

Submittal Graphic Symbols Definitions	
NEW / REVISED	
RE-ISSUED WITHOUT REVISION	
PREVIOUSLY SUBMITTED	
PERMIT SET - 01.08.21 REV-1 (BLDG) - 03.11.21 REV-1 (BLDG) - 04.09.21	
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ABBREVIATIONS			
Ⓜ	ANCHOR BOLT	INSUL.	INSULATION
Ⓜ	ACOUSICAL	INT.	INTERIOR
AL	ALUMINUM	J.C.	JANITOR'S CLOSET
ARCH.	ARCHITECTURAL	JT.	JOINT
A-T.	ARCHITECTURAL TILE	LAV.	LAVATORY
BD.	BOARD	L.C.C.	LEAD COATED COPPER
BLDG.	BUILDING	LN.	LINEAR
BM	BY OWNER	L.P.	LOW POINT
B.O.	BY OWNER	L.P. (LP)	LOW POINT
BRNG./BRG.	BEARING	MACH.	MACHINE
BRK.	BRICK	MAX.	MAXIMUM
BSMT.	BASEMENT	M.B.	MARKER BOARD
B.U.	BUILT-UP	M&E	MECHANICAL & ELECTRICAL
		MECH.	MECHANICAL
C.B.	CHALKBOARD	MET./METL/MET'L	METAL
CEIL./CLG.	CEILING	MIN.	MINIMUM
C.H.	CENTRUM HEIGHT	MISC.	MISCELLANEOUS
C.J.	CONTROL JOINT	MFG.	MANUFACTURER
CL	CENTERLINE	M.T.	METAL THRESHOLD
CLO.	CLOSET	M.T.S.	MARBLE THRESHOLD
CMU	CONCRETE MASONRY UNIT	MULL.	MULLION
		M.O.	MASONRY OPENING
C.O.	CASED OPENING	M.W.P.	MEMBRANE WATERPROOFING
COL.	COLUMN	N	NORTH
CONC.	CONCRETE	N.I.C.	NOT IN CONTRACT
CONF.	CONFERENCE	N.T.S.	NOT TO SCALE
CONST.	CONSTRUCTION	NO.	NUMBER
CONT.	CONTINUOUS	NOM.	NOMINAL
CORR.	CORROSION		
CSK.	COUNTERSUNK		
C.T.	CERAMIC TILE	O.C.	ON CENTER
		O.D.	OUTSIDE DIAMETER
DET.	DETAIL	OPP.	OPPOSITE
D.F.	DRINKING FOUNTAIN		
DIA.	DIAMETER	PL	PLATE
DIM.	DIMENSION	PSP	POUNDS PER SQUARE FOOT
DN	DOWN	PSI	POUNDS PER SQUARE INCH
DO	DOOR	PTD.	PAINTED
D.P.	DAMP PROOFING		
D.S.	DOWN SPOUT	Q.T.	QUARRY TILE
A2.2	MEZZANINE LEVEL - PROPOSED FLOOR PLAN	R.RAD.	RADIUS/RISER
A3.1	GROUND LEVEL - PROPOSED REFLECTED CEILING PLAN	RAIL.	RAILING
A3.2	MEZZANINE LEVEL - PROPOSED REFLECTED CEILING PLAN	R.D.	ROOF DRAIN
A4.0	PROPOSED ROOF PLAN	REINFORCING BARS	REINFORCING BARS
A5.0	PROPOSED EXTERIOR ELEVATIONS	REINFORCMENT	REINFORCMENT
A6.0	PROPOSED BUILDING SECTIONS	R/L	ROOM
A6.1	PROPOSED BUILDING SECTIONS	R.S.	REDUCING STRIP
A6.2	ROOF LADDER DETAILS	R/W	RIGHT OF WAY
A7.0	WALL TYPES AND DOOR SCHEDULE	S.C.	SOLID CORE
A7.1	FLOORING SYSTEM	SEC.	SECRETARY
A7.2	FLOORING SYSTEM	SH	SHEET
A8.0	DETAILS	S.F.	SMOOTH FINISH
A8.1	UL CERTIFICATION	S.F.	SPECIFICATIONS
A8.2	UL CERTIFICATION	S.S.	STAINLESS STEEL
A8.3	FIRE STOPPING DETAILS	STL	STEEL
A8.4	FIRE STOPPING DETAILS	STOR.	STORAGE
A8.5	FIRE STOPPING DETAILS	STRUCT.	STRUCTURE
A8.6	FIRE STOPPING DETAILS	T.B.	TOWEL BAR
		TEL.	TELEPHONE
		TEMP.	TEMPERED
		THK.	THICK
		T.D.	PAPER TOWEL DISPENSER
		T.P.	TOILET PAPER HOLDER
		TYP.	TYPICAL
		U.C.	UNDER CUT
		V.B.	VAPOR BARRIER
		V.C.T.	VERTICAL COMPOSITION TILE
		VERT.	VERTICAL
		V.P.	VISION PANEL
		V.I.F.	VERIFY IN FIELD
		W	WITH
		W.D.	WOOD
		W.P.	WATERPROOFING
		W.W.F.	WELDED WIRE FABRIC

SYMBOL LEGEND:	
	KEY NOTE
	WINDOW NUMBER. REFER TO WINDOW SCHEDULE
	DOOR NUMBER. REFER TO DOOR SCHEDULE
	ELEVATION NUMBER
	ELEVATION SYMBOL
	SHEET NUMBER
	DETAIL NUMBER
	DETAIL SYMBOL
	SECTION NUMBER
	WALL SECTION SYMBOL
	SHEET NUMBER
	TOP OF TIE BEAM
	MEASURED FROM FINISHED FLOOR
	ON CENTER
	MINIMUM
	MAXIMUM
	PRESSURE TREATED
	MASONRY OR CONCRETE OPENING
	VERIFY IN FIELD
	EXISTING DOOR TO REMAIN
	EQUAL DIMENSION. DIMENSIONS WITH 'EQ.' WITHIN THE SAME DIMENSION STRING SHALL BE THE SAME. DIFFERENT DIMENSION STRINGS HAVE DIFFERENT 'EQ.' DIMENSIONS. ALL DIMENSIONS ARE TO FACE OF STUDS OR FACE OF CONCRETE BLOCK WALL UNLESS SHOWN ON CENTER LINE.
	STEP SYMBOL

PROJECT GENERAL DATA & CODE SUMMARY

NAME OF THE PROJECT:	HIALEAH HOUSING AUTHORITY 815
LOCATION:	815 WEST 75TH ST, HIALEAH FLORIDA 33014
PROPOSED USE:	MULTI FAMILY
PROJECT SUMMARY:	SCOPE OF WORK LIMITED THE ADDITION OF THE STORAGE BUILDING
DESCRIPTION OF BUILDING:	MULTI FAMILY - 3 STORY
CODE ENFORCEMENT JURISDICTION:	FLORIDA FIRE PREVENTION CODE (FFPC) 7TH EDITION (2020) FLORIDA BUILDING CODE (FBC) 7TH EDITION (2020) FLORIDA BUILDING CODE EXISTING BUILDING 7TH EDITION (2020) FLORIDA BUILDING CODE ACCESSIBILITY 7TH EDITION (2020) NFPA 1, 2018 EDITION, "FIRE CODE" NFPA 101, 2018 EDITION, "LIFE SAFETY CODE" NFPA 10, 2018 EDITION, "STANDARD FOR PORTABLE FIRE EXTINGUISHERS" NFPA 13, 2018 EDITION, "STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS" NFPA 70, 2020 EDITION, "NATIONAL ELECTRICAL CODE" NFPA 72, 2018 EDITION, "NATIONAL FIRE ALARM CODE" CITY OF HIALEAH ZONING CODE
BUILDING FIRE PROTECTION:	NO FIRE ALARM SYSTEM/NO FIRE SPRINKLER SYSTEM
ZONING:	R-3-1

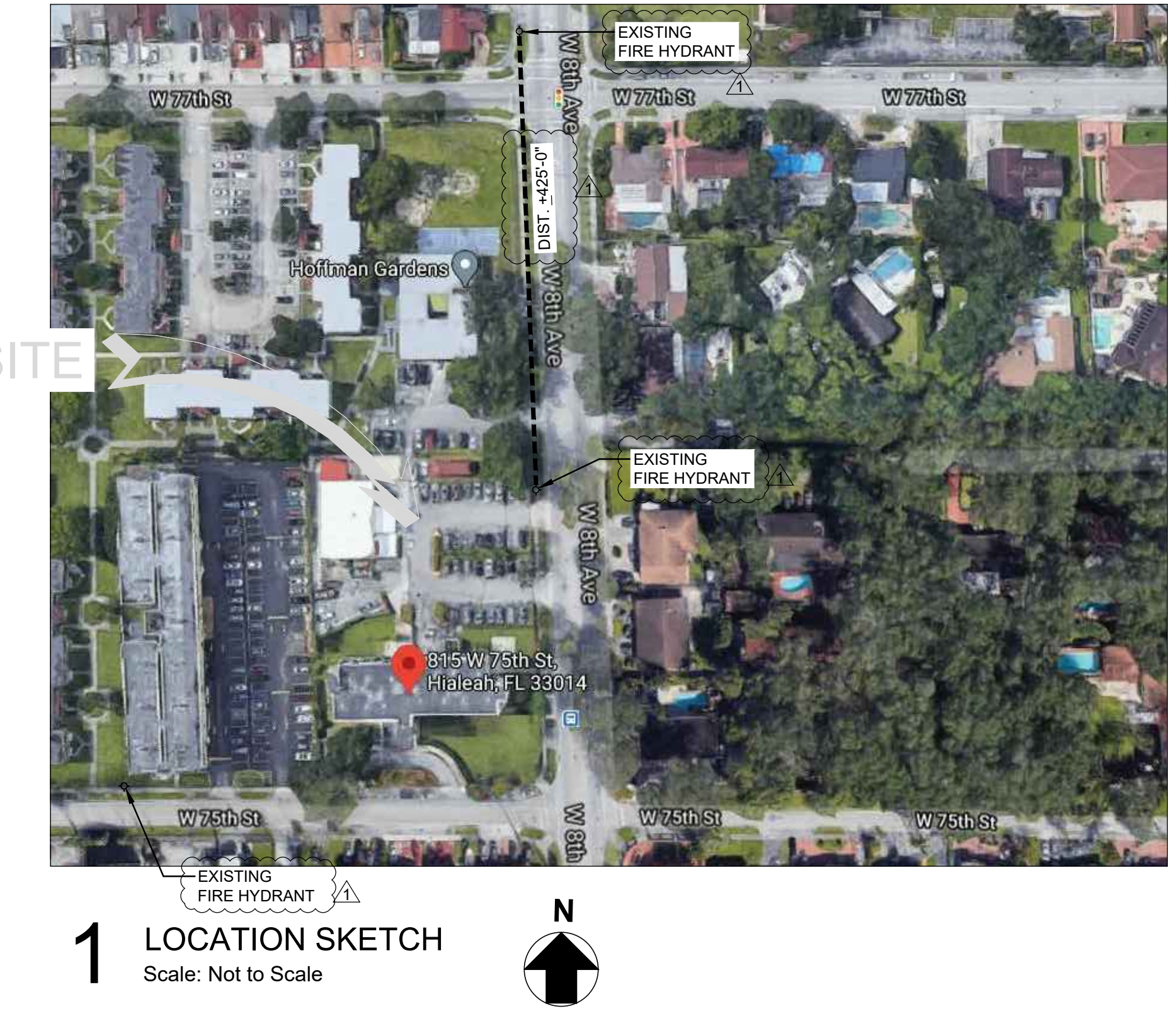
ZONING DATA	
LEGAL DESCRIPTION:	LOT 2, BLOCK 1, OF "LOS MANGOS", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 98, AT PAGE 60, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
FOLIO NUMBER:	04-2055-029-0020

GROSS STORAGE BUILDING AREAS		
EXISTING GROUND LEVEL OFFICE		1,180 S.F.
EXISTING GROUND LEVEL STORAGE		2,621 S.F.
EXISTING GROUND LEVEL METAL CANOPY		574 S.F.
TOTAL EXISTING GROUND FLOOR AREAS		4,375 S.F.
EXISTING MEZZANINE STORAGE		1,748 S.F.
TOTAL EXISTING BUILDING AREA		6,123 S.F.
STORAGE ADDITION		1,697 S.F.
TOTAL BUILDING AREA		7,820 S.F.

COMPLIANCE METHOD & CLASSIFICATION OF WORK	
WORK AREA COMPLIANCE METHOD - ALTERATIONS & ADDITIONS	
FLORIDA BUILDING CODE SIXTH EDITION (2017) EXISTING BUILDING, CHAPTER 3, SECTION 301.1.2	

LEVEL OF ALTERATION	
ALTERATION-LEVEL 2	
FLORIDA BUILDING CODE SEVENTH EDITION (2020) EXISTING BUILDING, SECTION 803.2 ALTERATIONS—LEVEL 2	
FLORIDA BUILDING CODE SEVENTH EDITION (2020) EXISTING BUILDING, SECTION 806.2 ADDITIONS	

CLASS OF REHABILITATION AS PER NFPA 101 CHAPTER 43	
MODIFICATION AS PER SECTION 43.5	



NOTES:														
FLORIDA BUILDING CODE 2020 - BUILDING, SEVENTH EDITION/ FLORIDA FIRE PREVENTION CODE 2020, SEVENTH EDITION														
OCCUPANCY CLASSIFICATION BUSINESS (OFFICE) - GROUP B (FBC-SEC. 304.1) LOW-HAZARD STORAGE - GROUP S-2 (FBC-SEC. 311.3)	FIRE RESISTANT RATING (FBC TABLE 601) NOTE: BUILDING IS NON SPRINKLERED -EXTERIOR BEARING WALLS = 0 HR. -STRUCTURAL FRAME INCLUDING COLUMNS, GIRDERS AND TRUSSES = 0 HR. -INTERIOR BEARING WALLS = 0 HR. -FLOOR SLAB = 0 HR. -ROOF AND ROOF ASSEMBLY = 0 HR. -NON BEARING WALL INT = 0 HR.													
TYPE OF CONSTRUCTION = TYPE VB, PROTECTED, NON COMBUSTIBLE (FBC TABLE 504.3a, 504.4a,b & 506.2a,b) -BUILDING IS NON SPRINKLERED -BUILDING IS MIXED USE W/ SEPARATED OCCUPANCIES	FIRE RESISTANT RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE (FBC TABLE 602) NOTE: BUILDING IS NON SPRINKLERED	<table border="1"> <thead> <tr> <th>FIRE SEPARATION DISTANCE (FEET)</th> <th>TYPE OF CONSTRUCTION</th> <th>OCCUPANCY GROUP B & S-2</th> </tr> </thead> <tbody> <tr> <td>X < 5b</td> <td>ALL</td> <td>1 HR.</td> </tr> <tr> <td>5 ≤ X < 10</td> <td>OTHERS</td> <td>1 HR.</td> </tr> <tr> <td>10 ≤ X < 30</td> <td>IIB, VB</td> <td>0 HR.</td> </tr> </tbody> </table>	FIRE SEPARATION DISTANCE (FEET)	TYPE OF CONSTRUCTION	OCCUPANCY GROUP B & S-2	X < 5b	ALL	1 HR.	5 ≤ X < 10	OTHERS	1 HR.	10 ≤ X < 30	IIB, VB	0 HR.
FIRE SEPARATION DISTANCE (FEET)	TYPE OF CONSTRUCTION	OCCUPANCY GROUP B & S-2												
X < 5b	ALL	1 HR.												
5 ≤ X < 10	OTHERS	1 HR.												
10 ≤ X < 30	IIB, VB	0 HR.												
FIRE SEPARATION OF OCCUPANCIES MIXED USE AND OCCUPANCY FBC SEC. 508.2 ACCESSORY OCCUPANCIES. ACCESSORY OCCUPANCIES ARE THOSE OCCUPANCIES THAT ARE ANCILLARY TO THE MAIN OCCUPANCY OF THE BUILDING OR PORTION THEREOF. ACCESSORY OCCUPANCIES SHALL COMPLY WITH THE PROVISIONS OF SECTIONS 508.2.1 THROUGH 508.2.4 FBC SEC. 508.2.4 SEPARATION OF OCCUPANCIES. NO SEPARATION IS REQUIRED BETWEEN ACCESSORY OCCUPANCIES AND THE MAIN OCCUPANCY. FFPC-101 SEC 6.1.14 MULTIPLE OCCUPANCIES SEC. 6.1.14.1.3 WHERE INCIDENTAL TO ANOTHER OCCUPANCY, AREAS USED AS FOLLOWS SHALL BE PERMITTED TO BE CONSIDERED PART OF THE PREDOMINANT OCCUPANCY AND SHALL BE SUBJECT TO THE PROVISIONS OF THE CODE THAT APPLY TO THE PREDOMINANT OCCUPANCY. (1) MERCANTILE, BUSINESS, INDUSTRIAL OR STORAGE USE	MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROJECTION (FBC TABLE 705.8) NOTE: BUILDING IS NON SPRINKLERED	<table border="1"> <thead> <tr> <th>FIRE SEPARATION DISTANCE (FEET)</th> <th>DEGREE OF OPENING PROTECTION</th> <th>ALLOWABLE AREA a</th> </tr> </thead> <tbody> <tr> <td>X < 3</td> <td>UNPROTECTED, NONSPRINKLERED</td> <td>NOT PERMITTED</td> </tr> <tr> <td>3 ≤ X < 5</td> <td>UNPROTECTED, NONSPRINKLERED</td> <td>NOT PERMITTED</td> </tr> <tr> <td>5 ≤ X < 10</td> <td>UNPROTECTED, NONSPRINKLERED</td> <td>10%</td> </tr> </tbody> </table>	FIRE SEPARATION DISTANCE (FEET)	DEGREE OF OPENING PROTECTION	ALLOWABLE AREA a	X < 3	UNPROTECTED, NONSPRINKLERED	NOT PERMITTED	3 ≤ X < 5	UNPROTECTED, NONSPRINKLERED	NOT PERMITTED	5 ≤ X < 10	UNPROTECTED, NONSPRINKLERED	10%
FIRE SEPARATION DISTANCE (FEET)	DEGREE OF OPENING PROTECTION	ALLOWABLE AREA a												
X < 3	UNPROTECTED, NONSPRINKLERED	NOT PERMITTED												
3 ≤ X < 5	UNPROTECTED, NONSPRINKLERED	NOT PERMITTED												
5 ≤ X < 10	UNPROTECTED, NONSPRINKLERED	10%												

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ARCHITECTURAL GROUP

ARCHITECTURAL NOTES

- THE CONTRACTOR SHALL NOT DEVIATE FROM THE DRAWINGS AND/OR SPECIFICATIONS WITHOUT PRIOR WRITTEN APPROVAL FROM THE ARCHITECT OR ENGINEER AND REVISED PERMIT DRAWINGS. ANY DEVIATION CAN RESULT IN DELAYS, ADDITIONAL COSTS TO THE CONTRACTOR, AND FAILURE TO OBTAIN A FINAL INSPECTION AND/OR CERTIFICATE OF OCCUPANCY. ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THESE DRAWINGS.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE 7TH EDITION (2020) OF THE FLORIDA BUILDING CODE, ZONING REQUIREMENTS AND ANY OTHER APPLICABLE CODE. THE CONTRACTOR SHALL UTILIZE METHODS OF CONSTRUCTION WHICH COMPLY WITH ALL APPLICABLE BUILDING CODES, STANDARDS AND ORDINANCES.
- THE GENERAL CONTRACTOR SHALL BE HELD RESPONSIBLE TO HAVE EXAMINED THE SITE WITH RESPECT TO ALL EXISTING FIELD CONDITIONS BEFORE SUBMITTING BID PROPOSALS, PERFORMING ANY WORK OR ORDERING ANY MATERIALS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF ANY EXISTING AND NEW WORK AND SHALL BE RESPONSIBLE FOR THEIR ACCURACY. ANY DIFFERENCES FOUND SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT OR ENGINEER FOR VERIFICATION BEFORE PROCEEDING WITH THE WORK.
- PRIOR TO START, TAKE ORDINARY PRECAUTIONS TO ACQUIRE ALL PERMITS, LICENSES, UTILITY CONNECTION CONFIRMATIONS, LANDLORD & GOVERNMENTAL APPROVAL, ETC., NECESSARY FOR FULL COMPLETION AND OCCUPANCY OF THE PROJECT.
- THE GENERAL CONTRACTOR SHALL LOCATE ALL GENERAL REFERENCE POINTS AND TAKE ORDINARY PRECAUTIONS TO PREVENT THEIR DISRUPTION. EACH PRIME SUBCONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT OF HIS OWN WORK AND SHALL BE RESPONSIBLE FOR ALL LINES, ELEVATION MEASUREMENTS, AND OTHERS AS MAY BE REQUIRED OF HIS WORK. HE SHALL BE RESPONSIBLE FOR VERIFYING ALL FIGURES AND DETAILS SHOWN ON THE DRAWINGS WHICH RELATE TO HIS WORK, PRIOR TO LAYING OUT THE WORK. HE SHALL BE RESPONSIBLE FOR ANY ERROR RESULTING FROM HIS FAILURE TO TAKE SUCH PRECAUTIONS. HE SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS, PRIOR TO PERFORMING THE WORK.
- THE CONTRACTOR SHALL COORDINATE AND SCHEDULE THE WORK OF ALL TRADES TO INSURE THAT ALL WORK IS COMPLETED IN A TIMELY, WORKMANLIKE MANNER, COMPLYING WITH THE OWNER/CONTRACTOR AGREEMENT AND ALL OF THE CONSTRUCTION DOCUMENTS.
- DIVISIONS OF THE WORK FOR SUBCONTRACTING PURPOSES SHALL BE AS PER THE GENERAL CONTRACTOR'S DIRECTION.
- IT SHALL BE THE RESPONSIBILITY OF ALL SUBCONTRACTORS TO HAVE EXAMINED AND REVIEWED THE COMPLETE SET OF WORKING DRAWINGS, AND/OR SPECIFICATIONS TO PROVIDE ALL LABOR AND MATERIAL FOR THEIR RESPECTIVE AREA OF WORK FOR THE COMPLETE AND FINISHED INSTALLATION IN COMPLIANCE WITH THE INTENT OF THE DRAWING AND/OR SPECIFICATIONS, WHETHER IT IS INDICATED OR NOT. ALL WORK, WHETHER INDICATED OR NOT, SHALL BE IN COMPLIANCE WITH ALL BUILDING CODES AND ORDINANCES WHICH ARE APPLICABLE TO THE PROJECT.
- THE CONTRACTOR IS TO PROVIDE ALL THE SUPPLEMENTAL MATERIALS REQUIRED TO PROPERLY INSTALL, SUPPORT, BRACE AND SHORE ALL BUILDING COMPONENTS WITHIN THE SCOPE OF THE PROJECT.
- SUBCONTRACTORS SHALL COOPERATE WITH EACH OTHER AND WITH THE GENERAL CONTRACTOR TO PROVIDE MATERIALS AND LABOR THAT ARE NECESSARY IN EACH OTHER'S WORK AT THE PROPER TIMES. IF THE CONSTRUCTION SCHEDULE IS NOT AFFECTED, THESE INTERFERENCES SHALL BE THE RESPONSIBILITY OF THE SUBCONTRACTORS WHOSE WORK IS AFFECTED AS SUCH.
- ALL WORK SHALL BE PERFORMED BY QUALIFIED CONTRACTORS IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- PRODUCT MANUFACTURERS INDICATED IN SCHEDULE AND/OR ON PLANS WERE SELECTED BASED UPON QUALITY, SIZE, COLOR, ETC., AND ARE NOT INTENDED TO RESTRICT COMPETITIVE BIDDING. PRODUCTS "EQUAL TO", INTENDED TO BE USED AS SUBSTITUTES, ARE SUBJECT TO ARCHITECT'S APPROVAL IN WRITING PRIOR TO PRODUCT PURCHASE AND INSTALLATION. WINDOWS AND EXTERIOR DOORS SHALL HAVE PRODUCTS APPROVAL AND BE INSTALLED AS OUTLINED IN THE NOTICE OF ACCEPTANCE.
- THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL SIGNAGE, BARRICADES, FENCING, LIGHTING, ETC., AS REQUIRED FOR THE PREVENTION OF THE PERSONAL INJURIES TO THE OWNERS, EMPLOYEES, REPRESENTATIVES, OR OTHERS WITHIN THE AREAS OF CONSTRUCTION.
- PROTECTIVE DEVICES TO BE INSTALLED SHALL COMPLY WITH THE REQUIREMENTS OF ALL LOCAL, STATE, AND NATIONAL GOVERNING CODES, AND OTHER GOVERNING FORM OF AUTHORITY.
- GENERAL CONTRACTOR SHALL TAKE ORDINARY PRECAUTIONS TO SECURE AND PROTECT MATERIALS TO BE RELOCATED AS DETERMINED BY THE OWNER OR ARCHITECT.
- THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE PRIOR TO COMMENCEMENT OF WORK FOR THE OWNER'S APPROVAL.
- THE CONTRACTOR SHALL REVIEW AND APPROVE ALL SHOP DRAWINGS PRIOR TO SUBMITTING FOR THE ARCHITECT REVIEW. THE CONTRACTOR IS TO SUBMIT SHOP DRAWINGS OF ALL SHOP FABRICATED ITEMS TO THE ARCHITECT FOR REVIEW, PRIOR TO FABRICATION. ARCHITECT SHALL HAVE AT LEAST TEN (10) WORKING DAYS TO REVIEW.
- THE CONTRACTOR SHALL PROVIDE 18"x18" PAINT SAMPLES (3) APPLIED ON THE FIELD (INTERIOR AND EXTERIOR APPLICATIONS) FOR ARCHITECTS APPROVAL PRIOR MATERIAL PURCHASING.
- THE CONTRACTOR SHALL PROVIDE SAMPLES OF ALL MATERIAL FINISHES (INTERIOR & EXTERIOR) FOR ARCHITECTS APPROVAL.
- WRITTEN DIMENSIONS GOVERN. DO NOT SCALE DRAWINGS.
- UPON COMPLETION OF THE WORK, THE PREMISES SHALL BE CLEANED OF ALL DEBRIS WITH THE SITE LEFT CLEAN AND ORDERLY. SITE CONDITION TO BE APPROVED BY OWNER AND ARCHITECT.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY RESTROOM FACILITIES IN A NEAT AND SANITARY CONDITION, SUCH ACCOMMODATIONS FOR THE USE OF HIS EMPLOYEES AS MAY BE NECESSARY TO COMPLY WITH REGULATIONS OF THE STATE BOARD OF HEALTH AND SANITARY REGULATIONS OF THE INSTITUTION. A NUISANCE SHALL NOT BE PERMITTED.

INTERIOR CONSTRUCTION PLAN NOTES

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSION GOVERN ALL NEW PARTITIONS SHALL BE AS SHOWN ON CONSTRUCTION PLAN. IN CASE OF CONFLICT NOTIFY ARCHITECT FOR CLARIFICATION.
- ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. PATCH AND REPAIR SURFACES WHERE REQUIRED. ALL SURFACES SHALL BE ALIGNED.
- ALL PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO GYPSUM BOARD TO FINISH FACE OF GYPSUM BOARD, UNLESS OTHERWISE NOTED. ALL DIMENSIONS MARKED "CLEAR" OR "HOLD" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL WALL FINISHES, AND MUST BE ACCURATELY MAINTAINED WITH A MAXIMUM OF 1/8" VARIATION.
- DIMENSIONS MARKED + MEANS A TOLERANCE NOT GREATER OR SMALLER THAN TWO INCHES FROM INDICATED DIMENSION. IN CASE OF CONFLICT NOTIFY ARCHITECT FOR CLARIFICATION.
- ALL DIMENSIONS TO THE EXTERIOR WINDOW WALL ARE TO THE INSIDE FACE OF WALL BOARD UNLESS OTHERWISE NOTED.
- ALL EXPOSED GYPSUM BOARD EDGES TO HAVE METAL EDGE TRIM
- ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE IN PROPER ALIGNMENT
- "ALIGN" MEANS TO ACCURATELY LOCATE FINISHED FACES IN THE SAME PLANE.
- REFER TO REFLECTED CEILING PLANS FOR SOFFITS, CEILING HEIGHTS AND PLENUM BARRIER LOCATIONS.
- REFER TO POWER PLANS, EQUIPMENT PLANS AND REFLECTED CEILING PLANS FOR LOCATIONS OF SWITCHES OUTLETS AND THE LIKE.
- DIMENSIONS LOCATING DOORS ARE TO BE INSIDE FACE OF JAMB UNLESS OTHER WISE NOTED.
- PROVIDE BLOCKING FOR ALL MILLWORK FASTENED TO THE PARTITION, NOT SUPPORTED BY SLABS OR ABOVE 4'-0" HEIGHT. ALL CONCEALED LUMBER AND BLOCKING TO BE FIRE TREATED.

GENERAL FINISH NOTES

- GENERAL CODE REQUIREMENT:
 - ALL FINISHES SHALL COMPLY WITH THE 7TH EDITION (2020) OF THE FLORIDA BUILDING CODE, CHAPTER 8. SHALL GOVERN THE USE OF MATERIALS AS INTERIOR FINISHES BY LIMITING THE ALLOWABLE FLAME SPREAD AND SMOKE DEVELOPMENT BASED ON LOCATION AND OCCUPANCY CLASSIFICATION.
- CARPET
 - NOT APPLICABLE
- PAINT / WALL COVERING:
 - FOR DRYWALL PARTITIONS APPLY A COAT OF LATEX PRIMER OR PAINT TO SEAL ITS PAPER SURFACE. APPLY AS A SECOND COAT OF PAINT SOLVENT BASED OR WATER BASED PAINT IN THE SPECIFIED FINISH.
 - NO PAINTING OR FINISHING SHALL BE DONE UNDER CONDITIONS WHICH WILL JEOPARDIZE THE QUALITY OR APPEARANCE OF SUCH WORK. ALL WORKMANSHIP WHICH IS JUDGED LESS THAN FIRST QUALITY BY THE DESIGNER WILL BE REJECTED.
 - ALL COLORS ARE TO BE SELECTED BY THE DESIGNER UNLESS OTHERWISE NOTED (U.O.N.).
 - ALL SURFACES SHALL BE PREPARED TO RECEIVE THE SPECIFIED FINISH. ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH AND PREPARED TO RECEIVE THE SPECIFIED FINISH. PAINT GRADE WOODWORK SHALL BE HAND SANDPAPERED BETWEEN COATS AND DUSTED CLEAN. ALL HOLES, PITCH POCKETS OR SAPPY PORTIONS SHALL BE SCRAPPED AND SHELLACKED, OR SEALED WITH KNOT SEALER. NAIL HOLES, CRACKS OR DEFECTS SHALL BE PUTTIED AFTER FIRST COAT, WITH PUTTY MATCHING COLOR OF STAIN OR PAINT FINISH. REMOVE OIL GREASE WITH MINERAL SPIRITS.
 - ALL CRACKS, HOLES, IMPERFECTIONS IN EXISTING WALLS, PARTITIONS OR GYPSUM BOARD SHALL BE FILLED WITH PATCHING PLASTER AND SMOOTHED OFF TO MATCH ADJOINING SURFACES.
 - INTERIOR GYPSUM BOARD SURFACES SHALL BE WIPED WITH A DAMP CLOTH JUST PRIOR TO APPLICATION OF THE FIRST COAT, IN ORDER TO LAY FLAT ANY NAP WHICH MAY HAVE FORMED IN SANDING PROCESS.
 - UPON COMPLETION REMOVE ALL PAINT FROM WHERE IT HAS SPILLED, SPLASHED OR SPATTERED ON EXPOSED ADJACENT SURFACES.
 - ALL VENEER STAINS SHALL HAVE UNIFORM COLOR.
 - EXAMINE ALL FINISH SURFACES AFTER COMPLETION OF WORK INCLUDING MILLWORK INSTALLATION AND PROCEED WITH "TOUCH UP" AS REQUIRED.
 - PROVIDE THE DESIGNER WITH A MINIMUM OF (3) 8"x10" BRUSH-OUTS OF EACH COLOR & FINISH FOR DESIGNERS APPROVAL AT LEAST 2 WEEKS PRIOR TO SITE APPLICATION. ON-SITE APPLICATION WILL BE REQUIRED ONE WEEK PRIOR TO FINAL APPROVAL. DESIGNER RESERVES THE RIGHT TO ADJUST ANY COLOR/FINISH ONCE THE TEST HAS BEEN MADE.
 - UNDERSIDE OF SOFFITS (WHERE OCCURS) TO RECEIVE A FINISH TO MATCH ADJACENT VERTICAL FINISH, UNLESS OTHERWISE NOTED U.O.N.
 - ELECTRICAL SWITCH AND OUTLET COVER PLATES TO MATCH SURFACE IT RESIDES ON. CONTRACTOR TO PROVIDE SAMPLES FOR ARCHITECT'S APPROVAL.
 - PRIOR TO SITE APPLICATION, PROVIDE DESIGNER WITH 8"x10" SAMPLE CUTTINGS FROM ACTUAL DYE LOTS OF ALL SPECIFIED WALL COVERINGS FOR DESIGNER'S APPROVAL AND PROVIDE EXPECTED DELIVERY DATE TO JOB SITE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALLOWING FOR DELIVERY LEAD TIMES FOR ALL WALL COVERINGS AND OTHER CUSTOM FINISHES WITHIN THE CONSTRUCTION SCHEDULE. ALL DELIVERY TIMES MUST BE CONFIRMED AND ANY EXCESSIVE LEAD TIME MUST BE BROUGHT TO THE DESIGNERS ATTENTION IMMEDIATELY TO ALLOW FOR RE-SPECIFICATION IF NECESSARY.
 - SEE FINISH PLAN, ELEVATIONS AND DETAILS FOR CLARIFICATION OF EXTENT AND FINISH MATERIALS.
 - PAINT CEILING ACCESS PANELS WHERE THEY OCCUR TO MATCH ADJACENT CEILING FINISH.
 - STAINED AND PAINTED SURFACES SHALL BE FINISHED SUCH THAT JOINTS ARE NOT VISIBLE WHEN VIEWED FROM ANY REASONABLE ANGLE.
 - WALL COVERING SEAMS ARE NOT TO OCCUR WITHIN 1'-0" OF CORNERS. APPLY WALL COVERING SO WALL IS DIVIDED WITH A MINIMUM NUMBER OF SEAMS, AND EQUAL WIDTH PANELS UNLESS OTHERWISE NOTED (U.O.N.).

SHOP DRAWING AND OTHER SUBMITTALS

- REVIEW OF SUBMITTALS BY THE ARCHITECT IS FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPT AS PRESENTED BY THE CONTRACT DOCUMENTS. NO DETAILED CHECK OF QUANTITIES OR DIMENSIONS WILL BE MADE. ONLY THOSE SUBMITTALS REQUIRED BY THE CONTRACT DOCUMENTS TO BE SUBMITTED WILL BE REVIEWED. ALL OTHERS WILL BE RETURNED WITHOUT COMMENT.
- BEFORE SUBMITTING THE FIRST SHOP DRAWING, SUBMIT THE SHOP DRAWING SUBMITTAL SCHEDULE, PREPARED BY THE CONTRACTOR TO THE ARCHITECT AND ALLOW ADEQUATE TIME FOR TRANSIT AND PROCESSING. THE ARCHITECT WILL REVIEW AN AVERAGE SUBMITTAL WITHIN 10 BUSINESS DAYS OF RECEIPT OF THEM.
- SUBMIT SHOP DRAWINGS IN A TIMELY MANNER.
- REVIEW OF SHOP DRAWINGS IS LIMITED TO TWO (2) REVIEWS PER SUBMITTAL WITHIN THE SCOPE OF BASIC SERVICES (I.E., INITIAL SUBMITTAL REVIEW AND ONE RESUBMITTAL, IF NECESSARY). REVIEW OF ADDITIONAL RESUBMITTAL WILL BE CONSIDERED ADDITIONAL SERVICES, FOR WHICH THE GENERAL CONTRACTOR MAY BE HELD RESPONSIBLE. IF ADDITIONAL SHOP DRAWING REVIEWS ARE REQUIRED, ADDITIONAL SERVICES COMPENSATION TO THE ARCHITECT-ENGINEER AGREEMENT SHALL BE PROVIDED.
- ALL SUBMITTALS SHALL BE ACCOMPANIED BY A LETTER OF TRANSMITTAL. DO NOT COMBINE DIFFERENT SUBMITTALS ON THE SAME TRANSMITTAL.
- ALL SHOP DRAWINGS MUST BEAR EVIDENCE OF THE CONTRACTOR'S APPROVAL PRIOR TO SUBMITTING TO A/E.
- ALL CHANGES AND ADDITIONS MADE ON RE-SUBMITTALS MUST BE CLEARLY FLAGGED AND NOTED. THE PURPOSE OF THE RE-SUBMITTALS MUST BE CLEARLY NOTED ON THE LETTER OF TRANSMITTAL. ARCHITECT / ENGINEER REVIEW WILL BE LIMITED TO TO THOSE ITEMS CAUSING THE RE-SUBMITTAL.
- DO NOT REPRODUCE THE ARCHITECT / ENGINEER CONTRACT DOCUMENTS TO USE AS SHOP DRAWINGS.
- SHOP DRAWINGS NOT MEETING THE ABOVE CRITERIA OR SUBMITTED AFTER FABRICATION WILL NOT BE REVIEWED.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUB-CONTRACTOR TO CLEARLY IDENTIFY IN A SHOP DRAWING OR SUBMITTAL WHEN A SUBSTITUTION FOR A SPECIFIED ITEM IS PROPOSED. IF THE SUBSTITUTION ITEM IS NOT CLEARLY IDENTIFIED AND IS APPROVED BY THE DESIGN TEAM, IT WILL BE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE THE ORIGINAL SPECIFIED ITEM AT NO COST TO OWNER, ARCHITECT, OR ENGINEERS.

CODE COMPLIANCE GENERAL NOTES

- CONTRACTOR IS TO PERFORM ALL WORK FOR THE CONTRACT DOCUMENTS UNDER THE GUIDELINES OF FLORIDA FIRE PREVENTION CODE (FFPC) 7TH EDITION (2020), FLORIDA BUILDING CODE (FBC) 7TH EDITION (2020), NFPA 1, 2018 EDITION, "FIRE CODE", NFPA 101, 2018 EDITION, "LIFE SAFETY CODE", NFPA 10, 2018 EDITION, "STANDARD FOR PORTABLE FIRE EXTINGUISHER", NFPA 13, 2016 EDITION, "STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEM", NFPA 70, 2020 EDITION, "NATIONAL ELECTRICAL CODE", NFPA 72, 2016 EDITION, "NATIONAL FIRE ALARM CODE", ANSISHRAE 15-19 SAFETY CODE FOR MECHANICAL REFRIGERATION, FLORIDA ENERGY CODE FOR BUILDING CONSTRUCTION LATEST EDITION NFPA 14, 2019 EDITION "STANDARD FOR THE INSTALLATION OF STANDPIPE, AND HOSE SYSTEMS", NFPA 54, 2021 EDITION "NATIONAL FUEL GAS CODE", NFPA 90A, 2021 EDITION, STANDARD FOR THE INSTALLATION OF AIR-CONDITIONING AND VENTILATING SYSTEMS", CITY OF HIALEAH PLANNING & ZONING CODE
- ALL DRY WALL INTERIOR PARTITIONS SHALL BE INSPECTED BY THE BUILDING DEPARTMENT.
- CONCRETE MASONRY UNITS USED IN EXTERIOR WALLS AND IN ALL WALLS OR PARTITIONS SHALL COMPLY WITH 7TH EDITION (2020) OF THE FBC SECTION 704
- CORRIDOR PARTITIONS, SMOKE STOP PARTITIONS, HORIZONTAL EXIT PARTITIONS, EXIT ENCLOSURES, AND FIRE RATED WALLS REQUIRED TO HAVE PROTECTED OPENINGS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING IN A MANNER ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION. SUCH IDENTIFICATION SHALL BE ABOVE ANY DECORATIVE CEILING AND IN CONCEALED SPACES. SUGGESTED WORDING:

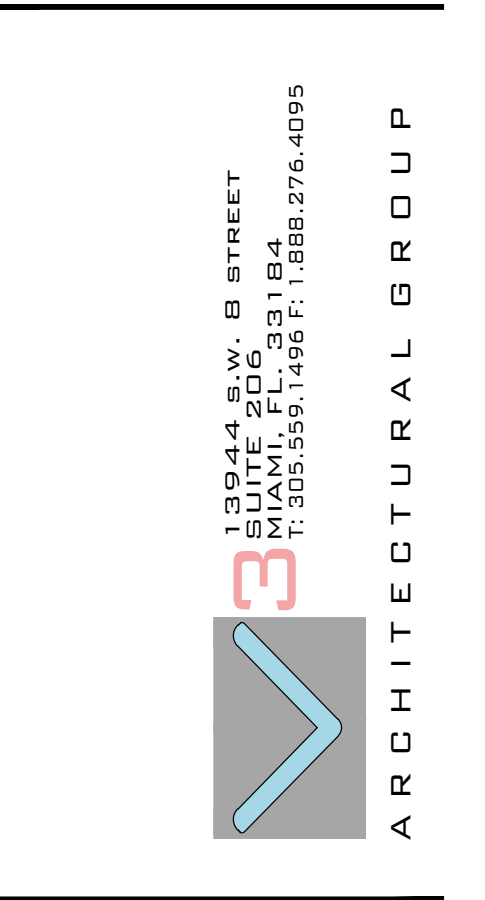
"FIRE AND SMOKE BARRIER - PROTECT ALL OPENINGS".
- PER 7TH EDITION (2020) OF THE FBC 903.2, (IF NECESSARY) AN APPROVED COMPLETE AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED THROUGHOUT THE BUILDING. THE SPRINKLER SYSTEM SHALL BE DESIGNED USING THE PARAMETERS SET FORTH IN NFPA 9.7
- PER 7TH EDITION (2020) OF THE FBC SECTION 716.3, FIRE DAMPERS, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS, SHALL BE PROVIDED IN DUCTS PENETRATING WALLS OR PARTITIONS HAVING A FIRE RESISTANCE OF 1 HOUR OR MORE.
- PER 7TH EDITION (2020) OF THE FBC SECTION 716, FIRE DAMPERS SHALL COMPLY WITH THE REQUIREMENTS OF UL 555 AND SHALL BEAR THE LABEL OF AN APPROVED TESTING AGENCY. CLOSURE SHALL INTERRUPT ANY MIGRATORY AIR FLOW AND RESTRICT THE PASSAGE OF FLAME. FIRE DAMPERS SHALL BE CLASSIFIED AND IDENTIFIED FOR USE AS EITHER STATIC SYSTEMS THAT AUTOMATICALLY SHUT DOWN IN THE EVENT OF FIRE, OR DYNAMIC SYSTEMS THAT OPERATE IN THE EVENT OF FIRE.
- ALL FINISHES SHALL COMPLY WITH THE 7TH EDITION (2020) OF THE FLORIDA BUILDING CODE, CHAPTER 8. SHALL GOVERN THE USE OF MATERIALS AS INTERIOR FINISHES BY LIMITING THE ALLOWABLE FLAME SPREAD AND SMOKE DEVELOPMENT BASED ON LOCATION AND OCCUPANCY CLASSIFICATION.
- IT IS THE RESPONSIBILITY OF THE VENDOR/ SUPPLIER TO CONFIRM THAT HIS/HER PRODUCT MEETS ALL LOCAL CODES (ADA, NFPA, IBC, ...) FOR THE APPLICATION IN WHICH IT IS TO BE USED. IF THE MATERIAL REQUESTED BY THE ARCHITECT IS IN QUESTION TO MEET SUCH CODES, THE VENDOR/ SUPPLIER MUST INFORM THE ARCHITECT AND MAKE THE NECESSARY CHANGES SO THE PRODUCT MEETS ALL REQUIRED CODES.

DEMOLITION NOTES

- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO START OF CONSTRUCTION. ANY CONDITION NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO BID SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- GENERAL CONTRACTOR TO FIELD VERIFY LOCATION OF ALL UTILITIES PRIOR TO ANY DEMOLITION. (I.E. WATER, SEWER, FPL, ETC.) IMMEDIATELY NOTIFY THE ARCHITECT AND OWNER OF ANY DISCOVERED DISCREPANCIES.
- CONTRACTOR TO LOCATE ALL EXISTING INSTALLATIONS THAT WILL PREVENT THE CONSTRUCTION OF THE INTENDED ITEMS, OR REQUIRE THE MODIFICATION OF CEILING HEIGHTS.
- GENERAL CONTRACTOR TO PATCH AND REPAIR ALL SURFACES THAT BECOME AFFECTED DURING CONSTRUCTION.
- ALL SALVAGEABLE MATERIALS TO BE REMOVED AND STORED ACCORDING TO OWNER'S REQUEST, COORDINATE WITH TENANT & LANDLORD.
- ITEMS TO BE REMOVED OR RELOCATED SHALL BE DONE IN A SAFE, ORDERLY MANNER WITHOUT DAMAGE TO OTHER PARTS OF THE PREMISES OR ADJACENT PROPERTIES, ANY RESULTING DAMAGE OR LOSS SHALL BE CORRECTED OR REPLACED BY CONTRACTOR.
- LOCATION OF DUMPSTER AND WORK PROCEDURES ARE TO BE COORDINATED WITH PROPERTY MANAGEMENT OR OWNER.
- CONTROL THE SPREAD OF DUST AND DIRT AS REQUIRED.
- VERIFY THAT ALL APPROPRIATE UTILITIES HAVE BEEN DISCONNECTED AND PROPERLY CAPPED TO INSURE SAFETY.
- PROMPTLY DISPOSE OF MATERIALS RESULTING FROM DEMOLITION OPERATIONS. DO NOT ALLOW MATERIALS TO ACCUMULATE ON SITE.
- MATERIALS PRODUCED BY DEMOLITION ARE TO BE RECYCLED TO EXTENT FEASIBLE WHERE NOT SALVAGED FOR REUSE IN NEW CONSTRUCTION. TRANSPORT MATERIALS RESULTING FROM DEMOLITION OPERATIONS AND LEGALLY DISPOSE OF OFF SITE.
- CONTRACTOR TO DISPOSE OF DEMOLISHED MATERIALS IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- UPON COMPLETION OF DEMOLITION OPERATIONS, REMOVE ALL TOOLS, EQUIPMENT AND DEBRIS LEAVING ALL AREAS (EXT. & INT.) CLEAN AND PREPARED FOR NEW CONSTRUCTION.
- ALL DEMOLISHED MATERIAL SHALL BECOME CONTRACTOR'S PROPERTY AND SHALL BE DISPOSED OF BY CONTRACTOR.
- ASBESTOS AND OTHER HAZARDOUS MATERIALS: PRIOR TO DEMOLITION COMMENCEMENT, GENERAL CONTRACTOR SHALL HAVE A LICENSED ABATEMENT CONTRACTOR PREPARE A HAZARDOUS MATERIALS SURVEY FOR THE DEMOLITION AREAS. THE SURVEY REPORT SHALL IDENTIFY ALL MATERIALS REQUIRED TO BE REMOVED AND THE REQUIRED METHODOLOGY FOR THE REMOVAL (ABATEMENT) OF SAID HAZARDOUS MATERIALS. THIS REPORT SHALL BE PART OF THE DEMOLITION PERMIT DOCUMENTS.
- DO NOT REMOVE PIPING OR EQUIPMENT UNTIL HAZARDOUS MATERIALS ABATEMENT IS COMPLETE IN THE VICINITY WHEN APPLICABLE. COORDINATE WITH HAZARDOUS MATERIALS CONTRACTOR.
- PROTECT ALL CONSTRUCTION TO REMAIN FROM DAMAGE DURING DEMOLITION OF ADJACENT CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR RESTORATION IF DAMAGE OCCURS TO AREAS NOT SHOWN TO BE DEMOLISHED.
- DETAILS NOTED "TYPICAL" IMPLY ALL SUCH CONDITIONS BE TREATED SIMILARLY.
- CONTRACTOR SHALL PROVIDE TEMPORARY FIRE PROTECTION & LIGHTING DURING DEMOLITION WORK, IF REQUIRED.
- DEMOLITION NOTES INDICATE TYPE OF WORK TO BE PERFORMED. CONTRACTOR TO VERIFY EXTENTS OF ALL DEMOLITION WORK IN THE FIELD.

GENERAL AS-BUILT DRAWINGS DISCLAIMER

THE EXISTING CONDITIONS REPRESENTED IN THIS SET WERE GENERATED FROM EXISTING AS-BUILT DRAWINGS & FIELD-SURVEYED FINDINGS. THE EXISTING CONDITIONS REPRESENTED ARE STRICTLY FOR THE PURPOSE OF PROVIDING A POINT-OF-REFERENCE BASIS FOR THE PROPOSED DESIGN. NO OTHER ACCURACY SHOULD BE CONSTRUED. ALL EXISTING FOUNDATIONS DRAWN ARE SUSPECT. THE G.C. MUST REPORT ALL STRUCTURAL AND MEP CONDITIONS THAT CONFLICT WITH THE PROPOSED DESIGN IN A TIMELY MANNER FOR A/E RESOLUTION.

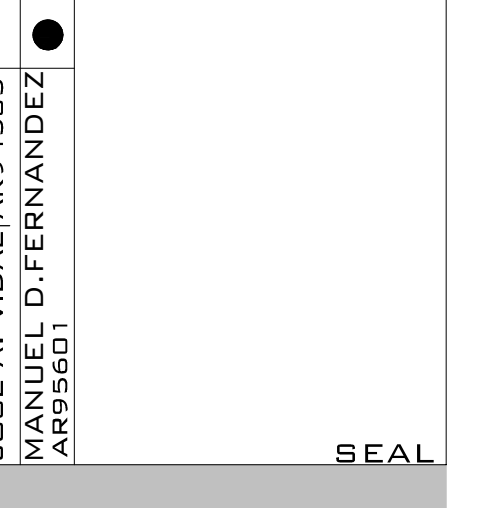


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HIALEAH HOUSING AUTHORITY
STORAGE BLDG. ADDITION AND ALTERATIONS
815 WEST 75TH ST
HIALEAH, FLORIDA 33014

DATE:	01.08.21
DESIGNED BY:	DLC
DRAWN BY:	DLC
REVIEWED BY:	MDF
PROJECT NO.:	20-0032

REVISIONS	
04.09.21	2 BLDG. COMMENTS

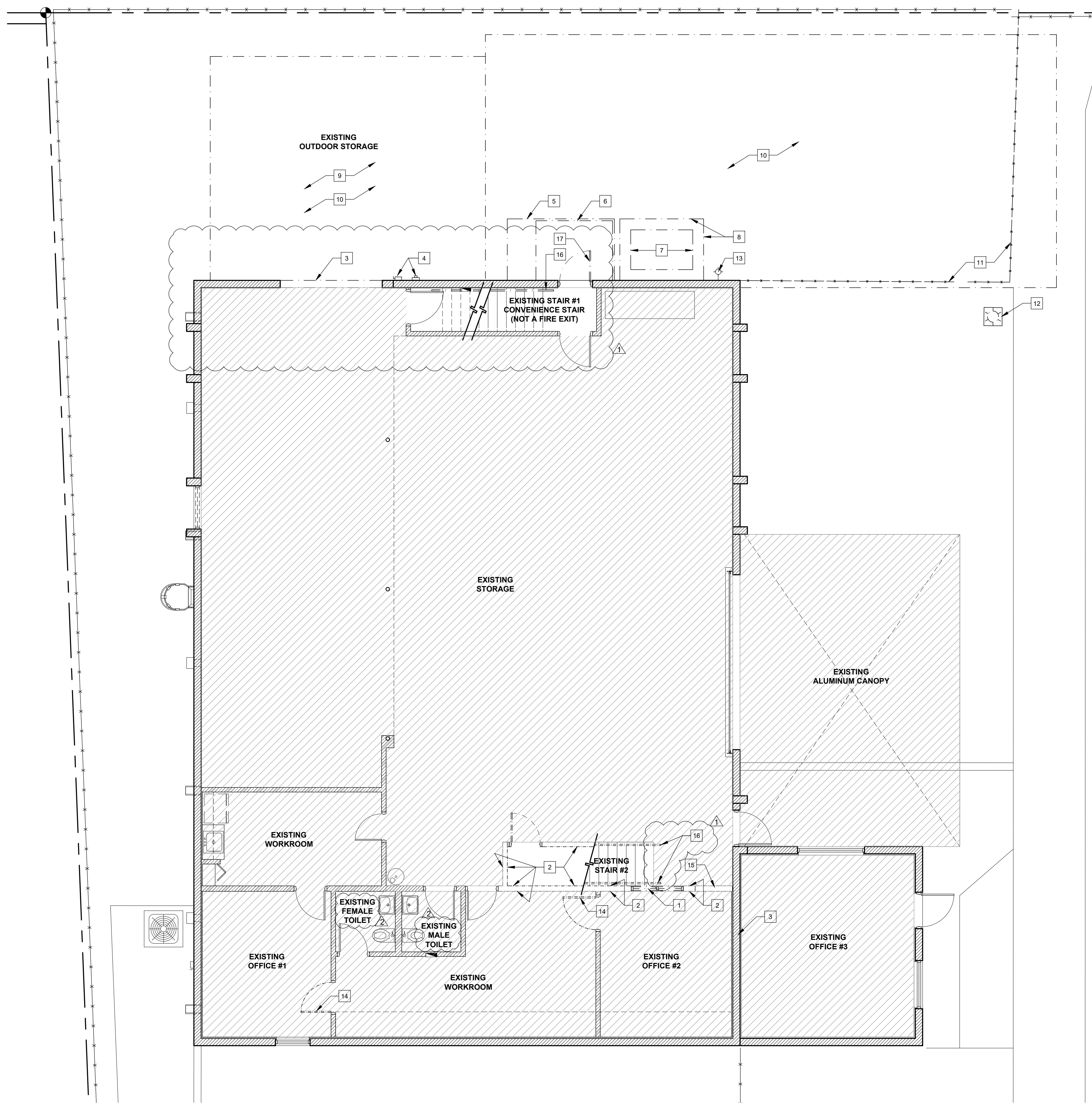


GENERAL NOTES

AO.1
 CONSTRUCTION DOCUMENT

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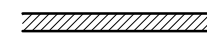
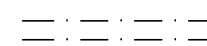
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STORAGE BLDG. ADDITION AND ALTERATIONS
815 WEST 75TH ST
HIALEAH, FLORIDA 33014**



**SELECTIVE DEMOLITION PLAN
KEY NOTES:**

- 1 WINDOW TO BE REMOVED
- 2 DRYWALL TO BE REMOVED
- 3 CREATE OPENING IN WALL. COORDINATE WITH OWNER. REFER TO STRUCTURAL DRAWINGS.
- 4 ELECTRIC METER AND DISCONNECT SWITCH TO BE RELOCATED.
- 5 CONCRETE STOOP TO BE DEMOLISHED
- 6 ENTRY ROOF TO BE REMOVED
- 7 A/C COMPRESSOR TO BE RELOCATED
- 8 CHAIN-LINK FENCE TO BE REMOVED, COORDINATE WITH OWNER
- 9 CANOPY AND WOOD FENCE TO BE REMOVED, COORDINATE WITH OWNER
- 10 CONCRETE SLAB TO BE DEMOLISHED
- 11 CHAIN-LINK FENCE TO BE REMOVED
- 12 POLE LAMP TO BE REMOVED, COORDINATE WITH OWNER
- 13 WALL MOUNTED LIGHT FIXTURE TO BE REMOVED, COORDINATE WITH OWNER
- 14 DOOR TO BE REMOVED, DOOR FRAME TO REMAIN
- 15 CREATE OPENING FOR NEW DOOR
- 16 EXISTING HANDRAIL TO BE REMOVED
- 17 EXISTING DOOR AND FRAME TO BE REMOVED

WALL LEGEND:

-  EXISTING WALLS TO REMAIN
-  DASH LINE DENOTES WALLS AND OBJECTS TO BE REMOVED.

NOTES:

1. REFER TO GENERAL NOTES FOR ADDITIONAL DEMOLITION NOTES.

2. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING CONDITIONS AND COORDINATION WITH PROPOSED WORK. IF DISCREPANCIES ARE FOUND CONTRACTOR MUST NOTIFY A/E TEAM IMMEDIATELY, OTHERWISE, CONTRACTOR WILL ASSUME RESPONSIBILITY.

NOTE:

ALL LIFE SAFETY SYSTEMS SHALL REMAIN IN ACTIVE DUTY AT ALL TIMES.

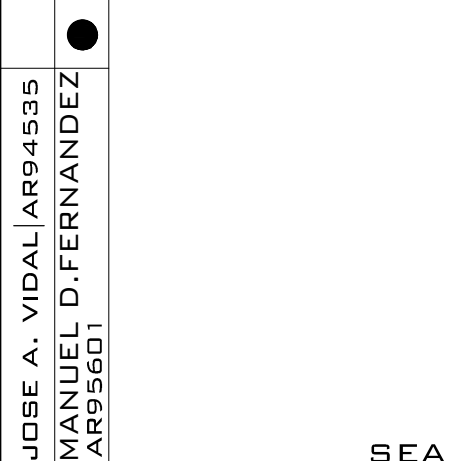
NOTE:

G.C. SHALL PATCH AND/OR REPAIR ALL WALLS, FLOOR, AND CEILING FINISHES TO EXISTING CONDITION DEEMED DAMAGED DURING PROGRESS OF EXECUTION OF PROPOSED WORK. ALL FINISHES SHALL MATCH EXISTING.

DATE:	01.08.21
DESIGNED BY:	DLC
DRAWN BY:	DLC
REVIEWED BY:	MDF
PROJECT NO.:	20-0032

REVISIONS	
03.11.21	1 BLDG. COMMENTS
04.09.21	2 BLDG. COMMENTS

JOSE A. VIDAL AR94535
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SEAL

**GROUND LEVEL
1 SELECTIVE DEMOLITION PLAN**
SCALE: 3/16" = 1'-0"



MINIMUM INTERIOR WALL & CLG. FINISH REQUIREMENTS BY OCCUPANCY (NONSPRINKLERED)
FFPC 101 7TH EDITION (2020) TABLE A.10.2.2 / FBC 7th Edition (2020) Building 803.11

OCCUPANCY	INTERIOR EXITS STAIRWAYS, INTERIOR EXIT RAMPWAYS AND EXIT PASSAGEWAYS	CORRIDORS ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND EXIT ACCESS RAMPWAYS	ROOMS AND ENCLOSED SPACES
B - BUSINESS	CLASS A OR B	CLASS A OR B	CLASS A, B OR C
S - STORAGE	CLASS A OR B	CLASS A, B OR C	CLASS A, B OR C

FACILITY GROSS TOILET FIXTURE CALCULATIONS:

PURSUANT TO 2020 FBC - PLUMBING SEVENTH EDITION CODE, TABLE 403.1

STORAGE	MALE WC		MALE URINAL		MALE LAVS		FEMALE WC		FEMALE LAVS		DRINKING FOUNTAINS (1:100)	SERVICE SINK
	REQ.	PROV.	REQ.	PROV.	REQ.	PROV.	REQ.	PROV.	REQ.	PROV.		
15 MALE 14 FEMALE	1	1	0	0	1	1	1	1	1	1	2	1

LIFE SAFETY : SYMBOL LEGEND

- T.D. TRAVEL DISTANCE
- D.E.C. DEAD END CORRIDOR
- C.P.T. COMMON PATH OF TRAVEL
- ★ BEGINNING OF TRAVEL DISTANCE INDICATED
- ← POINT OF EXIT DISCHARGER
- 3'-0" SINGLE DOOR: PROVIDED 32"/0.2 = 160 OCCUPANTS, CLEAR DIM. PROVIDED, REQUIRED 47"/0.2 = 20 OCCUPANTS, DIM. REQUIRED PER OCCUPANT LOAD
- RECESSED LED LIGHT FIXTURE ON EMERGENCY CIRCUIT OR EMERGENCY BATTERY PACK.
- E EXT'G EXIT LIGHT
- N NEW EXIT LIGHT
- R RELOCATED EXIT LIGHT
- SMOKE RATED WALL
- 1-HOUR RATED WALL
- FE BRACKET MOUNT FIRE EXTINGUISHER
- FE LARSEN'S MODEL MP-5 BRACKET MOUNT.

NOTE: ALL FIRE EXTINGUISHERS CABINETS TO BE INSTALLED AT 48" ABOVE FINISHED FLOOR TO CABINET HANDLE. ALL F.E. TANKS TO BE INSTALLED AT 48" ABOVE FINISHED FLOOR TO TANK BRACKET RELEASE MECHANISM AS REQUIRED BY ADA.

NOTE:

FIRE AND/OR SMOKE SEPARATION WALLS SHALL BE IDENTIFIED IN THE FIELD. PROVIDE IDENTIFICATION SIGNS FOR SUCH WALLS ABOVE CEILINGS AND OTHER CONCEALED SPACES. THE SIGN SHALL STATE "FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS" WITH A LETTERING SIZE NOT LESS THAN 3 INCHES (76MM) IN HEIGHT WITH A MINIMUM 3/8 INCH (9.5 MM) STROKE IN A CONTRASTING COLOR. IT SHALL BE LOCATED WITHIN 15 FEET (4572 MM) OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30 FEET (9144 MM) MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION AS PER FBC 2020 BUILDING SEVENTH EDITION, SECTION 703.7.

NOTE:

- DOORS AND FRAMES IN ONE (1) HOUR WALLS SHALL BE 60 MINUTES RATED. (SEE DOOR SCHEDULE)
- DOOR & FRAMES IN TWO (2) HOUR WALLS SHALL BE 'B' LABEL, 90 MINUTE RATED. (SEE DOOR SCHEDULE)
- DOORS AND FRAMES IN 30 MINUTE WALLS SHALL BE 20 MINUTES RATED.
- ALL FRAMES FOR FIRE RATED DOORS SHALL MEET REQUIRED DOOR FIRE RATING.
- THE OPENING FORCE FOR INTERIOR SIDE-SWINGING DOORS WITHOUT CLOSERS SHALL NOT EXCEED A 5 POUND FORCE. FOR OTHER SIDE-SWINGING, SLIDING, AND FOLDING DOORS, THE DOOR LATCH SHALL RELEASE WHEN SUBJECTED TO A 15 POUND FORCE. THE DOOR SHALL BE SET IN MOTION WHEN SUBJECTED TO A 30-POUND FORCE. THE DOOR SHALL SWING TO A FULL OPEN POSITION WHEN SUBJECTED TO A 15-POUND FORCE. FORCES SHALL BE APPLIED TO THE LATCH SIDE.
- DOOR SHALL BE CONSTRUCTED TO RESIST THE PASSAGE OF SMOKE.
- DOORS THAT OPEN ONTO EXIT ACCESS CORRIDORS SHALL BE SELF-CLOSING AND SELF LATCHING.

CALCULATION CAPACITY FOR EXIT PURPOSES

BASED ON FBC 2020 - BUILDING, SEVENTH EDITION
MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT (FBC TABLE 1004.5) PER OCC.

BUSINESS (OFFICE)	=	150 GROSS
STORAGE	=	300 GROSS

OCCUPANT LOAD FACTOR (FFPC-101 TABLE 7.3.1.2)
BUSINESS (OFFICE) = 150 GROSS
STORAGE = 300 GROSS

OCCUPANCY CALCULATIONS PROPOSED

EXIST. BUSINESS GROUND LEVEL	1,180 S.F. / 150 =	8.00 OCC
EXIST. STORAGE GROUND LEVEL	2,821 S.F. / 300 =	9.00 OCC
EXIST. STORAGE SECOND LEVEL	1,748 S.F. / 300 =	6.00 OCC
STORAGE ADDITION	1,697 S.F. / 300 =	6.00 OCC
TOTAL		29.00 OCC

MEANS OF EGRESS:

- EGRESS WIDTH PER OCC. (FBC 1005.3.1, 1005.3.2 & FFPC-101 TABLE 7.3.3.1)
STAIRWAYS = 3" PER OCC.
OTHER COMPONENTS = 2" PER OCC.
MIN. 44" FOR CORRIDOR
MIN. 32" WIDTH DOOR

EXIT CALCULATIONS:

BUSINESS/ STORAGE
REQUIRED = 28 OCCUPANTS x 0.20 IN = 4.82 INCHES
TOTAL PROVIDED = 128 INCHES

SPACES WITH ONE MEANS OF EGRESS (FBC TABLE 1006.2.1)

BUSINESS (OFFICE)	- GROUP B =	49 OCC.
STORAGE (STORAGE)	- GROUP S =	29 OCC.

EXIT ACCESS TRAVEL DISTANCE

FBC TABLE 1017.2	BUSINESS (OFFICE)	- GROUP B = 200'-0" UNSPRINKLERED
	STORAGE	- GROUP S-2 = 300'-0" UNSPRINKLERED
FFPC-101 TABLE A.7.6	BUSINESS	- (OFFICE) = 200'-0" UNSPRINKLERED
	STORAGE	- (STORAGE) = NR UNSPRINKLERED

- COMMON PATH OF TRAVEL (FBC SEC. 1006.2.1)
BUSINESS (OFFICE) - GROUP B = 100'-0" UNSPRINKLERED
STORAGE - GROUP S-2 = 100'-0" UNSPRINKLERED

- COMMON PATH OF TRAVEL (FFPC-101 TABLE A.7.6)
BUSINESS (OFFICE) = 75'-0" UNSPRINKLERED
STORAGE (STORAGE) = NR UNSPRINKLERED

- MAX. DEAD END CORRIDOR
FBC 1020.4
BUSINESS (OFFICE) - GROUP B = 20'-0" UNSPRINKLERED
STORAGE (STORAGE) - GROUP S-2 = 20'-0" UNSPRINKLERED

FFPC-101 TABLE A.7.6
BUSINESS (OFFICE) = 50'-0" UNSPRINKLERED
STORAGE (STORAGE) = NR UNSPRINKLERED

FINISHES

- ALL FLOOR SURFACES WHICH MAY BECOME SLIPPERY SHALL HAVE A NON-SLIP IMPERVIOUS FLOORING, E.G. TOILETS, KITCHENS, CUSTODIAL CLOSETS. SEE NOTES.

- ALL GLASS SHALL BE MINIMUM AND IN FULL COMPLIANCE WITH FBC CHAPTER 24. REFER TO GLAZING NOTES FOR ADDITIONAL INFORMATION. IMPACT RESISTANT GLAZING AT EXTERIOR APPLICATIONS.

- INTERIOR EXIT STAIRWAYS AND RAMPWAYS AND EXIST PASSAGEWAYS SHALL BE CLASS "B" OR BETTER. FOR CORRIDORS AND ENCLOSURE EXITS ACCESS STAIRWAYS AND RAMPWAYS SHALL BE CLASS "B" OR BETTER; FOR ROOMS AND ENCLOSED SPACES SHALL BE CLASS "C" OR BETTER. (FBC TABLE 803.11 FOR NON-SPRINKLERED BUILDINGS).

OTHER REQUIREMENTS:

- ALL DUCTWORK CROSSING RATED WALLS SHALL HAVE FIRE DAMPERS

FLAME SPREAD & SMOKE-DEVELOPMENT INDEX (FBC 7th Edition (2020) Building 803.1)

CLASS	FLAME SPREAD	SMOKE-DEVELOPED
CLASS A	0-25	0-450
CLASS B	26-75	0-450
CLASS C	76-200	0-450

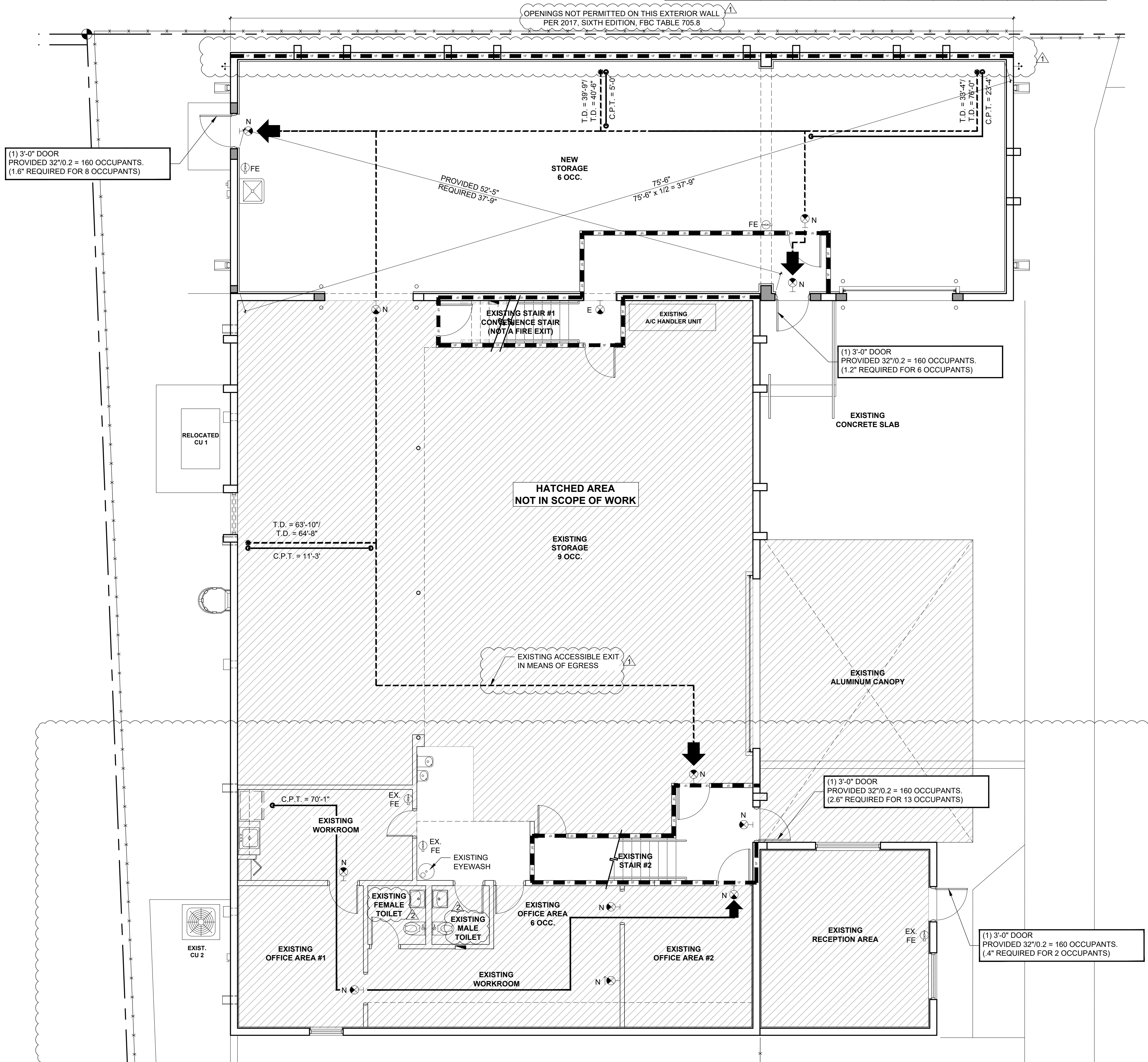
NOTE:

THERMAL - AND SOUND-INSULATING MATERIALS SHALL COMPLY WITH FBC B 2020, SEVENTH EDITION - BUILDING SECTION 720.2 CONCEALED INSTALLATION.

INSULATING MATERIALS, WHERE CONCEALED AS INSTALLED IN BUILDINGS OF ANY TYPE OF CONSTRUCTION, SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450.

SHOP DRAWINGS

ALL SHOP DRAWINGS SHALL BE REVIEWED BY A/E OF RECORD PRIOR TO SUBMITTAL TO MIAMI-DADE COUNTY BUILDING DEPARTMENT.



GROUND LEVEL
1 PROPOSED LIFE SAFETY PLAN
SCALE: 3/16" = 1'-0"

HIALEAH HOUSING AUTHORITY
STORAGE BLDG. ADDITION AND ALTERATIONS
815 WEST 75TH ST
HIALEAH, FLORIDA 33014

DATE: 01.08.21
 DESIGNED BY: DLC
 DRAWN BY: DLC
 REVIEWED BY: MDF
 PROJECT NO. 20-0032

REVISIONS

03.11.21	1	BLDG. COMMENTS
04.09.21	2	BLDG. COMMENTS

JOSE A. VIDAL AR94535
 MANUEL D. FERNANDEZ AR95601

SEAL

GROUND LEV.
LIFE SAFETY

LS 1.1
CONSTRUCTION DOCUMENT

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**HIALEAH HOUSING AUTHORITY
 STORAGE BLDG. ADDITION AND ALTERATIONS
 815 WEST 75TH ST
 HIALEAH, FLORIDA 33014**

DATE:	01.08.21
DESIGNED BY:	DLC
DRAWN BY:	DLC
REVIEWED BY:	MDF
PROJECT NO.:	20-0032
REVISIONS	
03.11.21	1 BLDG. COMMENTS
04.09.21	2 BLDG. COMMENTS

JOSE A. VIDAL AR94535
 MANUEL D. FERNANDEZ AR95601
 SEAL

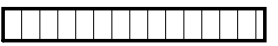




**GROUND LEVEL
 FLOOR PLAN**

A2.1
 CONSTRUCTION DOCUMENT

**PROPOSED FLOOR PLAN
 KEY NOTES:**

- 1 LIGHT BROOM FINISH TO MATCH EXISTING
- 2 6" DIA. x 3'-6" HIGH STEEL BOLLARD FILLED WITH CONCRETE
- 3 ELECTRICAL METER WITH ELECTRICAL GUTTER, REFER TO ELECTRICAL DRAWINGS.
- 4 ELECTRICAL PANEL
- 5 HOSE BIBB
- 6 DOWNSPOUT WITH CONCRETE SPLASH BLOCK
- 7 CONCRETE STOOP WITH BROOM FINISH
- 8 CONCRETE SLAB WITH BROOM FINISH .
- 9 EXIST. ELECTRICAL PANEL TO REMAIN
- 10 1 1/2" O.D. DIAMETER PIPE HANDRAILS . REFER TO RAILING NOTES FOR LOADS. PAINT FIN. TO BE SELECTED BY ARCHITECT
- 11 NEW CONCRETE SLAB, REFER TO STRUCTURAL DRAWINGS
- 12 34" HIGH HANDRAIL, RETURN HANDRAIL TO POST
- 13 GENERAL CONTRACTOR VERIFY WALL ASSEMBLY CONSTRUCTION TO MATCH UL- LISTING, REFER TO WALL TYPE FOR SPEC.
- 14 GALV. STEEL CAGE LADDER REFER TO DETAIL ON SHEET A6.2. COORDINATE LOCATION ON SITE.
- 15 HI-LOW DRINKING FOUNTAIN
- 16 SERVICE SINK

WALL LEGEND:

-  EXTERIOR CMU WALL
-  EXTERIOR CMU WALL
-  CONCRETE COLUMN REFER TO STRUCTURAL
-  MTL. FRAME PARTITIONS. SEE FLOOR PLAN & WALL TYPES FOR THICKNESS
-  EXIST. WOOD FRAME PARTITIONS WITH NEW GYPSUM WALLBOARD. REFER TO FLOOR PLAN & WALL TYPES FOR MORE INFORMATION.

NOTES:

1. NO SUBSTITUTIONS ALLOWED, UNLESS OTHERWISE NOTED IN THESE DRAWINGS.
2. ANY DISCOVERED FIELD CONDITIONS REQUIRING DEVIATIONS FROM THESE DOCUMENTS MUST BE SUBMITTED TO THE A/E BY RFI FROM THE G.C. FOR A/E RESOLUTION.
3. THE G.C. IS RESPONSIBLE FOR ALL DEVIATIONS & IS AT FURTHER RISK IF DEVIATIONS ARE DONE WITHOUT WRITTEN A/E ACCEPTANCE.
4. REFER TO MEP DRAWINGS FOR RECEPTACLE AND SWITCH INFORMATION.
5. CHANGE IN ELEVATION AT ALL DOORS IS NOT TO EXCEED 1/2". G.C. SHALL VERIFY THAT THE MAXIMUM SLOPE IN FRONT OF PROPOSED DOORS DOES NOT EXCEED A SLOPE OF 1:48.

RAILING NOTES:

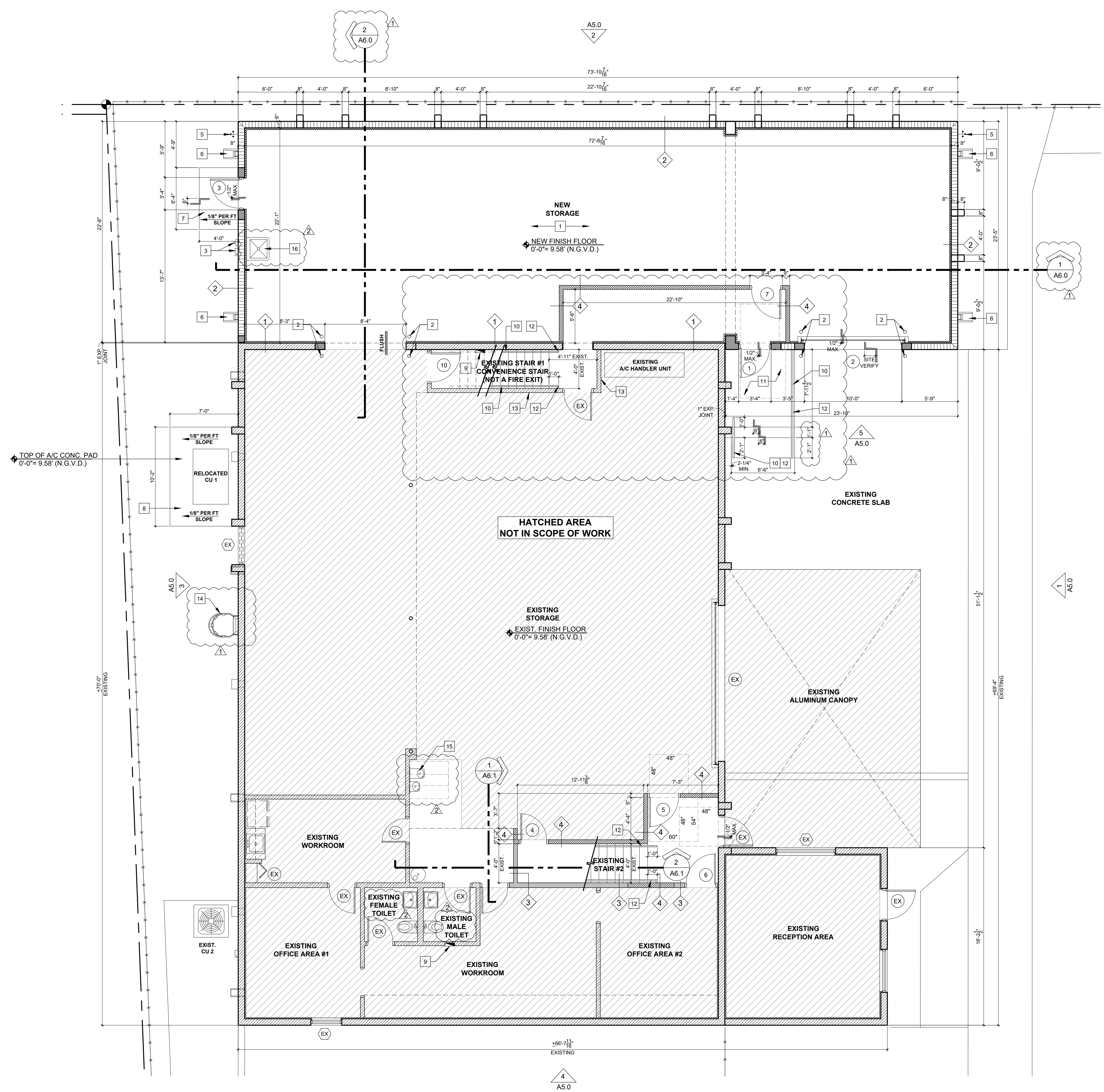
FBC 6TH EDITION (2017)
 CHAPTER 16
 SECTIONS 1607.8.1/1607.8.1.1/1607.8.1.2

NOTES

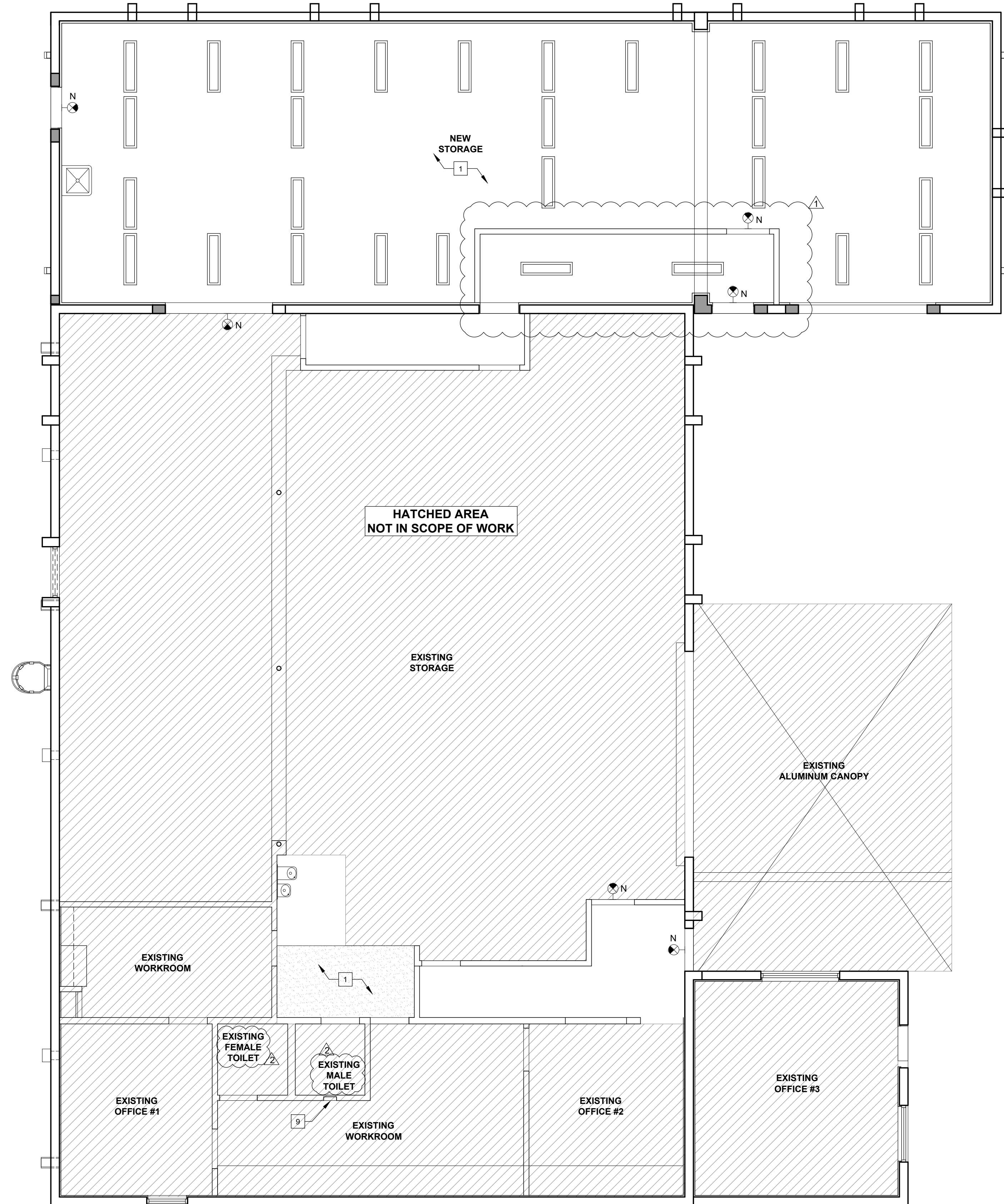
HANDRAIL AND GUARDS SHALL BE DESIGNED TO RESIST A LINEAR LOAD OF 50 PLF IN ACCORDANCE WITH SECTION 4.5.1 OF ASCE 7

HANDRAIL AND GUARDS SHALL ALSO BE DESIGNED TO RESIST A CONCENTRATED LOAD OF 200 POUNDS IN ACCORDANCE WITH TO RESIST A CONCENTRATED LOAD OF 50 POUNDS IN ACCORDANCE WITH SECTION 4.5.1 OF ASCE 7

INTERMEDIATE RAILS (ALL THOSE EXCEPT THE HANDRAIL) BALUSTERS AND PANEL FILLERS SHALL BE DESIGNED TO RESIST A CONCENTRATED LOAD OF 50 POUNDS IN ACCORDANCE WITH SECTION 4.5.1 OF ASCE 7


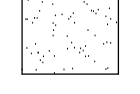


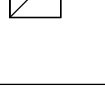


**GROUND LEVEL
 1 PROPOSED FLOOR PLAN**
 SCALE: 3/16" = 1'-0"



GROUND LEVEL
1 PROPOSED REFLECTED CEILING PLAN
 SCALE: 3/16" = 1'-0"

CEILING LEGEND:

-  1'x4' LED LIGHT FIXTURE (INCLUDES EMERGENCY CIRCUIT OR EMERGENCY BATTERY PACK.)
-  G.W.B. CEILING
-  EXIT LIGHT FIXTURE REFER TO LIGHTING PLAN
-  SUPPLY AIR GRILLE. REFER TO MECHANICAL DRAWINGS
-  RETURN AIR GRILLE. REFER TO MECHANICAL DRAWINGS.

R.C.P KEY NOTES:

- 1 EXPOSED STRUCTURE ABOVE
- 2 GYPSUM WALL BOARD

NOTES:

1. ALL FINISH ON G.W.B. CEILING SHALL BE SMOOTH
2. REFER TO ELECTRICAL DWG.'S FOR FIXTURE SCHEDULE.
3. REFER TO ELECTRICAL DWG.'S FOR CIRCUIT SWITCHING.

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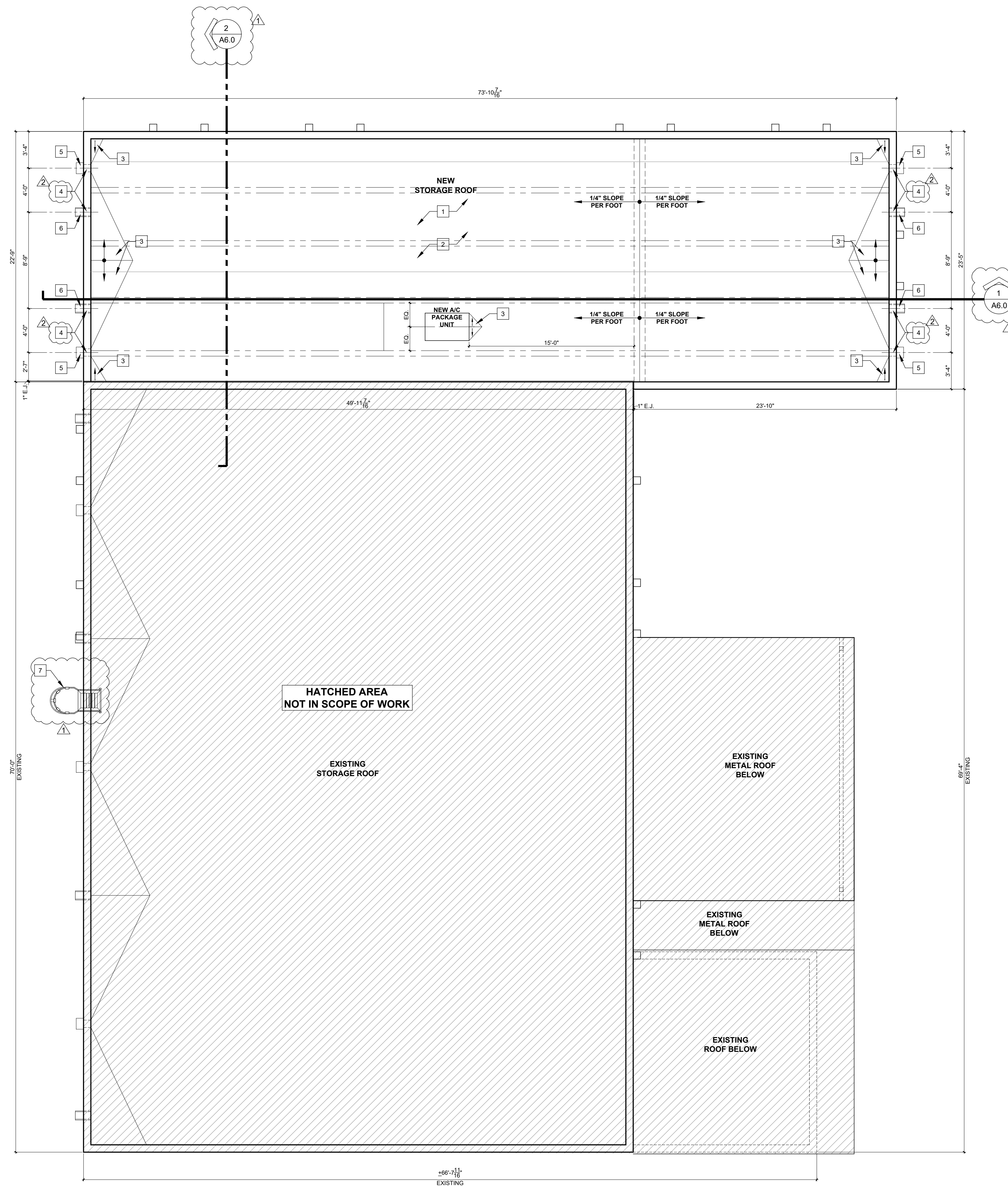
DATE: 01.08.21
 DESIGNED BY: DLC
 DRAWN BY: DLC
 REVIEWED BY: MDF
 PROJECT NO. 20-0032

REVISIONS	
03.11.21	1 BLDG. COMMENTS
04.09.21	2 BLDG. COMMENTS

JOSE A. VIDAL AR94535
 MANUEL D. FERNANDEZ AR95601

REFLECTED CLG. PLAN

A3.1
 CONSTRUCTION DOCUMENT



- ROOF PLAN KEY NOTES:**
- 1 TPO ROOFING SYSTEM FROM GAF. (N.O.A. 19-0909.12)
 - 2 PROVIDE SUFFICIENT THICKNESS IN THE INSULATION OVER TWIN TEES
 - 3 PROVIDE CRICKETS AT A 1/2" PER FT. SLOPE (TYP.)
 - 4 GALV. MTL. SCUPPER AND OVERFLOW SCUPPER. REFER TO DETAIL 5 ON SHT. A8.0.
 - 5 REFER TO PLUMBING DWG'S FOR DOWNSPOUT SIZE AND CALCULATIONS. PLACE OVERFLOW SCUPPER AS CLOSE AS POSSIBLE TO MAIN SCUPPER.
 - 6 EMERGENCY OVERFLOW SCUPPER
 - 7 GALV. STEEL CAGE LADDER REFER TO DETAIL ON SHEET A6.2. COORDINATE LOCATION ON SITE.

ROOFING SYTEM INSTALLED PER N.O.A. G.C. SHALL PROVIDE MANF. INSTALLATION DETAILS FOR ARCHITECT'S REVIEW. TYP. FOR ALL AREAS

ROOFING INSTALLATION SHALL BE UNDER A SEPARATE PERMIT

REFER TO SHEET P-1 FOR ROOF DRAINAGE CALCULATIONS AND MINIMUM SCUPPER DIMENSION.

- EXISTING STAIR TO REMAIN
- HANDRAIL, REFER TO DETAIL
- STRUCTURAL FLOOR, FLOOR FINISH TO MATCH EXISTING
- RELOCATED BURGLAR ALARM PANEL, COORDINATE LOCATION WITH OWNER
- 42" HIGH METAL GATE TO MATCH EXISTING
- GALV. STEEL CAGE LADDER REFER TO DETAIL ON SHEET A6.2. COORDINATE LOCATION ON SITE.

HATCHED AREA NOT IN SCOPE OF WORK

EXISTING STORAGE ROOF

EXISTING METAL ROOF BELOW

EXISTING METAL ROOF BELOW

EXISTING ROOF BELOW

1 PROPOSED ROOF PLAN
SCALE: 3/16" = 1'-0"

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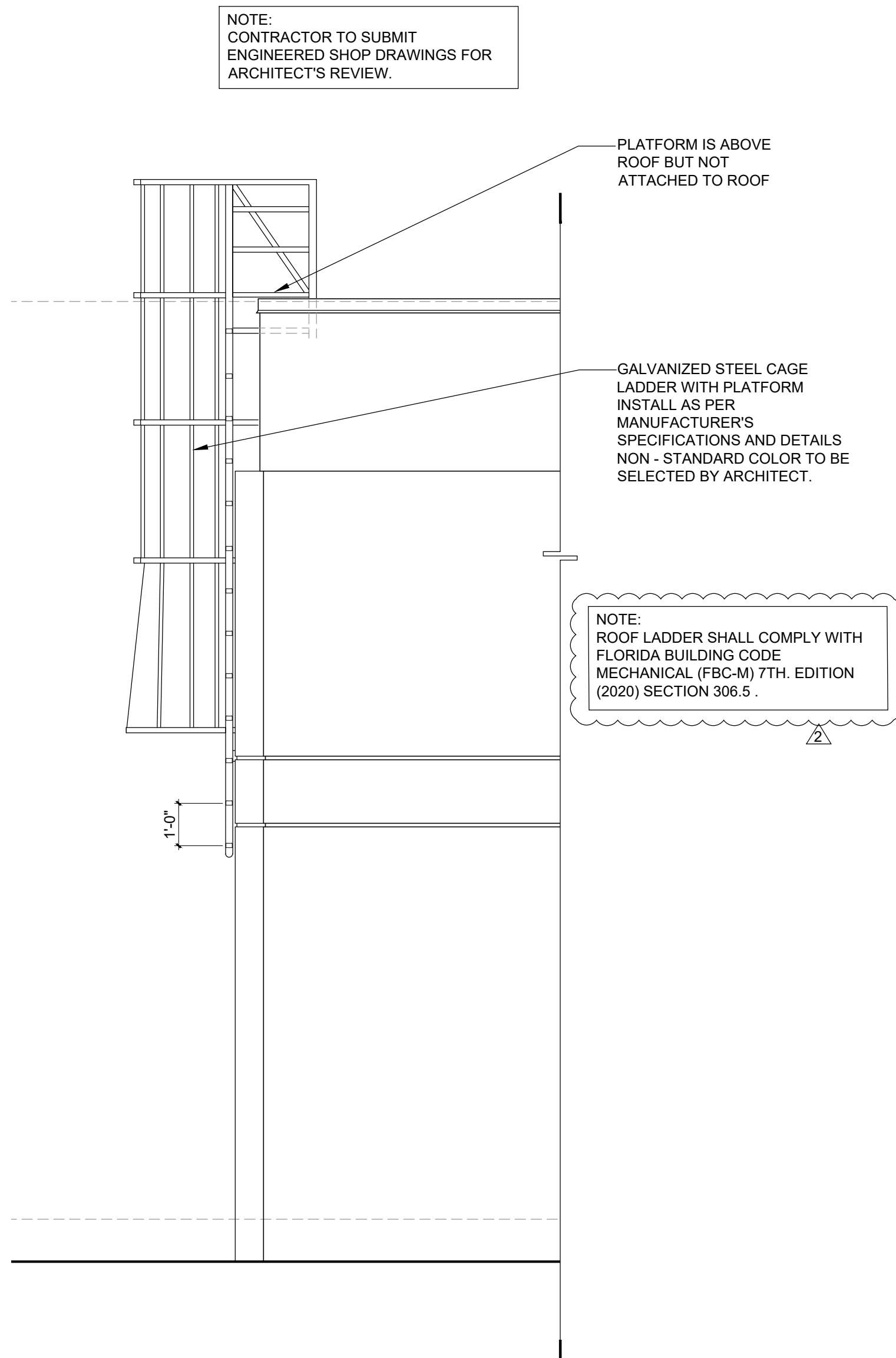
DATE:	01.08.21
DESIGNED BY:	DLC
DRAWN BY:	DLC
REVIEWED BY:	MDF
PROJECT NO.	20-0032

REVISIONS	
02.16.21	1 BLDG. COMMENTS
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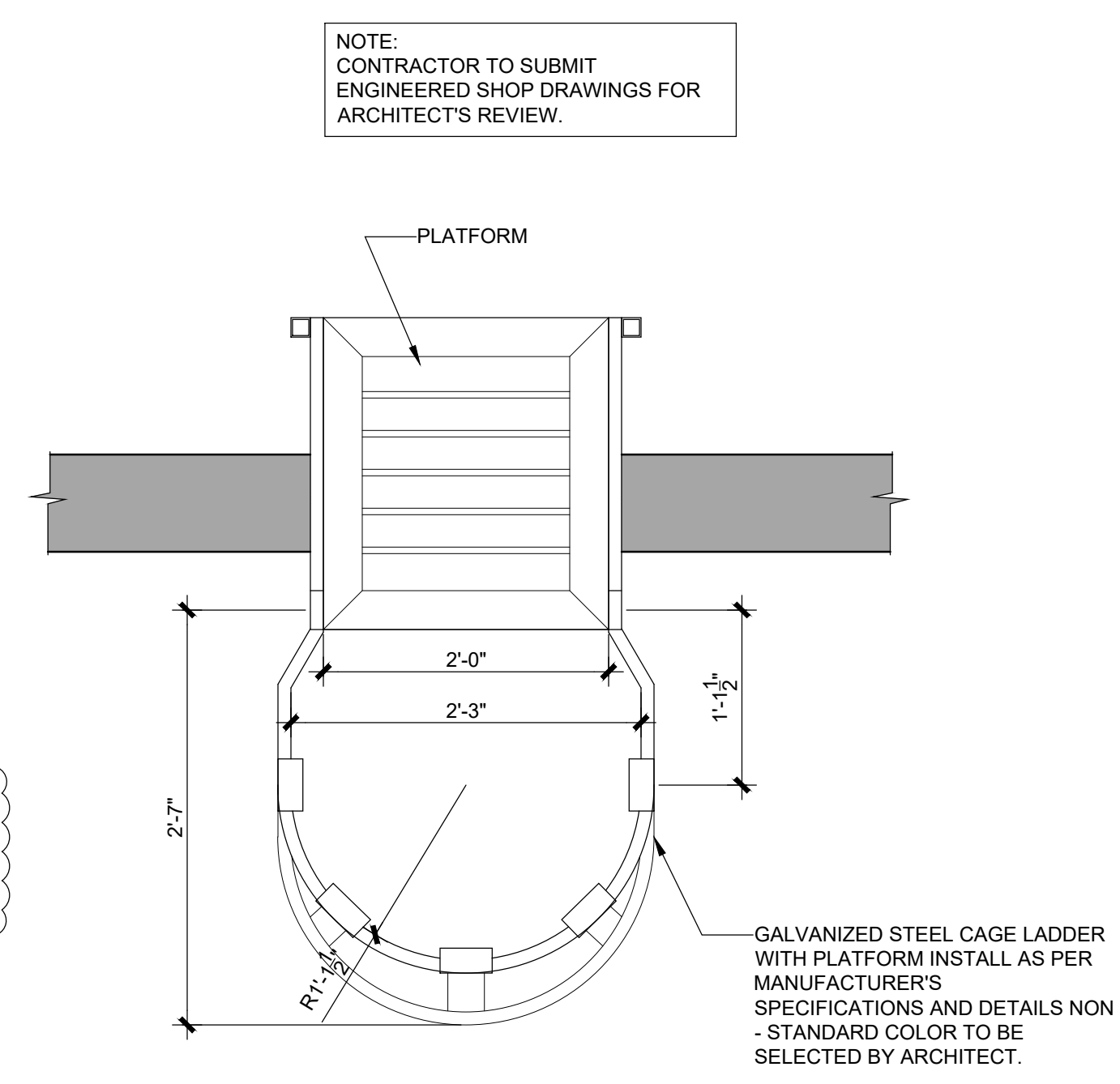
JOSE A. VIDAL AR94535
MANUEL D. FERNANDEZ AR95601
SEAL

ROOF PLAN

A4.0
CONSTRUCTION DOCUMENT



1 LADDER DETAIL (ELEVATION)
SCALE: 3/8" = 1'-0"



2 LADDER DETAIL
SCALE: 1" = 1'-0"

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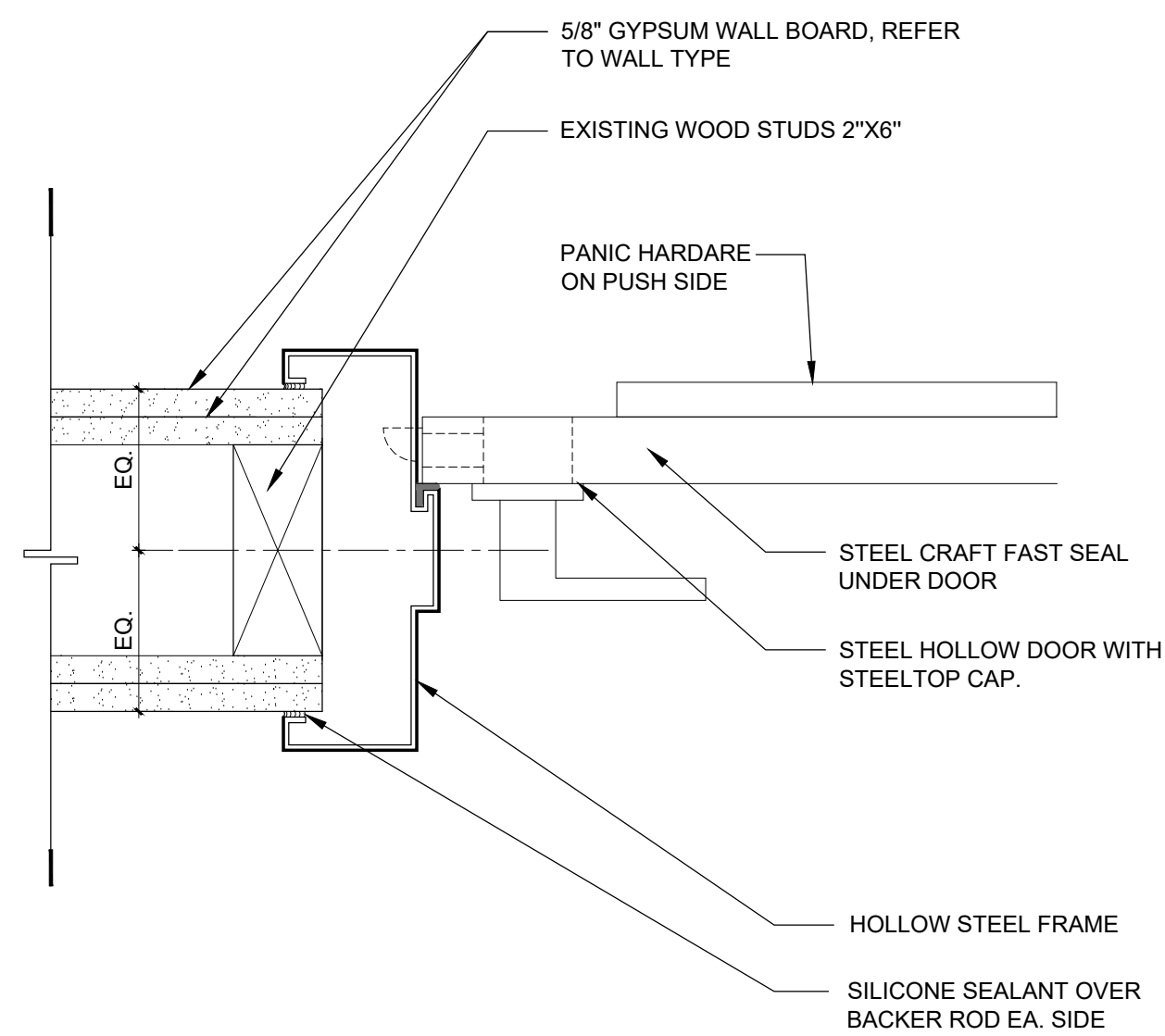
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AR95601

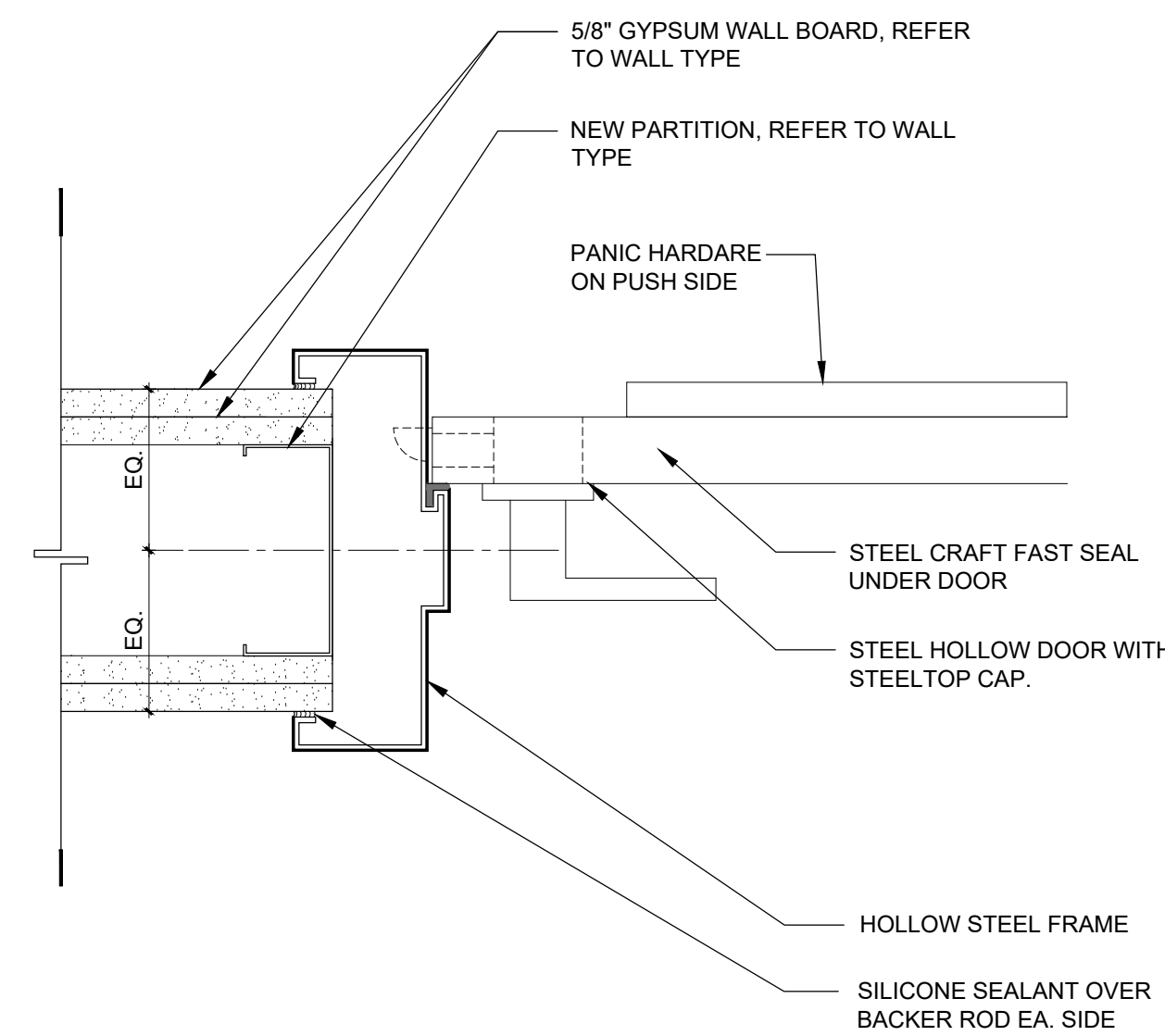
SEAL

**BUILDING
SECTIONS**

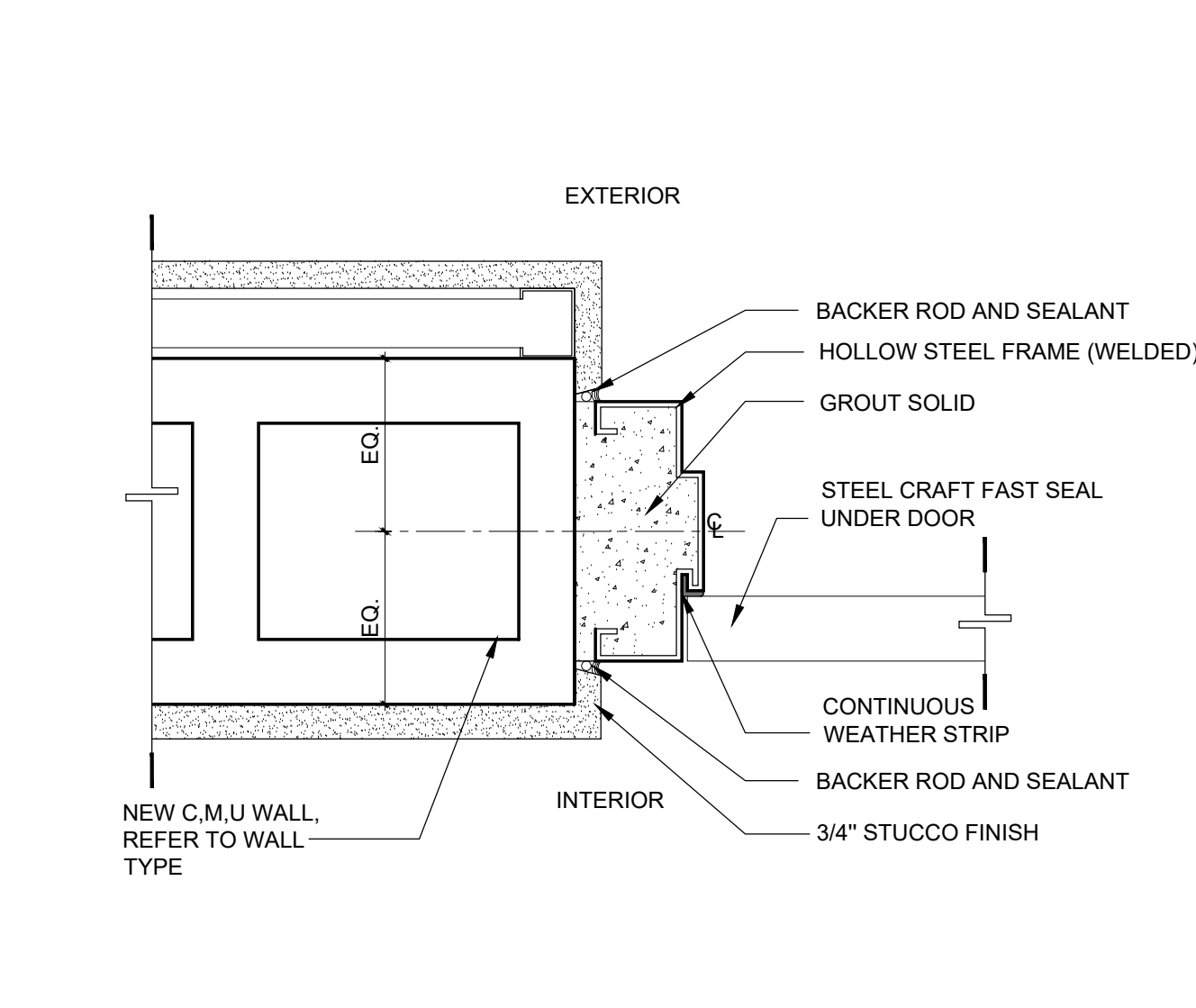
A6.2
CONSTRUCTION
DOCUMENT



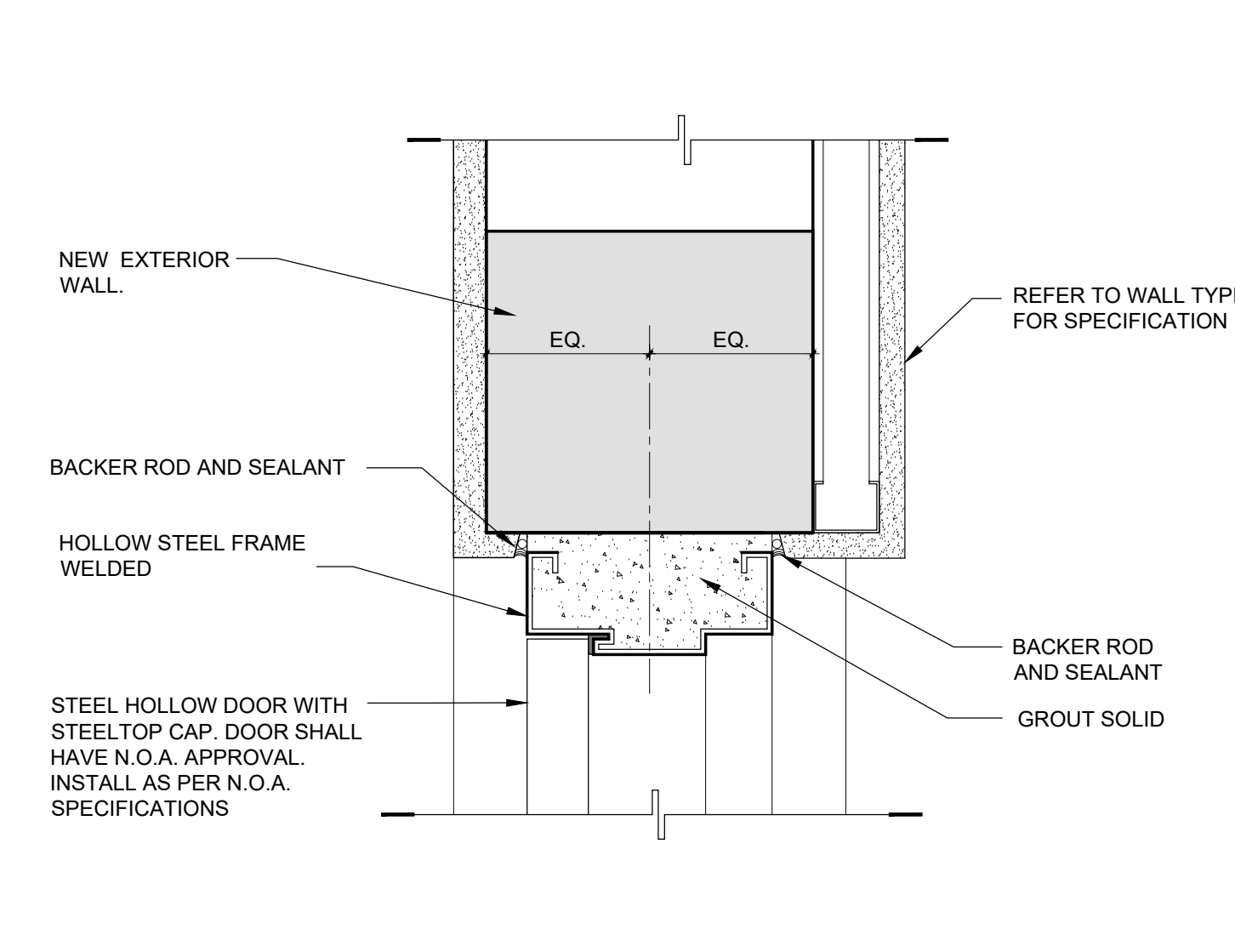
**1 HOLLOW METAL (JAMB DETAIL)
WOOD FRAME WALL**
SCALE: 3" = 1'-0"



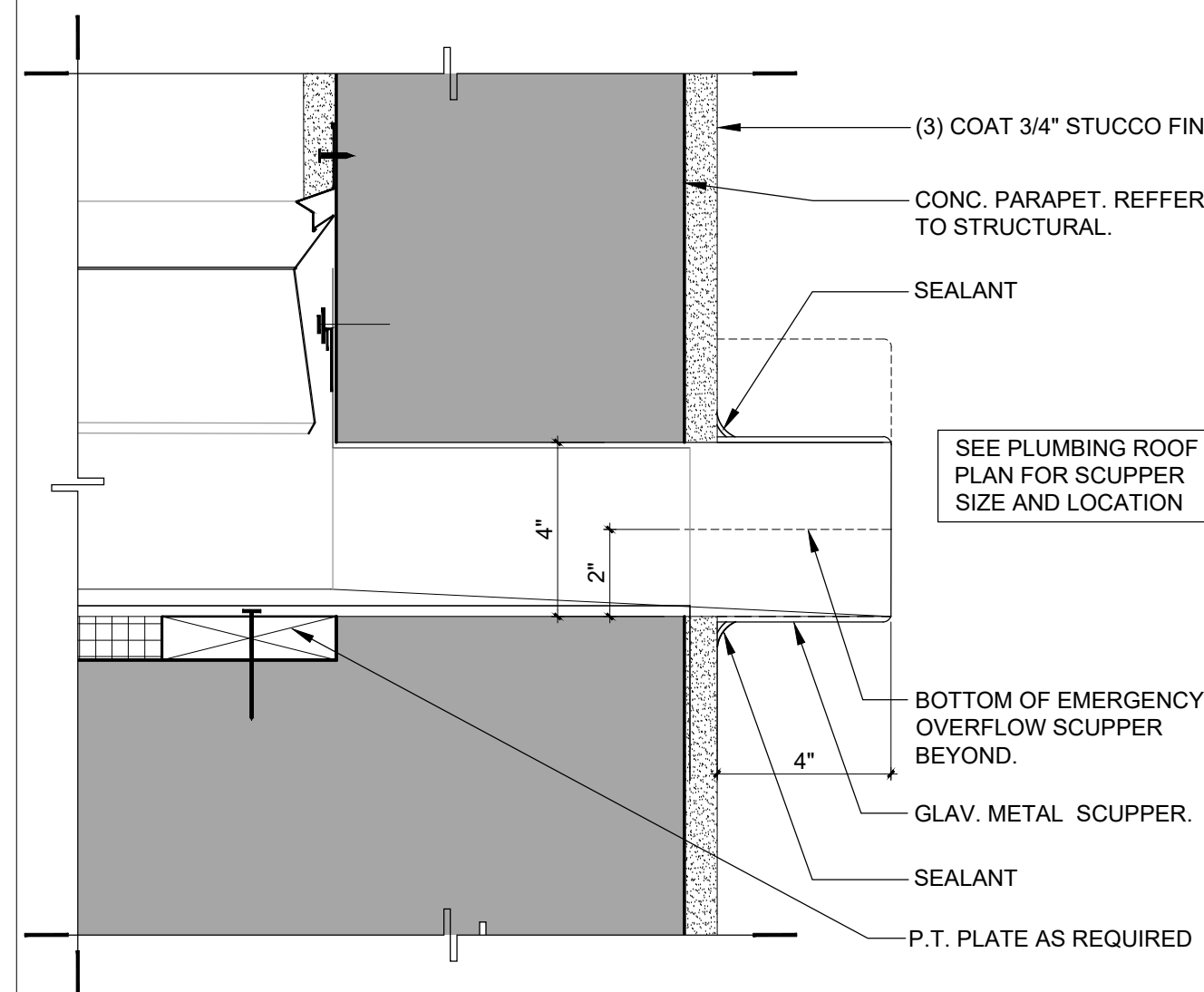
**2 HOLLOW METAL (JAMB DETAIL)
METAL FRAME WALL**
SCALE: 3" = 1'-0"



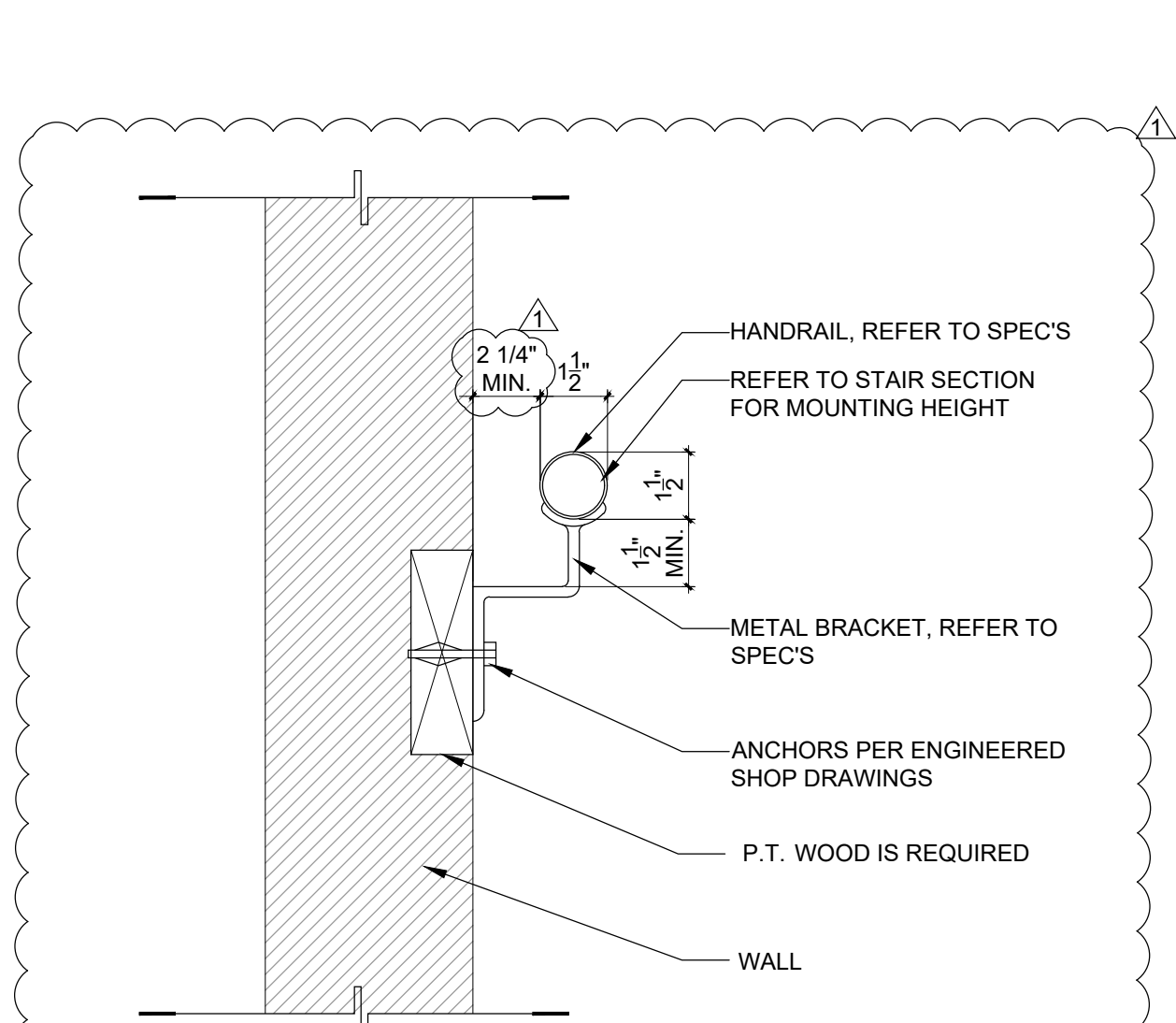
3 C.M.U WALL
SCALE: 3" = 1'-0"



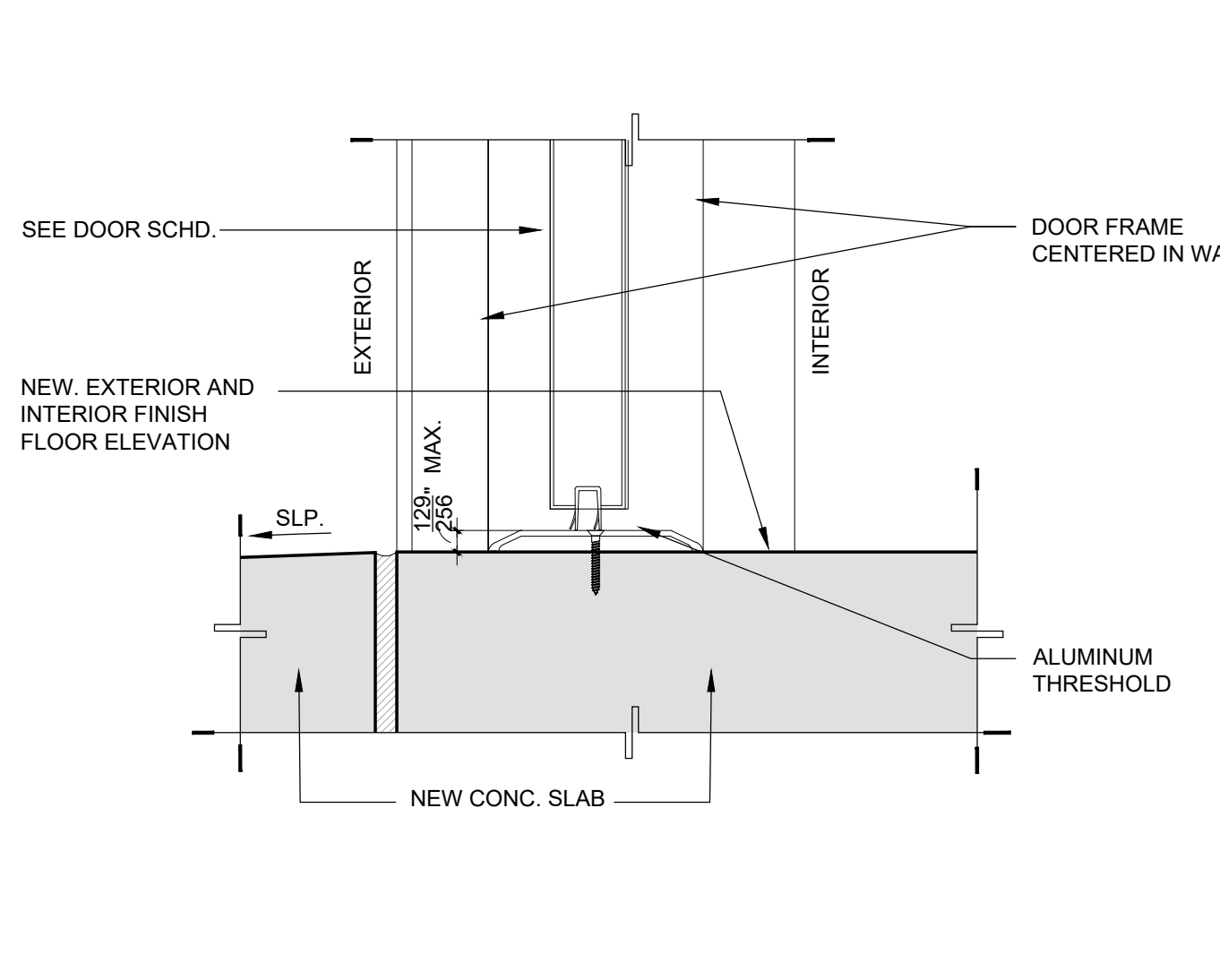
**4 STEEL DOOR (HEAD DETAIL)
C.M.U WALL**
SCALE: 3" = 1'-0"



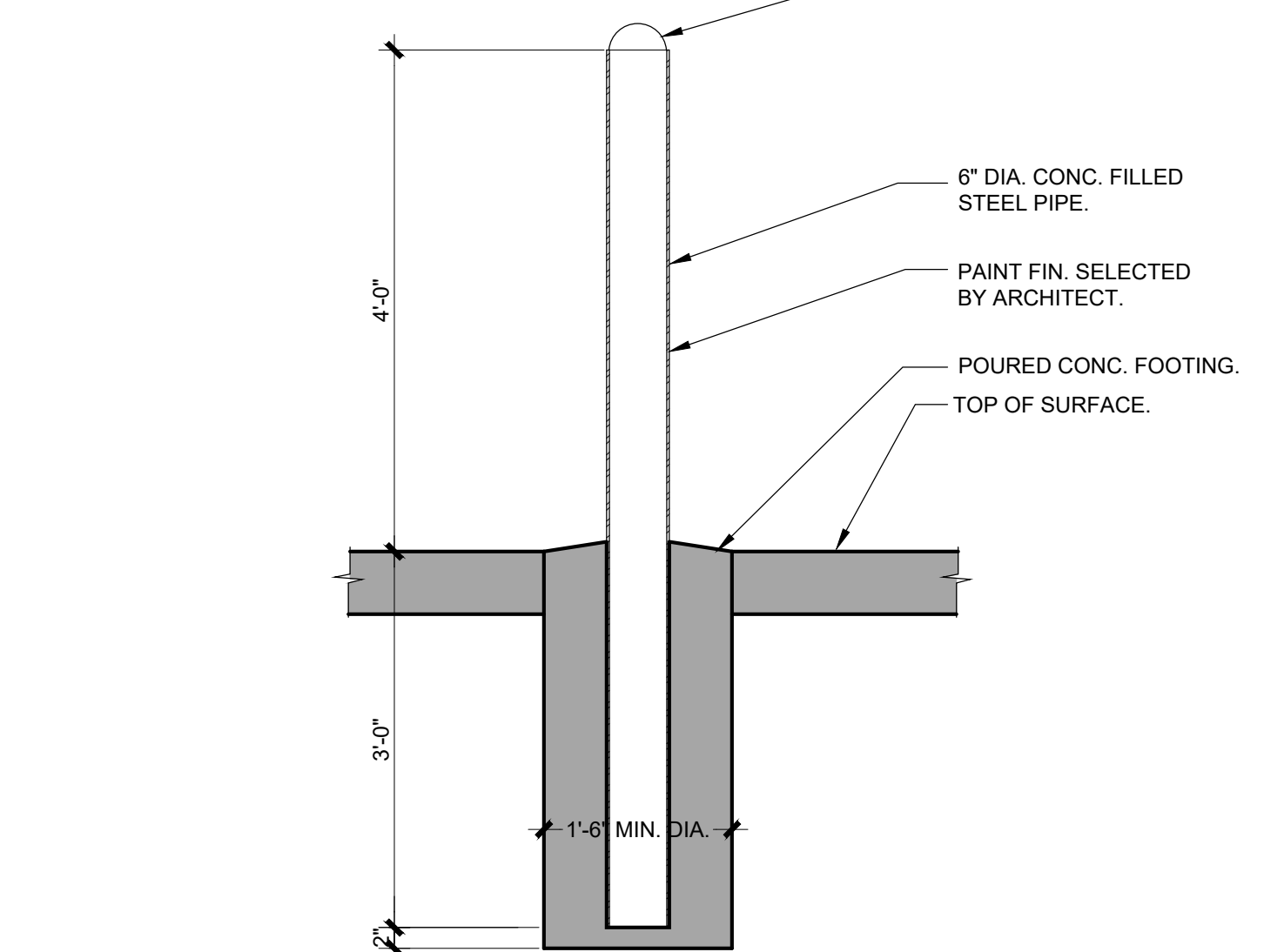
**5 METAL SCUPPER DETAIL AT
MAIN ENTRANCE**
SCALE: N.T.S.



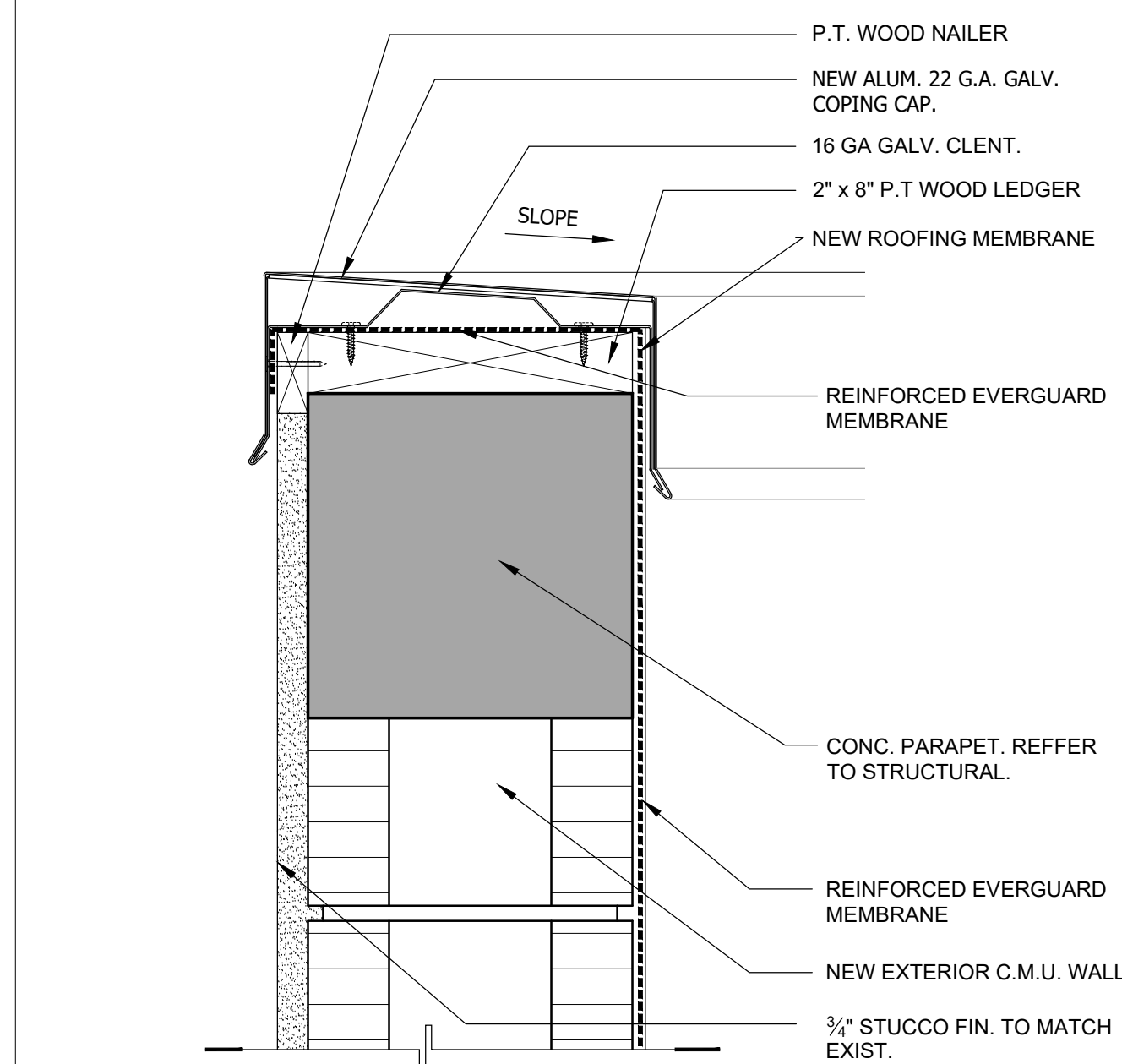
6 HANDRAIL DETAIL.
SCALE: 3" = 1'-0"



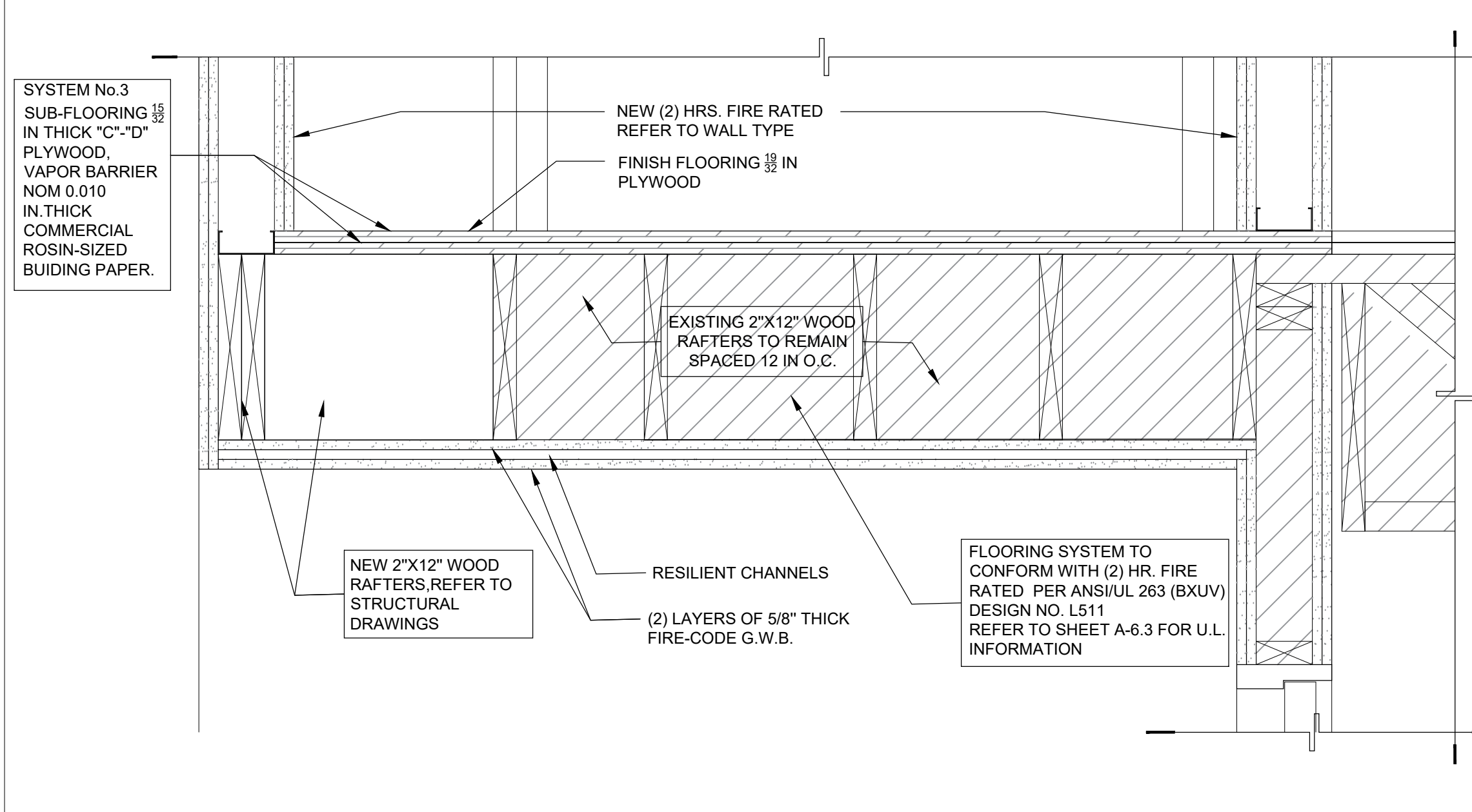
7 STEEL DOOR (THRESHOLD DETAIL)
SCALE: 3" = 1'-0"



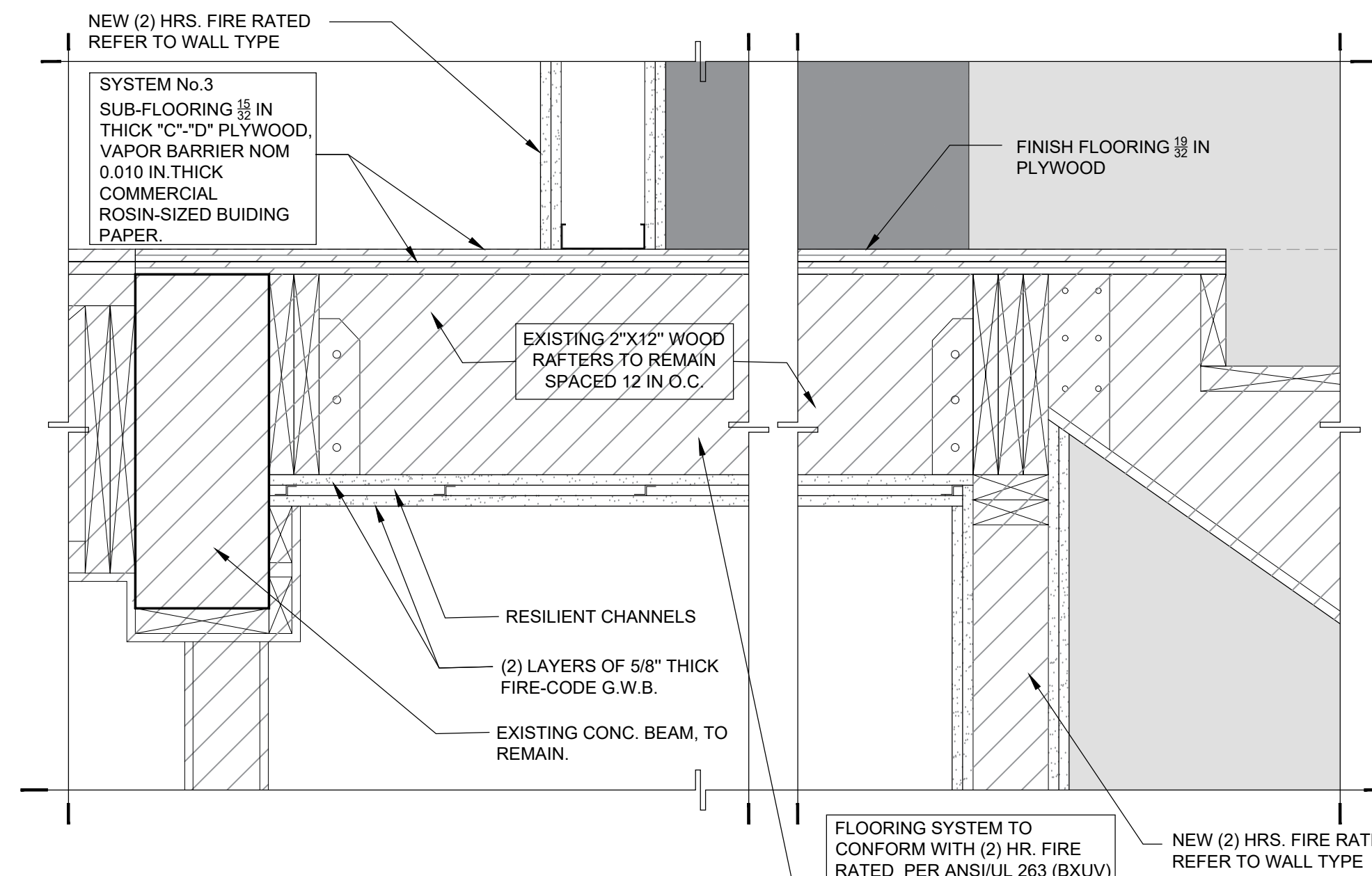
8 INTERIOR BOLLARD DETAIL
SCALE: 3/4" = 1'-0"



9 TYP. PARAPET DETAIL
SCALE: 3" = 1'-0"



10 STAIR LANDING DETAIL
SCALE: 1 1/2" = 1'-0"



11 STAIR LANDING DETAIL
SCALE: 1 1/2" = 1'-0"

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03.11.21	BLDG. COMMENTS

JOSE A. VIDAL AR4535
MANUEL D. FERNANDEZ AR95651

DETAILS
A8.0
CONSTRUCTION DOCUMENT