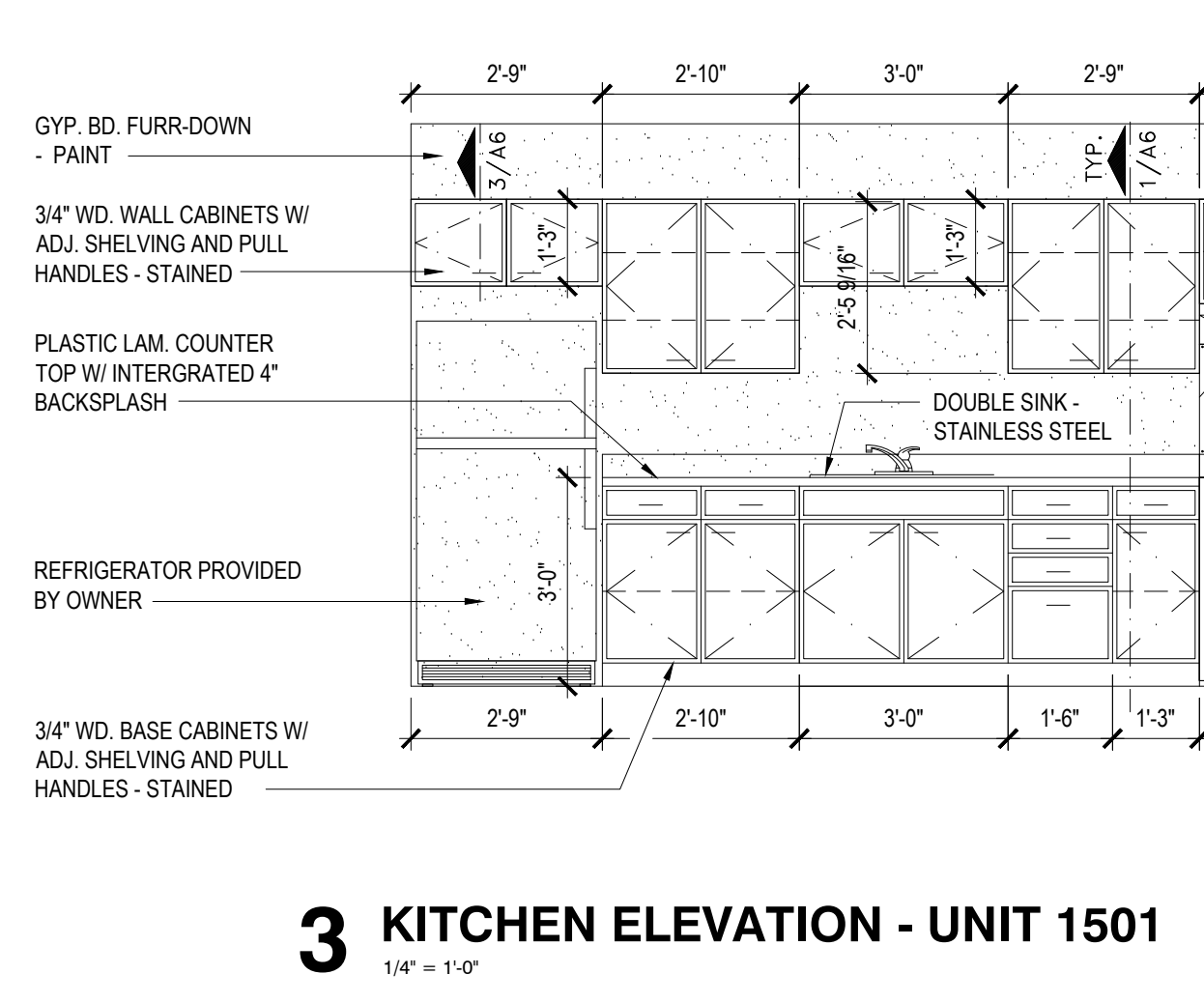
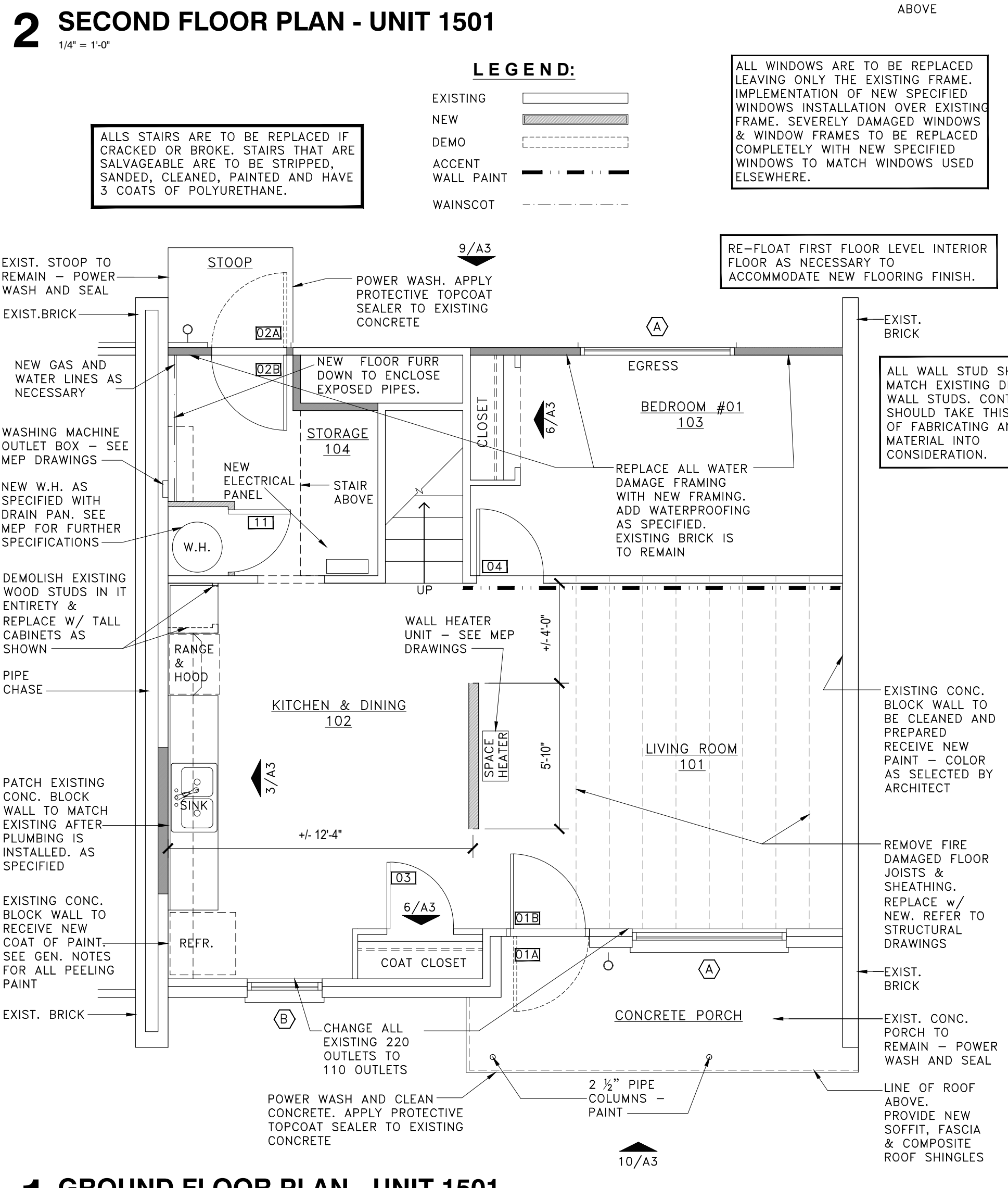
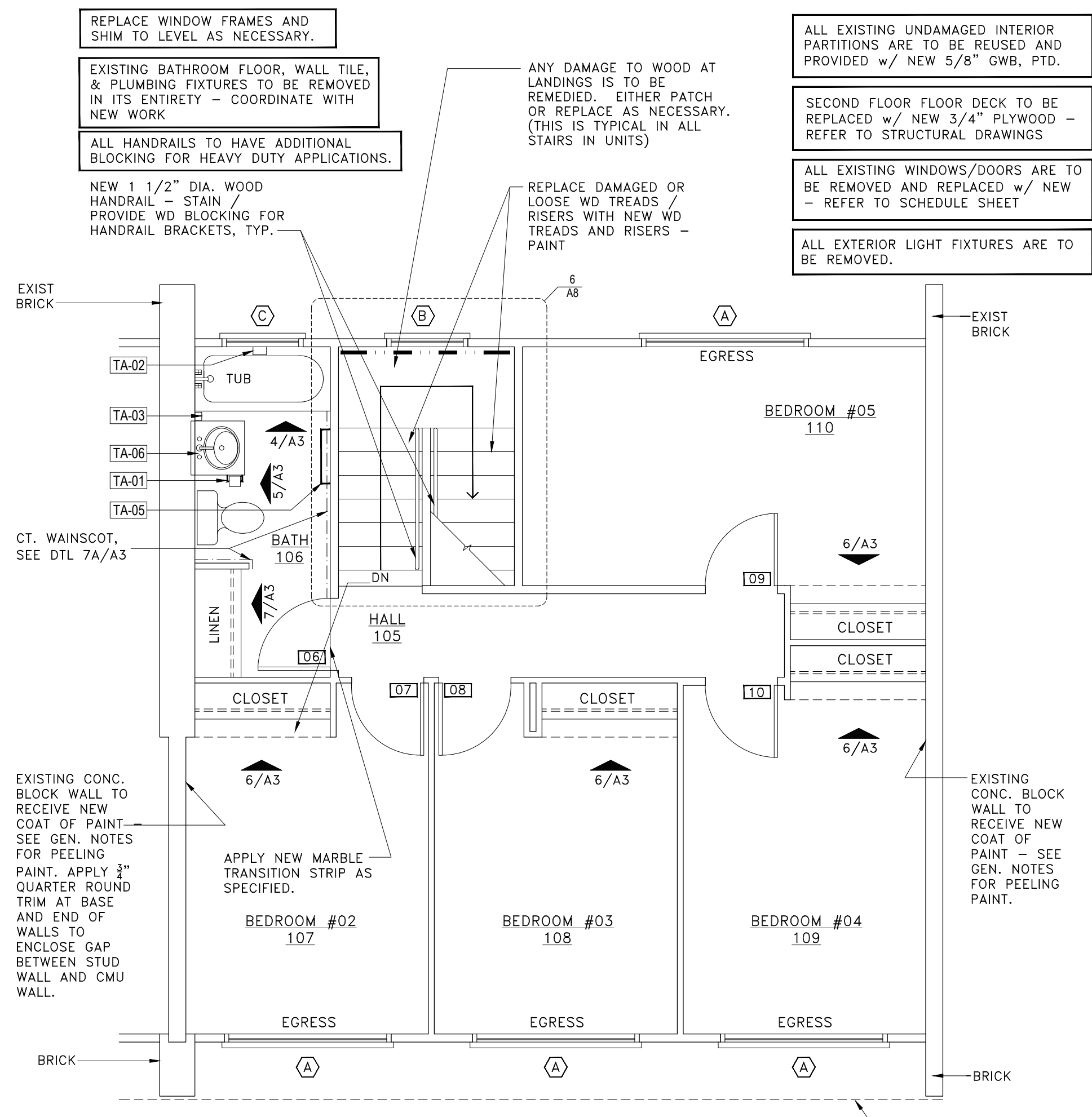
CONTRACTOR IS TO POWER WASH ALL BRICK AS NECESSARY BEFORE PRIMER AND PAINT.

ALL UNITS ARE TO HAVE NEW MAILBOXES AND EXTERIOR LIGHT FIXTURES, INCLUDING WALL PACKS WITH DUSK TILL DAWN SENSORS.

NEW SIDING AND WATERPROOFING. - MATCH EXISTING.

ALL UNITS WILL HAVE NEW COMBO SMOKE AND CARBON MONOXIDE DETECTORS IN ALL BEDROOMS AND LIVING ROOMS.

ALL EXTERIOR MATERIALS ARE TO MATCH EXISTING MATERIALS. ANY DEVIATIONS ARE TO BE APPROVED BY THE ARCHITECT.



CASSIANO HOMES PARTIAL REMODEL
 2919 S LAREDO ST. SAN ANTONIO, TX 78207

SPRINKLE & CO. ARCHITECTS
 11/27/2017
 DAVIS SPRINKLE, AIA
 REGISTERED ARCHITECT
 STATE OF TEXAS #1142

EXPIRATION: 10/31/18
 REGISTERED ARCHITECT
 STATE OF TEXAS
 11/27/2017
 DAVIS SPRINKLE, AIA
 REGISTERED ARCHITECT
 STATE OF TEXAS #1142

UNIT 1501 SAN CARLOS TYPE E
 SHEET: **A3**

REVISIONS:
 04/16/2018

UNITS ARE TO HAVE NEW DATA AND CABLE LINES. CABLE AND DATA IS TO BE INSTALLED IN EVERY BEDROOM AND LIVING ROOM.

ALL EXTERIOR LIGHT FIXTURES ARE TO BE REMOVED AND REPLACED.

ALL WALL STUD SHOULD MATCH EXISTING WALL STUD. CONTRACTOR SHOULD TAKE THIS COST OF FABRICATING ANY MATERIAL INTO CONSIDERATION.

ALL WINDOWS ARE TO BE REPLACED LEAVING ONLY THE EXISTING FRAME. IMPLEMENTATION OF NEW SPECIFIED WINDOWS INSTALLATION OVER EXISTING FRAME. SEVERELY DAMAGED WINDOWS & WINDOW FRAMES TO BE REPLACED COMPLETELY WITH NEW SPECIFIED WINDOWS TO MATCH WINDOWS USED ELSEWHERE.

EACH INDIVIDUAL APARTMENT UNIT TO BE PROVIDED WITH ONE 2A, 100LB FIRE EXTINGUISHER. THE EXTINGUISHER IS TO BE MOUNTED INSIDE THE CABINET UNDER THE SINK IN THE KITCHEN.

RE-FLOAT FIRST FLOOR LEVEL INTERIOR FLOOR AS NECESSARY TO ACCOMMODATE NEW FLOORING FINISH.

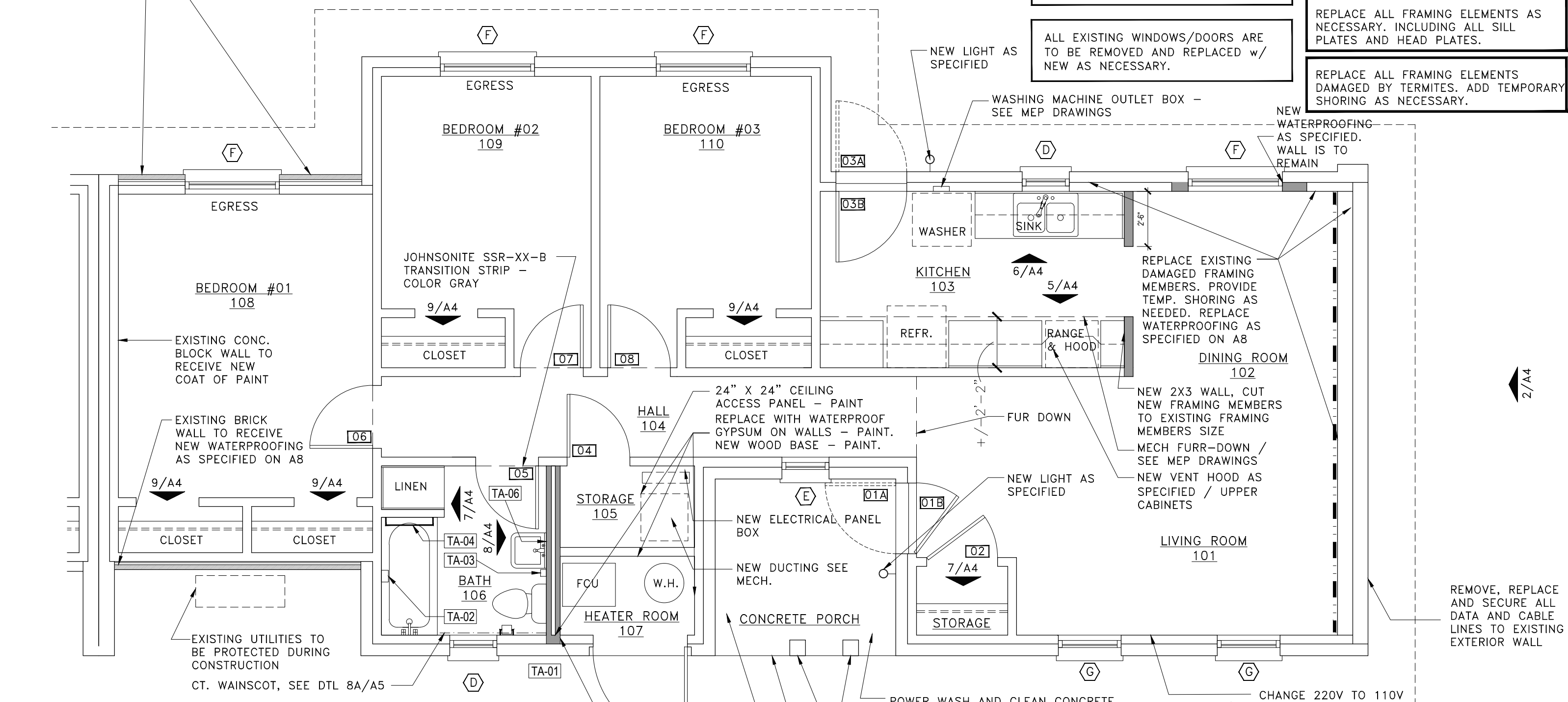
ALL UNITS ARE TO HAVE NEW HEATER VENT PIPE FLASHING AND WATERPROOFING TO AT ROOF LOCATION. INSTALL PER MANUFAC. RECOMMENDATIONS

REPLACE ALL FRAMING ELEMENTS AS NECESSARY. INCLUDING ALL SILL PLATES AND HEAD PLATES.

REPLACE ALL FRAMING ELEMENTS DAMAGED BY TERMITES. ADD TEMPORARY SHORING AS NECESSARY.

ALL EXISTING UNDAUNTED INTERIOR PARTITIONS ARE TO BE REUSED AND PROVIDED W/ NEW 1/2" GWB, PTD.

ALL EXISTING WINDOWS/DOORS ARE TO BE REMOVED AND REPLACED W/ NEW AS NECESSARY.



EXISTING BRICK TO REMAIN. WALL IS TO HAVE NEW WATERPROOFING AS SPECIFIED ON A8

EXISTING CONC. BLOCK WALL TO RECEIVE NEW COAT OF PAINT

EXISTING BRICK WALL TO RECEIVE NEW WATERPROOFING AS SPECIFIED ON A8

EXISTING UTILITIES TO BE PROTECTED DURING CONSTRUCTION CT. WAINSCOT, SEE DTL 8A/A5

ALL UNITS ARE TO HAVE NEW HEAVY DUTY DOOR FRAMES. FABRICATE AS NEED TO MATCH EXISTING STUDS

EXIST SECURITY MTL DOOR / SAND AND PREPARE FOR NEW PAINT

EXISTING BATHROOM FLOOR, WALL TILE & PLUMBING FIXTURES TO BE REMOVED IN ITS ENTIRETY - COORDINATE WITH NEW WORK

EGRESS

JOHNSONITE SSR-XX-B TRANSITION STRIP - COLOR GRAY

CLOSET

HALL 104

STORAGE 105

BATH 106

HEATER ROOM 107

NEW ELECTRICAL PANEL BOX

NEW DUCTING SEE MECH.

CONCRETE PORCH

WASHER

SINK

REFR.

RANGE & HOOD

DINING ROOM 102

LIVING ROOM 101

NEW LIGHT AS SPECIFIED

WASHING MACHINE OUTLET BOX - SEE MEP DRAWINGS

NEW WATERPROOFING AS SPECIFIED. WALL IS TO REMAIN

REPLACE EXISTING DAMAGED FRAMING MEMBERS. PROVIDE TEMP. SHORING AS NEEDED. REPLACE WATERPROOFING AS SPECIFIED ON A8

NEW 2X3 WALL, CUT NEW FRAMING MEMBERS TO EXISTING FRAMING MEMBERS SIZE

MECH FURR-DOWN / SEE MEP DRAWINGS

NEW VENT HOOD AS SPECIFIED / UPPER CABINETS

24" X 24" CEILING ACCESS PANEL - PAINT

REPLACE WITH WATERPROOF GYPSUM ON WALLS - PAINT. NEW WOOD BASE - PAINT.

FUR DOWN

NEW LIGHT AS SPECIFIED

POWER WASH AND CLEAN CONCRETE. APPLY PROTECTIVE TOPCOAT SEALER TO EXISTING CONCRETE

EXIST. BRICK COLUMNS TO REMAIN

EXIST. CONC. PORCH TO REMAIN

REMOVE EXISTING SOFFIT. REPLACE W/ NEW CFB - PAINT / PROVIDE CFB TRIM

REPLACE EXISTING MISSING FRAMING MEMBERS. FABRICATE TO MATCH EXISTING SIZE AS NECESSARY.

CONTRACTOR IS TO PROVIDE NEW CENTRAL HEAT AIR DUCTING

REMOVE, REPLACE AND SECURE ALL DATA AND CABLE LINES TO EXISTING EXTERIOR WALL

CHANGE 220V TO 110V

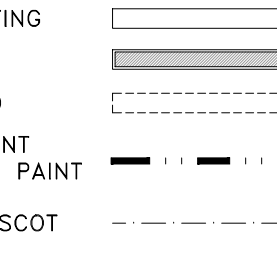
ROOF OVERHANG. EXISTING SOFFIT & FASCIA TO BE REMOVED AND REPLACE W/ NEW

NEW MAILBOX AND ADDRESS NUMBERS TO REPLACE EXISTING. MATCH EXISTING

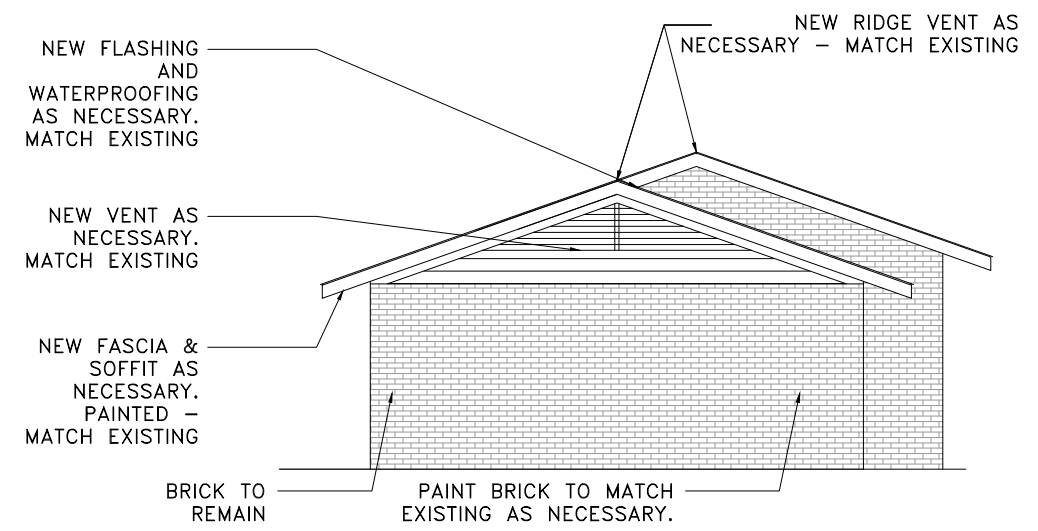
PROTECT AND PRESERVE ALL WINDOW FRAMES AND SHIM TO LEVEL AS NECESSARY.

ALL UNITS ARE TO HAVE NEW HEAVY DUTY DOOR AND WINDOW FRAMES.

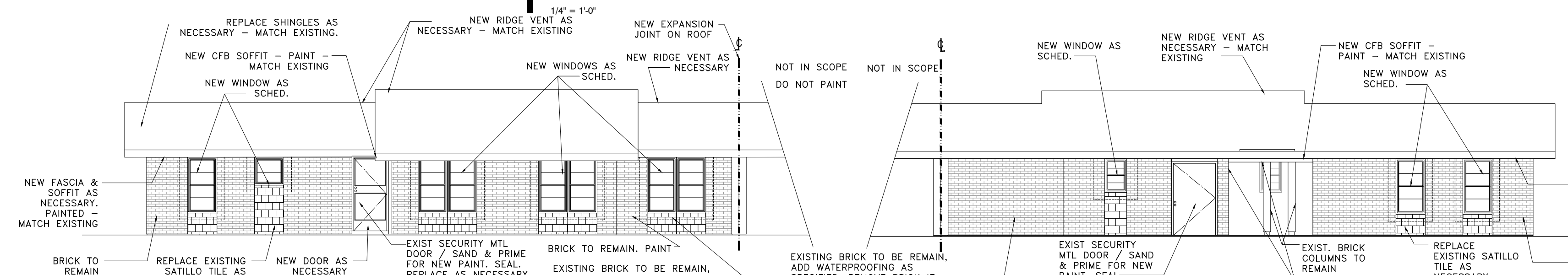
LEGEND:



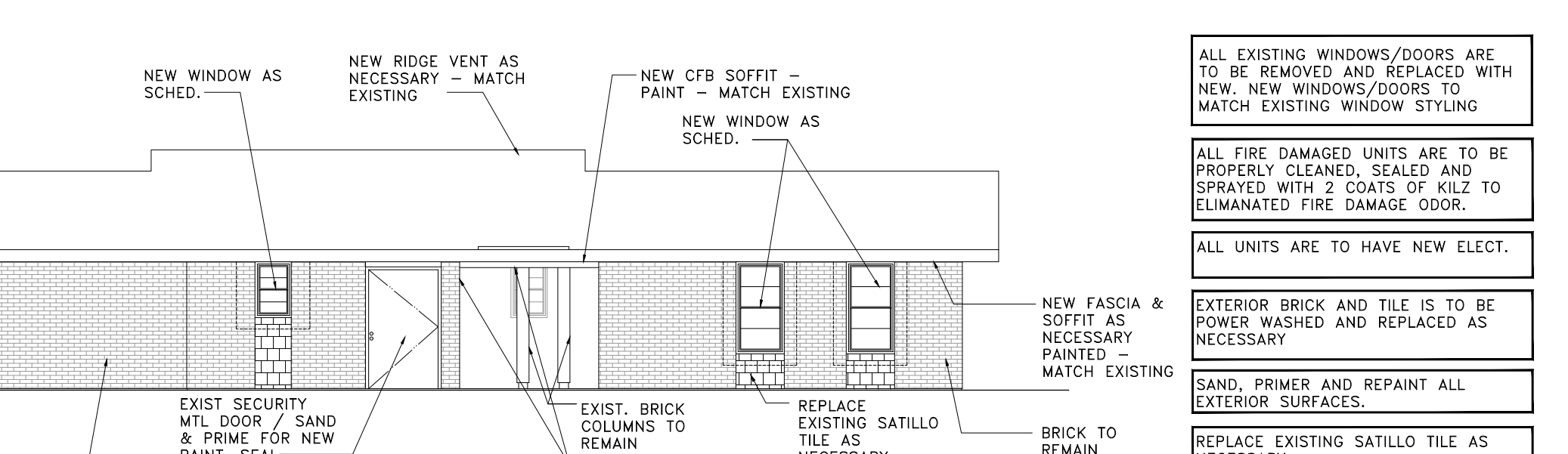
1 GROUND FLOOR PLAN - UNIT 942



2 BACK ELEVATION - UNIT 942
1/8" = 1'-0"



3 BACK ELEVATION - UNIT 942
1/8" = 1'-0"



4 FRONT ELEVATION - UNIT 942
1/8" = 1'-0"

ALL SPECIFIED PLUMBING VALVES SHALL BE REPLACED AS SPECIFIED

ALL PLUMBING UNDER LAVATORIES, SINKS, AND FAUCETS SHALL BE BRASS AND CHROME FINISH IN LIEU OF PVC

SIDING IS TO MATCH EXISTING SIDING TEXTURE.

GENERAL CONTRACTOR SHALL PERFORM A PLUMBING DRAIN TEST FOR EXISTING LINES AND BE SURE ALL LINES ARE PERFORMING ACCORDINGLY.

AT ALL WET LOCATIONS PROVIDE PURPLE GYPSUM BOARD

4. ALL BATHROOM ACCESSORIES, TOILET, TUB, SINK AND FIXTURES - PROVIDE EXTRA BLOCKING

ALL EXISTING WINDOWS/DOORS ARE TO BE REMOVED AND REPLACED WITH NEW. NEW WINDOWS/DOORS TO MATCH EXISTING WINDOW STYLING

ALL FIRE DAMAGED UNITS ARE TO BE PROPERLY CLEANED, SEALED AND SPRAYED WITH 2 COATS OF KILZ TO ELIMINATE FIRE DAMAGE ODOR.

ALL UNITS ARE TO HAVE NEW ELECT.

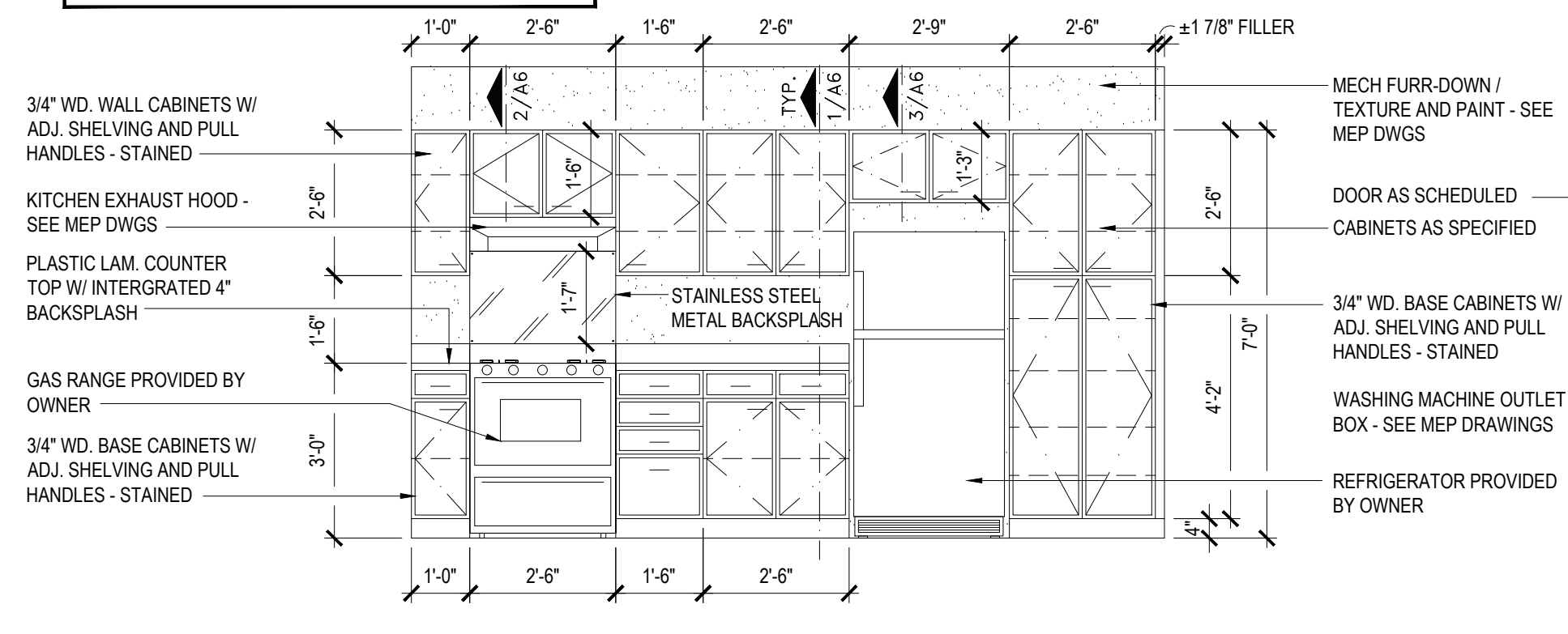
EXTERIOR BRICK AND TILE IS TO BE POWER WASHED AND REPLACED AS NECESSARY

SAND, PRIMER AND REPAINT ALL EXTERIOR SURFACES.

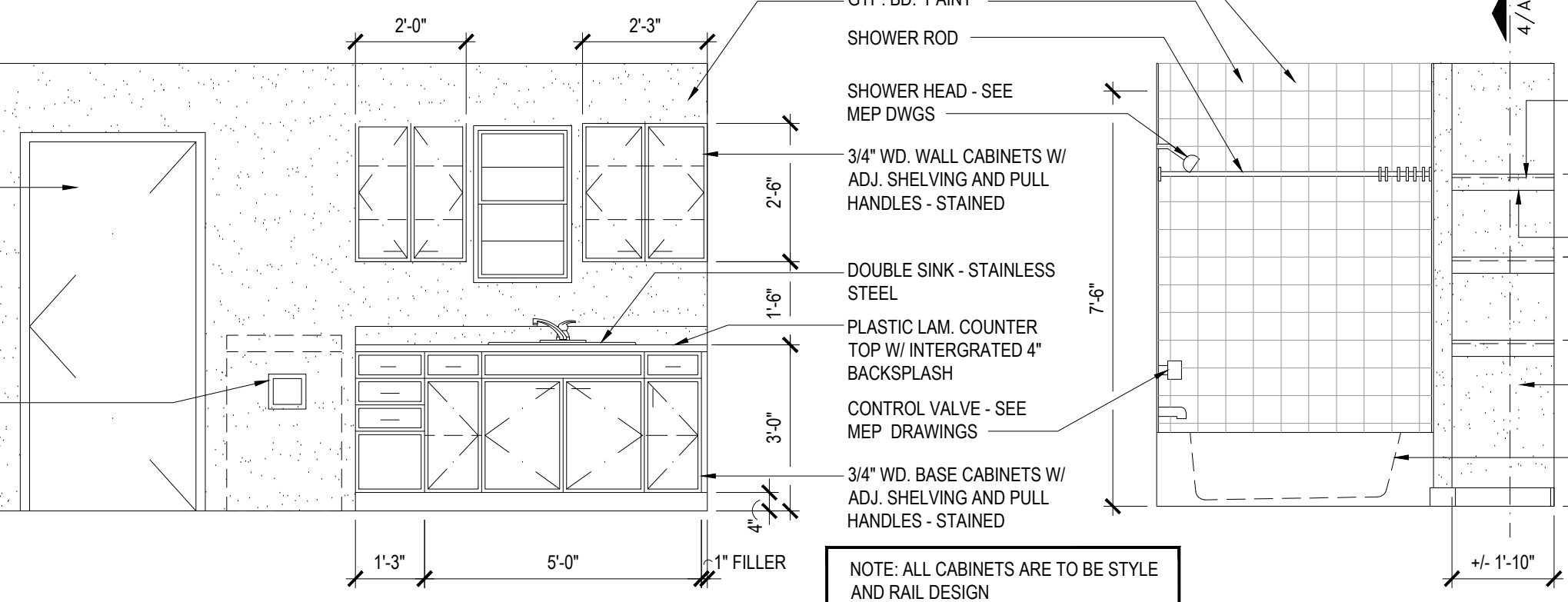
REPLACE EXISTING SATILLO TILE AS NECESSARY.

ALL UNITS ARE TO RECEIVE NEW GUTTERS AND DRAINS AS NECESSARY. MATCH EXISTING. OWNER SPECIFIED

ALL UNITS WILL HAVE NEW SMOKE AND CARBON MONOXIDE DETECTORS IN ALL BEDROOMS AND LIVING ROOMS

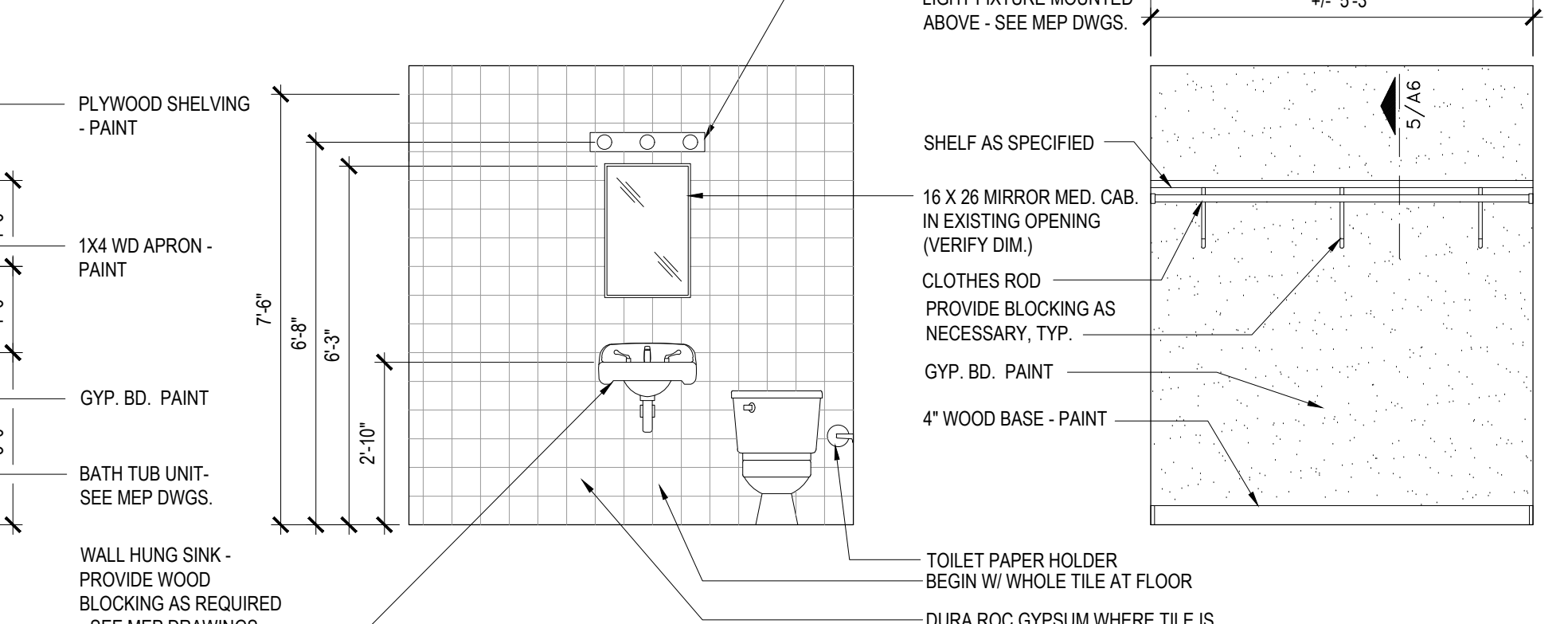


5 KITCHEN ELEVATION - UNIT 942
3/8" = 1'-0"



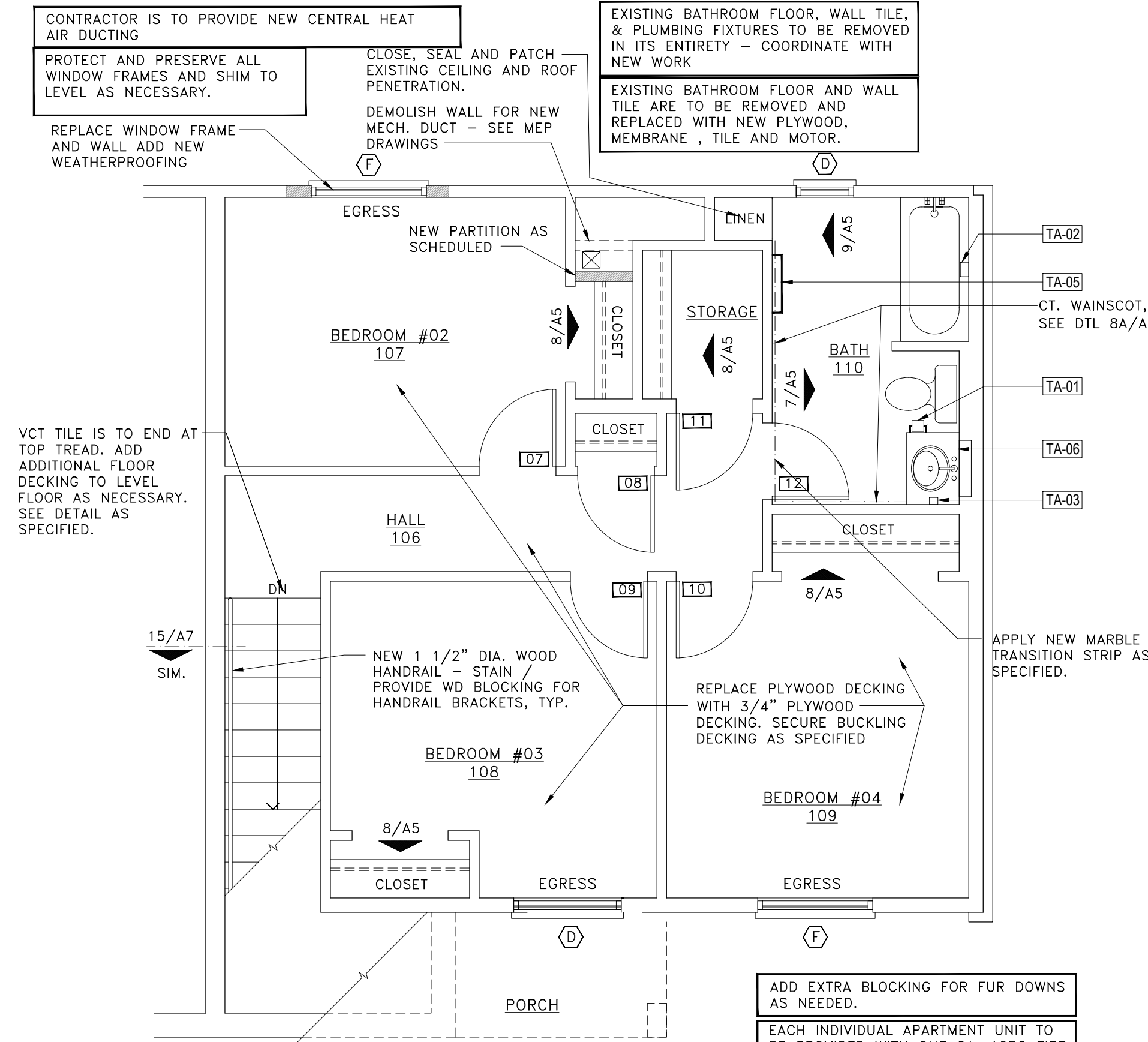
6 KITCHEN ELEV - UNIT 942
3/8" = 1'-0"

7 BATHROOM ELEV - UNIT 942
3/8" = 1'-0"



8 BATHROOM ELEV - UNIT 942
3/8" = 1'-0"

9 TYP. CLOSET SHELF ELEVATION
3/8" = 1'-0"

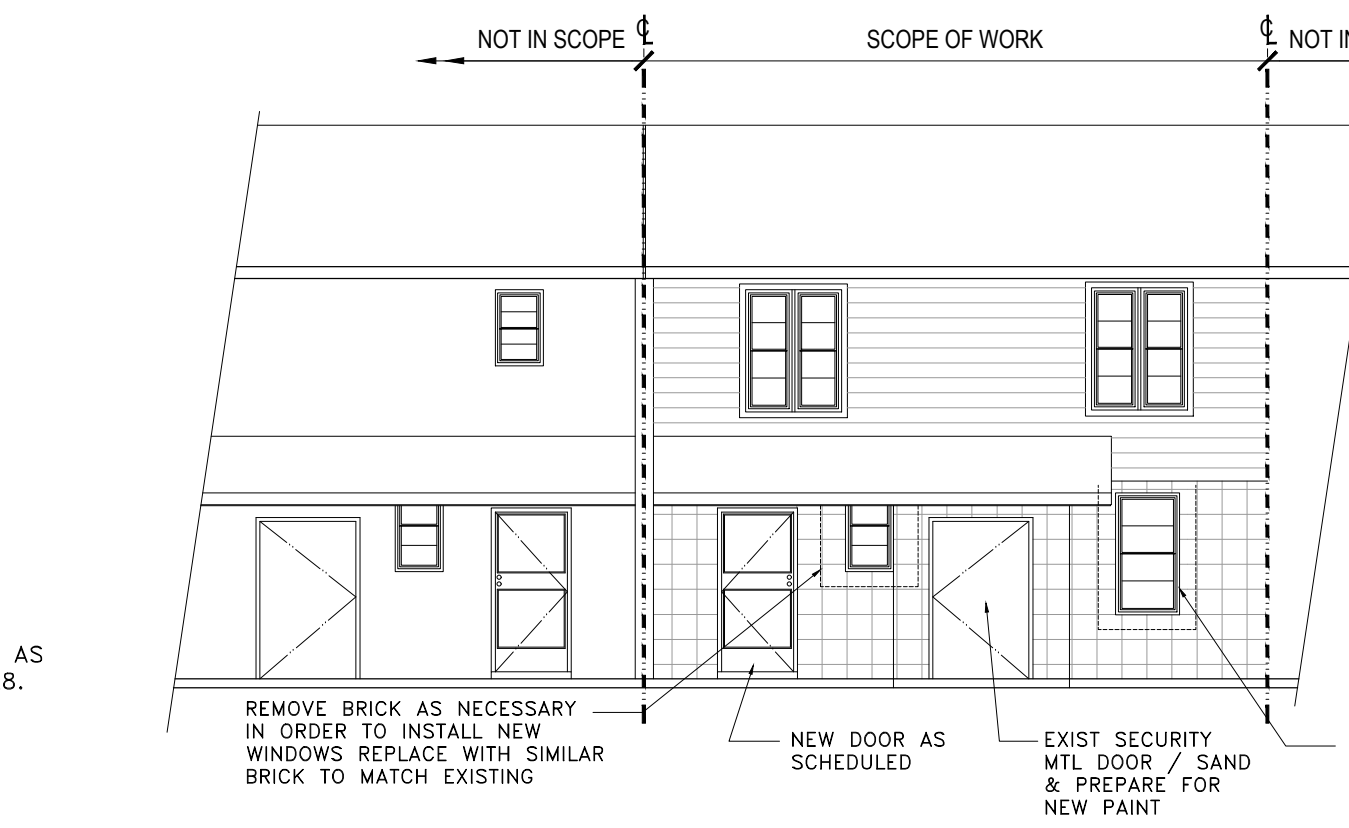
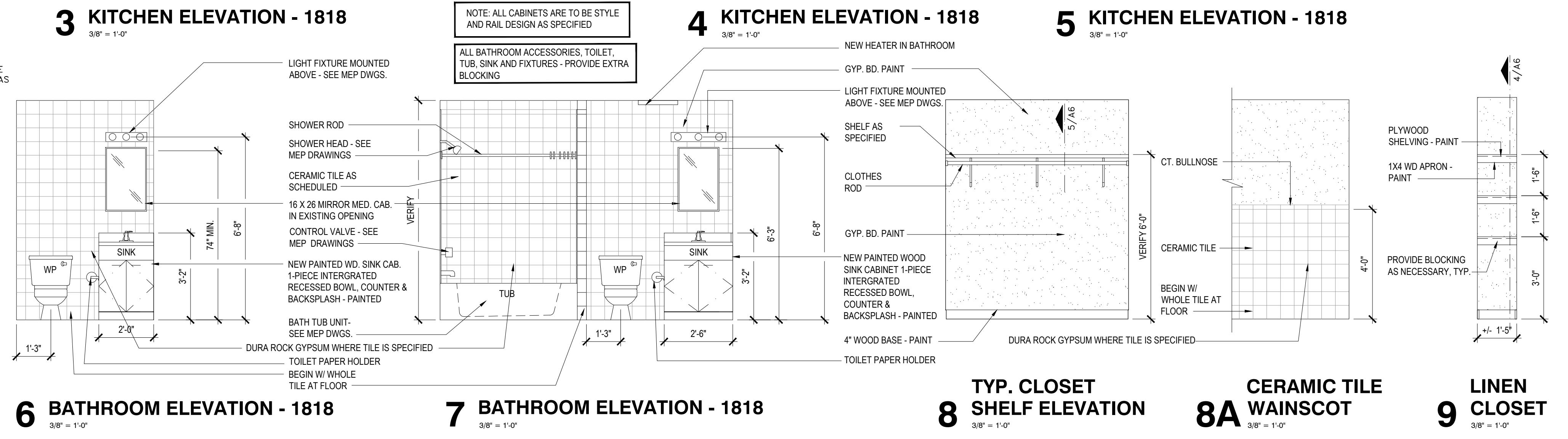
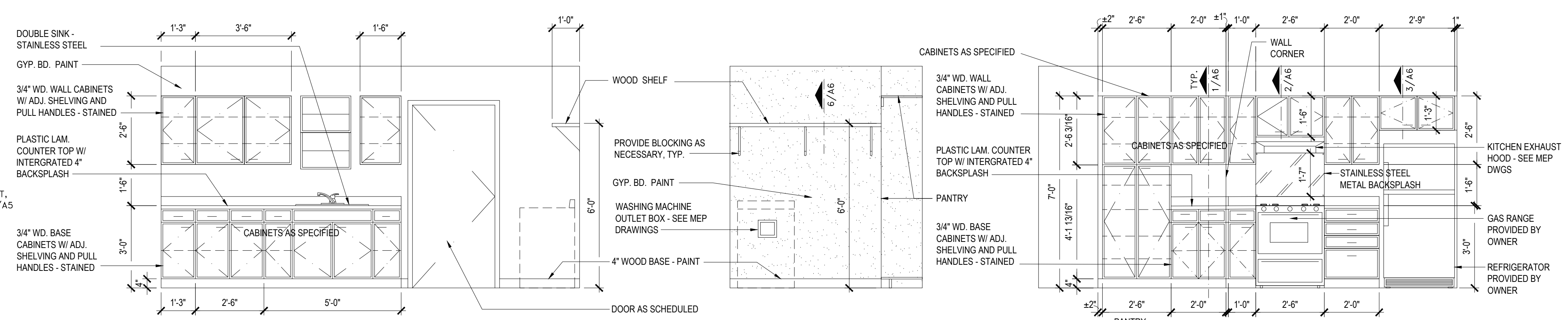


2 SECOND FLOOR PLAN - 1818
1/4" = 1'-0"

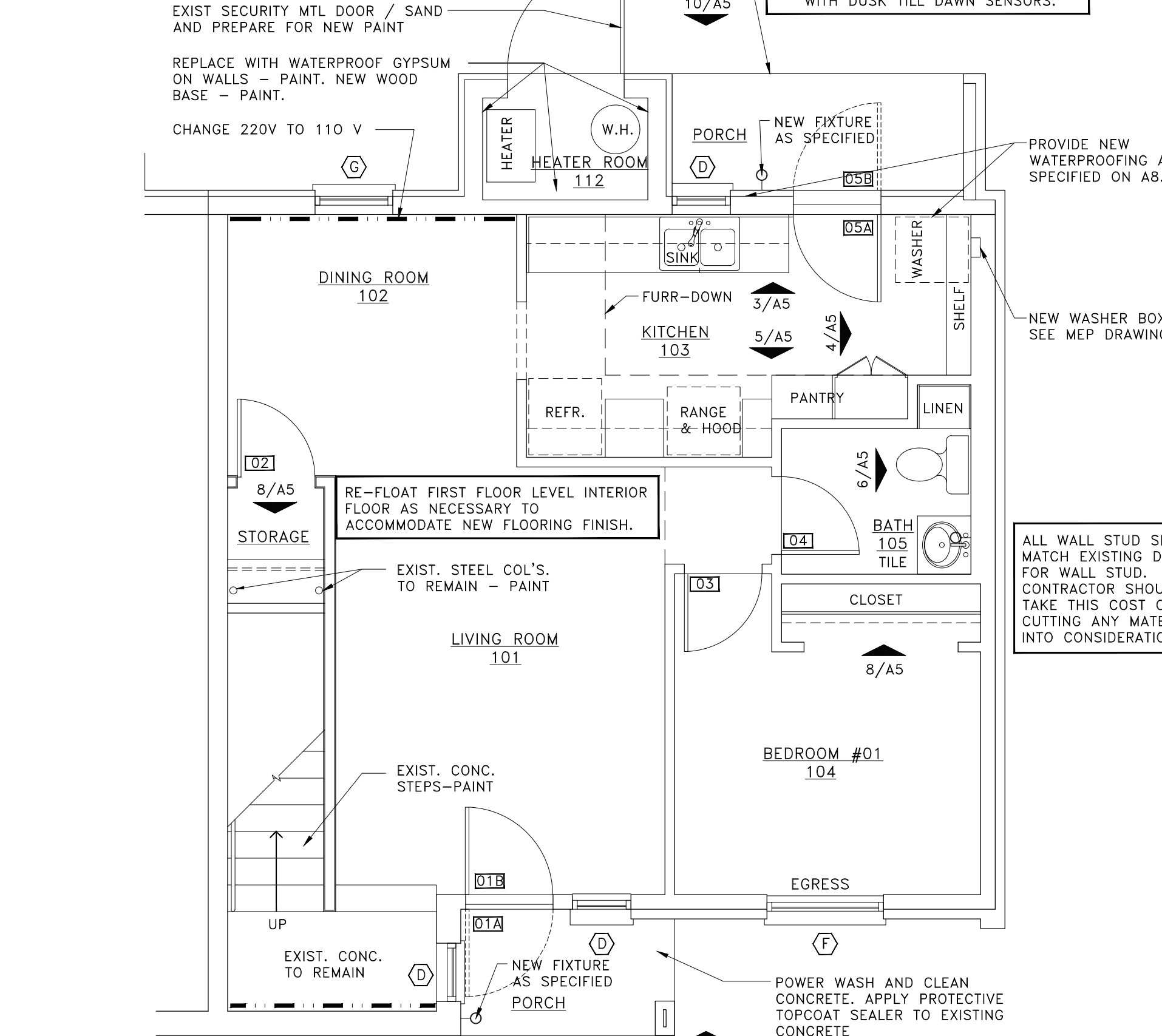
LEGEND:

- EXISTING
- NEW
- DEMO
- ACCENT WALL PAINT
- WAINSCOT
- POWER WASH AND CLEAN CONCRETE. APPLY PROTECTIVE TOPCOAT SEALER TO EXISTING CONCRETE
- EXIST SECURITY MTL DOOR / SAND AND PREPARE FOR NEW PAINT
- REPLACE WITH WATERPROOF GYPSUM ON WALLS - PAINT. NEW WOOD BASE - PAINT.
- CHANGE 220V TO 110 V
- EXIST. CONC. STEPS-PAINT
- EXIST. CONC. TO REMAIN
- NEW FIXTURE AS SPECIFIED PORCH
- POWER WASH AND CLEAN CONCRETE. APPLY PROTECTIVE TOPCOAT SEALER TO EXISTING CONCRETE
- RE-FLOAT FIRST FLOOR LEVEL INTERIOR FLOOR AS NECESSARY TO ACCOMMODATE NEW FLOORING FINISH.
- EXIST. STEEL COL'S. TO REMAIN - PAINT
- EXIST. CONC. STEPS-PAINT
- EXIST. CONC. TO REMAIN
- NEW FIXTURE AS SPECIFIED PORCH
- POWER WASH AND CLEAN CONCRETE. APPLY PROTECTIVE TOPCOAT SEALER TO EXISTING CONCRETE
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- NEW FIXTURE AS SPECIFIED PORCH
- POWER WASH AND CLEAN CONCRETE. APPLY PROTECTIVE TOPCOAT SEALER TO EXISTING CONCRETE

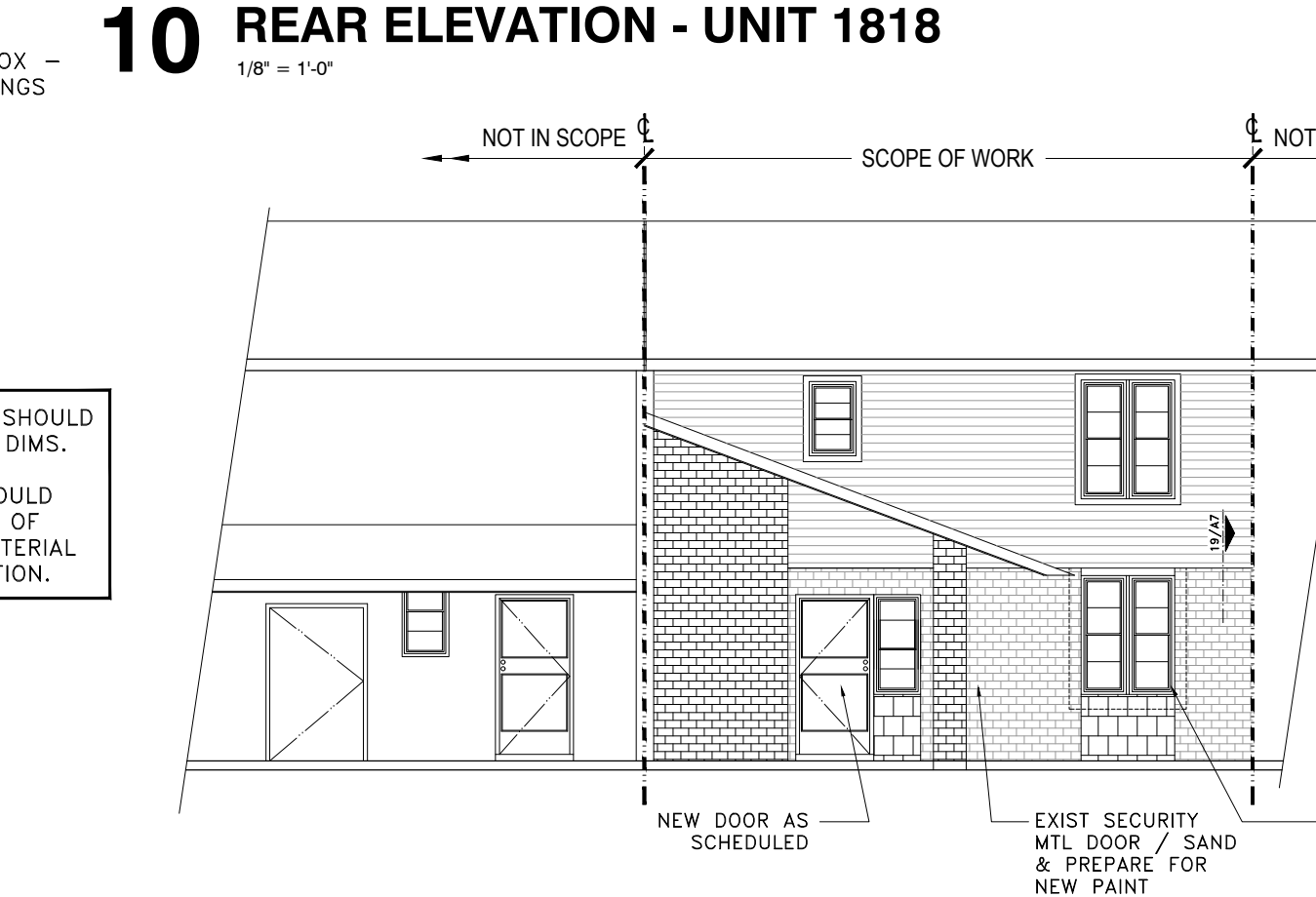
- ADD EXTRA BLOCKING FOR FUR DOWNS AS NEEDED.
- EACH INDIVIDUAL APARTMENT UNIT TO BE PROVIDED WITH ONE 2A, 10BC FIRE EXTINGUISHER. THE EXTINGUISHER IS TO BE MOUNTED INSIDE THE CABINET UNDER THE SINK IN THE KITCHEN.
- ALL EXISTING UNDAMAGED INTERIOR PARTITIONS ARE TO BE REUSED AND PROVIDED W/ NEW 5/8" GWS, PTD.
- SECOND FLOOR FLOOR DECK TO BE REPLACED W/ NEW 3/4" PLYWOOD - REFER TO STRUCTURAL DRAWINGS
- ALL EXISTING WINDOWS/DOORS ARE TO BE REMOVED AND REPLACED W/ NEW - REFER TO SCHEDULE SHEET
- ALL EXTERIOR LIGHT FIXTURES AND BUILDING SIGNS ARE TO BE REMOVED AND REPLACED.
- ALL UNITS ARE TO HAVE NEW MAILBOXES AND EXTERIOR LIGHT FIXTURES, INCLUDING WALL PACKS WITH DUSK TILL DAWN SENSORS.



- ALL UNITS ARE TO HAVE NEW HEATER VENT PIPE FLASHING AND WATERPROOFING TO AT ROOF LOCATION. INSTALL PROPERLY.
- ALL EXISTING WINDOWS/DOORS ARE TO BE REMOVED AND REPLACED WITH NEW, NEW WINDOWS/DOORS TO MATCH EXISTING WINDOW STYLING
- UNITS ARE TO HAVE NEW DATA AND CABLE LINES. CABLE AND DATA IS TO BE INSTALLED IN EVERY BEDROOM AND LIVING ROOM.
- ALL UNITS WHERE FLOOR DECKING IS TO BE REPLACED, ARE TO HAVE NEW 3/4" PLYWOOD FLOOR DECKING
- SIDING IS TO MATCH EXISTING SIDING TEXTURE.
- REMOVE ALL EXISTING SIDING. PROVIDE NEW 8.25" WIDE SMOOTH CEMENTITIOUS LAP SIDING. 3.5" TRIM. EXISTING BRICK IS TO BE REMOVED WHERE SHEATHING & VAPOR BARRIER IS DAMAGED. BRICKS ARE TO BE SALVAGED. REPLACE DAMAGED SHEATHING & VAPOR BARRIER W/ NEW.
- ALL UNITS ARE TO HAVE NEW SOUND INSULATION LOCATED ON ALL 1ST FLOOR CEILING.
- ALL EXTERIOR MATERIALS ARE TO MATCH EXISTING MATERIALS. ANY DEVIATIONS ARE TO BE APPROVED BY THE ARCHITECT.
- ALL UNITS ARE TO HAVE NEW SMOKE DETECTORS IN ALL BEDROOMS AND LIVING ROOMS
- ALL UNITS ARE TO RECEIVE NEW GUTTERS AND DRAINS AS NECESSARY. MATCH EXISTING. OWNER SPECIFIED
- ALL UNITS ARE TO HAVE NEW HEATER VENT PIPE FLASHING AND WATERPROOFING TO AT ROOF LOCATION. INSTALL PROPERLY.
- ALL EXISTING WINDOWS/DOORS ARE TO BE REMOVED AND REPLACED WITH NEW WINDOWS/DOORS TO MATCH EXISTING STYLES.
- ALL UNITS WHERE FLOOR DECKING IS TO BE REPLACED, ARE TO HAVE NEW 3/4" PLYWOOD FLOOR DECKING
- SIDING IS TO MATCH EXISTING SIDING TEXTURE.
- EXISTING BRICK TO BE DEMOLISHED IN ITS ENTIRETY. INSTALL NEW 1/2" SHEATHING, VAPOR BARRIER AND NEW BRICK TO MATCH EXISTING AND PAINT



1 GROUND FLOOR PLAN - 1818
1/4" = 1'-0"



- ALL UNITS ARE TO HAVE NEW HEATER VENT PIPE FLASHING AND WATERPROOFING TO AT ROOF LOCATION. INSTALL PROPERLY.
- ALL EXISTING WINDOWS/DOORS ARE TO BE REMOVED AND REPLACED WITH NEW, NEW WINDOWS/DOORS TO MATCH EXISTING WINDOW STYLING
- UNITS ARE TO HAVE NEW DATA AND CABLE LINES. CABLE AND DATA IS TO BE INSTALLED IN EVERY BEDROOM AND LIVING ROOM.
- ALL UNITS WHERE FLOOR DECKING IS TO BE REPLACED, ARE TO HAVE NEW 3/4" PLYWOOD FLOOR DECKING
- SIDING IS TO MATCH EXISTING SIDING TEXTURE.
- REMOVE ALL EXISTING SIDING. PROVIDE NEW 8.25" WIDE SMOOTH CEMENTITIOUS LAP SIDING. 3.5" TRIM. EXISTING BRICK IS TO BE REMOVED WHERE SHEATHING & VAPOR BARRIER IS DAMAGED. BRICKS ARE TO BE SALVAGED. REPLACE DAMAGED SHEATHING & VAPOR BARRIER W/ NEW.
- ALL UNITS ARE TO HAVE NEW SOUND INSULATION LOCATED ON ALL 1ST FLOOR CEILING.
- ALL EXTERIOR MATERIALS ARE TO MATCH EXISTING MATERIALS. ANY DEVIATIONS ARE TO BE APPROVED BY THE ARCHITECT.
- ALL UNITS ARE TO HAVE NEW SMOKE DETECTORS IN ALL BEDROOMS AND LIVING ROOMS
- ALL UNITS ARE TO RECEIVE NEW GUTTERS AND DRAINS AS NECESSARY. MATCH EXISTING. OWNER SPECIFIED
- ALL UNITS ARE TO HAVE NEW HEATER VENT PIPE FLASHING AND WATERPROOFING TO AT ROOF LOCATION. INSTALL PROPERLY.
- ALL EXISTING WINDOWS/DOORS ARE TO BE REMOVED AND REPLACED WITH NEW WINDOWS/DOORS TO MATCH EXISTING STYLES.
- ALL UNITS WHERE FLOOR DECKING IS TO BE REPLACED, ARE TO HAVE NEW 3/4" PLYWOOD FLOOR DECKING
- SIDING IS TO MATCH EXISTING SIDING TEXTURE.
- EXISTING BRICK TO BE DEMOLISHED IN ITS ENTIRETY. INSTALL NEW 1/2" SHEATHING, VAPOR BARRIER AND NEW BRICK TO MATCH EXISTING AND PAINT

GENERAL NOTES
GENERAL CONTRACTOR SHALL VERIFY EXISTING STUD WIDTH PRIOR TO ORDERING DOOR & FRAMES.

DOOR SCHEDULE UNIT 2404 & UNIT 103												
#	DOOR			EXISTING STUD WIDTH +/-	FRAME			DETAILS			HWDR. SET	HARDWARE
	TYPE	WIDTH	HEIGHT		MAT'L	FINISH	HEAD	JAMB	THRESHOLD			
01A	C	3'-0"	6'-8"	MTL	3 1/2"	MTL	PTD	-	-	-	1,3,6	PRIVACY LOCKSET / KEYPAD DEADBOLT
01B	A	3'-0"	6'-8"	SC	3 1/2"	WD	PTD	2/A7	8/A7	13/A7	1,2,3,6	PRIVACY / KEYPAD DEAD / SING. SID. DEAD.
02A	C	3'-0"	6'-8"	SC	3 1/2"	WD	PTD	-	-	-	1,3,6	PRIVACY LOCKSET / KEYPAD DEADBOLT
02B	A	3'-0"	6'-8"	SC	3 1/2"	WD	PTD	2/A7	8/A7	16/A7	1,2,3,5	PRIVACY / KEYPAD DEAD / SING. SID. DEAD.
03	B	2'-8"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	4	PASSAGE
04	B	2'-8"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	4,5	PASSAGE
05	B	2'-8"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	4,5	PASSAGE
06	B	2'-8"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	1,5	PRIVACY
07	B	2'-8"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	4,5	PASSAGE
08	W	2'-2"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	4	PASSAGE

DOOR SCHEDULE UNIT 1523 & UNIT 3023												
#	DOOR			EXISTING STUD WIDTH +/-	FRAME			DETAILS			HWDR. SET	HARDWARE
	TYPE	WIDTH	HEIGHT		MAT'L	FINISH	HEAD	JAMB	THRESHOLD			
01A	C	3'-0"	6'-8"	MTL	3 1/2"	MTL	PTD	-	-	-	1,3,6	PRIVACY LOCKSET / KEYPAD DEADBOLT
01B	A	3'-0"	6'-8"	SC	3 1/2"	WD	PTD	4/A7	10/A7	10/A7	1,2,3,5	PRIVACY / KEYPAD DEAD / SING. SID. DEAD.
02A	C	3'-0"	6'-8"	SC	3 1/2"	WD	PTD	-	-	-	1,3,6	PRIVACY LOCKSET / KEYPAD DEADBOLT
02B	A	3'-0"	6'-8"	SC	3 1/2"	WD	PTD	4/A7	10/A7	10/A7	1,2,3,5	PRIVACY / KEYPAD DEAD / SING. SID. DEAD.
04	B	2'-8"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	4,5	PASSAGE
05	B	2'-8"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	4,5	PASSAGE
06	B	2'-8"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	4,5	PASSAGE
07	B	2'-8"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	1,5	PRIVACY
08	W	2'-4"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	4,5	PASSAGE
09	B	2'-8"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	4,5	PASSAGE

DOOR SCHEDULE UNIT 1501												
#	DOOR			EXISTING STUD WIDTH +/-	FRAME			DETAILS			HWDR. SET	HARDWARE
	TYPE	WIDTH	HEIGHT		MAT'L	FINISH	HEAD	JAMB	THRESHOLD			
01A	C	3'-0"	6'-8"	MTL	3 1/2"	MTL	PTD	-	-	-	1,3,6	PRIVACY LOCKSET / KEYPAD DEADBOLT
01B	A	3'-0"	6'-8"	SC	3 1/2"	WD	PTD	4/A7	10/A7	13/A7	1,2,3,5	PRIVACY / KEYPAD DEAD / SING. SID. DEAD.
02A	C	3'-0"	6'-8"	SC	3 1/2"	WD	PTD	-	-	-	1,3,5	PRIVACY LOCKSET / KEYPAD DEADBOLT
02B	A	3'-0"	6'-8"	SC	3 1/2"	WD	PTD	4/A7	10/A7	16/A7	1,2,3,6	PRIVACY / KEYPAD DEAD / SING. SID. DEAD.
03	B	2'-8"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	4	PASSAGE
04	B	2'-8"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	4,5	PASSAGE
06	B	2'-8"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	1,5	PRIVACY
07	B	2'-8"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	4,5	PASSAGE
08	B	2'-8"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	4	PASSAGE
09	B	2'-8"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	4,5	PASSAGE
10	B	2'-8"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	4,5	PASSAGE
11	W	2'-6"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	4	PASSAGE

DOOR SCHEDULE UNIT 942												
#	DOOR			EXISTING STUD WIDTH +/-	FRAME			DETAILS			HWDR. SET	HARDWARE
	TYPE	WIDTH	HEIGHT		MAT'L	FINISH	HEAD	JAMB	THRESHOLD			
01A	C	3'-0"	6'-8"	MTL	3 1/2"	MTL	PTD	-	-	-	1,3,6	PRIVACY LOCKSET / KEYPAD DEADBOLT
01B	A	3'-0"	6'-8"	SC	3 1/2"	WD	PTD	4/A7	10/A7	13/A7	1,2,3,5	PRIVACY / KEYPAD DEAD / SING. SID. DEAD.
02	B	2'-8"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	4,5	PASSAGE
03A	C	3'-0"	6'-8"	MTL	3 1/2"	MTL	PTD	-	-	-	1,3,6	PRIVACY LOCKSET / KEYPAD DEADBOLT
03B	A	3'-0"	6'-8"	SC	3 1/2"	WD	PTD	4/A7	10/A7	13/A7	1,2,3,5	PRIVACY / KEYPAD DEAD / SING. SID. DEAD.
04	B	2'-8"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	4	PASSAGE
05	B	2'-8"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	1,5	PRIVACY
06	B	2'-8"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	4,5	PASSAGE
07	B	2'-8"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	4,5	PASSAGE
08	B	2'-8"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	4,5	PASSAGE

DOOR SCHEDULE UNIT 1818												
#	DOOR			EXISTING STUD WIDTH +/-	FRAME			DETAILS			HWDR. SET	HARDWARE
	TYPE	WIDTH	HEIGHT		MAT'L	FINISH	HEAD	JAMB	THRESHOLD			
01A	C	3'-0"	6'-8"	MTL	3 1/2"	MTL	PTD	-	-	-	1,3,6	PASSAGE LOCKSET / DEADBOLT
01B	A	3'-0"	6'-8"	SC	3 1/2"	WD	PTD	4/A7	10/A7	13/A7	1,2,3	PASSAGE / PRIVACY LOCKSET & DEADBOLT
02	B	2'-8"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	4,5	PASSAGE
03	B	2'-8"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	4,5	PASSAGE
04	B	2'-8"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	1,5	PRIVACY
05A	A	3'-0"	6'-8"	SC	3 1/2"	WD	PTD	4/A7	10/A7	-	1,2,3	PASSAGE / PRIVACY LOCKSET & DEADBOLT
05B	C	3'-0"	6'-8"	MTL	3 1/2"	MTL	PTD	-	-	13/A7	1,3,6	PASSAGE LOCKSET / DEADBOLT
07	E	2'-8"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	4,5	PASSAGE LOCKSET / DEADBOLT
08	B	2'-8"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	4	PASSAGE
09	B	2'-8"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	4,5	PASSAGE
10	B	2'-8"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	4,5	PASSAGE
11	B	2'-8"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	4,5	PASSAGE
12	B	2'-8"	6'-8"	HC	3 1/2"	WD	PTD	3/A7	9/A7	-	1,5	PRIVACY

ALL UNITS WILL HAVE NEW WOOD DOOR FRAMES ON FIRST AND SECOND FLOOR.											
HARDWARE SET											
1. SHIELD SECURITY - PRIVACY LOCKSET / GRADE 3 - 2 WAY LATCH / TULIP KNOB STYLE / SATIN CHROME FINISH											
2. KWIKSET - SINGLE SIDED DEADBOLT WITH BACK PLATE / GRADE 3 NON-COMMERCIAL MFG #667 / SATIN CHROME											
3. KWIKSET - SINGLE CYLINDER DEADBOLT - INDIVIDUALLY KEYPAD - NON-MASTERED KEYPAD MFG #GDC9471 / SATIN CHROME											
4. SHIELD SECURITY - PASSAGE / GRADE 3 - 2 WAY LATCH / TULIP KNOB STYLE / SATIN CHROME FINISH											
5. DOOR STOP - BOTTOM DOOR STOP / SATIN CHROME FINISH											
6. DOOR STOP - HANDLE DOOR STOP / SATIN CHROME FINISH											
7. EYE VIEWER - AS SPECIFIED											

NOTE: CONTRACTOR TO SUBMIT FINISH SPECIFICATIONS AND SAMPLES PRIOR TO ORDERING FOR OWNER AND ARCHITECT FINAL APPROVAL.

ROOM FINISH SCHEDULE UNITS 2404 & UNITS 103										
RM #	ROOM NAME	FLOOR	BASE	WALLS				CEILING	CEILING HEIGHT	
				NORTH	SOUTH	WEST	EAST			
101	LIVING ROOM	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	
102	DINING ROOM	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	
103	KITCHEN	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	
104	HALL	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	
105	BEDROOM #01	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	
106	BEDROOM #02	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	
107	BATH	F2	B2	W1/W2	W1/W2	W1/W2	W1/W2	C1	+/- 8'-0"	

ROOM FINISH SCHEDULE UNIT 1523 & UNIT 3023										
RM #	ROOM NAME	FLOOR	BASE	WALLS				CEILING	CEILING HEIGHT	
				NORTH	SOUTH	WEST	EAST			
101	LIVING ROOM	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	
102	KITCHEN / DINING ROOM	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	
103	STORAGE	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	
104	HALL	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	
105	BATH	F2	B2	W1/W2	W1/W2	W1/W2	W1/W2	C1	+/- 8'-0"	
106	BEDROOM #01	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	
107	BEDROOM #02	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	
108	BEDROOM #03	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	

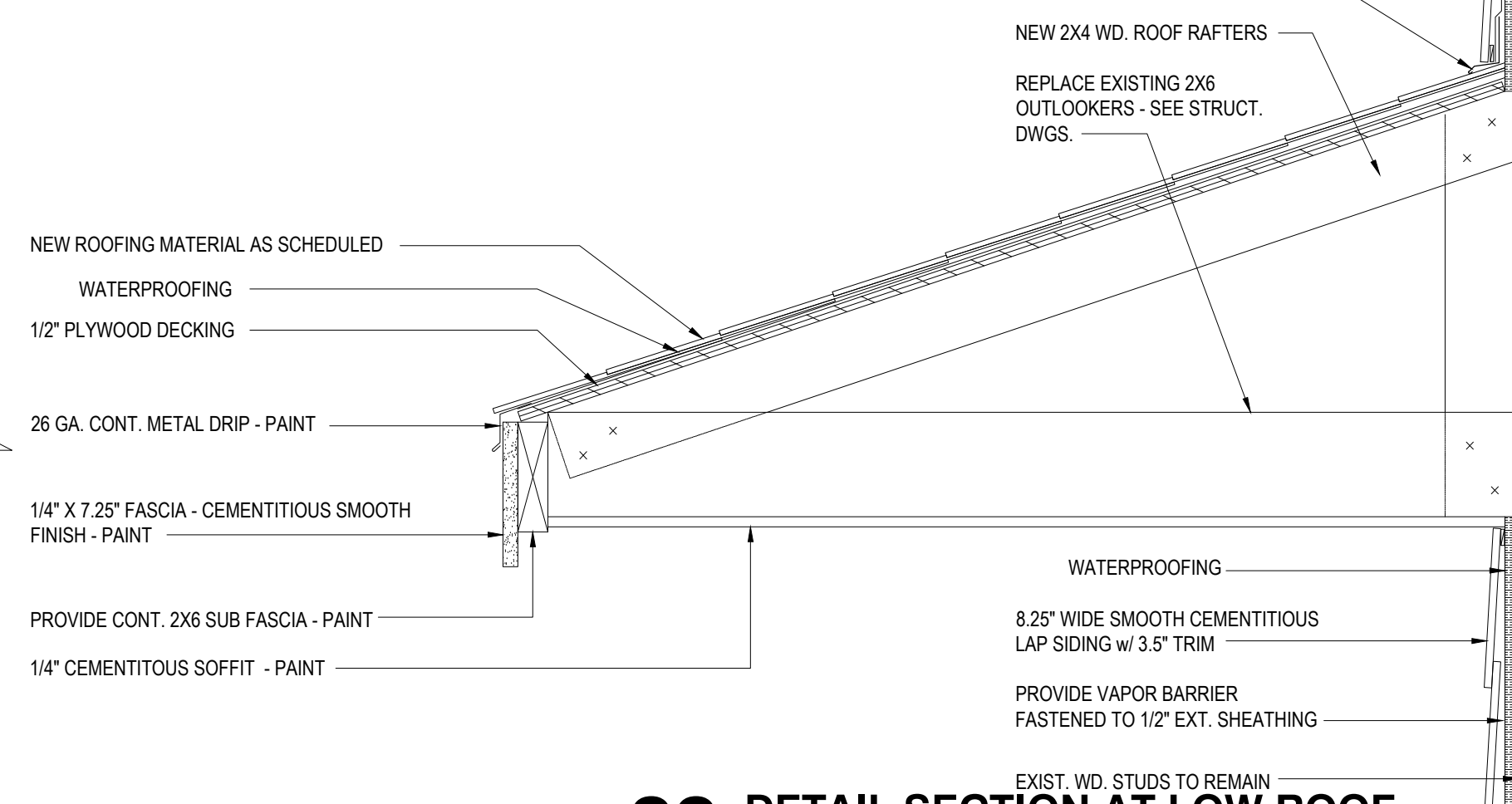
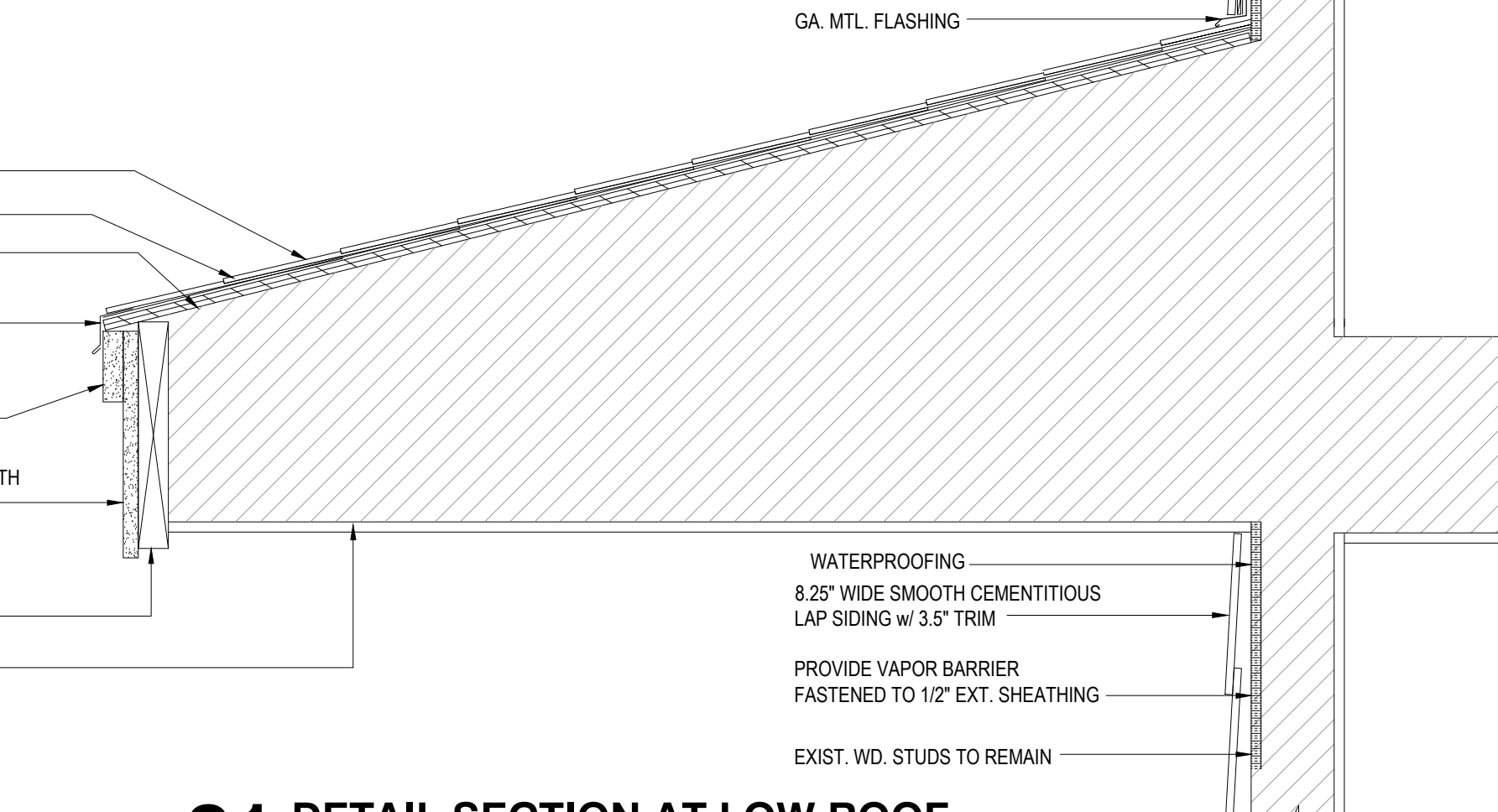
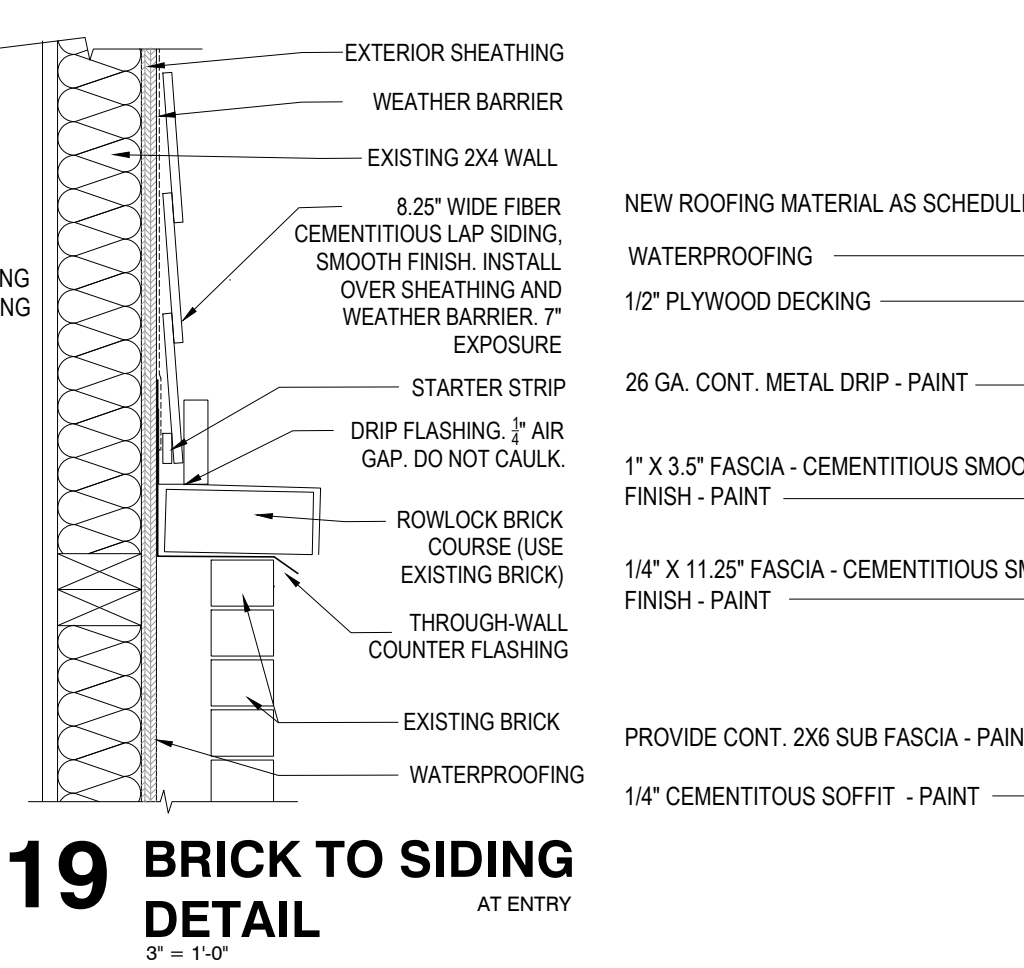
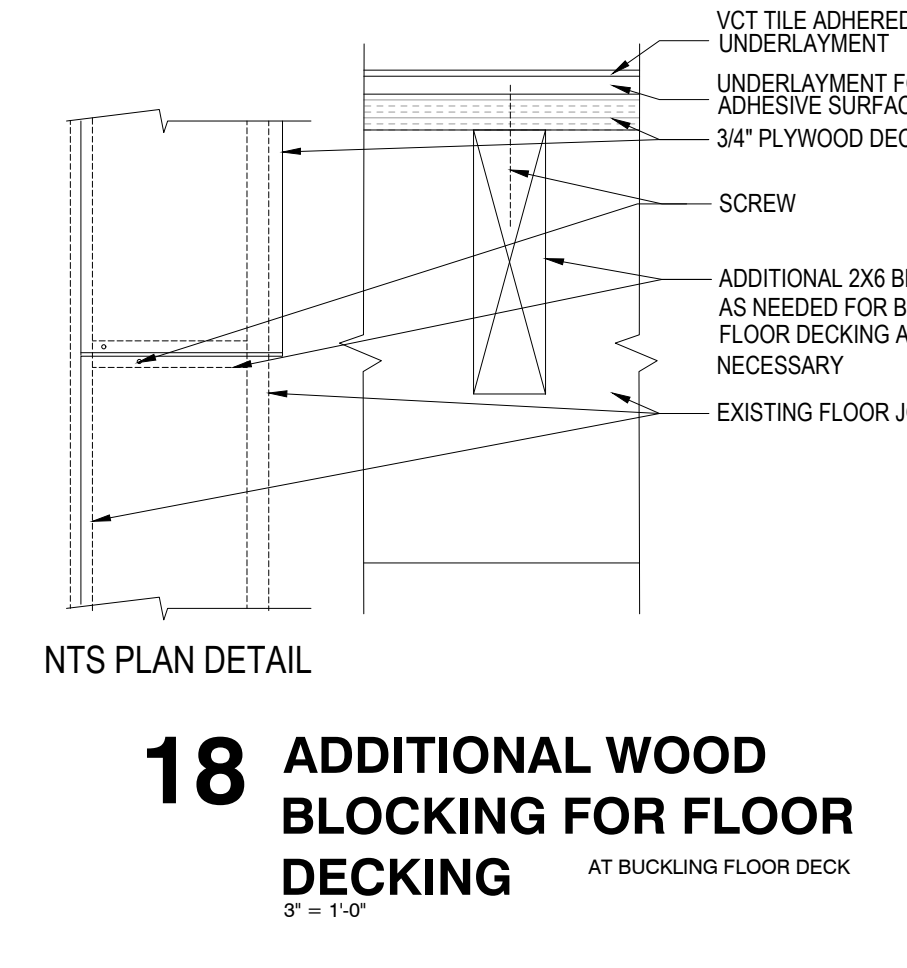
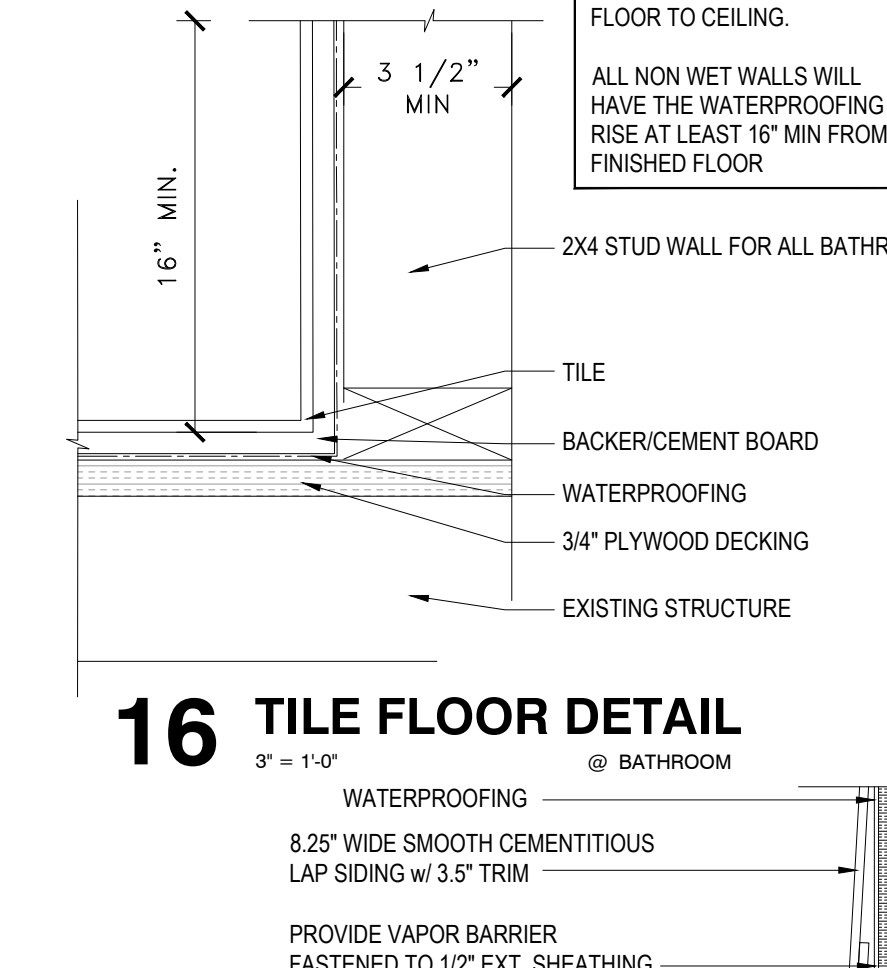
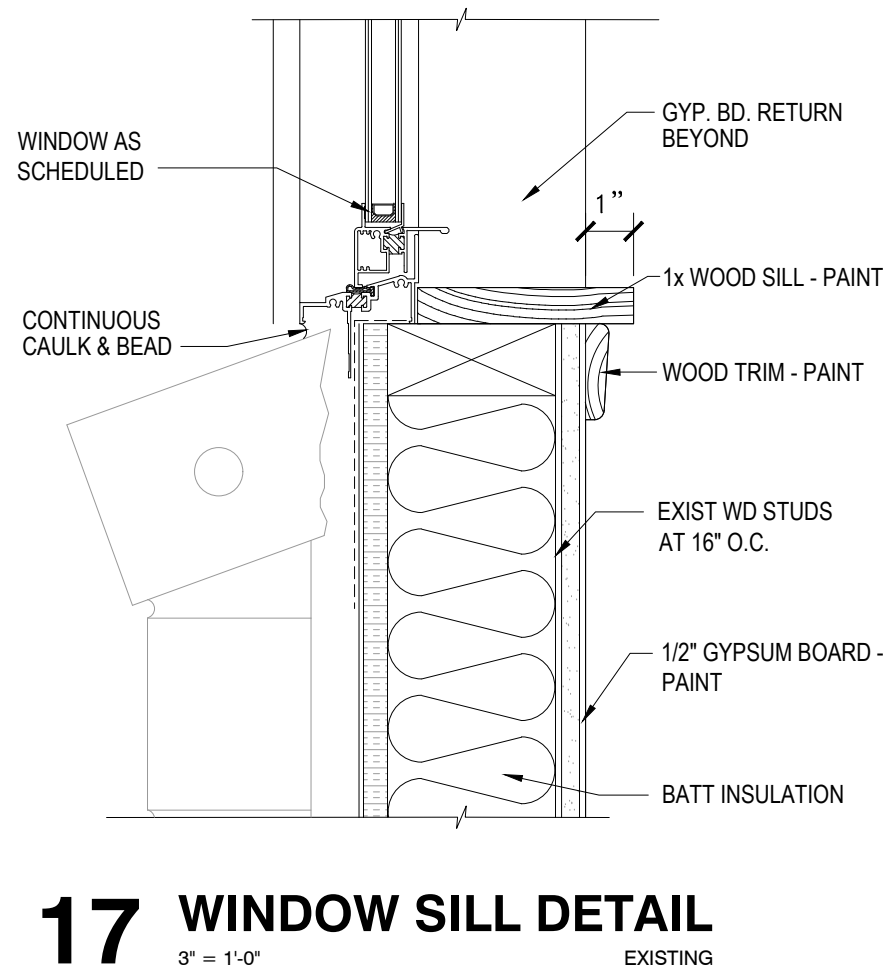
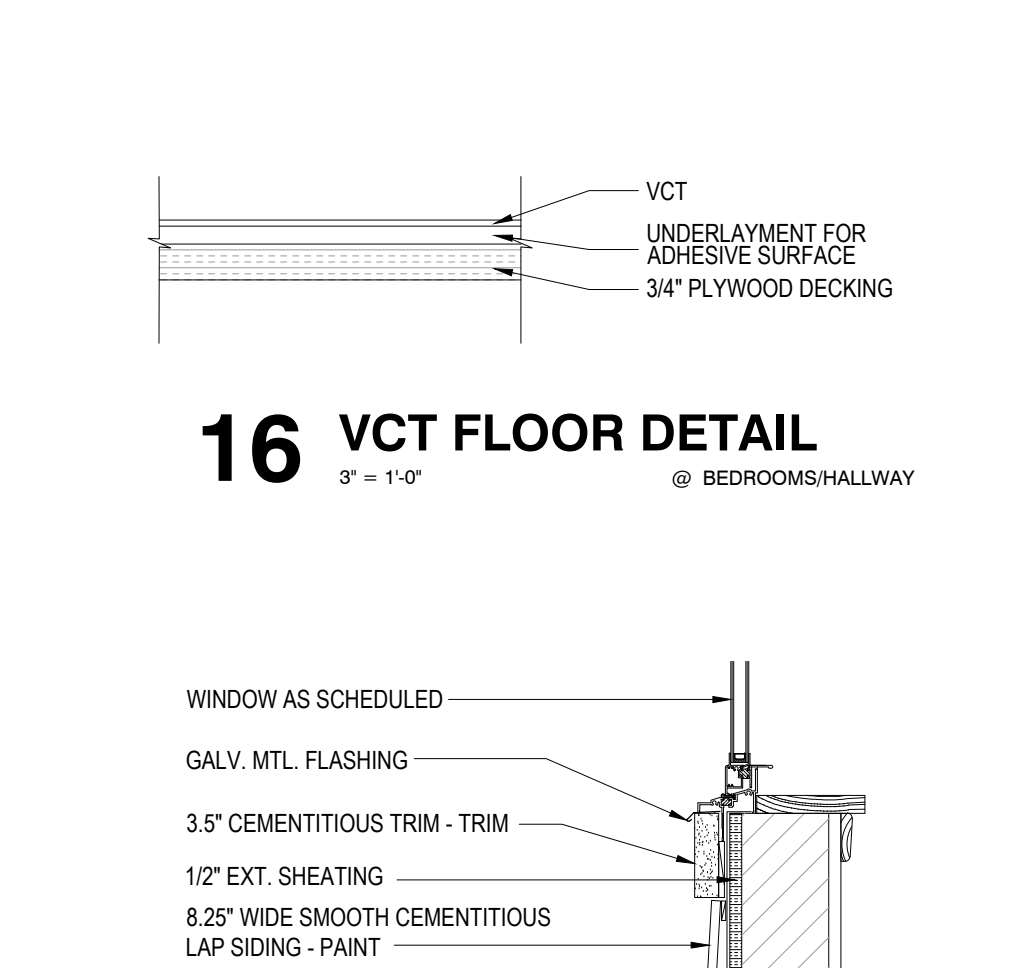
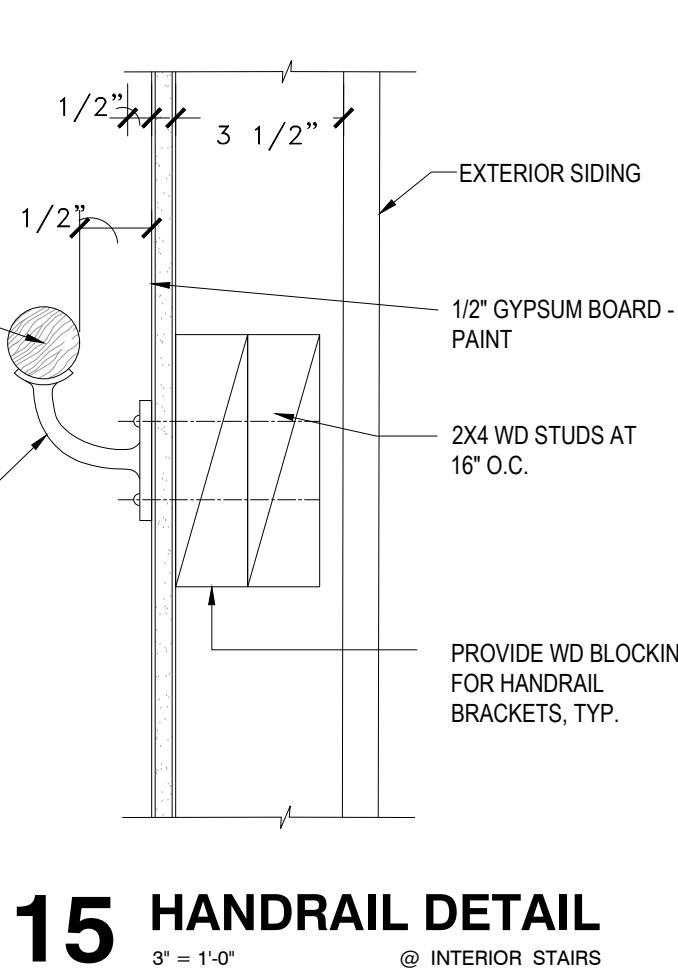
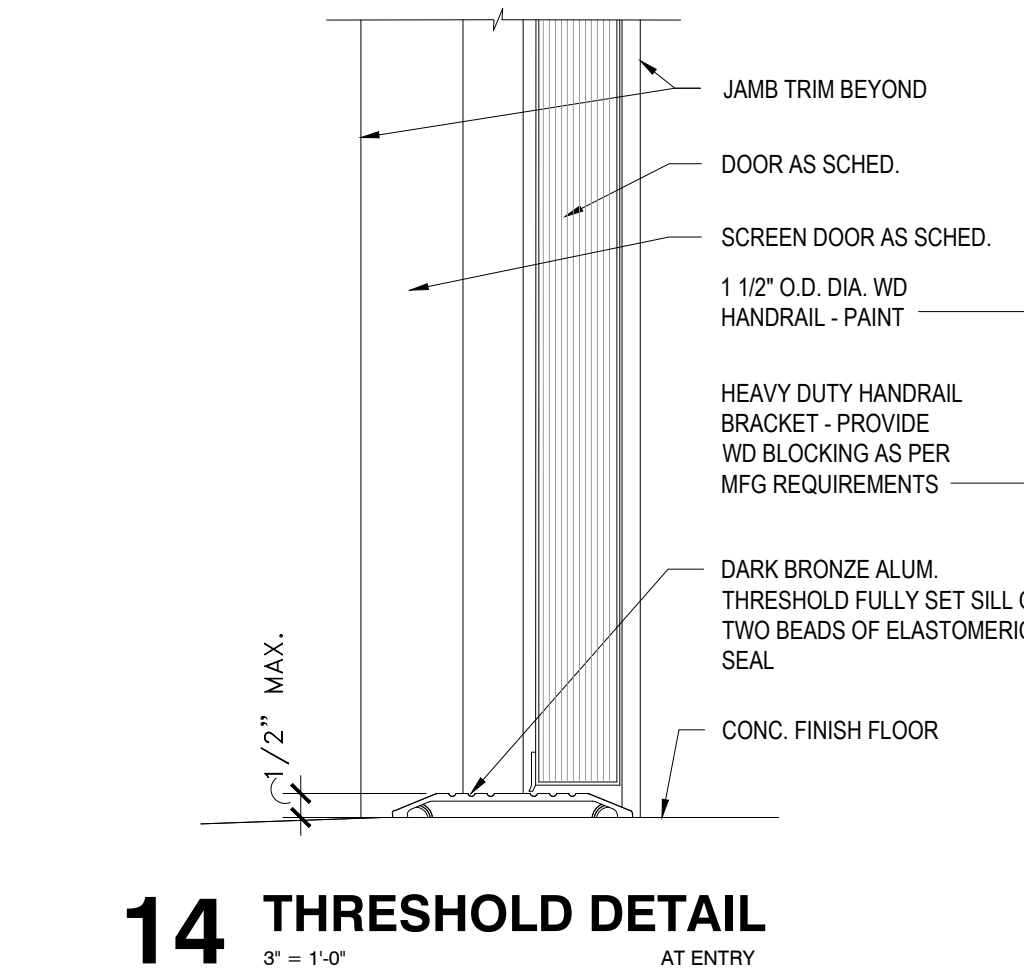
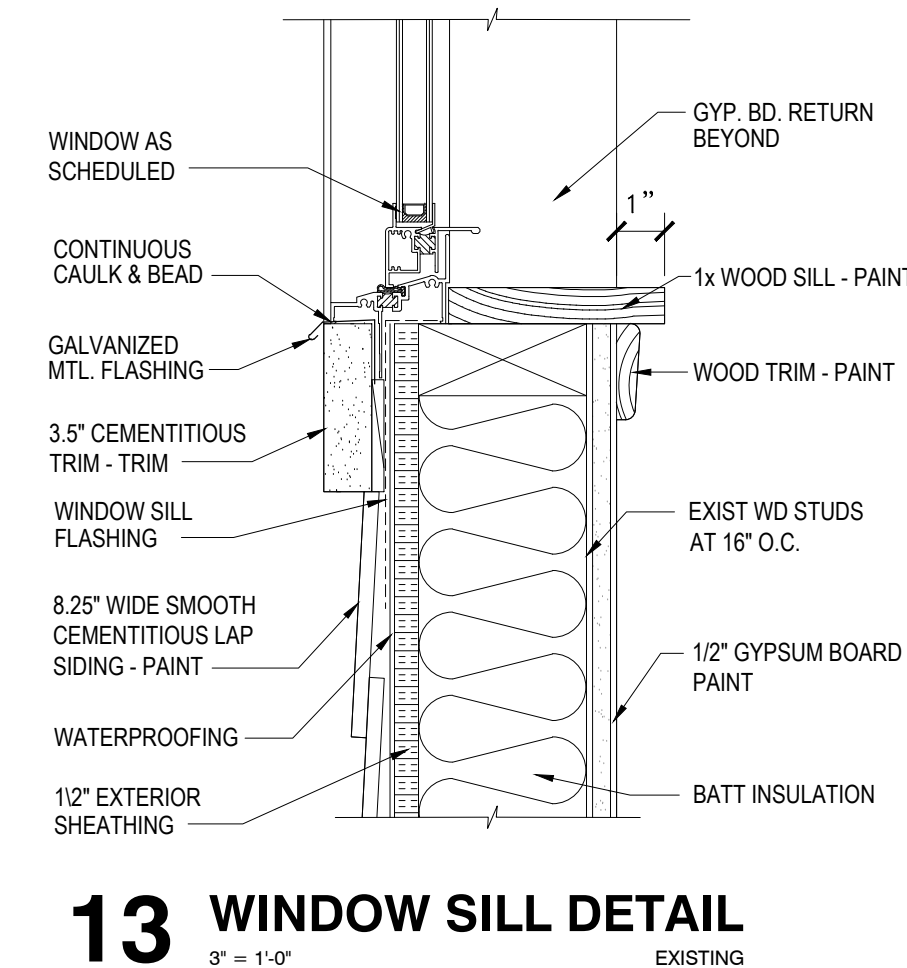
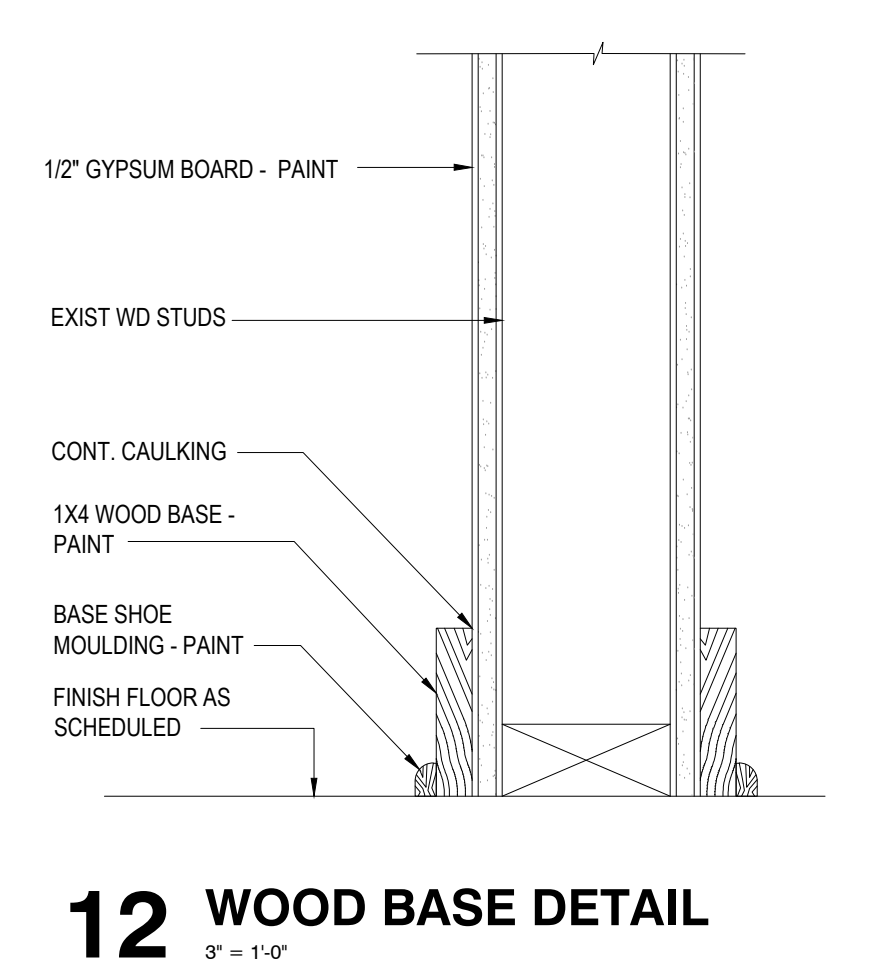
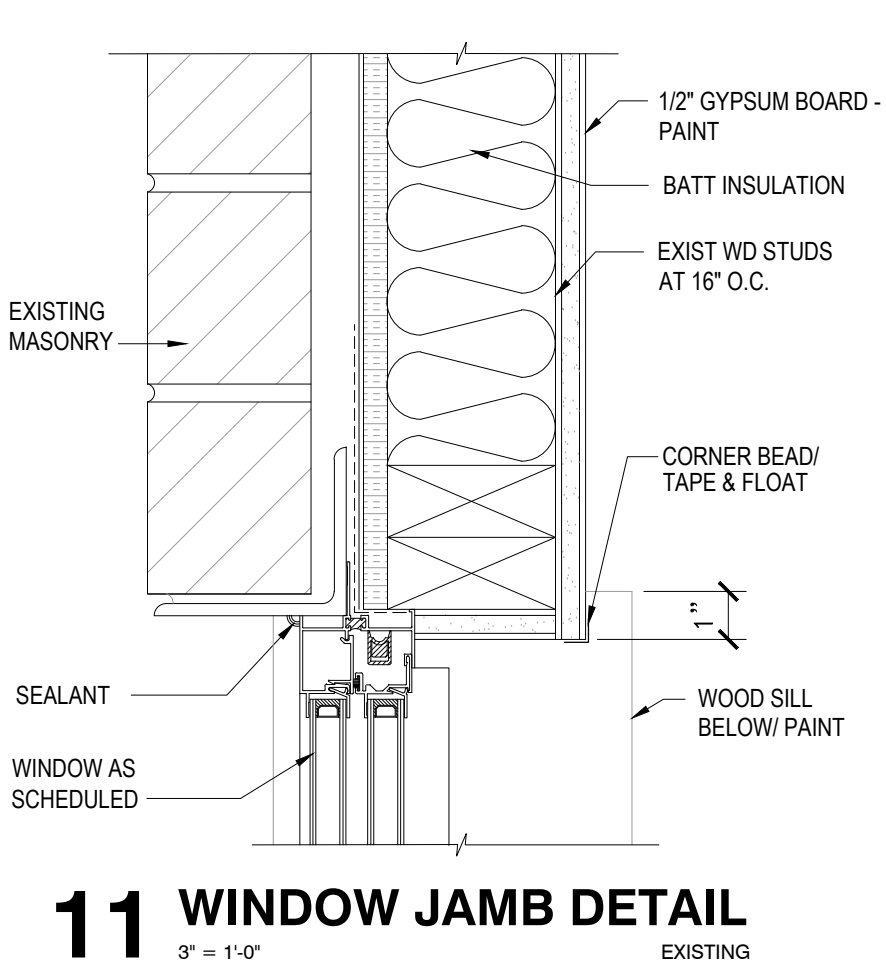
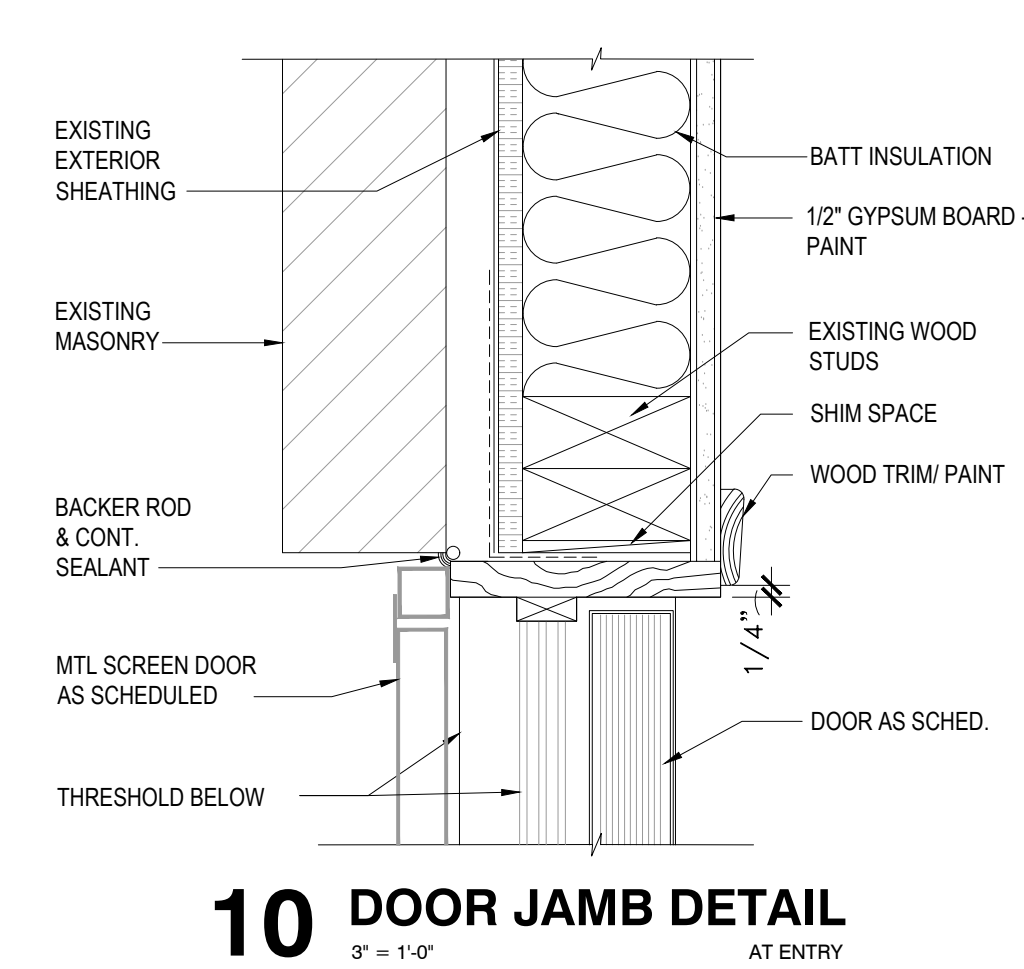
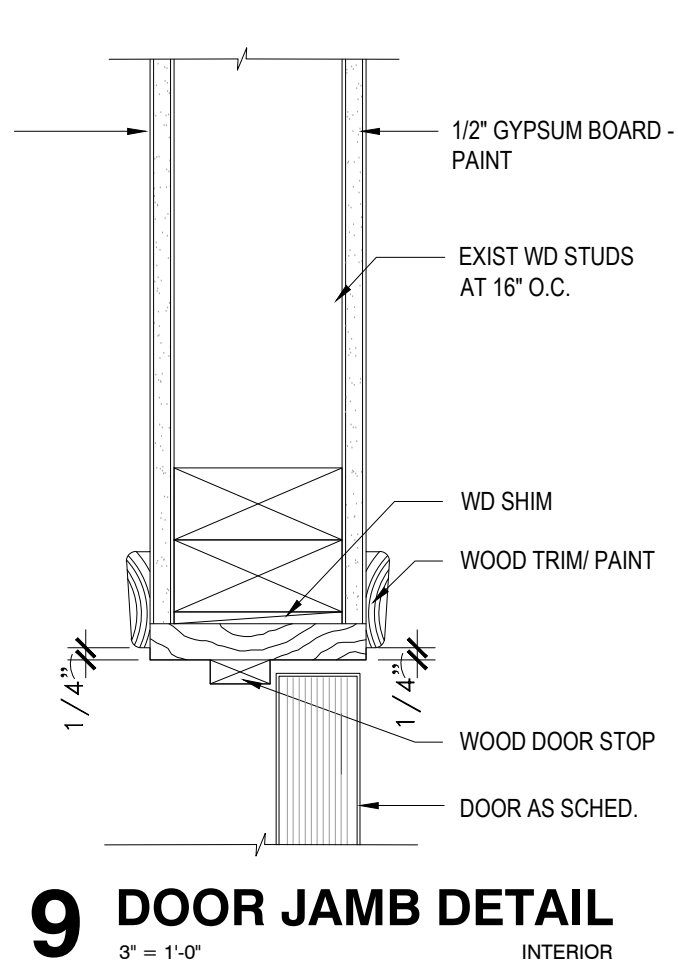
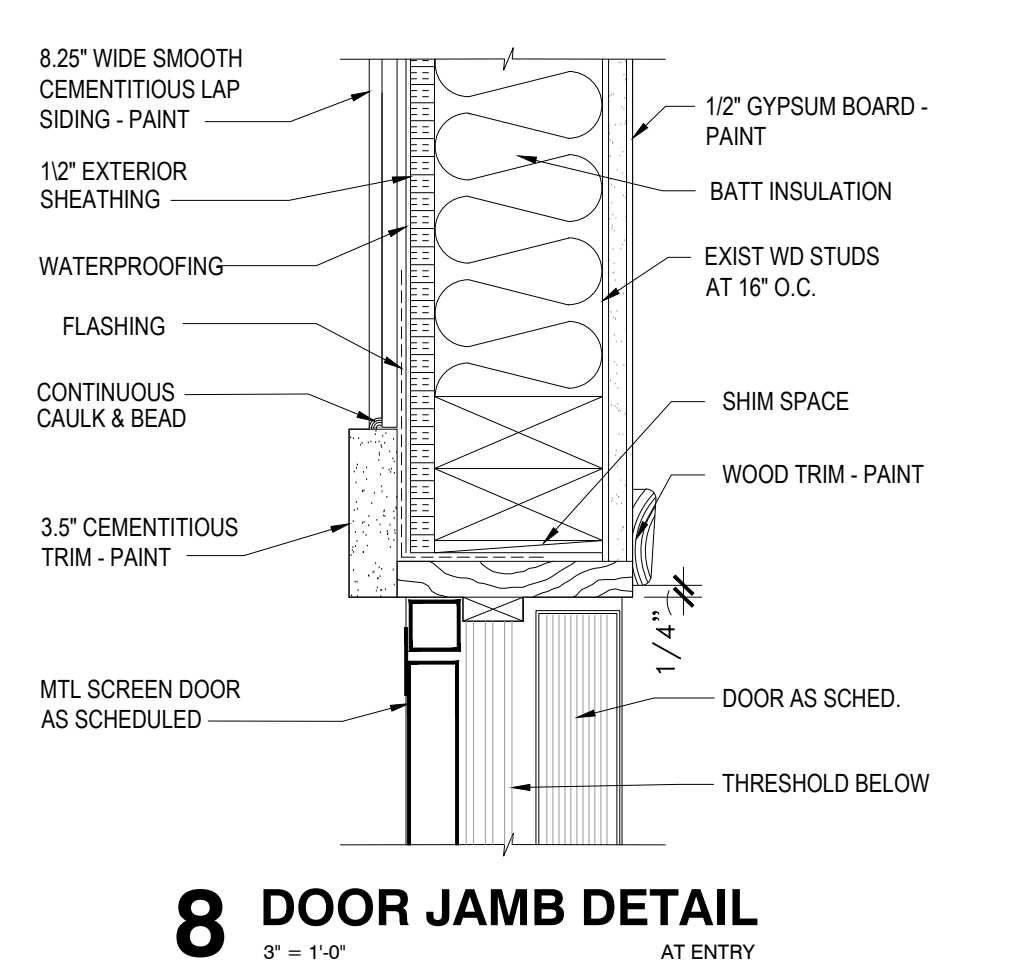
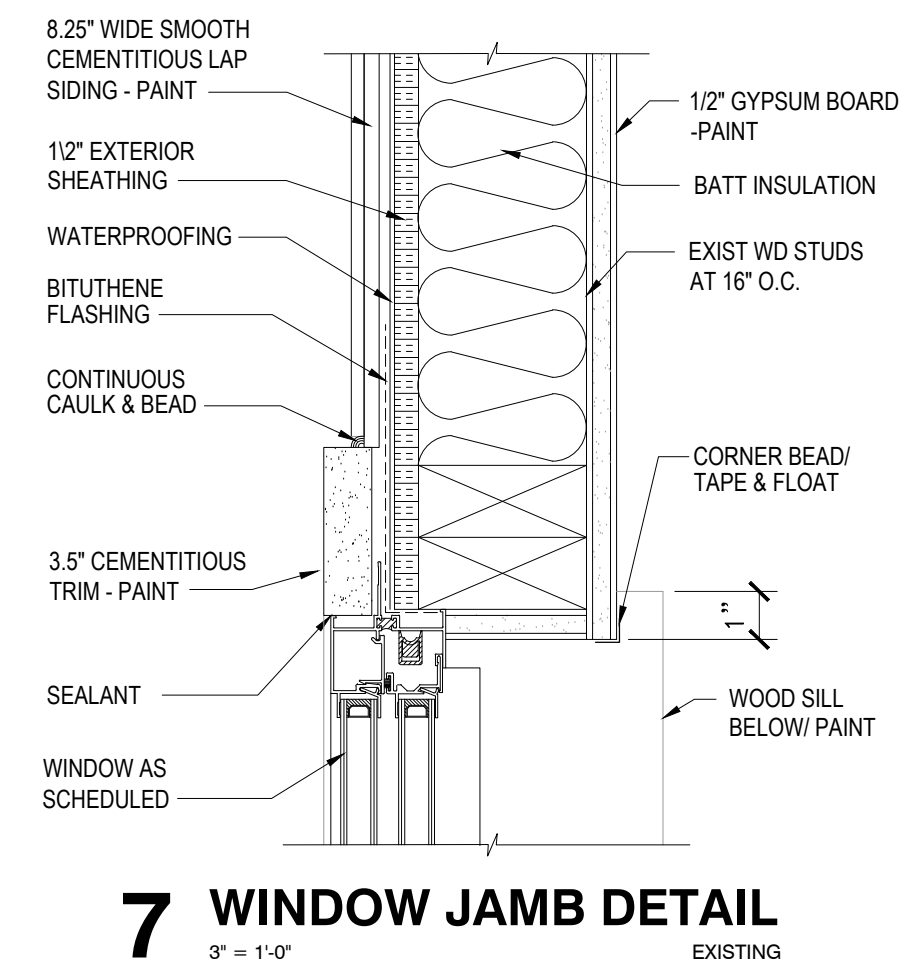
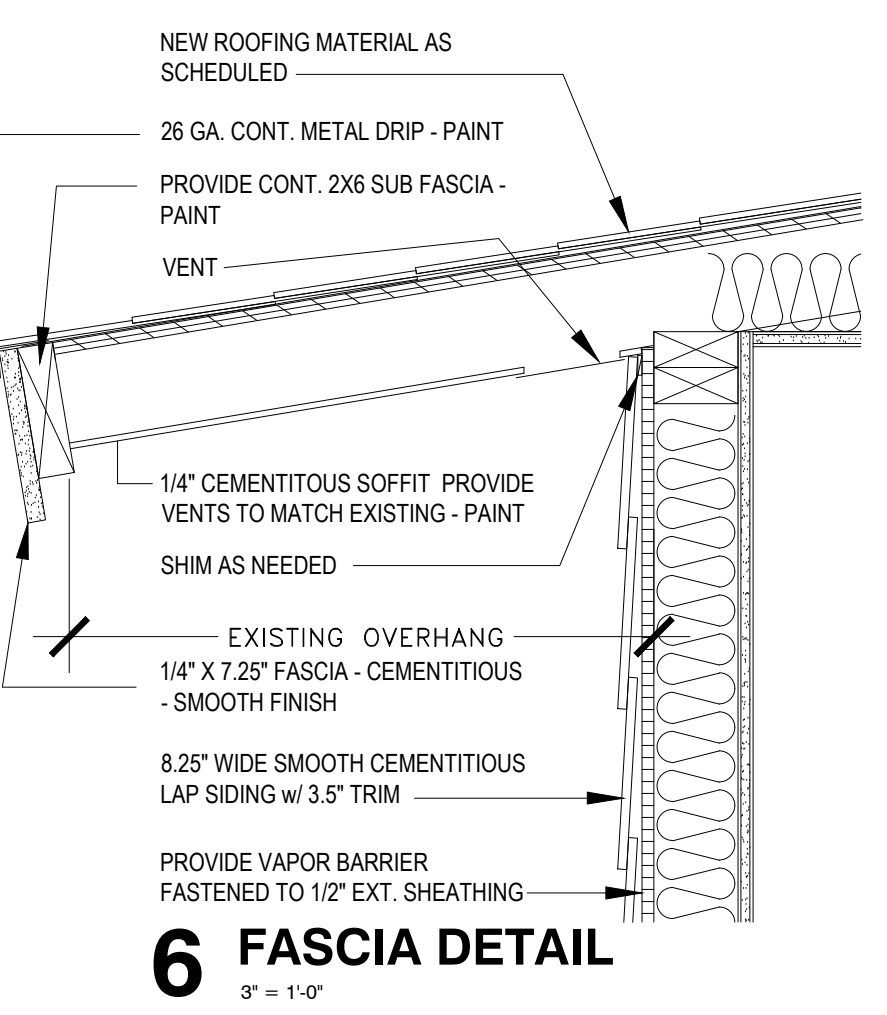
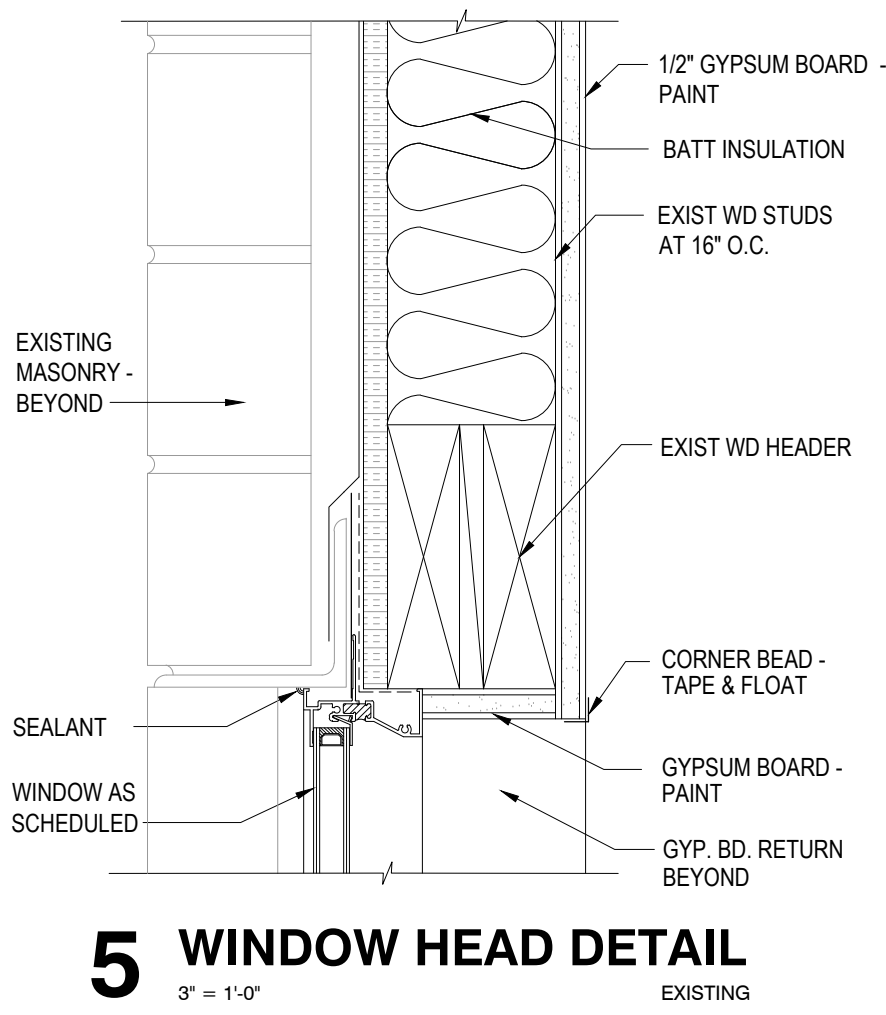
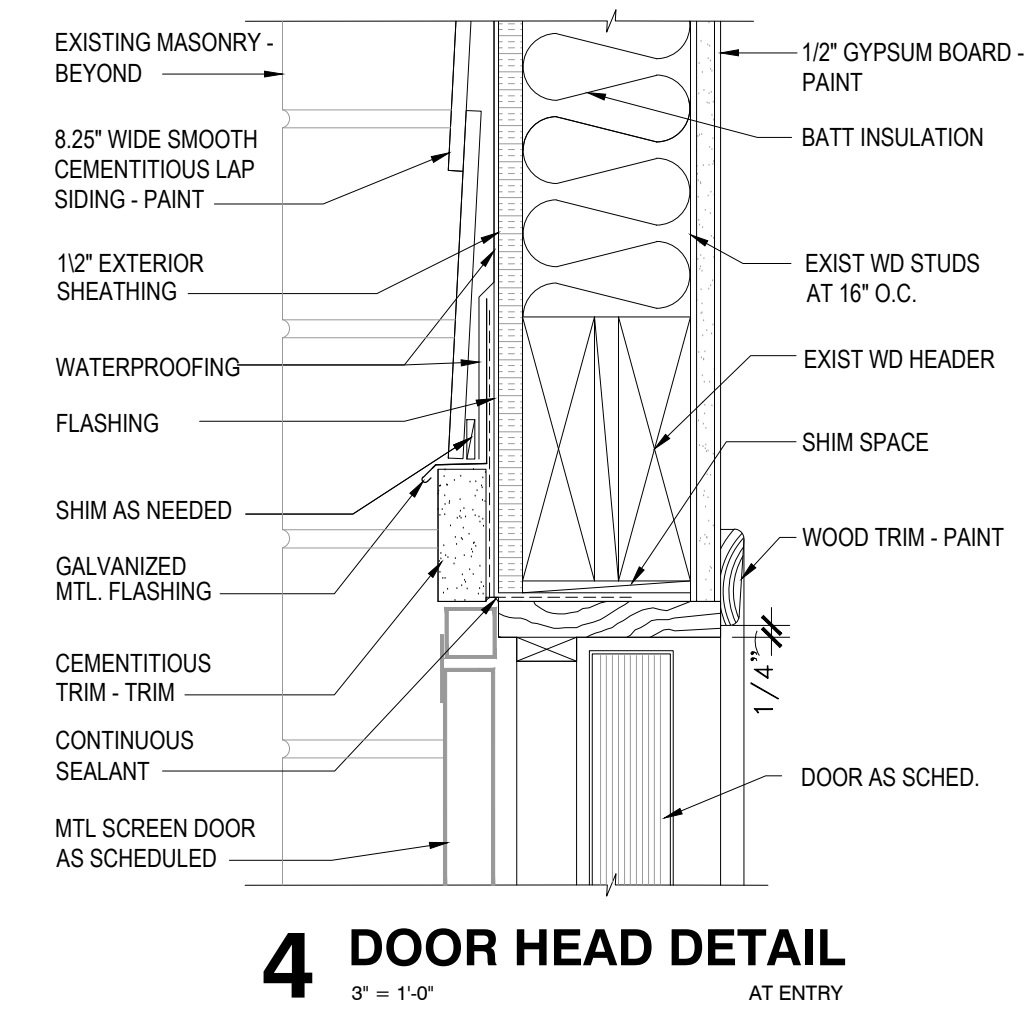
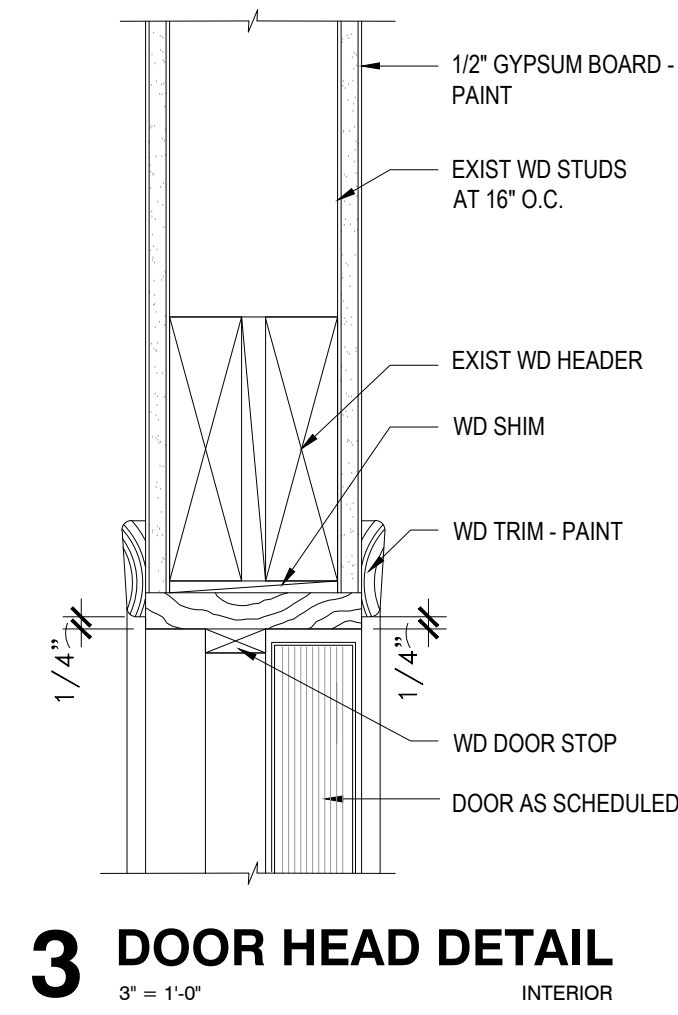
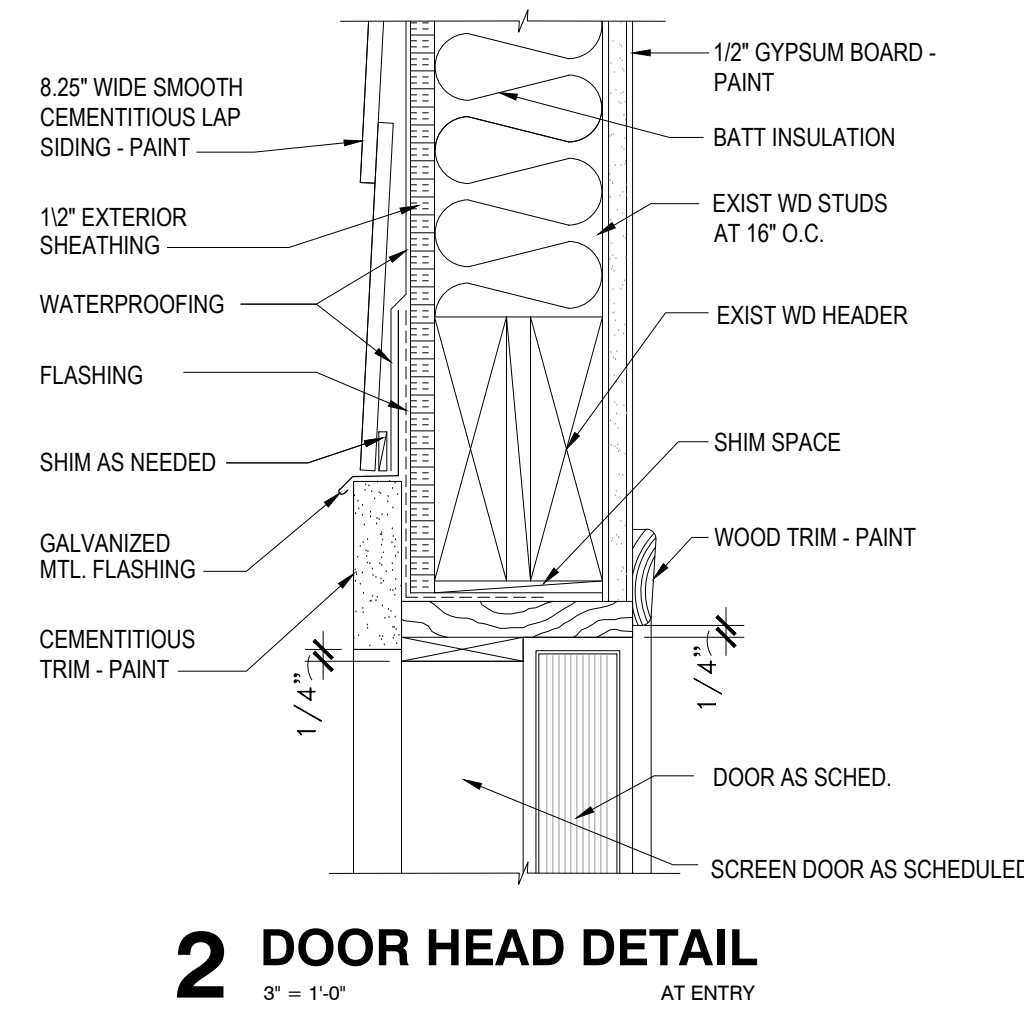
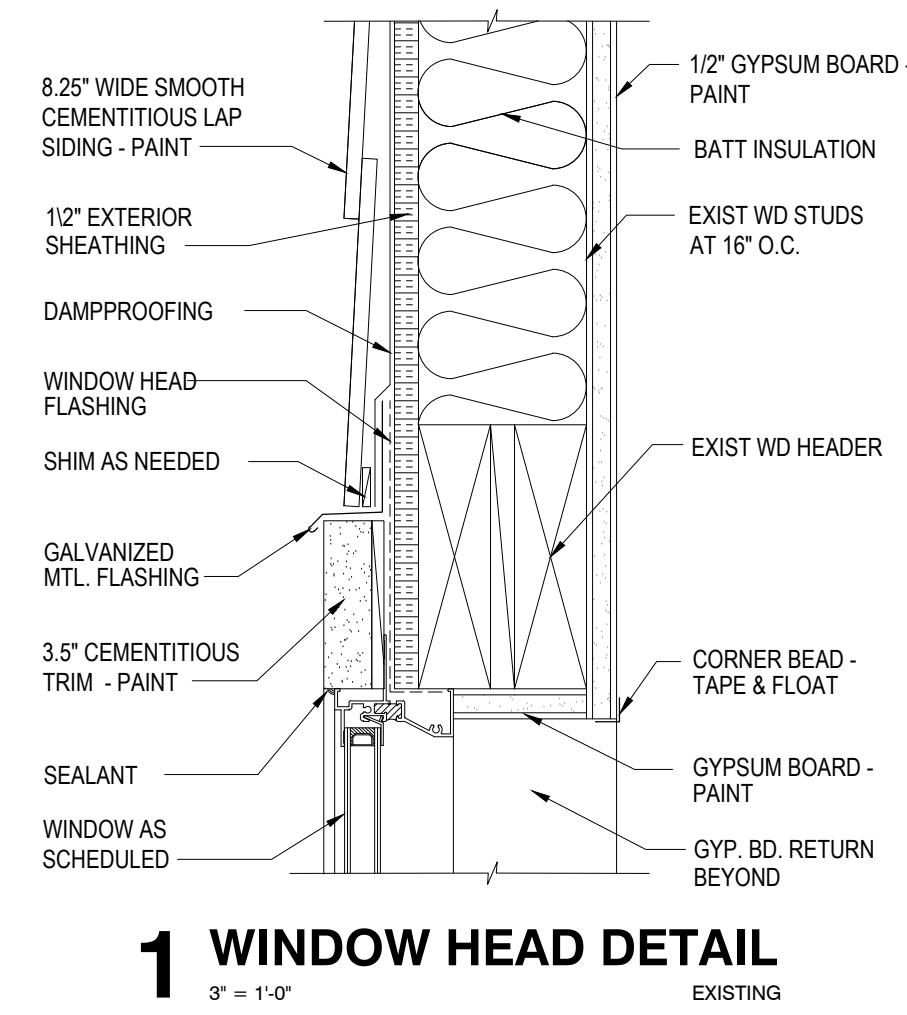
ROOM FINISH SCHEDULE UNIT 1501										
RM #	ROOM NAME	FLOOR	BASE	WALLS				CEILING	CEILING HEIGHT	
				NORTH	SOUTH	WEST	EAST			
101	LIVING ROOM	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	
102	KITCHEN / DINING ROOM	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	
103	BEDROOM #01	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	
104	STORAGE	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	
105	HALL	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	
106	BATH	F2	B2	W1/W2	W1/W2	W1/W2	W1/W2	C1	+/- 8'-0"	
107	BEDROOM #02	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	
108	BEDROOM #03	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	
109	BEDROOM #04	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	
110	BEDROOM #05	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	

ROOM FINISH SCHEDULE UNIT 942										
RM #	ROOM NAME	FLOOR	BASE	WALLS				CEILING	CEILING HEIGHT	
				NORTH	SOUTH	WEST	EAST			
101	LIVING ROOM	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	
102	DINING ROOM	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	
103	KITCHEN	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	
104	HALL	F1	B1	W1	W1	W1	W1	C1	+/- 7'-1"	
105	STORAGE	F1	B1	W1	W1	W1	W1	C1	+/- 7'-1"	
106	BATH	F2	B2	W1/W2	W1/W2	W1/W2	W1/W2	C1	+/- 7'-1"	
107	HEATER ROOM	CONC	W1	W1	W1	W1	W1	C1	+/- 8'-0"	
108	BEDROOM #01	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	
109	BEDROOM #02	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	
110	BEDROOM #03	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	

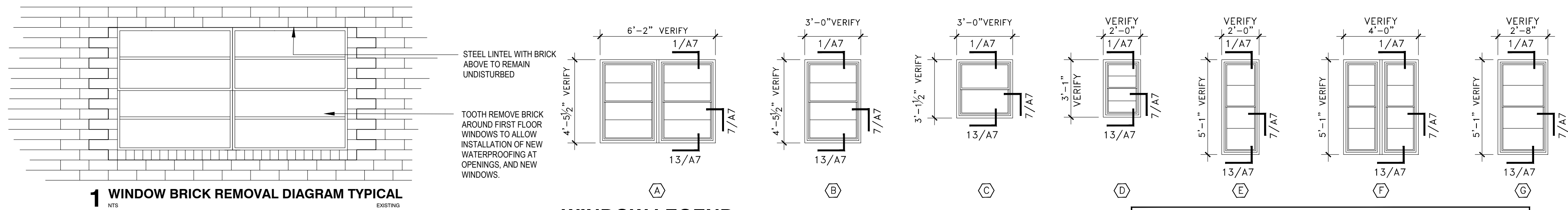
ROOM FINISH SCHEDULE UNIT 1818										
RM #	ROOM NAME	FLOOR	BASE	WALLS				CEILING	CEILING HEIGHT	
				NORTH	SOUTH	WEST	EAST			
101	LIVING ROOM	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	
102	DINING ROOM	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	
103	KITCHEN	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	
104	BEDROOM #01	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	
105	BATH	F2	B2	W1/W2	W1/W2	W1/W2	W1/W2	C1	+/- 8'-0"	
106	HALL	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0" & 7'-0" FURR-DN	
107	BEDROOM #02	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	
108	BEDROOM #03	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	
109	BEDROOM #04	F1	B1	W1	W1	W1	W1	C1	+/- 8'-0"	
110	BATH	F2	B2	W1/W2	W1/W2	W1/W2	W1/W2	C1	+/- 8'-0"	
111	STORAGE	F1	B1	W1	W1	W1	W1	C1	+/- 7'-0"	
112	HEATER ROOM	CONC	W1	W1	W1	W1	W1	C1	+/- 8'-0"	

TOILET ACCESSORIES SCHEDULE				
MARK	DESCRIPTION	MANUFACTURER OR APPROVED EQ.	MODEL NO. OR EQUAL	NOTES
TA - 01	TOILET PAPER HOLDER	SEASONS	818249	BRUSHED NICKEL
TA - 02	SOAP DISH W/ WASHCLOTH HOLDER	DAL-TILE	BA728	USED IN SHOWER
TA - 03	SOPA DISH	DAL-TILE	BA725	USED FOR LAV.
TA - 04	TOWEL BAR BRACKET	DAL-TILE	BA730	USED IN UNIT 942
TA - 05	TOWEL BAR BRACKET	SEASONS	818246	BRUSHED NICKEL
TA - 06	MIRROR 16" X 22" MED. CABINET	HD SUPPLY	404469	-
TA - 07	3 1/2" SHOWERHEAD	TOPANGA	D460041	BRUSHED NICKEL
TA - 08	VANITY LIGHT FIXTURE	-	-	-
TA - 09	BATHROOM HEATER/ LIGHT	-	-	-

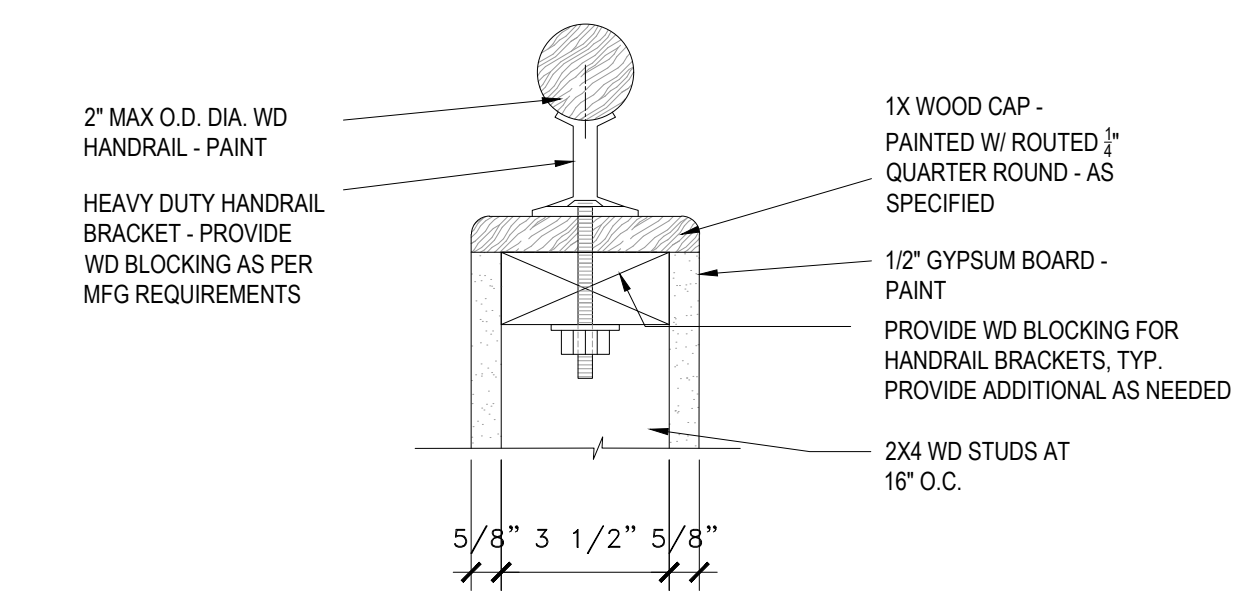
GENERAL NOTES
1. CONTRACTOR TO FIELD VERIFY WITH ARCHITECT PRIOR TO INSTALLATION. NOTE: CONTRACTOR TO SUBMIT FINISH SPECIFICATIONS AND SAMPLES INCLUDING HARDWARE PRIOR TO ORDERING FOR FINAL APPROVAL.
2. ALL SPECIFIED PLUMBING VALVES SHALL BE MOEN.
3. ALL PLUMBING UNDER LAVATORIES, SINKS, AND FAUCETS SHALL BE BRASS WITH CHROME FINISH IN LIEU OF PVC.
4. ALL BATHROOM ACCESSORIES, TOILET, TUB, SINK AND FIXTURE



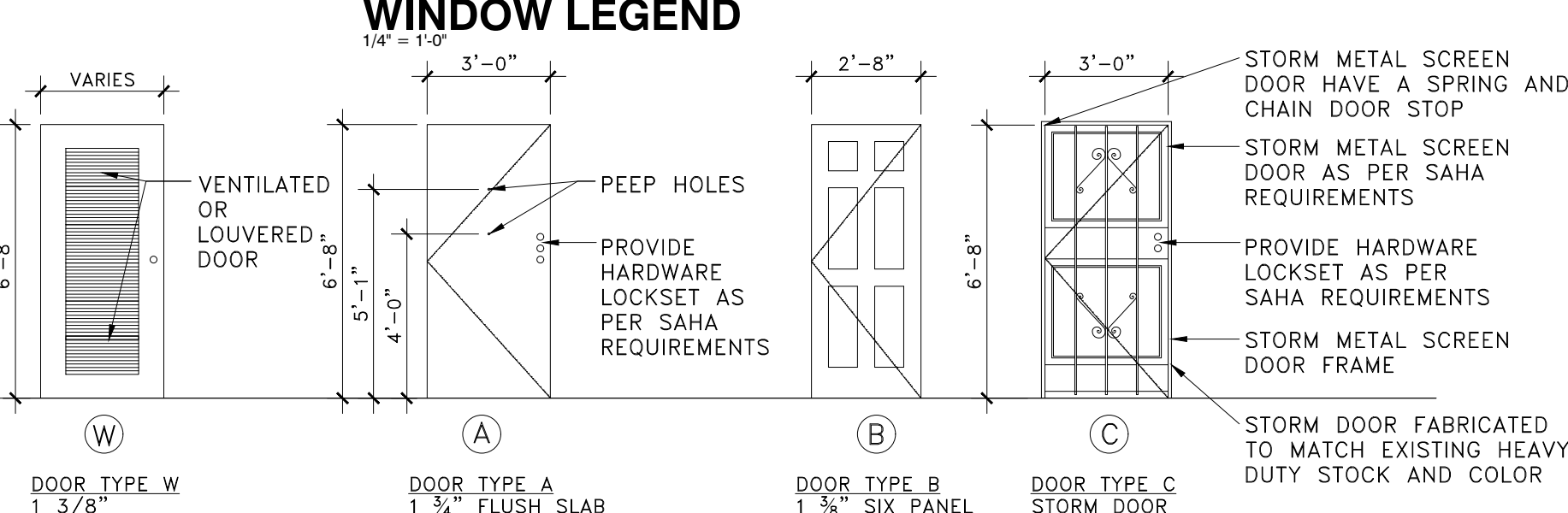
ALL WET WALLS WILL HAVE THE WATERPROOFING FROM FLOOR TO CEILING.
ALL NON WET WALLS WILL HAVE THE WATERPROOFING RISE AT LEAST 16\"/>



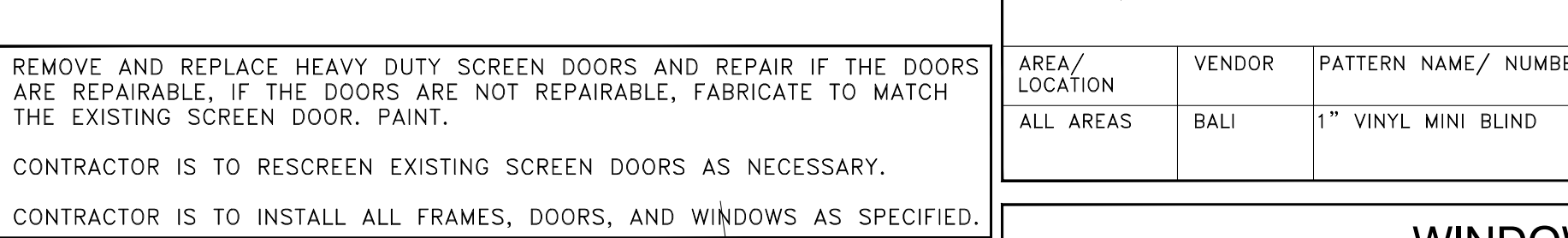
1 WINDOW BRICK REMOVAL DIAGRAM TYPICAL
1/4" = 1'-0"



2 WINDOW SILL DETAIL
3/8" = 1'-0"



WINDOW LEGEND
1/4" = 1'-0"



DOOR LEGEND
1/4" = 1'-0"

GENERAL NOTE:
GENERAL CONTRACTOR SHALL PROVIDE SECURITY WINDOW SCREENS WITH TWO SPRING LATCHES PER SAHA SPECIFICATIONS.

CONTACT INFORMATION:
TAPCO, INC.
800-737-8272
1815 McCULLOUGH BOULEVARD
TUPELO, MS. 38801
ATTN: MR. DON ROBERTS (don@tapcoscreens.com)

CONTRACTOR MUST ENSURE THE NEW SECURITY WINDOW SCREENS ARE INSTALLED PROPERLY AND DO NOT VOID THE WINDOW WARRANTY.

EACH WINDOW SHALL BE PROVIDED WITH 1" VINYL (WHITE) HORIZONTAL MINI BLINDS. PROVIDE PVC HEADRAIL & BOTTOM RAIL.

HARDWARE NOTES:
ALLOW AN ALLOWANCE OF \$200.00 PER DOOR HARDWARE

ALL WINDOW SCREENS ARE TO BE REPLACED AS NECESSARY

REMOVE AND REPLACE HEAVY DUTY SCREEN DOORS AND REPAIR IF THE DOORS ARE REPAIRABLE. IF THE DOORS ARE NOT REPAIRABLE, FABRICATE TO MATCH THE EXISTING SCREEN DOOR. PAINT.

CONTRACTOR IS TO RESCREEN EXISTING SCREEN DOORS AS NECESSARY.

CONTRACTOR IS TO INSTALL ALL FRAMES, DOORS, AND WINDOWS AS SPECIFIED.

ALL HANDRAILS ON STAIRS ARE TO HAVE ADDITIONAL BLOCKING

WINDOW BLINDS

AREA/ LOCATION	VENDOR	PATTERN NAME/ NUMBER	COLOR	FINISH / SIZE	NOTES
ALL AREAS	BALI	1" VINYL MINI BLIND	WHITE	WHITE / VERIFY	WHITE VINYL MINI BLINDS LEAD FREE - PVC HEADRAIL AND BOTTOM MATCHING VALANCE AND HARDWARE- CUSTOM SIZE (INSIDE MOUNT)

WINDOW SCHEDULE

TYPE	ACTION	SIZE	HEAD HT (W/SH)	DETAILS	JAMB	SILL	TYPE	FINISH	NOTES
A B C D E F G	DOUBLE HUNG	VERIFY	VERIFY	VERIFY	VERIFY	VERIFY		ALUMINUM TO MATCH EXISTING	VERIFY ALL WINDOW DIMENSIONS BEFORE ORDERING. ALL EXISTING ROUGH OPENINGS WITH NO WINDOW FRAMES ARE TO HAVE NEW WINDOW FRAMES INSTALLED FOR THE INSTALLATION OF NEW WINDOWS. BRICK OR SIDING IS TO BE REMOVED. NEW WATERPROOFING AND SHEATHING AROUND THE WINDOW AS NECESSARY. RE-INSTALL BRICK OR SIDING AFTER FRAMES, WINDOW AND WATERPROOFING IS INSTALLED. ALL WINDOWS ARE TO BE LOW-E WINDOWS

NOTE: CONTRACTOR TO PROVIDE LIMITED ACCESS/ CHILD SAFETY HARDWARE ON ALL WINDOWS LOCATED ON THE SECOND FLOOR AND IN STAIR WAYS.
NOTE: ALL WINDOWS ARE TO MATCH THE EXISTING WINDOWS.
NOTE: CONTRACTOR IS TO SEAL AND WATERPROOF ALL WINDOWS.
NOTE: ALL WINDOWS IN BEDROOM ARE TO BE EGRESS AND FOLLOW EGRESS SPECIFICATIONS.
NOTE: CONTRACTOR IS TO SEND SPECIFICATION BEFORE ORDERING FOR ARCHITECT AND OWNER APPROVAL.

EXTERIOR FINISH LEGEND

DOOR: ASK CASSIANO MAINTENANCE HEAD: GABLE GONZALES FOR DOOR COLOR. NOTE: MATCH EXISTING COLOR AND FINISH.

WALL FINISH: BRICK AND SIDING - GLIDDEN PREM. EXT. LT/SATIN FINISH - HISTORIC TAN STR#0503. MATCH EXISTING COLOR AND FINISH.

SOFFIT: GLIDDEN PREM. EXT. LT/SATIN FINISH - HISTORIC TAN STR#0503. MATCH EXISTING COLOR AND FINISH.

FASCIA: SAME COLOR AS DOOR COLOR: ASK CASSINO MAINTENANCE HEAD: GABLE GONZALES FOR DOOR COLOR. MATCH EXISTING COLOR AND FIN. WINDOW FRAME: SAME COLOR AS DOOR COLOR: ASK CASSINO MAINTENANCE HEAD: GABLE GONZALES FOR DOOR COLOR. MATCH EXISTING COLOR AND FIN.

WINDOW TRIM: ASK CASSINO MAINTENANCE HEAD: GABLE GONZALES FOR DOOR COLOR. MATCH EXISTING COLOR AND FINISH.

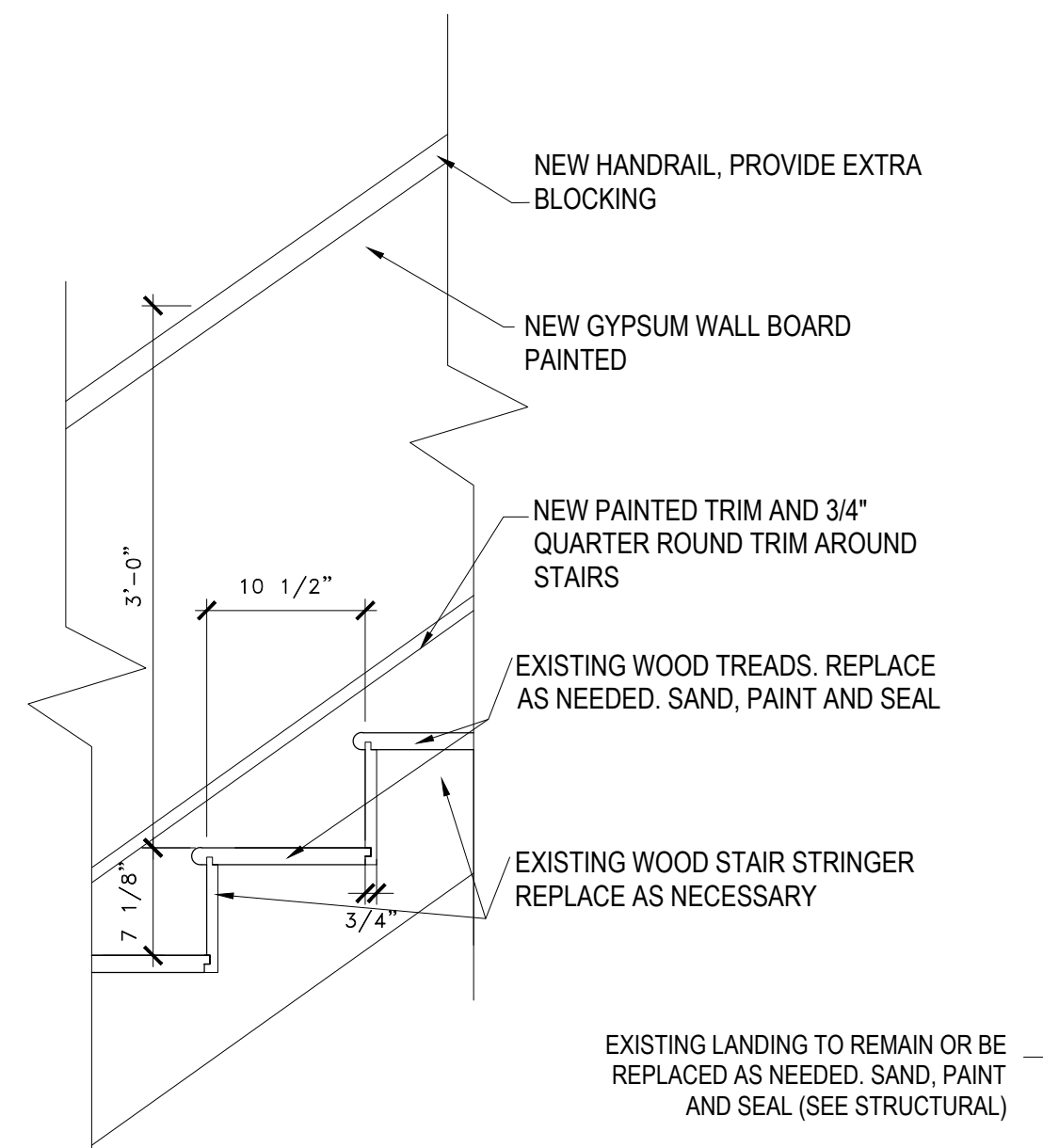
DOOR TRIM: ASK CASSINO MAINTENANCE HEAD: GABLE GONZALES FOR DOOR COLOR. MATCH EXISTING COLOR AND FINISH.

BRICK FLASHING: GLIDDEN PREM. EXT. LT/SATIN FINISH - HISTORIC TAN STR#0503. MATCH EXISTING COLOR AND FINISH.

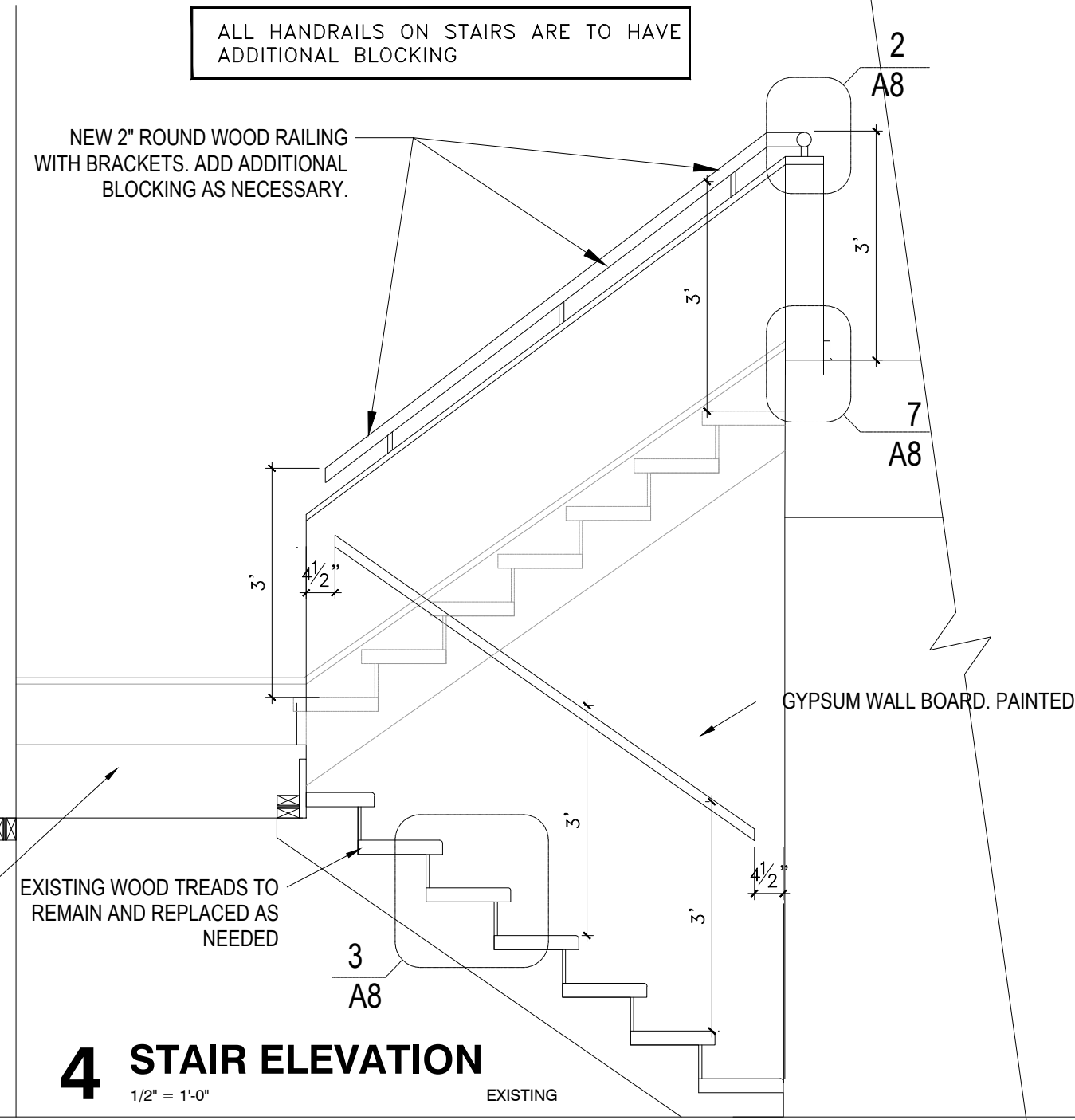
GUTTERS: ASK CASSIANO MAINTENANCE HEAD: GABLE GONZALES FOR GUTTER COLORS. NOTE: MATCH EXISTING TYPE, COLOR AND FINISH.

EXTERIOR LIGHT FIXTURE: OUTDOOR 70W OUTDOOR BRONZE HIGH PRESSURE SODIUM WALLPACK. SEE SPECIFICATION.

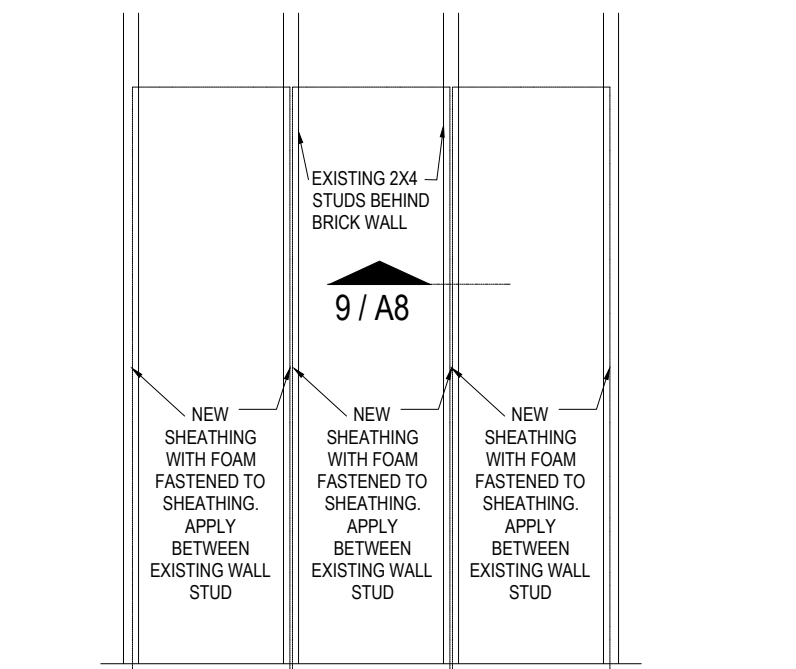
NOTE: ALL SIDING, TRIM, FASCIAS, SOFFITS AND BRICK - MATCH EXISTING TYPE, COLOR, AND FINISH
NOTE: CONTRACTOR IS TO SUBMIT FINISH SPECIFICATIONS AND SAMPLES INCLUDING HARDWARE PRIOR TO ORDERING FOR FINAL APPROVAL.
NOTE: CONTRACTOR IS TO REMOVE EXISTING PEELING PAINT ON CMU AND BRICK WALLS IN ALL UNITS (INTERIOR AND EXTERIOR) TO ACHIEVE A SMOOTH SURFACE CAPABLE OF ADHERING PREMIERE AND PAINT. PAINT 4X4 SAMPLE ON WALL FOR OWNER AND ARCHITECTURAL APPROVAL.



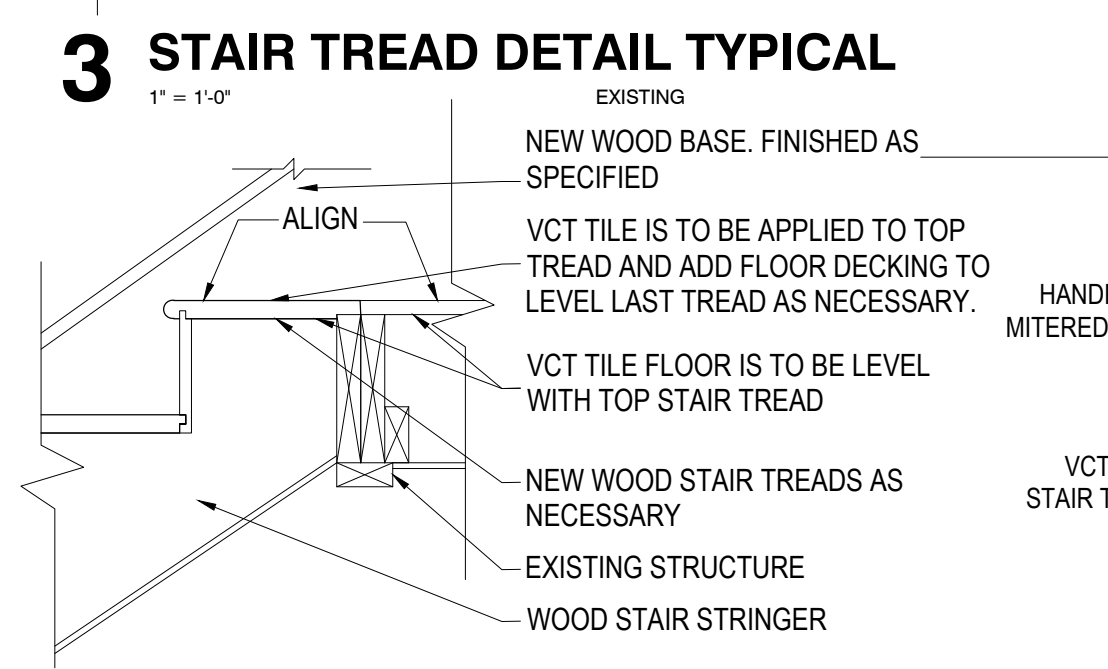
3 STAIR TREAD DETAIL TYPICAL
1" = 1'-0"



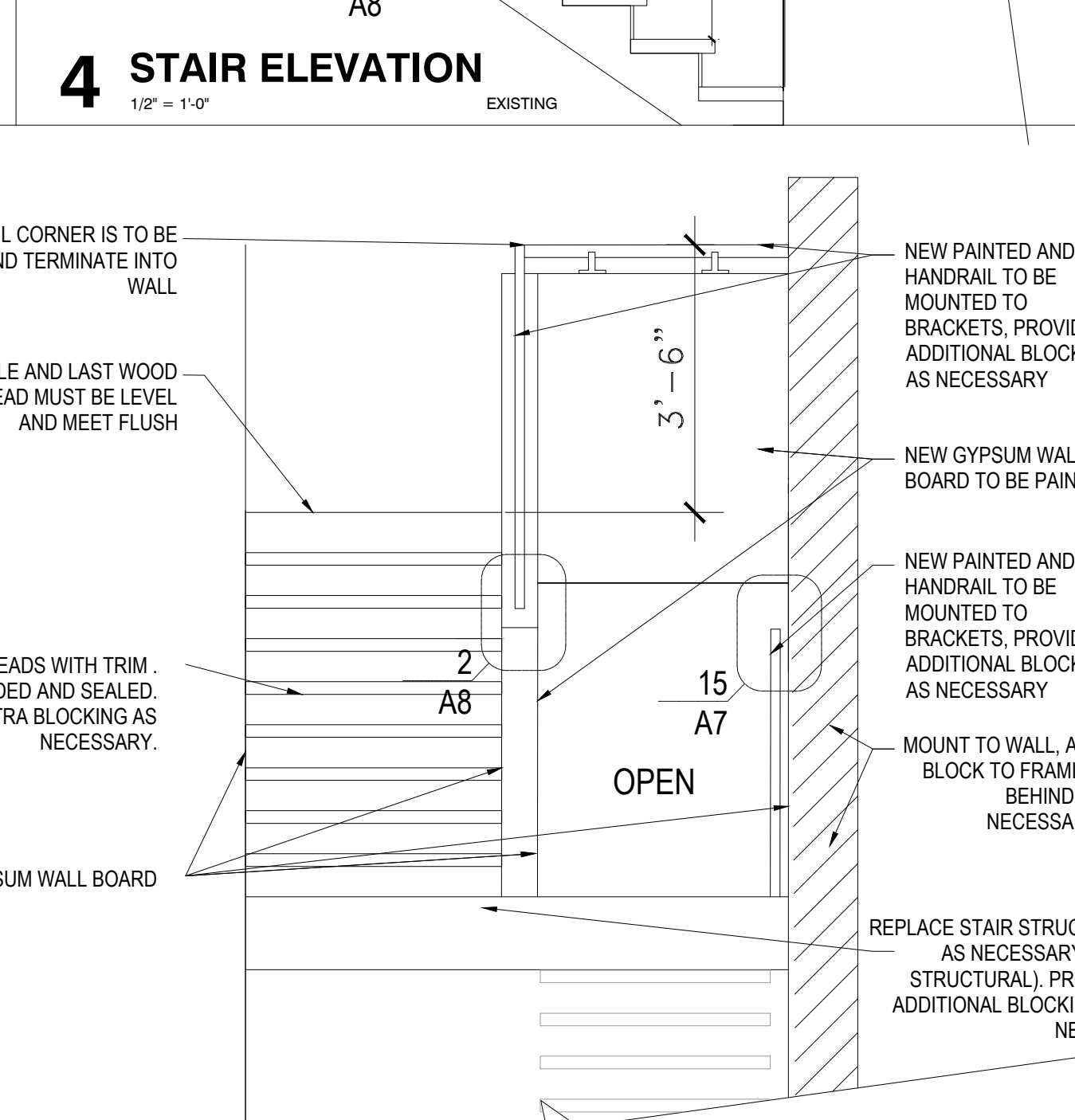
4 STAIR ELEVATION
1/2" = 1'-0"



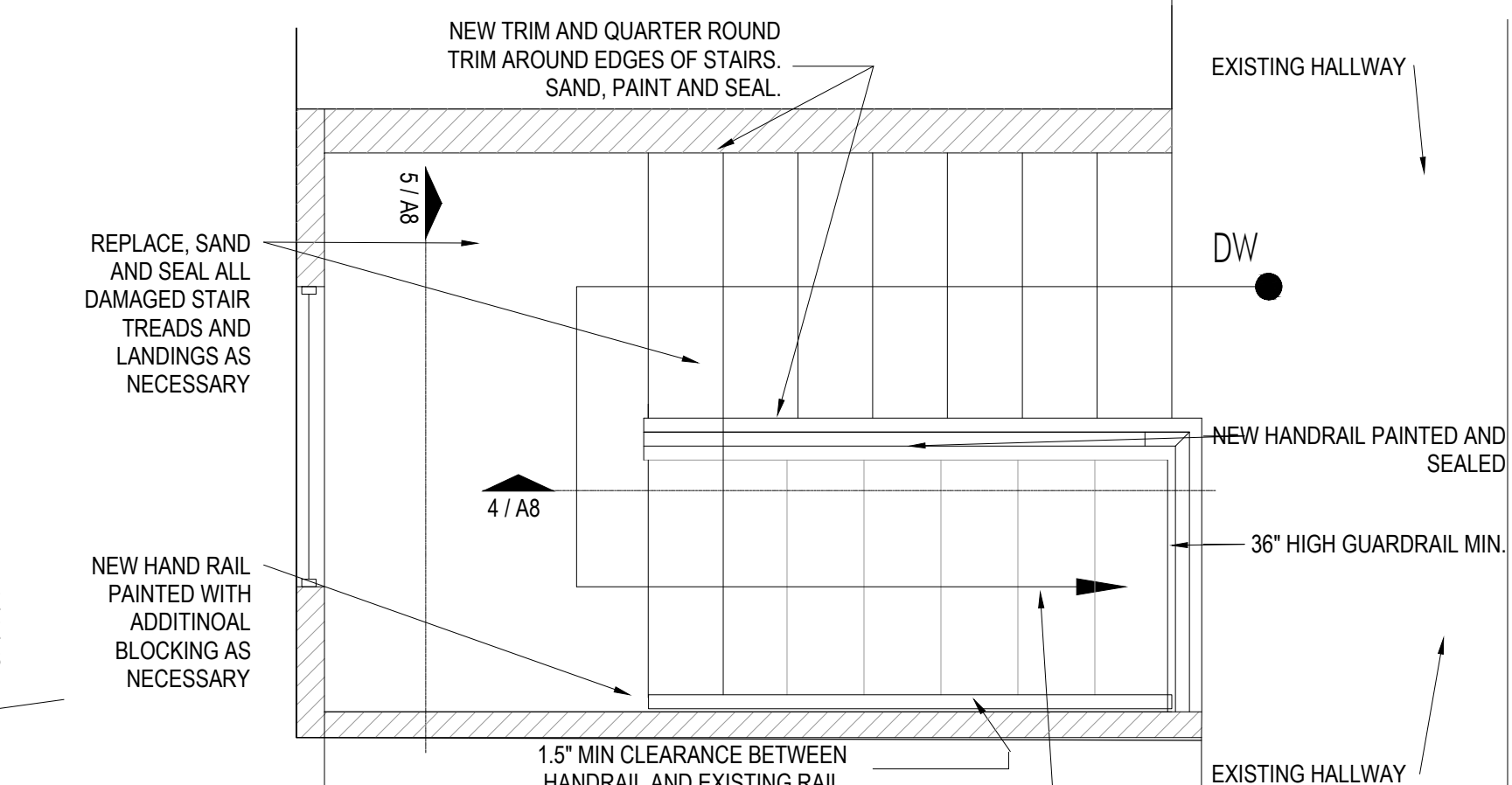
10 MISSING WATERPROOFING BEHIND BRICK DETAIL
1" = 1'-0"



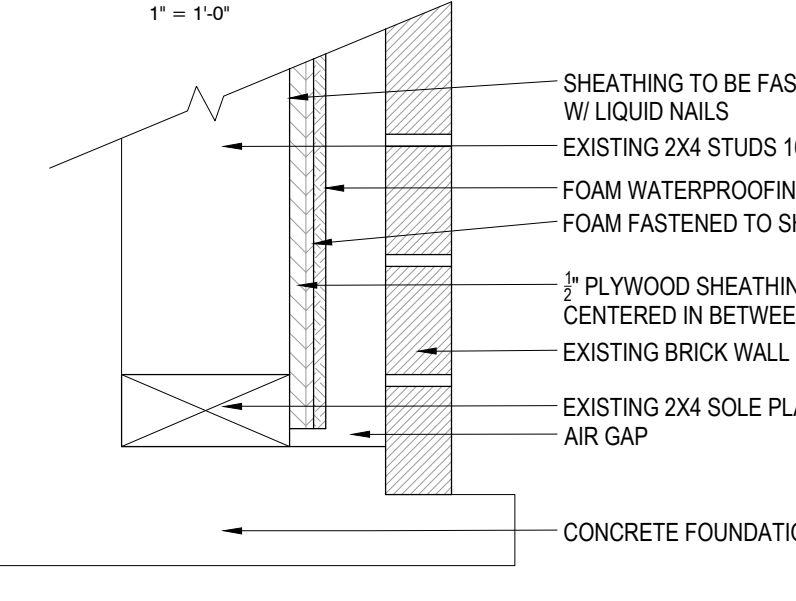
7 STAIR TREAD TO SECOND FLOOR TYPICAL
1" = 1'-0"



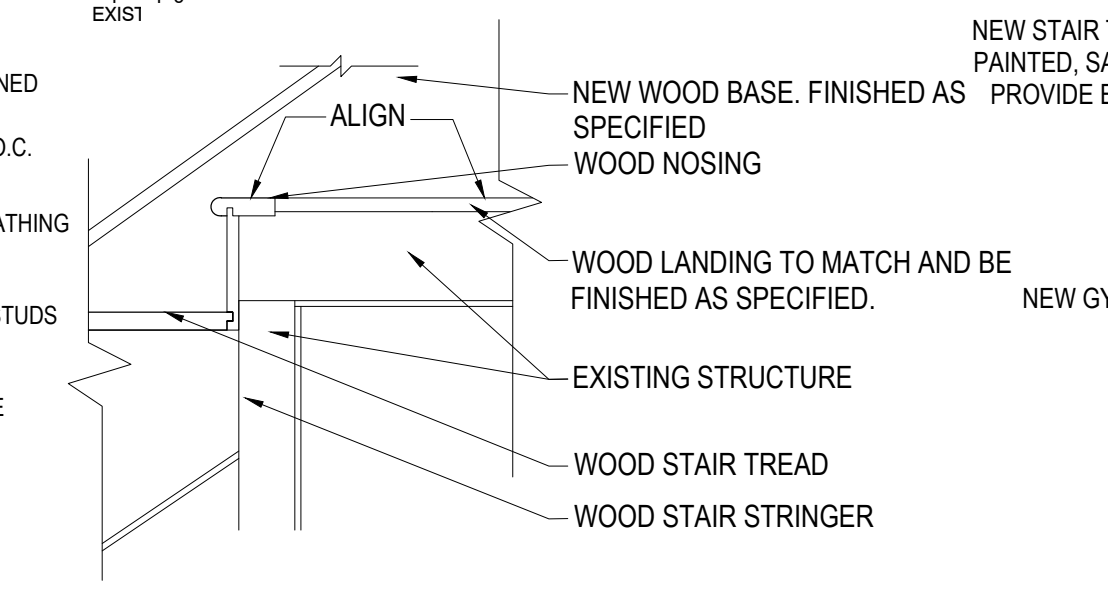
5 STAIR LANDING SECTION
1/2" = 1'-0"



6 STAIR PLAN TYPICAL
1/2" = 1'-0"



9 MISSING WATERPROOFING BEHIND BRICK ELEVATION
1" = 1'-0"



8 STAIR TREAD TO LANDING TYPICAL
1" = 1'-0"

CONTRACTOR IS TO ENSURE ALL PERMITS FOR FIRE INSPECTION ASSESSMENTS ARE ORDERED, MET AND PASSED.

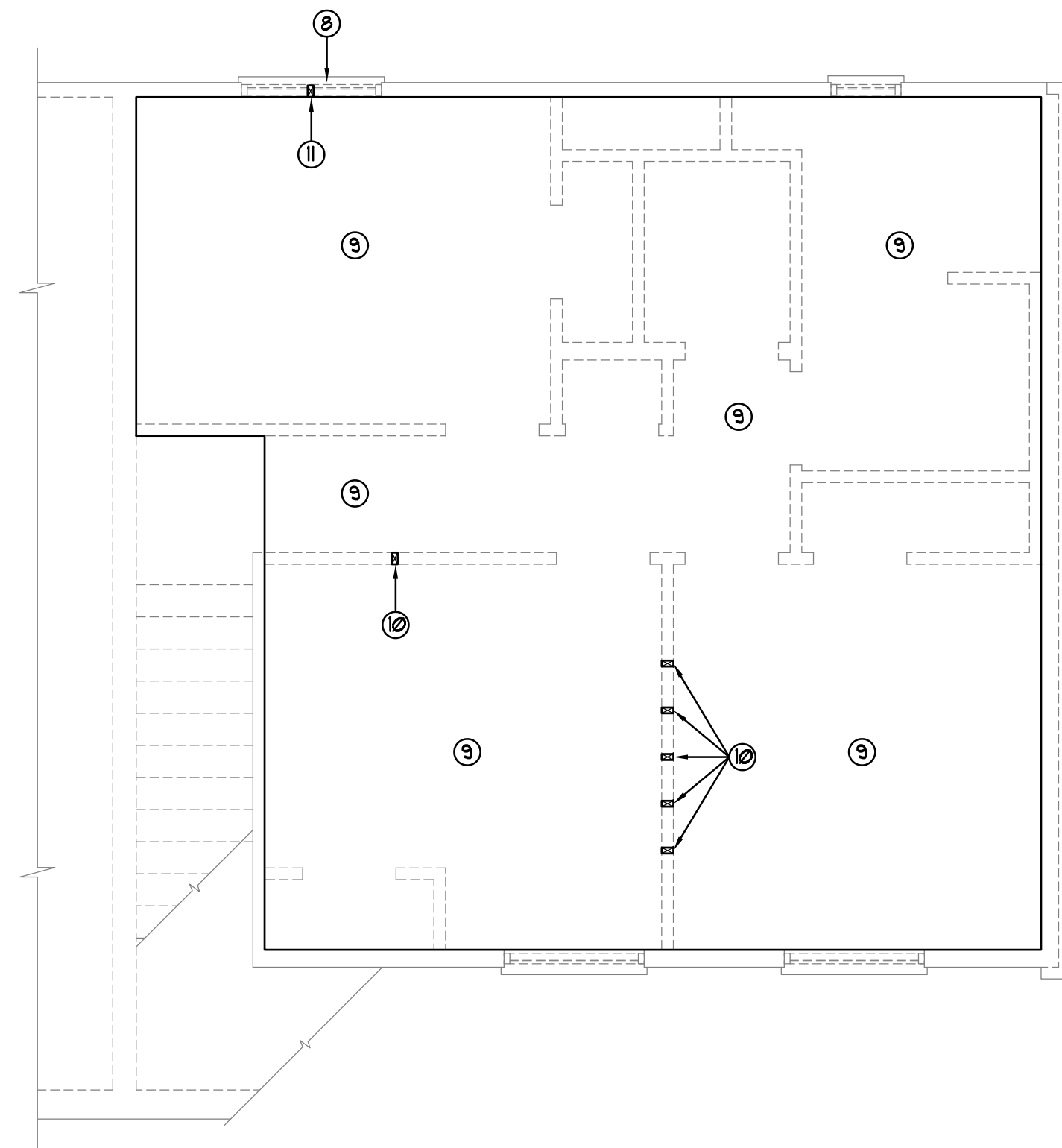
THE ATTACHED ASSESSMENTS AND REVIEW ARE TO BE CONSIDERED PART OF THE BID.

THESE NOTES ARE TO SHOW TRANSPARENCY BETWEEN THE CURRENT BUILDING PROCESS AND PROJECT STATUS. OWNER REQUEST THAT THESE DOCUMENTS BE APART OF THE SET.

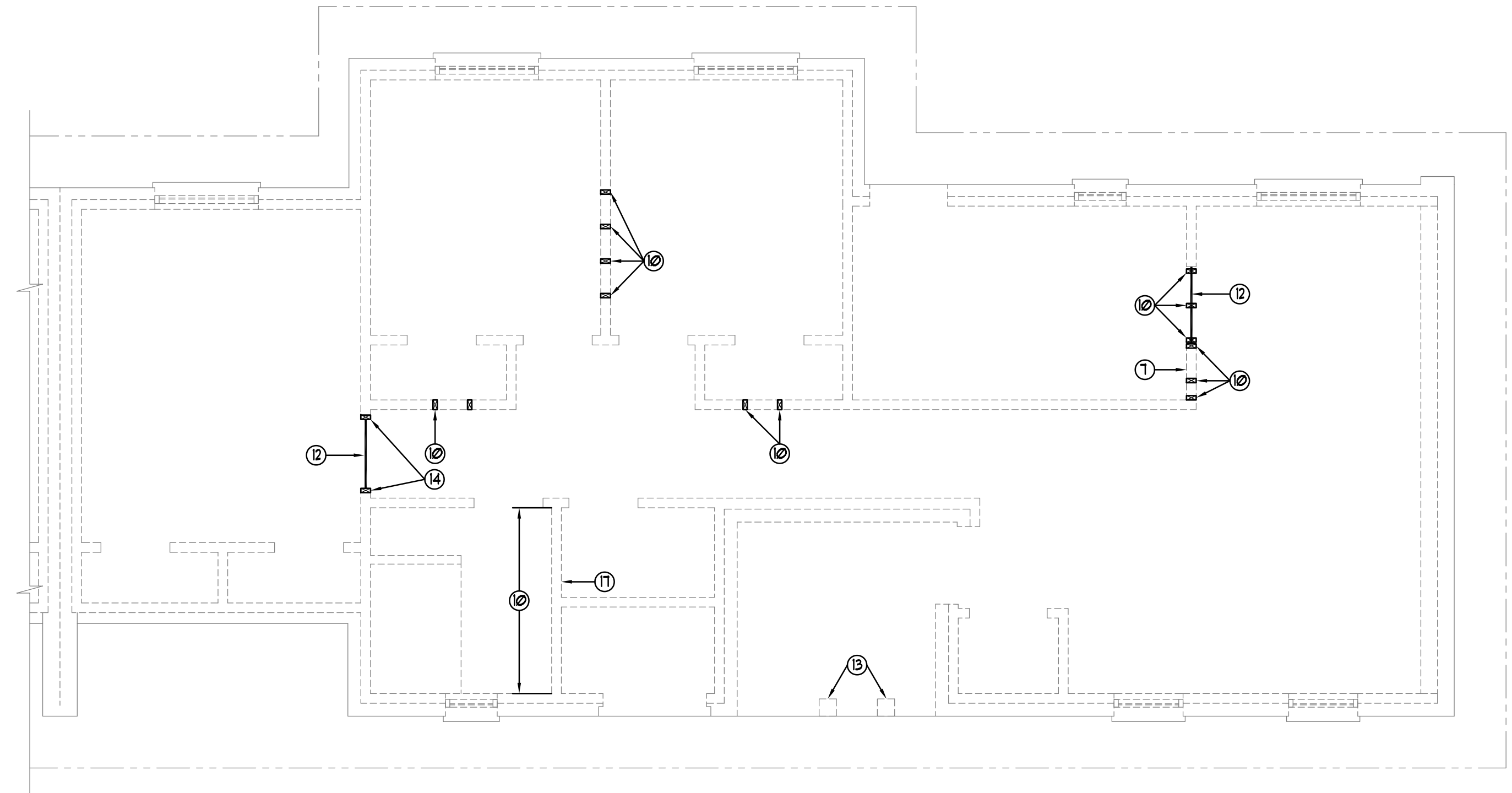
PRELIMINARY PLAN REVIEW NOTES ARE STILL PENDING APPROVAL BY THE CITY.

KEY NOTES

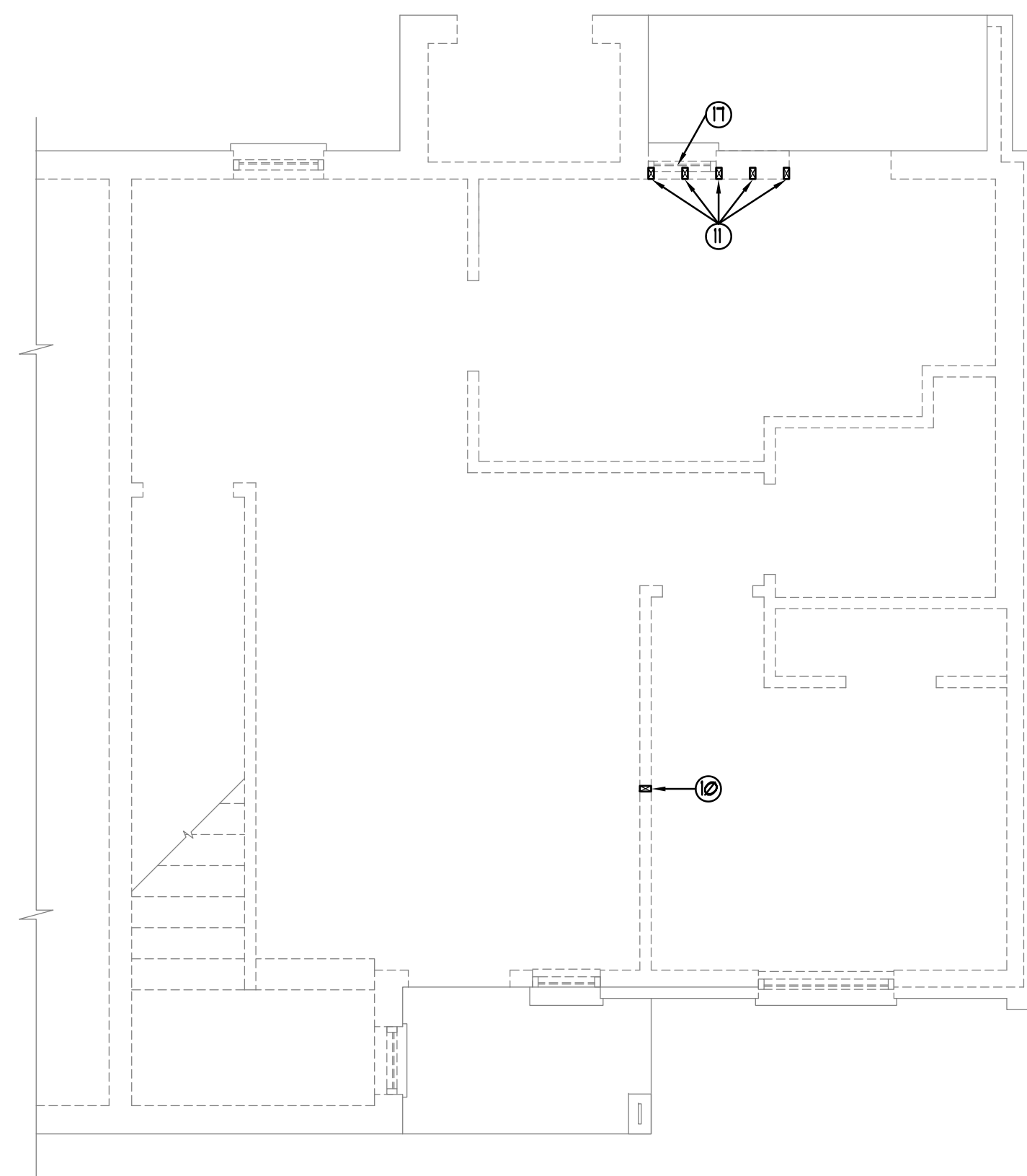
- ① REPLACE EXISTING BURNED 2x3 WALL STUDS WITH NEW 2x3 WALL STUDS AT 16" O.C.
- ② REPLACE EXISTING BURNED 2-2x4 WOOD HEADER WITH NEW 2-2x6 HEADER
- ③ REPLACE EXISTING BURNED WOOD SOFFIT WITH NEW SOFFIT. SEE ARCH. DWGS.
- ④ REPLACE EXISTING BURNED WOOD SIDING. SEE ARCHITECTURAL DRAWINGS FOR HARDIPLANK TYPE AND COLOR.
- ⑤ REPLACE EXISTING BURNED FLOOR DECK WITH 3/4" PLYWOOD FLOOR DECKING.
- ⑥ REPLACE EXISTING BURNED ROOF DECK WITH 1/2" PLYWOOD ROOF DECKING.
- ⑦ REPLACE MISSING 2x3 SOLE PLATE WITH NEW 2x3 SOLE PLATE.
- ⑧ REPLACE EXISTING WATER DAMAGED WINDOW SILL PLATE.
- ⑨ REPLACE EXISTING WATER DAMAGED FLOOR DECK WITH 3/4" PLYWOOD FLOOR DECKING.
- ⑩ REPLACE MISSING 2x3 WALL STUDS AT 16" O.C. WITH NEW 2x3 WALL STUDS.
- ⑪ REPLACE MISSING 2x4 WALL STUDS AT 16" O.C. WITH NEW 2x4 WALL STUDS.
- ⑫ REPLACE 2-2x6 HEADER
- ⑬ EXISTING COLUMNS TO BE REMOVED. EXISTING WOOD BEAM ABOVE TO REMAIN.
- ⑭ REPLACE CRIPPLE STUD WITH NEW 2x3 CRIPPLE STUD.
- ⑮ REPLACE DAMAGED FLOOR DECK WITH 3/4" PLYWOOD FLOOR DECKING.
- ⑯ REPLACE EXISTING WATER DAMAGED SHEATHING WITH 1/2" PLYWOOD WHERE EXISTING MASONRY VENEER OCCURS MASONRY WALL HAVE TO BE REMOVED AND REPLACED.
- ⑰ REPLACE EXISTING WATER DAMAGED 2x4 SOLE PLATE.
- ⑱ REPLACE 2-2x8 HEADER WITH NEW 2-2x8 HEADER
- ⑲ REPLACE EXISTING RAFTER TAILS WITH NEW 2x4 RAFTER TAILS AT ROOF LEVEL.
- ⑳ REPLACE EXISTING BURNED 2x10 AT 16" O.C. FRAMING WITH NEW 2x10 JOISTS AT 16" O.C. (U.N.O.)
- ㉑ REPLACE EXISTING 2x6 OUTLOOKERS WITH NEW 2x6 OUTLOOKERS AT SECOND FLOOR LEVEL.
- ㉒ REPLACE EXISTING BURNED 2x4 WALL STUDS AT 16" O.C., 2x4 SOLE PLATE AND 2-2x4 TOP PLATE WITH NEW MEMBERS OF SAME SIZE AND SPACING.
- ㉓ REPLACE WATER DAMAGED 2x4 WALL STUDS WITH NEW 2x4 WALL STUDS @ 16" O.C.



UNIT A2 - SECOND FLOOR PLAN - UNIT 1818 KROCKER
SCALE : 1/4" = 1'-0" A2-181-2ND



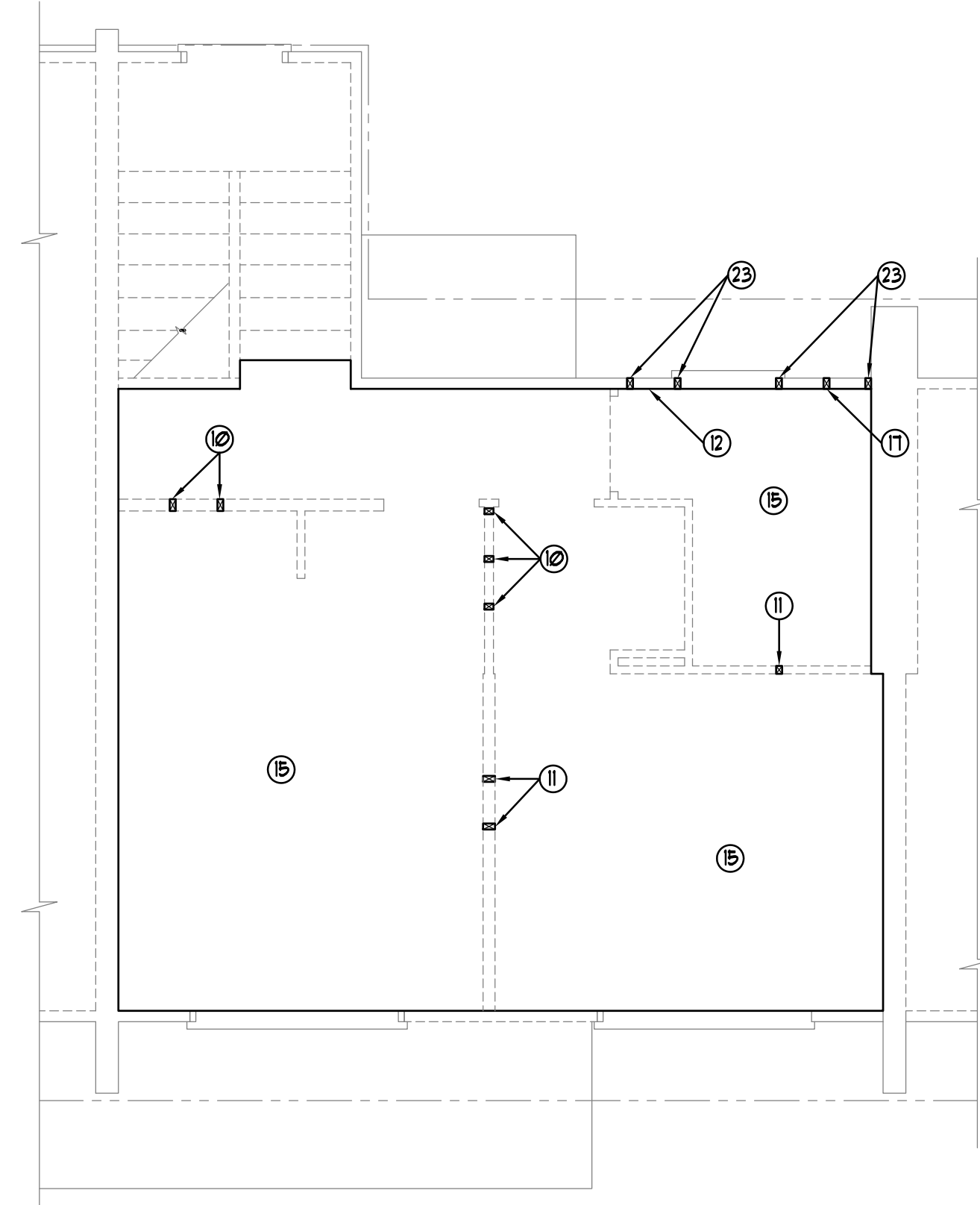
UNIT A1 - FIRST FLOOR PLAN - UNIT 942 MERIDA
SCALE : 1/4" = 1'-0" A1-181



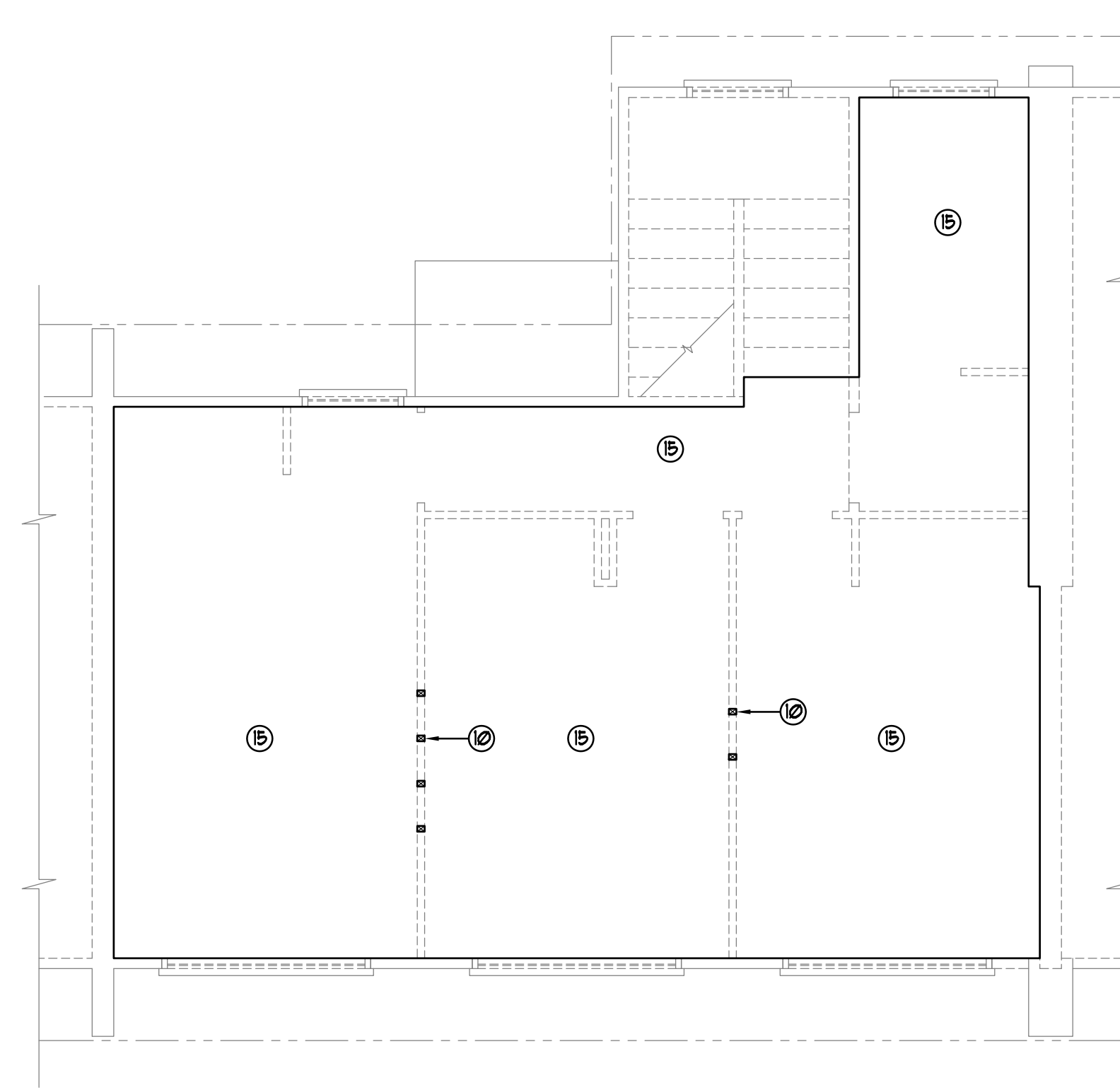
UNIT A2 - FIRST FLOOR PLAN - UNIT 1818 KROCKER
SCALE : 1/4" = 1'-0" A2-181-1ND

KEY NOTES

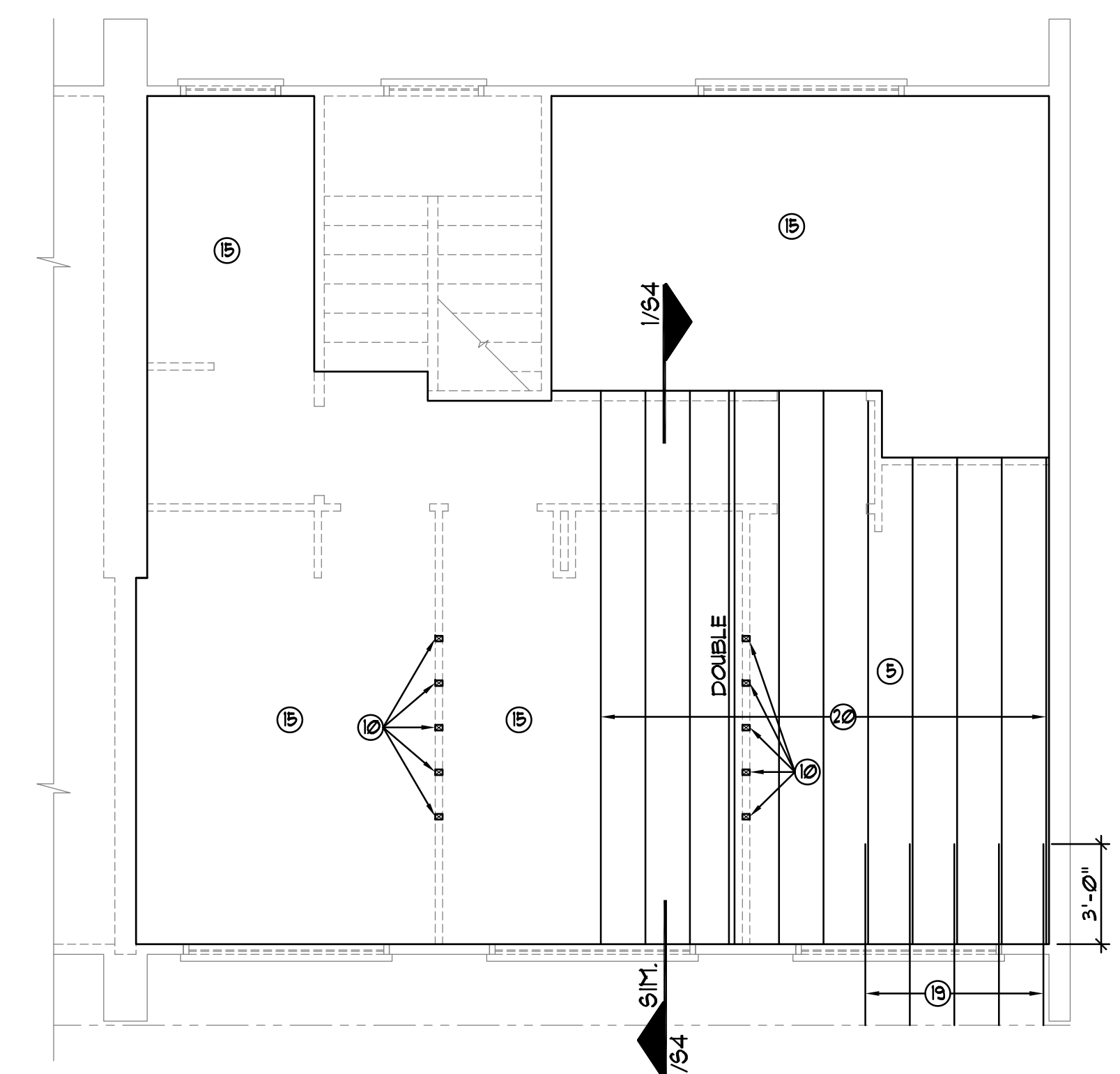
- 1 REPLACE EXISTING BURNED 2x3 WALL STUDS WITH NEW 2x3 WALL STUDS AT 16" O.C.
- 2 REPLACE EXISTING BURNED 2-2x4 WOOD HEADER WITH NEW 2-2x6 HEADER.
- 3 REPLACE EXISTING BURNED WOOD SOFFIT WITH NEW SOFFIT. SEE ARCH. DWGS.
- 4 REPLACE EXISTING BURNED WOOD SIDING. SEE ARCHITECTURAL DRAWINGS FOR HARDPLANK TYPE AND COLOR.
- 5 REPLACE EXISTING BURNED FLOOR DECK WITH 3/4" PLYWOOD FLOOR DECKING.
- 6 REPLACE EXISTING BURNED ROOF DECK WITH 1/2" PLYWOOD ROOF DECKING.
- 7 REPLACE MISSING 2x3 SOLE PLATE WITH NEW 2x3 SOLE PLATE.
- 8 REPLACE EXISTING WATER DAMAGED WINDOW SILL PLATE.
- 9 REPLACE EXISTING WATER DAMAGED FLOOR DECK WITH 3/4" PLYWOOD FLOOR DECKING.
- 10 REPLACE MISSING 2x3 WALL STUDS AT 16" O.C. WITH NEW 2x3 WALL STUDS.
- 11 REPLACE MISSING 2x4 WALL STUDS AT 16" O.C. WITH NEW 2x4 WALL STUDS.
- 12 REPLACE 2-2x6 HEADER.
- 13 EXISTING COLUMNS TO BE REMOVED. EXISTING WOOD BEAM ABOVE TO REMAIN.
- 14 REPLACE CRIPPLE STUD WITH NEW 2x3 CRIPPLE STUD.
- 15 REPLACE DAMAGED FLOOR DECK WITH 3/4" PLYWOOD FLOOR DECKING.
- 16 REPLACE EXISTING WATER DAMAGED SHEATHING WITH 1/2" PLYWOOD, WHERE EXISTING MASONRY VENEER OCCURS MASONRY WALL HAVE TO BE REMOVED AND REPLACED.
- 17 REPLACE EXISTING WATER DAMAGED 2x4 SOLE PLATE.
- 18 REPLACE 2-2x8 HEADER WITH NEW 2-2x8 HEADER.
- 19 REPLACE EXISTING RAFTER TAILS WITH NEW 2x4 RAFTER TAILS AT ROOF LEVEL.
- 20 REPLACE EXISTING BURNED 2x10 AT 16" O.C. FRAMING WITH NEW 2x10 JOISTS AT 16" O.C. (U.N.O.)
- 21 REPLACE EXISTING 2x6 OUTLOOKERS WITH NEW 2x6 OUTLOOKERS AT SECOND FLOOR LEVEL.
- 22 REPLACE EXISTING BURNED 2x4 WALL STUDS AT 16" O.C., 2x4 SOLE PLATE AND 2-2x4 TOP PLATE WITH NEW MEMBERS OF SAME SIZE AND SPACING.
- 23 REPLACE WATER DAMAGED 2x4 WALL STUDS WITH NEW 2x4 WALL STUDS @ 16" O.C.



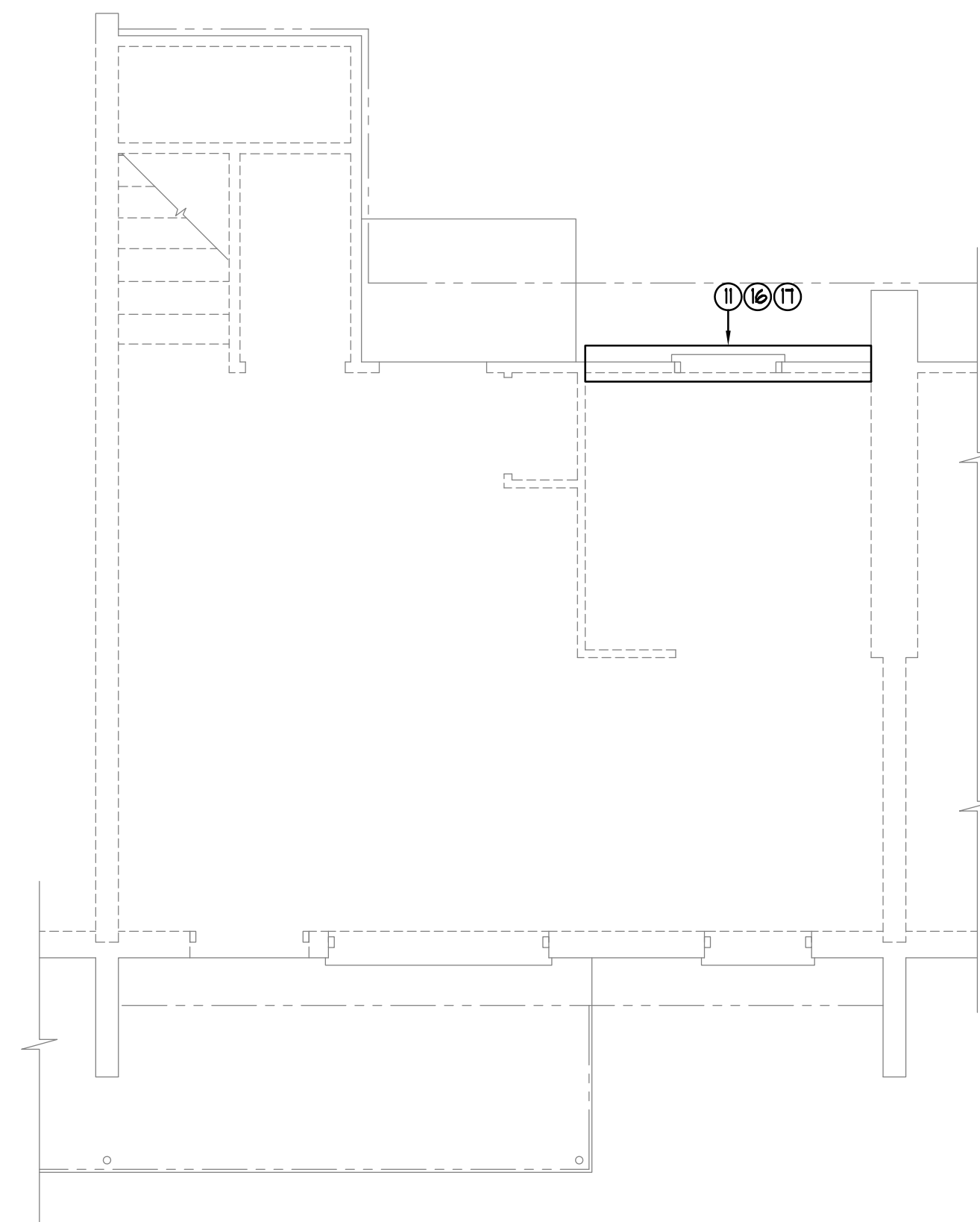
UNIT B - SECOND FLOOR PLAN - UNIT 103 SAN LINO
SCALE : 1/4" = 1'-0" UNIT B-187-2ND



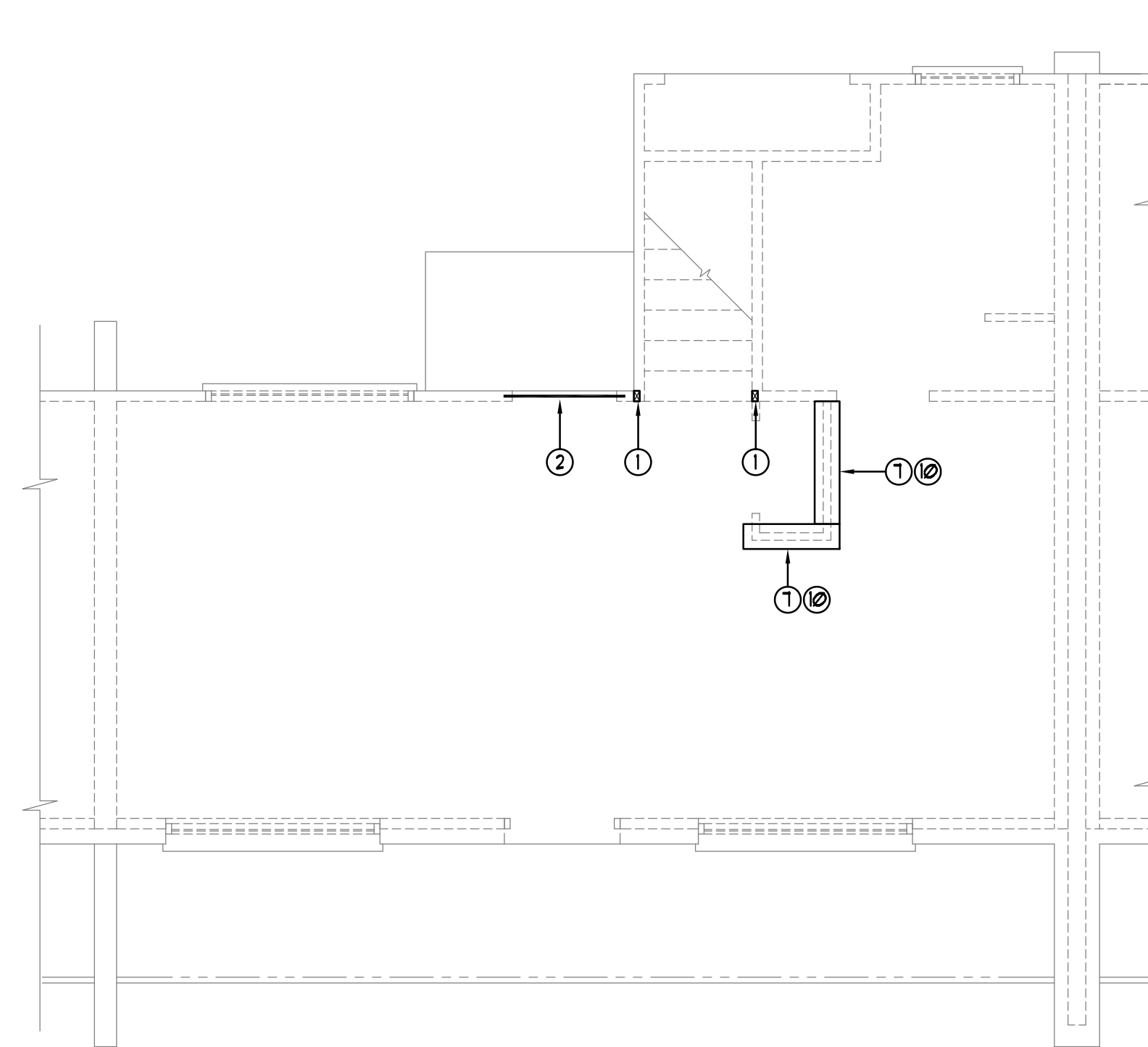
UNIT C - SECOND FLOOR PLAN - UNIT 1523 SAN CARLOS
SCALE : 1/4" = 1'-0" UNIT C-187-2ND



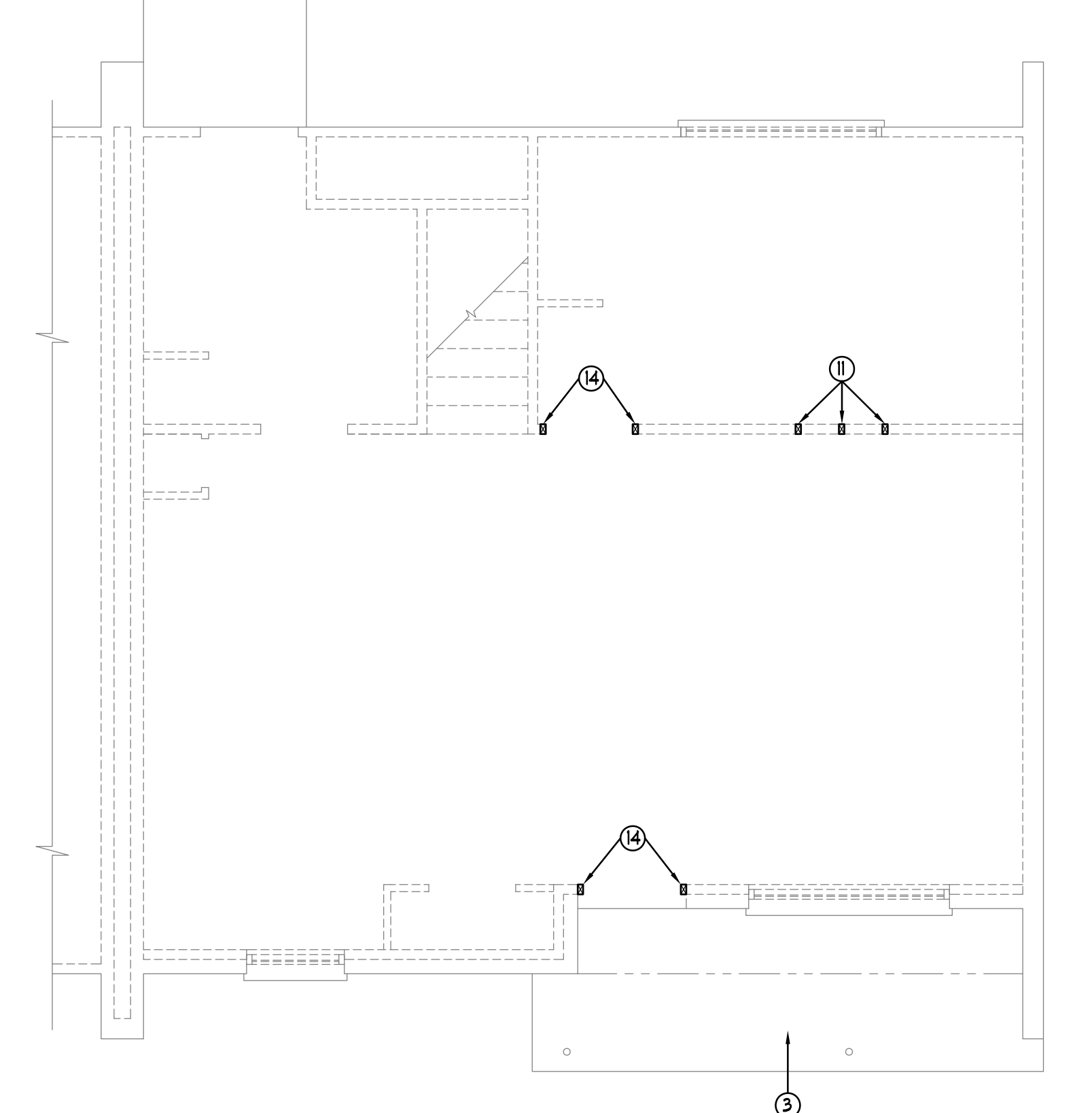
UNIT E - SECOND FLOOR PLAN - UNIT 1501 SAN CARLOS
SCALE : 1/4" = 1'-0" UNIT E-187-2ND



UNIT B - FIRST FLOOR PLAN UNIT 103 SAN LINO
SCALE : 1/4" = 1'-0" UNIT B-187-2ND



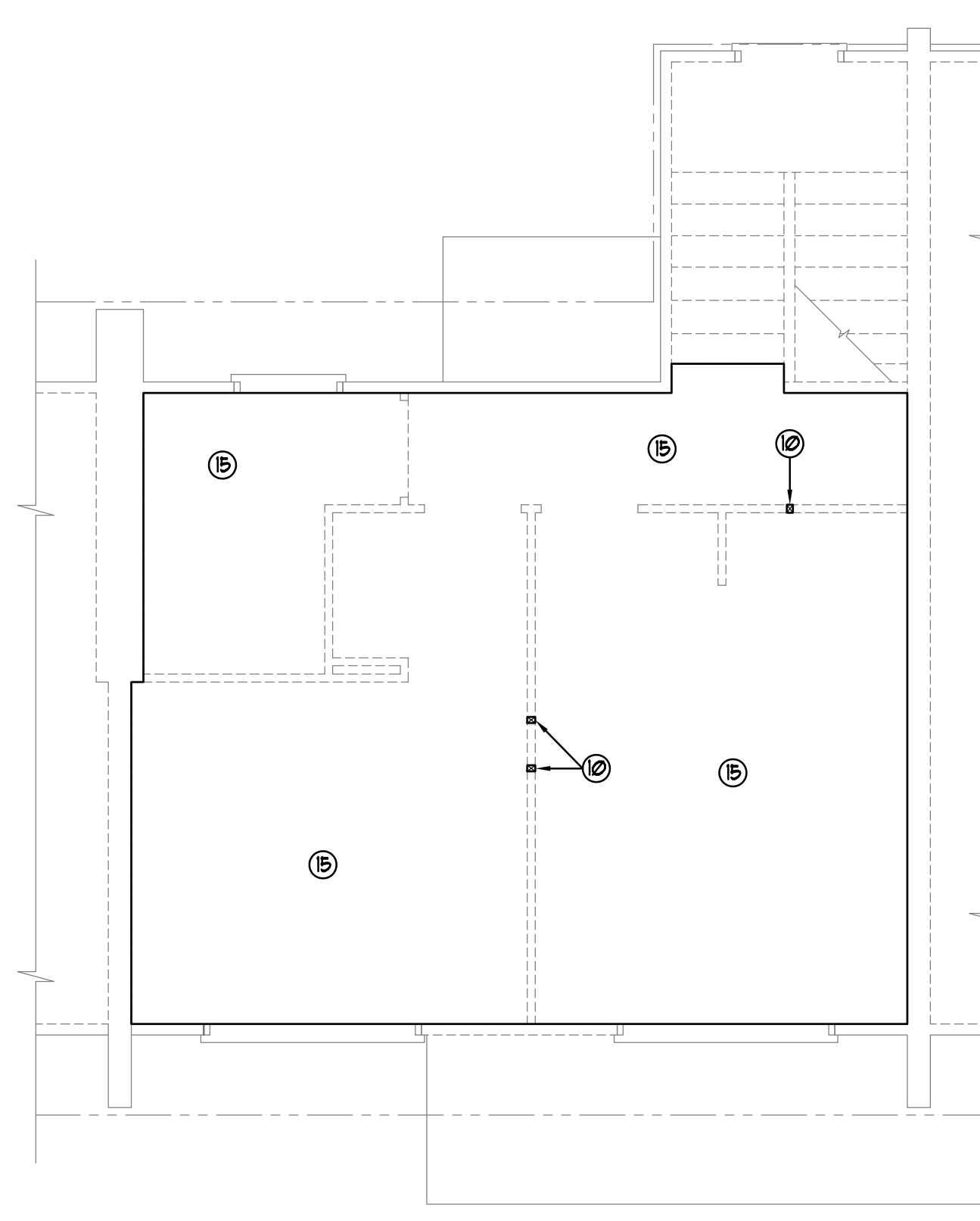
UNIT C - FIRST FLOOR PLAN UNIT 1523 SAN CARLOS
SCALE : 1/4" = 1'-0" UNIT C-187-2ND



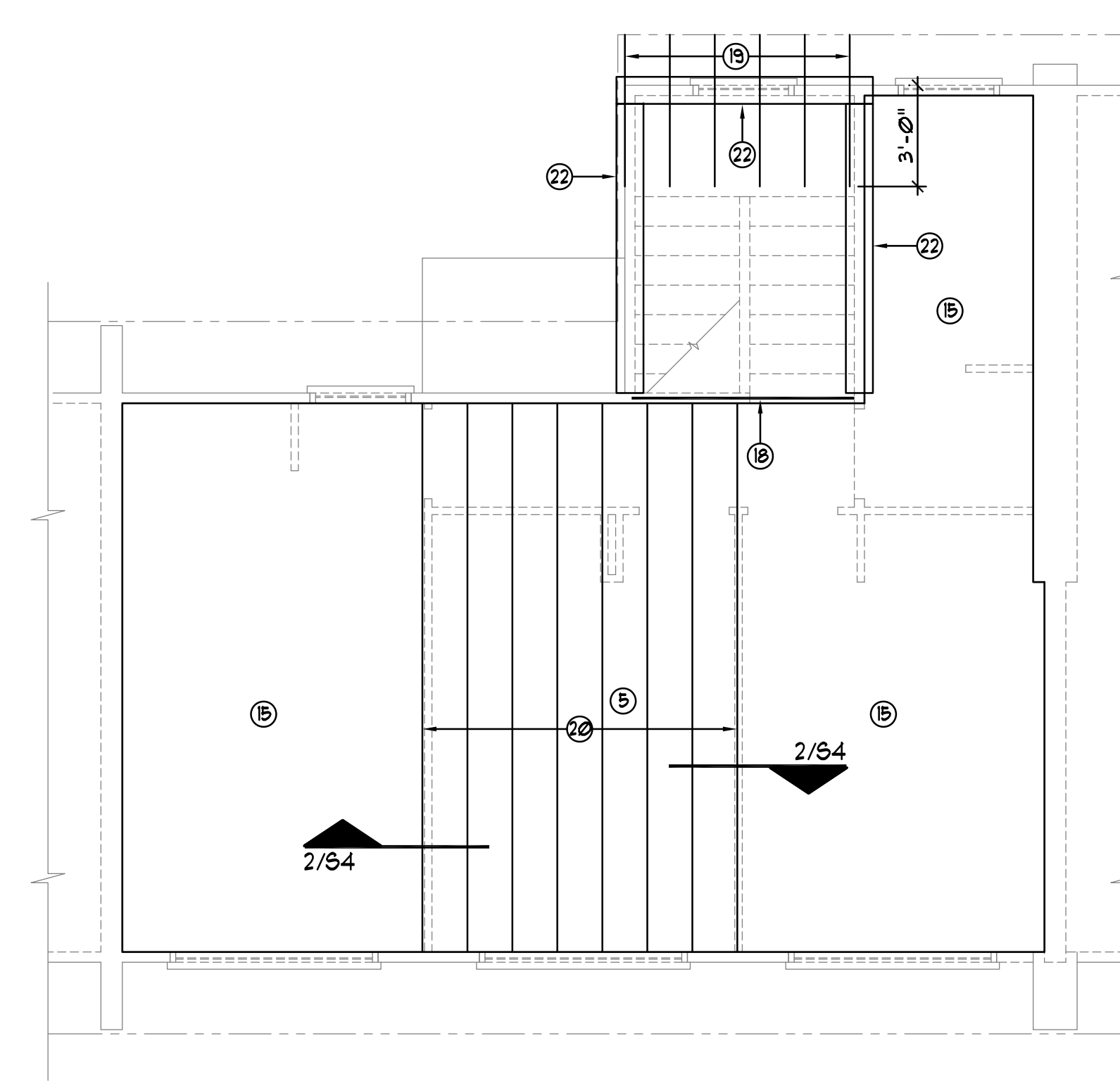
UNIT E - FIRST FLOOR PLAN UNIT 1501 SAN CARLOS
SCALE : 1/4" = 1'-0" UNIT E-187-2ND

KEY NOTES

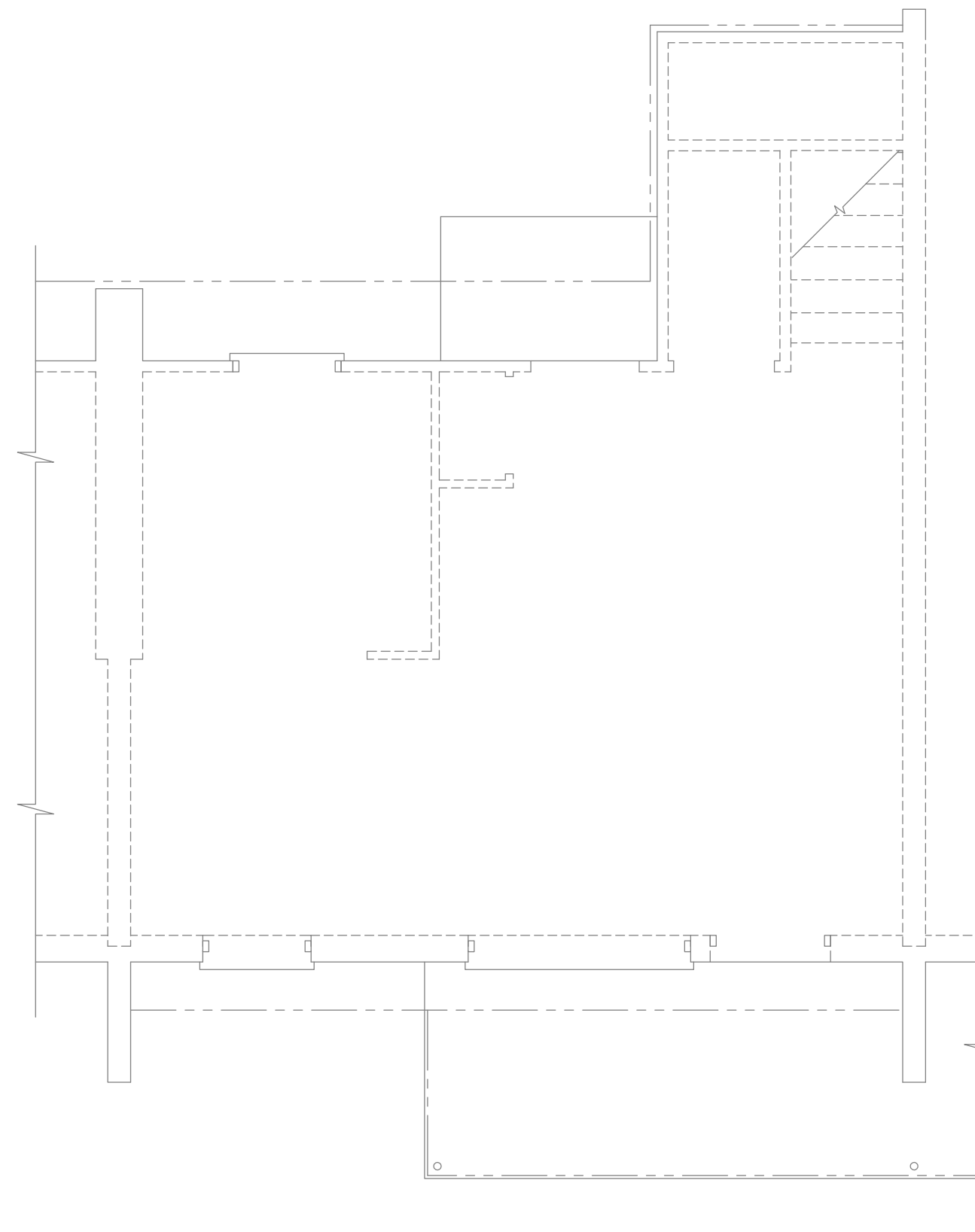
- 1 REPLACE EXISTING BURNED 2x3 WALL STUDS WITH NEW 2x3 WALL STUDS AT 16" O.C.
- 2 REPLACE EXISTING BURNED 2-2x4 WOOD HEADER WITH NEW 2-2x6 HEADER.
- 3 REPLACE EXISTING BURNED WOOD SOFFIT WITH NEW SOFFIT. SEE ARCH. DWGS.
- 4 REPLACE EXISTING BURNED WOOD SIDING. SEE ARCHITECTURAL DRAWINGS FOR HARDIPLANK TYPE AND COLOR.
- 5 REPLACE EXISTING BURNED FLOOR DECK WITH 3/4" PLYWOOD FLOOR DECKING.
- 6 REPLACE EXISTING BURNED ROOF DECK WITH 1/2" PLYWOOD ROOF DECKING.
- 7 REPLACE MISSING 2x3 SOLE PLATE WITH NEW 2x3 SOLE PLATE.
- 8 REPLACE EXISTING WATER DAMAGED WINDOW SILL PLATE.
- 9 REPLACE EXISTING WATER DAMAGED FLOOR DECK WITH 3/4" PLYWOOD FLOOR DECKING.
- 10 REPLACE MISSING 2x3 WALL STUDS AT 16" O.C. WITH NEW 2x3 WALL STUDS.
- 11 REPLACE MISSING 2x4 WALL STUDS AT 16" O.C. WITH NEW 2x4 WALL STUDS.
- 12 REPLACE 2-2x6 HEADER.
- 13 EXISTING COLUMNS TO BE REMOVED. EXISTING WOOD BEAM ABOVE TO REMAIN.
- 14 REPLACE CRIPPLE STUD WITH NEW 2x3 CRIPPLE STUD.
- 15 REPLACE DAMAGED FLOOR DECK WITH 3/4" PLYWOOD FLOOR DECKING.
- 16 REPLACE EXISTING WATER DAMAGED SHEATHING WITH 1/2" PLYWOOD, WHERE EXISTING MASONRY VENEER OCCURS MASONRY WALL HAVE TO BE REMOVED AND REPLACED.
- 17 REPLACE EXISTING WATER DAMAGED 2x4 SOLE PLATE.
- 18 REPLACE 2-2x8 HEADER WITH NEW 2-2x8 HEADER.
- 19 REPLACE EXISTING RAFTER TAILS WITH NEW 2x4 RAFTER TAILS AT ROOF LEVEL.
- 20 REPLACE EXISTING BURNED 2x10 AT 16" O.C. FRAMING WITH NEW 2x10 JOISTS AT 16" O.C. (U.N.O.)
- 21 REPLACE EXISTING 2x6 OUTLOOKERS WITH NEW 2x6 OUTLOOKERS AT SECOND FLOOR LEVEL.
- 22 REPLACE EXISTING BURNED 2x4 WALL STUDS AT 16" O.C., 2x4 SOLE PLATE AND 2-2x4 TOP PLATE WITH NEW MEMBERS OF SAME SIZE AND SPACING.
- 23 REPLACE WATER DAMAGED 2x4 WALL STUDS WITH NEW 2x4 WALL STUDS @ 16" O.C.



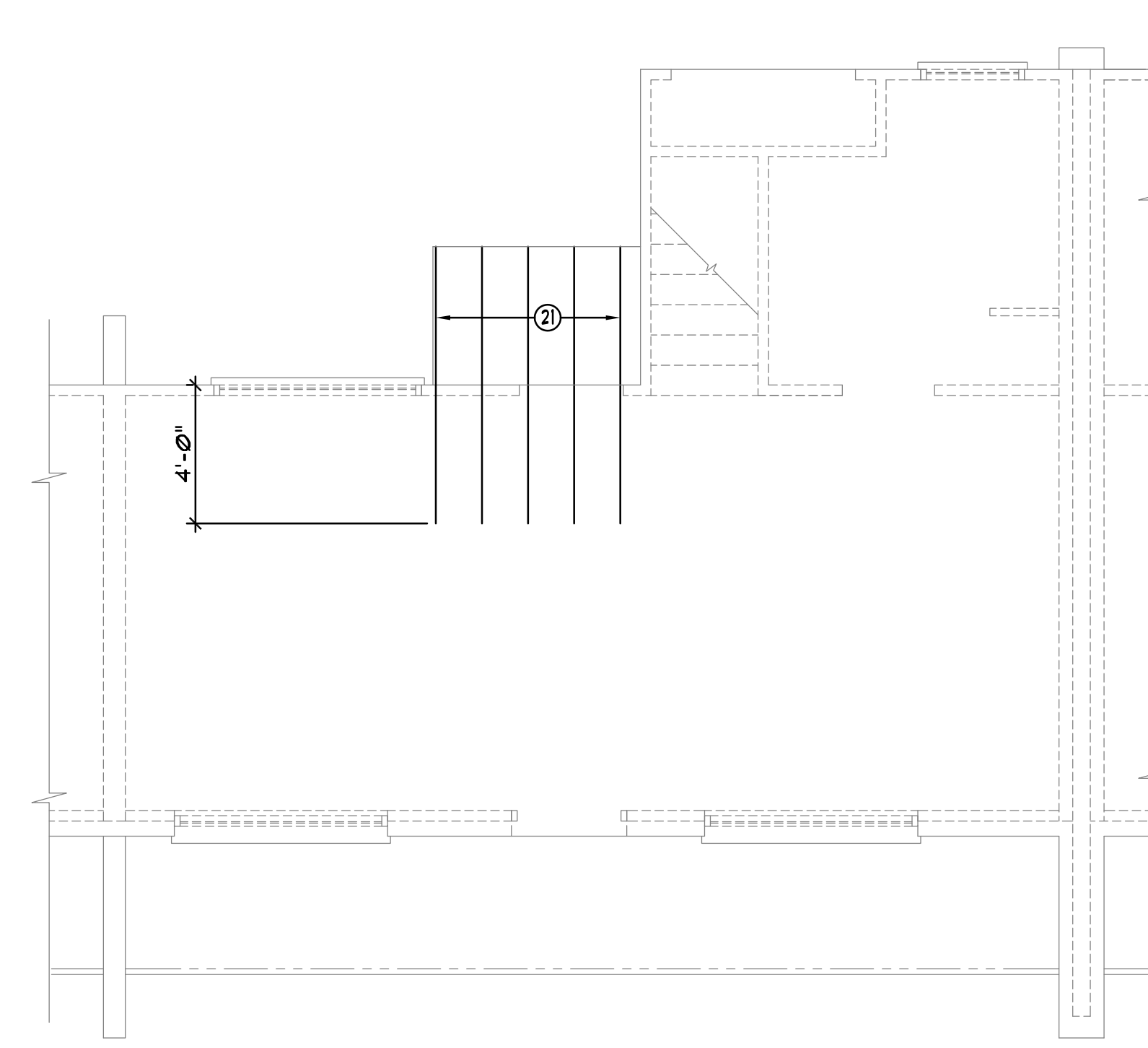
UNIT B - SECOND FLOOR PLAN - UNIT 2404 TAMPICO
SCALE: 1/4" = 1'-0" UNIT 2404



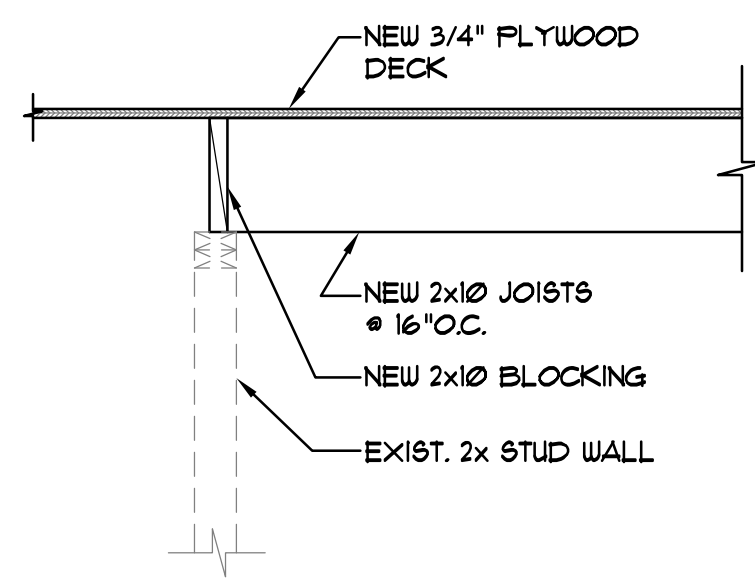
UNIT C - SECOND FLOOR PLAN - UNIT 3023 S LAREDO
SCALE: 1/4" = 1'-0" UNIT 3023



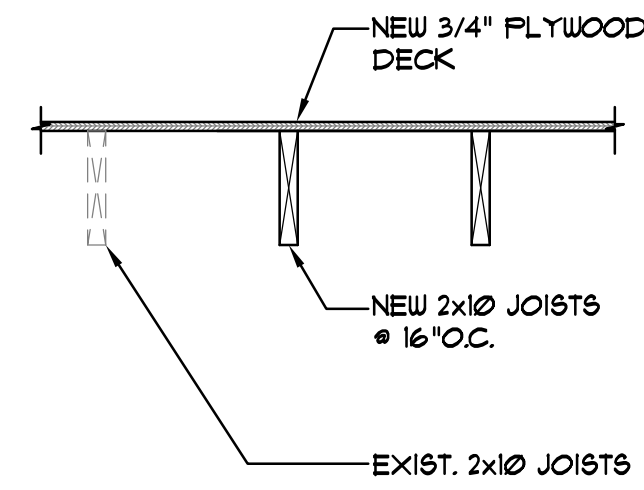
UNIT B - FIRST FLOOR PLAN - UNIT 2404 TAMPICO
SCALE: 1/4" = 1'-0" UNIT 2404



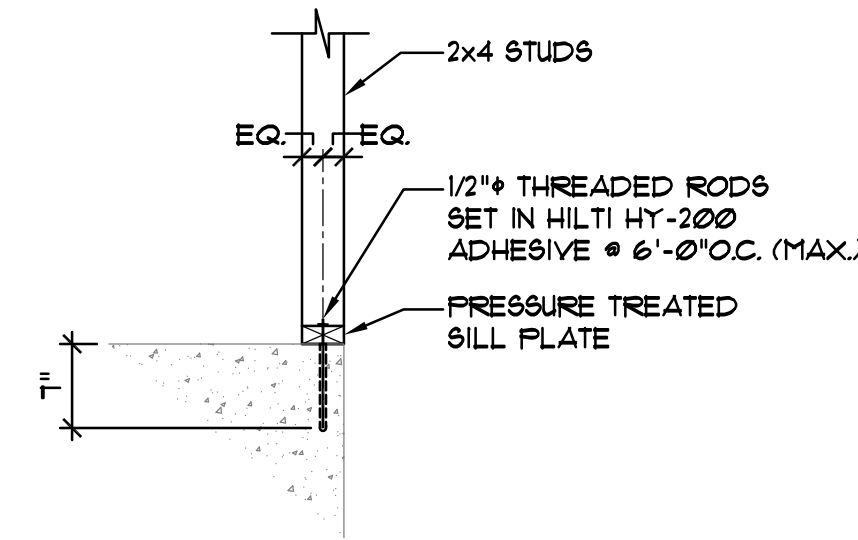
UNIT C - FIRST FLOOR PLAN - UNIT 3023 S LAREDO
SCALE: 1/4" = 1'-0" UNIT 3023



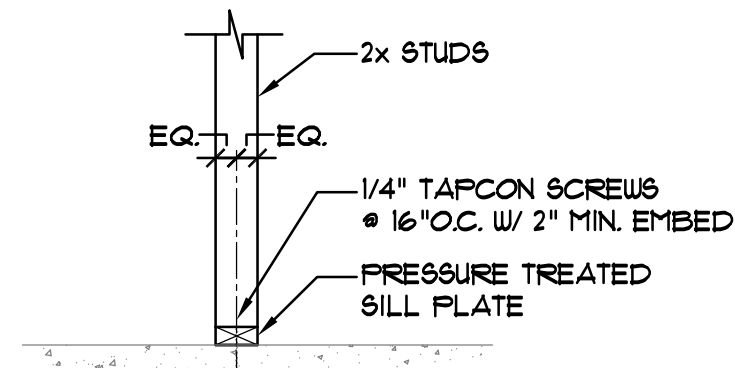
1 SECTION
SCALE: 3/4" = 1'-0"
SECT01



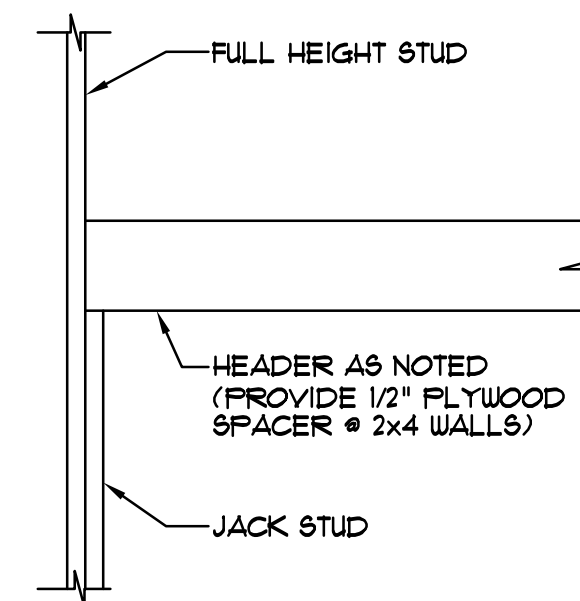
2 SECTION
SCALE: 3/4" = 1'-0"
SECT02



3 TYPICAL EXTERIOR SILL PLATE
SCALE: 3/4" = 1'-0"
SECT03



4 TYPICAL INTERIOR SILL PLATE
SCALE: 3/4" = 1'-0"
SECT04



5 TYPICAL HEADER DETAIL
SCALE: 3/4" = 1'-0"
SECT05

GENERAL NOTES:

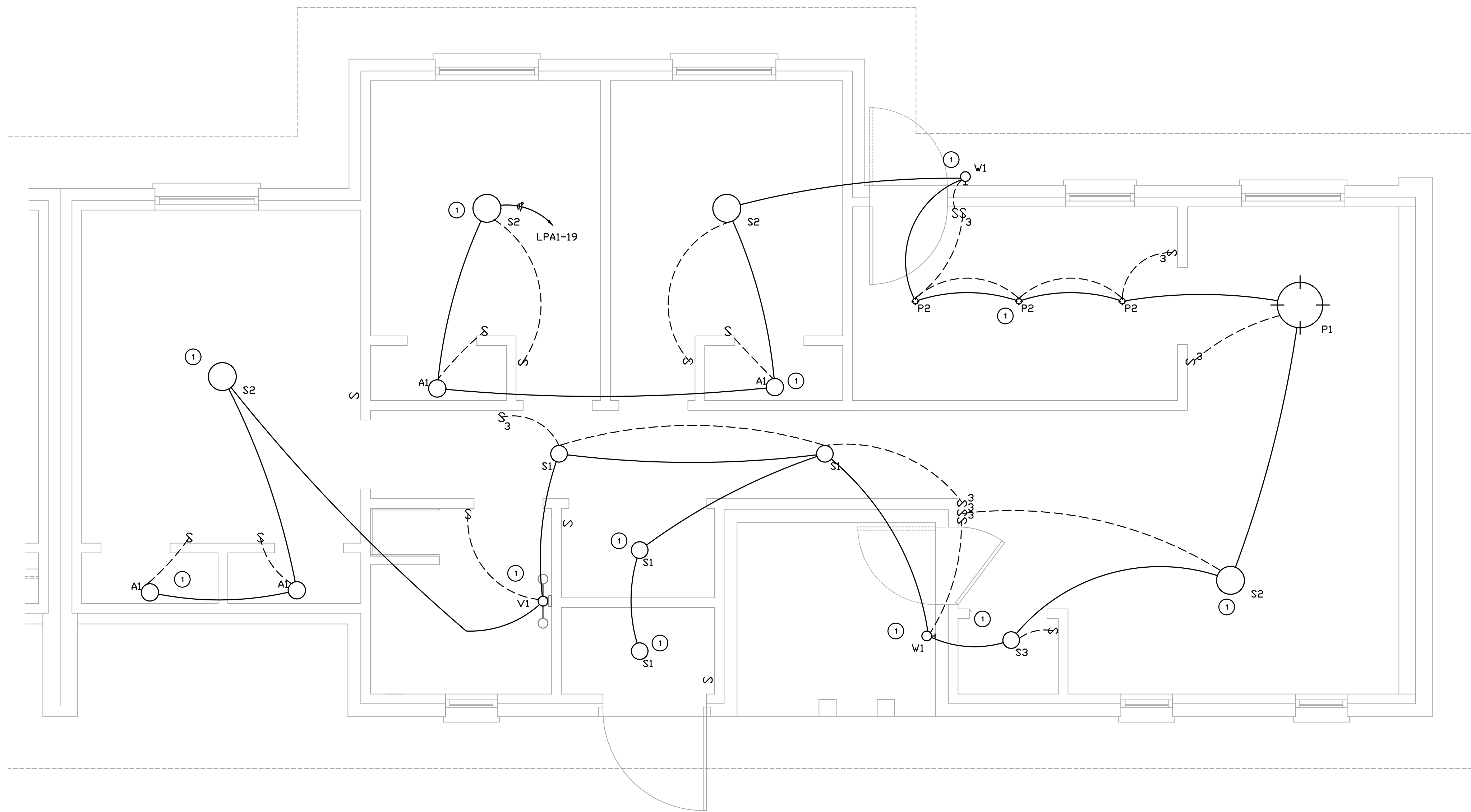
- THESE STRUCTURAL REPAIRS WERE DESIGNED IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE AS ADOPTED AND AMENDED BY THE CITY OF SAN ANTONIO, AND THE INTERNATIONAL EXISTING BUILDING CODE.
- GRAVITY DESIGN LIVE LOADS USED ARE AS FOLLOWS:
 - A. FLOOR LIVE LOAD: 40 PSF
 - B. ROOF LIVE LOAD: 20 PSF
 - C. GROUND SNOW LOAD: 5 PSF
 - D. WIND LOAD CRITERIA: ULTIMATE WIND SPEED (3-SECOND GUST): 115 MPH
RISK CATEGORY II
EXPOSURE: B
MAXIMUM CONSIDERED EARTHQUAKE GROUND MOTION: 0.10g
 - E. SEISMIC LOAD CRITERIA: D
 - F. SITE CLASS: D
- PRIOR TO BUILDING, CONTRACTOR SHALL VISIT THE APARTMENTS INCLUDED IN THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE ALL SHORING, AUXILIARY FRAMING, FASTENERS REQUIRED TO COMPLETE THE REPAIRS INDICATED IN THESE RESTORATION DOCUMENTS.
- THE USE OF REPRODUCTIONS OF THESE CONTRACT DRAWINGS BY ANY CONTRACTOR, SUBCONTRACTOR, ERECTOR, FABRICATOR, OR MATERIAL SUPPLIER IN LIEU OF PREPARATION OF SHOP DRAWINGS SIGNIFIES HIS ACCEPTANCE OF ALL INFORMATION SHOWN HEREIN AS CORRECT, AND OBLIGATES HIMSELF TO ANY AND ALL EXPENSES, REAL OR IMPLIED ARISING FROM SUCH ACCEPTANCE. THE CONTRACTOR SHALL MAINTAIN THESE DRAWINGS AT A CURRENT STATUS, INCLUDING ALL ADDENDA AND REVISIONS.

DEMOLITION NOTES:

- THE CONTRACTOR MUST REVIEW ALL WORK TO ASCERTAIN THAT ACTUAL STRUCTURAL CONDITIONS ENCOUNTERED REFLECT THOSE SHOWN ON THE STRUCTURAL DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- DURING DEMOLITION CONTRACTOR SHALL IDENTIFY STRUCTURAL FRAMING AND LOAD PATHS IN AREA OF DEMOLITION TO PREVENT ACCIDENTAL COLLAPSE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL BRACING AND SHORING REQUIRED TO INSURE THE SAFETY AND STRUCTURAL INTEGRITY OF THE PROJECT DURING DEMOLITION OPERATIONS.
- CONTRACTOR SHALL INSPECT EXISTING STRUCTURAL ELEMENTS AND REPAIR OR REPLACE THOSE FOUND TO BE STRUCTURALLY UNSOUND AS DIRECTED BY STRUCTURAL ENGINEER.

WOOD NOTES:

- ALL NEW STRUCTURAL FRAMING LUMBER SHALL BE KILN DRIED SOUTHERN YELLOW PINE, UNLESS NOTED OTHERWISE, OR APPROVED EQUAL AND SHALL CONFORM TO THE FOLLOWING MINIMUM GRADES:
 - A. JOISTS, HEADERS, COLUMNS--NO2 (FB=1,100 F&I MINIMUM)
 - B. PLATES, CAPS--UTILITY
 - C. STUDS--STUD GRADE
- ALL LUMBER SHALL BE GRADE STAMPED.
- PLYWOOD FLOOR SHEATHING SHALL BE 3/4" STRUCTURAL GRADE I CD (48/24) OVER WOOD JOISTS. PROVIDE ADEQUATE BLOCKING, TONGUE AND GROOVED EDGES.
- PLYWOOD ROOF SHEATHING SHALL BE 1/2" STRUCTURAL GRADE I CD (48/24) OVER WOOD JOISTS. PROVIDE ADEQUATE BLOCKING AND PLYCLIPS (2 FOR 48' SPAN).
- PLACE PLYWOOD PANELS WITH LONG DIMENSION RUNNING PERPENDICULAR TO JOISTS WITH END JOINTS STAGGERED 1/2 PANEL. USE 6d NAILS SPACED AT 6" O.C. AT END JOINTS OF PANEL AND AT WALL CONNECTIONS. FIELD NAILING OF INTERMEDIATE SUPPORTS SHALL BE AT 10" O.C.
- ALL WOOD FRAMING SHALL BE INSTALLED, BLOCKED, AND FASTENED FOLLOWING THE PROVISIONS OF THE 2015 INTERNATIONAL RESIDENTIAL CODE.



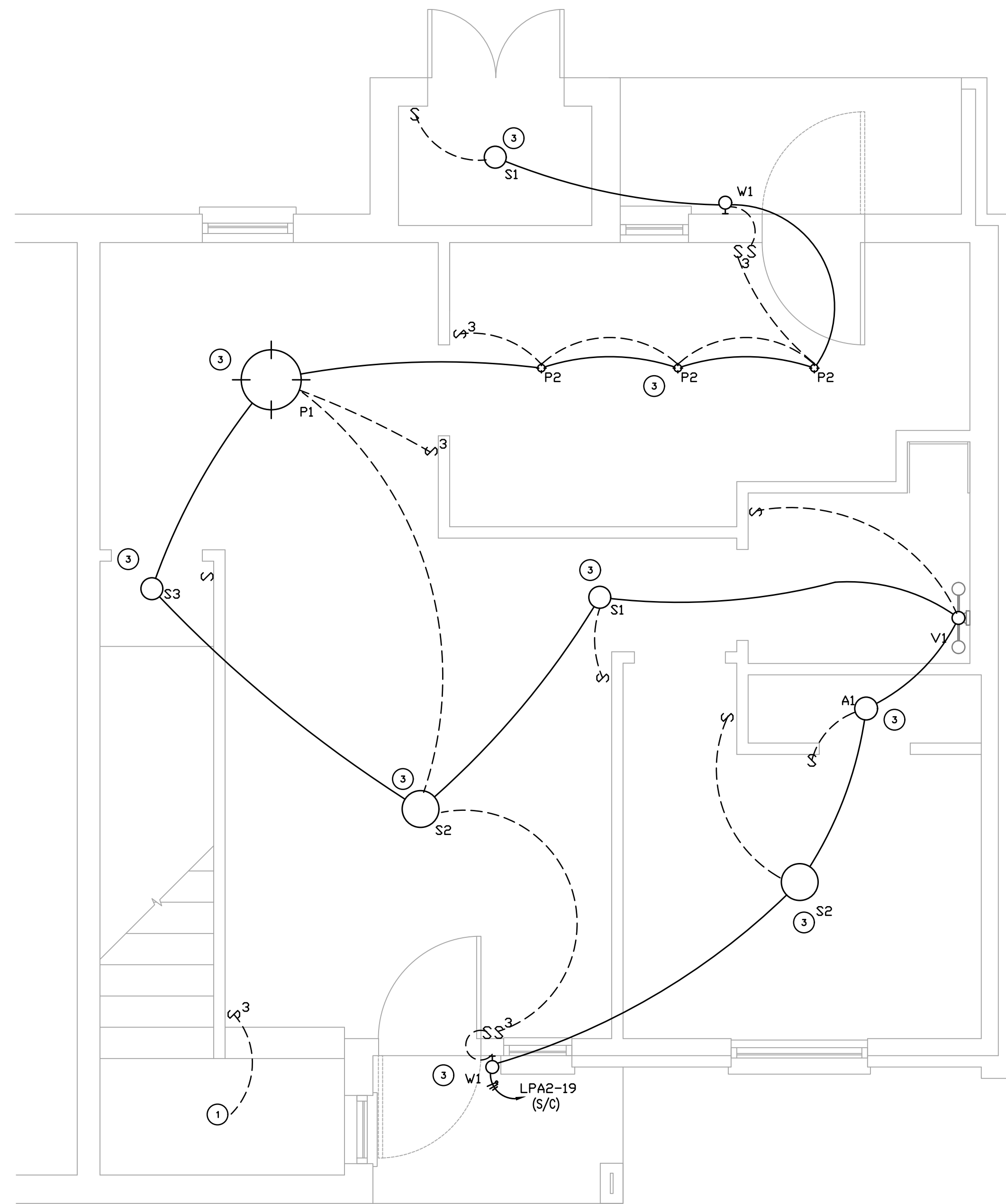
1 LIGHTING PLAN - UNIT 942
3/8" = 1'-0"

General Notes Lighting Sheets:
(Applies to all Lighting Sheets)

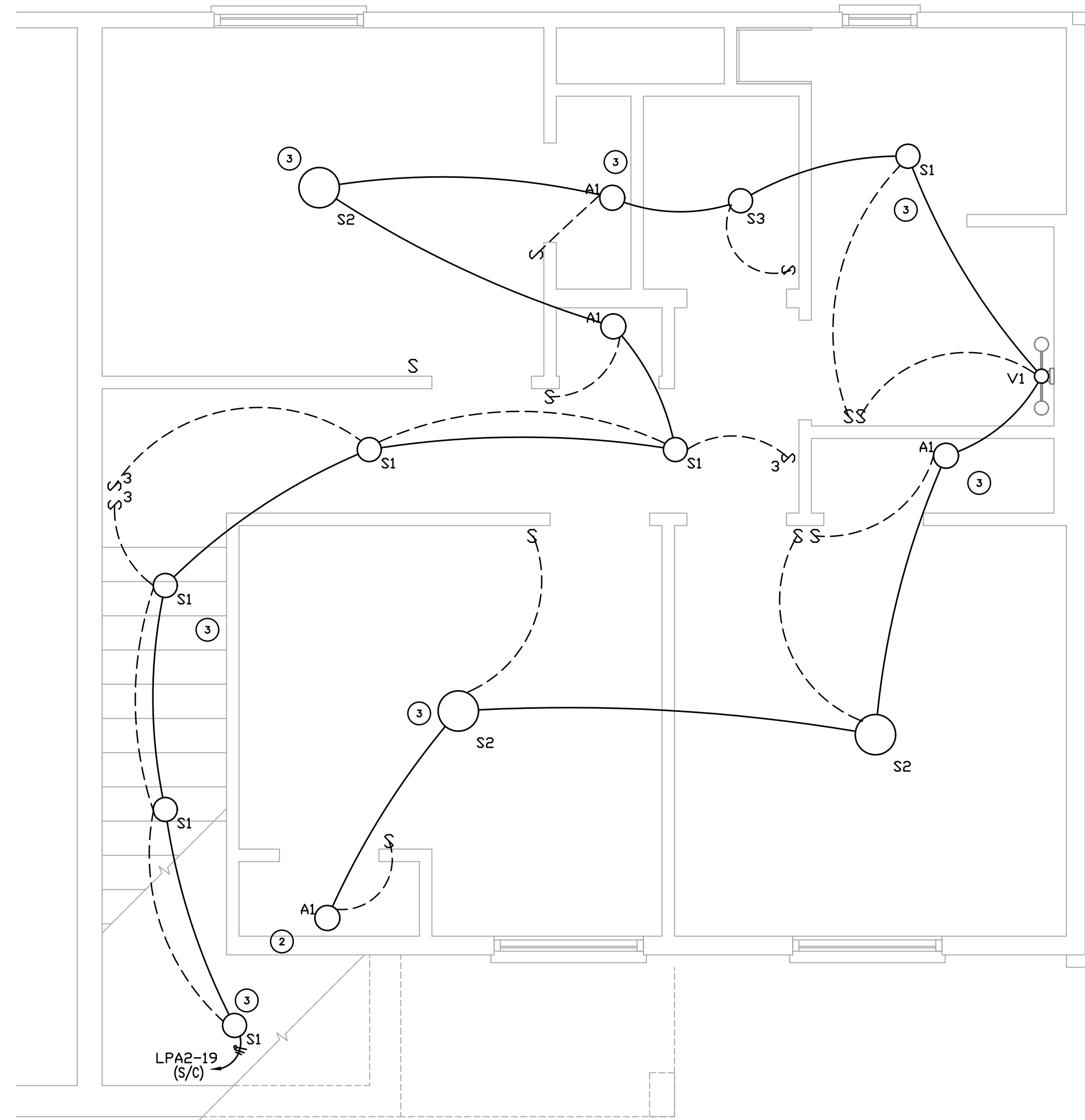
- A. WHEN LOCATING SYSTEMS NEXT TO DOORS, LOCATE 8 INCHES OFF DOOR JAMB TO CENTER OF DEVICE. WHEN MULTIPLE DEVICES ARE TOGETHER, STACK BUT NO MORE THAN 72 INCHES AFF. COORDINATE SWITCH LOCATIONS IN ROOMS WITH ARCHITECT AND OTHER DEVICES (THERMOSTATS, FIRE ALARM, AND CALL BUTTONS).
- B. MINIMUM CIRCUIT SIZE IS 2 #12 AND 1 #12 GROUND IN 3/4" CONDUIT. MAXIMUM FIXTURE WHIP LENGTH FROM ANY J-BOX 6 FEET. LIGHTING CIRCUITS JOINTS SHALL BE MADE UP IN OVERHEAD J-BOXES SECURED TO STRUCTURE WITH LIGHTING WHIPS FROM THE J-BOXES. FIXTURES DESIGNED TO BE QUICK-CLIPPED TOGETHER SHALL BE CONNECTED AS PER MANUFACTURER.
- C. COORDINATE LIGHT LOCATIONS WITH OTHER CEILING ITEMS OR JOIST ITEMS PRIOR TO INSTALLATION. LIGHT LOCATIONS TAKE PRECEDENCE OVER AIR DEVICES.
- D. PROVIDE SECONDARY SUPPORT WIRES FROM ALL FOUR (4) CORNERS OF THE LAY-IN FIXTURES TO THE STRUCTURE ABOVE. DO NOT SUPPORT FIXTURES FROM CEILING GRID WIRE SUPPORTS, PIPING, CONDUIT, SIDE WALLS, OR MECHANICAL EQUIPMENT. CEILING SPECIFICATIONS DO NOT SUPERCEDE THIS REQUIREMENT.
- E. PROVIDE INTEGRAL BATTERY BACK-UP W/INTEGRAL BATTERY BACK-UP & TEST SWITCH FOR ALL FIXTURES WITH AN "E" SUFFIX.
- F. FIRESTOP ALL CONDUIT PENETRATIONS IN RATED WALLS. SEE ARCHITECTURAL FOR WALL RATINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO SHEET ROCK AND REPAIR. PROVIDE FIRE-RATED SLEEVES IN ALL FLOOR PENETRATIONS.
- G. CONTRACTOR TO VERIFY FIXTURE VOLTAGE PRIOR TO INSTALLING ANY RELOCATED FIXTURE. COORDINATE WITH RCP FOR FIXTURE LOCATIONS.
- H. ALL ROOMS AND HALLWAYS SHALL HAVE SWITCHES WHETHER SHOWN ON PLAN OR NOT. ALL SPACES WITH MORE THAN ONE FIXTURE SHALL HAVE DUAL SWITCHING UNLESS OTHERWISE NOTED. ALL HALLWAYS SHALL HAVE AT LEAST (2) 3-WAY SWITCHES.
- I. SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS SHALL BE HARDWIRED AND CONNECTED IN SERIES. PROVIDE 120V, 20A CIRCUIT FROM PANEL SPARE.

Keyed Notes:

- 1 COORDINATE WITH OWNER FOR FIXTURE SELECTIONS. TYPICAL OF ALL FIXTURES.



1 LIGHTING PLAN 1ST FLOOR - UNIT 1818
3/8" = 1'-0"

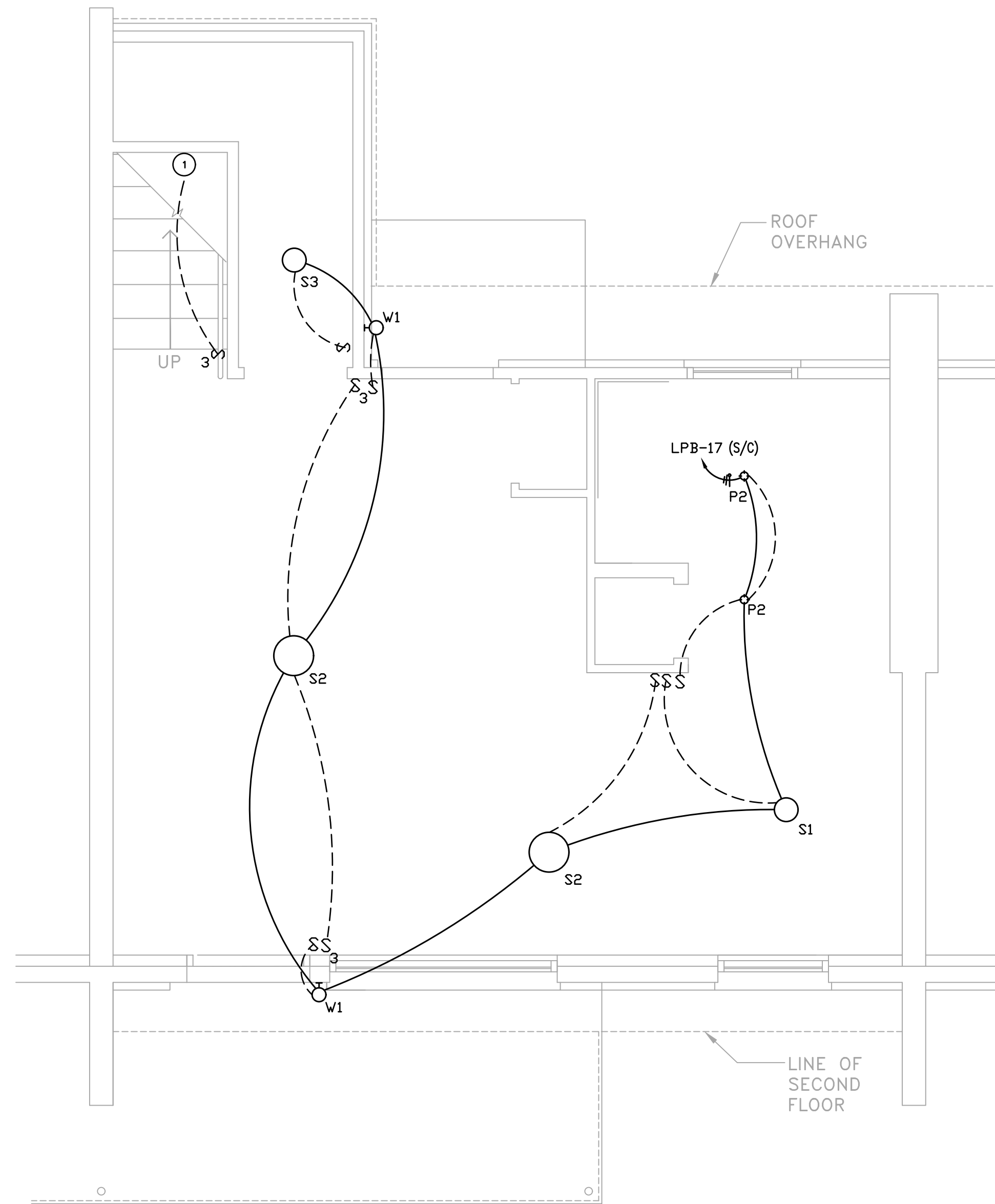


2 LIGHTING PLAN 2ND FLOOR - UNIT 1818
3/8" = 1'-0"

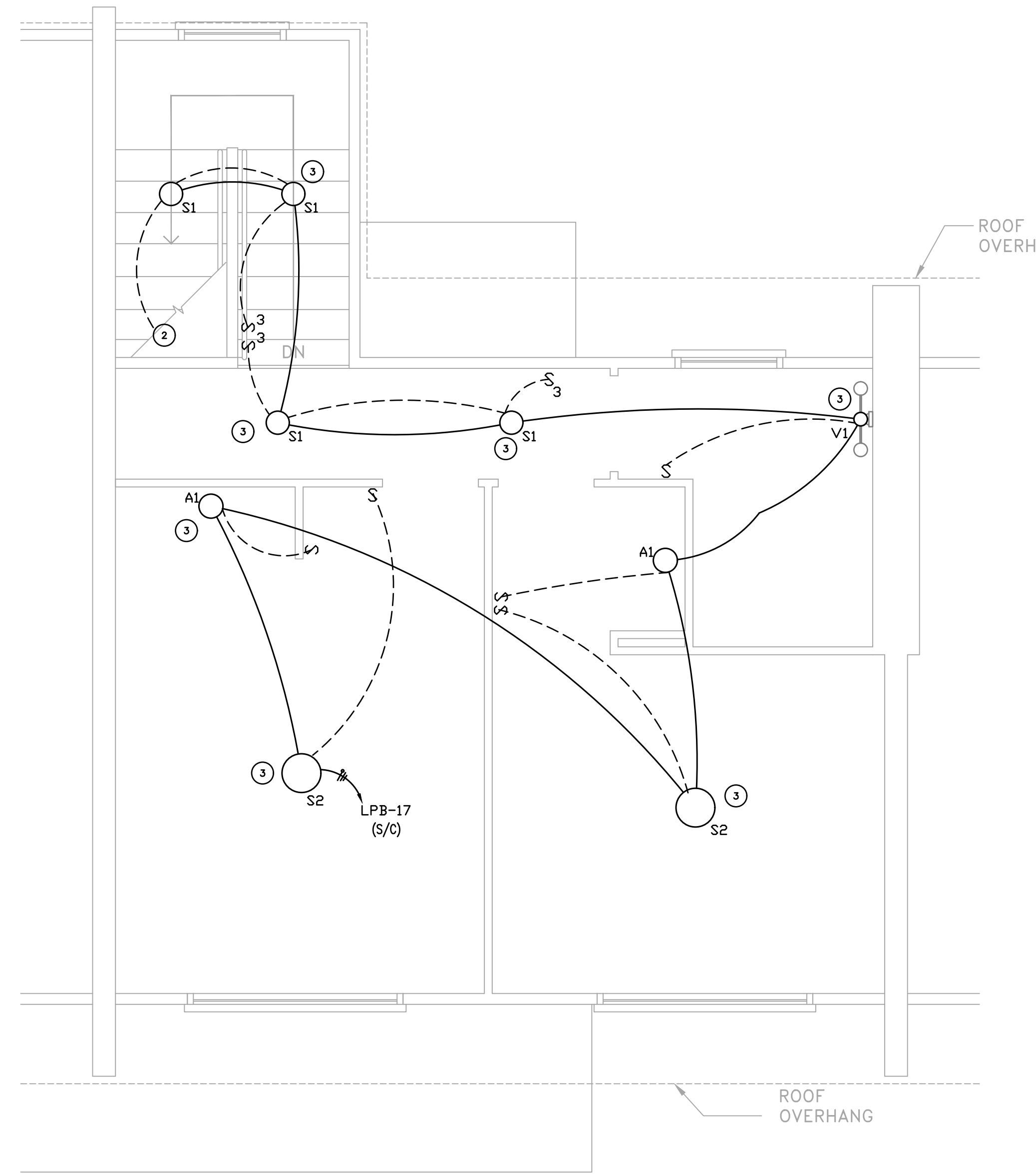
Keyed Notes:

- 1 REFER TO 2ND FLOOR LIGHTING PLAN FOR CONTINUATION.
- 2 REFER TO 1ST FLOOR LIGHTING PLAN FOR CONTINUATION.
- 3 COORDINATE WITH OWNER FOR FIXTURE SELECTIONS, TYPICAL OF ALL FIXTURES.





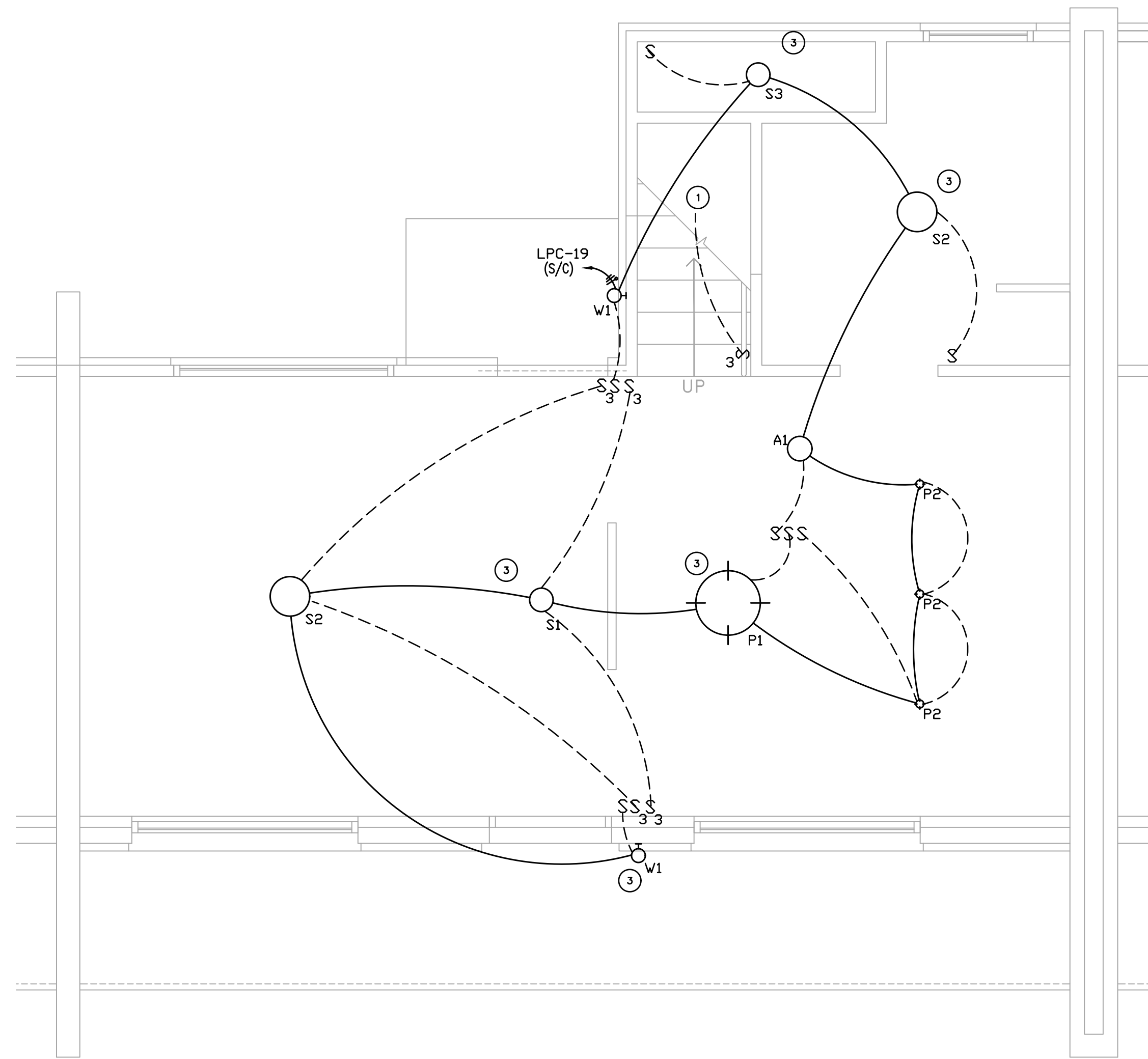
1 LIGHTING PLAN 1ST FLOOR - UNIT 103 & 2404
3/8" = 1'-0"



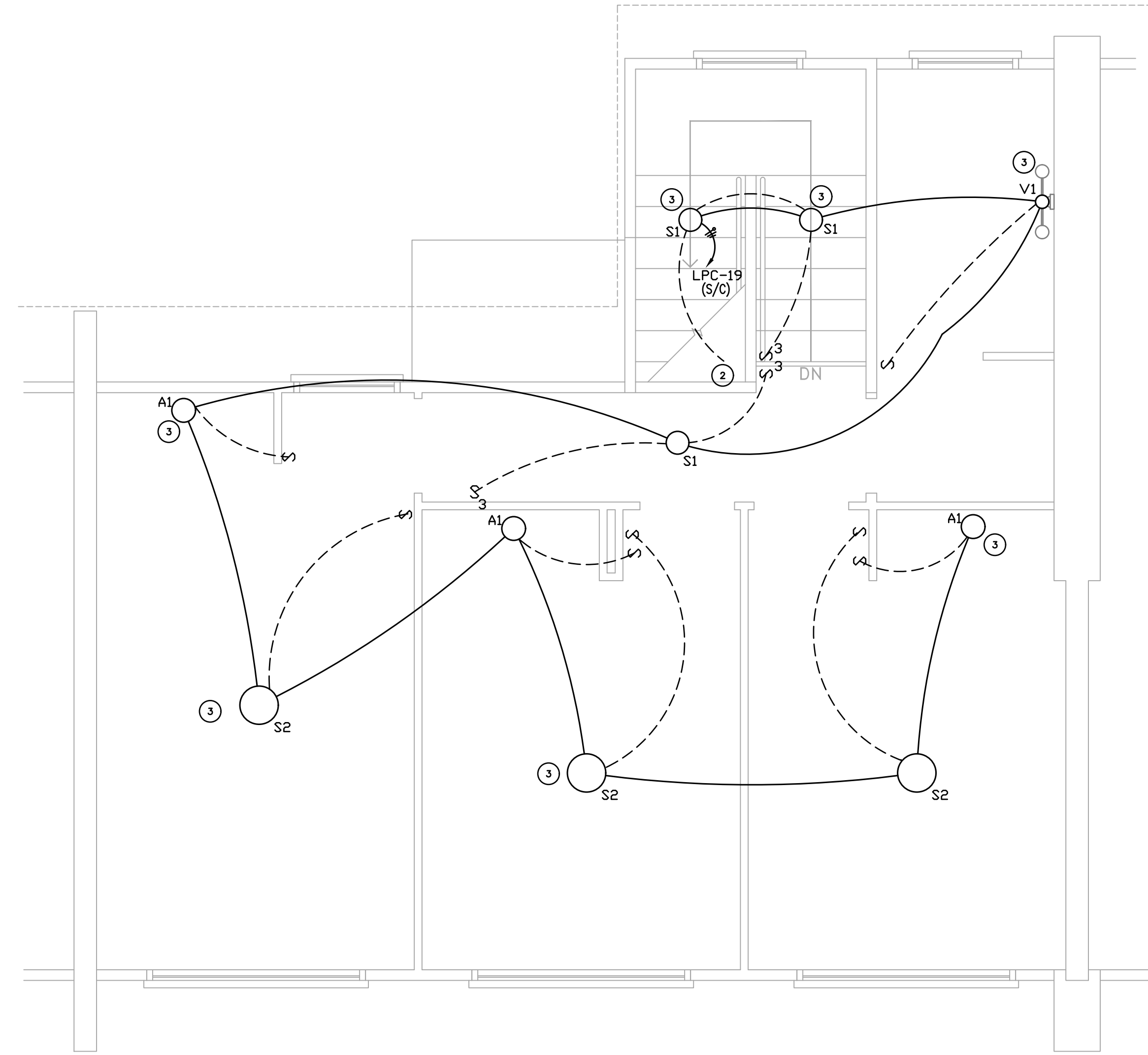
2 LIGHTING PLAN 2ND FLOOR - UNIT 103 & 2404
3/8" = 1'-0"

Keyed Notes:

- 1 REFER TO 2ND FLOOR LIGHTING PLAN FOR CONTINUATION.
- 2 REFER TO 1ST FLOOR LIGHTING PLAN FOR CONTINUATION.
- 3 COORDINATE WITH OWNER FOR FIXTURE SELECTIONS. TYPICAL OF ALL FIXTURES.



1 LIGHTING PLAN 1ST FLOOR - UNIT 1523 & 3023
 $\frac{3}{8}'' = 1'-0''$



2 LIGHTING PLAN 2ND FLOOR - UNIT 1523 & 3023
 $\frac{3}{8}'' = 1'-0''$

Keyed Notes:

- 1 REFER TO 2ND FLOOR LIGHTING PLAN FOR CONTINUATION.
- 2 REFER TO 1ST FLOOR LIGHTING PLAN FOR CONTINUATION.
- 3 COORDINATE WITH OWNER FOR FIXTURE SELECTIONS. TYPICAL OF ALL FIXTURES.

HM3
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 TBPE FIRM REGISTRATION NO. 13361

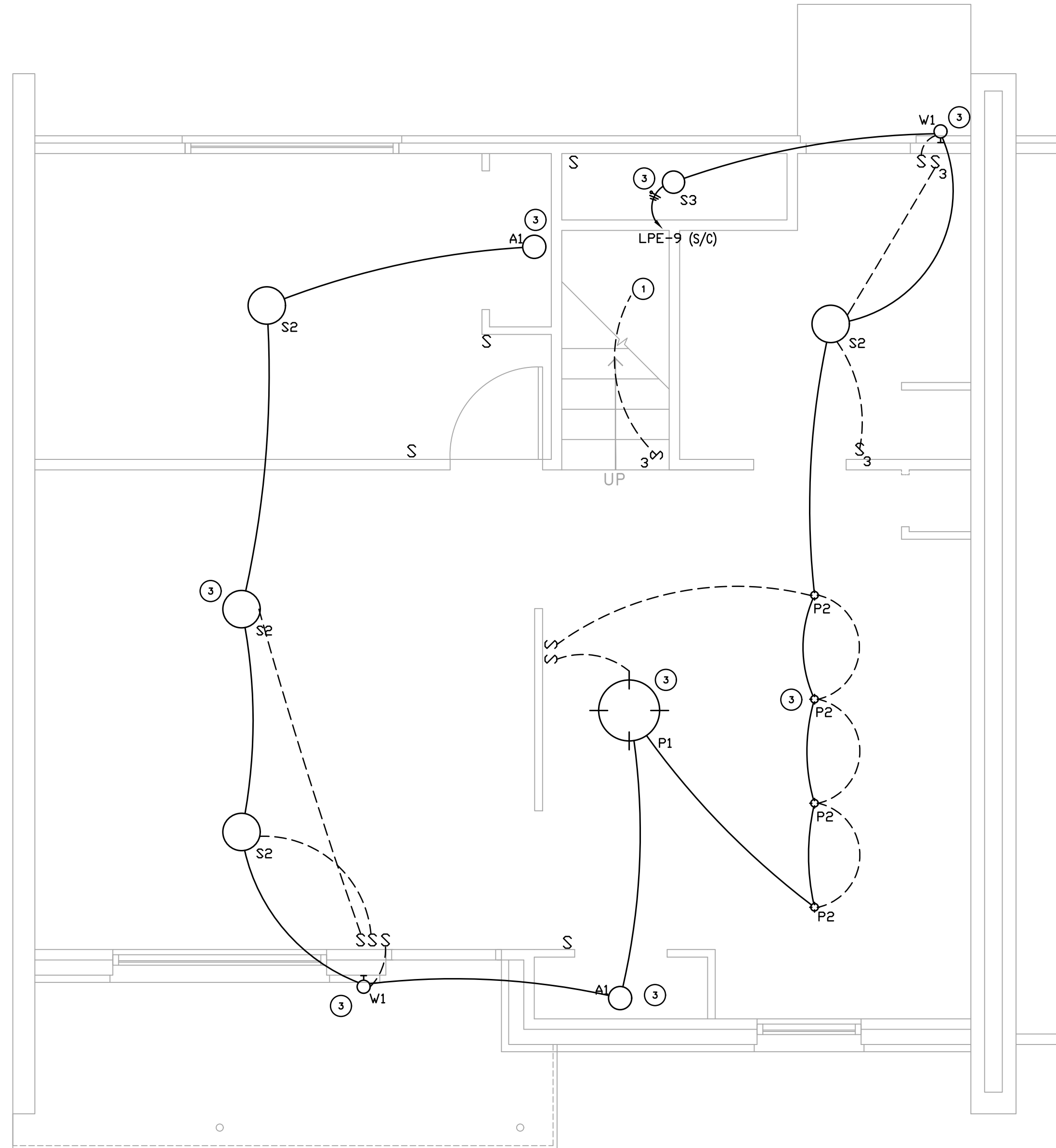
SPRINKLE & CO.
 ARCHITECTS
 1112-227-7722
 1112-227-7722



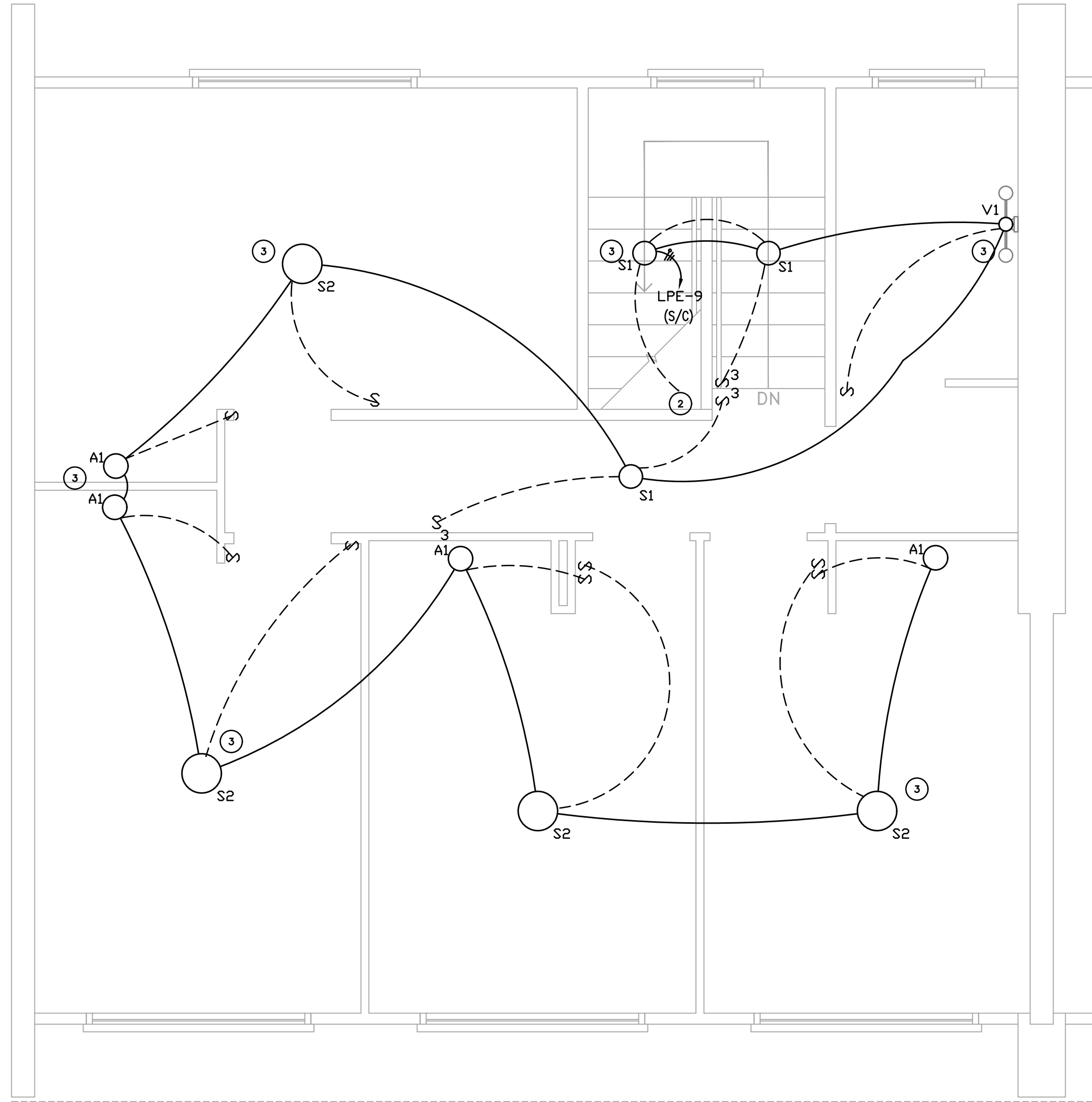
04-12-18

CASSIANO HOMES
PARTIAL REMODEL
 2919 S LAREDO ST. SAN ANTONIO, TX 78207

ISSUE DATE:	11-28-2017
REVISIONS:	04-12-18 OWNER REVISIONS
LIGHTING PLAN	
SHEET:	E2.3



1 LIGHTING PLAN 1ST FLOOR - UNIT 1501
 $\frac{3}{8}'' = 1'-0''$



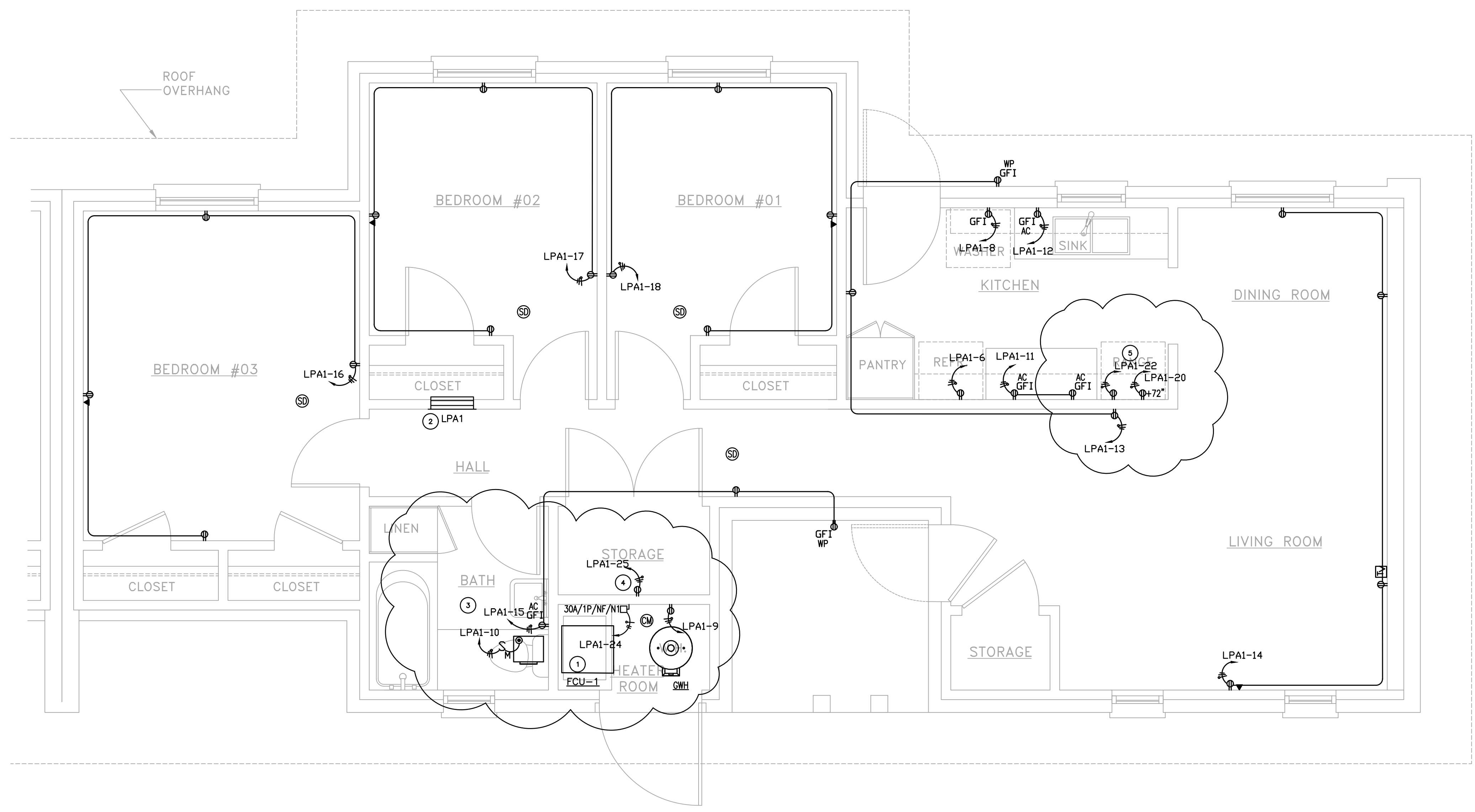
2 LIGHTING PLAN 2ND FLOOR - UNIT 1501
 $\frac{3}{8}'' = 1'-0''$

Keyed Notes:

- 1 REFER TO 2ND FLOOR LIGHTING PLAN FOR CONTINUATION.
- 2 REFER TO 1ST FLOOR LIGHTING PLAN FOR CONTINUATION.
- 3 COORDINATE WITH OWNER FOR FIXTURE SELECTIONS. TYPICAL OF ALL FIXTURES.



CASSIANO HOMES
 PARTIAL REMODEL
 2919 S LAREDO ST. SAN ANTONIO, TX 78207



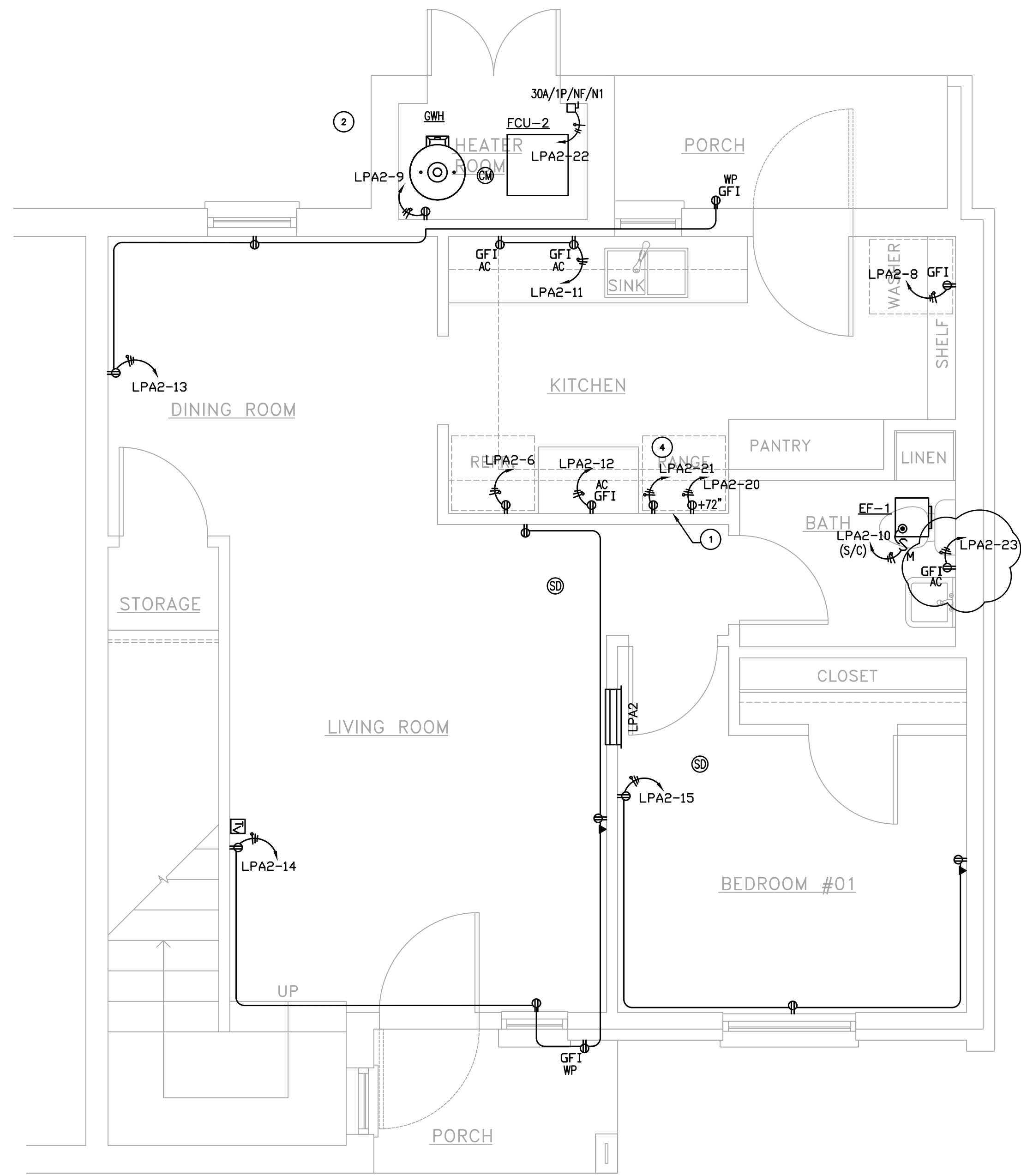
1 POWER PLAN - UNIT 942
3/8" = 1'-0"

**General Notes Power Sheets:
(Applies to all Power Sheets)**

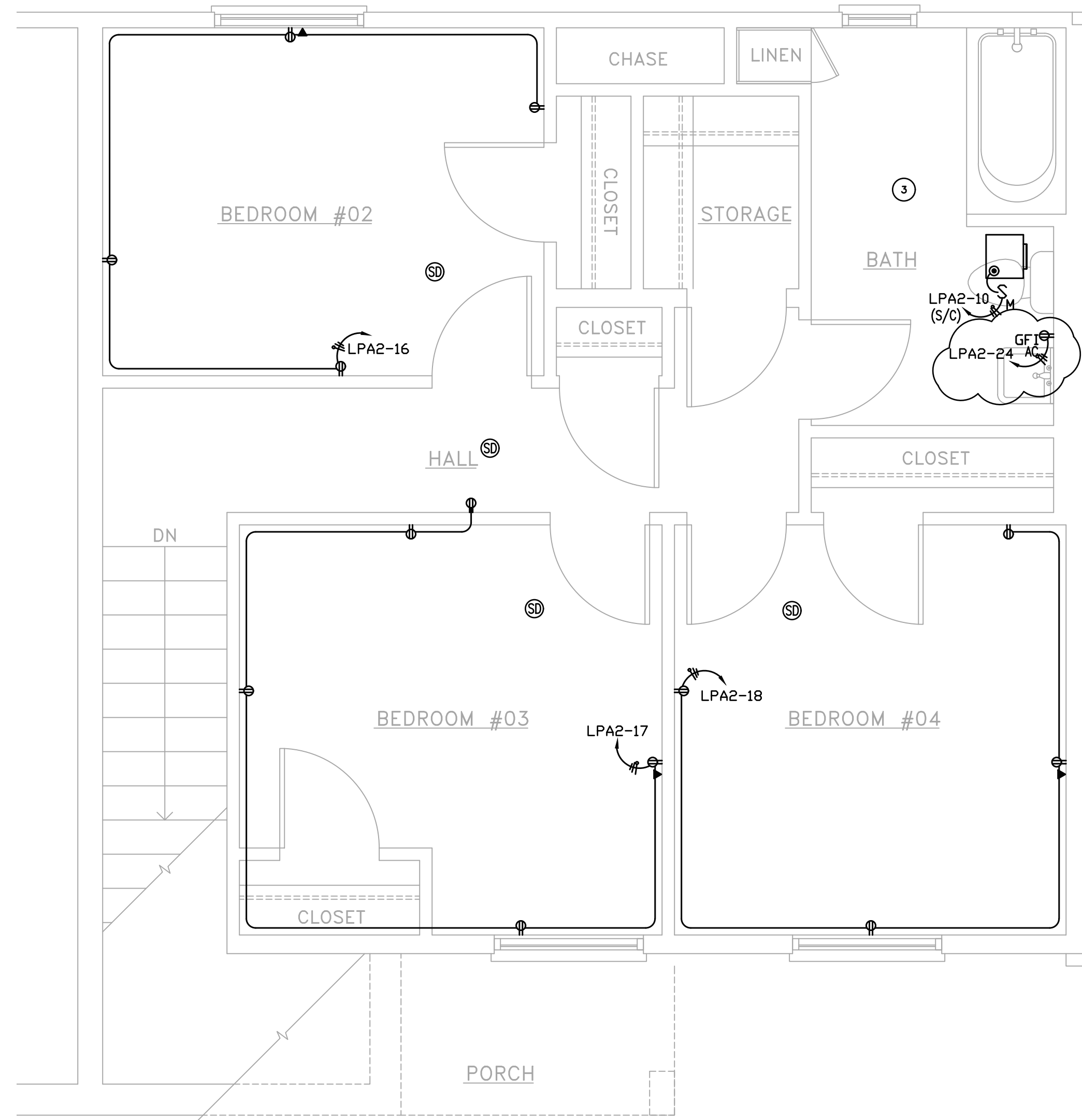
- A. SEE OTHER PLANS FOR ADDITIONAL DEVICES. SOME POWER CIRCUITING MAY BE ON OTHER PLANS. COORDINATE THE LOCATIONS OF DATA/CATV JACKS WITH THE RECEPTACLES. MOUNT ADJACENT TO EACH OTHER.
- B. WHEN LOCATING SYSTEMS NEXT TO DOORS, LOCATE 8 INCHES OFF DOOR JAMB TO CENTER OF DEVICE. WHEN MULTIPLE DEVICES ARE TOGETHER, STACK BUT NO MORE THAN 72 INCHES AFF.
- C. MINIMUM CIRCUIT SIZE IS 2 #12 AND 1 #12 GROUND IN 3/4" CONDUIT FOR INDIVIDUAL CIRCUITS, 3/4" CONDUIT FOR MULTIPLE CIRCUITS. ALL CONDUCTORS SHALL BE 75 DEGREE (MINIMUM) COPPER THHN, COLOR CODED AS PER NEC AND LOCAL AMENDMENTS WITH SIZE, TEMPERATURE, AND VOLTAGE PERMANENTLY PRINTED ON THE JACKET. ALL JOINTS SHALL BE MADE UP USING SELF LOCKING, TWIST-ON, COLOR CODED, SQUARE WIRE SPRING GRAB, LONG SKIRT, WIRE CONNECTORS WITH SWEPT WINGS.
- D. PROVIDE #10 AWG MIN NEUTRAL FOR ALL MULTIWIRE BRANCH CIRCUITS AND PROVIDE HANDLE TIES FOR CIRCUIT BREAKERS AS REQUIRED BY NEC 210.4
- E. CONDUCTOR SIZES INDICATED ASSUME NO MORE THAN (3) SINGLE POLE BRANCH CIRCUITS IN EACH CONDUIT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DE-RATE CONDUCTORS PER NEC TABLE 310.15(B)(2)(g) FOR CONDUITS WITH MORE THAN (3) CURRENT "CARRYING CONDUCTORS". THE NEUTRAL CONDUCTOR SHALL BE CONSIDERED "CURRENT CARRYING" FOR ALL BRANCH CIRCUITS SERVING MORE THAN (4) COMPUTERS.
- F. COORDINATE RECEPTACLE LOCATIONS WITH MILLWORK AND COUNTERTOPS. DO NOT LOCATE RECEPTACLES BEHIND DRAWERS OR HIDDEN IN MILLWORK UNLESS SPECIFICALLY DIRECTED BY OWNER/ARCHITECT. REVIEW ARCHITECTURAL ELEVATIONS PRIOR TO RECEPTACLE ROUGH-INS. SEE ARCH. ELEVATIONS IN BREAKROOMS FOR APPLIANCES AND RECEPTACLE MOUNTING LOCATIONS.
- G. MOUNT RECEPTACLES 18" AFF. 6" ABOVE BACKSPASH AT COUNTERTOPS, 48" IN TOILET ROOMS. AT EQUIPMENT ROUGH-IN LOCATIONS FOR APPLIANCES, AND 96" FOR TV'S. PROVIDE GFI RECEPTACLES AT/LOCATED ALL SINKS, ROOFTOP RECEPTACLES, KITCHEN RECEPTACLES, BATHROOM/TOLIT ROOMS, EXTERIOR RECEPTACLES, AND UNDERCOUNTER EQUIPMENT. ALSO, ALL RECEPTACLES SERVING DRINKING FOUNTAINS SHALL HAVE GFI.
- H. ALL RECEPTACLES NOT DEDICATED TO EQUIPMENT WITHIN 6' OF SINK, MOP SINK, DRINKING FOUNTAIN OR OTHER USER WATER SOURCE SHALL BE GFI PROTECTED.
- I. ALL RECEPTACLES IN KITCHENS SHALL BE GFI PROTECTED.
- J. ALL EQUIPMENT SHALL HAVE A LOCAL DISCONNECTING MEANS, EITHER CORDED PLUG AND RECEPTACLE OR SWITCHED DISCONNECT. VERIFY FROM EQUIPMENT SUBMITTED OR RELOCATED IF DIRECT CONNECT OR RECEPTACLE. IF DIRECT CONNECT, PROVIDE SWITCH AS PER NEC OTHERWISE, PROVIDE RECEPTACLE, CORD PLUG AS REQUIRED BY EQUIPMENT SUBMITTAL.
- K. FIRESTOP ALL CONDUIT PENETRATIONS IN RATED WALLS. SEE ARCHITECTURAL FOR WALL RATINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO SHEET ROCK AND REPAIR.
- M. PROVIDE FIRE RATED SLEEVES IN ALL FLOOR PENETRATIONS.
- N. PROVIDE ARC FAULT PROTECTION AND TAMPER PROOF RECEPTACLES FOR ALL 120V 15 AND 20 AMP DWELLING UNIT BRANCH CIRCUITS THAT SUPPLY OUTLETS IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATIONS ROOMS, CLOSETS, HALLWAYS AND SIMILAR AREAS PER NEC210.12(B).
- O. PROVIDE A MINIMUM OF (5) SPARE 20A/1P BREAKERS AND (3) 20A/1P SPACES IN EACH PANEL WHETHER SHOWN ON SCHEDULE OR NOT.
- P. SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS SHALL BE HARDWIRED AND CONNECTED IN SERIES. PROVIDE 120V, 20A CIRCUIT FROM PANEL SPARE.

Keyed Notes:

- 1 COORDINATE LOCATION OF HEATING EQUIPMENT WITH ARCHITECT/OWNER. PROVIDE FLUE AND WALL CAPS AS REQUIRED.
- 2 COORDINATE LOCATION OF TENANT PANEL WITH ARCHITECT PRIOR TO ROUGH-IN.
- 3 PROVIDE DEDICATED 20A, 120V CIRCUIT TO TENANT PANEL 20A/1P FOR POWER TO NEW CEILING MOUNTED HEATER. PROVIDE AND INSTALL A SURFACE MOUNT CEILING HEATER EQUAL TO BROAD NUTONE - 120V, 1250 WATT. PROVIDE MANUAL ROTARY TIMER MOUNTED ADJACENT TO LIGHT SWITCH FOR CONTROL OF HEATER.
- 4 COORDINATE LOCATION OF ELECTRIC CLOTHES DRYER WITH ARCHITECT.
- 5 PROVIDE JBOX FOR CONNECTION TO EXHAUST VENT HOOD. CONNECT TO 20A/1P SPARE IN UNIT PANEL.



1 POWER PLAN 1ST FLOOR - UNIT 1818
3/8" = 1'-0"

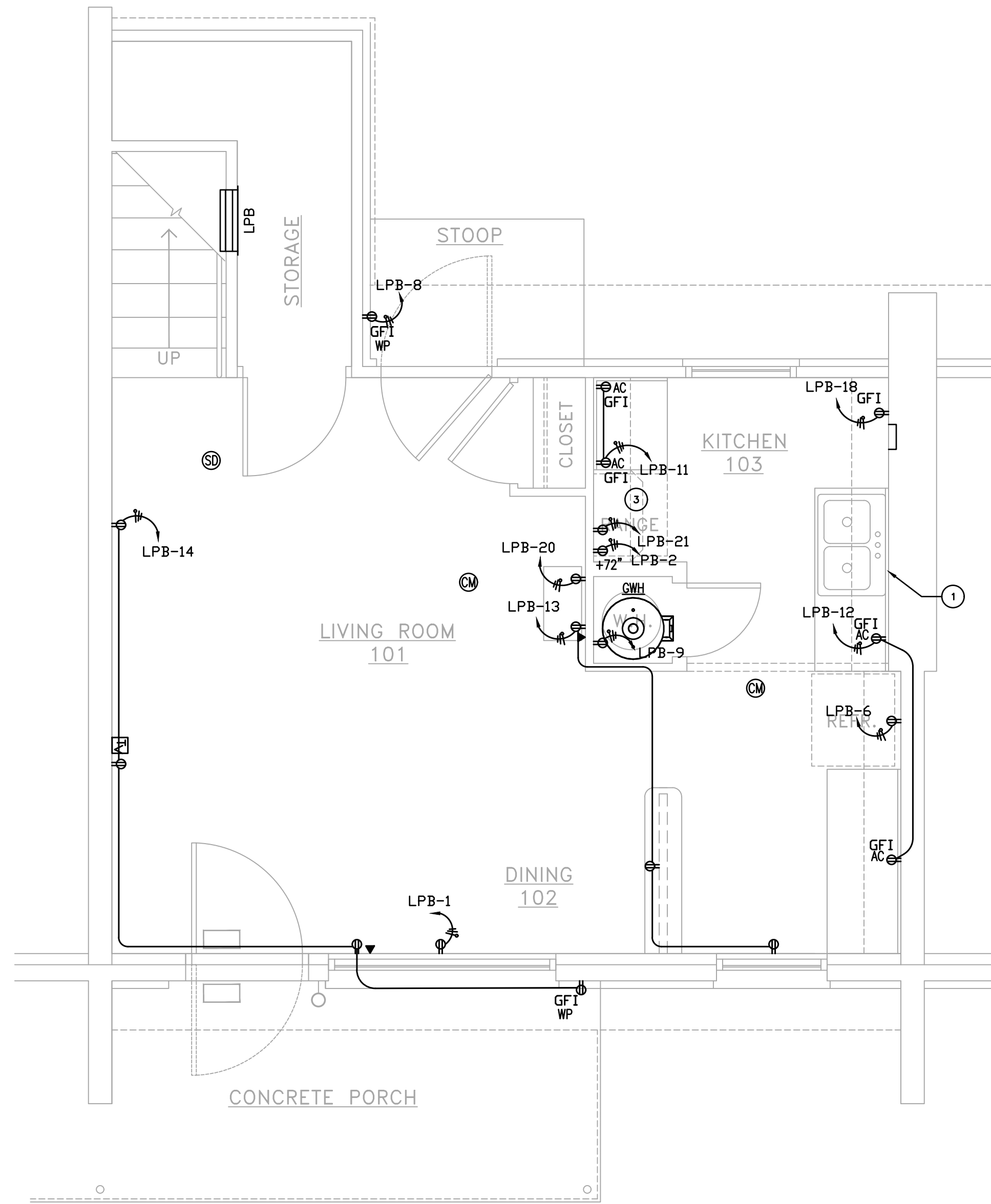


2 POWER PLAN 2ND FLOOR - UNIT 1818
3/8" = 1'-0"

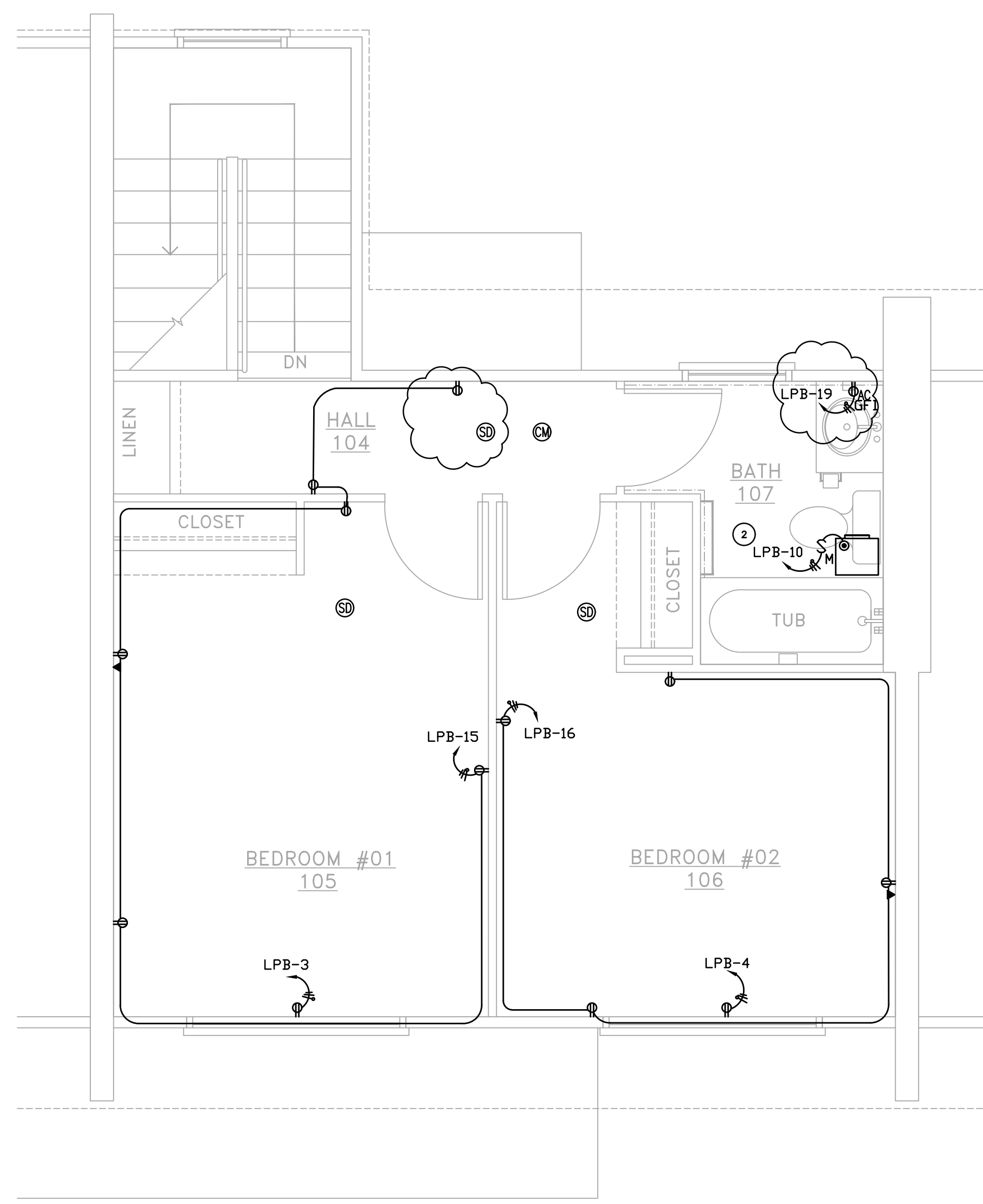
Keyed Notes:

- 1 PROVIDE NEMA 14-50R RECEPTACLE.
- 2 COORDINATE LOCATION OF CONDENSING UNIT WITH ARCHITECT/OWNER.
- 3 PROVIDE DEDICATED 20A, 120V CIRCUIT TO TENANT PANEL 20A/1P FOR POWER TO NEW CEILING MOUNTED HEATER. PROVIDE AND INSTALL A SURFACE MOUNT CEILING HEATER EQUAL TO BROAN NJTONE , 120V, 1250 WATT. PROVIDE MANUAL ROTARY TIMER MOUNTED ADJACENT TO LIGHT SWITCH FOR CONTROL OF HEATER.
- 4 PROVIDE JBOX FOR CONNECTION TO EXHAUST VENT HOOD. CONNECT TO 20A/1P SPARE IN UNIT PANEL.





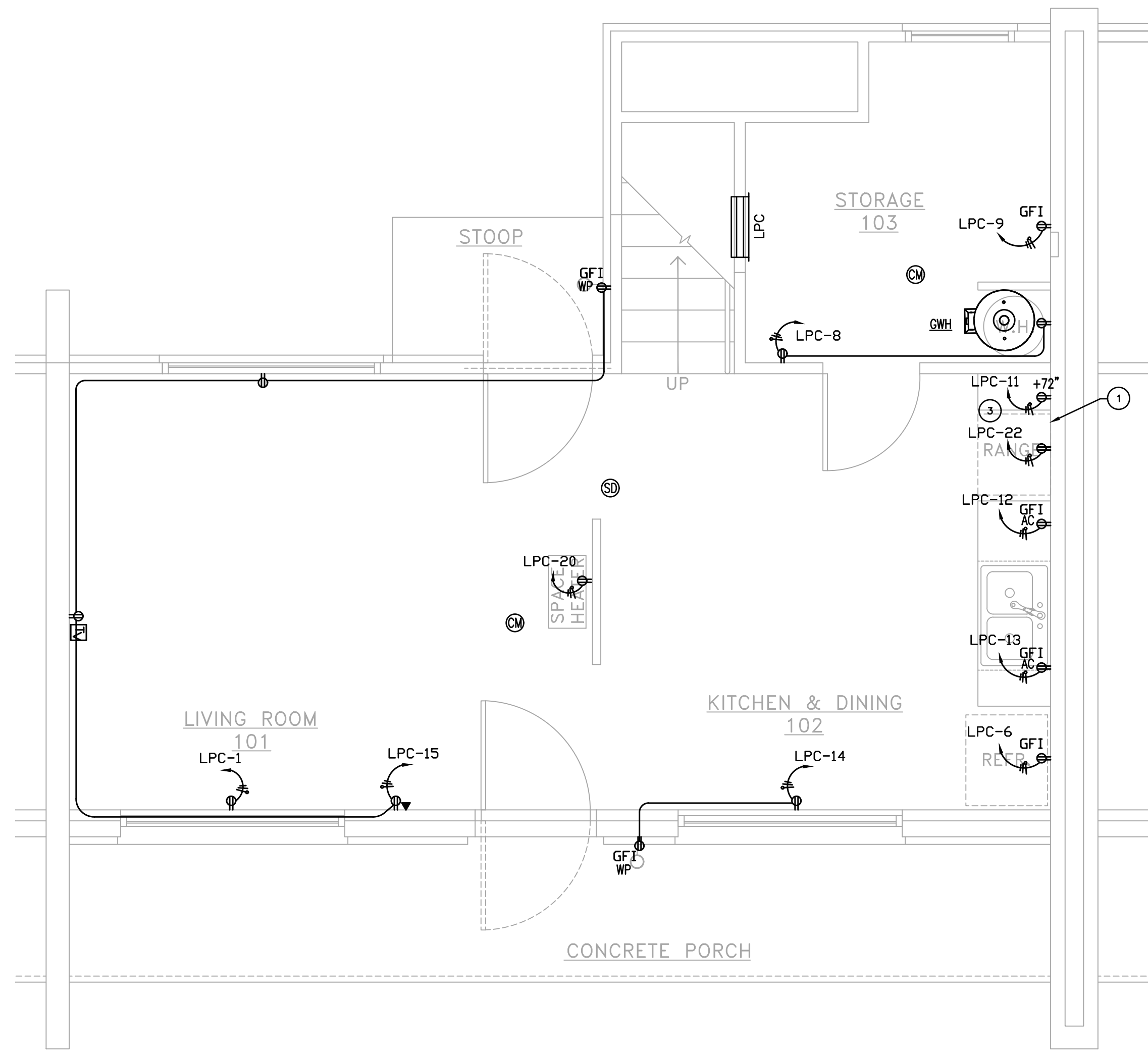
1 POWER PLAN 1ST FLOOR - UNIT 103 & 2404
 3/8" = 1'-0"



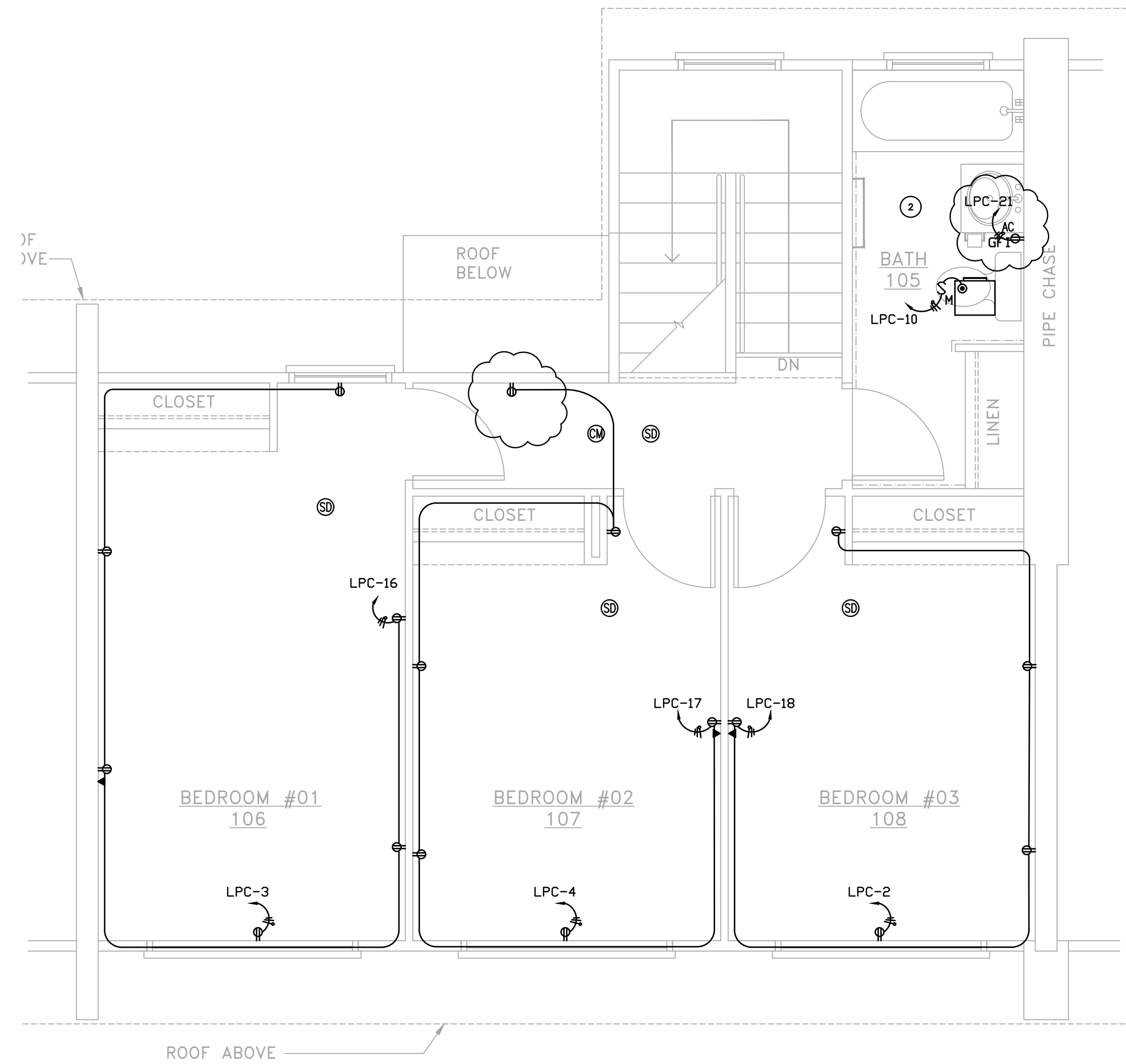
2 POWER PLAN 2ND FLOOR - UNIT 103 & 2404
 3/8" = 1'-0"

Keyed Notes:

- 1 PROVIDE NEMA 14-50R RECEPTACLE.
- 2 PROVIDE DEDICATED 20A, 120V CIRCUIT TO TENANT PANEL 20A/1P FOR POWER TO NEW CEILING MOUNTED HEATER. PROVIDE AND INSTALL A SURFACE MOUNT CEILING HEATER EQUAL TO BROAN NUTONE , 120V, 1250 WATT. PROVIDE MANUAL ROTARY TIMER MOUNTED ADJACENT TO LIGHT SWITCH FOR CONTROL OF HEATER.
- 3 PROVIDE JBOX FOR CONNECTION TO EXHAUST VENT HOOD. CONNECT TO 20A/1P SPARE IN UNIT PANEL.



1 POWER PLAN 1ST FLOOR - UNIT 1523 & 3023
3/8" = 1'-0"



2 POWER PLAN 2ND FLOOR - UNIT 1523 & 3023
3/8" = 1'-0"

Keyed Notes:

- 1 PROVIDE NEMA 14-50R RECEPTACLE.
- 2 PROVIDE DEDICATED 20A, 120V CIRCUIT TO TENANT PANEL 20A/1P FOR POWER TO NEW CEILING MOUNTED HEATER. PROVIDE AND INSTALL A SURFACE MOUNT CEILING HEATER EQUAL TO BROAN NUTONE , 120V, 1250 WATT. PROVIDE MANUAL ROTARY TIMER MOUNTED ADJACENT TO LIGHT SWITCH FOR CONTROL OF HEATER.
- 3 PROVIDE JBOX FOR CONNECTION TO EXHAUST VENT HOOD. CONNECT TO 20A/1P SPARE IN UNIT PANEL.

HM3
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SAN ANTONIO - RGV
TBPE FIRM REGISTRATION NO. 13361

SPRINKLE & CO.
ARCHITECTS
11025-7722 SAN ANTONIO, TEXAS



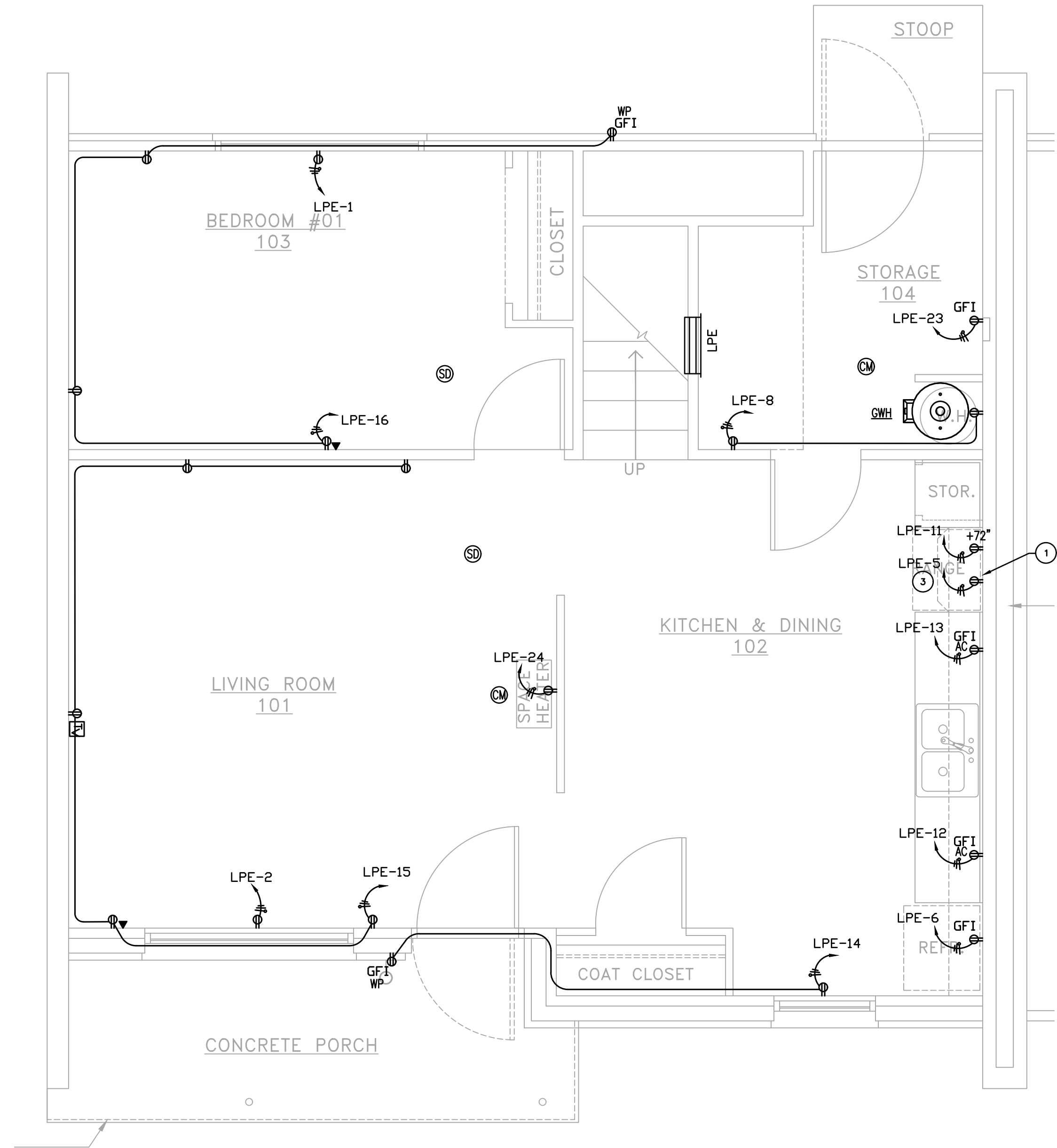
07-25-18

CASSIANO HOMES
PARTIAL REMODEL
SAN ANTONIO, TX 78207
2919 S LAREDO ST.

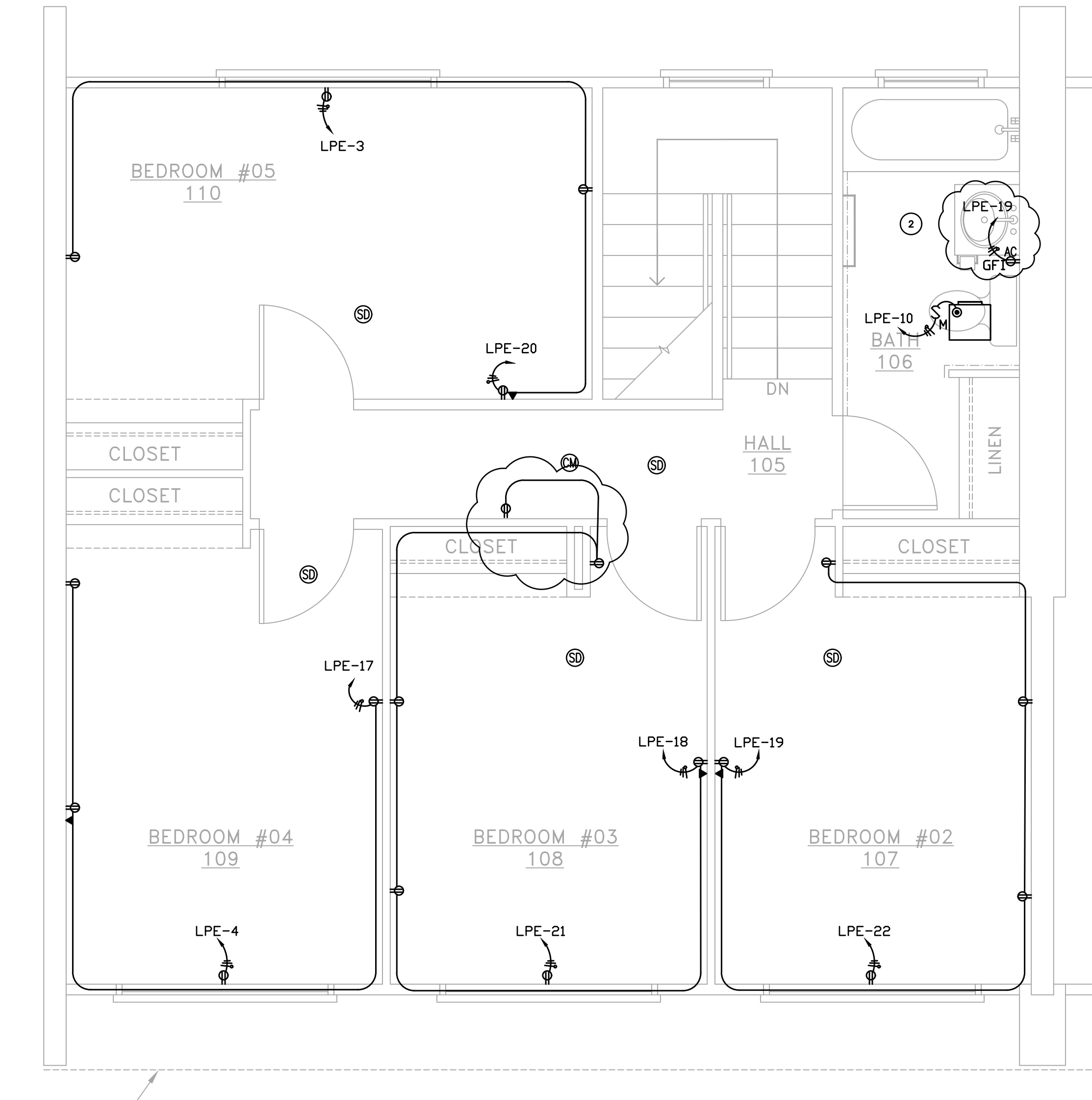
ISSUE DATE:
11-28-2017

REVISIONS:
04-12-18 OWNER REVISIONS
07-25-18 COSA COMMENTS
POWER PLAN

SHEET:
E3.3



1 POWER PLAN 1ST FLOOR - UNIT 1501
3/8" = 1'-0"

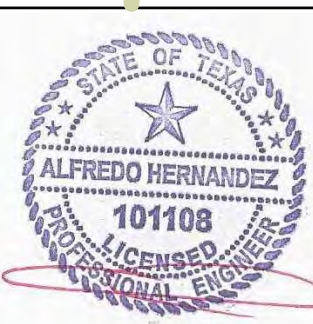


2 POWER PLAN 2ND FLOOR - UNIT 1501
3/8" = 1'-0"

Keyed Notes:

- 1 PROVIDE NEMA 14-50R RECEPTACLE.
- 2 PROVIDE DEDICATED 20A, 120V CIRCUIT TO TENANT PANEL 20A/1P FOR POWER TO NEW CEILING MOUNTED HEATER. PROVIDE AND INSTALL A SURFACE MOUNT CEILING HEATER EQUAL TO BROAN NUTONE , 120V, 1250 WATT. PROVIDE MANUAL ROTARY TIMER MOUNTED ADJACENT TO LIGHT SWITCH FOR CONTROL OF HEATER.
- 3 PROVIDE JBOX FOR CONNECTION TO EXHAUST VENT HOOD. CONNECT TO 20A/1P SPARE IN UNIT PANEL.



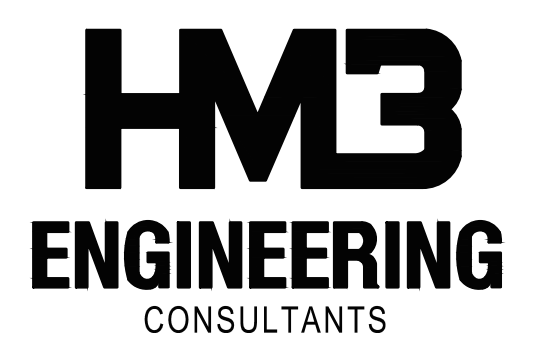


PANEL LPA1											
VOLTAGE (L-N): 120				ENCLOSURE TYPE: NEMA 1							
VOLTAGE (L-L): 240				MOUNTING: RECESSED							
PHASES, WIRES: 1 φ, 3 W				AIC RATING: 10000							
MINIMUM BUS CAPACITY (A): 150 A				NOTES: -----							
MAIN O.C. DEVICE (A): 150 A											
CKT NO	DESCRIPTION	TRIP AMPS	POLE	PHASE LOADS (VA)				POLE	TRIP AMPS	DESCRIPTION	CKT NO
				A		B					
1	SPARE	20	1	0	0			1	20	SPARE	2
3	SPARE	20	1			0	0	1	20	SPARE	4
5	SPARE	20	1	0	500			1	20	REFRIGERATOR	6
7	SPARE	20	1			0	500	1	20	WASHER	8
9	GWH	20	1	180	48			1	20	EF-1	10
11	RECEPTACLES	20	1			360	180	1	20	RECEPTACLES	12
13	RECEPTACLES	20	1	540	720			1	20	RECEPTACLES	14
15	RECEPTACLES	20	1			540	720	1	20	RECEPTACLES	16
17	RECEPTACLES	20	1	720	720			1	20	RECEPTACLES	18
19	LIGHTING	20	1			325	300	1	20	RANGE HOOD	20
21	SPARE	20	1	0	300			1	20	GAS RANGE	22
23	SPARE	20	1			0	1650	1	20	FURNACE	24
25	DRYER	20	1	180	0			1	20	SPACE	26
27	SPACE	20	1			0	0	1	20	SPACE	28
29	SPACE	20	1	0	0			1	20	SPACE	30
				CONNECTED LOAD PHASE TOTALS (VA)							
				3908		4575					
				CONNECTED LOAD (KVA)	DEMAND FACTOR	DEMAND LOAD (KVA)	DEMAND LOAD (KVA)				
				1.6	1.00	1.6	8.6 KVA				
				0.3	1.25	0.4	27.4 KVA				
				0.0	1.25	0.0	114.0 AMPS				
				0.3	1.00	0.3	76 %				
				0.3	1.25	0.4					
				4.9	1.00	4.9					
				1.0	1.00	1.0					
				8.5		8.6					
				35.3		36.0					

PANEL LPA2											
VOLTAGE (L-N): 120				ENCLOSURE TYPE: NEMA 1							
VOLTAGE (L-L): 240				MOUNTING: RECESSED							
PHASES, WIRES: 1 φ, 3 W				AIC RATING: 10000							
MINIMUM BUS CAPACITY (A): 150 A				NOTES: -----							
MAIN O.C. DEVICE (A): 150 A											
CKT NO	DESCRIPTION	TRIP AMPS	POLE	PHASE LOADS (VA)				POLE	TRIP AMPS	DESCRIPTION	CKT NO
				A		B					
1	SPARE	20	1	0	0			1	20	SPARE	2
3	SPARE	20	1			0	0	1	20	SPARE	4
5	SPARE	20	1	0	500			1	20	REFRIGERATOR	6
7	SPARE	20	1			0	500	1	20	WASHER	8
9	GWH	20	1	180	96			1	20	EF-1 (2)	10
11	RECEPTACLES	20	1			360	180	1	20	RECEPTACLES	12
13	RECEPTACLES	20	1	540	900			1	20	RECEPTACLES	14
15	RECEPTACLES	20	1			720	720	1	20	RECEPTACLES	16
17	RECEPTACLES	20	1	900	900			1	20	RECEPTACLES	18
19	LIGHTING	20	1			428	300	1	20	RANGE HOOD	20
21	GAS RANGE	20	1	300	1650			1	20	FURNACE	22
23	SPARE	20	1			0	0	1	20	SPACE	24
25	SPARE	20	1	0	0			1	20	SPACE	26
27	SPACE	20	1			0	0	1	20	SPACE	28
29	SPACE	20	1	0	0			1	20	SPACE	30
				CONNECTED LOAD PHASE TOTALS (VA)							
				5966		3208					
				CONNECTED LOAD (KVA)	DEMAND FACTOR	DEMAND LOAD (KVA)	DEMAND LOAD (KVA)				
				1.6	1.00	1.6	9.4 KVA				
				0.4	1.25	0.5	26.6 KVA				
				0.0	1.25	0.0	111.0 AMPS				
				0.4	1.00	0.4	74 %				
				0.3	1.25	0.4					
				5.4	1.00	5.4					
				1.0	1.00	1.0					
				9.2		9.4					
				38.2		39.0					

PANEL LPB											
VOLTAGE (L-N): 120				ENCLOSURE TYPE: NEMA 1							
VOLTAGE (L-L): 240				MOUNTING: RECESSED							
PHASES, WIRES: 1 φ, 3 W				AIC RATING: 10000							
MINIMUM BUS CAPACITY (A): 100 A				NOTES: -----							
MAIN O.C. DEVICE (A): 100 A											
CKT NO	DESCRIPTION	TRIP AMPS	POLE	PHASE LOADS (VA)				POLE	TRIP AMPS	DESCRIPTION	CKT NO
				A		B					
1	WINDOW A/C UNIT	20	1	780	300			1	20	RANGE HOOD	2
3	WINDOW A/C UNIT	20	1			780	780	1	20	WINDOW A/C UNIT	4
5	SPARE	20	1	0	500			1	20	REFRIGERATOR	6
7	SPARE	20	1			0	180	1	20	RECEPTACLE	8
9	GWH	20	1	180	48			1	20	EF-1	10
11	RECEPTACLES	20	1			360	360	1	20	RECEPTACLES	12
13	RECEPTACLES	20	1	540	720			1	20	RECEPTACLES	14
15	RECEPTACLES	20	1			900	900	1	20	RECEPTACLES	16
17	LIGHTING	20	1	240	500			1	20	WASHER	18
19	SPACE HEATER	20	1			180	180	1	20	SPACE HEATER	20
21	GAS RANGE	20	1	300	0			1	20	SPACE	22
23	SPARE	20	1			0	0	1	20	SPACE	24
25	SPARE	20	1	0	0			1	20	SPACE	26
27	SPACE	20	1			0	0	1	20	SPACE	28
29	SPACE	20	1	0	0			1	20	SPACE	30
				CONNECTED LOAD PHASE TOTALS (VA)							
				4108		4620					
				CONNECTED LOAD (KVA)	DEMAND FACTOR	DEMAND LOAD (KVA)	DEMAND LOAD (KVA)				
				2.3	1.00	2.3	8.9 KVA				
				0.2	1.25	0.3	15.1 KVA				
				0.0	1.25	0.0	63.1 AMPS				
				0.3	1.00	0.3	63 %				
				0.3	1.25	0.4					
				4.5	1.00	4.5					
				1.0	1.00	1.0					
				8.7		8.9					
				36.4		36.9					

PANEL LPC											
VOLTAGE (L-N): 120				ENCLOSURE TYPE: NEMA 1							
VOLTAGE (L-L): 240				MOUNTING: RECESSED							
PHASES, WIRES: 1 φ, 3 W				AIC RATING: 10000							
MINIMUM BUS CAPACITY (A): 100 A				NOTES: -----							
MAIN O.C. DEVICE (A): 100 A											
CKT NO	DESCRIPTION	TRIP AMPS	POLE	PHASE LOADS (VA)				POLE	TRIP AMPS	DESCRIPTION	CKT NO
				A		B					
1	WINDOW A/C UNIT	20	1	780	780			1	20	WINDOW A/C UNIT	2
3	WINDOW A/C UNIT	20	1			780	780	1	20	WINDOW A/C UNIT	4
5	SPARE	20	1	0	500			1	20	REFRIGERATOR	6
7	SPARE	20	1			0	360	1	20	GWH	8
9	WASHER	20	1	500	48			1	20	EF-1	10
11	RANGE HOOD	20	1			300	180	1	20	RECEPTACLES	12
13	RECEPTACLES	20	1	180	360			1	20	RECEPTACLES	14
15	RECEPTACLES	20	1			720	900	1	20	RECEPTACLES	16
17	RECEPTACLES	20	1	720	900			1	20	RECEPTACLES	18
19	LIGHTING	20	1			351	180	1	20	SPACE HEATER	20
21	SPACE HEATER	20	1	180	300			1	20	GAS RANGE	22
23	SPARE	20	1			0	0	1	20	SPACE	24
25	SPARE	20	1	0	0			1	20	SPACE	26
27	SPACE	20	1			0	0	1	20	SPACE	28
29	SPACE	20	1	0	0			1	20	SPACE	30
				CONNECTED LOAD PHASE TOTALS (VA)							
				5248		4551					
				CONNECTED LOAD (KVA)	DEMAND FACTOR	DEMAND LOAD (KVA)	DEMAND LOAD (KVA)				
				3.1	1.00	3.1	10.0 KVA				
				0.3	1.25	0.4	14.0 KVA				
				0.0	1.25	0.0	58.5 AMPS				
				0.3	1.00	0.3	58 %				
				0.3	1.25	0.4					
				4.7	1.00	4.7					
				1.0	1.00	1.0					
				9.8		10.0					
				40.8		41.5					



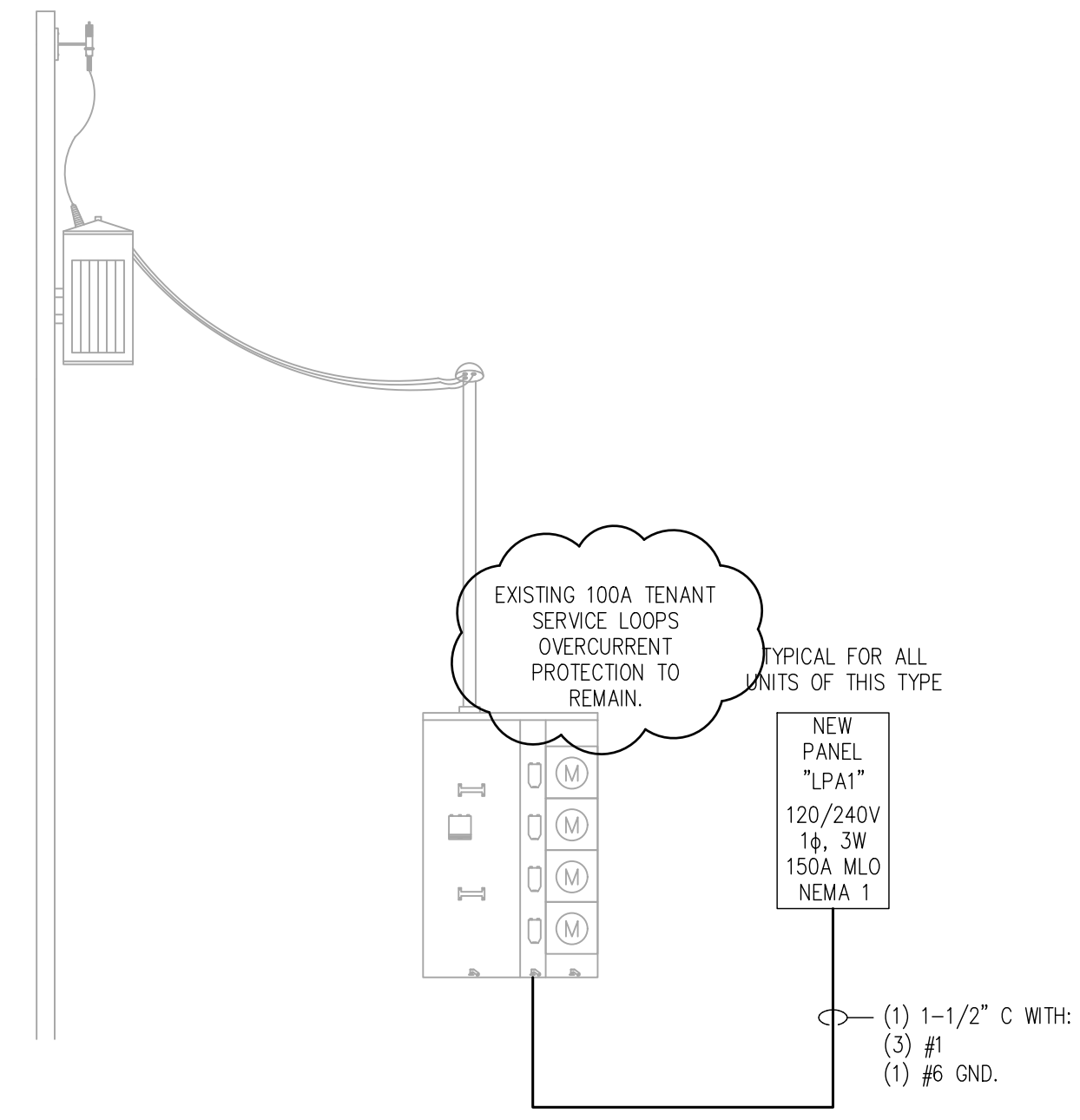
2902 NORTH FLORES
SAN ANTONIO, TEXAS 78212
210.393.1840 PHONE
SAN ANTONIO - RGV
TBPE FIRM REGISTRATION NO. 13361

ISSUE DATE: 11-28-2017

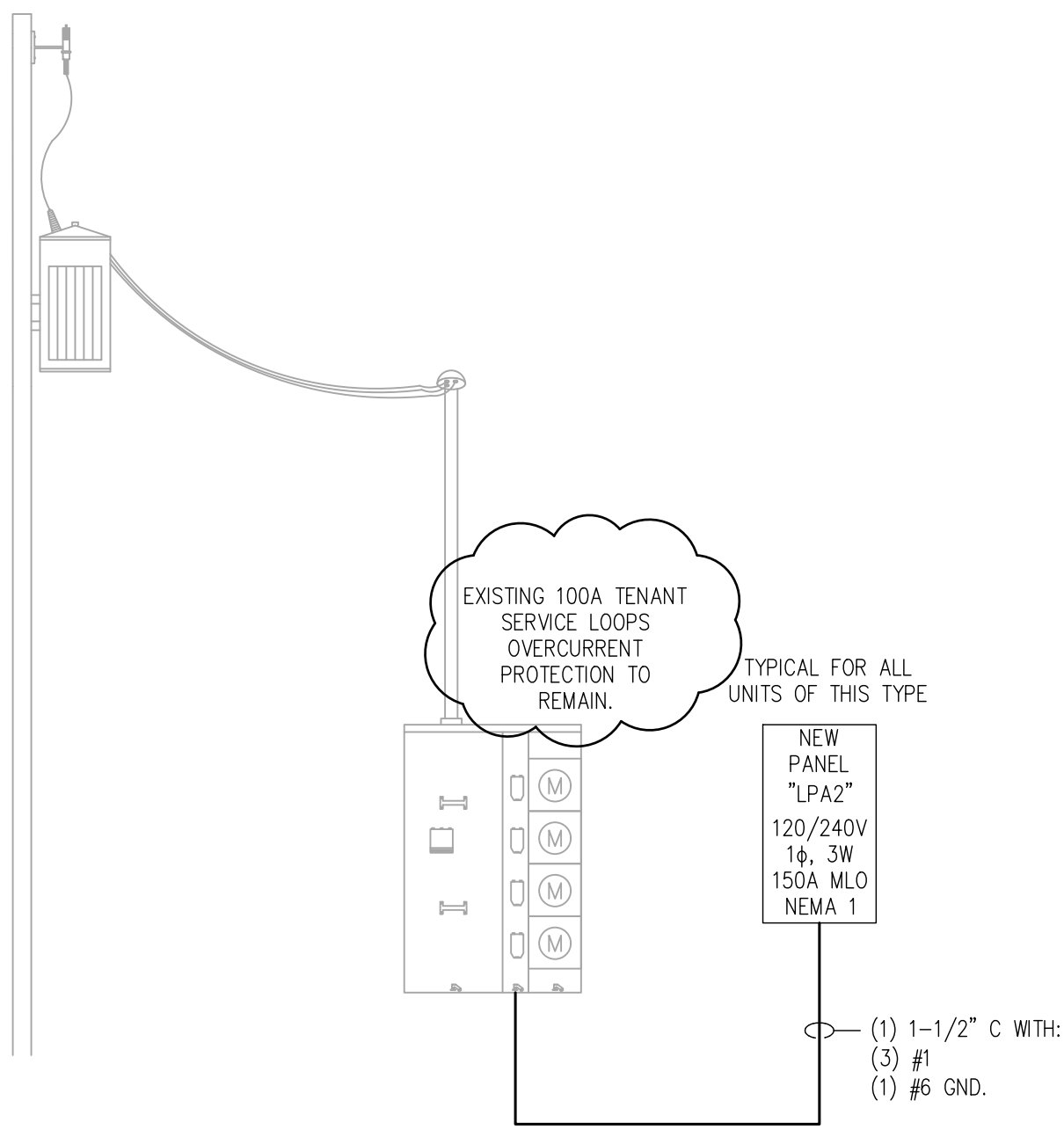
REVISIONS: 04-12-18 OWNER REVISIONS
ELECTRICAL SCHEDULES

SHEET: E4.0

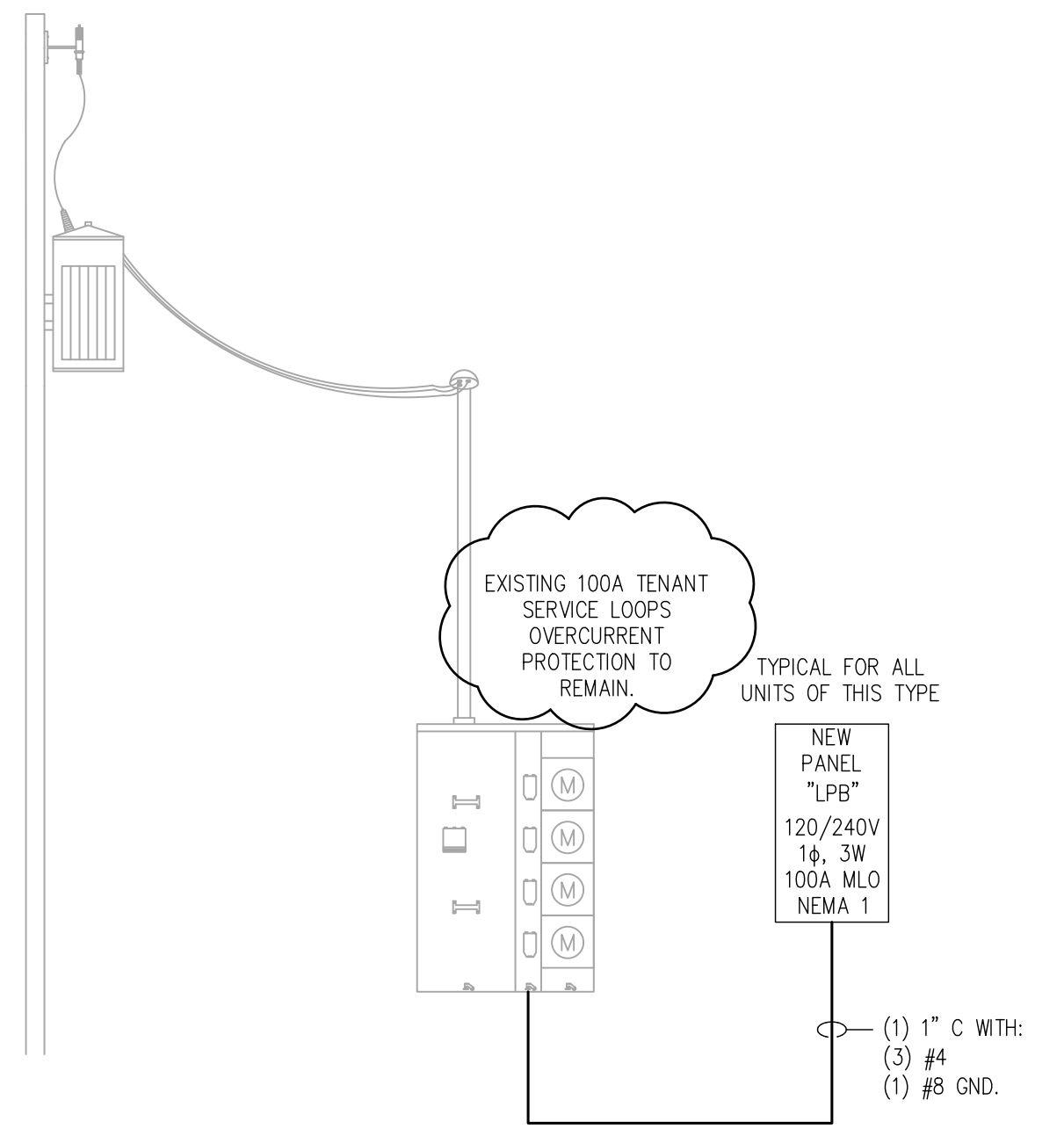
PANEL		LPE		PHASE LOADS (VA)						
CKT NO	DESCRIPTION	TRIP AMPS	POLE	A	B	POLE	TRIP AMPS	DESCRIPTION	CKT NO	
1	WINDOW A/C UNIT	20	1	780	780	1	20	WINDOW A/C UNIT	2	
3	WINDOW A/C UNIT	20	1		780	780	1	WINDOW A/C UNIT	4	
5	SPARE	20	1	300	500			REFRIGERATOR	6	
7	SPARE	20	1		0	360	1	GWH	8	
9	LIGHTING	20	1	438	48			EF-1	10	
11	RANGE HOOD	20	1		300	180	1	RECEPTACLES	12	
13	RECEPTACLES	20	1	180	360			RECEPTACLES	14	
15	RECEPTACLES	20	1		900	720	1	RECEPTACLES	16	
17	RECEPTACLES	20	1	540	900			RECEPTACLES	18	
19	RECEPTACLES	20	1		900	540	1	RECEPTACLES	20	
21	WINDOW A/C UNIT	20	1	780	780			WINDOW A/C UNIT	22	
23	WASHER	20	1		500	180	1	SPACE HEATER	24	
25	SPACE HEATER	20	1	0	0			SPARE	26	
27	SPARE	20	1		0	0	1	SPARE	28	
29	SPARE	20	1	0	0			SPACE	30	
				CONNECTED LOAD PHASE TOTALS (VA)						
				6386	6140					
				CONNECTED LOAD (KVA)	DEMAND FACTOR	DEMAND LOAD (KVA)				
				5.8	1.00	5.8				
				4.7	1.00	4.7				
				0.4	1.25	0.5				
				0.0	1.25	0.0				
				0.3	1.00	0.3				
				0.3	1.25	0.4				
				1.0	1.00	1.0				
				TOTAL:	12.5	12.7				
				LOAD (AMPS):	52.2	53.0				
				DEMAND LOAD	12.7 KVA					
				SPARE CAPACITY	17.3 KVA					
				SPARE CAPACITY	72.0 AMPS					
				SPARE CAPACITY	58 %					



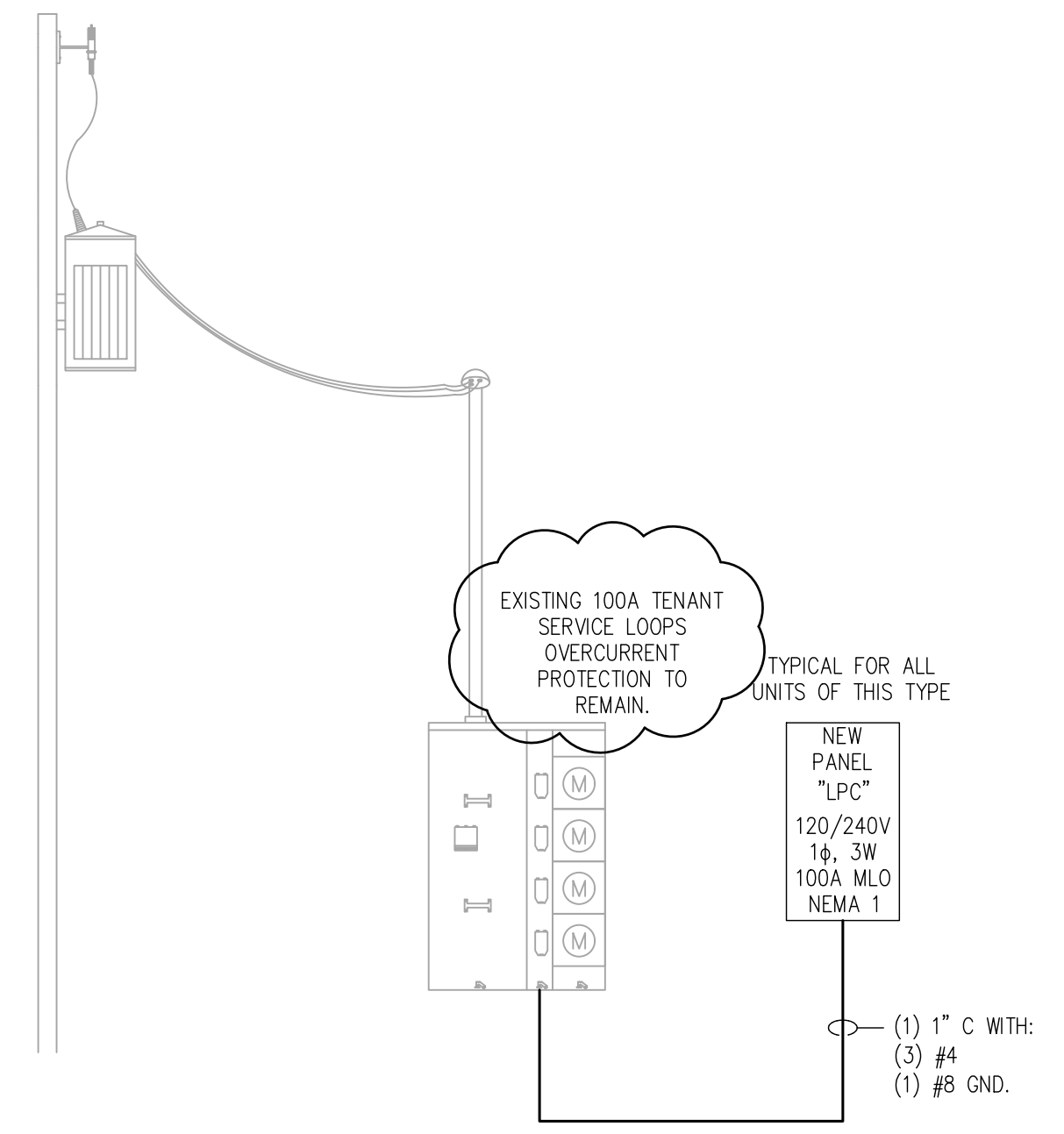
1 ELECTRICAL RISER - UNIT 942
N.T.S.



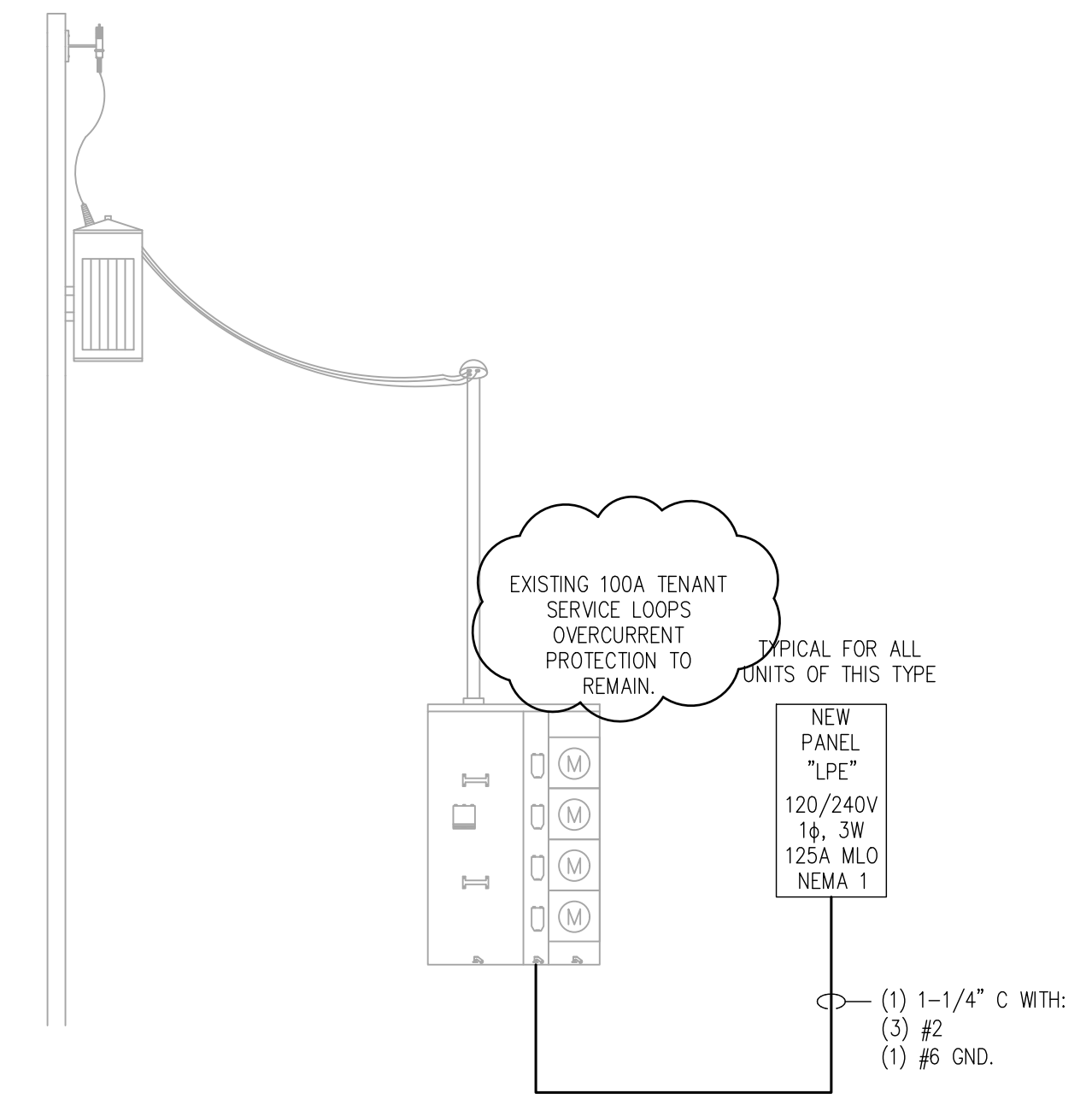
2 ELECTRICAL RISER - UNIT 1818
N.T.S.



3 ELECTRICAL RISER - UNIT 103 & 2404
N.T.S.



4 ELECTRICAL RISER - UNIT 1523 & 3023
N.T.S.

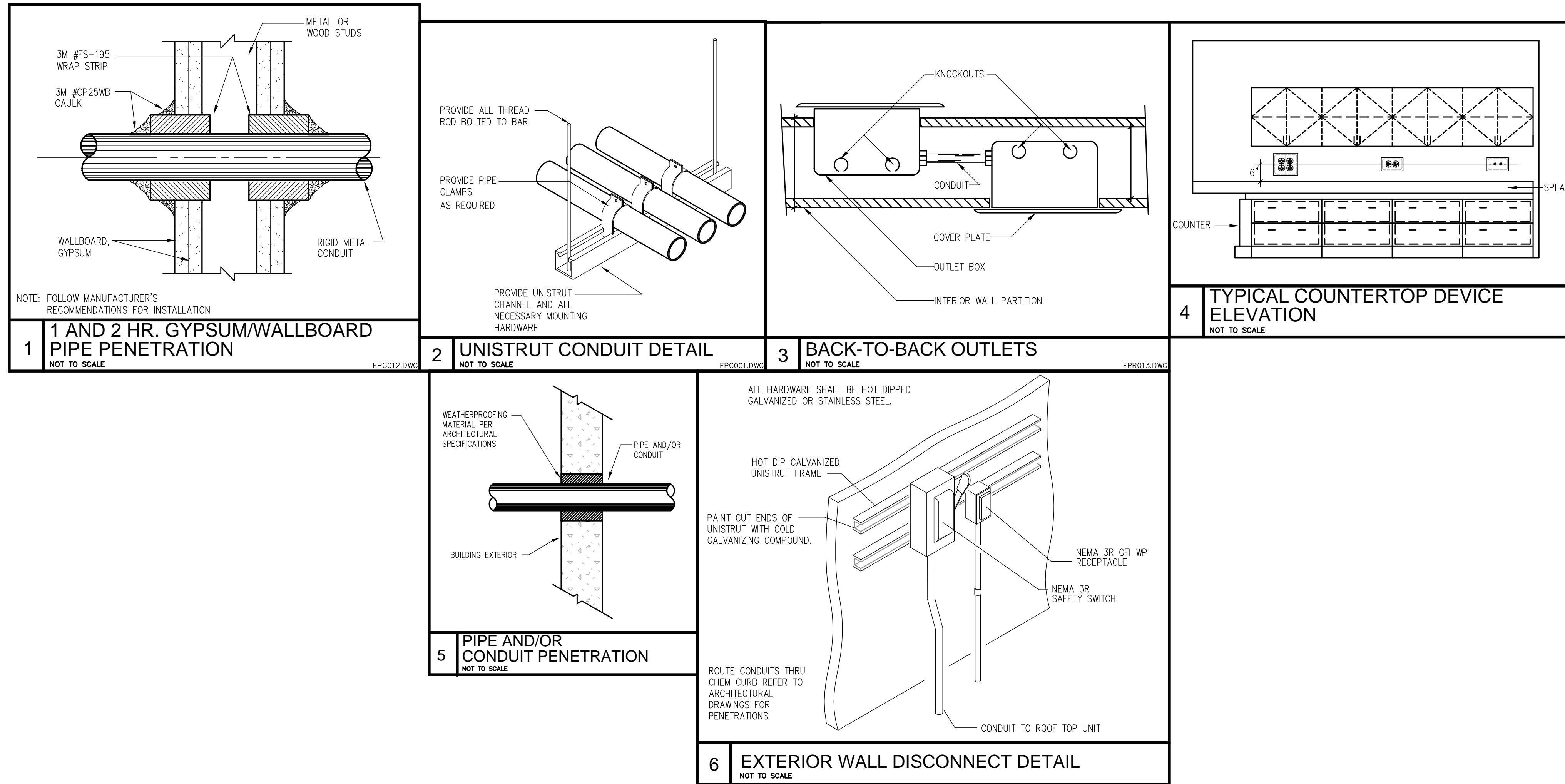


5 ELECTRICAL RISER - UNIT 1501
N.T.S.

HMB
ENGINEERING
CONSULTANTS

2902 NORTH FLORES
SAN ANTONIO, TEXAS 78212
210.393.1840 PHONE

SAN ANTONIO - RGV
TBPE FIRM REGISTRATION NO. 13361



DUCT SYMBOLS

DOUBLE LINE SYMBOL	DESCRIPTION	SINGLE LINE SYMBOL
	DUCT- FIRST NUMBER IS VISIBLE DIMENSION.	
	MITERED ELBOW W/TURNING VANES	
	RADIUS ELBOW W/VANE(S) (1.5=R/D STANDARD)	
	DUCT SECTION, POSITIVE PRESSURE	
	DUCT SECTION, NEGATIVE PRESSURE	
	DUCT & AIRFLOW UP(LEFT) POSITIVE PRESSURE	
	DUCT & AIRFLOW DN(RIGHT) POSITIVE PRESSURE	
	DUCT & AIRFLOW UP(LEFT) NEGATIVE PRESSURE	
	DUCT & AIRFLOW DN(RIGHT) NEGATIVE PRESSURE	
	DUCT & AIRFLOW UP(LEFT) NEG./POS. PRESSURE	
	DUCT & AIRFLOW DN(RIGHT) NEG./POS. PRESSURE	
	CHANGE OF ELEVATION=RISE (R), DROP (D)	
	DUCT W/INTERNAL LINING CLEAR INSIDE DIMENSIONS SHOWN	
	ACCESS DOOR=SIDE (L), BOTTOM (M), TOP (R)	
	FLEXIBLE CONNECTOR	
	FLEXIBLE DUCT	
	FD- FIRE DAMPER, SD- SMOKE DAMPER, FSD- FIRE/SMOKE DAMPER.	
	MANUAL VOLUME DAMPER-SPECIFIC TYPE, NO LABEL-BUTTERFLY, OBD-OPPOSED BLADED DAMPER, PBD-PARALLEL BLADE DAMPER	
	MOTORIZED DAMPER OR ZONE CONTROL DAMPER	
	BRANCH TAP-W/45 DEG. ENTRY	
	BRANCH TAP-CONICAL SPIN-IN	
	BRANCH TAP-STRAIGHT SPIN-IN	
	TRANSITION	
	EXISTING DUCTWORK TO BE DEMOLISHED	
	EXISTING DUCTWORK TO REMAIN	
	HVAC - EQUIP AS NOTED	
	AIR DEVICE, SUPPLY- CEILING, CLEAR	
	AIR DEVICE TAG SPIN-IN DIMENSION AIRFLOW (CFM)	
	AIR DEVICE, RETURN- CEILING.	
	AIR DEVICE, EXHAUST- CEILING.	
	AIR DEVICE, SUPPLY- SIDEWALL.	
	AIR DEWICE, RETURN/EXHAUST- SIDEWALL.	

ABBREVIATIONS

A	ABOVE
ABV	ALTERNATING CURRENT / ABOVE CEILING
AC	AIR COMPRESSOR
ACMPR	AIR CONDITIONING UNIT
ACU	ABOVE FINISHED FLOOR
AFF	AIR FLOW MEASURING STATION
AFMS	AIR HANDLING UNIT
AHU	AMBIENT
AMB	AMPERE
AMP	"AMERICAN NATIONAL STANDARDS INSTITUTE"
ANSI	APPROXIMATE
APPROX.	AMERICAN REFRIGERATION INSTITUTE
ARI	"AMERICAN SOCIETY OF HEATING, REFRIGERATION, and AIR CONDITIONING ENGINEERS"
ASHRAE	"AMERICAN SOCIETY OF MECHANICAL ENGINEERS"
ASME	"AMERICAN SOCIETY OF PLUMBING ENGINEERS"
ASPE	"AMERICAN SOCIETY FOR TESTING AND MATERIALS"
ASTM	AVERAGE
AVG	"AMERICAN WATER WORKS ASSOCIATION"
AWWA	
B	BOILER
BARO	BAROMETRIC
BAROPR	BAROMETRIC PRESSURE
BF	BELOW FLOOR
BFC	BELOW FINISHED CEILING
BG	BELOW GRADE
BHP	BRAKE HORSEPOWER
BOM	BOTTOM OF DUCT
BOP	BOTTOM OF PIPE
BTU	BRITISH THERMAL UNIT
C	COOLING COIL
CCL	COUNTERCLOCKWISE
CCW	CONDENSATE DRAIN
CD	CUBIC FEET PER HOUR
CFH	CUBIC FEET PER MINUTE
CFM	CHILLER
CH	CHILLER WATER PUMP
CHP	CHILLED WATER RETURN
CHR	CHILLED WATER SUPPLY
CHS	CLOSED CIRCUIT COOLER
CLR	COMPRESSOR
CMPR	CONDENSATE RETURN
CR	COMPUTER ROOM UNIT
CRU	COOLING TOWER
CT	CONDENSING UNIT
CU	CUBIC FEET
CU.FT.	CUBIC INCH
CU.IN.	CONSTANT VOLUME
CV	CARBON DIOXIDE SENSOR
CO2	CONDENSER WATER PUMP
CWP	CONDENSER WATER RETURN
CWR	CONDENSER WATER SUPPLY
CWS	
D	DECIBEL
dB	DRAIN
D	DRY BULB TEMPERATURE
DBT	DIRECT CURRENT
DC	DIRECT DIGITAL CONTROL
DDC	DEGREE
DEG	DENSITY
DENS	DIAMETER
DIA	DIFFERENCE or DELTA
DIFF	DOWN
DN	DEEP
DN	DEW POINT TEMPERATURE
DPT	E/A
DPT	EACH
E/A	EAT
EA	ENTERING AIR TEMPERATURE
EAT	ELECTRIC DUCT HEATER
EDH	EXHAUST FAN
EF	EFFICIENCY
EFF	ENTHALPY
ENTH.	EMERGENCY OVERFLOW DRAIN
EOD	EXPANSION TANK
ET	EVAPORATIVE COOLER
ET	ENTERING WATER TEMPERATURE
EVP	EXPANSION
EWT	
EXP	
F	FAHRENHEIT
F	FAN COIL UNIT
FCU	FLOOR
FLR.	FLAT ON BOTTOM
FOB	FLAT ON TOP
FOT	FEET PER MINUTE
FPM	FEET PER SECOND
FPS	FAN POWERED TERMINAL UNIT
FPTU	FURWACE
FRN	FEET
FT	FEET of WATER GAGE
FT.W.G.	FACE VELOCITY
FVEL	
G	GALLONS
GAL.	GALLONS PER HOUR
GPH	GALLONS PER MINUTE
GPM	GRAINS
GPM	
GR	
H	HEATING COIL
HCL	HOOD
HD	HEIGHT
HGT	HORSEPOWER
HP	HIGH PRESSURE STEAM
HPS	HOUR
HR	HUMIDIFIER
HUM	HOT WATER PUMP
HWP	HOT WATER RETURN
HWR	HOT WATER SUPPLY
HWS	HERTZ
HZ	
I	INSIDE DIAMETER
ID	INTAKE HOOD
IH	INCH
INCH	INCHES of WATER GAGE
IN.W.G.	INFRARED HEATER
IRH	
J	

ABBREVIATIONS

K	KITCHEN HOOD EXHAUST
KHE	KILOWATTS
KW	KILOWATT HOUR
KWH	
L	L-#
L-#	LOUVER DESIGNATION
LAT	LEAVING AIR TEMPERATURE
LBS.	POUNDS
LIQ	LIQUID
LPS	LOW PRESSURE STEAM
LWT	LEAVING WATER TEMPERATURE
M	MAKEUP AIR
MA	MAXIMUM
MAX.	THOUSAND BTU/HR.
MBH	MINIMUM CIRCUIT AMPACITY
MCA	THOUSAND CUBIC FEET
MCF	MINIMUM or MINUTES
MIN.	MAXIMUM OVERCURRENT PROTECTION
MOCP	MEDIUM PRESSURE STEAM
MPS	"MANUFACTURERS STANDARDIZATION SOCIETY of the Valves and Fittings Industry, Inc."
MSS	
N	NOT APPLICABLE
N/A	NOISE CRITERIA
NC	NORMALLY CLOSED
N.C.	NATIONAL ENVIRONMENTAL BALANCING BUREAU
NEBB	NOT IN CONTRACT
N.I.C.	NORMALLY OPEN
N.O.	NOT TO SCALE
N.T.S.	
O	OUTSIDE AIR
O/A	OUTSIDE DIAMETER
OD	OCCUPATIONAL SAFETY and HEALTH ADMINISTRATION
OSHA	OUNCE
OZ	
P	PRESSURE DIFFERENCE
PD	PHASE
PH	PART PER MILLION
PPM	PRIMARY
PRI	PRESSURE
PRSS.	POUNDS PER SQUARE INCH
PSI	"PSI, ABSOLUTE"
PSIA	"PSI, GAGE"
PSIG	
Q	
R	THERMAL RESISTANCE
R	REFRIGERANT--22
R-22	RETURN AIR
R/A	RECEIVER
RCVR	ROOF DRAIN
RD	"REFER TO DETAIL NO.1, SHEET M--xx"
RE	RECIRCULATE
RE. 1/M--xx	RECUR.
RECUR.	RETURN FAN
RF	RELIEF HOOD
RH	REFRIGERANT LIQUID
RL	REVOLUTIONS PER MINUTE
RPM	REVOLUTIONS PER SECOND
RPS	REFRIGERANT SUCTION
RS	ROOFTOP UNIT
RTU	RELIEF VENT
RV	
S	SECOND
s	SOUND ATTENUATOR
SA	SUPPLY AIR
S/A	SATURATION
SAT	SMOKE DETECTOR
SD	SUPPLY FAN
SF	SPECIFIC GRAVITY
SG	SPACE HEATER DESIGNATION
SH-#	"SHEET METAL and AIR CONDITIONING"
SMACNA	"CONTRACTORS" NATIONAL ASSOCIATION"
	STATIC PRESSURE
SP	SPECIFICATION
SPEC.	SQUARE FEET
SQ.FT.	SUCTION
SUCT.	
T	TEMPERATURE DIFFERENCE
TD	TEMPERATURE
TEMP	TONS OF REFRIGERATION
TONS	THERMOSTAT
TSTAT	TERMINAL UNIT
TU	
U	HEAT TRANSFER COEFFICIENT
U	UNDER COUNTER
U/C	UNDERGROUND
UG	UNIT HEATER
UH	UNLESS NOTED OTHERWISE
UJ.N.O.	UNIT VENTILATOR
UV	
V	VOLTS
V	VOLT AMPERE
VA	VACUUM
VAC	VARIABLE
VAR	VARIABLE AIR VOLUME
VAV	VELOCITY
VAV	VENTILATION
VEL.	VERTICAL
VENT.	VARIABLE FREQUENCY DRIVE
VERT.	VOLUME
VFD	VELOCITY PRESSURE
VOL.	VENT THRU ROOF
VP	
VTR	
W	WITH
W/	WITHOUT
W/O	WATTS
W	WET BULB
WB	WET BULB TEMPERATURE
WBT	WEIGHT
WT	
X	
Y	YARD CLEANOUT
YCO	YARD
YD	YEAR
YR	
Z	ZONE
ZN	

GENERAL MECHANICAL NOTES AND SPECIFICATIONS:

GENERAL

- COORDINATE WORK AMONG ALL DISCIPLINES. IT IS NOT THE INTENT OF THESE DOCUMENTS TO DICTATE WHO MUST DO THE WORK. ALL WORK SHOWN IS THE RESPONSIBILITY OF THE (PRIME) CONTRACTOR.
- FIELD VERIFY ALL CONDITIONS AND MEASURE DIMENSIONS WITHIN THE BUILDING PRIOR TO ORDERING EQUIPMENT AND/OR PROCEEDING WITH INSTALLATION.
- ALL EQUIPMENT SHALL BE FACTORY TESTED, AND CONTRACTOR SHALL VERIFY THEIR CONDITION PRIOR TO INSTALLATION. CONTRACTOR IS RESPONSIBLE FOR EQUIPMENT DAMAGED DURING MOVING AND INSTALLATION.
- EQUIPMENT FOUND DEFECTIVE PRIOR TO FINAL ACCEPTANCE SHALL BE REPLACED AT NO COST TO OWNER.
- SUBMISSION OF BID PROPOSAL IS CONSIDERED AN ACKNOWLEDGEMENT THAT CONTRACTOR VISITED SITE, AND VERIFIED ALL EXISTING CONDITIONS, AND INCLUDED ANY MODIFICATIONS TO EXISTING AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND OPERATIONAL MECHANICAL SYSTEM.
- COORDINATE WITH OWNER AND ENGINEER FOR ANY DISRUPTION IN UTILITY SERVICES, PARTICULARLY THOSE THAT MIGHT AFFECT OTHER BUILDINGS IN THE CAMPUS.
- CONTRACTOR SHALL NOT PROCEED WITH ANY WORK INVOLVING A CHANGE IN PROJECT SCOPE OR COST WITHOUT FIRST HAVING OBTAINED ENGINEER'S APPROVAL IN WRITING. UNLESS ENGINEER HAS AGREED TO SUCH CHANGE PRIOR TO IT BEING DONE, AND HAS AGREED THAT AN INCREASE IN COST ASSOCIATED WITH SUCH CHANGE IS WARRANTED; CONTRACTOR WILL NOT BE REIMBURSED FOR SUCH CHANGE.
- TESTING, ADJUSTING AND BALANCING (TAB) CONTRACTOR SHALL BE RETAINED BY THE PRIME CONTRACTOR. TAB SHALL NOT BE A PART OF THE MECHANICAL CONTRACT.

CODES AND ORDINANCES

- PERFORM ALL WORK PER LATEST VERSION OF INTERNATIONAL MECHANICAL CODE, AND APPLICABLE LOCAL CODES AND ORDINANCES, UNLESS DRAWINGS OR SPECIFICATIONS HAVE MORE STRINGENT REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS AND FEES ASSOCIATED WITH PROJECT, INCLUDING FEES FOR INSPECTIONS, APPLICATIONS, AND PROVISION OF NEW SERVICES.
- NOTIFY ENGINEER OF ANY ASPECTS OF DESIGN WHICH ARE THOUGHT TO BE IN NONCOMPLIANCE WITH APPLICABLE CODES.

COORDINATION

- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAILS OF CONSTRUCTION, INCLUDING BEAMS, FLOOR AND WALL PENETRATIONS, CHASES, AND REFLECTED CEILING PLANS. VERIFY OPENING SIZES WITH EQUIPMENT FURNISHED.
- COORDINATE ALL WORK WITH OTHER TRADES; COORDINATE SCHEDULE OF WORK WITH ALL SUB-CONTRACTORS TO ACHIEVE SMOOTH FLOW OF CONSTRUCTION.
- CONTRACTOR SHALL REVIEW COMPLETE DOCUMENTS PRIOR TO SUBMITTAL OF PROPOSAL TO GAIN COMPLETE UNDERSTANDING OF PROJECT SCOPE, WORK BY OTHERS, AND MECHANICAL WORK ASSOCIATED WITH OTHER DISCIPLINES.
- ENGINEER/ ARCHITECT MUST BE GIVEN AT LEAST A TEN (10) WORKING DAY NOTICE TO PERFORM ALL TYPES OF INSPECTIONS. COORDINATE WORK SCHEDULE WITH ARCHITECT AND ENGINEER TO PLAN ACCORDINGLY FOR APPROPRIATE INSPECTIONS.

ECONOMIZER

- FOR SYSTEMS THAT REQUIRE ECONOMIZER, MECHANICAL CONTRACTOR SHALL PROVIDE A CONTROLLER EQUAL TO HONEYWELL JADE ECONOMIZER MODULE W7220. REFER TO ECONOMIZER DETAIL FOR ADDITIONAL INFORMATION.

METAL AND FLEXIBLE DUCTS

- DRAWINGS ARE DIAGRAMMATIC IN NATURE. FOR CLARITY SAKE, MOST DUCT OFFSETS/RISES/DROPS ARE NOT SHOWN. RECTANGULAR AND ROUND DUCTWORK SHALL BE GALVANIZED STEEL. SIZES SHOWN ARE INSIDE CLEAR DIMENSION.
- VERIFY BOTTOM OF DUCT ELEVATION AND COORDINATE WITH OTHER TRADES.
- CONSTRUCT AND LEAKAGE TEST ALL DUCTWORK BASED ON SMACNA REQUIREMENTS. COORDINATE PRESSURE CLASSES WITH EQUIPMENT SCHEDULES.
- ALL GALVANIZED SHEET METAL DUCT WORK SHALL COMPLY WITH SMACNA'S "HVAC DUCT CONSTRUCTION STANDARDS--METAL AND FLEXIBLE".
- USE 2" GLASS FIBER-REINFORCED FABRIC JOINT AND SEAM TAPE. USE WATER BASED JOINT AND SEAM SEALER. USE FIRE RESISTANT SEALER FOR FILLING OPENINGS AROUND DUCT PENETRATIONS THROUGH WALLS. ACCEPTABLE PRODUCTS ARE DOW CORNING, FIRE STOP FOAM AND FIRE STOP SEALER OR EQUAL.
- USE SHEET METAL SCREWS OR BLIND RIVETS COMPATIBLE WITH DUCT MATERIALS WHEN SECURING ALL DUCTWORK TO STRUCTURE.
- FLEXIBLE DUCT MAY BE USED TO CONNECT TO SUPPLY DIFFUSERS. MAXIMUM LENGTH OF FLEXIBLE DUCT LIMITED TO 8 FEET. PROVIDE FLEXMASTER TYPE 8M UL 181 CLASS I AIR DUCT OR EQUAL. FLEXIBLE DUCT SHALL HAVE MIN. R-8 INSULATING VALUE.
- FLEXIBLE DUCT CLAMP SHALL BE OF STAINLESS STEEL BANDS WITH CADMIUM PLATED HEX SCREW TO TIGHTEN BAND WITH WORM GEAR ACTION.
- PROVIDE TURNING VANES IN ALL SPLITS, TEES AND SWEEP 90 DEGREE ANGLE DUCT FITTINGS. MANUFACTURED TURNING VANES TO BE 1-1/2" WIDE, DOUBLE VANE, CURVED BLADES OF GALVANIZED SHEET STEEL SET 90° O.C. ACCEPTABLE MANUFACTURERS ARE DUCTMATE INDUSTRIES, METALFARE, WARD INDUSTRIES OR EQUAL.
- WHERE RECTANGULAR TEE FITTINGS ARE SHOWN, PROVIDE FITTING WITH ADJUSTABLE DIVIDER SHEET AND TURNING VANES.
- WHERE RECTANGULAR MAIN AND BRANCH CONNECTIONS ARE SHOWN, PROVIDE EXTRACTOR VANES.
- PROVIDE MANUAL VOLUME CONTROL DAMPERS WHERE SHOWN ON DRAWINGS. DAMPERS TO HAVE NEOPRENE BLADE SEALS AND GALVANIZED STEEL FRAMES, TIE BARS, DAMPER AND BRACKETS. ACCEPTABLE MANUFACTURERS ARE RUSKIN CO., NAILOR INDUSTRIES, FLEXMASTER OR EQUAL.
- ABOVE INACCESSIBLE CEILINGS AND WHERE DUCT CONFIGURATION DOES NOT ALLOW FOR INSTALLATION OF DAMPER IN DUCTWORK OR DIFFUSER, PROVIDE REMOTE MANUAL DAMPER BY YOUNG REGULATOR. (BOWDEN CABLE CONTROL SYSTEM). CONTRACTOR MAY PROVIDE OPPOSED BLADE DAMPER THAT IS INTEGRAL TO GRID WITH ENGINEER'S APPROVAL.

INSULATION

- DUCT WRAP INSULATION SHALL BE MINERAL FIBER INSULATION. ALL SERVICE JACKETING MANUFACTURED FROM KRAFT PAPER, REINFORCING SCRIM, ALUMINUM FOIL AND VINYL FILM. ACCEPTABLE MANUFACTURERS ARE CERTANTEED, KNAUF OR OWENS-CORNING. INSTALL DUCT WRAP INSULATION PER MANUFACTURERS' INSTRUCTIONS.
- INTERIOR DUCTWORK TO BE INSULATED WITH DUCT WRAP INSULATION. ALL SUPPLY DUCTS TO HAVE 3" MIN. THICKNESS (R-8) INSULATION AND ALL RETURN AND OUTSIDE AIR DUCTS TO HAVE 2" MIN. INSULATION.

TESTING, ADJUSTING AND BALANCING (TAB)

- TAB TO BE PERFORMED BY AN INDEPENDENT ENTITY, CERTIFIED BY AABC OR NEBB.
- PERFORM TESTING AND BALANCING PROCEDURES PER AABC'S "NATIONAL STANDARDS FOR TOTAL SYSTEM BALANCE" OR NEBB'S "PROCEDURAL STANDARDS FOR TESTING, ADJUSTING, AND BALANCING OF ENVIRONMENTAL SYSTEMS".

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ALFRED O. HERNANDEZ
101108
LICENSED PROFESSIONAL ENGINEER

04-12-18

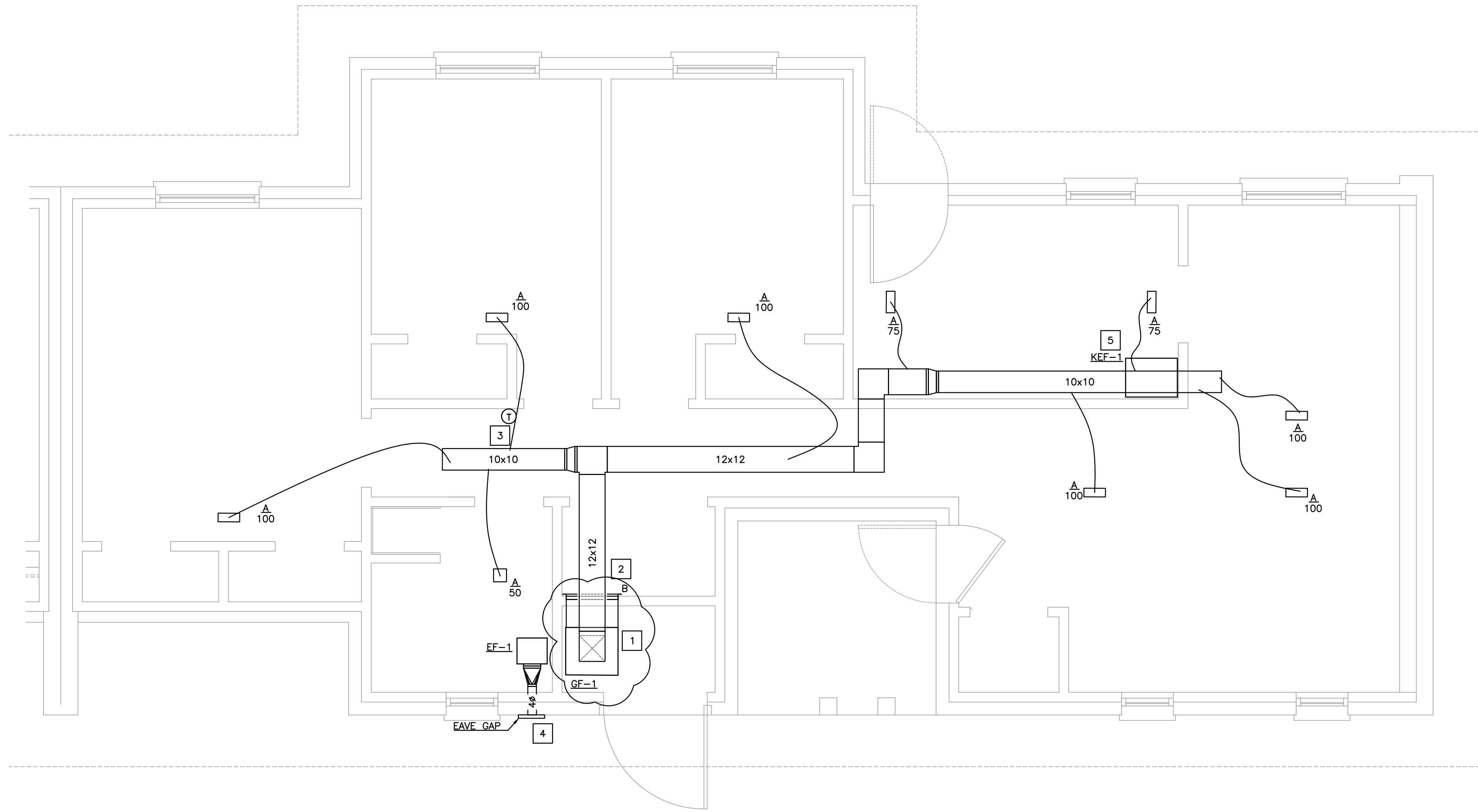
CASSIANO HOMES
PARTIAL REMODEL
2919 S LAREDO ST. SAN ANTONIO, TX 78207

ISSUE DATE: 11-28-2017

REVISIONS: 04-12-18 OWNER REVISIONS

MECHANICAL SYMBOLS & ABBREVIATIONS

SHEET: **M0.0**



1 MECHANICAL PLAN - UNIT 942
 3/8" = 1'-0"

MECHANICAL GENERAL NOTES:

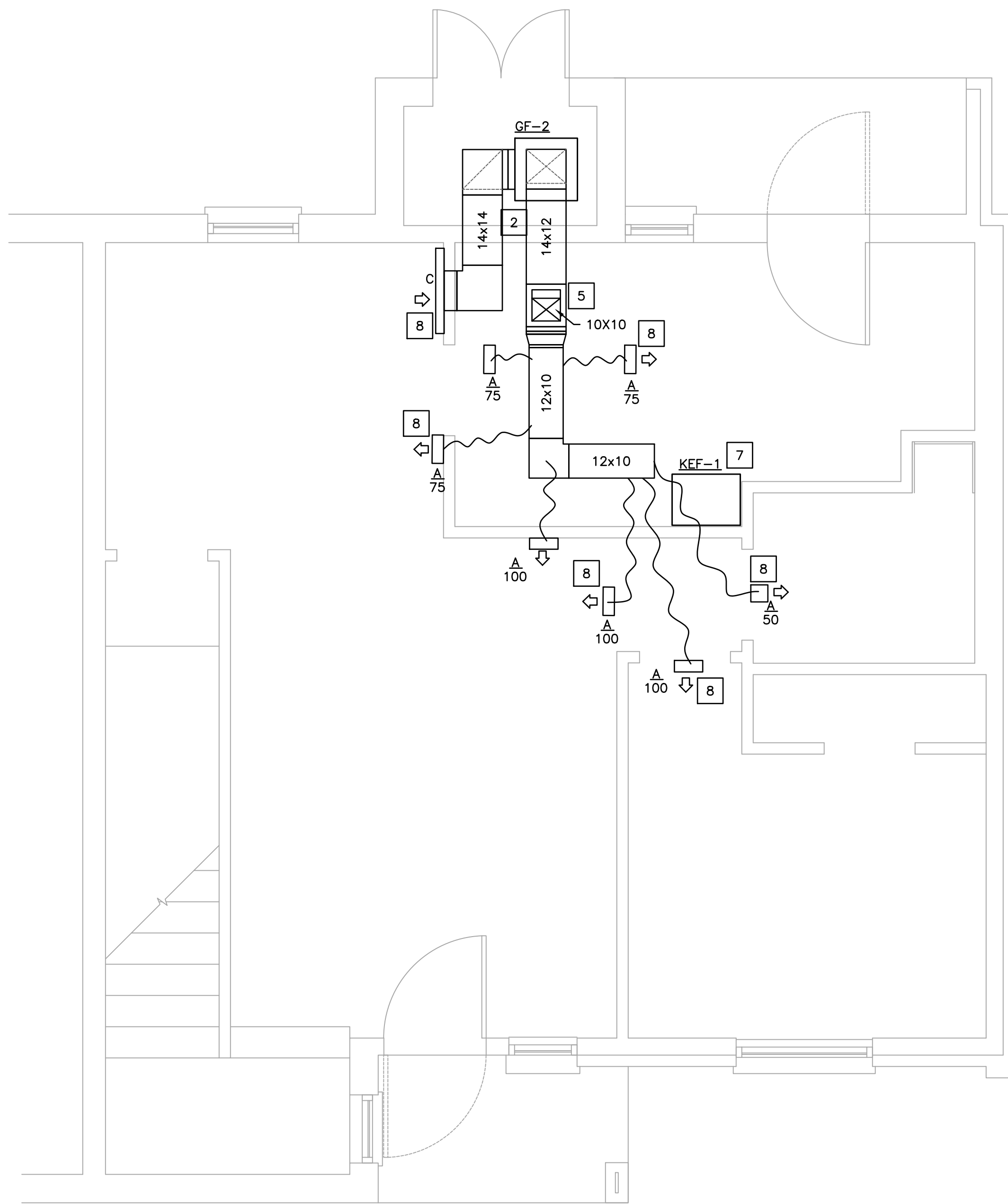
1. CONTRACTOR SHALL BALANCE EACH DEVICE WITH THE CFM SHOWN ON PLAN.
2. NEW PIPING AND DUCTWORK SHOWN ON PLAN ARE SCHEMATIC ONLY. CONTRACTOR SHALL COORDINATE WITH OTHER TRADES FOR PIPING AND DUCTWORK ROUTING, OFFSET AND RUN PIPING, DUCTWORK INSIDE THE STRUCTURE IF REQUIRED. PROVIDE ANY EXTRA PIPING, DUCTWORK, FITTINGS, INSULATIONS AND OTHER ACCESSORIES IN ORDER TO COMPLETE THE INSTALLATION.
3. COORDINATE LOCATIONS AND SIZES OF ROOF OPENINGS WITH OWNER AND STRUCTURE ENGINEERS.
4. EQUIPMENT SIZES, DIMENSIONS AND REQUIRED CONNECTIONS SHALL BE VERIFIED WITH THE ACTUAL EQUIPMENT SELECTED VENDOR DRAWINGS BEFORE FABRICATION OF DUCTWORK, PIPING, ETC...
5. DUCT SIZES SHOWN ON PLANS ARE CLEAR INSIDE AIR STREAM DIMENSIONS.
6. CONTRACTOR SHALL COORDINATE ALL ELECTRICAL REQUIREMENTS FOR ALL HVAC BASED ON ACTUAL EQUIPMENT SELECTED PRIOR TO INSTALLATION.
7. CONTRACTOR SHALL COORDINATE EQUIPMENT WEIGHTS AND SUPPORTS BASED ON ACTUAL EQUIPMENT SELECTED.
8. COORDINATE WITH ARCHITECT AND OWNER FOR LOCATION OF CONDENSING UNIT.
9. REFER TO M3.0 FOR DIFFUSERS AND RETURNS NECK SIZES.

KEYED NOTES: MECHANICAL

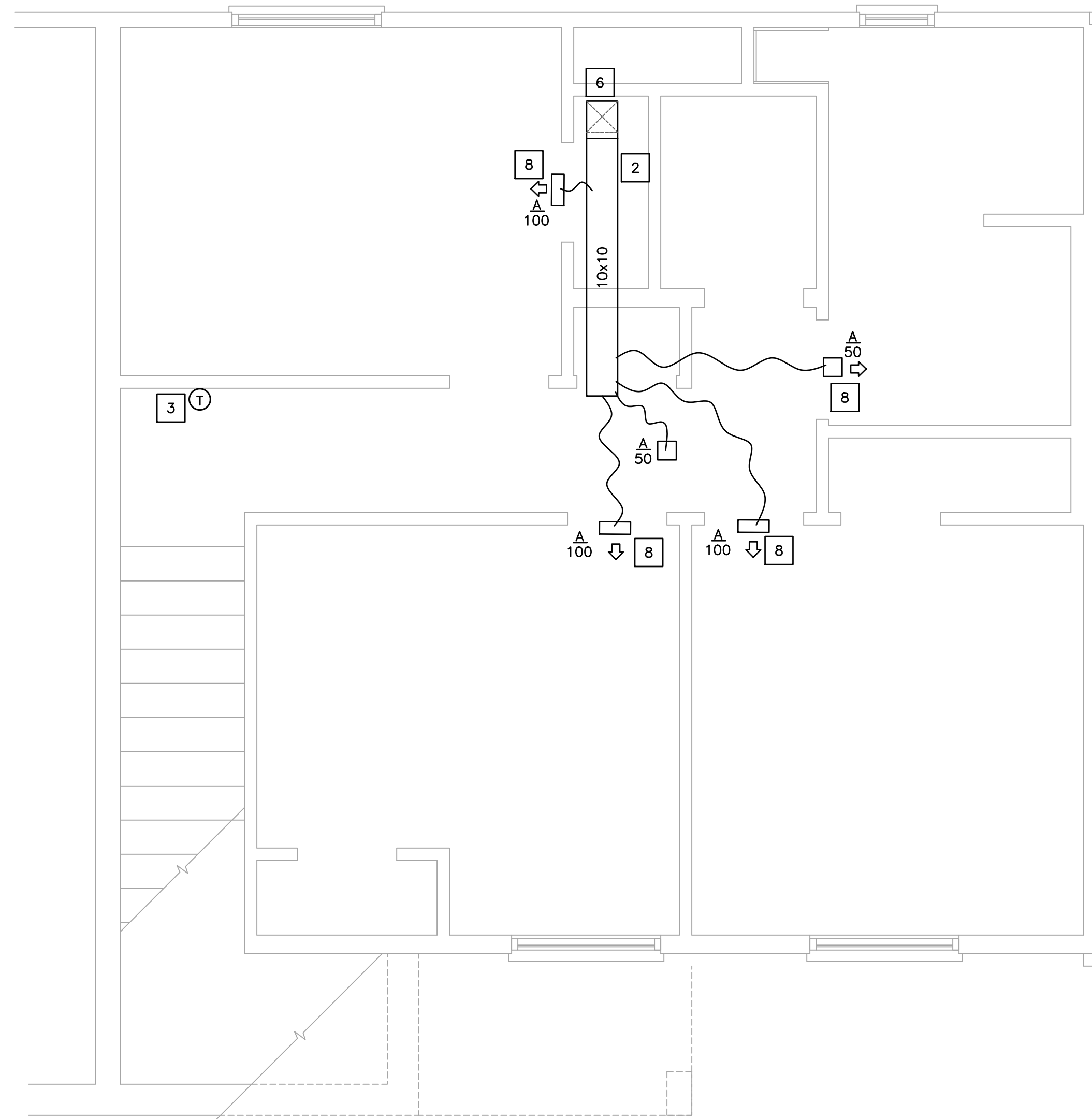
- 1 LOCATE CONCEAL INDOOR UNIT AS SHOWN ON DRAWINGS. VERIFY CLEARANCES. COORDINATE WITH ARCHITECTURE DRAWINGS PRIOR TO INSTALLATION.
- 2 ROUTE SUPPLY AND RETURN DUCT AS SHOWN. TRANSITIONS AS REQUIRED. FIELD ADJUST TO ACCOMMODATE WITH STRUCTURE CLEARANCE.
- 3 MOUNT THERMOSTAT ON WALL. COORDINATE EXACT LOCATION WITH ARCHITECT.
- 4 INTERCONNECT EXHAUST FAN WITH LIGHTS IN THIS ROOM. FAN SHALL BE SUSPENDED FROM STRUCTURE ABOVE. VERIFY EXACT LOCATION OF STRUCTURAL MEMBERS PRIOR TO INSTALLATION. PROVIDE EAVE CAP EQUAL TO GREENHECK EL-10X3.
- 5 PROVIDE KITCHEN HOOD AS SCHEDULED. UNIT SHALL HAVE INTEGRAL CONTROLS.



04-12-18



1 MECHANICAL PLAN 1ST FLOOR - UNIT 1818
 $\frac{3}{8}'' = 1'-0''$



2 MECHANICAL PLAN 2ND FLOOR - UNIT 1818
 $\frac{3}{8}'' = 1'-0''$

MECHANICAL GENERAL NOTES:

1. CONTRACTOR SHALL BALANCE EACH DEVICE WITH THE CFM SHOWN ON PLAN.
2. NEW PIPING AND DUCTWORK SHOWN ON PLAN ARE SCHEMATIC ONLY. CONTRACTOR SHALL COORDINATE WITH OTHER TRADES FOR PIPING AND DUCTWORK ROUTING. OFFSET AND RUN PIPING, DUCTWORK INSIDE THE STRUCTURE IF REQUIRED. PROVIDE ANY EXTRA PIPING, DUCTWORK, FITTINGS, INSULATIONS AND OTHER ACCESSORIES IN ORDER TO COMPLETE THE INSTALLATION.
3. COORDINATE LOCATIONS AND SIZES OF ROOF OPENINGS WITH OWNER AND STRUCTURE ENGINEERS.
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7. CONTRACTOR SHALL COORDINATE EQUIPMENT WEIGHTS AND SUPPORTS BASED ON ACTUAL EQUIPMENT SELECTED.
8. COORDINATE WITH ARCHITECT AND OWNER FOR LOCATION OF CONDENSING UNIT.
9. REFER TO M3.0 FOR DIFFUSERS AND RETURNS NECK SIZES.

KEYED NOTES: MECHANICAL

- 1 LOCATE CONCEAL INDOOR UNIT AS SHOWN ON DRAWINGS. VERIFY CLEARANCES. COORDINATE WITH ARCHITECTURE DRAWINGS PRIOR TO INSTALLATION.
- 2 ROUTE SUPPLY AND RETURN DUCT AS SHOWN. TRANSITIONS AS REQUIRED. FIELD ADJUST TO ACCOMMODATE WITH STRUCTURE CLEARANCE.
- 3 MOUNT THERMOSTAT ON WALL. COORDINATE EXACT LOCATION WITH ARCHITECT.
- 4 NOT USED.
- 5 REFER TO 2/M2.1 FOR CONTINUATION.
- 6 REFER TO 1/M2.1 FOR CONTINUATION.
- 7 PROVIDE KITCHEN HOOD AS SCHEDULED. UNIT SHALL HAVE INTEGRAL CONTROLS.
- 8 MOUNT AS SIDE DIFFUSER ON WALL.

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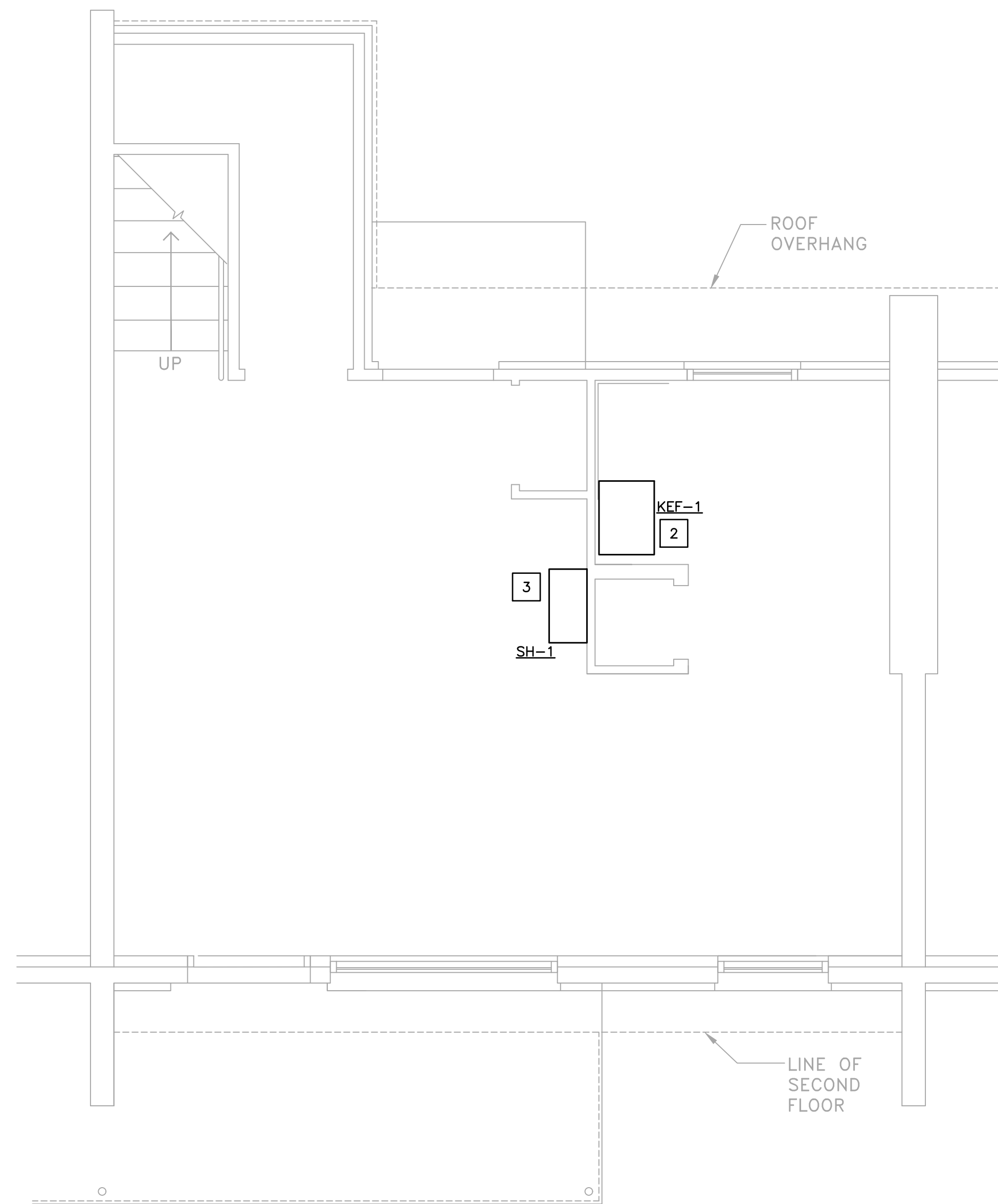
07-25-18

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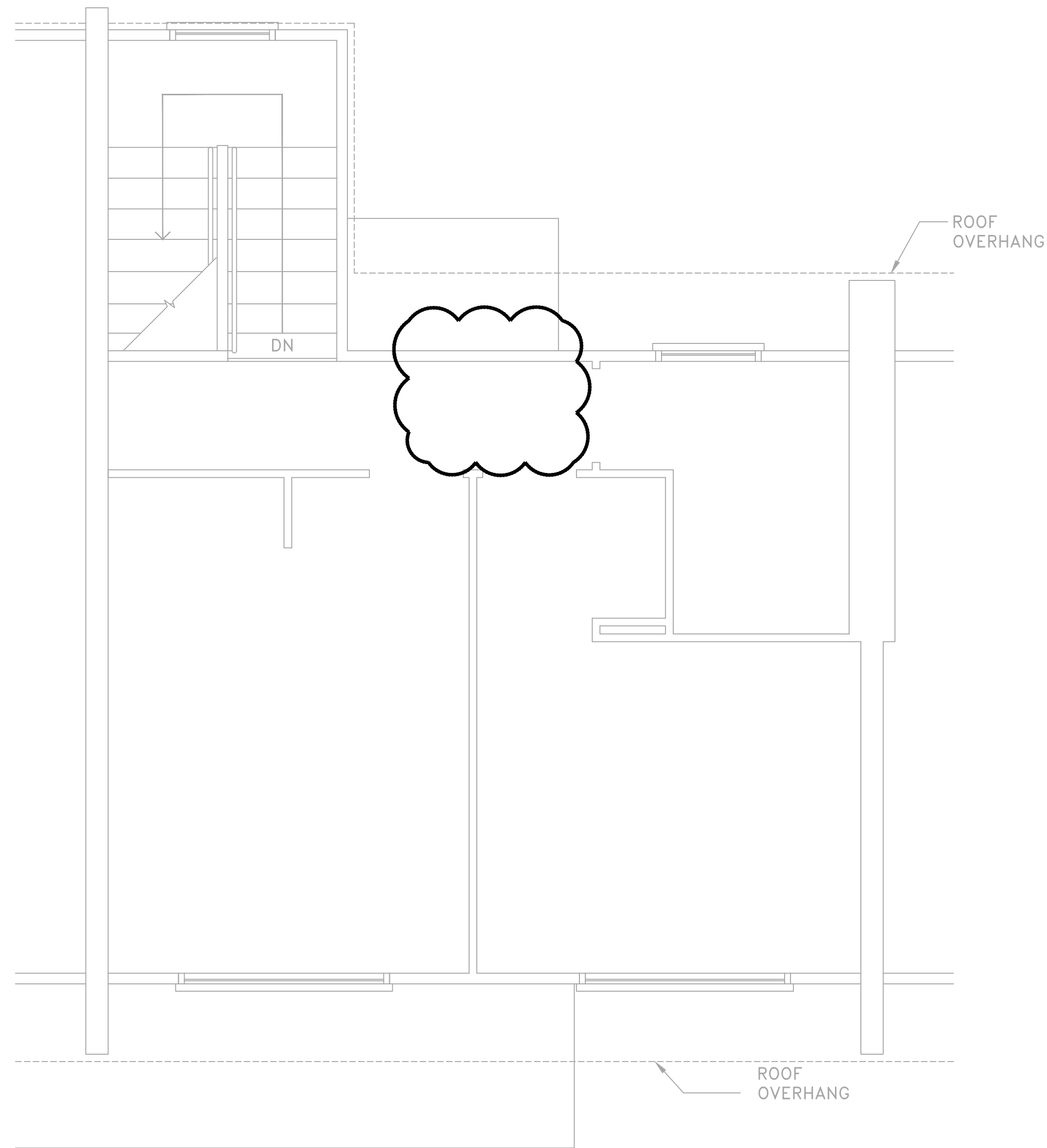
ISSUE DATE:
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 07-25-18 COSA COMMENTS
MECHANICAL PLAN

SHEET:
M2.1



1 MECHANICAL PLAN 1ST FLOOR - UNIT 103 & 2404
 $\frac{3}{8}'' = 1'-0''$



2 MECHANICAL PLAN 2ND FLOOR - UNIT 103 & 2404
 $\frac{3}{8}'' = 1'-0''$

MECHANICAL GENERAL NOTES:

1. CONTRACTOR SHALL BALANCE EACH DEVICE WITH THE CFM SHOWN ON PLAN.
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7. CONTRACTOR SHALL COORDINATE EQUIPMENT WEIGHTS AND SUPPORTS BASED ON ACTUAL EQUIPMENT SELECTED.
8. THERMOSTAT SHALL BE INSTALLED AND SPECIFIED AS PER 'WILLIAMS' SPACE HEATER MANUFACTURER RECOMMENDATIONS.

KEYED NOTES: MECHANICAL

- 1 NOT USED.
- 2 PROVIDE KITCHEN HOOD AS SCHEDULED. UNIT SHALL HAVE INTEGRAL CONTROLS.
- 3 COORDINATE SPACE HEATER LOCATION WITH OWNER AND ARCHITECT BEFORE MOUNTING. CONTRACTOR SHALL EXTEND NEW FLUE PIPING TO EXISTING FLUE WHEN POSSIBLE OTHER WISE CONTRACTOR SHALL PROVIDE NEW FLUE THRU ROOF. REFER TO DETAIL.

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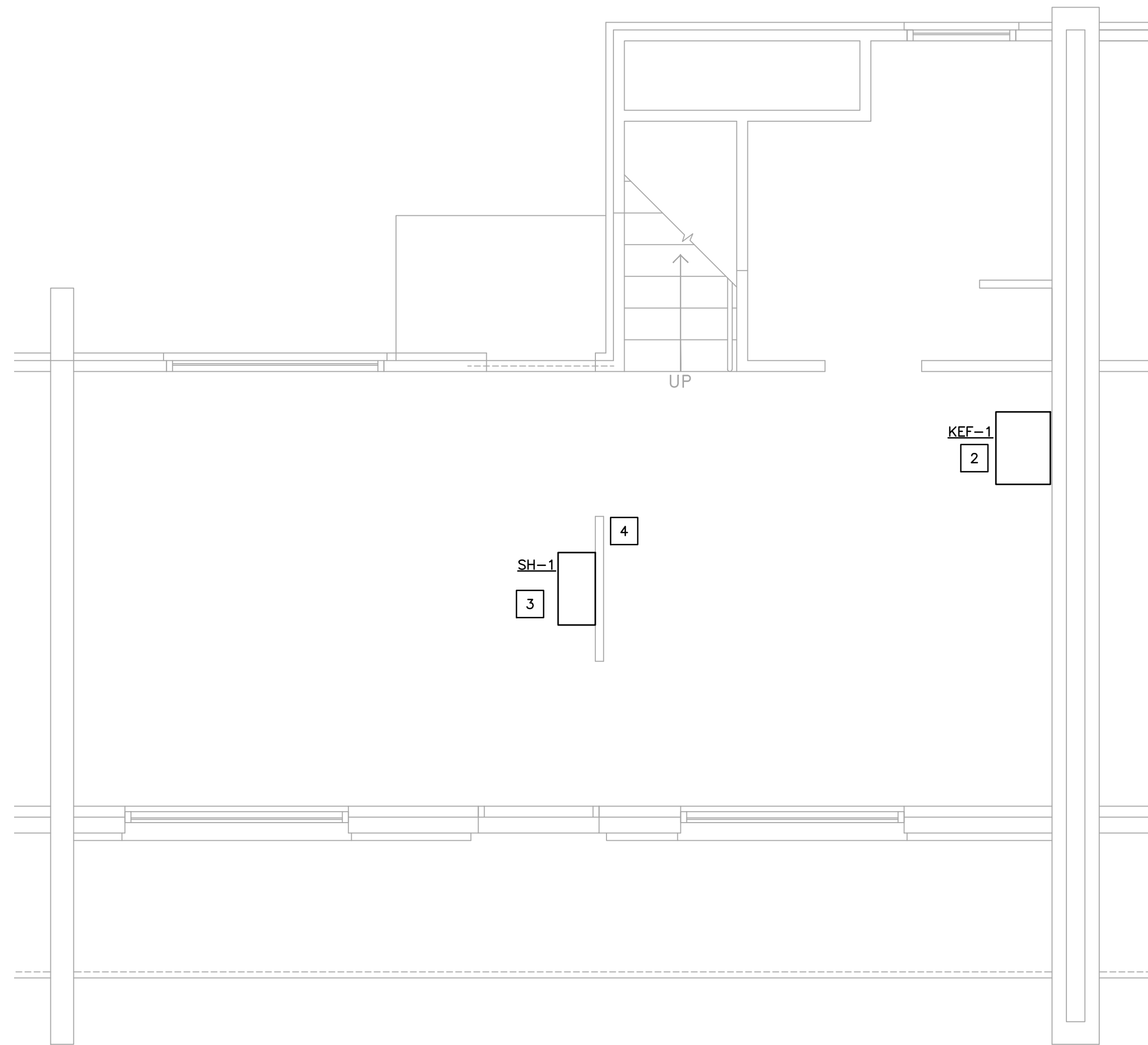


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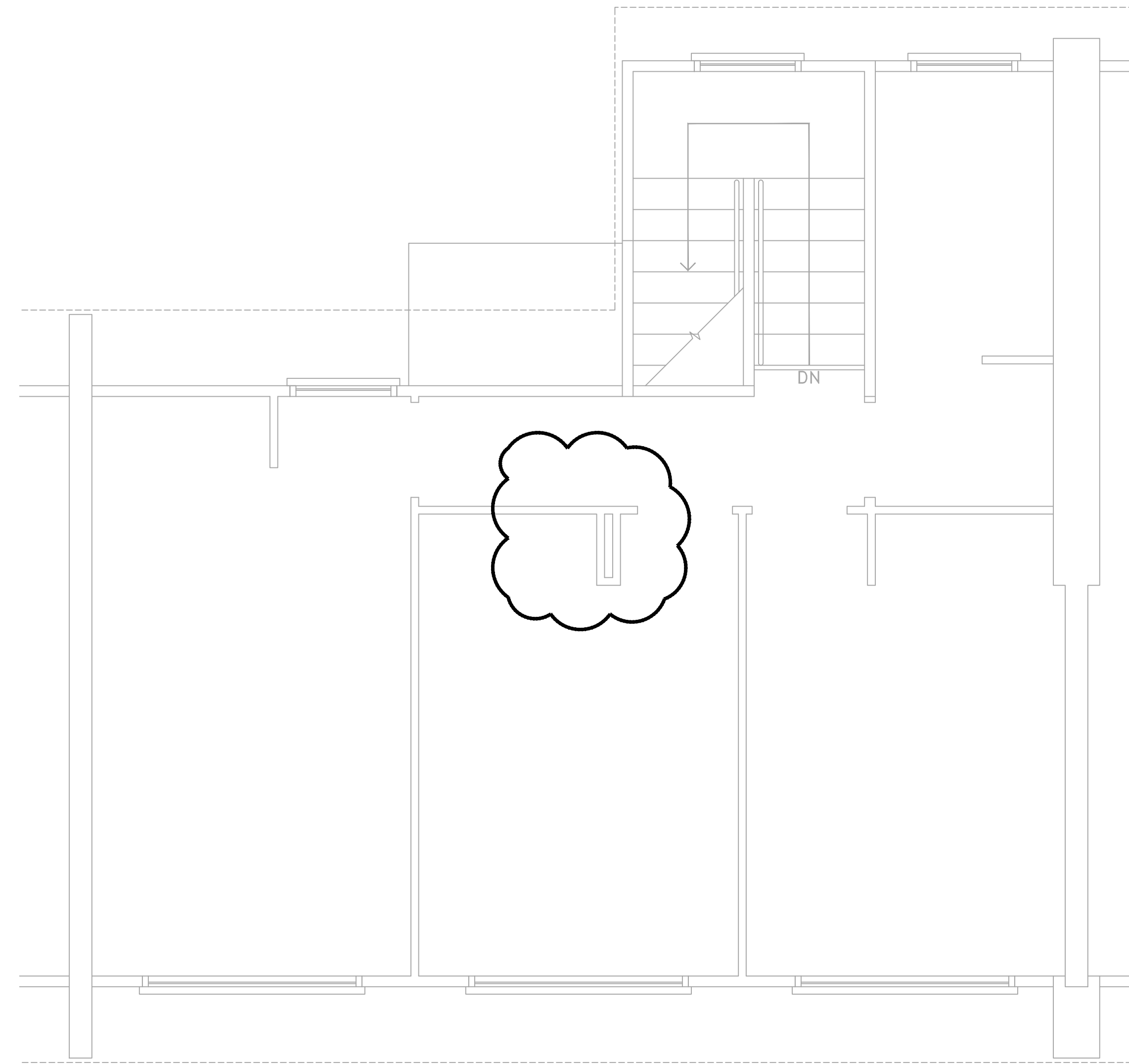
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REVISIONS:
 04-12-18 OWNER REVISIONS
 07-25-18 COSA COMMENTS
MECHANICAL PLAN

SHEET:
M2.2



1 MECHANICAL PLAN 1ST FLOOR - UNIT 1523 & 3023
 $\frac{3}{8}'' = 1'-0''$



2 MECHANICAL PLAN 2ND FLOOR - UNIT 1523 & 3023
 $\frac{3}{8}'' = 1'-0''$

MECHANICAL GENERAL NOTES:

1. CONTRACTOR SHALL BALANCE EACH DEVICE WITH THE CFM SHOWN ON PLAN.
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8. THERMOSTAT SHALL BE INSTALLED AND SPECIFIED AS PER WILLIAMS' SPACE HEATER MANUFACTURER RECOMMENDATIONS.

KEYED NOTES: MECHANICAL

- 1 NOT USED
- 2 PROVIDE KITCHEN HOOD AS SCHEDULED. UNIT SHALL HAVE INTEGRAL CONTROLS.
- 3 COORDINATE SPACE HEATER LOCATION WITH OWNER AND ARCHITECT BEFORE MOUNTING. CONTRACTOR SHALL EXTEND NEW FLUE PIPING TO EXISTING FLUE WHEN POSSIBLE OTHER WISE CONTRACTOR SHALL PROVIDE NEW FLUE THRU ROOF. REFER TO DETAIL.
- 4 ROUTE FLUE IN THIS WALL.

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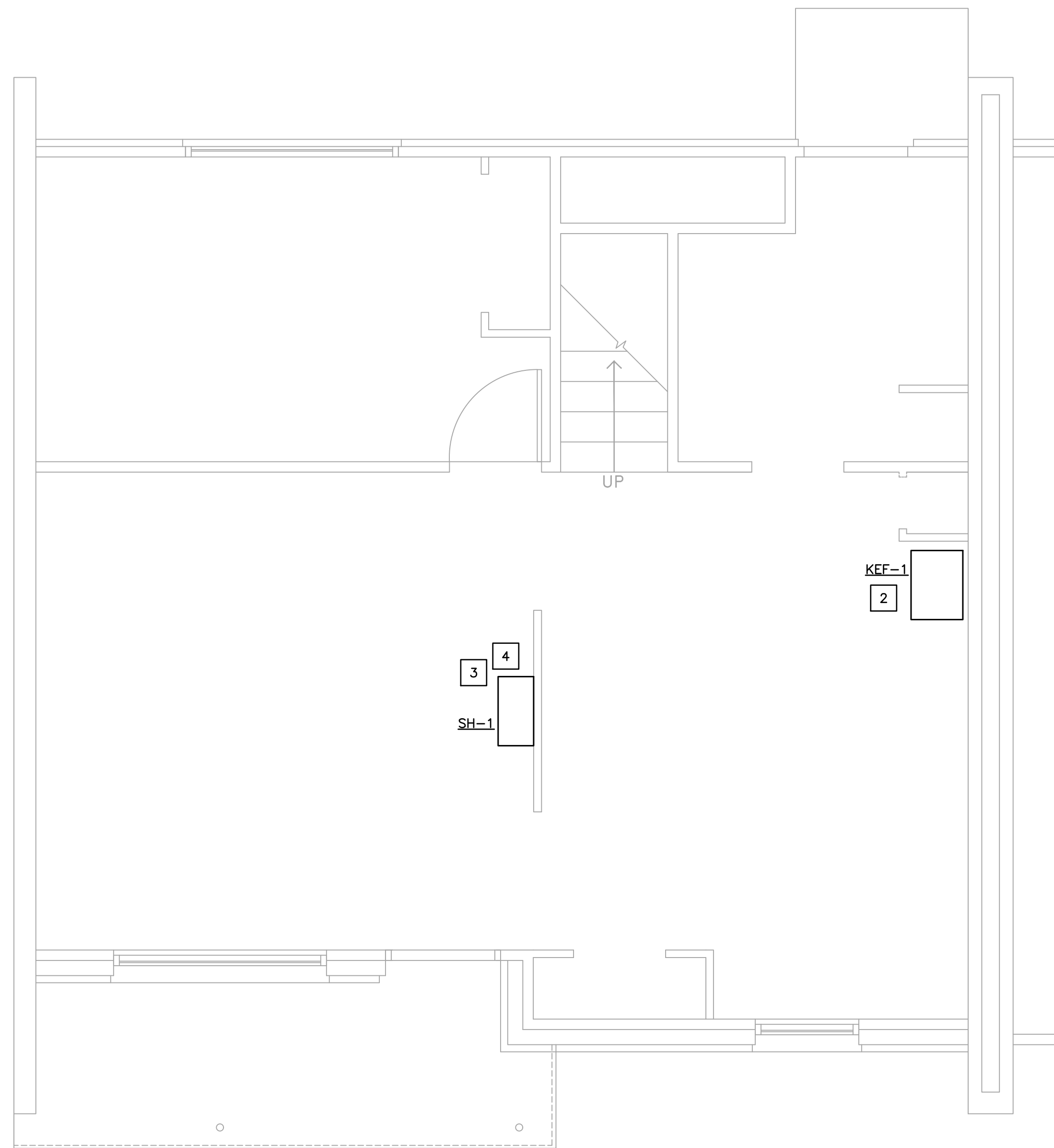


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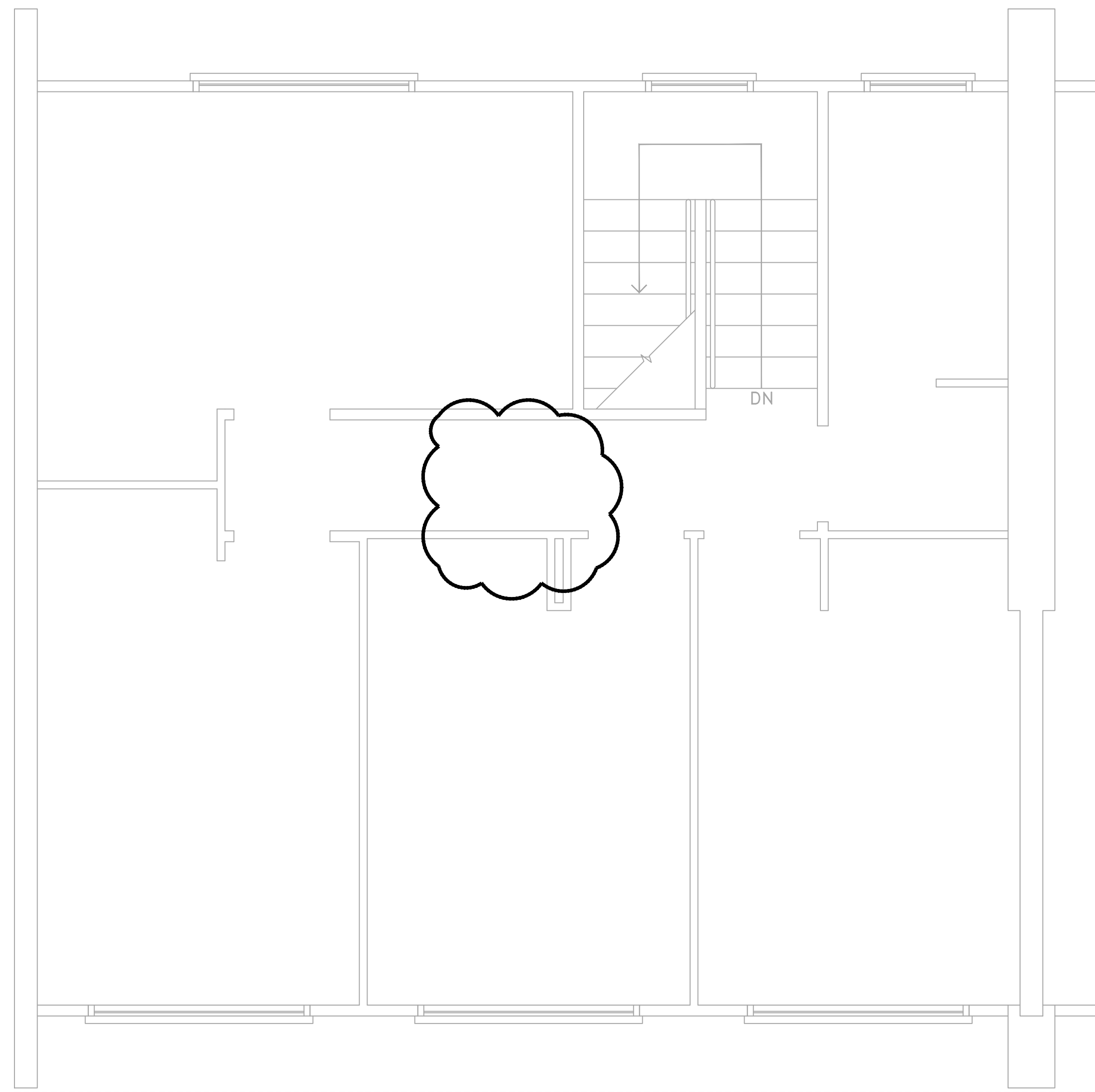
ISSUE DATE:
 11-28-2017

REVISIONS:
 04-12-18 OWNER REVISIONS
 07-25-18 COSA COMMENTS
MECHANICAL PLAN

SHEET:
M2.3



1 MECHANICAL PLAN 1ST FLOOR - UNIT 1501
 $\frac{3}{8}'' = 1'-0''$



2 MECHANICAL PLAN 2ND FLOOR - UNIT 1501
 $\frac{3}{8}'' = 1'-0''$

MECHANICAL GENERAL NOTES:

1. CONTRACTOR SHALL BALANCE EACH DEVICE WITH THE CFM SHOWN ON PLAN.
2. NEW PIPING AND DUCTWORK SHOWN ON PLAN ARE SCHEMATIC ONLY. CONTRACTOR SHALL COORDINATE WITH OTHER TRADES FOR PIPING AND DUCTWORK ROUTING. OFFSET AND RUN PIPING, DUCTWORK INSIDE THE STRUCTURE IF REQUIRED. PROVIDE ANY EXTRA PIPING, DUCTWORK, FITTINGS, INSULATIONS AND OTHER ACCESSORIES IN ORDER TO COMPLETE THE INSTALLATION.
3. COORDINATE LOCATIONS AND SIZES OF ROOF OPENINGS WITH OWNER AND STRUCTURE ENGINEERS.
4. EQUIPMENT SIZES, DIMENSIONS AND REQUIRED CONNECTIONS SHALL BE VERIFIED WITH THE ACTUAL EQUIPMENT SELECTED VENDOR DRAWINGS BEFORE FABRICATION OF DUCTWORK, PIPING, ETC...
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6. CONTRACTOR SHALL COORDINATE ALL ELECTRICAL REQUIREMENTS FOR ALL HVAC BASED ON ACTUAL EQUIPMENT SELECTED PRIOR TO INSTALLATION.
7. CONTRACTOR SHALL COORDINATE EQUIPMENT WEIGHTS AND SUPPORTS BASED ON ACTUAL EQUIPMENT SELECTED.
8. THERMOSTAT SHALL BE INSTALLED AND SPECIFIED AS PER 'WILLIAMS' SPACE HEATER MANUFACTURER RECOMMENDATIONS.

KEYED NOTES: MECHANICAL

- 1 NOT USED.
- 2 PROVIDE KITCHEN HOOD AS SCHEDULED. UNIT SHALL HAVE INTEGRAL CONTROLS.
- 3 COORDINATE SPACE HEATER LOCATION WITH OWNER AND ARCHITECT BEFORE MOUNTING. CONTRACTOR SHALL EXTEND NEW FLUE PIPING TO EXISTING FLUE WHEN POSSIBLE OTHER WISE CONTRACTOR SHALL PROVIDE NEW FLUE THRU ROOF. REFER TO DETAIL.
- 4 ROUTE FLUE IN THIS WALL.

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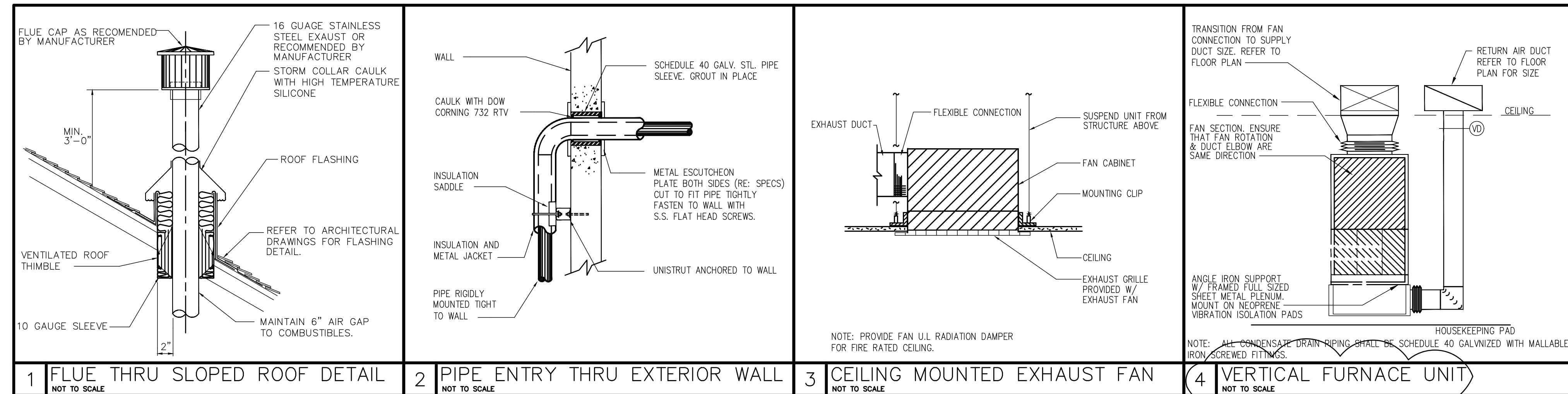


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MECHANICAL PLAN

SHEET:
M2.4



MECHANICAL FAN SCHEDULE												
TAG	FLOW RATE CFM	STATIC PRESSURE		MOTOR DATA		ELECTRICAL DATA			MAXIMUM		BASIS OF DESIGN MANUFACTURER/MODEL OR SERIES	NOTES
		EXTERNAL IN WG	INTERNAL IN WG	LOAD HP	SPEED RPM	MCA AMPS	MOC AMPS	VOLTAGE	LOUDDNESS SONES			
KEF-1	190	.05	-	-	2.5	15	120	6.50			BROAN F403001	2,3

NOTES:
 1. INTERLOCK WITH LIGHTS IN ROOM.
 2. PROVIDE FACTORY MOUNTED AND INSTALLED DISCONNECT.
 3. UNIT SHALL HAVE INTEGRAL CONTROLS.

MECHANICAL EQUIPMENT (GAS HEAT) SCHEDULE				
TAG	BASIS OF DESIGN			NOTES
	MANUFACTURER	MODEL OR SERIES	VOLTAGE	
GF-1	AMERISTAR	M801P060AU36AAB	120	
GF-2	AMERISTAR	M801P060AU36AAB	120	

MECHANICAL AIR TERMINAL DEVICES SCHEDULE						
TAG	SIZE	DESCRIPTION	CONSTRUCTION FINISH	BASIS OF DESIGN		NOTES
				MANUFACTURER	MODEL OR SERIES	
A	-	PROVIDE BY OWNER	-	-	-	-
B	24X24	FIXED DEFLECTION RETURN GRILLE, WITH FILTER FRAME	STEEL	KRUEGER	S80	ALL
C	30X12	FIXED DEFLECTION RETURN GRILLE, WITH FILTER FRAME	STEEL	KRUEGER	S80	ALL

NOTES:
 1. PROVIDE STANDARD WHITE FINISH FOR ALL AIR DEVICES UNLESS NOTED OTHERWISE ON PLAN.
 2. PAINT ALL SURFACES VISIBLE THROUGH FACE OF RETURN AIR GRILLES FLAT BLACK. THIS SHALL INCLUDE PIPING, CONDUIT, DUCTWORK, AND STRUCTURAL MEMBERS.
 3. PROVIDE FRAME FOR MOUNTING AIR DEVICE IN LAY-IN GRID CEILING UNLESS REFLECTED CEILING PLAN INDICATES HARD CEILING. IN AREAS WITH HARD CEILINGS, PROVIDE FRAMES FOR SURFACE MOUNTING.
 4. UNLESS OTHERWISE NOTED, BRANCH DUCTS SERVING AIR DEVICES SHALL BE SAME SIZE AS NECK OF AIR DEVICE.
 5. AIR DEVICE SHALL BE OF GALVANIZED FINISH WHEN INSTALLED ON EXPOSED DUCTWORK.

GAS UNIT HEATER SCHEDULE		
MARK	SH-1	-
SERVES	HOME	-
BTU/HR	50000	-
VOLTS/PHASE/HERTZ	120/1/60	-
AMPS	1	-
MANUFACTURER	WILLIAMS	-
MODEL NO	5008632	-
WEIGHT	NA	-
NOTES	1	-

NOTES:
 1. SHALL INCLUDE WALL MOUNTED THERMOSTAT, MANUAL RESET HIGH LIMIT, AND WALL BRACKET.

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MECHANICAL
 SCHEDULES &
 DETAILS

SHEET:
M4.0

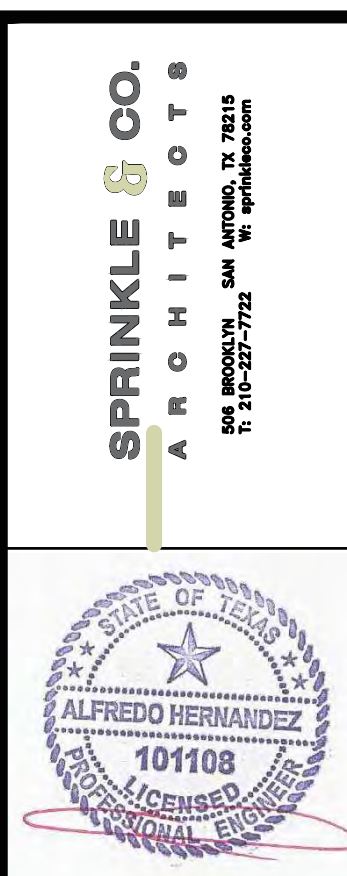
PLUMBING SYMBOLS AND ABBREVIATIONS

(NOT ALL OF THE SYMBOLS SHOWN MAY BE USED ON THE PROJECT.)

SYMBOL	DESCRIPTION	ABBREVIATION	SYMBOL	DESCRIPTION	ABBREVIATION	SYMBOL	DESCRIPTION	ABBREVIATION	ABBREVIATIONS	ABBREVIATIONS
	STORM DRAIN, RAINWATER DRAIN	SD, RT		OUTSIDE YOLK & STEM GATE VALVE	OSY		UPRIGHT FIRE SPRINKLER HEAD	-	A	ABOVE FINISHED FLOOR
	SUBSOIL DRAIN, FOOTING DRAIN	SSD		GATE VALVE	GV		FIRE HOSE RACK	FHR	AC	ABOVE CEILING
	GREASE WASTE	GREASE WASTE		GLOBE VALVE	GLV		AUTOMATIC SPRINKLER PIPE	-	ACU	AIR-CONDITIONING UNIT(S)
	ABOVE GRADE SOIL, WASTE, OR SANITARY SEWER	S, W, SAN, SS		ANGLE VALVE	AV		DRY PIPE SPRINKLER	-	AHU	AIR HANDLING UNIT
	BELOW GRADE SOIL, WASTE, OR SANITARY SEWER	S, W, SAN, SS		BALL VALVE	BV		PREACTION SPRINKLER PIPE	-	AHP	AIR HORSEPOWER
	VENT	V		BUTTERFLY VALVE	BFV		FIRE HOSE VALVE	FHV	AC	ALTERNATING CURRENT
	ACID WASTE	AW		GAS COCK, GAS STOP	-		FIRE HOSE CABINET (SURFACE-MOUNTED)	FHC	ALT	ALTITUDE
	ACID VENT	AV		BALANCING VALVE (SPECIFY TYPE)	BLV		FIRE HOSE CABINET (RECESSED)	FHC	AMB	AMBIENT
	INDIRECT DRAIN	D		CHECK VALVE	CV		CLEANOUT PLUG	CO	ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
	PUMP DISCHARGE LINE	PD		PLUG VALVE	PV		FLOOR CLEANOUT	FCO	AWG	AMERICAN WIRE GAUGE
	COLD WATER	CW		ACCESS PANEL LOCATION	AP		YARD CLEANOUT OR CLEANOUT TO GRADE	CO	AMP	AMPERE (AMP, AMPS)
	HOT WATER SUPPLY (120')	HW		PLUMBING FIXTURE DESIGNATION	-		FLOOR DRAIN WITH P-TRAP	FD	ANG	ANGLE
	HOT WATER SUPPLY (140')	140'		SOLENOID VALVE	-		PITCH DOWN OR UP-IN DIRECTION OF ARROW	-	ANGI	ANGLE OF INCIDENCE
	HOT WATER RETURN (120')	HWR		MOTOR-OPERATED VALVE (SPECIFY TYPE)	-		FLOW-IN DIRECTION OF ARROW	-	ADP	APPARATUS DEW POINT
	HOT WATER RETURN (140')	140R		PRESSURE-REDUCING VALVE	PRV		POINT OF CONNECTION	POC	APPROX	APPROXIMATE
	TEMPERED HOT WATER (TEMP.F)	TEMP, HW, TW		PRESSURE-RELIEF VALVE	RV		STEAM TRAP (ALL TYPES)	-	A	AREA
	TEMPERED HOT WATER RECIRCULATING (TEMP.F)	TEMP, HWR, TWR		TEMPERATURE-PRESSURE-RELIEF VALVE	TPV		FUNNEL FLOOR DRAIN	FDD	ATM	ATMOSPHERE
	(CHILLED) DRINKING WATER SUPPLY	DWS		REDUCED ZONE BACKFLOW PREVENTER	RZBP		FLOOR SINK (3/4 GRATE)	FS	AVG	AVERAGE
	(CHILLED) DRINKING WATER RECIRCULATING	DWR		DOUBLE-CHECK BACKFLOW PREVENTER	DCBP		SOIL/VENT STACK DESIGNATION	-	B	BELOW FINISH FLOOR
	SOFT WATER	SW		HOSE BIBB	HB		REFERENCE: DETAIL NUMBER	-	BFF	BELOW GRADE
	CONDENSATE DRAIN	CD		RECESSED-BOX HOSE BIBB OR WALL HYDRANT	WH		REFERENCE: SHEET NUMBER	-	BG	BRAKE HORSEPOWER
	DISTILLED WATER	DI		VALVE IN YARD BOX (VALVE TYPE SYMBOL AS REQUIRED FOR VALVE USE)	YB		UPRIGHT SPRINKLER	-	BHP	BRITISH THERMAL UNIT
	DEIONIZED WATER	DE		UNION (SCREW)	-		PENDENT SPRINKLER	-	BTU	BRITISH THERMAL UNIT
	PIPING TO BE HEAT TRACED	-		UNION (FLANGED)	-		UPRIGHT SPRINKLER, NIPPLED UP	-	C	CELSIUS
	LAWN SPRINKLER SUPPLY	LS		STRAINER (SPECIFY TYPE)	-		PENDENT SPRINKLER, ON DROP NIPPLE	-	C TO C	CENTER TO CENTER
	FIRE PROTECTION WATER SUPPLY	F		PIPE ANCHOR	PA		SIDEWALL SPRINKLER	-	CKT	CIRCUIT
	GAS-LOW-PRESSURE	G		PIPE GUIDE	-		PIPE HANGER	-	CCW	COUNTERCLOCKWISE
	GAS-MEDIUM-PRESSURE	MG		EXPANSION JOINT	EJ		ALARM CHECK VALVE ASSEMBLY	-	FT	FOOT OR FEET
	GAS-HIGH-PRESSURE	HG		FLEXIBLE CONNECTOR	FC		DRY PIPE VALVE ASSEMBLY	-	IN 3	CUBIC INCH
	GAS VENT	GV		TEE	-		DELUGE VALVE ASSEMBLY	-	CFM	CUBIC FEET PER MINUTE
	CONCENTRIC REDUCER	-		SIAMESE FIRE DEPARTMENT CONNECTION	-		PREACTION VALVE ASSEMBLY	-	CFM	CFM, STANDARD CONDITIONS
	ECCENTRIC REDUCER	-		FREESTANDING SIAMESE FIRE DEPARTMENT CONNECTION	-		EXISTING FIRE HYDRANT	-	SCFM	CUBIC FT PER SEC, STANDARD
	EQUIPMENT DESIGNATION (GAS WATER HEATER #1)	-		WALL (SPECIFY NUMBERS AND SIZE OF OUTLETS)	-		NEW FIRE HYDRANT	-	SCFS	SCFM
	NEW PLUMBING FIXTURE DESIGNATION	-		FIRE PUMP / JOCKEY PUMP	-		WALL HYDRANT, TWO HOSE OUTLETS	-	D	DIAMETER
	EXISTING PLUMBING FIXTURE TO BE REMOVED	-		TRAP PRIMER	TP				DIAMETER, INSIDE	DIAMETER, INSIDE
	PLUMBING KEYED NOTE	-		PROPANE GAS	PG				DIAMETER, OUTSIDE	DIAMETER, OUTSIDE
	AQUASTAT	-							DIFF	DIFFERENCE OR DELTA
	TAMPER SWITCH	TS							DC	DIRECT CURRENT
	FLOW SWITCH	FS							DYCO	DOUBLE YARD CLEANOUT
	PRESSURE SWITCH	PS							E	EFFICIENCY
	WATER HAMMER ARRESTER (PDI DESIGNATION "A")	WHA							EFF	ELEVATION
	PRESSURE GAUGE WITH GAUGE COCK	PG							ELEV	ELEVATION
	THERMOMETER (SPECIFY TYPE)	-							EXP	EXPANSION
	AUTOMATIC AIR VENT	AAV							F	FAHRENHEIT
	CIRCUIT SETTER	CS							FPM	FEET PER MINUTE
	VALVE IN RISER (TYPE AS SPECIFIED OR NOTED)	-							FPS	FEET PER SECOND
	RISER DOWN (ELBOW)	-							FT	FOOT OR FEET
	RISER UP (ELBOW)	-							FTLB	FOOT-POUND
	RISER (ELBOW) AIR CHAMBER	AC							FCO	FLOOR CLEANOUT
	RISE OR DROP	-							G	GAGE OR GAUGE
	BRANCH-BOTTOM CONNECTION	-							GAL	GALLONS
	BRANCH-SIDE CONNECTION	-							OPH	GALLONS PER HOUR
	CAP ON END PIPE	-							STD GPH	GPH, STANDARD
	FLOW INDICATOR FOR STATIONARY METER (ORIFICE)	-							GPD	GALLONS PER DAY
	FLOW INDICATOR FOR PORTABLE METER (SPECIFY FLOW RATE)	-							GR	GRAINS

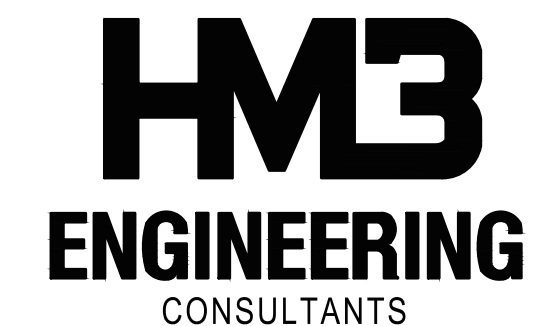
GENERAL PLUMBING NOTES:

- ALL WORK SHALL CONFORM TO ALL STATE AND LOCAL CODES, RULES AND REGULATIONS, AND ORDINANCES.
- PLUMBING PLANS ARE DIAGRAMMATIC ONLY. THEY ARE INTENDED TO INDICATE CAPACITY, SIZE, LOCATION, DIRECTION AND GENERAL ARRANGEMENT. WHERE NOT SPECIFICALLY SHOWN ON PLANS, CONTRACTOR SHALL APPLY PROFESSIONAL STANDARDS SUCH AS THAT OF THE AMERICAN SOCIETY OF PLUMBING ENGINEERS.
- WORK SHALL INCLUDE ALL LABOR, MATERIALS, PERMITS AND OTHER COSTS AS ARE NECESSARY FOR THE INSTALLATION OF A COMPLETE AND SATISFACTORY OPERATIONAL PLUMBING AND SANITARY SYSTEM. EQUIPMENT SHALL BE INSTALLED IN SUCH A MANNER AS TO MAINTAIN ITS LISTING AND THE MANUFACTURER'S GUARANTEES AND WARRANTIES.
- THIS CONTRACTOR SHALL COORDINATE WITH THE OTHER TRADES TO INSURE THAT EACH TRADE SHALL HAVE SUFFICIENT SPACE TO INSTALL THEIR EQUIPMENT (DUCTWORK, PIPING, ELECTRICAL, ETC.), ALONG WITH THE PLUMBING WORK.
- WHERE THE TERM "PROVIDE" IS USED, IT SHALL MEAN "FURNISH AND INSTALL". THE CONTRACTOR SHALL COORDINATE WITH ALL THE OTHER TRADES PRIOR TO THE FABRICATION, PURCHASE AND/OR INSTALLATION OF THE WORK.
- UNLESS NOTED, ALL MATERIALS SHALL BE NEW, COMPLETE, INCLUDE MANUFACTURER'S WARRANTY, AND BE U.L. APPROVED IF APPLICABLE. ALL WORK SHALL PRESENT A NEAT MECHANICAL APPEARANCE WHEN COMPLETED.
- FIELD VERIFY ALL DIMENSIONS. CONTRACTOR SHALL VERIFY ELEVATION OF UTILITY CONNECTIONS ON SITE PRIOR TO COMMENCING WORK. FINAL CONNECTION TO SITE UTILITIES SHALL BE BY THE PLUMBING CONTRACTOR.
- PIPING ROUTED THROUGH FOUNDATIONS SHALL BE SLEEVED AND INSTALLED IN ACCORDANCE WITH THE AMERICAN SOCIETY OF PLUMBING ENGINEERS STANDARDS.
- PLUMBING SYSTEM INSTALLER SHALL PROVIDE ALL STRUCTURAL MEMBERS, SUPPORT BRACKETS, FLASHING, HARDWARE, ETC., REQUIRED TO INSTALL A COMPLETE SYSTEM.
- DRAIN WASTE AND VENT PIPING SHALL BE CAST IRON.
- DOMESTIC WATER PIPING SHALL BE TYPE "L" COPPER.
- PLUMBING CONTRACTOR SHALL CERTIFY ALL WATER PIPING AND SPECIALTIES FREE FROM MICROBIAL CONTAMINATION BY SANITIZING THE PLUMBING SYSTEM BEFORE OCCUPATION OF BUILDING.
- EXPOSED FIXTURE TRIM SHALL BE CHROME PLATED BRASS. PROVIDE INDIVIDUAL STOPS FOR EACH HOT AND COLD WATER CONNECTION TO FIXTURES.
- ALL SANITARY PIPING CHANGES OF DIRECTION 45 DEGREES OR MORE SHALL BE ACCOMPLISHED BY USING 45 DEGREE 1/8 BEND ELBOWS UNLESS OTHERWISE NOTED.
- ALL SANITARY PIPING UNDER SLAB SHALL BE 2" OR LARGER.
- INSTALL HEAT TRAPS ON ALL WATER HEATERS, WHERE THE SYSTEM IS NOT RECIRCULATED.
- PROVIDE MAINTENANCE AND/OR OTHER CLEARANCES AT EACH PIECE OF EQUIPMENT AS REQUIRED OR RECOMMENDED BY THE EQUIPMENT MANUFACTURER. COORDINATE WITH GENERAL CONTRACTOR TO PROVIDE ANY ADDITIONAL SPACE REQUIRED FOR SUBMITTED EQUIPMENT.
- PROVIDE ACCESS DOORS IN INACCESSIBLE FINISHES FOR ALL VALVES TRAP PRIMER, ETC., THAT REQUIRES PERIODIC ADJUSTMENTS OR MAINTENANCE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFEKEEPING OF HIS OWN PROPERTY ON THE JOB SITE. OWNER ASSUMES NO RESPONSIBILITY FOR PROTECTION OF PROPERTY AGAINST FIRE THEFT OR ENVIRONMENTAL CONDITIONS.
- ALL MODEL NUMBERS INDICATED ARE PROVIDED TO ESTABLISH THE QUALITY LEVEL AND FEATURES REQUIRED. LISTED MANUFACTURERS AND OTHER PRIOR APPROVED EQUALS MAY BE SUBSTITUTED WHEN PROVIDED WITH EQUAL FEATURES, EITHER STANDARD OR AS ACCESSORIES. SUBSTITUTED AIR DEVICES AND PLUMBING FIXTURES MUST BE SIMILAR IN APPEARANCE TO THE ITEMS SPECIFICALLY INDICATED.
- ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER. CLEAN THE SITE DAILY AND REMOVE FROM THE PREMISES ANY DIRT AND DEBRIS CAUSED BY THE WORK INCLUDED IN THIS CONTRACT.
- PROVIDE 1" ARMAFLEX INSULATION ON ALL HOT AND CIRCULATING WATER PIPING.



04-12-18

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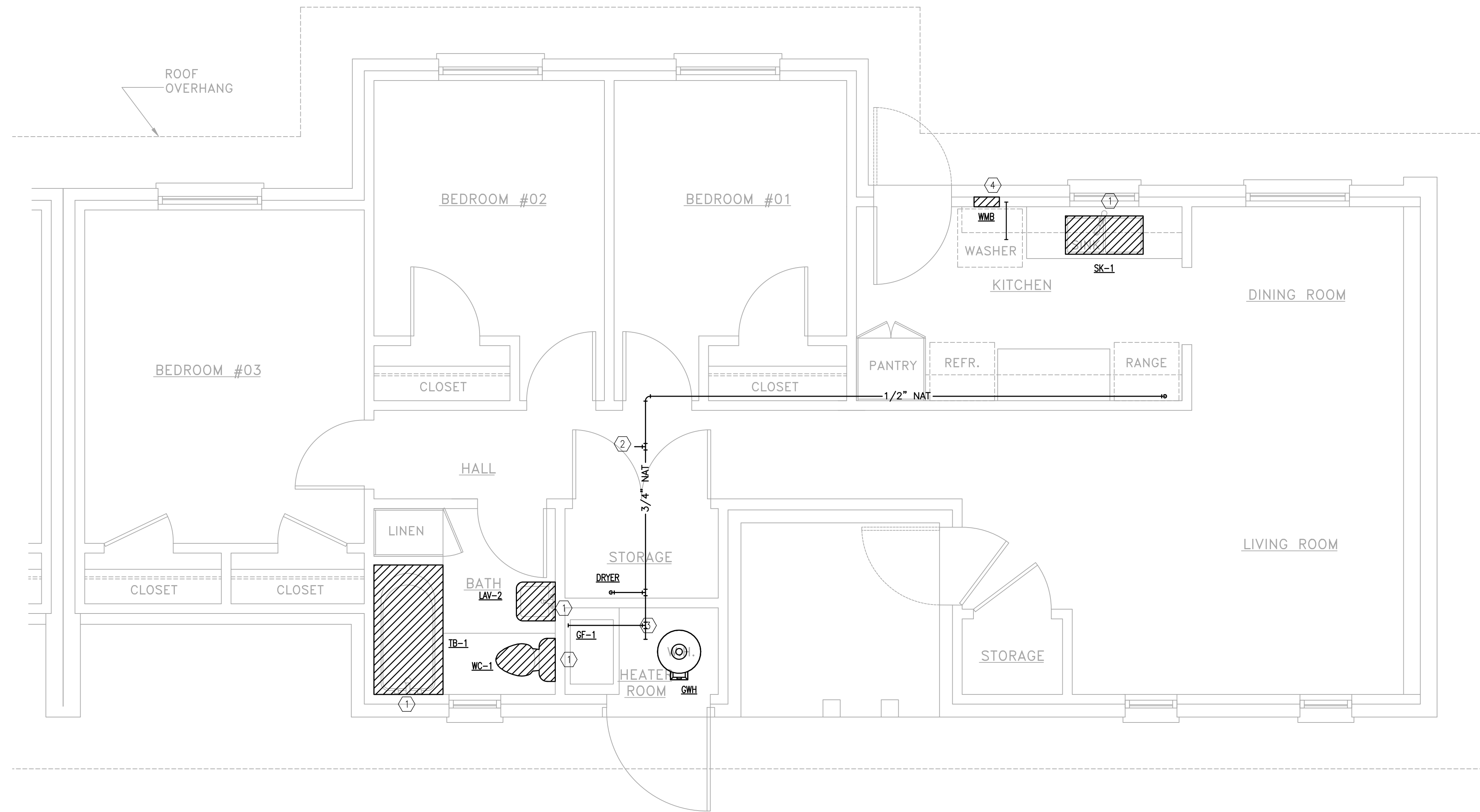


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ISSUE DATE: 11-28-2017

REVISIONS: 04-12-18 OWNER REVISIONS PLUMBING SYMBOLS & ABBREVIATIONS

SHEET: P0.0



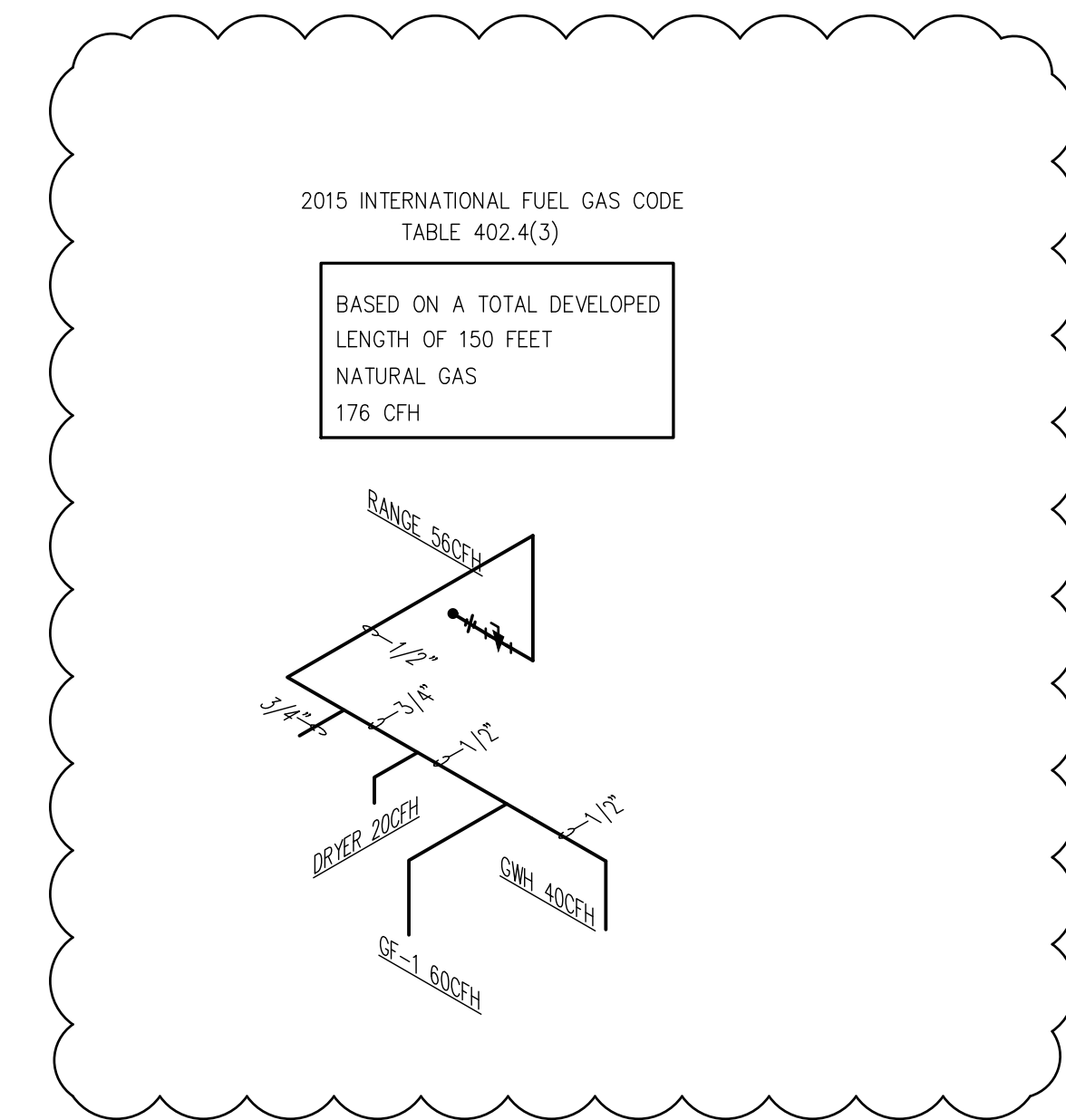
1 PLUMBING PLAN - UNIT 942
3/8" = 1'-0"

PLUMBING GENERAL NOTE:

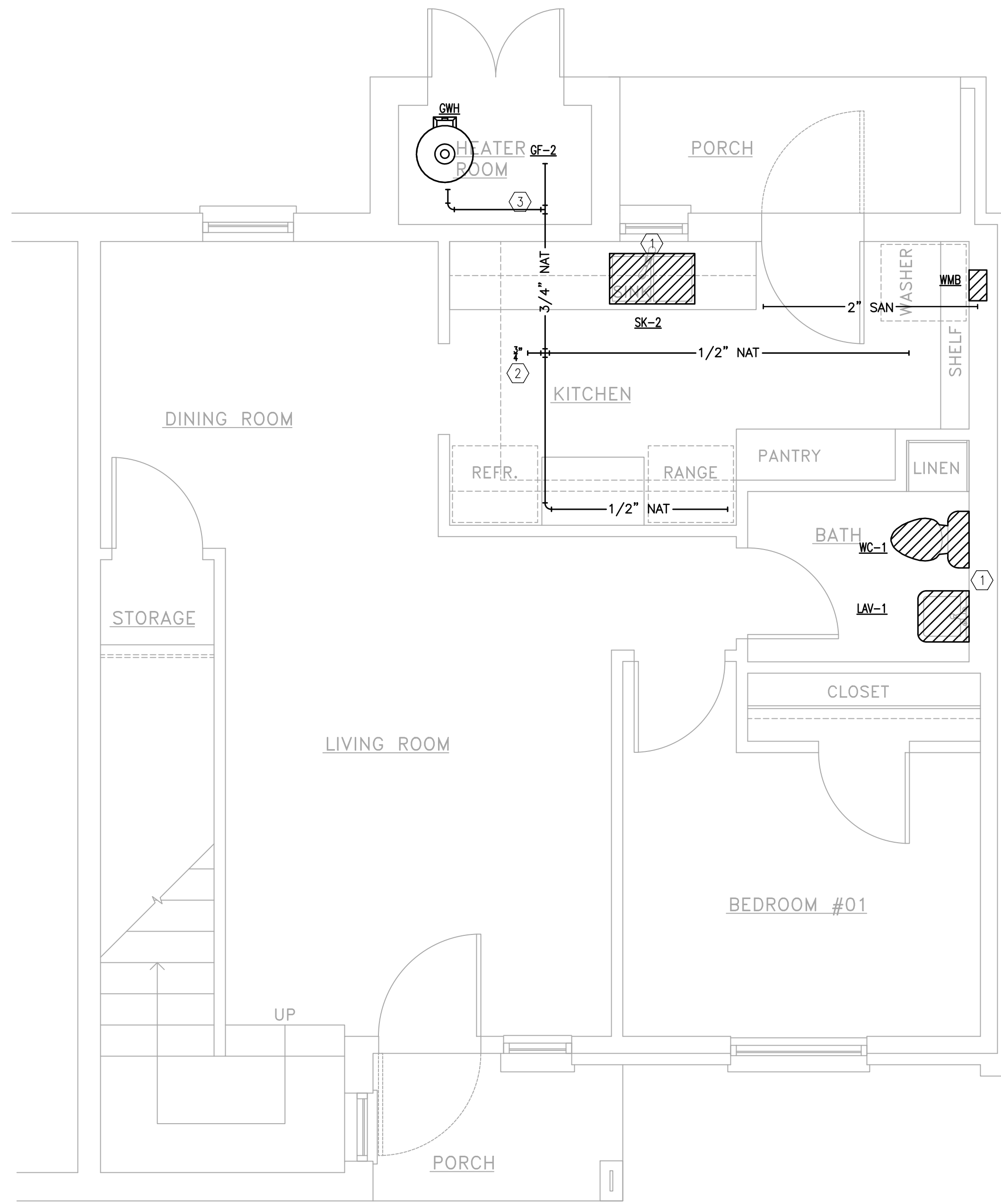
- CONTRACTOR SHALL PROVIDE LABOR AND MATERIALS TO MAKE THE NECESSARY CHANGES AND MODIFICATION TO NEW AND EXISTING PLUMBING FIXTURE/FIXTURES. REFER TO ARCHITECTURAL DRAWINGS FOR GENERAL DEMOLITION NOTES, DIMENSIONED FLOOR PLANS, MOUNTING HEIGHTS AND SCOPE OF WORK REQUIREMENTS.
- CONTRACTOR PROVIDE NECESSARY MODIFICATION AND/OR EXTEND NEW WATER SUPPLY OR SANITARY WASTE AND VENT (CARRIER) TO NEW PLUMBING FIXTURE AND MAKE ALL FINAL CONNECTIONS.

PLUMBING RENOVATION KEYED NOTES:

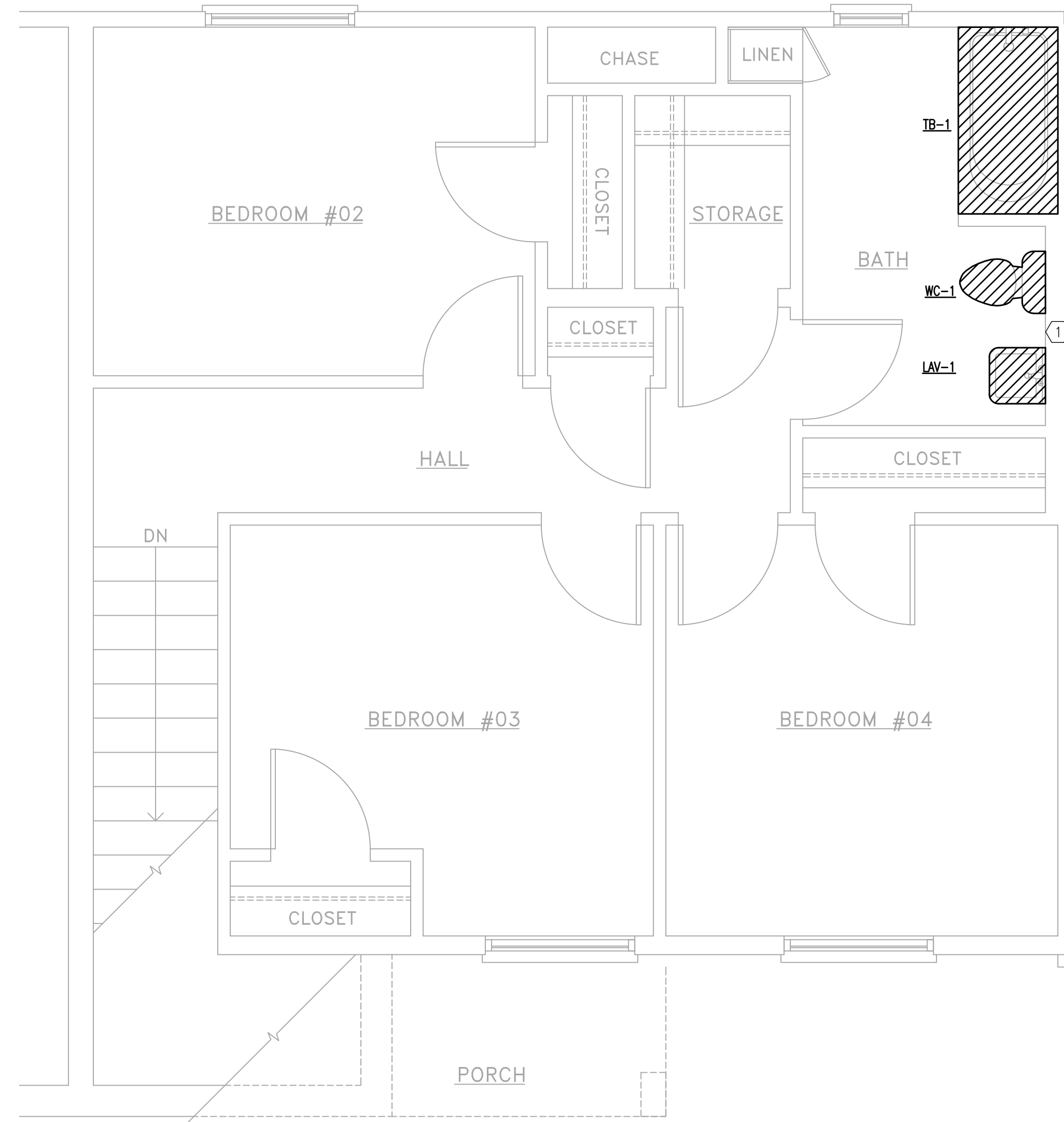
- APPROXIMATE POINT OF CONNECTION. CONTRACTOR SHALL FIELD VERIFY EXISTING LOCATION OF DOMESTIC WATER LINES AND OF SANITARY.
- CONTRACTOR TO CONNECT GAS LINE APPROXIMATE 150' TO EXISTING GAS UTILITY METER. EXTEND FLUE TO EXISTING FLUE LOCATION.
- CONTRACTOR TO EXTEND NEW DOMESTIC HOT WATER FROM NEW EWH TO EXISTING MAIN HOT WATER LINE.
- CONNECT DOMESTIC WATER LINES AND SANITARY TO NEAR EXISTING LINES. FIELD VERIFY LOCATION AND COORDINATE WITH CONTRACTOR.



2 PLUMBING RISER - NATURAL GAS
N/S



1 PLUMBING PLAN 1ST FLOOR - UNIT 1818
3/8" = 1'-0"



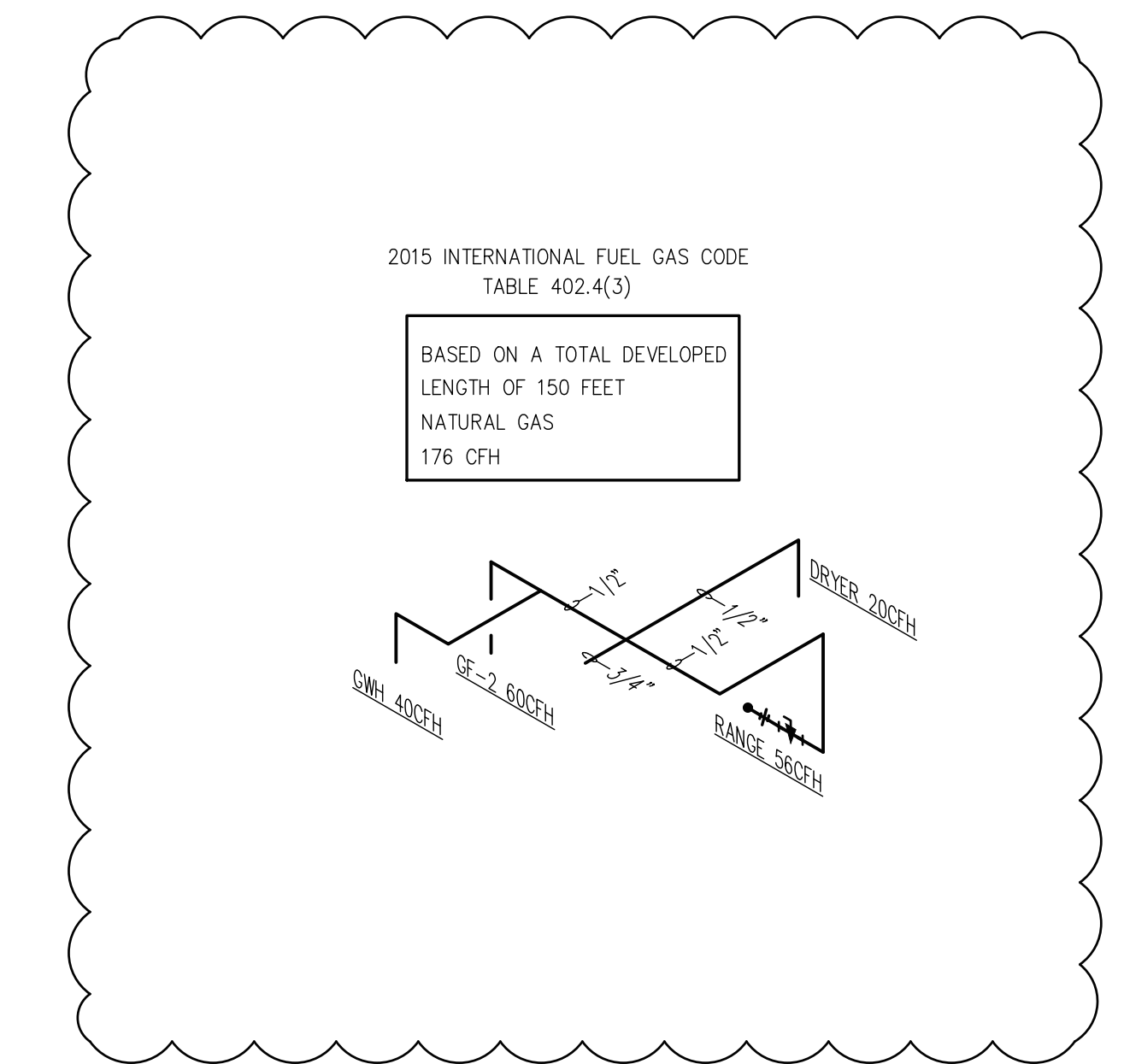
2 PLUMBING PLAN 2ND FLOOR - UNIT 1818
3/8" = 1'-0"

PLUMBING GENERAL NOTE:

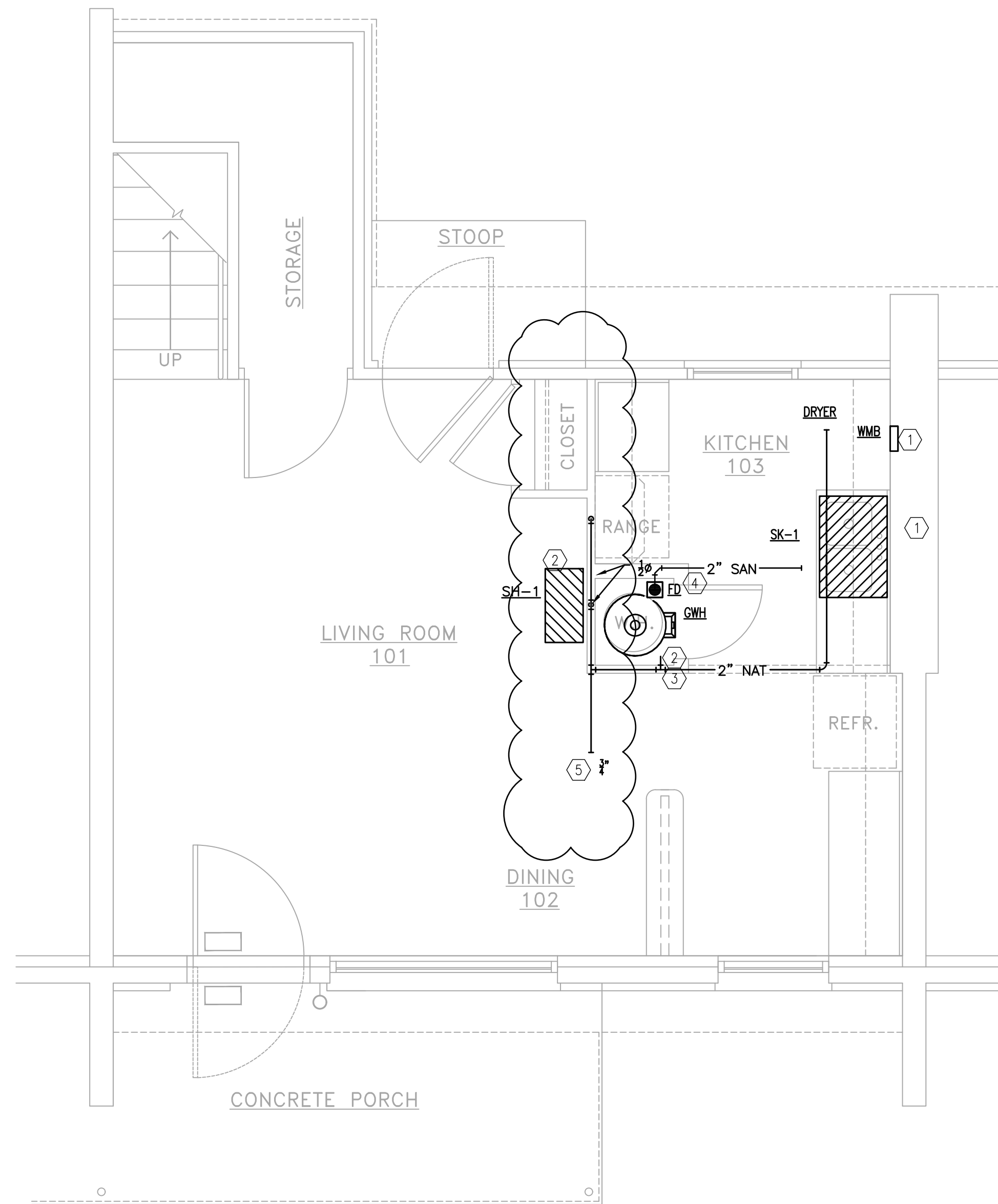
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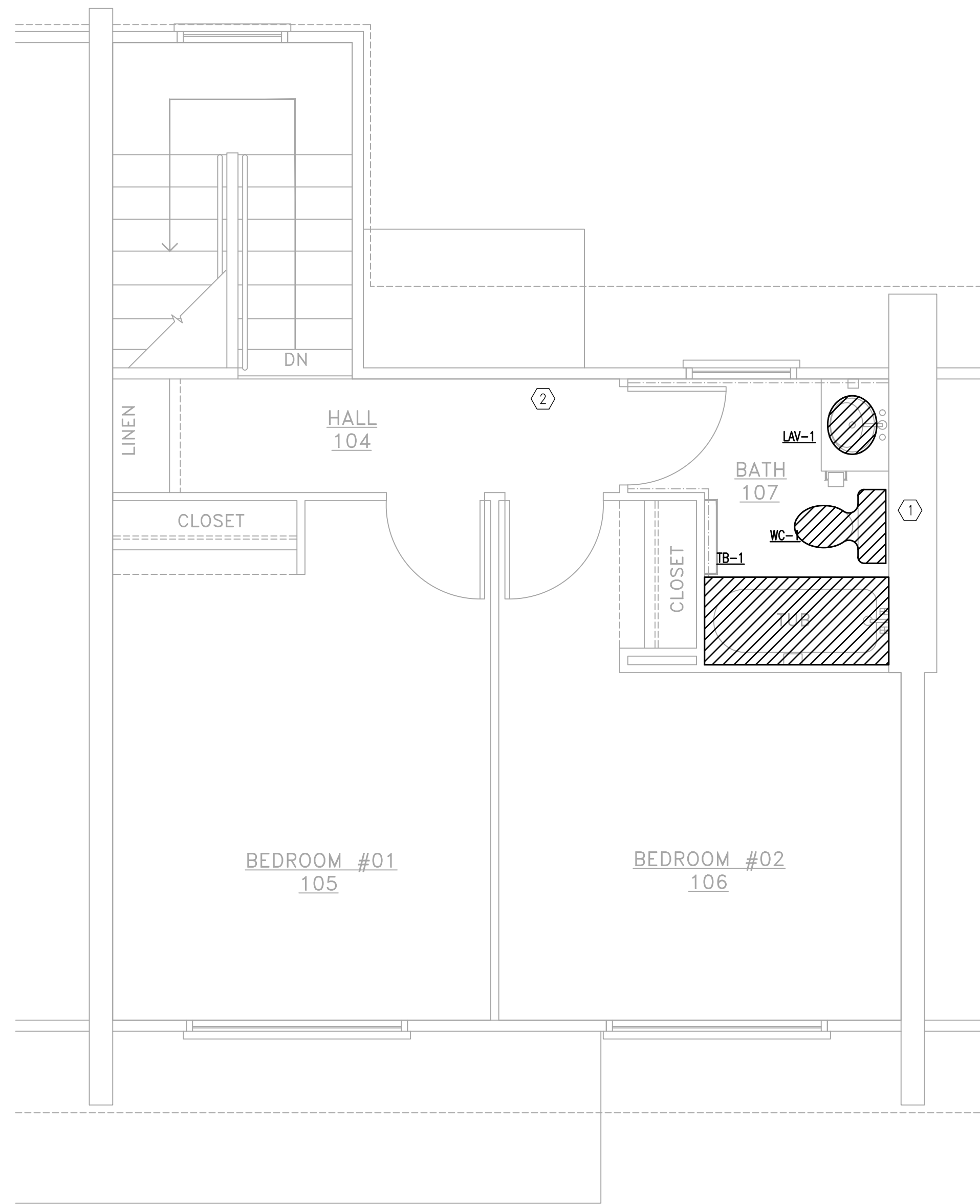
1. APPROXIMATE POINT OF CONNECTION. CONTRACTOR SHALL FIELD VERIFY EXISTING LOCATION OF DOMESTIC WATER LINES AND OF SANITARY.
2. CONTRACTOR TO CONNECT GAS LINE APPROXIMATE 150' TO EXISTING GAS UTILITY METER. EXTEND FLUE TO EXISTING FLUE LOCATION.
3. CONTRACTOR TO EXTEND NEW DOMESTIC HOT WATER FROM NEW LWH TO EXISTING MAIN HOT WATER LINE.



3 PLUMBING RISER - NATURAL GAS
NTS



1 PLUMBING PLAN 1ST FLOOR - UNIT 103 & 2404
3/8" = 1'-0"



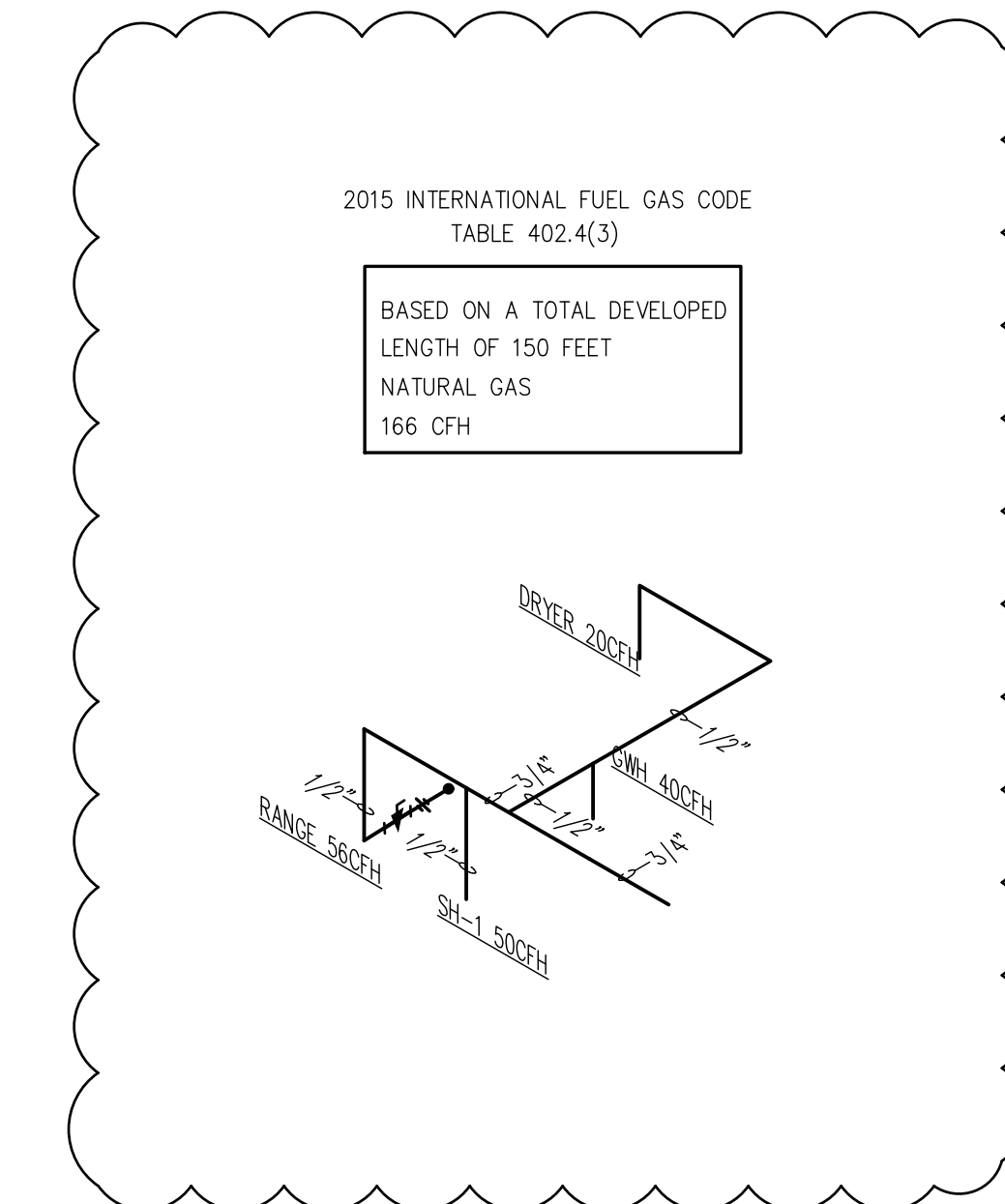
2 PLUMBING PLAN UNIT 2ND FLOOR - UNIT 103 & 2404
3/8" = 1'-0"

PLUMBING GENERAL NOTE:

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PLUMBING RENOVATION KEYED NOTES:

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- 3 CONTRACTOR TO EXTEND NEW DOMESTIC HOT WATER FROM NEW EWH TO EXISTING MAIN HOT WATER LINE.
- 4 CONTRACTOR SHALL PROVIDE FLOOR DRAIN WITH TRAPGUARD AND EXTEND NEW 2" SANITARY TO EXISTING SANITARY.
- 5 RUN APPROXIMATELY 150' TO EXISTING LOCATION OF GAS UTILITY METER.



3 PLUMBING RISER - NATURAL GAS
NTS

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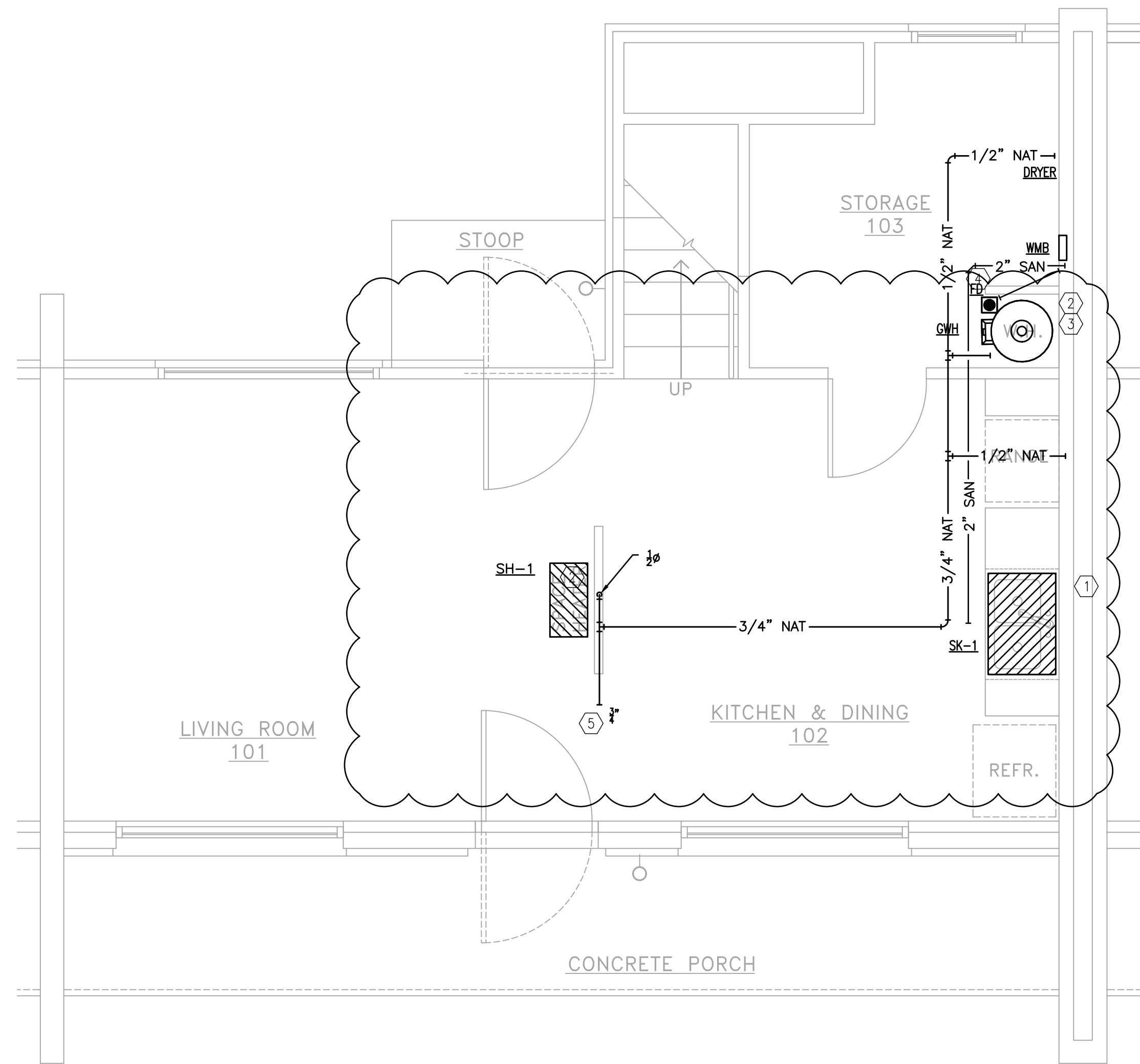
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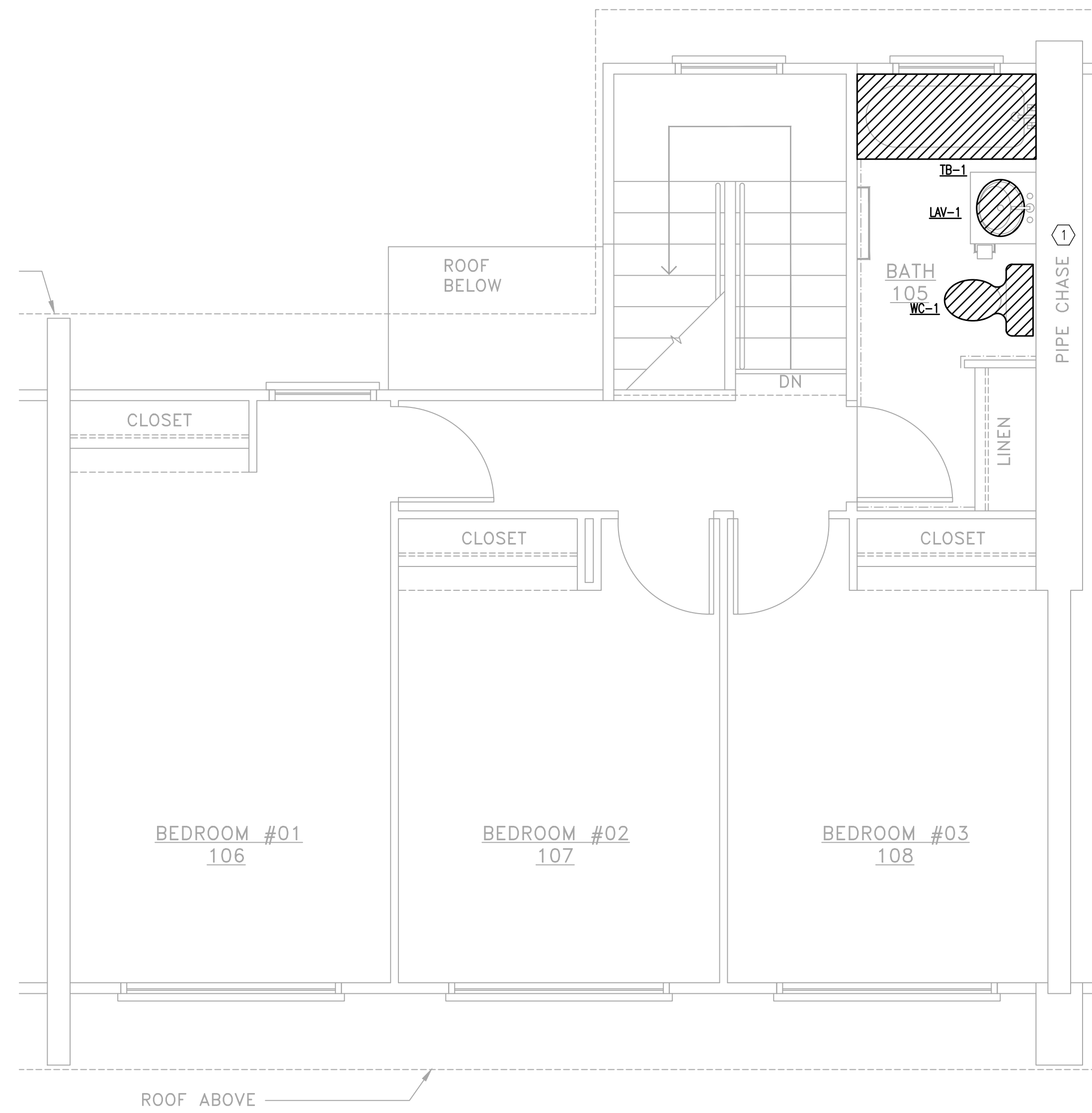


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PLUMBING PLAN	
SHEET:	P2.2



1 PLUMBING PLAN 1ST FLOOR - UNIT 1523 & 3023
3/8" = 1'-0"



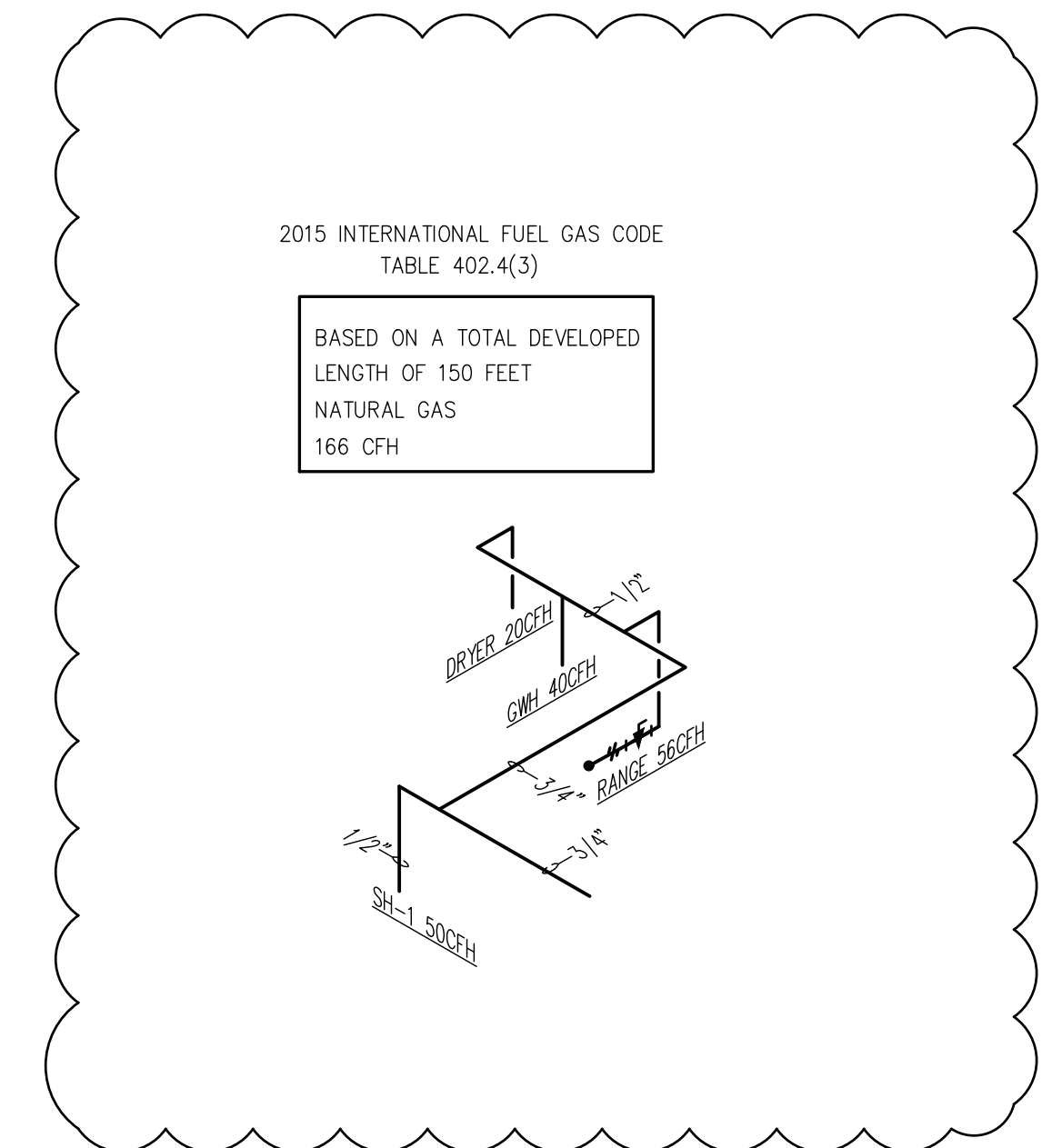
2 PLUMBING PLAN 2ND FLOOR - UNIT 1523 & 3023
3/8" = 1'-0"

PLUMBING GENERAL NOTE:

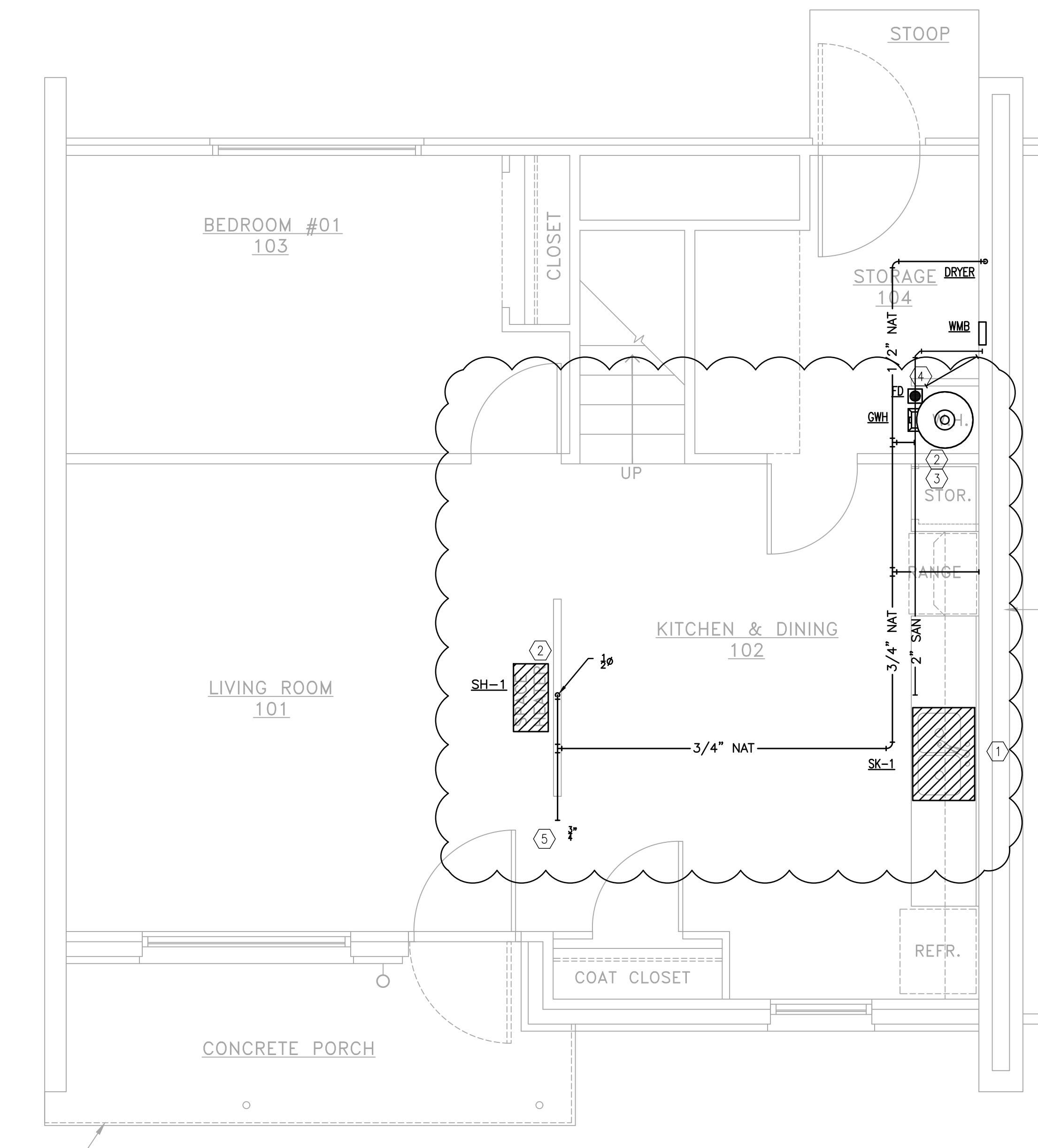
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2. CONTRACTOR PROVIDE NECESSARY MODIFICATION AND/OR EXTEND NEW WATER SUPPLY OR SANITARY WASTE AND VENT (CARRIER) TO NEW PLUMBING FIXTURE AND MAKE ALL FINAL CONNECTIONS.

PLUMBING RENOVATION KEYED NOTES:

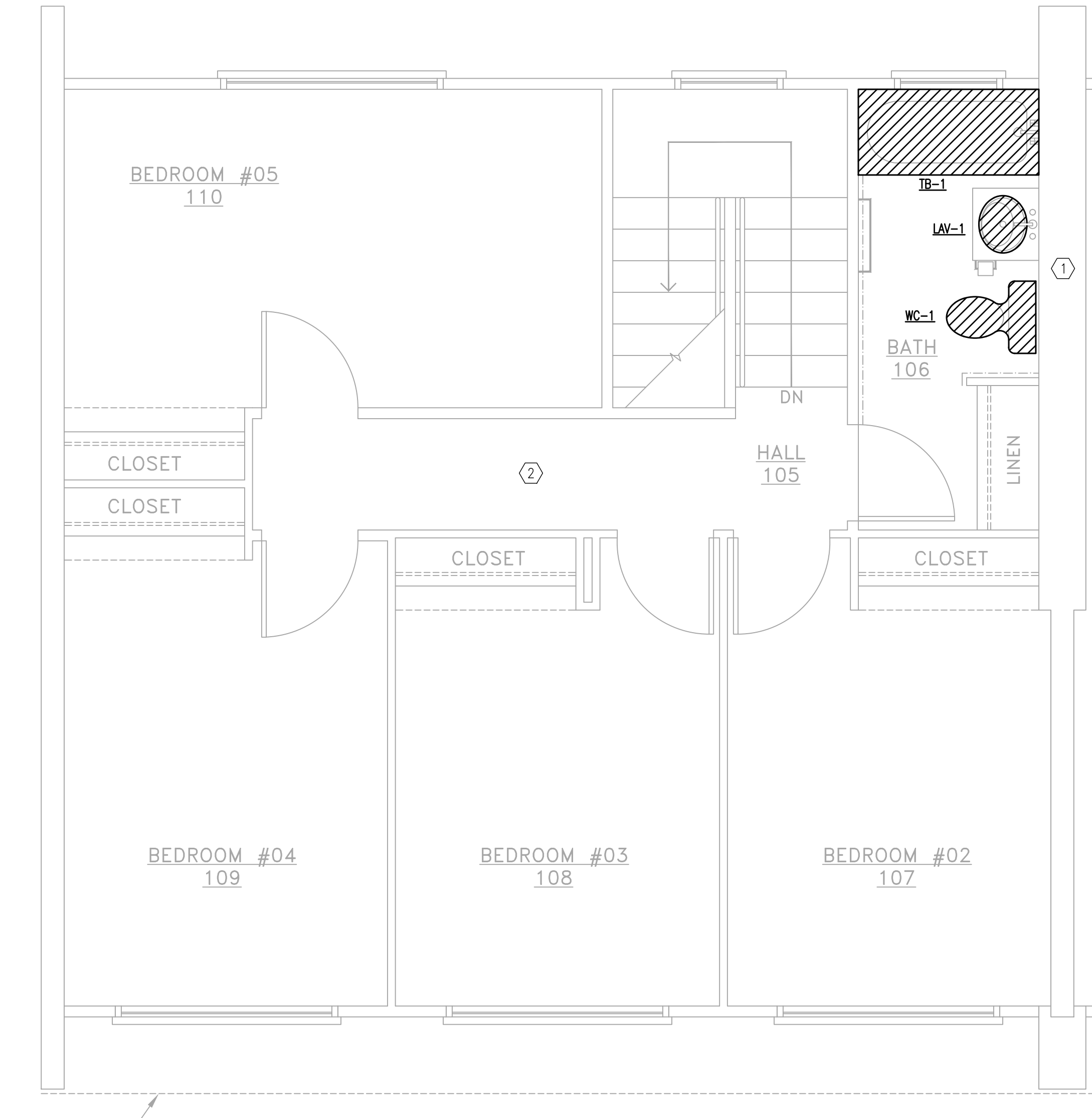
- 1 APPROXIMATE POINT OF CONNECTION. CONTRACTOR SHALL FIELD EXISTING LOCATION OF DOMESTIC WATER LINES AND OF SANITARY.
- 2 EXTEND FLUE TO EXISTING FLUE LOCATION.
- 3 CONTRACTOR TO EXTEND NEW DOMESTIC HOT WATER FROM NEW EWH TO EXISTING MAIN HOT WATER LINE.
- 4 CONTRACTOR SHALL PROVIDE FLOOR DRAIN WITH TRAPGUARD AND EXTEND NEW 2" SANITARY TO EXISTING SANITARY.
- 5 RUN APPROXIMATELY 150' TO EXISTING LOCATION OF GAS UTILITY METER.



3 PLUMBING RISER - NATURAL GAS
NTS



1 PLUMBING PLAN 1ST FLOOR - UNIT 1501
3/8" = 1'-0"



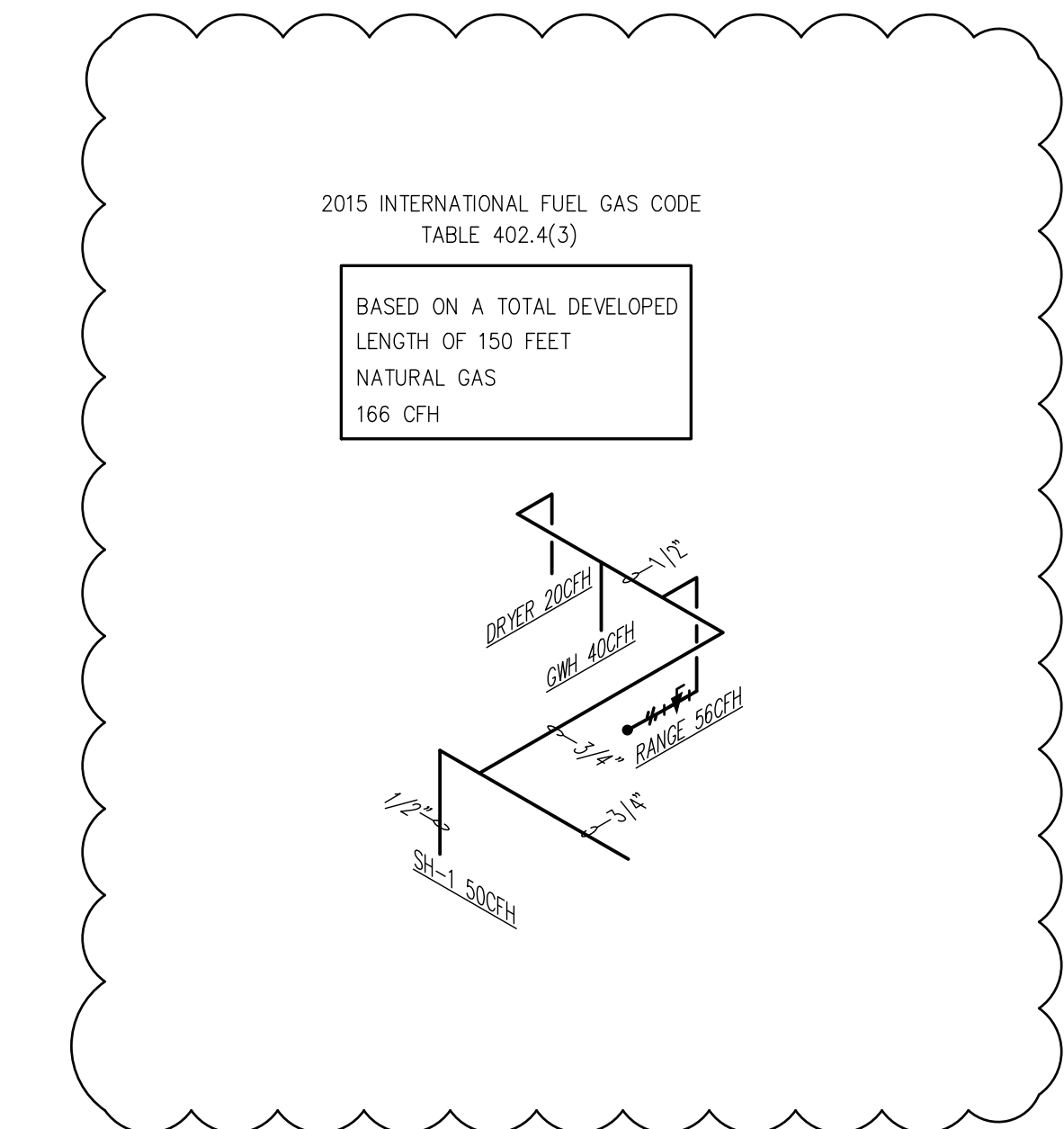
2 PLUMBING PLAN 2ND FLOOR - UNIT 1501
3/8" = 1'-0"

PLUMBING GENERAL NOTE:

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3 PLUMBING RISER - NATURAL GAS
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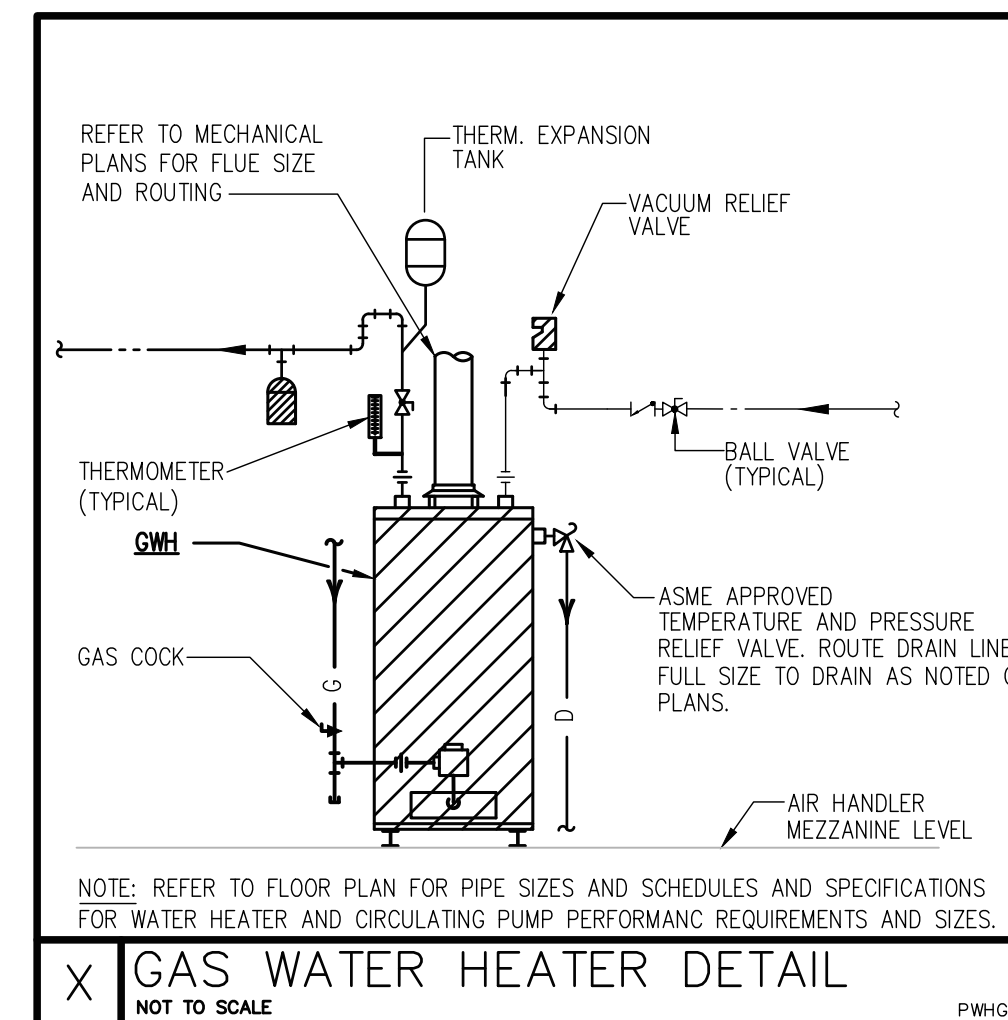
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PLAN

SHEET:
P2.4

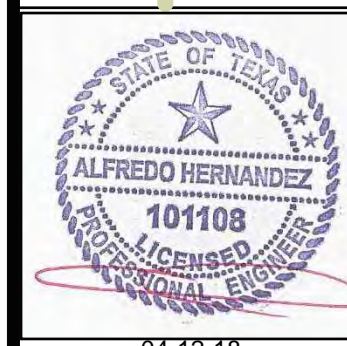
PLUMBING FIXTURE & PIPE CONNECTION SCHEDULE									
TAG	DESCRIPTION	BASIS OF DESIGN		CONNECTION SIZE					
		MANUFACTURER	CATALOG NUMBER	CW INCHES	HW INCHES	TW INCHES	WASTE INCHES	INDIRECT WASTE INCHES	VENT INCHES
WC-1	FLOOR MOUNTED WHITE V.C. ELONGATED PRESSURE-ASSISTED 1.1 GPF - BOWL, TANK AND SEAT	AMERICAN STANDARD	CADETFLOWISE "2467.100"	1/2"	-	-	4"	-	2"
LAV-1	WALL MOUNT V.C. 22" X 17" LAVATORY SINK 4" CENTERSET HOLE. PROVIDE WALL HANGER. TWO HANDLE CHROME PLATED FAUCET 0.5GPM	AMERICAN STANDARD	"LUCERNE" 0355.012 MOEN "M-BITION" 8800F05	1/2"	1/2"	1/2"	2"	-	2"
SK-1	TOP MOUNT SS EQUAL DOUBLE BOWL 37"X22" SINK WITH GOOSENECK PULL DOWN SPRAY CHROME FAUCET ADA	ELKAY	LRAD372255 FAUCET LKHA4031	1/2"	1/2"	-	2"	-	2"
SK-2	TOP MOUNT SS EQUAL DOUBLE BOWL 29"X18" SINK WITH GOOSENECK PULL DOWN SPRAY CHROME FAUCET ADA	ELKAY	LRAD291855 FAUCET LKHA4031	1/2"	1/2"	-	2"	-	2"
GWH	40 GALLON STORAGE ASME TANK, 40,000 BTUH INPUT, 43 G RECOVERY AT 90 TEMP RISE WITH 96% THERMAL EFFICIENCY. WITH POWER VENT, TEMP./PRESS. RELIEF VALVE AND FULLY AUTOMATIC CONTROLS, SPARK IGNITION, FLAME SAFEGUARD, REGULATORS SAFETY SHUT OFF. ENTIRE ASSEMB	BRADFORD WHITE	RG24056N	-	-	-	-	-	-
TB	SINGLE-HANDLE POSI-TEMP TUB/SHOWER. LEVER STYLE HANDLE WITH TEMP. INDICATOR IN ESCUTCHEON. EP SUFFIX MODEL LIMITED TO 1.75 GPM	MOEN	T2663EP + 2520	1/2"	1/2"	-	2"	-	2"



HMB
ENGINEERING
CONSULTANTS

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TBPE FIRM REGISTRATION NO. 13361

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04-12-18

CASSIANO HOMES
PARTIAL REMODEL
2919 S LAREDO ST. SAN ANTONIO, TX 78207

ISSUE DATE:
11-28-2017

REVISIONS:
04-12-18 OWNER REVISIONS
PLUMBING
SCHEDULES &
DETAILS

SHEET:
P3.0