

STANDARD ABBREVIATIONS:

&	AND	L	CHANNEL	φ	ROUND
∠	ANGLE	#	NUMBER	□	SQUARE
@	AT SPACING OF	d	PENNY	x	WIDTH X HEIGHT
B.M.	BENCH MARK	⊥	PERPENDICULAR	W/	WITH
⊕	CENTER LINE	⊞	PLATE		

NOTE:
NOT ALL ABBREVIATIONS NECESSARILY USED SYMBOLS USED AS ABBREVIATIONS

MATERIAL DESIGNATIONS:

	STRUCTURAL CONCRETE (CAST IN PLACE OR PRECAST)		INSULATION (RIGID)
	METAL		FIBERBOARD
	PLYWOOD		ACOUSTICAL TILE TILE (CERAMIC, BRICK OR QUARRY)
	HARDWOOD FINISH		GYPSUM WALL BOARD
	INSULATION (LOOSE OR BATT)		PLASTER, SAND, CEMENT, GROUT
	EARTH		GRAVEL

CODE COMPLIANCE:

ALL WORK SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES OF RECORD:

- *FLORIDA BUILDING CODE 2017.
- *FLORIDA FIRE PREVENTION CODE 2017.
- *NFPA 101 LIFE SAFETY CODE 2015 EDITION.
- *FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION 2017 EDITION.
- *FEMA MAPS.
- *FLORIDA PLUMBING CODE 2017 EDITION.
- *ASCE 7-10 EDITION.
- *NEC 2014 EDITION.
- *NFPA 13 2013 EDITION.
- *FLORIDA BUILDING CODE - ENERGY 2017.
- *FLORIDA BUILDING CODE - EXISTING BUILDINGS 2017
- *NFPA 70

OCCUPANCY & USE:

Classification : R-2 RESIDENTIAL AS PER SECTION 310 (302.5 EXISTING CODE)

LEGAL DESCRIPTION:

TOWN OF HIALEAH
PB 5-77
LOTS 1 THRU 32 BLK 1 LESS A PORT
OF LOTS 1 THRU 6 & 25 THRU 32
BLK 1 DESC COMM AT SE COR OF SELY
OF SEC TH S 87 DEG W 2285.94FT
N 50 DEG W 30.98FT N 39 DEG E
10.15FT FOR POB TH N 50 DEG W
385.01FT N 16 DEG W 9.56FT SELY
AD 394.27FT S 50 DEG E 20.76FT

INDEX OF DRAWINGS

SHEET LIST TABLE

SHT #	DWG #	SHEET DESCRIPTION	REVISION #
GENERAL			
1	G001	COVER	
2	G002	ADA ISSUES	
ARCHITECTURE			
1	A001	ARCHITECTURAL NOTES	
2	A100	SITE PLAN	
3	A101.1	DEMOLITION PLAN	
4	A102.1	PROPOSED LAUNDRY AND BATHROOM	
5	A102.2	PROPOSED LAUNDRY ROOM INTERIOR ELEVATIONS AND SCHEDULES (CONT)	
6	A500.1	PROPOSED LAUNDRY ROOM DETAILS	
CIVIL			
1	C001	CIVIL NOTES	
2	CD101	DEMOLITION PLAN	
3	CS100	PROPOSED GRADING PLAN	
MECHANICAL			
1	MH101	BATHROOM VENTILATION FLOOR PLAN, SCHEDULES, DETAIL AND NOTES	
PLUMBING			
1	PL000	PLUMBING GENERAL NOTES	
2	PL101.1	PLUMBING DEMOLITION AND NEW PARTIAL FLOOR PLAN WATER AND SANITARY DISTRIBUTION	
3	PL500.1	PLUMBING DETAILS	
ELECTRICAL			
1	E001	ELECTRICAL LEGEND AND NOTES	
2	E100	SITE PLAN	
3	E101	DEMOLITION PLAN	
4	E102	FLOOR PLAN AND REFLECTED CEILING PLAN	
5	E200	LIGHTING CALCULATIONS	
6	E600	ONE LINE DIAGRAM	

SCOPE OF WORK:

VCA/ADA IMPROVEMENTS AT EXISTING LAUNDRY ROOM AND EXTERIOR RAMPS

METHOD & LEVEL OF ALTERATION:

WORK AREA COMPLIANCE METHOD
LEVEL 2 ALTERATION
AS PER 301.1.2

ABBREVIATIONS

A/C	AIR CONDITIONING	CONC	CONCRETE	FHC	FIRE HOSE CABINET	MO	MASONRY OPENING	RL	RAIL (ING)
ACT	ACOUSTICAL TILE	CONST	CONSTRUCTION	FIN	FINISH (ED)	MT	MOUNT (ING)	RM	ROOM
ADD	ADDENDUM/ADHESIVE	CONT	CONTINUOUS OR CONTINUE	FLR	FLOOR(ING)	MTD	MOUNTED	RO	ROUGH OPENING
ADJ	ADJUSTABLE	CONTR	CONTRACT (OR)	FR	FRAME (D) (ING)	MTG	MEETING	RWL	RAINWATER LEADER
ADM	ADMIN/ADMINISTRATION	CORR	CORRIDOR	FT	FOOT	FOOT	FOOT	SA S/A	SUPPLY AIR
A/E	ARCHITECT/ENGINEER	CPT	CARPET (ED)	FTG	FOOTING	N	NORTH	SAN	SANITARY
AFE	ABOVE FINISHED FLOOR	CWSR	CHILLED WATER SUPPLY AND RETURN	FU	FURR (ED) (ING)	NIC	NOT IN CONTRACT	SCH	SCHEDULE
ALUM	ALUMINUM	CUFT	CUBIC FEET (FOOT)	FIXT	FIXTURE	NO	NUMBER	SECT	SECTION
ALT	ALTERNATE	CUIN	CUBIC INCH CUBIC CUYD	GA	GAGE, GAUGE	NOM	NOMINAL	SGP	SEMI GLOSS PAINT
ANC	ANCHOR (AGE)	DBL	DOUBLE	GALV	GALVANIZED	NTS	NOT TO SCALE	SH	SHELF
ANT	ANTENNA	DECOR	DECORATIVE	GC	GENERAL CONTRACT (OR)	O/A	OUTSIDE AIR	SHT	SHEET
APPROX	APPROXIMATE	DEPT	DEPARTMENT	GL	GLASS, GLAZING	OC	ON CENTER (S)	SIM	SIMILAR
ARCH	ARCHITECT (URAL)	DET	DETAIL	GRND	GROUND	OD	OUTSIDE DIAMETER	SMT	SEALANT
AUTO	AUTOMATIC	DF	DRINKING FOUNTAIN	CHWB	GYPSUM WALLBOARD	OH	OVERHEAD	SC	SMOOTH CONCRETE
AVG	AVERAGE	DIA	DIAMETER DIA	GYP	GYPSUM	OPNG	OPENING	SL	SLOPE
BD	BOARD	DIM	DIMENSION	HB	HOSE BIBB	OPP	OPPOSITE	SPEC	SPECIFICATION
BEL	BELOW	DISP	DISPENSER	HC	HANDICAP	OS	OVERFLOW SCUPPER	SQ	SQUARE
BTW	BETWEEN	DN	DOWN	HDR	HEADER	PC	PRECAST	SST	STAINLESS STEEL
BLDG	BUILDING	DO	DOOR OPENING	HDW	HARDWARE	PORC	PORCELAIN	STL	STEEL
BLK	BLOCK	DR	DOOR	HM	HOLLOW METAL	PERF	PERFORATE (D)	STD	STANDARD
BLKG	BLOCKING	DS	DOWNSPOUT & SCUPPER	HORIZ	HORIZONTAL	PERP	PERPENDICULAR	STO	STORAGE
BM	BENCH MARK	DWG	DRAWING	HP	HIGH POINT	PL	PLATE	STRUC	STRUCTURE
BO	BOTTOM OF	E/A	EXHAUST AIR	HT	HEIGHT	PLAM	PLASTIC LAMINATE	SUPV	SUPERVISOR
BOTT	BOTTOM	EA	EACH	HVAC	HEATING/VENTILATING/AIR CONDITIONING	PLAS	PLASTER	SUR	SURFACE
BW	BOTH WAYS	EF	EXHAUST FAN	HW	HOT WATER HEATER	PLS	PLASTIC	SUSP	SUSPENDED
C/C	CENTER TO CENTER	INCL	INCLUDE (ING)	INS	INSULATE (D) (ING)	PNEU	PNEUMATIC	SYM	SYMMETRICAL
CC	CENTER TO CENTER	EL	ELEVATION	INT	INTERIOR	PNL	PANEL	SVS	SYSTEM
CAB	CABINET	ELEC	ELECTRIC (AL)	JT	JOINT	PREFAB	PREFABRICATED (D)	TEL	TELEPHONE
CAM	CAMERA	EWC	ELECTRIC WATER COOLER	KO	KNOCKOUT	PREP	PREPARATION	TEMP	TEMPERED
CD	CONDENSATE DRAIN	ELEV	ELEVATOR	INS	INSULATE (D) (ING)	PSF	POUNDS PER SQUARE FOOT	THK	THICK (NESS)
CEM	CEMENT	EMER	EMERGENCY	INT	INTERIOR	PSI	POUNDS PER SQUARE INCH	TKT	TICKET
CER	CERAMIC	EQU	EQUAL	JT	JOINT	PT	PRESSURE TREATED	TO	TOP OF
CIR	CIRCLE	EQUIV	EQUIVALENT	LAM	LAMINATE	PTD	PAINT (ED)	TS	TUBE STEEL
CIRCU	CIRCUMFERENCE	EXH	EXHAUST	LAMG	LAMING	PVC	POLYVINYL CHLORIDE	TYP	TYPICAL
CJ	CONTROL JOINT	EXP	EXPANSION	LAV	LAVATORY	PAVE	PAVEMENT	UGND	UNDERGROUND
CL	CENTER LINE	EP	EPOXY-PAINTED	LBL	LABEL	UNL	UNLIMITED	UNL	UNLIMITED
CLF	CHAIN LINK FENCE	EXPO	EXPOSED TO STRUCTURE	LL	LEFT HAND	UNON	UNLESS OTHERWISE NOTED	VEH	VEHICLE
CLG	CEILING	EXT	EXTERIOR	LL	LEFT HAND	VEN	VENEER	VERT	VERTICAL
CLOS	CLOSET	FA	FIRE ALARM	LP	LOW POINT	VEST	VESTIBULE	VIF	VERIFY IN FIELD
CLR	CLEAR (ANCE)	FCA	FIRE CONTROL ASSEMBLY	LT	LIGHT	VOL	VOLUME	VOL	VOLUME
CMU	CONCRETE MASONRY UNIT	FCU	FAM COIL UNIT	LTR	LIGHT	VTR	VENT THROUGH ROOF	VTR	VENT THROUGH ROOF
C.O.	CLEAN OUT	FDR	FLOOR DRAIN	LVR	LOUVER	VCT	VINYL COMPOSITION TILE	W/	WITH
COL	COLUMN	FDC	FIRE DEPT CONNECTION	MAS	MASONRY	W/O	WITHOUT	W/O	WITHOUT
COMM	COMMUNICATIONS	FE	FIRE EXTINGUISHER	MAX	MAXIMUM	WC	WATER CLOSET	WC	WATER CLOSET
COMP	COMPOSITE	FEC	FIRE EXTINGUISHER CABINET	MECH	MECHANIC (AL)	WD	WOOD	WD	WOOD
		FG	FIXED GLASS	MISC	MISCELLANEOUS	WDM	WINDOW	WDM	WINDOW
						WM	WIRE MESH	WP	WATERPROOFING
						WT	WEIGHT	WTF	WELDED WIRE FABRIC
						WS	WAINSCOT	WS	WAINSCOT

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4



PALM CENTRE

150 EAST 1ST AVENUE
HIALEAH, FL 33010
CSA GROUP PROJECT No. : 18-0221

**OWNER:
HIALEAH HOUSING AUTHORITY**

CAPITAL FUND PROGRAM DEPARTMENT
75 EAST 6TH STREET, HIALEAH, FL 33010
PH:305-888-9744 - FAX: 305-887-0997
TTY:1.8008778339 - SPANISH: 1.800.845.6136

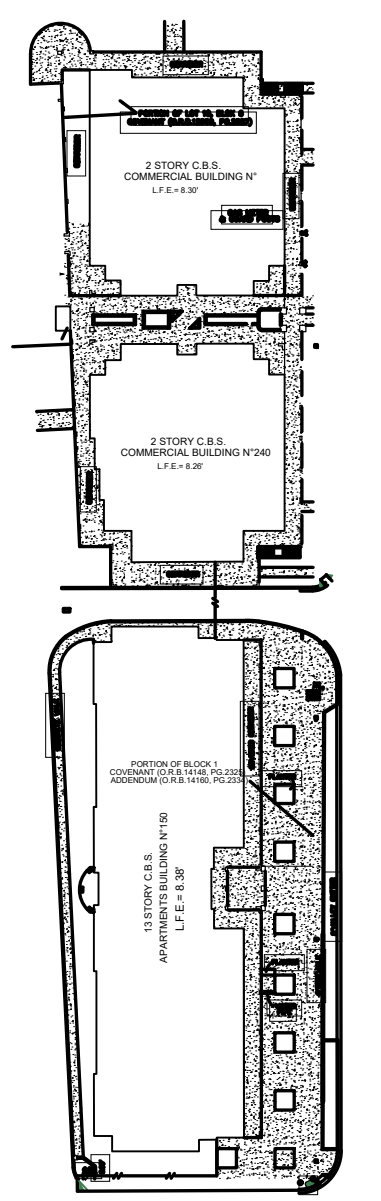
MAIDA GUTIERREZ, CHAIRPERSON
MARIO DIAZ, VICE CHAIRMAN
FARA ALVAREZ, COMMISSIONER
BARBARA HERNANDEZ, COMMISSIONER
JULIO PONCE, EXECUTIVE DIRECTOR



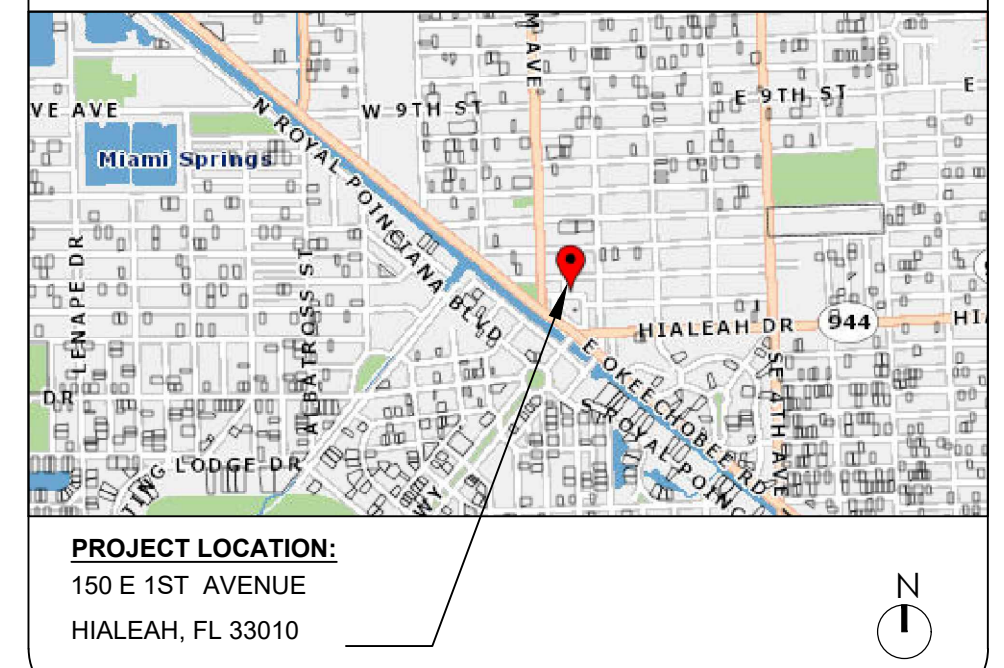
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KEY PLAN NOT TO SCALE.



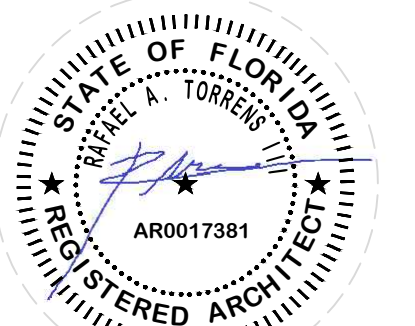
LOCATION MAP



PROJECT LOCATION:
150 E 1ST AVENUE
HIALEAH, FL 33010

STATEMENT OF COMPLIANCE

I HEREBY CERTIFY THAT ALL THE DOCUMENTS SUBMITTED FOR THIS PROJECT HAVE BEEN COORDINATED AMONG ALL THE FOLLOWING DESIGN AND/OR SPECIALTY DISCIPLINES. THE A/E FIRM ATTEST TO THE BEST OF OUR KNOWLEDGE AND PROFESSIONAL BELIEF, THESE DOCUMENTS ARE COMPLETE AND IN COMPLIANCE WITH THE APPLICABLE STATE CODES, STATUTES, SREF, AND SBBC REQUIREMENTS.



FOR PERMIT

VCA IMPROVEMENTS : PALM CENTRE

Room No. Name	Item No.	Issue	Proposed Correction	Photo
Accessible Parking Spaces by 150 E 1st Av	0001	The surface of the accessible parking spaces is unstable and has loose material.	Rework and clean sidewalk to provide a stable, firm, and slip-resistant floor surface.	
	0002	Accessible parking spaces have a 2" (51 mm) vertical change in level due to the construction.	Rework area and provide a level surface, with a slope no greater than 1:48.	
	0003	The surface of the accessible parking space is unstable and has loose material.	Rework and clean sidewalk to provide a stable, firm, and slip-resistant floor surface.	
	0004	Access aisle has a 2.5 % non-compliant surface slope.	Rework or repave to provide an accessible parking space with surface slope not exceeding 2% in all directions.	
	0005	Accessible parking space does not have an access aisle.	Restripe to provide an accessible parking space with a corresponding 60" (1524 mm) min. wide access aisle (2010 ADA Fig. 502.3).	
	0006	The surface of the accessible parking spaces is unstable and has loose material.	Rework and clean sidewalk to provide a stable, firm, and slip-resistant floor surface.	
	0007	Both accessible parking spaces are not clearly outlined.	Provide an accessible parking space 144" (3.65 m) wide, 18 ft (5.48 m) long, with a 60" (1525 mm) min. wide access aisle and restripe or outline in blue (FBC Fig. 9, FDOT Index # 17346).	
	0008	Signage indicating accessible parking is mounted at 59" (1499 mm) above the finished floor.	Install signage indicating accessible parking that displays the international symbol of accessibility and is mounted at 60" (1524 mm) min. above the finished floor.	
Entrance to 150 E 1st Av	0009	The foot of the ramp is not flush.	The adjacent surfaces at transitions from curb ramps to walks, gutters, and streets shall be at the same level (2010 ADA Fig. 406.2).	
	0010	Door has a 0.5" (13 mm) vertical change in level.	Rework area and provide a 0.25" (6 mm) max. vertical change of level, with a slope no greater than 1:2 or mitigate condition by means of a curb ramp, ramp or platform lift (2010 ADA Fig. 303.2).	
	0011	Highest mailbox key slot is mounted beyond required reach allowed for approach provided and is mounted at 65" (1651 mm) above the finished floor.	Lower or install at 48" (1219 mm) max. above the finished floor for forward approach to object (2010 ADA Fig. 308.2.1).	
	0012	Door facing E 1st Avenue cannot be opened.	Adjust or replace door closer, maintain door hinges to provide an opening force not to exceed 8.5 lbf.	
Parking Garage	0013	Handrails are provided only on one side.	Install continuous handrails on both sides of stairs or ramps and mount between 34" and 38" (863 mm - 965 mm) above the finished floor to top of gripping surfaces, with a clearance of 1.5" (38 mm) min. from the wall (2010 ADA Fig. 505.4, Fig. 505.5).	
	0014	Ramp has a 11.3 % non-compliant running slope.	Rework ramp to provide a running slope not exceeding 8.33%.	
	0015	Handrails are not continuous.	Install continuous handrails on both sides of stairs or ramp and mount between 34" and 38" (863 mm - 965 mm) above the finished floor to top of gripping surfaces, with a clearance of 1.5" (38 mm) min. from the wall (2010 ADA Fig. 505.4, Fig. 505.5).	
	0016	Accessible route has a non-compliant running slope of 10 %.	Rework or repave accessible route to provide a running slope not exceeding 5%.	
	0017	Bottom of the ramp has a 0.5" (13 mm) vertical change in level.	Rework area and provide a 0.25" (6 mm) max. vertical change of level, with a slope no greater than 1:2 or mitigate condition by means of a curb ramp, ramp or platform lift (2010 ADA Fig. 303.2).	
	0018	Handrails are provided only on one side.	Install continuous handrails on both sides of stairs or ramps and mount between 34" and 38" (863 mm - 965 mm) above the finished floor to top of gripping surfaces, with a clearance of 1.5" (38 mm) min. from the wall (2010 ADA Fig. 505.4, Fig. 505.5).	
	0019	West ramp has a 9.13 % non-compliant running slope.	Rework ramp to provide a running slope not exceeding 8.33%.	
	0020	Sidewalk does not have a curb ramp where accessible route crosses curb.	Rework sidewalk to provide a curb ramp with an 8.33% max. running slope that does not project into vehicular traffic lanes (ADAAG Fig. 15).	
	0021	Ramp leading to the elevator has a 8.8 % non-compliant running slope.	Rework ramp to provide a running slope not exceeding 8.33%.	
	0022	Top of the ramp has a non-compliant cross slope of 2.3 %.	Rework or repave to provide a cross slope not exceeding 2%.	
	0023	Handrails are provided only on one side (SW corner of the parking garage).	Install continuous handrails on both sides of stairs or ramps and mount between 34" and 38" (863 mm - 965 mm) above the finished floor to top of gripping surfaces, with a clearance of 1.5" (38 mm) min. from the wall (2010 ADA Fig. 505.4, Fig. 505.5).	
	0024	Ramp has a 8.7 % non-compliant running slope.	Rework ramp to provide a running slope not exceeding 8.33%.	
	0025	Bottom landing has a non-compliant 3 % surface slope.	Rework landing to provide a surface slope not exceeding 2% in all directions (2010 ADA Fig. 406.2).	
	0026	Sidewalk does not have a curb ramp where accessible route crosses curb.	Rework sidewalk to provide a curb ramp with an 8.33% max. running slope that does not project into vehicular traffic lanes (ADAAG Fig. 15).	

Laundry Room - 150 E 1st Av	0027	Non-compliant knob-type door hardware, requiring grasping and turning of the wrist to operate.	Replace or retrofit with system operable with one hand, not requiring pinching, tight grasping or turning of the wrist to operate.	
	0028	Permanent room identifying signage does not have Braille or raised characters and is mounted on the door leaf.	Provide signage on latch side with raised characters and grade 2 Braille, mounted at 48 inches min. measured from the baseline of the lowest tactile character and 60 inches max. from the baseline of the highest tactile character (2010 ADA Fig. 703.4.1).	
	0029	Door has a non-compliant door opening force of 7 lbf.	Adjust or replace door closer, maintain door hinges to provide an opening force not to exceed 5 lbf.	
	0030	Maneuvering clearance on the pull side of the door is 5" (127 mm).	Relocate cabinet to provide the required 18" (457 mm) min. maneuvering clearance on the pull side of the door beyond the latch side and 60" (1524 mm) min. deep clear floor level area with slopes not exceeding 1:48 (2010 ADA Fig. 404.2.4.1).	
	0031	Washer / dryer is not front-loading type.	Replace washer-dryer for a front-loading type unit.	
	0032	Sink knob-type faucet requires pinching and tight grasping to operate.	Replace or retrofit lavatory controls with paddle-operated, push-type or electronically-controlled mechanism.	
	0033	Fire extinguisher is mounted beyond required reach allowed for approach provided and is mounted at 52" (1321 mm) above the finished floor.	Lower or install at 48" (1219 mm) max. above the finished floor for forward approach to object (2010 ADA Fig. 308.2.1).	
	0034	Sink encroaches over fire extinguisher's clear floor space.	Relocate fire extinguisher to provide a 30" by 48" (762 mm by 1219 mm) min. wheelchair clear floor space (2010 ADA Fig. 303.3.3.6.5).	
	0035	Counter and/or work surface is mounted at 36" (914 mm) above the finished floor to the top.	Rework/replace to provide the top of the dining or work surface, mounted between 28" (710 mm) min. and 34" (865 mm) max. above the finished floor or ground.	
	0036	Clothes rod is mounted beyond required reach allowed for approach provided and is mounted at 73" (1854 mm) above the finished floor.	Lower or install at 48" (1219 mm) max. above the finished floor for forward approach to object (2010 ADA Fig. 308.2.1).	
	0037	Coin changer machine is mounted beyond required reach allowed for approach provided and is mounted at 64.5" (1638 mm) above the finished floor.	Lower or install at 48" (1219 mm) max. above the finished floor for forward approach to object (2010 ADA Fig. 308.2.1).	
	0038	Doorway has a 1" (25 mm) vertical change of level at threshold.	Rework door threshold to provide a 0.5" (12 mm) max. change of level, beveled with a slope no greater than 1:2.	
Bathroom at Laundry Room	0039	Counter and/or work surface is mounted at 36" (914 mm) above the finished floor to the top.	Rework/replace counter to provide the top of the dining or work surface, mounted between 28" (710 mm) min. and 34" (865 mm) max. above the finished floor or ground.	
	0040	Dispenser is mounted beyond required reach allowed for approach provided and is mounted at 59.75" (1518 mm) above the finished floor.	Lower or install at 48" (1219 mm) max. above the finished floor for forward approach to object (2010 ADA Fig. 308.2.1).	
	0041	Counter and/or work surface is mounted at 35.75" (908 mm) above the finished floor to the top.	Rework/replace to provide the top of the dining or work surface, mounted between 28" (710 mm) min. and 34" (865 mm) max. above the finished floor or ground.	
	0042	Laundry room does not provide the required diameter wheelchair turnaround space in room.	Rework equipment and/or offset partitions to provide the required clear 60" (1524 mm) min. diameter wheelchair turnaround space or a T-shaped space (2010 ADA Fig. 304.3.2).	
	0043	Non-compliant knob-type door hardware, requiring grasping and turning of the wrist to operate.	Replace or retrofit with system operable with one hand, not requiring pinching, tight grasping or turning of the wrist to operate.	
	0044	Bathroom is 51" (1295 mm) wide and does not provide the required diameter wheelchair turnaround space in room.	Reconfigure room's fixtures and/or offset partitions to provide the required clear 60" (1524 mm) min. diameter wheelchair turnaround space or a T-shaped space (2010 ADA Fig. 304.3.2).	
	0045	Water closet does not have a side wall grab bar.	Install a 42" (1066 mm) min. long side wall grab bar at 54" (1371 mm) min. from rear wall to centerline of outer flange and mount at 33"-36" (838 mm - 914 mm) above the finished floor to the top of the gripping surface (2010 ADA Fig. 604.5.1).	
	0046	Water closet does not have a rear wall grab bar.	Install a 36" (914 mm) min. long rear wall grab bar and mount between 33" and 36" (838 mm - 914 mm) above the finished floor to the top of the gripping surface (2010 ADA Fig. 604.5.2).	
	0047	Water closet is centered at 19.25" (489 mm) from side wall.	Relocate water closet and center between 16" and 18" (406 mm - 457 mm) from side wall (2010 ADA Fig. 604.2).	
	0048	Lavatory does not provide the required knee clearance.	Rework lavatory to provide the required 27" (685 mm) min. knee clearance above the finished floor to bottom leading edge of fixture at an 8" (203 mm) min. horizontal projection (2010 ADA Fig. 306.3).	
	0049	Lavatory mirror is mounted at 57" (1448 mm) above the finished floor to bottom edge of its reflecting surface.	Lower lavatory mirror to 40" (1016 mm) max. above the finished floor to bottom edge of its reflecting surface.	
	0050	Paper towel dispenser is mounted beyond required reach allowed for approach provided and is mounted at 61" (1549 mm) above the finished floor.	Lower or install at 48" (1219 mm) max. above the finished floor for forward approach to object (2010 ADA Fig. 308.2.1).	
Accessible Parking Spaces by 60 E 3rd St	0051	The surface of the accessible parking spaces is unstable and has loose material.	Rework and clean sidewalk to provide a stable, firm, and slip-resistant floor surface.	
	0052	Access aisle has a 2.9 % non-compliant surface slope.	Rework or repave to provide an accessible parking space with surface slope not exceeding 2% in all directions.	
	0053	Accessible parking space on the left has a 2.7 % non-compliant surface slope.	Rework or repave to provide an accessible parking space with surface slope not exceeding 2% in all directions.	
	0054	Accessible parking space on the right has a 3.7 % non-compliant surface slope.	Rework or repave to provide an accessible parking space with surface slope not exceeding 2% in all directions.	
	0055	Accessible parking space on the right has a 0.5" (13 mm) vertical change in level.	Rework or repave to provide a level accessible parking space with surface slope not exceeding 2% in all directions.	
	0056	Build-up curb ramp encroaches over access aisle and both accessible parking spaces.	Rework sidewalk to provide a curb ramp with a 8.33% max. running slope that does not project into access aisle and accessible parking spaces.	

Laundry Room - 60 E 3rd St	0057	Permanent room identifying signage does not have Braille or raised characters and is mounted on the door leaf.	Provide signage on latch side with raised characters and grade 2 Braille, mounted at 48 inches min. measured from the baseline of the lowest tactile character and 60 inches max. from the baseline of the highest tactile character (2010 ADA Fig. 703.4.1).	
	0058	Doorway has a 0.75" (19 mm) vertical change of level at threshold.	Rework door threshold to provide a 0.5" (12 mm) max. change of level, beveled with a slope no greater than 1:2.	
	0059	Dryer encroaches over maneuvering clearance on the pull side of the door.	Relocate encroaching item to provide the required 18" (457 mm) min. maneuvering clearance on the pull side of the door (2010 ADA Fig. 404.2.4.1).	
	0060	Laundry room is 51.5" (1308 mm) wide and does not provide the required diameter wheelchair turnaround space in room.	Relocate washers & dryers and/or offset partitions to provide the required clear 60" (1524 mm) min. diameter wheelchair turnaround space or a T-shaped space (2010 ADA Fig. 304.3.2).	
0061	Door has a 0.5" (13 mm) vertical change in level.	Rework area and provide a 0.25" (6 mm) max. vertical change of level, with a slope no greater than 1:2 or mitigate condition by means of a curb ramp, ramp or platform lift (2010 ADA Fig. 303.2).		
0062	Highest button is mounted beyond required reach allowed for approach provided and is mounted at 64.5" (1638 mm) above the finished floor.	Lower or install at 48" (1219 mm) max. above the finished floor for forward approach to object (2010 ADA Fig. 308.2.1).		



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CLIENT:



IN ASSOCIATION WITH:

REV. NO. DATE DESCRIPTION

REV. NO.	DATE	DESCRIPTION

NOTES:

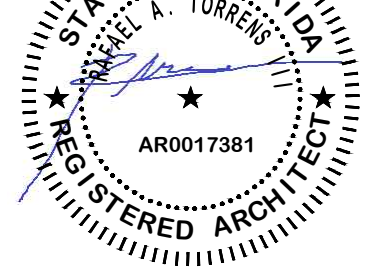
DISCIPLINE INFORMATION:

PROFESSIONAL OF RECORD:
RABEAL A TORRES JAVIER PUERTO
S.T. REGISTERED ARCHITECT

Q.C. AUDITOR:
RABEAL A TORRES JAVIER PUERTO
PRINCIPAL CAD TECHNICIAN

PROJECT MANAGER:
YELLY RENTERIA

PROFESSIONAL SEAL:



PROJECT:

VCA IMPROVEMENTS

PALM CENTRE

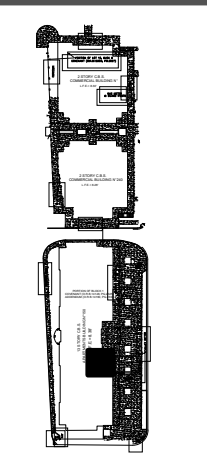
150 EAST 1ST AVENUE

HIALEAH, FL 33010

DATE ISSUE DESCRIPTION

DATE	ISSUE DESCRIPTION
07/12/2019	ISSUED FOR PERMIT

DRAWING INFORMATION:



KEY PLAN

SHEET TITLE:

ADA ISSUES

DELIVERY DATE: PROJECT NUMBER:

04/10/2019 18-0221-06

PRINT DATE & TIME: CAD FILE NAME:

04/10/2019 G002

DRAWING LOCATION:

A:\Projects\m\m_projects\0418-0221\C06\Technical\08Architecture\DWG

SHEET NO. G002

02 of 2

GENERAL NOTES

GENERAL NOTES - ARCHITECTURAL

1. GOVERNING BUILDING CODE :

THE WORK OF THIS CONTRACT SHALL CONFORM WITH THE REQUIREMENTS OF THE FOLLOWING GOVERNING CODES & STANDARDS:

- 2017 FLORIDA BUILDING CODE: BUILDING
- FLORIDA FIRE PREVENTION CODE - SIXTH EDITION - 2017.
- NFPA 101 LIFE SAFETY CODE 2015 EDITION.
- FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION 2017 EDITION.
- SREF 2017 EDITION.
- EXCEPT AS OTHERWISE INDICATED, GOVERNING CODES REFER TO THE EDITION IN FORCE AT THE TIME THESE CONTRACT DOCUMENTS ARE ISSUED FOR PERMIT.

2. DIMENSIONS :

A. FIELD VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR PRIOR TO COMMENCEMENT WITH CONSTRUCTION PHASE.

B. DO NOT SCALE DRAWINGS; USE DIMENSIONS.

3. GENERAL NOTES AND TYPICAL DETAILS :

A. THE GENERAL NOTES & TYPICAL DETAILS APPLY THROUGHOUT THE JOB, EXCEPT AS OTHERWISE INDICATED.

B. DETAILS AND NOTES LABELED "TYPICAL" ON THE DRAWINGS APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED OR NOTED. SUCH DETAILS APPLY WHETHER OR NOT THEY ARE KEYED IN EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS OR NOTES SHALL BE RESPONDED BY THE ARCHITECT.

4. PLANS, SPECIFICATIONS & OTHER CONTRACT DOCUMENTS:

A. THE ARCHITECTURAL DRAWINGS ARE TO BE USED IN CONJUNCTION WITH THE MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AND OTHER DRAWINGS INCLUDED AS PART OF THE CONTRACT DOCUMENTS. THESE ARE GENERAL NOTES & SHALL BE USED IN CONJUNCTION WITH ALL DRAWINGS. IF A CONFLICT EXISTS, THE MORE STRINGENT REQUIREMENT GOVERNS.

B. ALL WORK THAT IS REASONABLY IMPLIED AND/OR INFERRED IN THE CONTRACT DOCUMENTS, DRAWINGS AND/OR AND WHICH IS NECESSARY FOR AND/OR INCIDENTAL TO A COMPLETE INSTALLATION, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

C. THE INCLUSION OF ANY WORK BY MENTION, ANNOTATION, DETAIL, ITEMIZATION, AND/OR OTHER REFERENCE, IMPLICATION, OR INFERENCE, HOWEVER BRIEF, SHALL BE CONSIDERED TO INDICATE THAT THE CONTRACTOR IS TO PROVIDE SUCH WORK AS NECESSARY FOR, AND/OR INCIDENTAL TO A COMPLETE INSTALLATION CONSISTENT WITH THE DESIGN INTENT.

D. REVISIONS: REVISIONS ARE IDENTIFIED BY A REVISION NUMBER WITHIN A TRIANGLE. ALL REVISIONS ISSUED ON A SINGLE DATE WILL BE IDENTIFIED BY THE SAME REVISION NUMBER ISSUED CONSEQUENTLY.

5. FEES, PERMITS, INSPECTIONS, AND APPROVALS :

ALL FEES, PERMITS, INSPECTIONS, APPROVALS, ETC. RELATED TO AND/OR REQUIRED FOR THE WORK OF THIS CONTRACT SHALL BE THE RESPONSIBILITY OF THE OWNER, EXCEPT AS OTHERWISE INDICATED.

6. PROTECTION OF WORK :

ALL WORK, INCLUDING WORK TO REMAIN, COMPLETED WORK, WORK IN PROGRESS, SHALL BE PROPERLY PROTECTED FROM DAMAGE AT ALL TIMES.

A. ALL DEMOLITION WORK SHALL BE PERFORMED WITH CARE, SEEKING NOT TO DISTURB OR DAMAGE THE PORTIONS OF ANY STRUCTURE TO REMAIN.

B. SHOULD THE STRUCTURE TO REMAIN RESULT DAMAGED DURING THE COURSE OF THE WORK, THE CONTRACTOR SHALL REPAIR IT AT HIS/HER EXPENSE.

7. CONSTRUCTION MEANS AND METHODS :

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS & METHODS OF CONSTRUCTION, PROJECT SUPERVISION, & CONSTRUCTION & WORK SITE SAFETY. ACTIONS OF AND/OR INFORMATION PROVIDED BY THE ARCHITECT/ENGINEER SHALL NOT BE CONSTRUED TO RELIEVE THE CONTRACTOR OF THIS RESPONSIBILITY, REGARDLESS OF THE CIRCUMSTANCES.

8. EXAMINATION OF THE CONTRACT DOCUMENTS & SITE :

A. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME COMPLETELY FAMILIAR WITH ALL ASPECTS OF THE PROJECT PRIOR TO SUBMITTING A BID.

B. THE SUBMISSION OF A BID BY THE CONTRACTOR SHALL BE PRIMA FACIE EVIDENCE THAT THE CONTRACTOR HAS EXAMINED COMPLETELY THE ENTIRE WORK SITE, ANALYZED THOROUGHLY ALL CONTRACT DOCUMENTS, AND BECOME FAMILIAR WITH ALL ASPECTS OF THE PROJECT, INCLUDING BUT NOT LIMITED TO THE FOLLOWING CONTRACT CONDITIONS:

- CONTRACT DOCUMENTS, INCLUDES BUT IS NOT LIMITED TO ALL DRAWINGS & SPECIFICATIONS
- PROJECT CONDITIONS, INCLUDING ALL EXISTING CONDITIONS & OWNER'S OPERATIONAL REQUIREMENTS
- REQUIREMENTS OF APPLICABLE CODES AND REFERENCED STANDARDS
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING TO THE A/E AND OBTAINING A/E'S CLARIFICATION OF THE FOLLOWING:
- PRIOR TO SUBMISSION OF A BID, THE CONTRACTOR SHALL REPORT ANY AND ALL APPARENT DISCREPANCIES, ERRORS, AND/OR OMISSIONS WHICH MIGHT AFFECT THE CONTRACT PRICE AND/OR CONTRACT DURATION.
- PRIOR TO THE COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL REPORT ANY & ALL APPARENT DISCREPANCIES, ERRORS, AND/OR OMISSIONS NOT PREVIOUSLY REPORTED.
- ANY WORK RELATED TO ANY APPARENT DISCREPANCIES, ERRORS, AND/OR OMISSIONS NOT REPORTED TO THE A/E, THAT PROCEEDS IN ADVANCE OF CLARIFICATION BY THE A/E, IF INCORRECTLY PERFORMED BY THE CONTRACTOR, SHALL BE PROVIDED, REPLACED OR REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

9. COORDINATION OF WORK :

A. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES PERFORMING WORK UNDER THIS CONTRACT, & FOR COORDINATING THE WORK OF THIS CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADDITIONAL WORK REQUIRED TO CORRECT CONFLICTS BETWEEN TRADES AND/OR BETWEEN NEW WORK & EXISTING FIELD CONDITIONS AFTER THE WORK HAS COMMENCED, AT NO ADDITIONAL COST TO THE OWNER.

B. UPON FINAL COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE OWNER THE PREMISES WITH ALL WORK COMPLETED & FREE OF DEFECTS OF ALL AREAS IN SCOPE OF WORK.

C. PRIOR TO ACCEPTANCE OF THE WORK BY THE OWNER, ALL DAMAGE TO EXISTING & NEW STRUCTURES, GROUNDS, UTILITIES, ETC. AND/OR WORK PERFORMED BY OTHERS WHICH, IN THE OPINION OF THE A/E, IS ATTRIBUTABLE TO THE CONTRACTOR, SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR, AT NO ADDITIONAL COST TO THE OWNER.

D. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS. PRIOR TO COMMENCEMENT OF THE WORK, ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER BY THE CONTRACTOR.

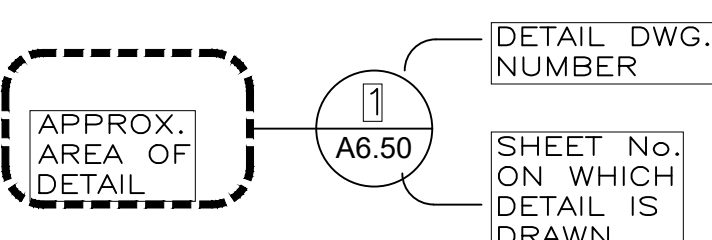
E. THE CONTRACTOR SHALL PROVIDE A "SAFETY PLAN" WHICH DELINEATES AREAS OF CONSTRUCTION AND CONSTRUCTION TRAFFIC DURING PHASES OF THE PROJECT, MAINTAINS REQUIRED EXITS, & PROVIDES FOR BARRIERS & OR TEMPORARY CONSTRUCTION TO SEPARATE CONSTRUCTION AREAS FROM STUDENTS & STAFF. THE PLAN MUST PROVIDE FOR MAINTAINING FIRE DETECTION & WARNING SYSTEMS IN USE WHILE SCHOOL IS OCCUPIED.

10. COORDINATION WITH OWNER :

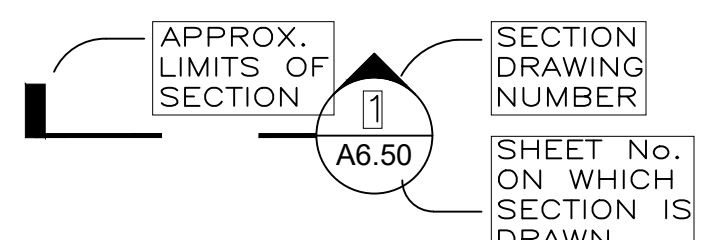
THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE BUILDING OWNER REGARDING SCHEDULING, ACCESS, & SPECIAL REQUIREMENTS WHICH MAY BE REQUIRED BY THE SCOPE OF THE WORK OR BY THE BUILDING OWNER.

GENERAL SYMBOLS LEGEND

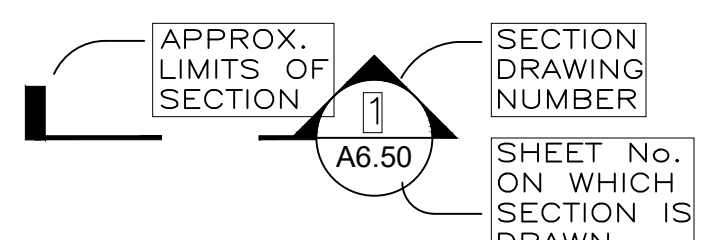
DETAIL REFERENCE SYMBOL



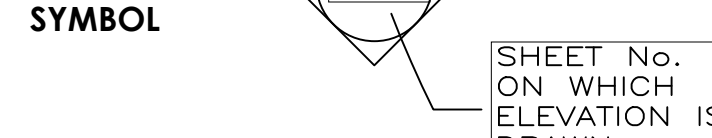
WALL SECTION REFERENCE SYMBOL



BUILDING SECTION REFERENCE SYMBOL



ELEVATION SYMBOL



CENTER LINE



PROPERTY LINE



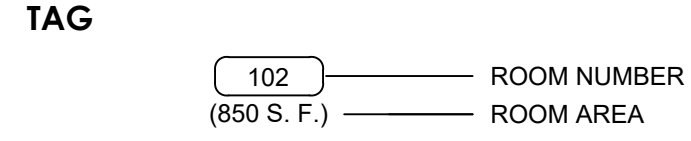
NORTH ARROW



PICTURE IDENTIFICATION TAG



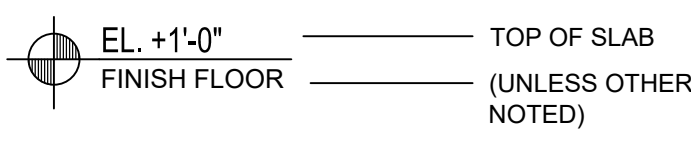
ROOM TAG



COLUMN IDENTIFICATION



ELEVATION MARK



GRAPHIC SCALE



DOOR TYPE



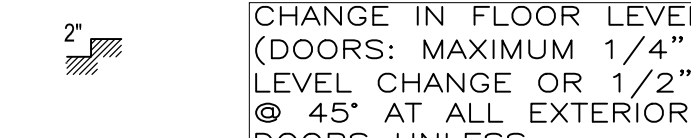
WINDOW TYPE



WALL TYPE



REVISION (NUMBER)



DEMOLITION WORK KEYNOTE IDENTIFICATION TAG.



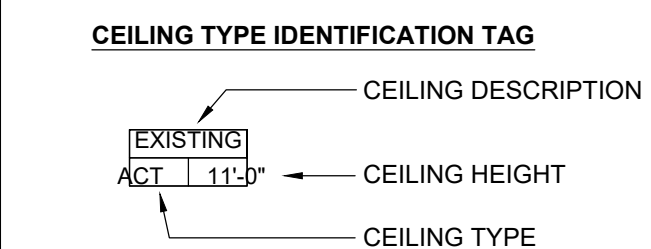
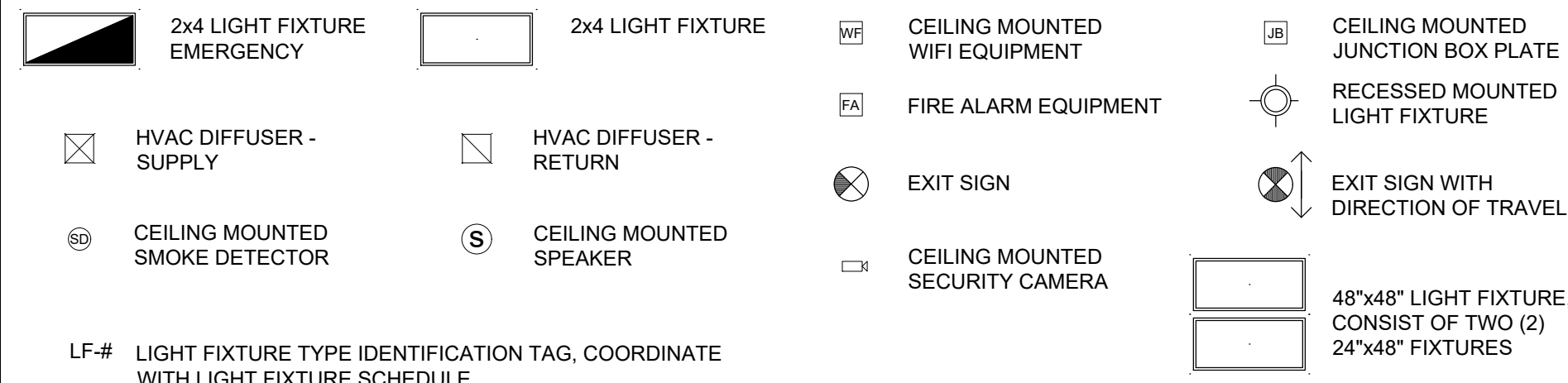
NEW CONSTRUCTION KEYNOTE IDENTIFICATION TAG.



FURNITURE/EQUIPMENT IDENTIFICATION TAG. REFER TO FURNITURE & EQUIPMENT SCHEDULE



REFLECTED CEILING PLAN SYMBOLS LEGEND:



CONSTRUCTION TYPE

CONSTRUCTION TYPE 3 - A

GENERAL NOTES

- G.C. IS RESPONSIBLE FOR ALL SAFETY DURING CONSTRUCTION AND ASSURING PROTECTION FOR ALL ADJACENT OCCUPANCIES.
- G.C. SHALL VISIT THE SITE OF THE WORK & INSPECT EXISTING CONDITIONS AFFECTING THE WORK.
- G.C. SHALL PROVIDE SHOP DRAWINGS OF HVAC, SHEET METAL, AND LIGHTING SHOWING ANY POSSIBLE CONFLICTS WITH CEILING HEIGHTS AND EXISTING BEAM, DUCTS, PIPES, ETC. THAT COULD CRITICALLY AFFECT THE ULTIMATE CEILING HEIGHT.
- DO NOT SCALE DRAWING. DIMENSIONS SHALL GOVERN. LARGE SCALE DETAILS SHALL GOVERN OVER SMALLER SCALE DETAILS.
- NO SUBSTITUTIONS ARE TO BE MADE WITHOUT CONSULTING WITH THE ARCHITECT. G.C. SHALL SUBMIT SUBSTITUTE MATERIAL SPECIFICATIONS AND SAMPLES FOR APPROVAL IN WRITING TO ARCHITECT PRIOR TO OWNER'S APPROVAL.
- G.C. SHALL PROVIDE WOOD BLOCKING AND NAILERS FOR WALL HUNG INSTRUCTIONAL AIDES AND ACCESSORIES AS REQUIRED FOR ADEQUATE SUPPORT.
- G.C. IS RESPONSIBLE FOR ALL REQUIRED TEMPORARY LIGHT, POWER & HVAC TO ACCOMPLISH THE WORK.
- G.C. SHALL COORDINATE WORK BEING PERFORMED BY OTHERS. G.C. SHALL COOPERATE AND COORDINATE WITH OTHER CONTRACTORS TO ENSURE HARMONY AT THE SITE, & SHALL COORDINATE THE USE OF BUILDING FACILITIES.
- ALL WORK PERFORMED UNDER THIS CONTRACT SHALL CONFORM TO THE BEST PRACTICES OF THE CONSTRUCTION TRADES IN A PROFESSIONAL AND WORKMANLIKE MANNER. ANY WORK WHICH DOES NOT MEET THESE STANDARDS MAY BE REJECTED BY THE ARCHITECT AND REDONE AT NO ADDITIONAL EXPENSE TO THE OWNER.
- G.C. SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AND SHALL COORDINATE ALL TRADES PRIOR TO COMMENCEMENT OF THE WORK. ANY DISCREPANCIES SHOWN IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION PRIOR TO EXECUTING THE JOB.
- INSTALLATION OF ALL MATERIALS AND EQUIPMENT SHALL BE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND INDUSTRY STANDARDS IN ACCORDANCE WITH NATIONAL (U.S.) TRADE ASSOCIATIONS.
- ALL ITEMS MARKED "NIC" ARE NOT-IN-CONTRACT & SHALL BE FURNISHED AND/OR INSTALLED BY OTHERS. ALL ITEMS MARKED "IC" ARE IN CONTRACT & ARE TO BE FURNISHED & INSTALLED BY CONTRACTOR
- DIMENSIONS INDICATED TO BE "CLEAR" SHALL HAVE A MINIMUM DIMENSION, FACE TO FACE OF FINISH MATERIALS, AS INDICATED.
- CONTRACTOR SHALL COORDINATE FLOOR SLAB ELEVATIONS W/ FLOOR DRAIN INVERT ELEVATION.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER ANY AREAS OF THE WORK REQUIRING ABATEMENT OF HAZARDOUS MATERIALS PRIOR TO DEMOLITION.

GENERAL NOTES FOR CEILING RELATED ITEMS

- SEE THE REFLECTED CEILING PLAN FOR:
A. SIZE AND LOCATION OF LIGHT FIXTURES
- SEE LIGHTING ENGINEERING DRAWINGS FOR:
A. CIRCUITING AND WIRING OF LIGHT FIXTURES AND SWITCHES.
- PLANS. WHEN DEVIATIONS ARE REQUIRED, FIELD VERIFY THE LOCATION OF ALL LIGHT FIXTURES & NOTIFY ARCHITECT PRIOR TO INSTALLATION.
- PROVIDE CONTROL JOINTS AT ALL GYPSUM BOARD CEILINGS PER MANUFACTURER, RECOMMENDATIONS
- WHERE ACOUSTICAL CEILING PANELS ARE REQUIRED TO BE CUT; CUT TO MAINTAIN A SHARP AND NEAT EDGE.
- G.C. SHALL COORDINATE WITH ALL TRADES INVOLVED & SUBMIT COMPOSITE SHOP DRAWINGS TO ENSURE CLEARANCES FOR FIXTURES, DUCTS, CEILINGS, ETC., NECESSARY TO MAINTAIN THE SPECIFIED FINISH CEILING HEIGHT(S) AND CLEARANCES REQUIRED FOR MAINTENANCE CLARIFY CONFLICTS WITH ARCHITECT.
- REFER TO ELECTRICAL, PLUMBING FOR ADDITIONAL CEILING MOUNTED ITEMS.

GENERAL NOTES FOR FINISHES

- SEE SPECIFICATIONS FOR APPLICABLE FINISH INFORMATION U.O. N.
- SUBMIT WITH FINISH SAMPLES, EVIDENCE OF COMPLIANCE WITH FIRE & BUILDING CODES & REGULATIONS IN RESPECT TO FLAME SPREAD, SMOKE AND RELATED AND APPURTENANT ITEMS, CONDUCT MATERIALS & ASSEMBLIES TESTING AS APPLICABLE & AS REQUIRED.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PRODUCT APPROVALS.
- ALL FINISHES SHALL BE APPLIED IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS FOR THE PARTICULAR SURFACE.
- PRIOR TO APPLICATION OF PAINT, ALL WALLS SHALL BE PREPARED AS PER PAINT MANUFACTURER'S RECOMMENDATIONS.
- PROVIDE 3/4" THICK MARINE GRADE PLYWOOD W/ INTUMESCENT PAINT AT ALL WALL SURFACES OF ELECTRICAL AND TELECOM ROOM BEFORE PAINTING.



CSA Central, Inc.
CSA Group | 8200 N.W. 41st Street | Suite 305
Doral, Florida 33166
tel : (305) 461-5484
fax : (305) 461-5494
web : www.csagroup.com

THIS DOCUMENT REPRESENTS THE IDEAS AND EFFORTS OF CSA CENTRAL, INC. IT SHALL BE USED ONLY BY AUTHORIZED PERSONS AND SHALL NOT BE REPRODUCED OR EXHIBITED WITHOUT WRITTEN CONSENT OF CSA CENTRAL, INC.

CLIENT:

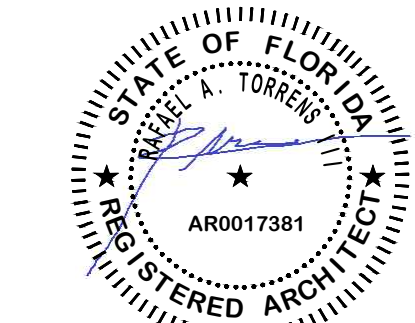


REV. NO.	DATE	DESCRIPTION
5	10-22-2020	BUILDING DEPARTMENT COMMENTS

NOTES:

DISCIPLINE INFORMATION:	
PROFESSIONAL OF RECORD: RAFAEL A. TORRENS	SEAL DESIGNER: JAVIER PUERTO
C.E. AUDITOR: RAFAEL A. TORRENS	PRINCIPAL CAD TECHNICIAN: JAVIER PUERTO
PROJECT MANAGER: FELIX PEREZ	

PROFESSIONAL SEAL:



PROJECT:

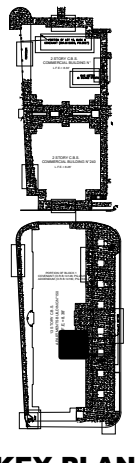
VCA IMPROVEMENTS

PALM CENTRE

150 EAST 1ST AVENUE
HALEAH, FL 33010

DATE	ISSUE DESCRIPTION
07/22/19	ISSUED FOR PERMIT

DRAWING INFORMATION:

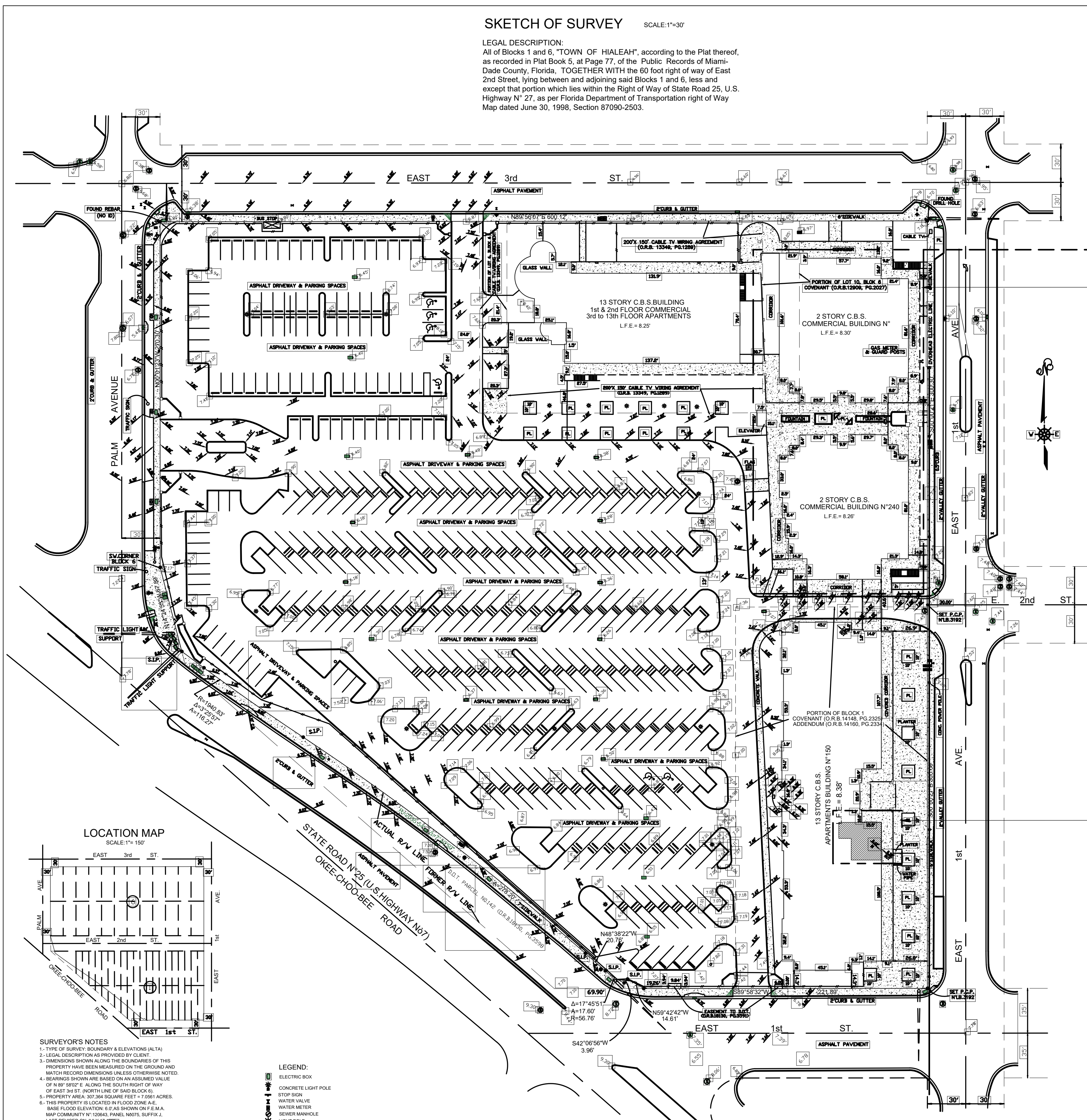


ARCHITECTURAL NOTES

DELIVERY DATE: 04/10/2019	PROJECT NUMBER: 18-0221-06
PRINT DATE & TIME: 04/10/2019	CAD FILE NAME: A001

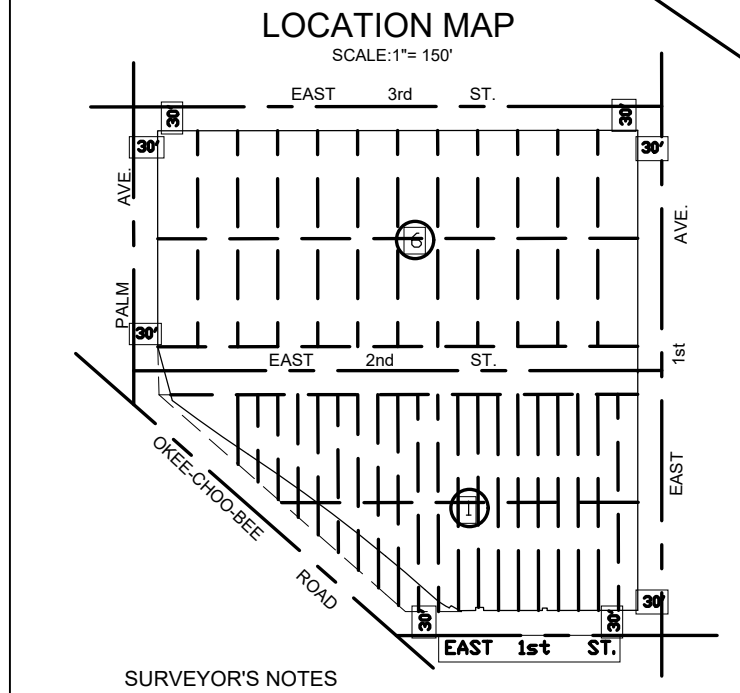
DRAWING LOCATION:
A:\Projects\mia_projects\0418-0221\C106\Technical\08Architecture\DWG

SHEET NO. **A001**



SKETCH OF SURVEY SCALE: 1"=30'

LEGAL DESCRIPTION:
 All of Blocks 1 and 6, "TOWN OF HIALEAH", according to the Plat thereof, as recorded in Plat Book 5, at Page 77, of the Public Records of Miami-Dade County, Florida, TOGETHER WITH the 60 foot right of way of East 2nd Street, lying between and adjoining said Blocks 1 and 6, less and except that portion which lies within the Right of Way of State Road 25, U.S. Highway N° 27, as per Florida Department of Transportation right of Way Map dated June 30, 1998, Section 87090-2503.



SURVEYOR'S NOTES

1. TYPE OF SURVEY, BOUNDARY & ELEVATIONS (ALTA)
2. LEGAL DESCRIPTION AS PROVIDED BY CLIENT
3. DIMENSIONS SHOWN ALONG THE BOUNDARIES OF THIS PROPERTY HAVE BEEN MEASURED ON THE GROUND AND MATCH RECORDS DIMENSIONS UNLESS OTHERWISE NOTED.
4. BEARINGS SHOWN ARE BASED ON ASSUMED VALUE OF 9° 59' 58.02" E ALONG THE SOUTH RIGHT OF WAY OF EAST 1ST STREET (NORTH LINE OF SAID BLOCK 6).
5. PROPERTY AREA: 307,364 SQUARE FEET ± 7,0581 ACRES.
6. THIS PROPERTY IS LOCATED IN FLOOD ZONE A-E. BASE FLOOD ELEVATION 8.0' AS SHOWN ON F.E.M.A. MAP COMMUNITY N° 22064L. PANEL NO.075. SUFFIX A. LAST REVISED ON JULY 17, 1993.
7. ELEVATIONS SHOWN THROUGHOUT ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1988, AS DERIVED FROM CITY OF HIALEAH BENCHMARK R/W 106 WITH ELEVATION 8.92' LOCATED AT THE CORNER OF W 4th ST & 12th AVE. PARKING SPACES PROVIDED
8. AIA STANDARDS - 8 HANDCAPPS
9. ACTUAL USE OF PROPERTY: COMMERCIAL & RESIDENTIAL
10. THIS SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH TITLE COMMITMENT N° C-281186 AND FURNISHED TO THE UNDERSIGNED TO SHOW ANY MATTER OF RECORD AFFECTING THE SUBJECT PROPERTY AS FOLLOWS:
11. RESULTS AFFECTING THE SUBJECT PROPERTY, AFFECTS THE NOT PLATABLE

- LEGEND:**
- ⊠ ELECTRIC BOX
 - ⊠ CONCRETE LIGHT POLE
 - ⊠ STOP SIGN
 - ⊠ WATER VALVE
 - ⊠ WATER METER
 - ⊠ SEWER MANHOLE
 - ⊠ LIGHT POLE
 - ⊠ CONCRETE POWER & LIGHT POLE
 - ⊠ FIRE HYDRANT
 - ⊠ HIGH IRON FENCE
 - ⊠ C.B.S. CONCRETE BLOCK STRUCTURE
 - L.F.E. = LOWER FLOOR ELEVATION
 - P.C.P. = MAIL & SURVEYOR'S DISC STAMPED
 - S.I.P. = SET CEMENT PIPES WITH SURVEYOR'S CAP N° 18.3192
 - F.I.P. = FOUND 12" IRON PIPE
 - (NO ID) = NO IDENTIFICATION
 - EM = ELECTRIC METER

DATE OF FIELD WORK	ORDER N°	DRAWN BY	FIELD BOOK	CAD FILE	ONLY REVISED TO ADD MORE ELEVATIONS AND MISSING CATCH BASINS, PARKING AREA AT NW CORNER HAS BEEN CHANGED, (NO UPDATE WAS REQUESTED)
AUGUST 18, 2008	080179	J.L.	080179	080179	
OCTOBER 23, 2006	061056	J.L.	061056	061056	REVISED, UPDATED & RECERTIFY (ALL T.A.)
MARCH 9, 2009	09033	J.L.	09033	09033	REVISE TO SHOW ACTUAL NEW LINE OF OKEECHOBEE ROAD
MAY 19, 1999	99028	J.L.	99028	99028	ADD REMAINING PORTIONS OF BLOCK 1 & 6 AND UPDATE REST OF SURVEY
JULY 13, 1996	96060	J.L.	96060	96060	AS BUILT SURVEY & ELEVATIONS OF PHASES I, II & III

J. F. LOPEZ & ASSOCIATES, INC.
 CONSULTING LAND SURVEYORS AND PLANNERS
 CERTIFICATE N° LB.3192, STATE OF FLORIDA
 7800 NW 15th ST., SUITE 104, MIAMI LAKES, FL 33015
 Ph: (305) 828-2725 Fax: (305) 828-5889

I HEREBY CERTIFY: THAT A SURVEY OF THE PROPERTY AS DESCRIBED IN THE FOREGOING CAPTION HAS BEEN MADE UNDER MY DIRECTION, AND MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS IN CHAPTER 84-0114, OF FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT.

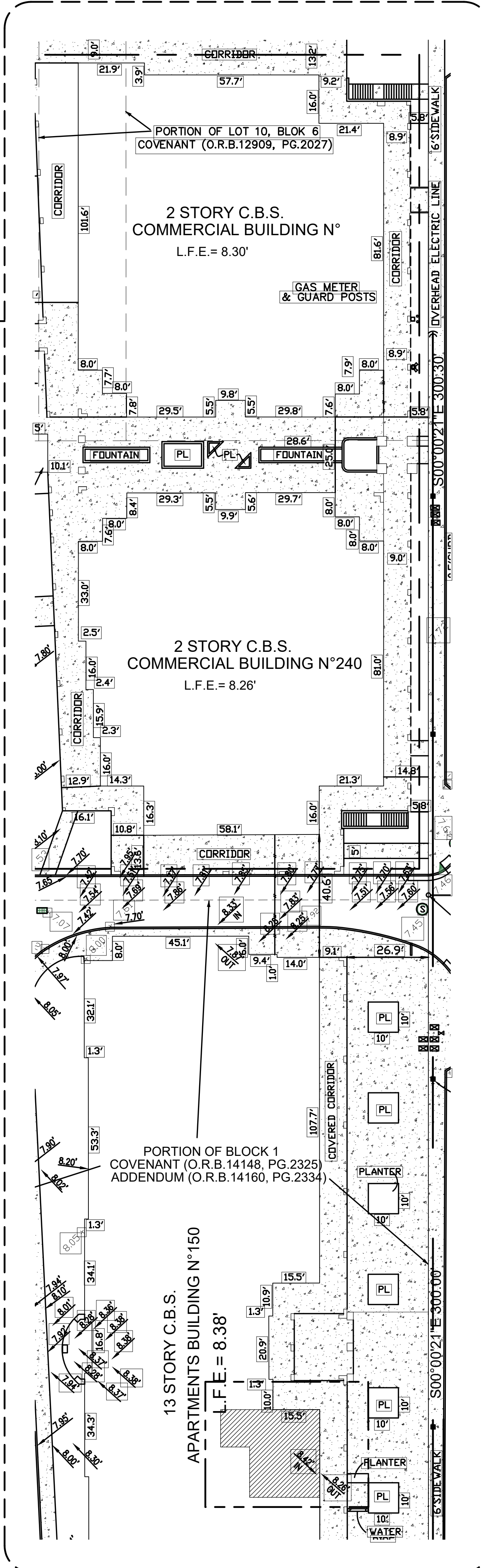
NOTE: THIS IS NOT A VALID SURVEY WITHOUT THE UNDERSIGNED SURVEYOR'S SIGNATURE AND EMBOSSED RAISED SEAL.

BY: **JOSE F. LOPEZ, P.S.M.**
 Professional Surveyor & Mapper
 N°3096, State of Florida.

ROOF REPLACEMENT.
 SEE SHEETS A101.2 AND A102.2

LAUNDRY RM ADA ALTERATIONS AND IMPROVEMENTS.
 (SEE SHEETS A101.1 AND A102.1)

EXISTING BUILDING SITE PLAN
 SCALE: 1"=15'



CSAGROUP
 EST. 1996
 CSA Central, Inc.
 CSA Group | 8200 N.W. 41st Street | Suite 305
 Doral, Florida 33166
 Tel: (305) 461-5484
 Fax: (305) 461-5494
 Web: www.csagroup.com

THIS DOCUMENT REPRESENTS THE IDEAS AND EFFORTS OF CSA CENTRAL, INC. IT SHALL BE USED ONLY BY AUTHORIZED PERSONS AND SHALL NOT BE REPRODUCED OR EXHIBITED WITHOUT WRITTEN CONSENT OF CSA CENTRAL, INC.

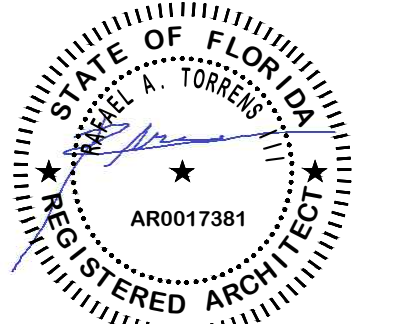
CLIENT:
HHA
 Hialeah Housing Authority
 IN ASSOCIATION WITH:

REV. NO. DATE DESCRIPTION

1	01/29/2020	BUILDING DEPARTMENT COMMENTS
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DISCIPLINE INFORMATION:

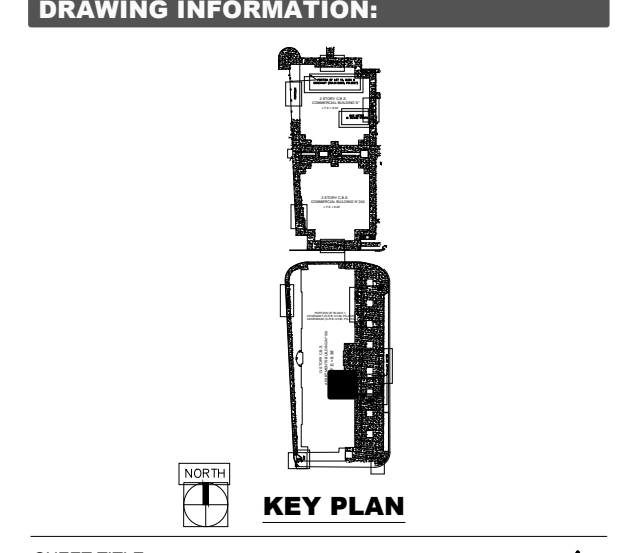
PROFESSIONAL OF RECORD:	START DESIGNER:
RAFAEL A. TORRES	JAVIER PUERTO
C.E. AUDITOR:	PRINCIPAL CAD TECHNICIAN:
RAFAEL A. TORRES	JAVIER PUERTO
PROJECT MANAGER:	FIELD ENGINEER:
YELI RENTERIA	



PROJECT:
 VCA IMPROVEMENTS
 PALM CENTRE
 150 EAST 1ST AVENUE
 HIALEAH, FL 33010

DATE ISSUE DESCRIPTION

07/12/2019	ISSUED FOR PERMIT
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SHEET TITLE:
 SURVEY & KEY PLAN

DELIVERY DATE: 04/10/2019
PRINT DATE & TIME: 04/10/2019
DRAWING LOCATION: A:\Projects\mgs_projects\0418-0221\C016\06\Technical\08Architecture\DWG

PROJECT NUMBER: 18-0221-06
CAD FILE NAME: A100

SHEET NO. A100
 2 of 06



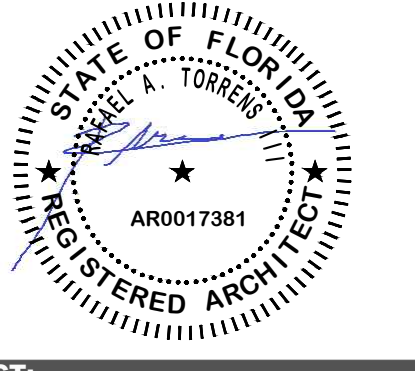
REV. NO.	DATE	DESCRIPTION
12-16-2019		BUILDING DEPARTMENT COMMENTS
01-29-2020		BUILDING DEPARTMENT COMMENTS
01-29-2020		CHANGES BY CLIENT
08-19-2020		BUILDING DEPARTMENT COMMENTS

NOTES:

DISCIPLINE INFORMATION:

PROFESSIONAL OF RECORD: RAFAEL A. TORRENS	STAFF DESIGNER: JAVIER PUERTO
Q.C. AUDITOR: RAFAEL A. TORRENS	PRINCIPAL CAD TECHNICIAN: JAVIER PUERTO
PROJECT MANAGER: FELIX RENTES	

PROFESSIONAL SEAL:



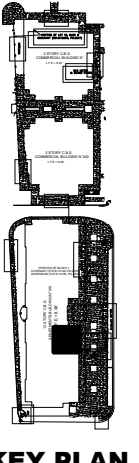
PROJECT:

VCA IMPROVEMENTS
PALM CENTRE
150 EAST 1ST AVENUE
HIALEAH, FL 33010

DATE ISSUE DESCRIPTION

07/22/2019	ISSUED FOR PERMIT

DRAWING INFORMATION:



KEY PLAN

SHEET TITLE:

DEMOLITION PLAN

DELIVERY DATE: 04/10/2019	PROJECT NUMBER: 18-0221-06
PRINT DATE & TIME: 04/10/2019	CAD FILE NAME: A101.1

DRAWING LOCATION:
A:\Projects\ma_projects\0418-0221\C016\06\Technical\08\Architecture\DWG

SHEET NO. **A101.1**

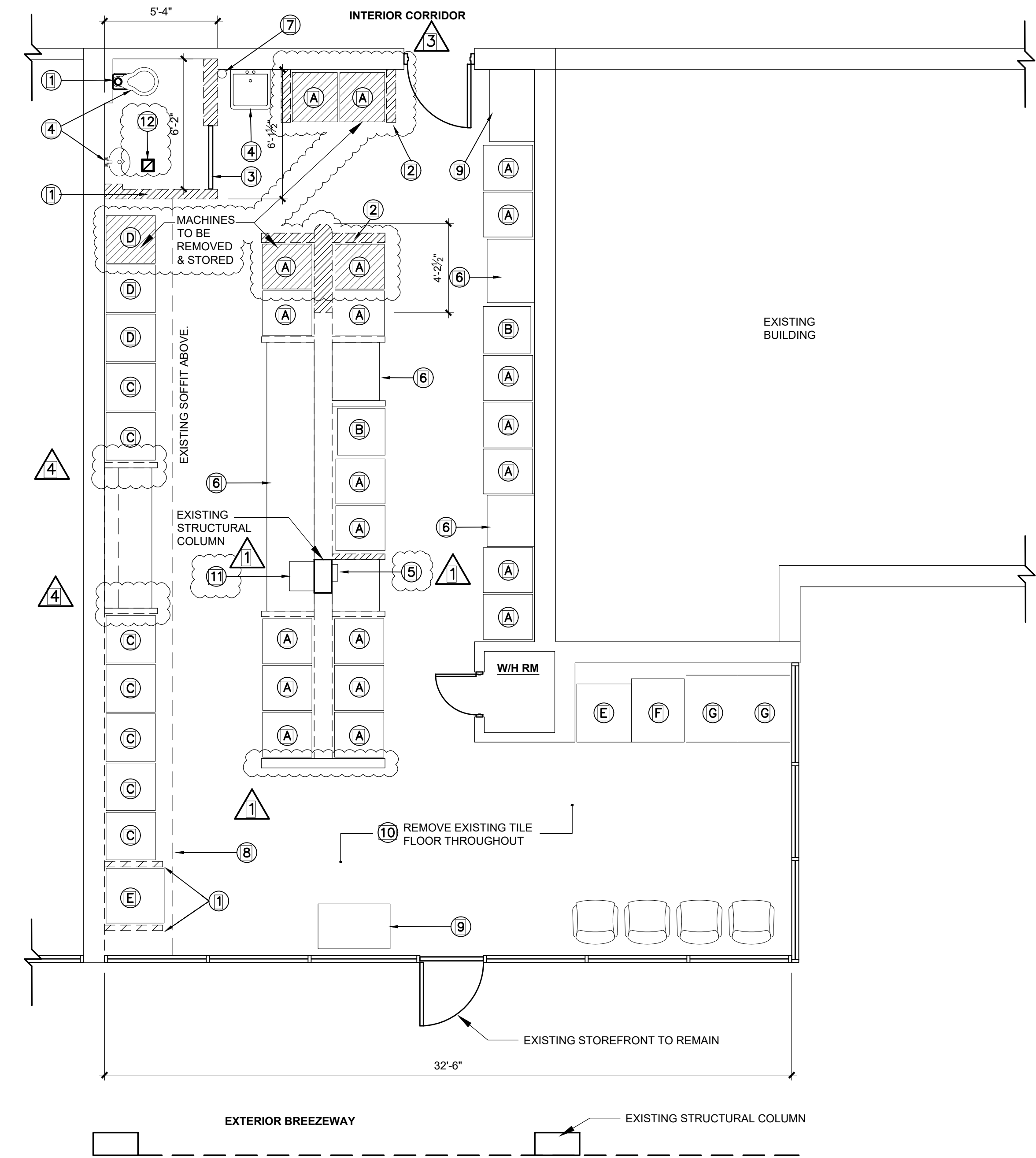
3 of 06

DEMOLITION KEY NOTES

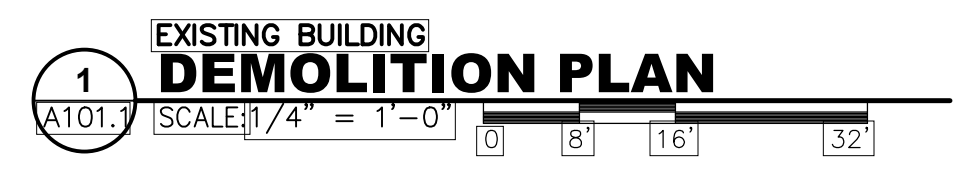
- DEMOLISH EXISTING WALLS (GYPSUM OVER MTL FRAMING).
- DEMOLISH EXISTING COUNTERTOP, AND/OR LOW WALL.
- REMOVE EXISTING POCKET DOOR.
- REMOVE EXISTING PLUMBING FIXTURES.
- EXISTING COINCHANGER TO REMAIN.
- EXISTING FOLDING TABLE TO BE REMOVED (INCLUDING HANGER ROD).
- EXISTING FIRE EXTINGUISHER TO BE RELOCATED.
- REPAIR PORTIONS OF EXISTING MECHANICAL SOFFIT TO ACCOMMODATE NEW LAUNDRY EQUIPMENT LAYOUT. SEE SHEET A102.1.
- EXISTING GARBAGE CABINET - REFINISH.
- REMOVE EXISTING TILE FLOOR.
- EXISTING DETERGENT DISPENSER TO REMAIN.
- REMOVE EXISTING BATHROOM FAN, GRILLE AND EXISTING ASSOCIATED DUCTWORK.

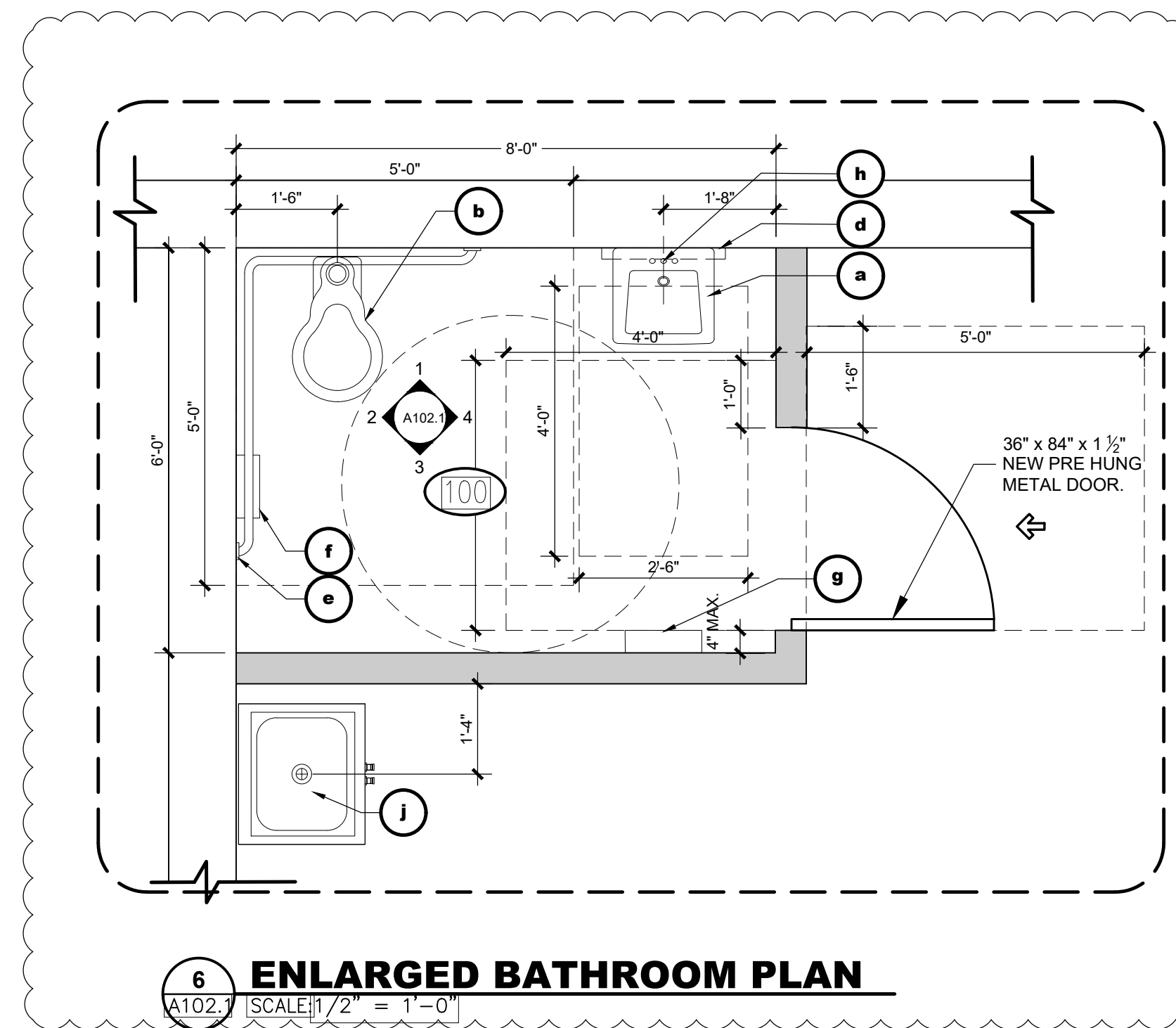
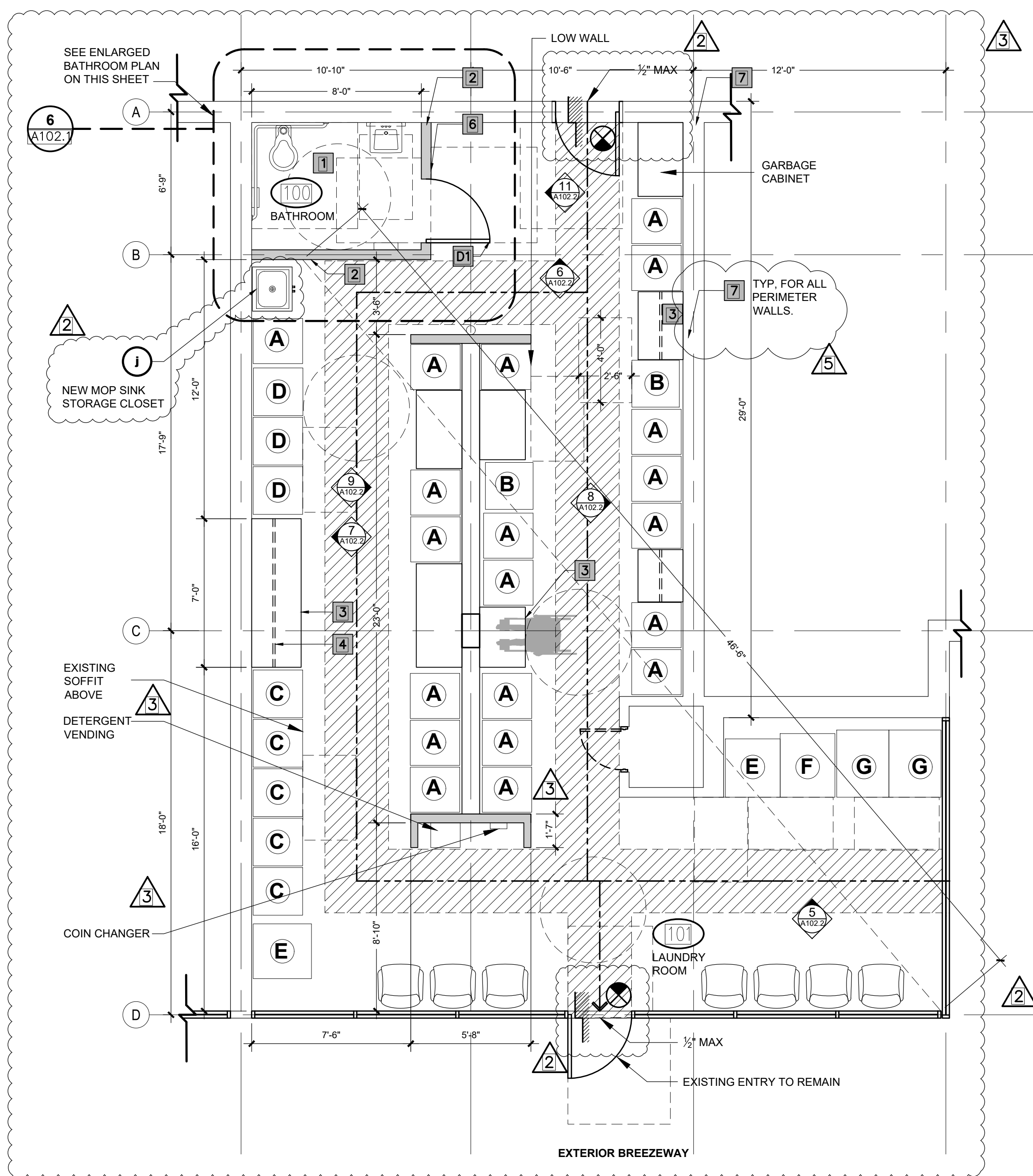
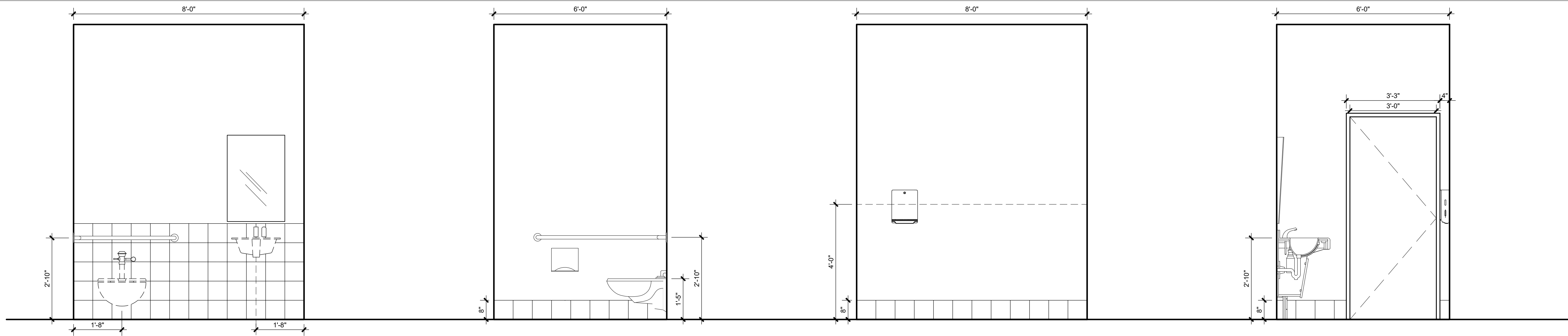
EXISTING EQUIPMENT SCHEDULE

A	WASHER SPEED QUEEN (21 UNITS).
B	WASHER MAYTAG (2 UNITS).
C	DRYER SPEED QUEEN (7 UNITS).
D	DRYER SPEED QUEEN (3 UNITS).
E	DRYER MAYTAG (2 UNITS).
F	WASHER DEXTER (1 UNIT).
G	WASHER CONTINENTAL (2 UNITS).

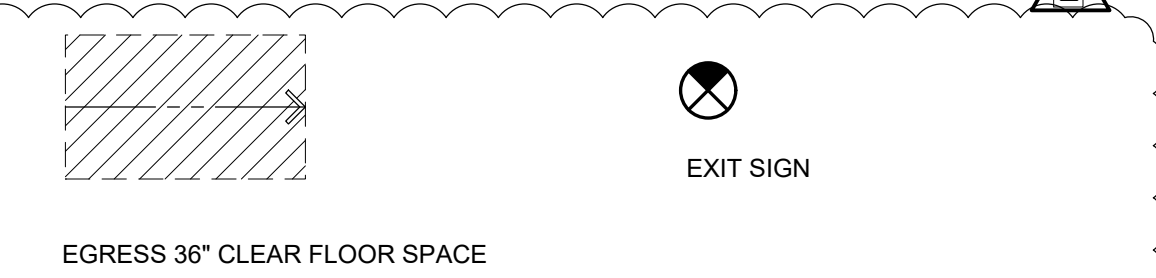
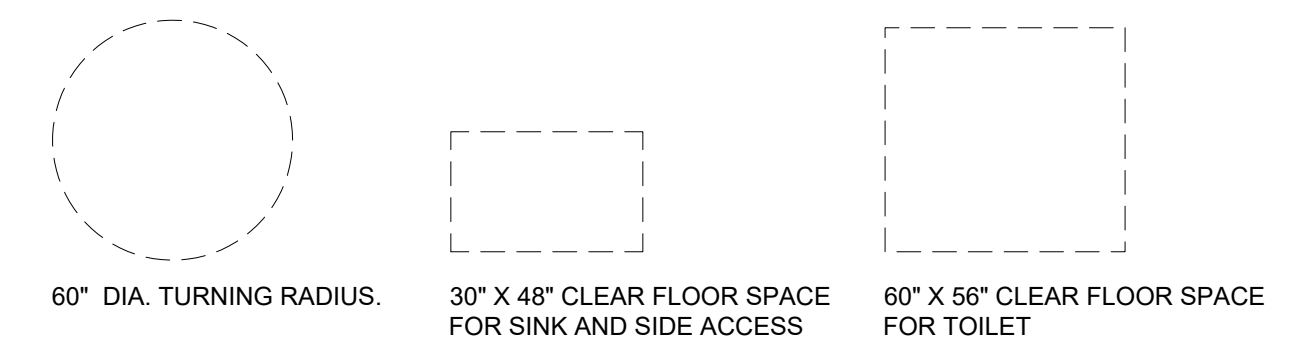


LEGEND





SYMBOL LEGEND:



OCCUPANT LOAD CALCULATOR

AREA	1000 SF
CLASSIFICATION	M-MERCANTILE
FIXTURE REQUIREMENT	
1 TOILET PER 500 P.P.	
1 LAVATORY PER 750 P.P.	
1 DRINKING FOUNTAIN PER 1000 P.P.	
1 SERVICE SINK	
MERCANTILE OCCUPANT LOAD	
1000 SF / 60 SF GROSS = 17 P.P.	
MERCANTILE EXCEPTIONS	
SEPARATE FACILITIES NOT REQUIRED WHERE 100 P.P. OR LESS	
MERCANTILE EXCEPTIONS	
1 TOILET	
1 LAVATORY	
1 SINK (SERVICE SINK)	
WATER FOUNTAIN AVAILABLE WITHIN 500 FT RADIUS	

FINISH SCHEDULE

NO.	ROOM	FLOOR	BASE	WALL		CEILING		HEIGHT
				MAT'L	FINISH	MAT'L	FINISH	
100	BATHROOM	VCT	RCB	DW	SGP	DW	SGP	10'-3"
101	LAUNDRY ROOM	VCT	RCB	DW	SGP	DW	SGP	10'-3"

DOOR SCHEDULE

NO.	WIDTH	HEIGHT	TYPE	FRAME
D1	3'-0"	6'-8"	METAL	METAL FRAME

PLUMBING EQUIPMENT SCHEDULE

No.	TYPE	BRAND	MODEL	COMMENTS
a	SINK	AMERICAN STANDARD	MURRO UNIVERSAL DESIGN 0954.004EC & 0059.020EC	ADA WITH SHROUD
b	TOILET	AMERICAN STANDARD	CADET 3 COMPACT RIGHT HEIGHT 270FA.101	ADA COMPLIANT
d	MIRROR	BOBRICK	B-293 1836	ADA COMPLIANT
e	GRAB BAR	BOBRICK	B-5897	ADA COMPLIANT
f	TOILET PAPER	BOBRICK	B-2888	ADA COMPLIANT
g	PAPER TOWEL	BOBRICK	B-262	ADA COMPLIANT
h	FAUCET	AMERICAN STANDARD	MONTERREY 0.35 GPM 7500.174	ADA COMPLIANT
j	MOP SINK STORAGE CABINET	EAGLE GROUP	F1916-VSCS	

- NOTES**
- NEW ADA COMPLIANT BATHROOM, SEE 2/A102.1
 - NEW WALL, SEE WALL TYPES.
 - NEW ADA COMPLIANT FOLDING TABLE, SEE INT. ELEVATIONS AND DETAILS.
 - NEW HANGING ROD, SEE INT. ELEVATIONS AND DETAILS.
 - RELOCATED LAUNDRY SINK
 - ADA COMPLIANT SIGNAGE
 - EXISTING FIRE RATED WALLS
- APPLIANCES NOTE: ALL APPLIANCES ARE EXISTING TO BE RELOCATED, REFER TO SCHEDULE ON SHEET A101.1

REV. NO. DATE DESCRIPTION

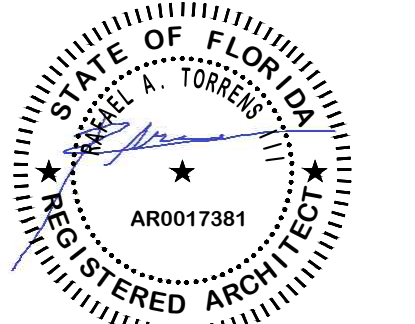
1	12-16-2019	BUILDING DEPARTMENT COMMENTS
2	01-29-2020	BUILDING DEPARTMENT COMMENTS
3	01-29-2020	CHANGE BY CLIENT
5	10-22-2020	BUILDING DEPARTMENT COMMENTS

NOTES:

DISCIPLINE INFORMATION:

PROFESSIONAL OF RECORD:	STAFF DESIGNER:
RAFAEL A. TORRES	JAVIER PUERTO
Q.C. AUDITOR:	PRINCIPAL CAD TECHNICIAN:
RAFAEL A. TORRES	JAVIER PUERTO
PROJECT MANAGER:	
FELIX PEREZ	

PROFESSIONAL SEAL:



PROJECT:

VCA IMPROVEMENTS

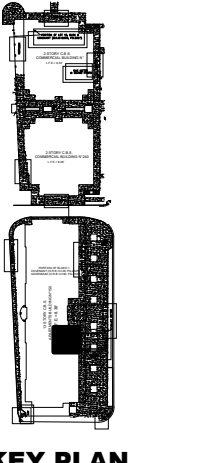
PALM CENTRE

150 EAST 1ST AVENUE
HIALEAH, FL 33010

DATE ISSUE DESCRIPTION

07/22/2019 ISSUED FOR PERMIT

DRAWING INFORMATION:



SHEET TITLE:

PROPOSED LAUNDRY AND BATHROOM

DELIVERY DATE: 04/10/2019 PROJECT NUMBER: 18-0221-06

PRINT DATE & TIME: 04/10/2019 CAD FILE NAME: A102.1

DRAWING LOCATION: A:\Projects\18a_projects\0418-0221\C016\06\Technical\08Architecture\DWG SHEET NO. **A102.1**